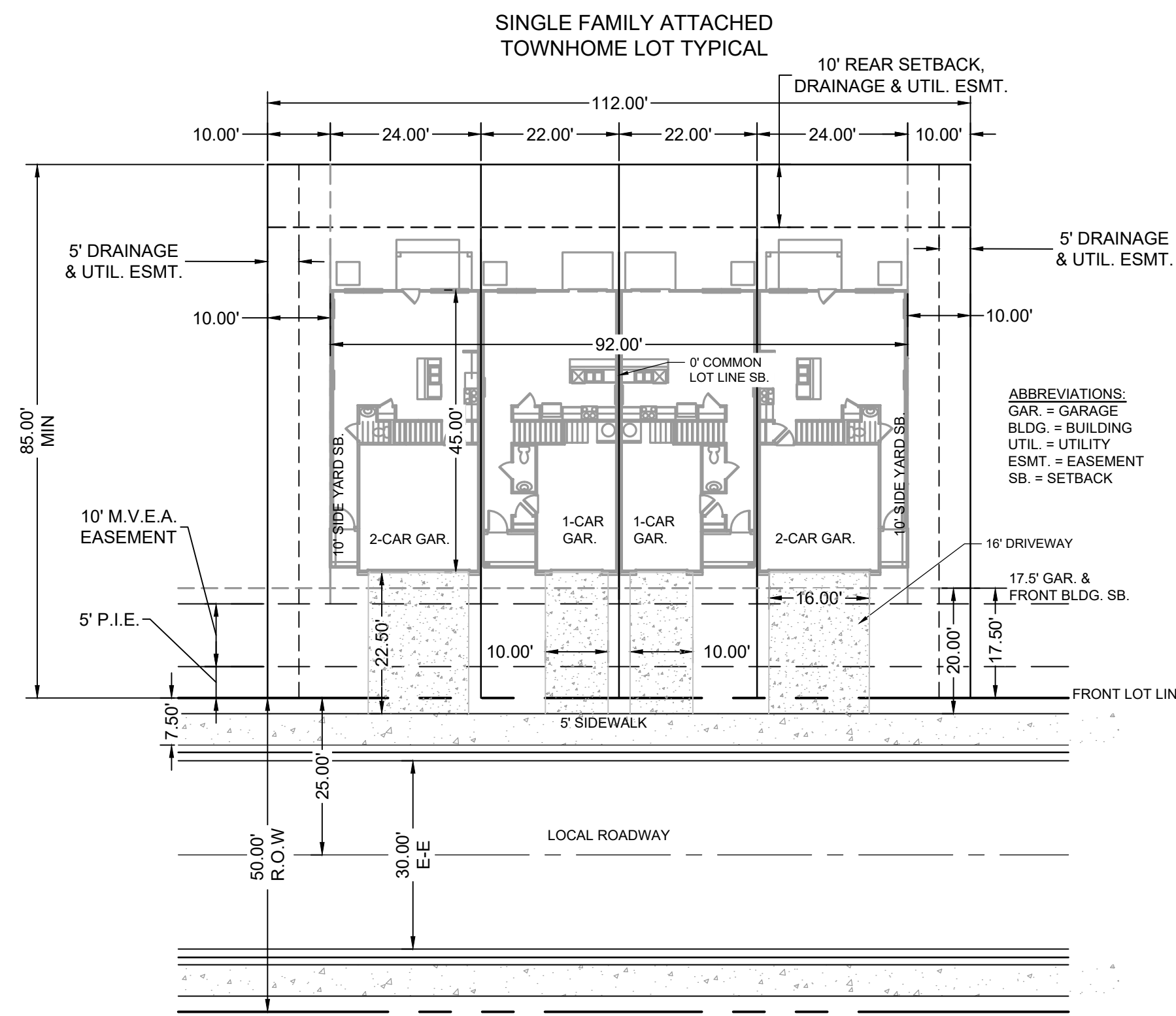


All sheets get title block atop sheet per checklists
ADDRESSED

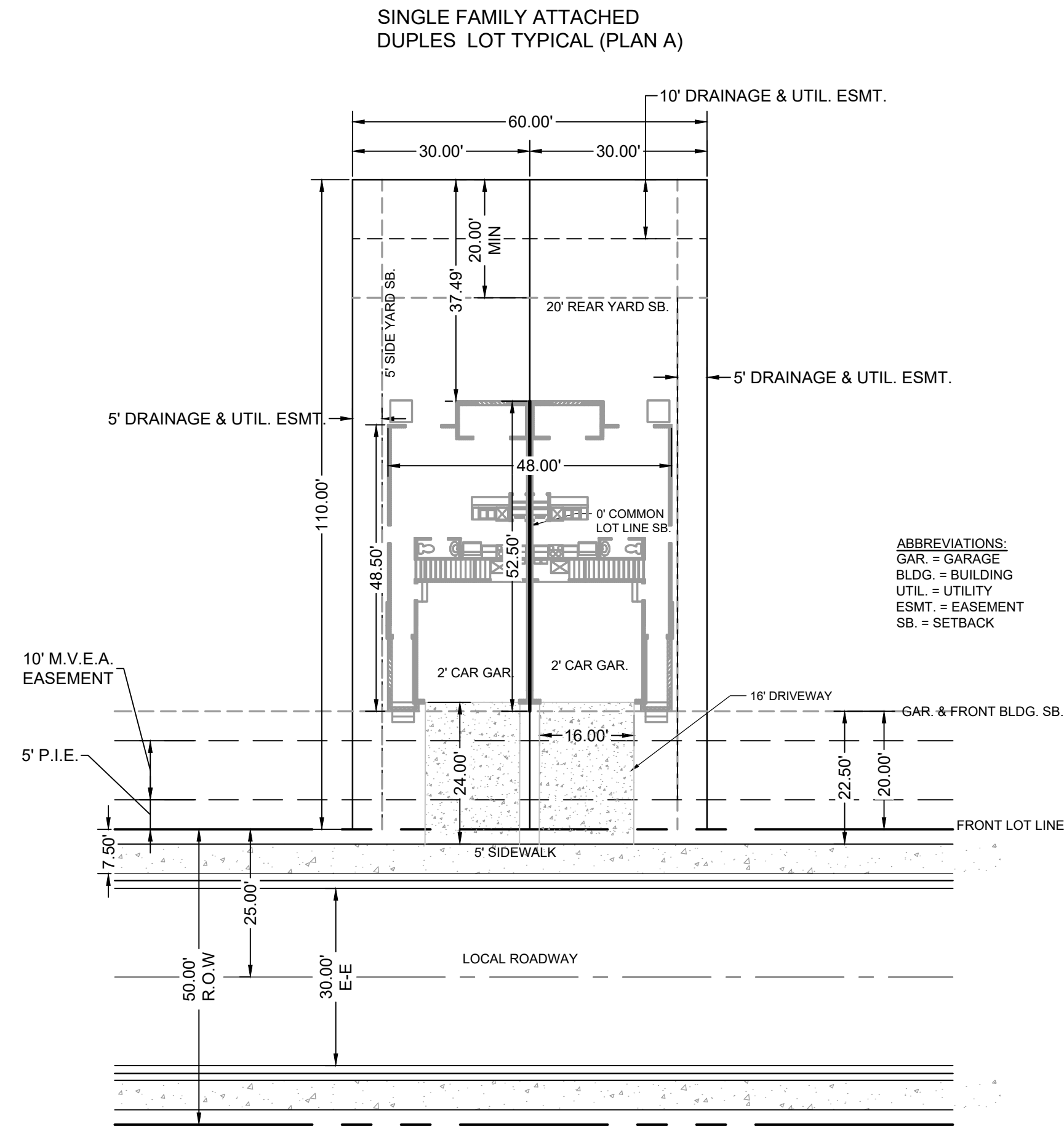
GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



HRG RESPONSE: This section was proposed as part of the Phase 1 PUD/PP, we have researched the file and determined that a Deviation had not been approved at that time. We are requesting a Deviation as part of the Phase 2 Submittal

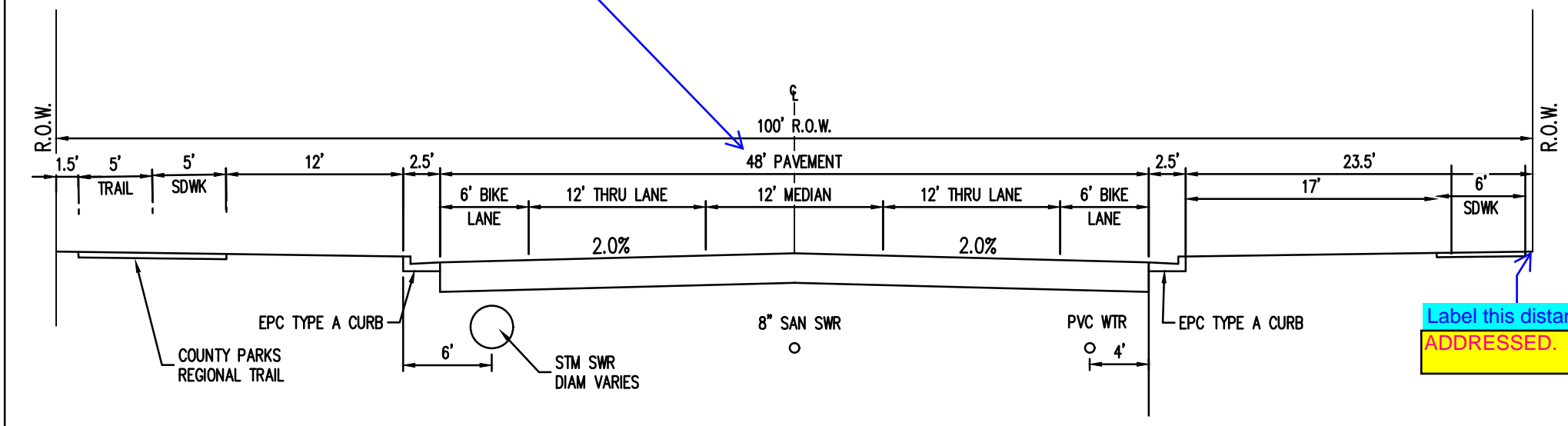
Does not meet EPC Standard Detail for arterial. Has a deviation been requested for this road? See additional information for this comment in TIS.



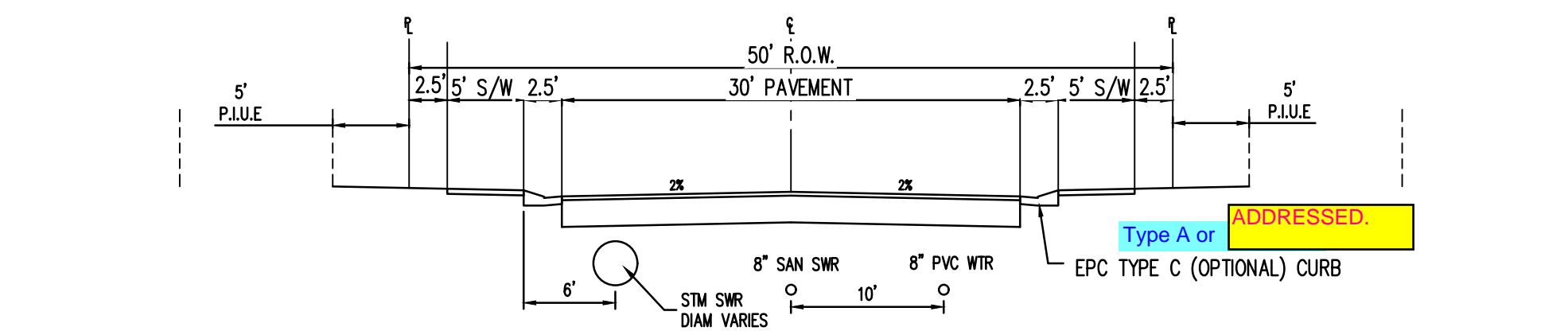
HRG RESPONSE: Notes how fit on cover sheet, none moved to this sheet

add notes from first page

Provide detail for corner lot layout
Provide knuckle detail
ADDRESSED

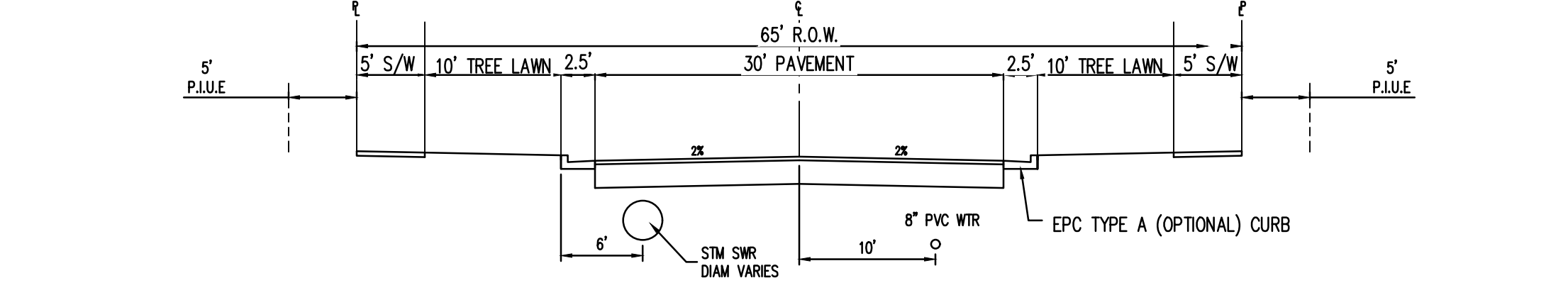


ARTERIAL: 100' R.O.W. STREET SECTION (MINOR ARTERIAL)
N.T.S.
(ROADS USING THIS SECTION: REX RD)



NEIGHBORHOOD STREET: 50' R.O.W. STREET SECTION ATTACHED SIDEWALK (URBAN LOCAL)
N.T.S.
(ROADS USING THIS SECTION: ROAD 2, ROAD 3, ROAD 4, ROAD 5, ROAD 6, ROAD 7, ROAD 8, DAWLISH DRIVE)
P.I.U.E. = PUBLIC IMPROVEMENTS/UTILITY EASEMENT

ADDRESSED
add road names to these so we know what cross section is for which road



MODIFIED NEIGHBORHOOD STREET: 65' R.O.W. STREET SECTION DETACHED SIDEWALK (URBAN LOCAL)
N.T.S.
(ROADS USING THIS SECTION: ROAD 1)
P.I.U.E. = PUBLIC IMPROVEMENTS/UTILITY EASEMENT

Deviation will need to be provided for this section as it does not meet EPC Standards.

HRG RESPONSE: A Deviation is now being requested with this resubmittal.

DRAWN BY: YOU	JOB DATE: ---	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KEN	JOB NUMBER: 201662	0" = 1"
CAD DATE: 12/21/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.2021\Typ-Sections_PUD		

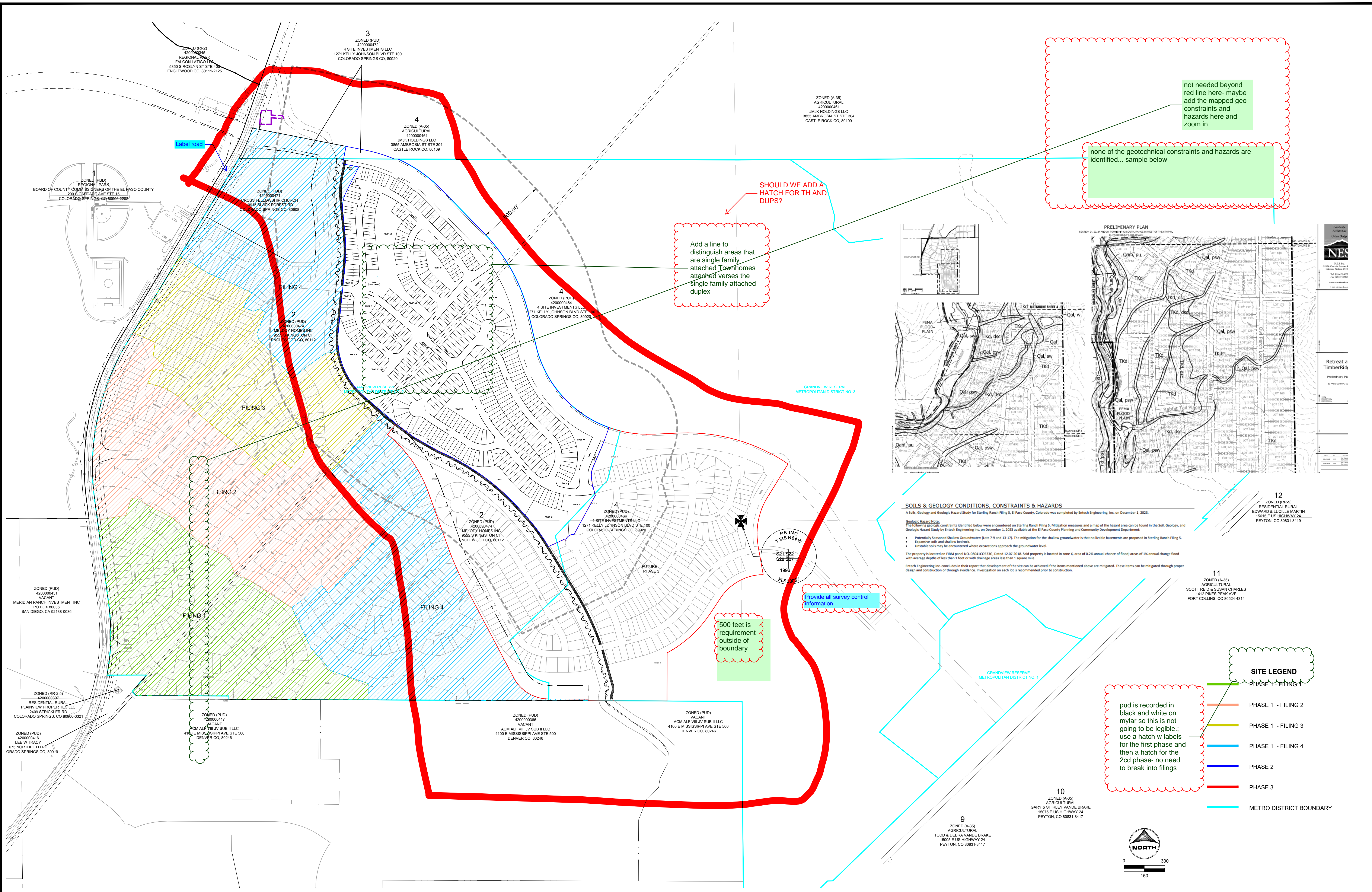
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



COVER & TYP. SECTIONS
TYPICAL SECTIONS



not needed beyond red line here- maybe add the mapped geo constraints and hazards here and zoom in

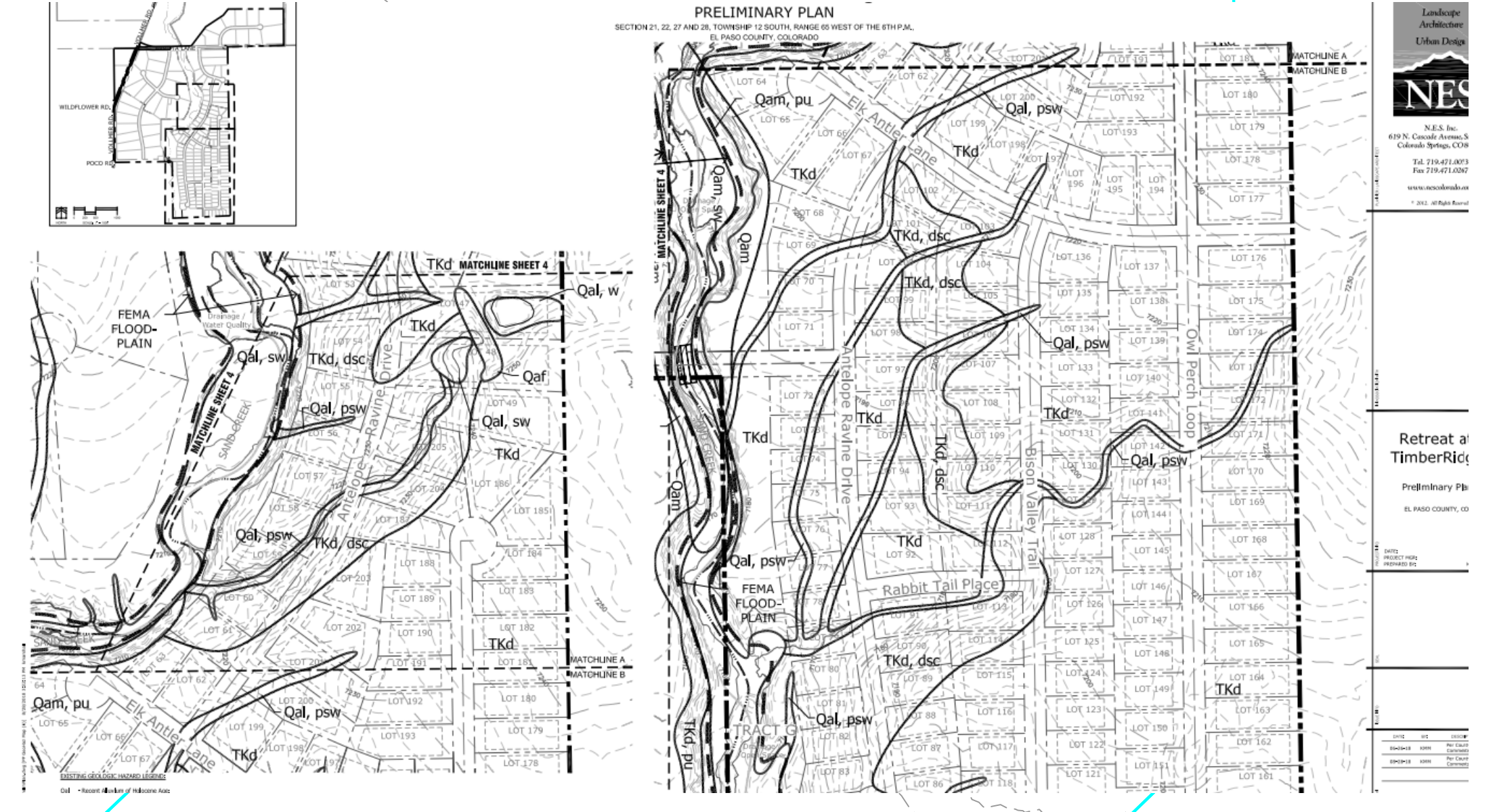
none of the geotechnical constraints and hazards are identified... sample below

SHOULD WE ADD A HATCH FOR TH AND DUPS?

Add a line to distinguish areas that are single family attached Townhomes attached verses the single family attached duplex

500 feet is requirement outside of boundary

Provide all survey control information



SOILS & GEOLOGY CONDITIONS, CONSTRAINTS & HAZARDS

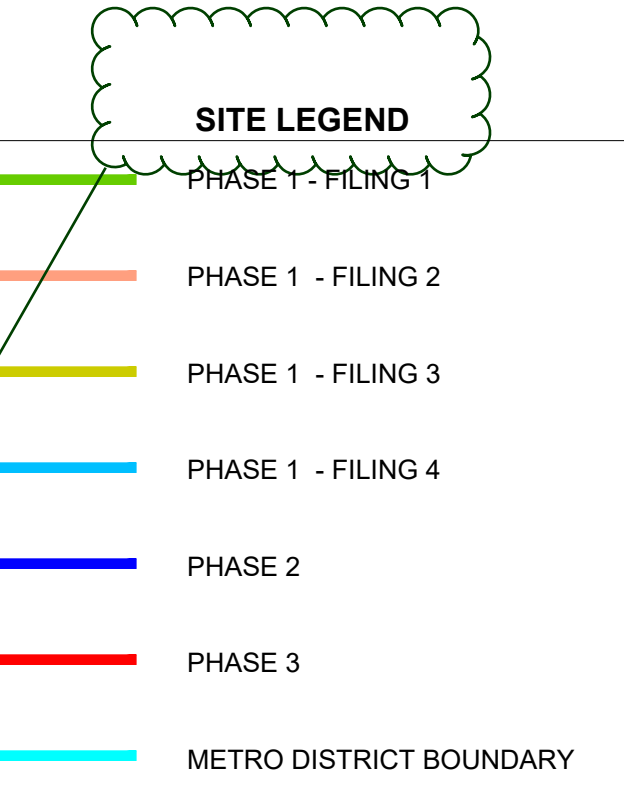
Soils, Geology and Geologic Hazard Study for Sterling Ranch Filings 2, El Paso County, Colorado was completed by Entech Engineering, Inc. on December 1, 2023.

Geologic Hazard Note:
The following geologic constraints identified below were encountered on Sterling Ranch Filings 2. Mitigation measures and a map of the hazard area can be found in the Soil, Geology, and Geologic Hazard Study by Entech Engineering Inc. on December 1, 2023 available at the El Paso County Planning and Community Development Department:

- Potentially Seasoned Shallow Groundwater: (Lots 7-9 and 13-17). The mitigation for the shallow groundwater is that no livable basements are proposed in Sterling Ranch Filings 2.
- Expansive soils and shallow bedrock.
- Unstable soils may be encountered where excavations approach the groundwater level.

The property is located on FRM panel NO. 08041C0333G, Dated 12.07.2018. Said property is located in zone X, area of 0.2% annual chance of flood; areas of 1% annual chance flood with average depths of less than 1 foot or with drainage areas less than 1 square mile.

Entech Engineering Inc. concludes in their report that development of the site can be achieved if the items mentioned above are mitigated. These items can be mitigated through proper design and construction or through avoidance. Investigation on each lot is recommended prior to construction.



pu is recorded in black and white on mylar so this is not going to be legible.; use a hatch w labels for the first phase and then a hatch for the 2cd phase- no need to break into filings

DRAWN BY: YOU	JOB DATE: ----	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KEN	JOB NUMBER: 201662	0
CAD DATE: 12/14/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.2021\PU\Adjacent_Properties_PUD		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO

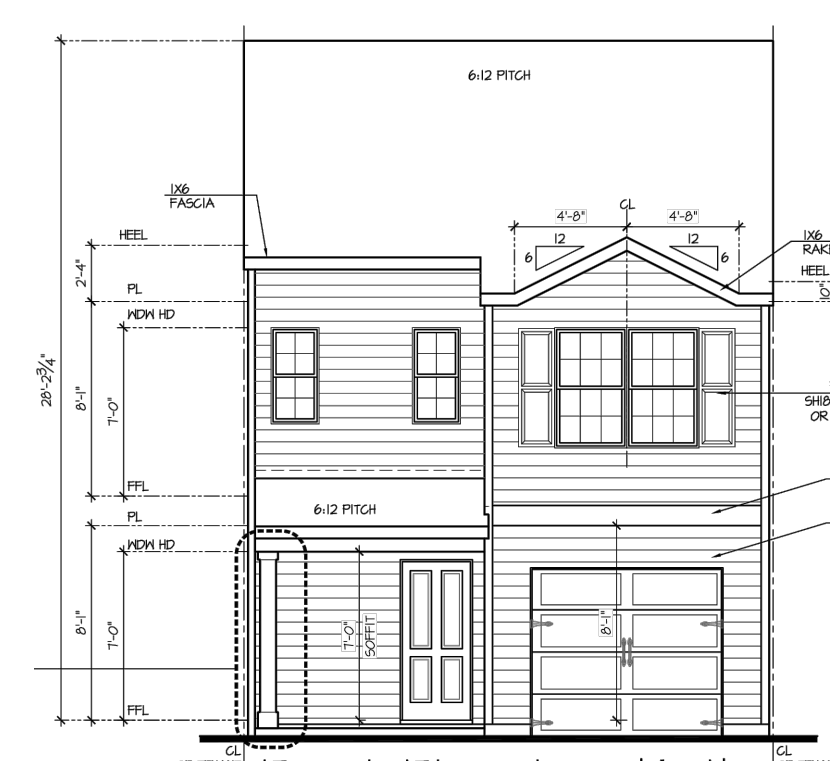
D-R-HORTON
 America's Builder

ADJACENT PROPERTY
 ADJACENT PROPERTY & OVERALL SITE PLAN

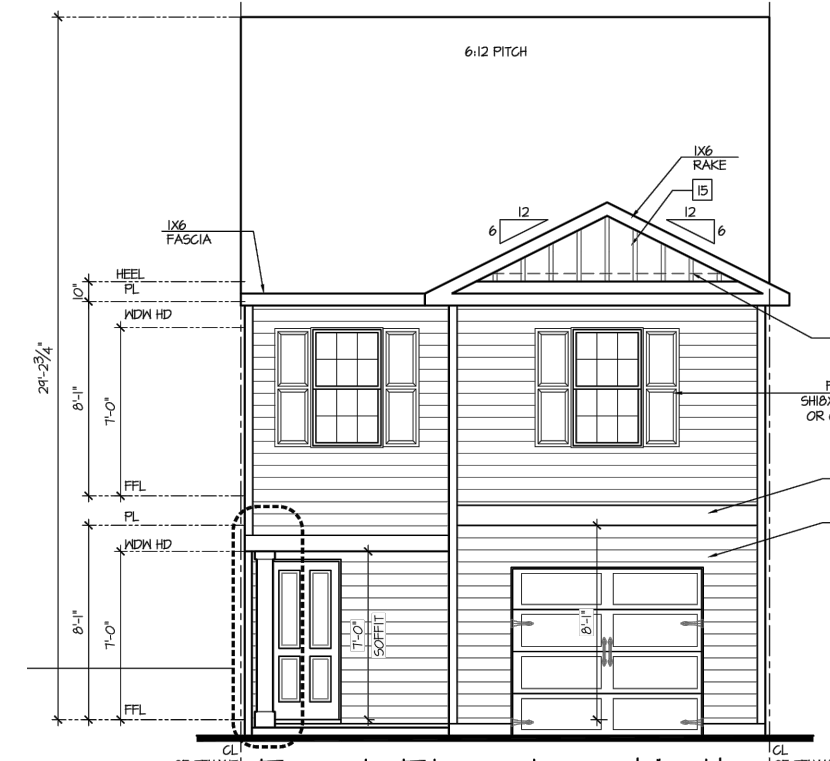
- NOTES:**
- GRADE CONDITIONS MAY VARY FOR RELEVANT SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - SCREEN HEIGHTS: 1ST FLOOR - 8'-0" HIG. ON ELEVATIONS. 2ND FLOOR - 7'-0" HIG. ON ELEVATIONS.
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - FRONT DOOR: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAY: ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- KEY NOTES:**
- 1 MASONRY:
 - 1.1 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.3 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.4 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.5 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.6 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.7 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.8 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.9 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.10 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 2 FINISHES:
 - 2.1 DECORATIVE LOWERED VENTS, SIZE AS NOTED.
 - 2.2 CODE APPROVED TERMINATION GUTTER CAP.
 - 2.3 CONSTRUCTION RESISTANT ROOF TO MEET FLUENTS, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - 2.4 STANDING SEAM METAL ROOF, METALS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 2.5 DECORATIVE MOUNTING RAILS, SEE DETAILS.
 - 3 VINYL:
 - 3.1 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.2 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.3 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.4 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.5 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.6 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.7 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.8 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.9 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.10 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 4 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 5 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 6 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 7 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 8 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 9 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 10 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 11 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 12 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 13 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 14 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 15 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 16 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 17 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 18 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 19 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 20 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.

ADD Note: Architectural modifications will not require an amendment to the PUD, if dimensional standards are met as provided on Sheet 1

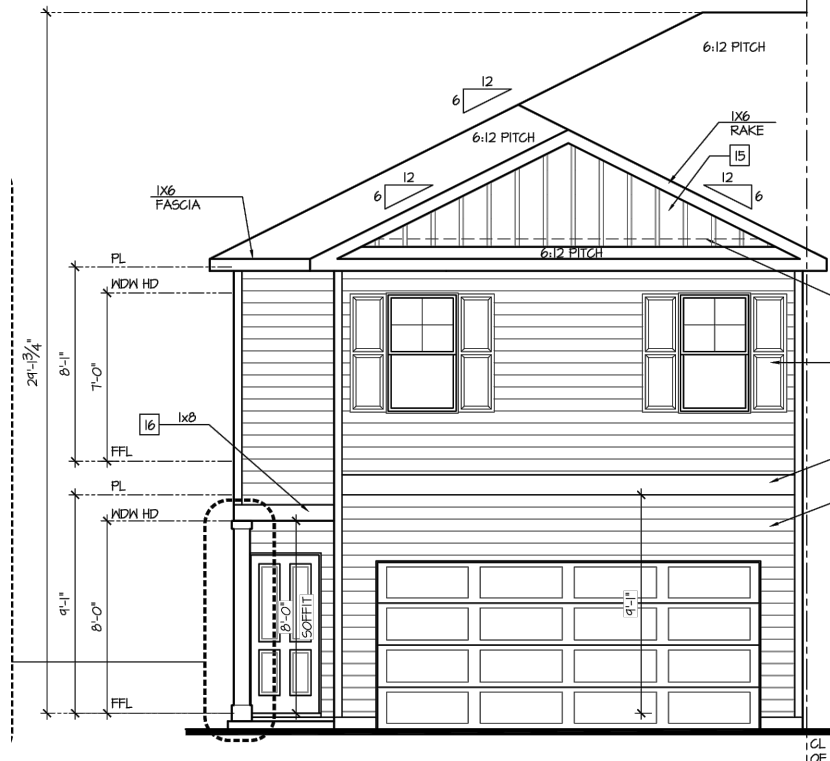
ADDRESSED



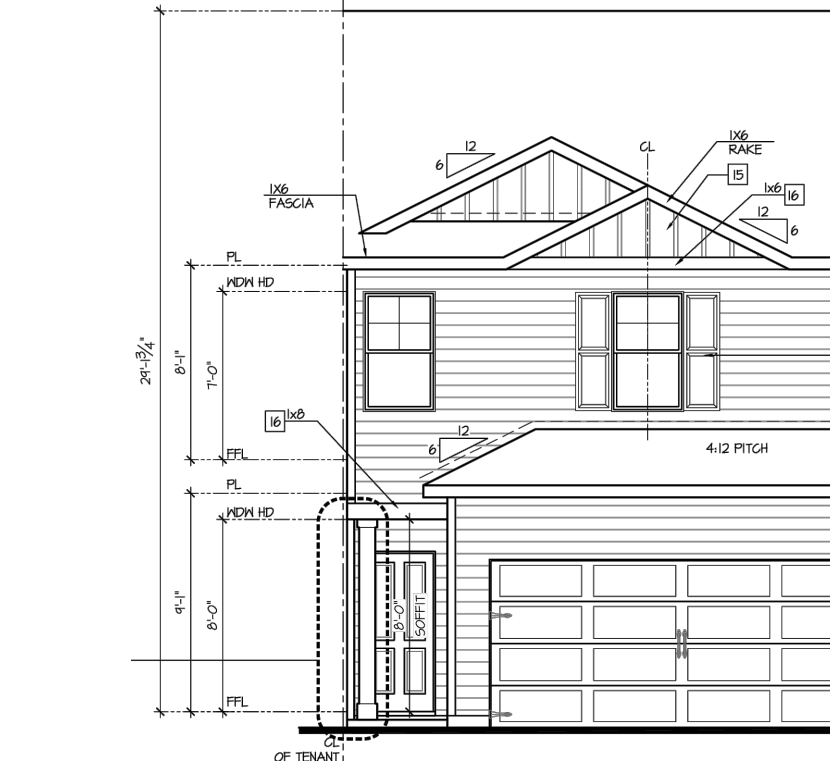
OWNHOME MIDDLE UNIT (ALTAMONT)



TOWNHOME MIDDLE UNIT (MITCHELL)



TOWNHOME END UNIT (PATTISON)



TOWNHOME END UNIT (TATUM)

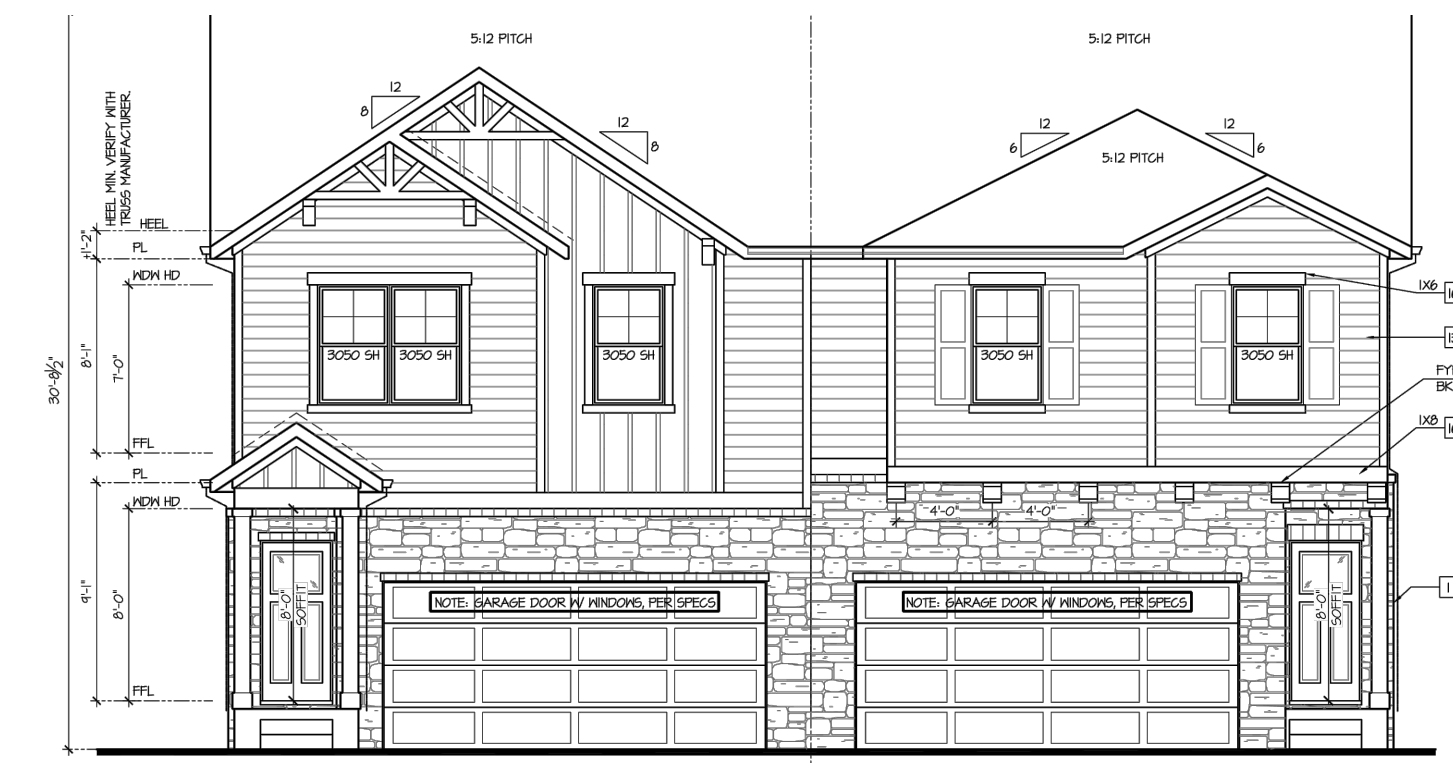
- NOTES:**
- GRADE CONDITIONS MAY VARY FOR RELEVANT SITE FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
 - SCREEN HEIGHTS: 1ST FLOOR - 8'-0" HIG. ON ELEVATIONS. 2ND FLOOR - 7'-0" HIG. ON ELEVATIONS.
 - ROOFING: PITCHED SHINGLES PER DEVELOPER.
 - FRONT DOOR: AS SELECTED BY DEVELOPER.
 - GARAGE DOORS: AS SELECTED BY DEVELOPER, RAISED PANEL AS SHOWN.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - PROTECTION AGAINST DECAY: ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
- KEY NOTES:**
- 1 MASONRY:
 - 1.1 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.2 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.3 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.4 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.5 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.6 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.7 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.8 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.9 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 1.10 MASONRY FULL BRICK AS SELECTED BY DEVELOPER, HEIGHT AS NOTED.
 - 2 FINISHES:
 - 2.1 DECORATIVE LOWERED VENTS, SIZE AS NOTED.
 - 2.2 CODE APPROVED TERMINATION GUTTER CAP.
 - 2.3 CONSTRUCTION RESISTANT ROOF TO MEET FLUENTS, CODE COMPLIANT FLASHING MUST BE INSTALLED AT ALL ROOF/WALL INTERSECTIONS.
 - 2.4 STANDING SEAM METAL ROOF, METALS PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
 - 2.5 DECORATIVE MOUNTING RAILS, SEE DETAILS.
 - 3 VINYL:
 - 3.1 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.2 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.3 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.4 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.5 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.6 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.7 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.8 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.9 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 3.10 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 4 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 5 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 6 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 7 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 8 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 9 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 10 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 11 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 12 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 13 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 14 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 15 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 16 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 17 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 18 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 19 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.
 - 20 VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER, AT SPECIFIED LOCATIONS.

Single-Family Attached Duplex Models

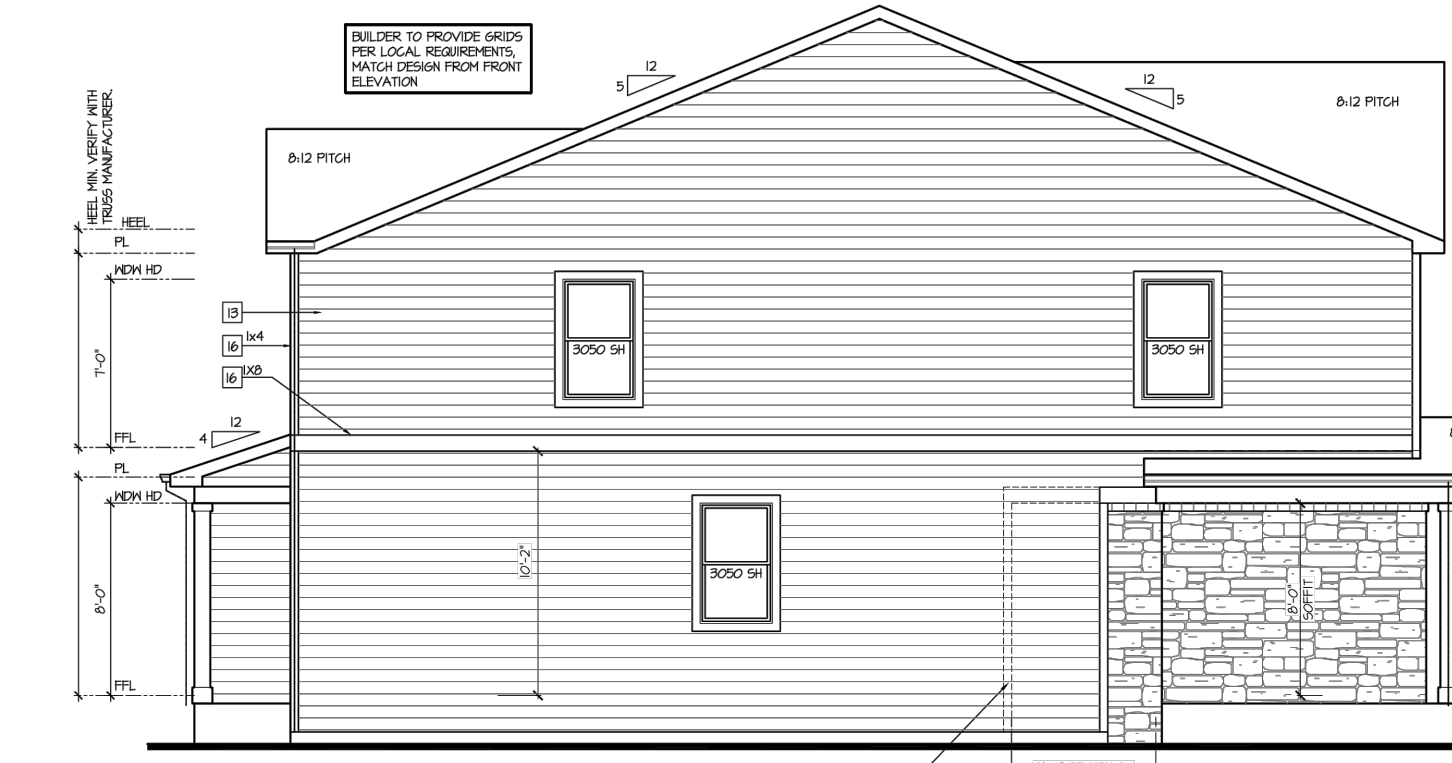
ADDRESSED



DT010 ELEVATION B DT010 - R ELEVATION A



DT010 - R ELEVATION A-4 DT010 ELEVATION B-4



DT010 - R ELEVATION A-4



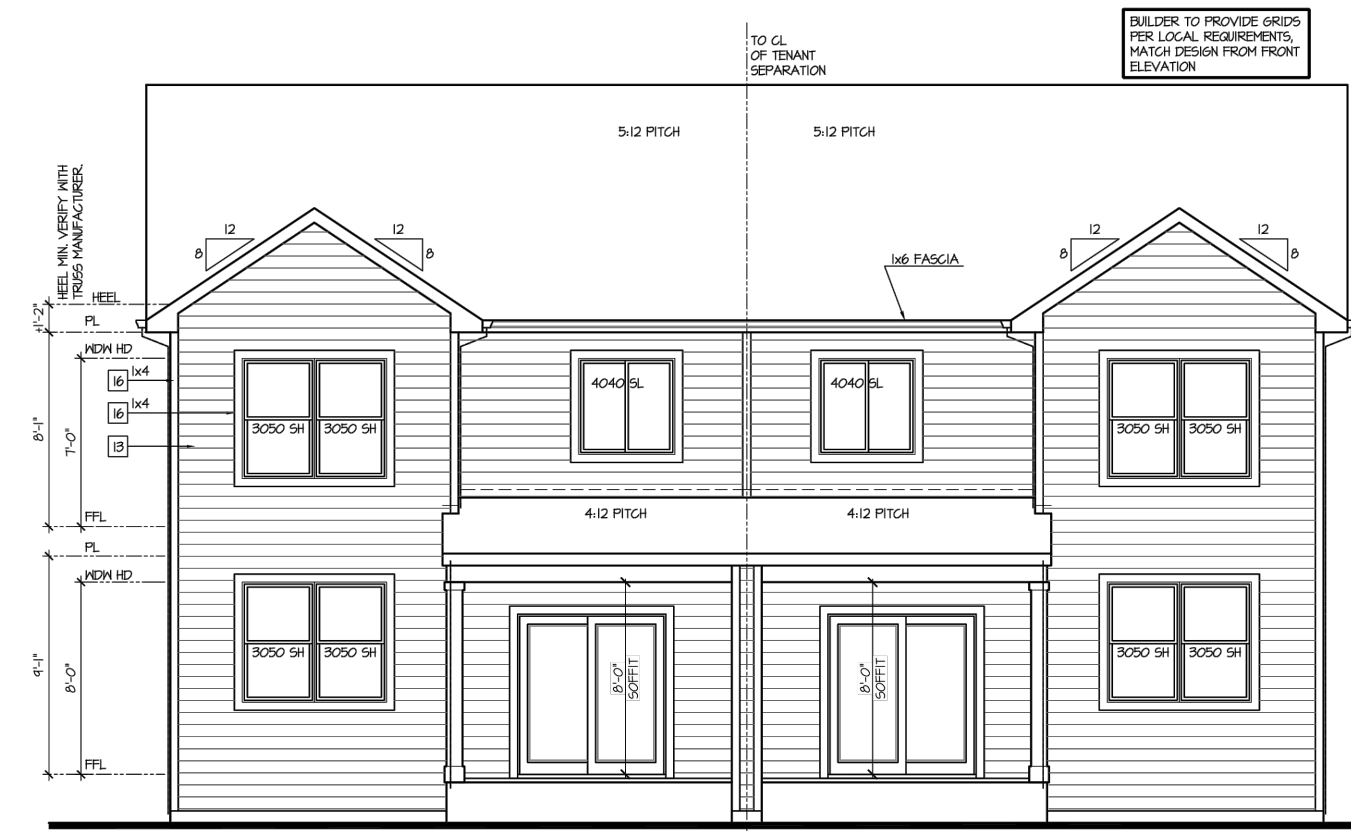
DT010 ELEVATION B-4

Rear Elevation - Building Type (DT010 + DT010) 'A-1/B' at Crawl Space

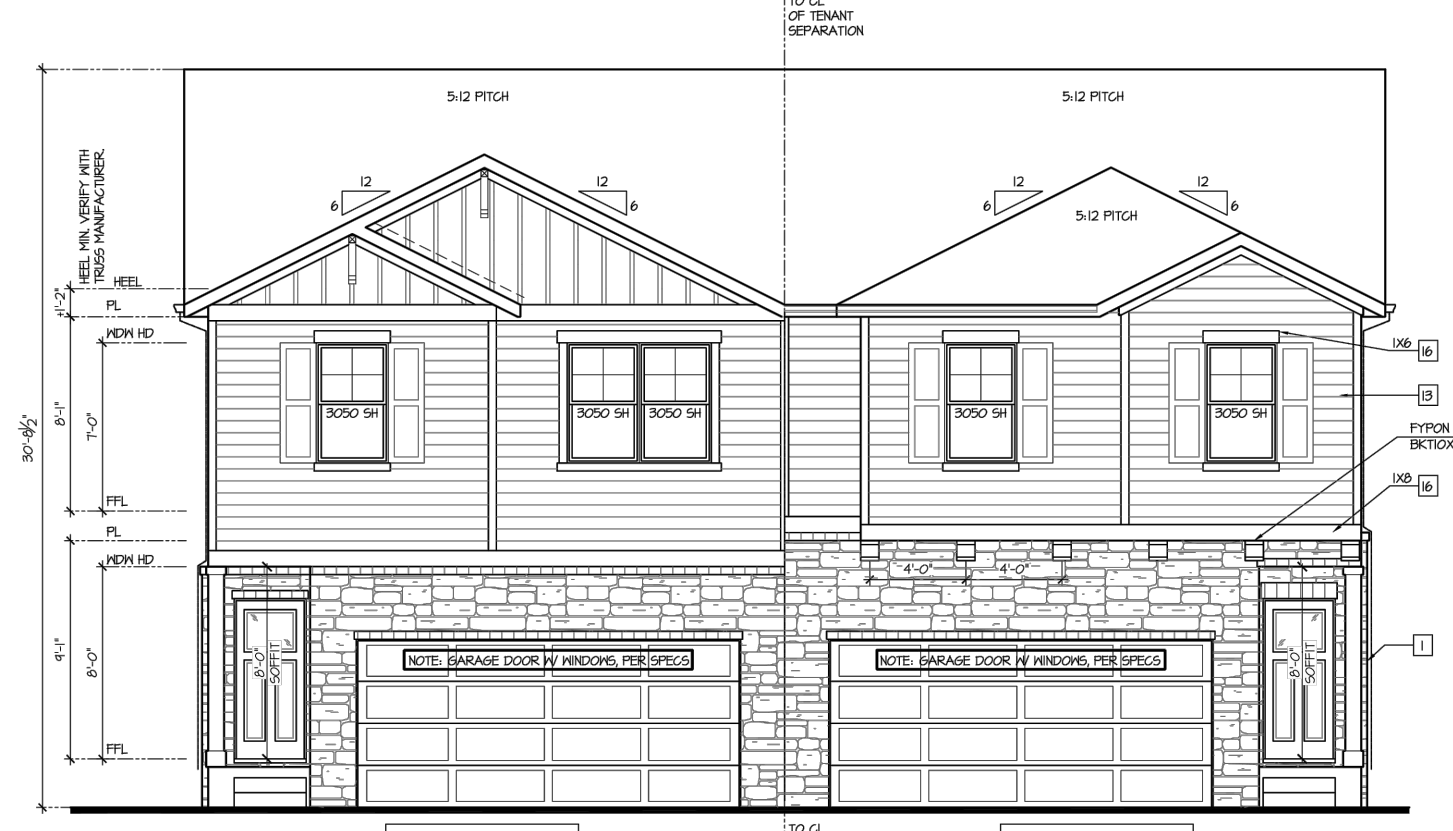
Front Elevation - Building Type (DT010 + DT010) 'A-4/B-4' at Crawl Space

Left Elevation 'A-4' at Crawl Space

Right Elevation 'B-4' at Crawl Space



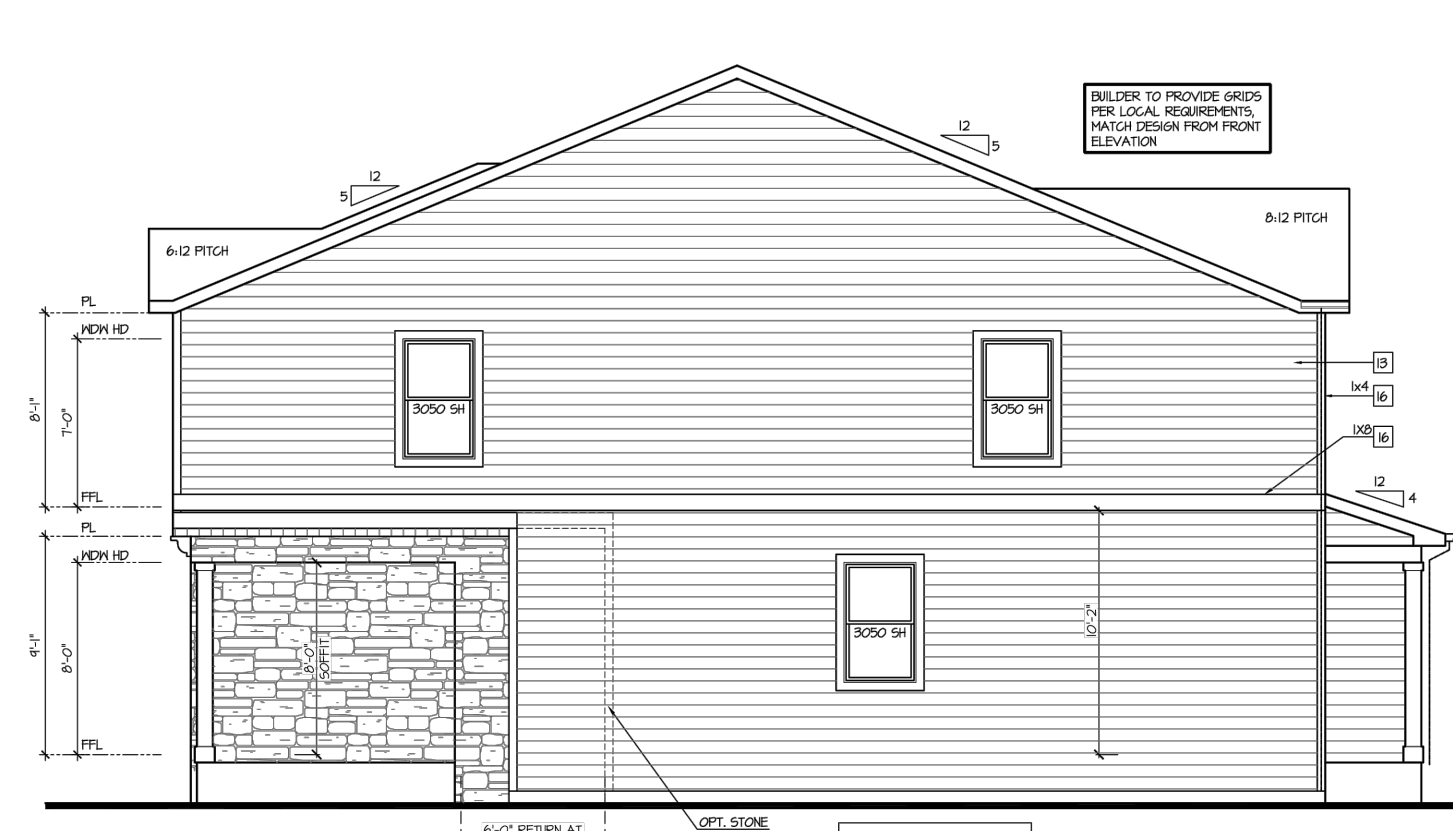
DT010 ELEVATION B DT010 - R ELEVATION C



DT010 - R ELEVATION C-4 DT010 ELEVATION B-4



DT010 - R ELEVATION C-4



DT010 ELEVATION B-4

Rear Elevation - Building Type (DT010 + DT010) 'C-1/B' at Crawl Space

Front Elevation - Building Type (DT010 + DT010) 'C-4/B-4' at Crawl Space

Left Elevation 'C-4' at Crawl Space

Right Elevation 'B-4' at Crawl Space

ADD Note: Architectural modifications will not require an amendment to the PUD, if dimensional standards are met as provided on Sheet 1

ADDRESSED

DRAWN BY: AXB	JOB DATE: 12/12/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201662	0
CAD DATE: 12/14/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.202\2021Elevations_PUD		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO

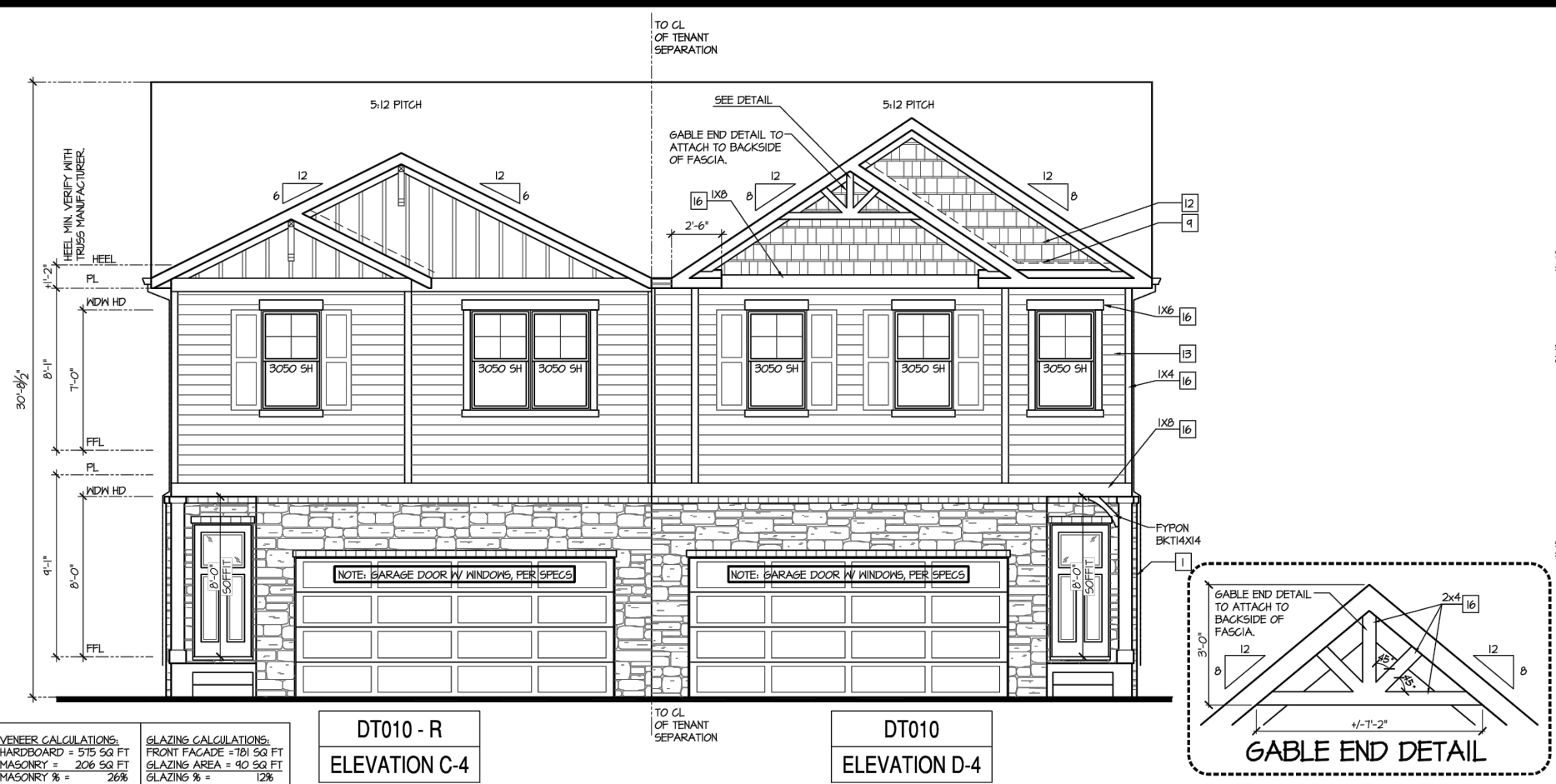


ELEVATIONS
 ELEVATIONS 1 OF 3

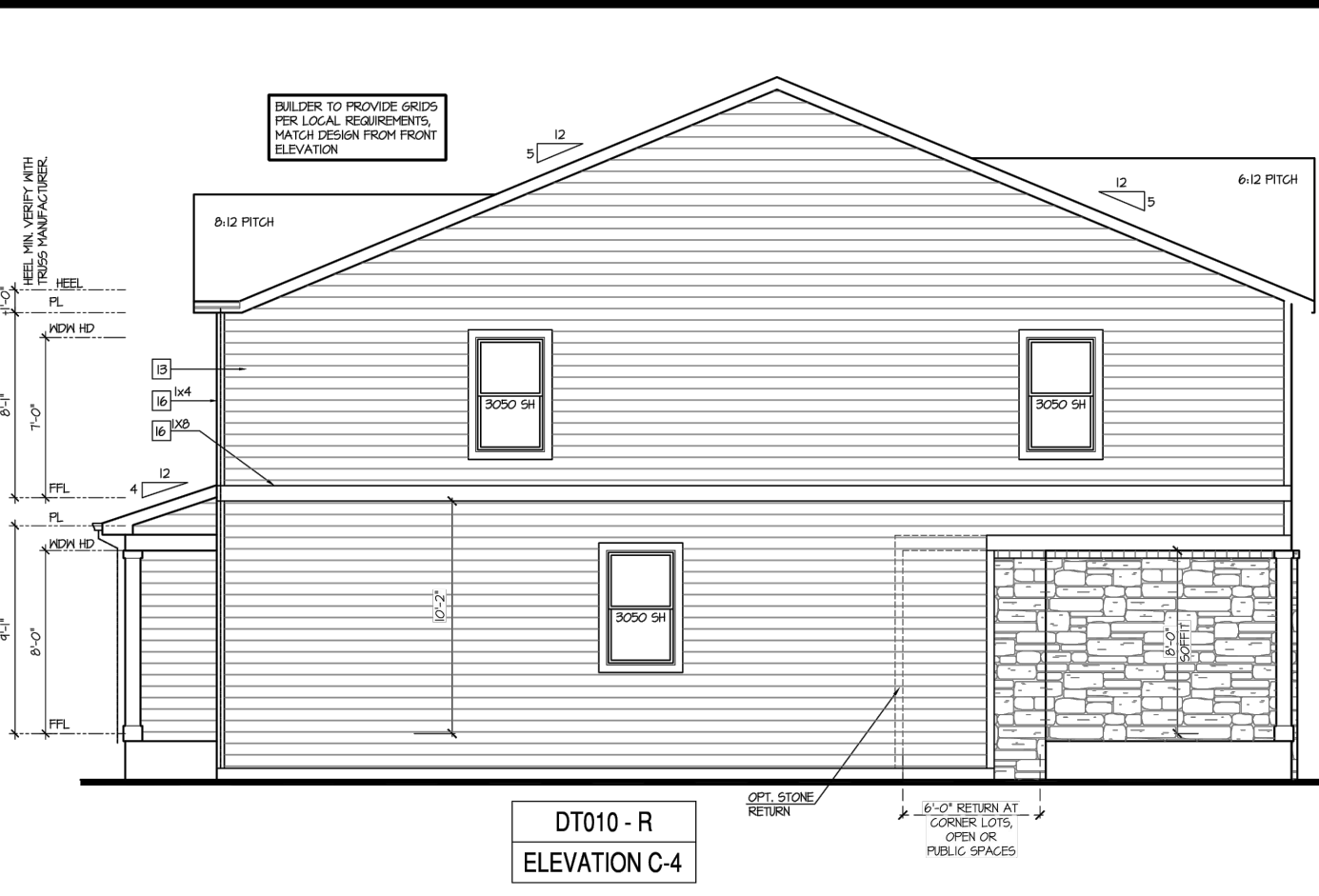
SHEET
 EL
 04



Rear Elevation - Building Type (DT010 + DT010) 'C'/D' at Crawl Space



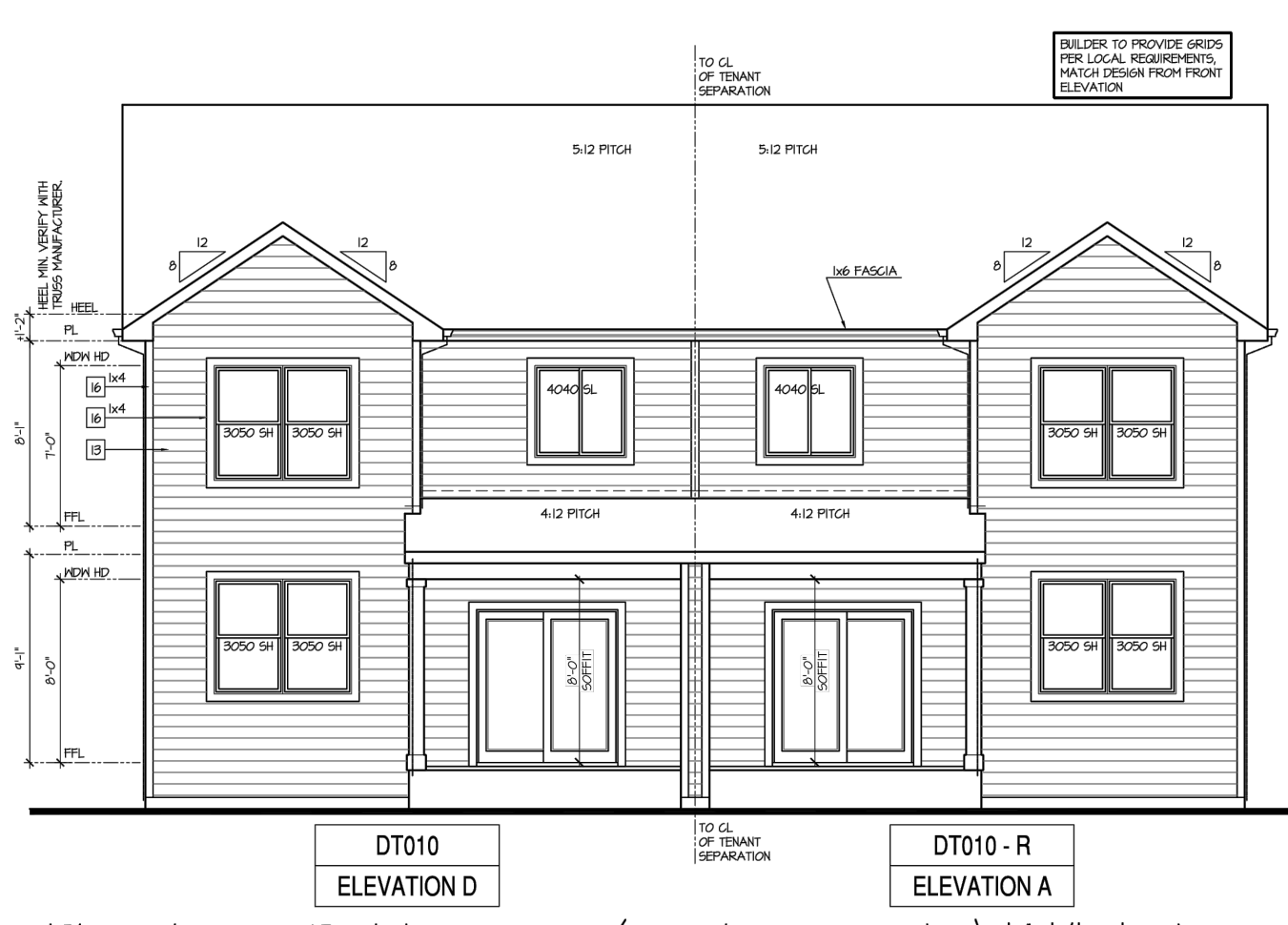
Front Elevation - Building Type (DT010 + DT010) 'C-4'/D-4' at Crawl Space



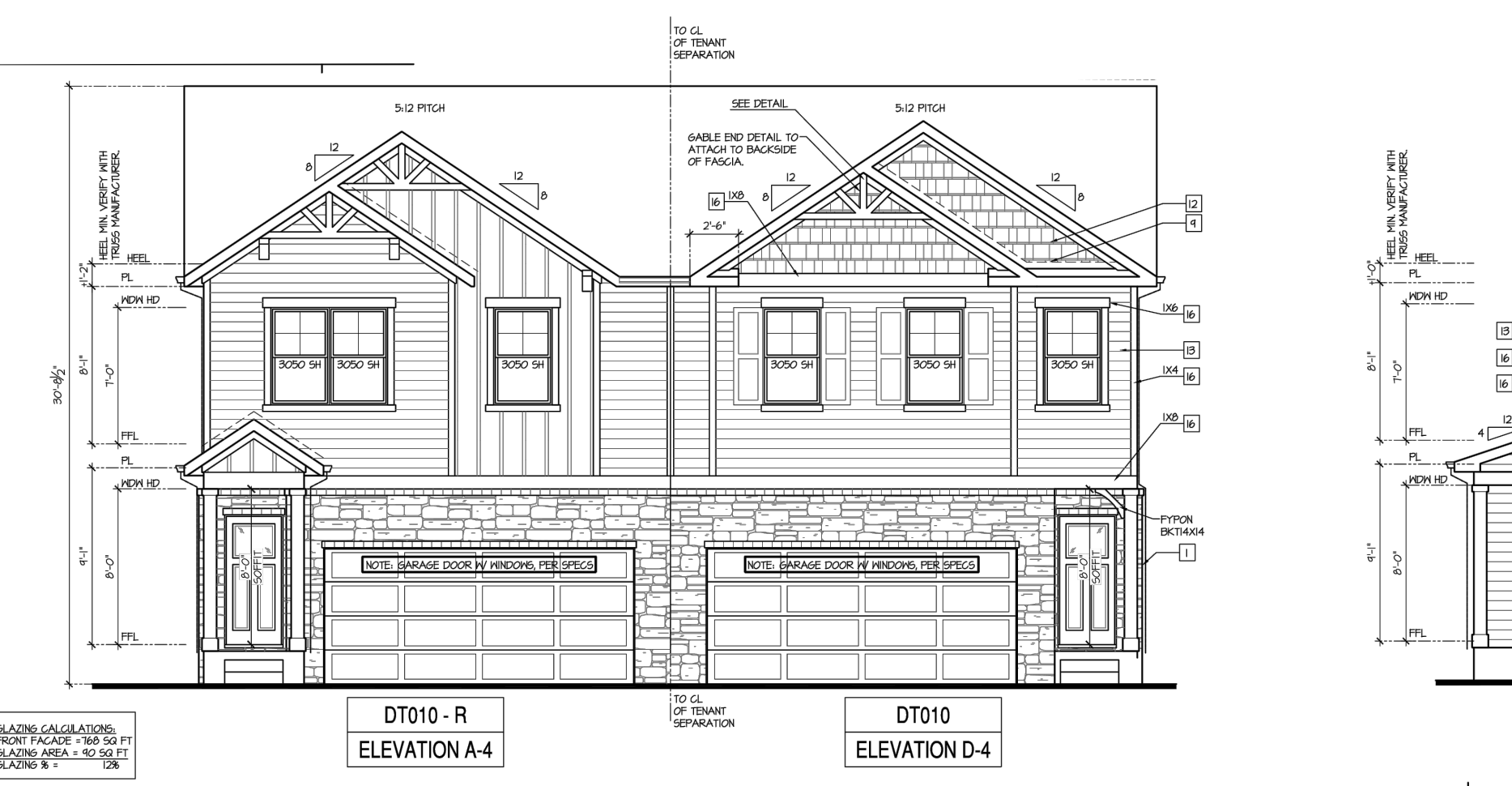
Left Elevation 'C-4' at Crawl Space



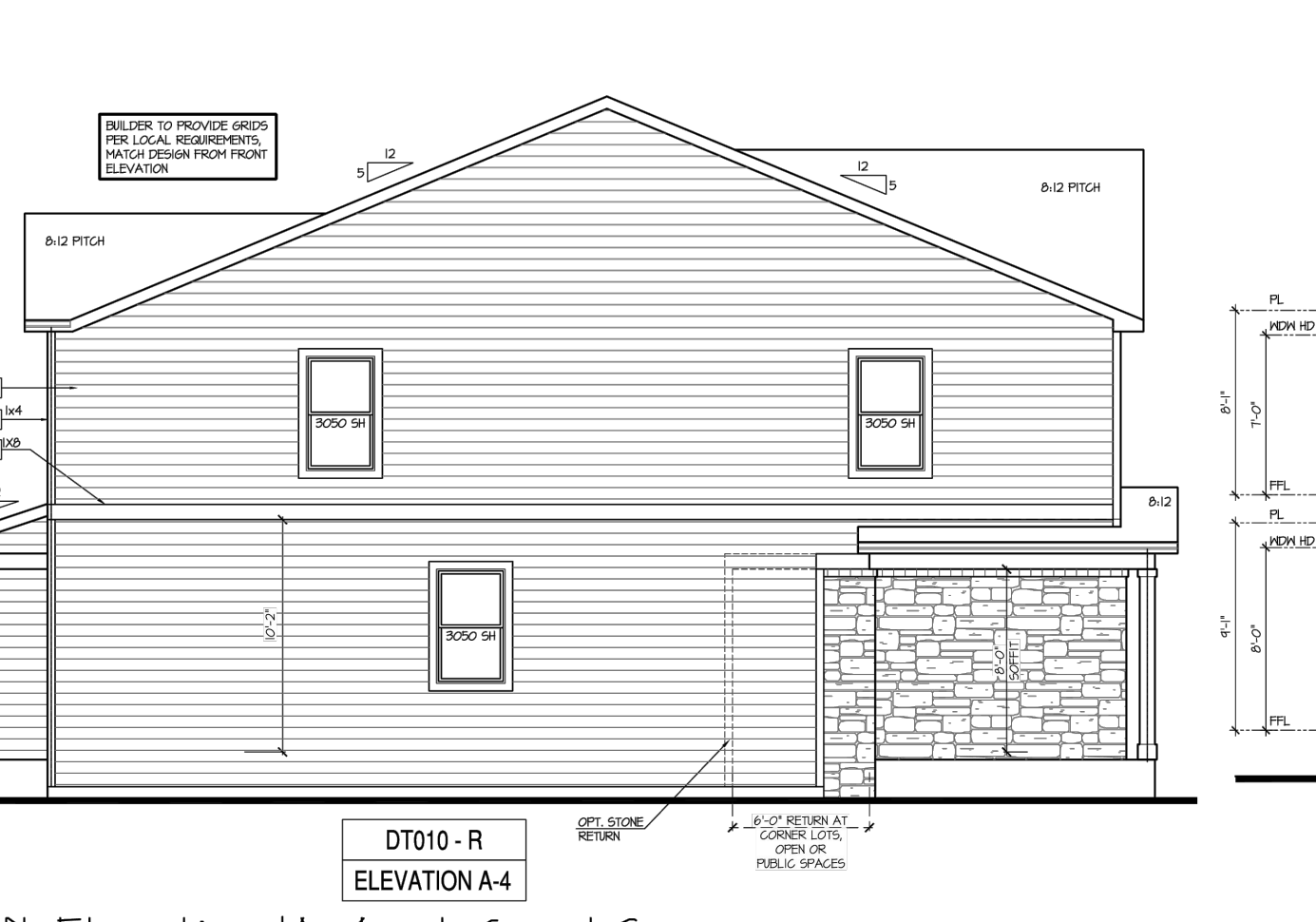
Right Elevation 'D-4' at Crawl Space



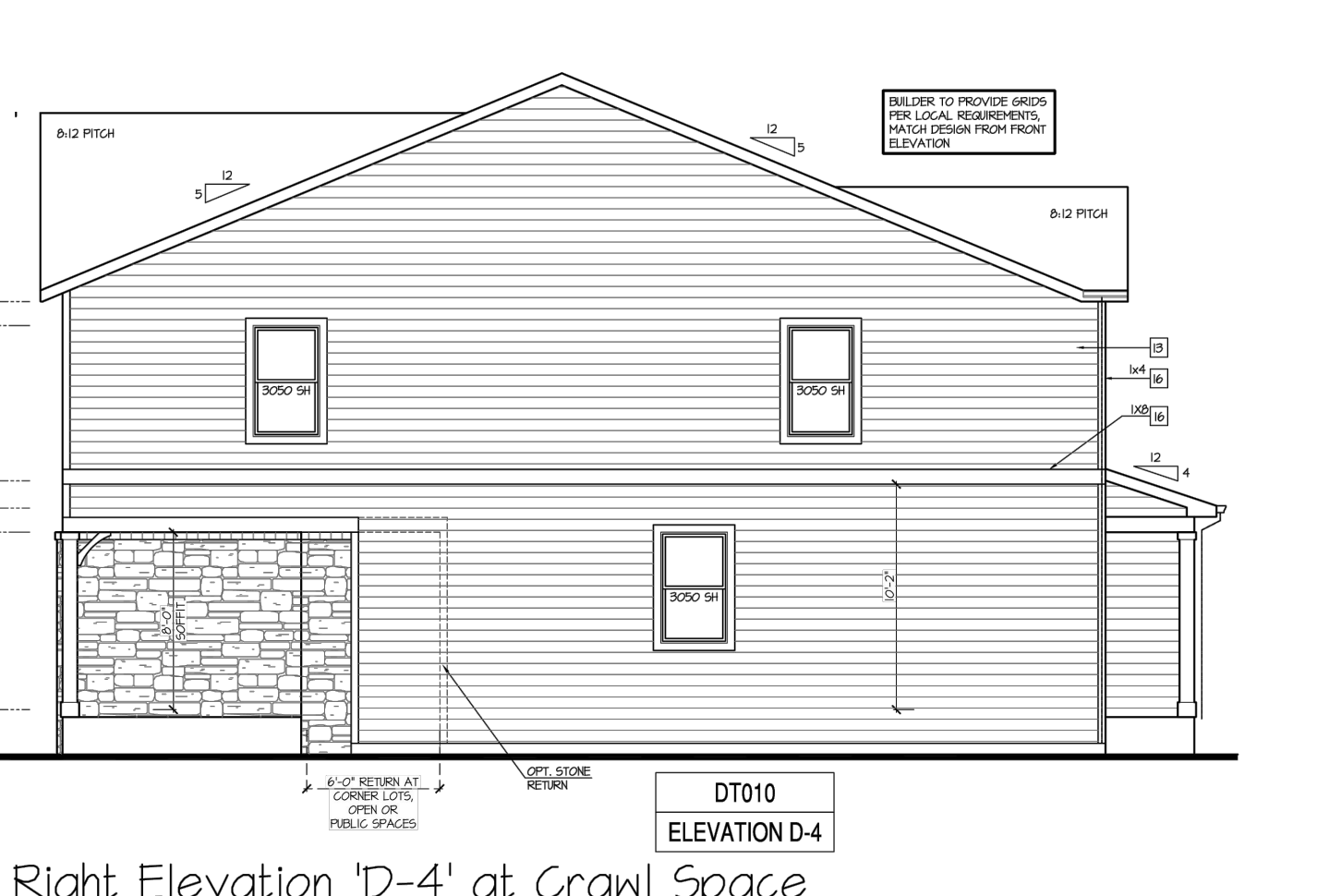
Rear Elevation - Building Type (DT010 + DT010) 'A'/D' at Crawl Space



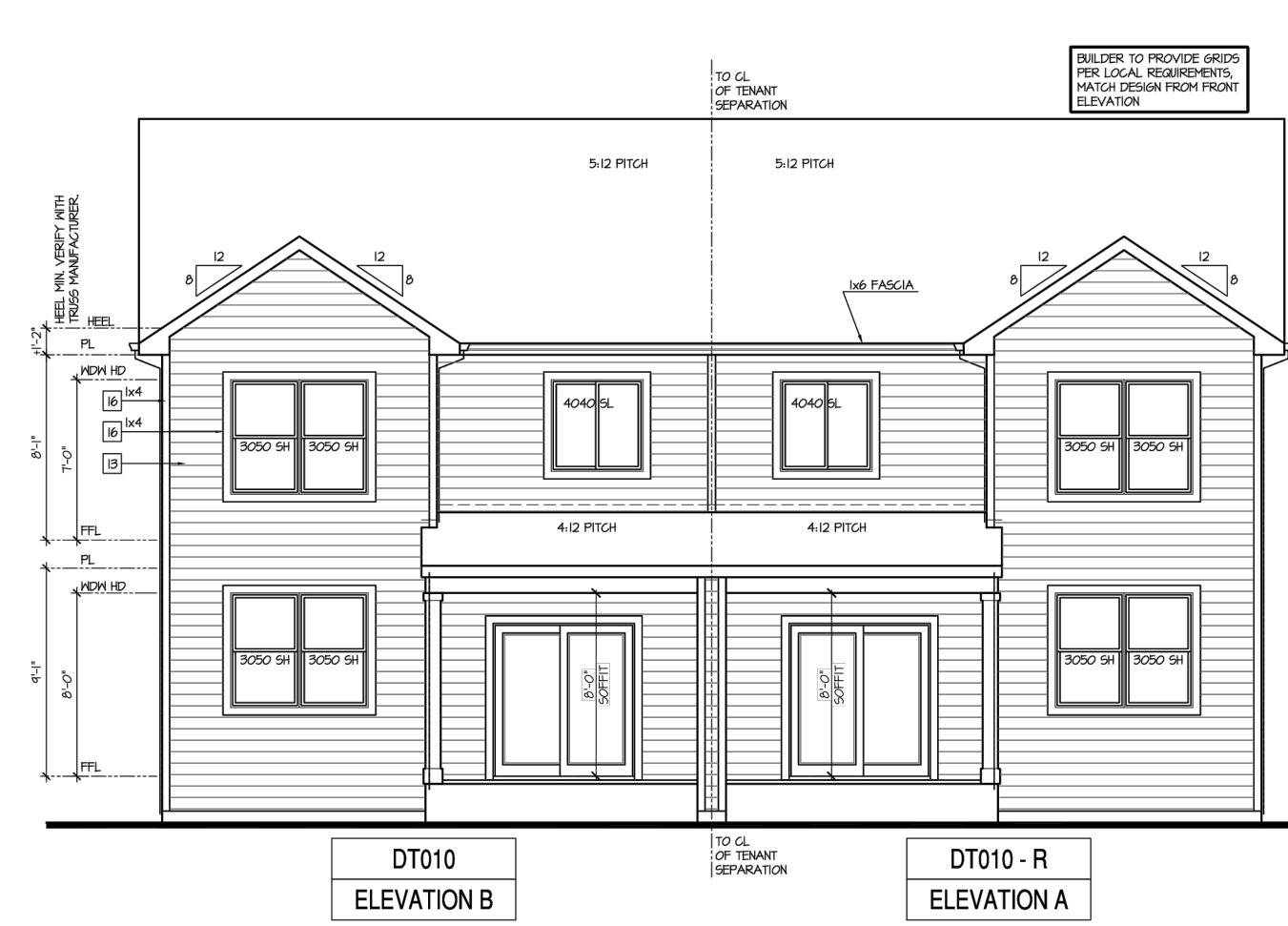
Front Elevation - Building Type (DT010 + DT010) 'A-4'/D-4' at Crawl Space



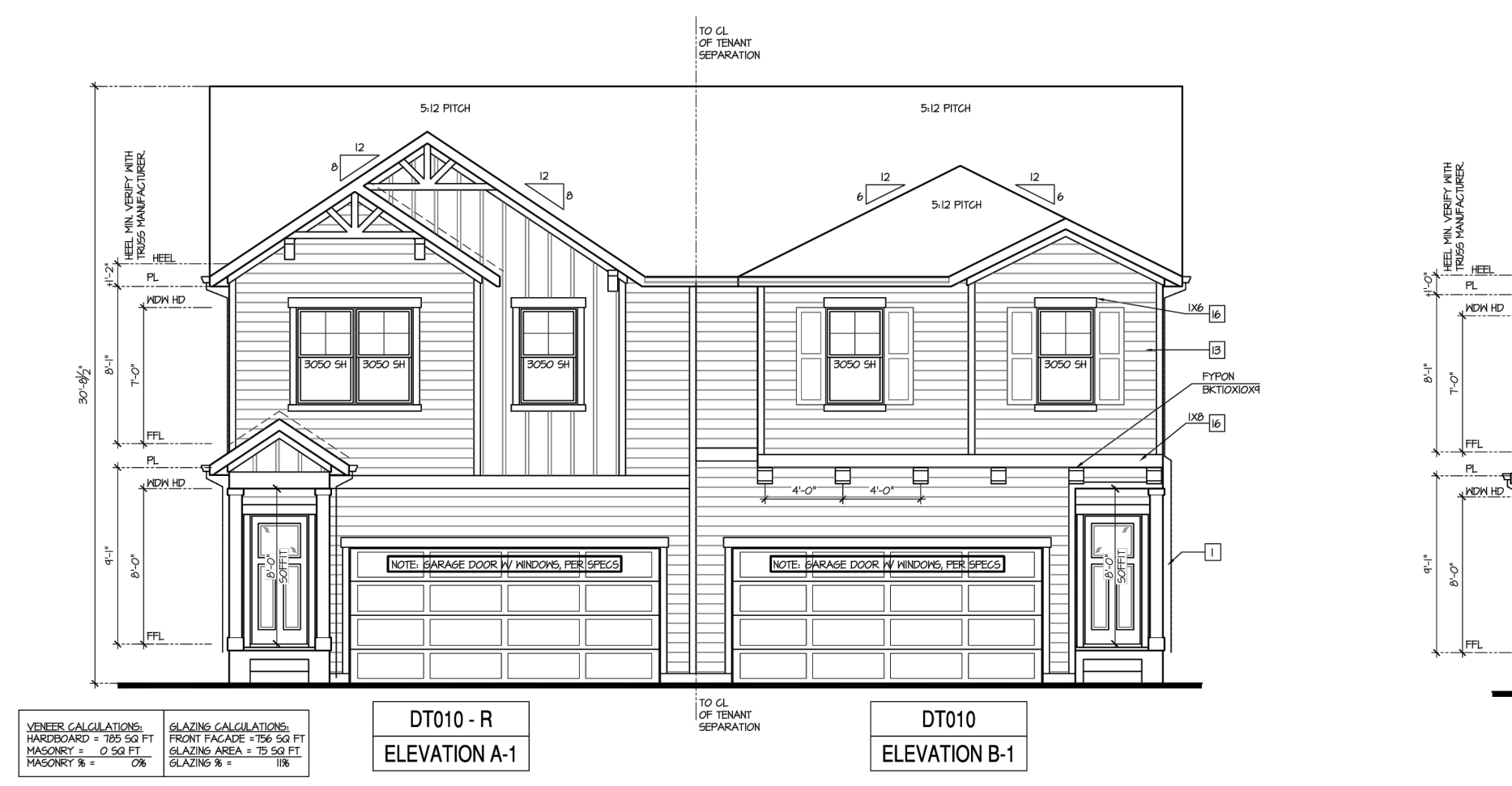
Left Elevation 'A-4' at Crawl Space



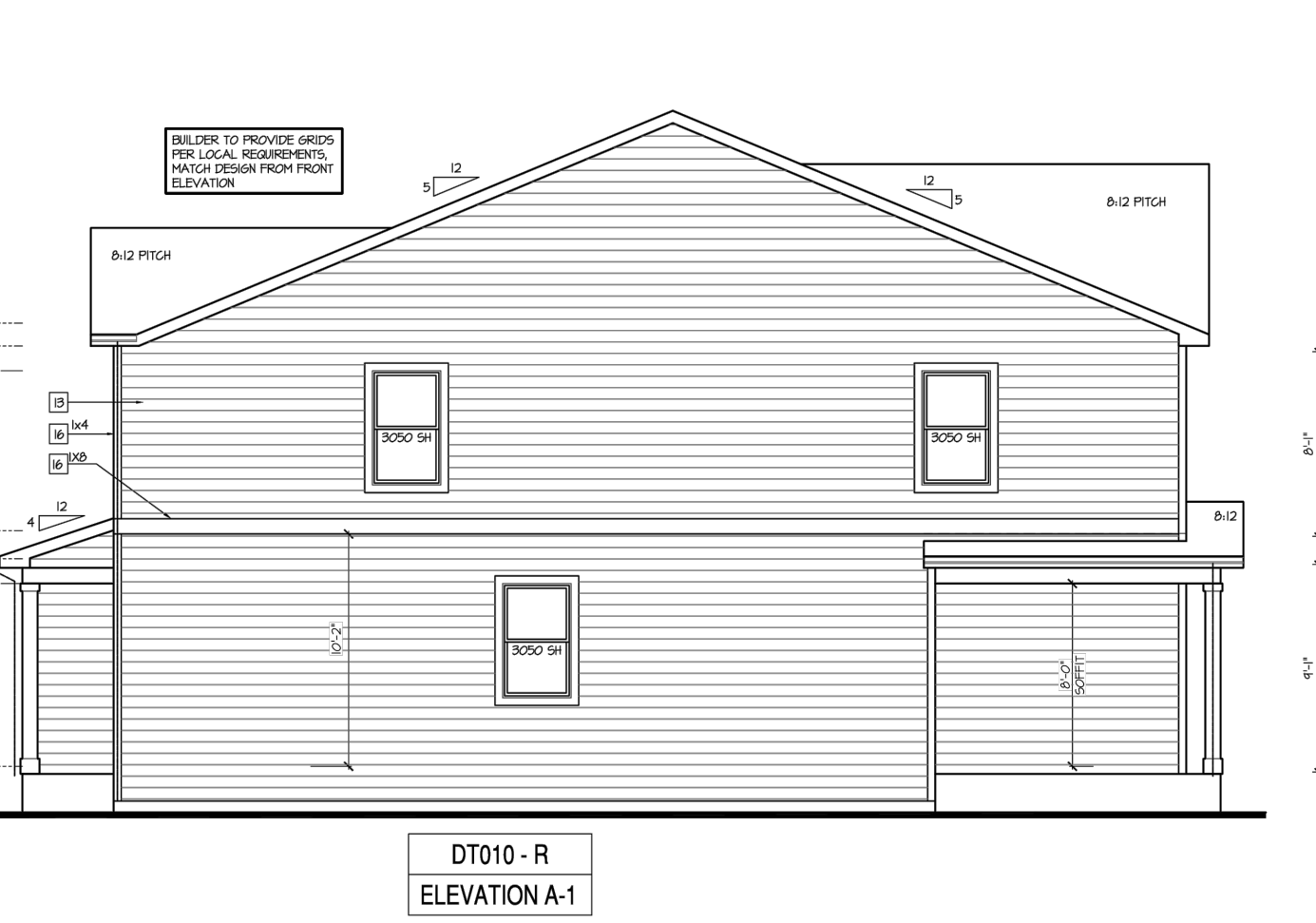
Right Elevation 'D-4' at Crawl Space



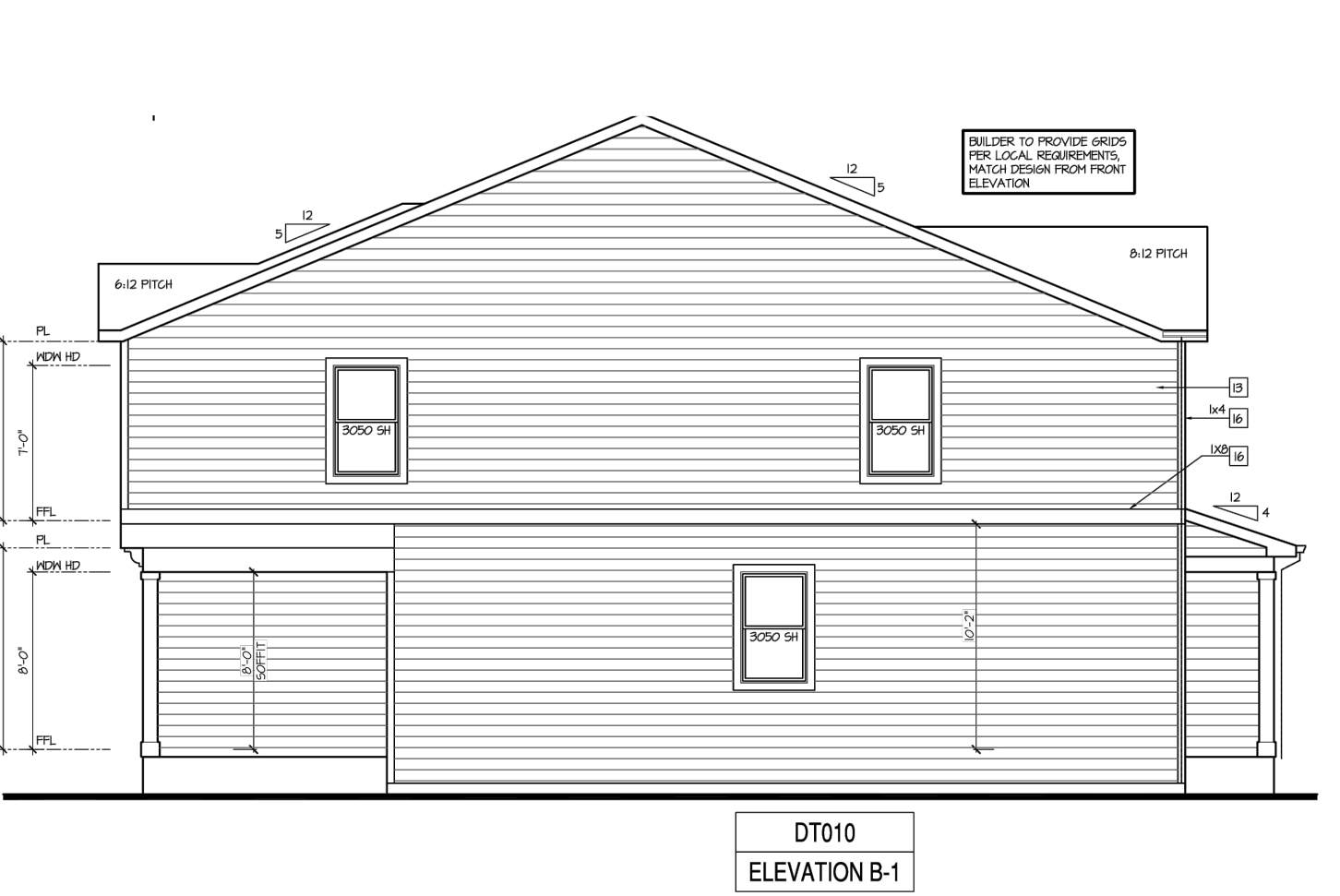
Rear Elevation - Building Type (DT010 + DT010) 'A'/B' at Crawl Space



Front Elevation - Building Type (DT010 + DT010) 'A-1'/B-1' at Crawl Space



Left Elevation 'A-1' at Crawl Space



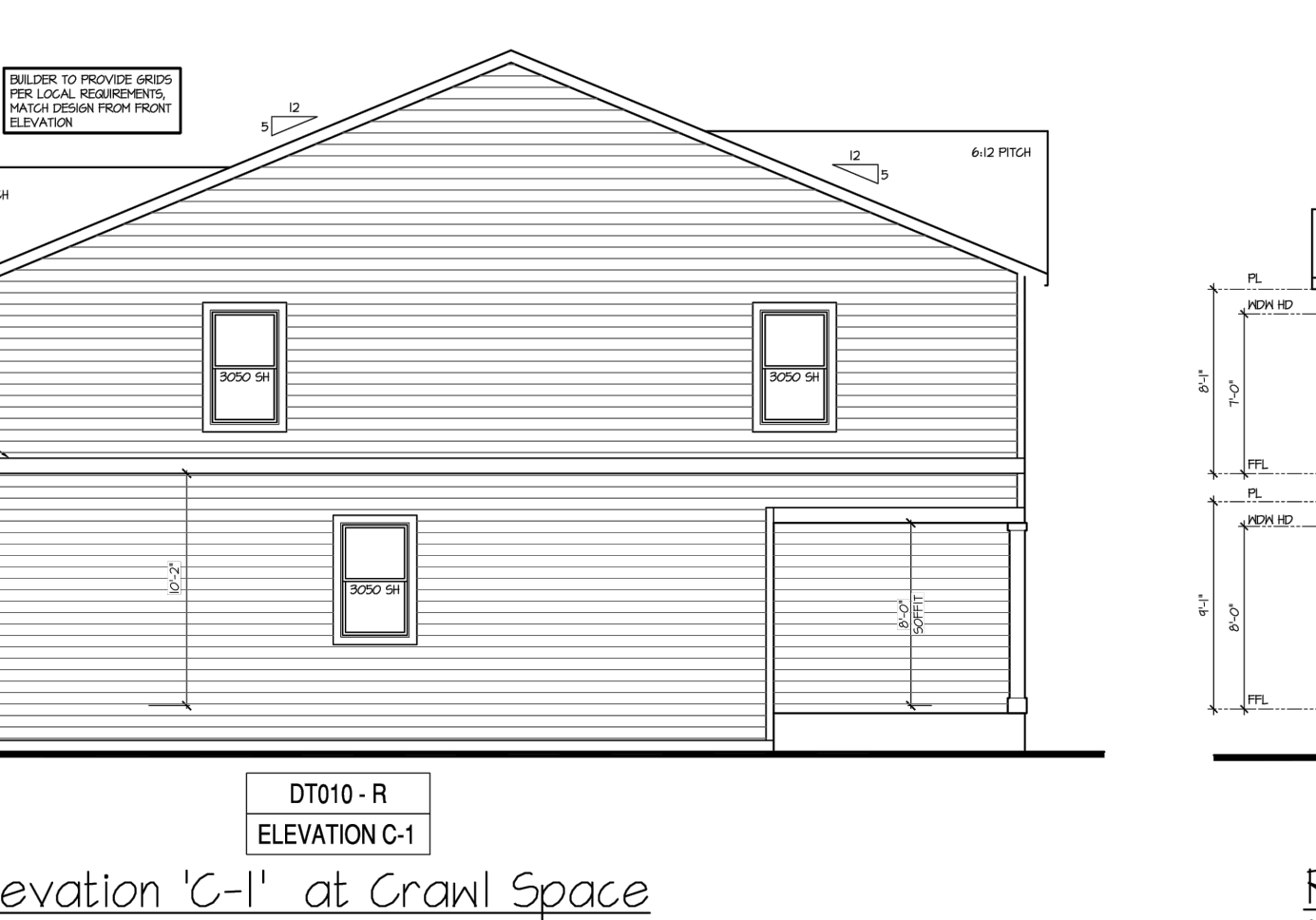
Right Elevation 'B-1' at Crawl Space



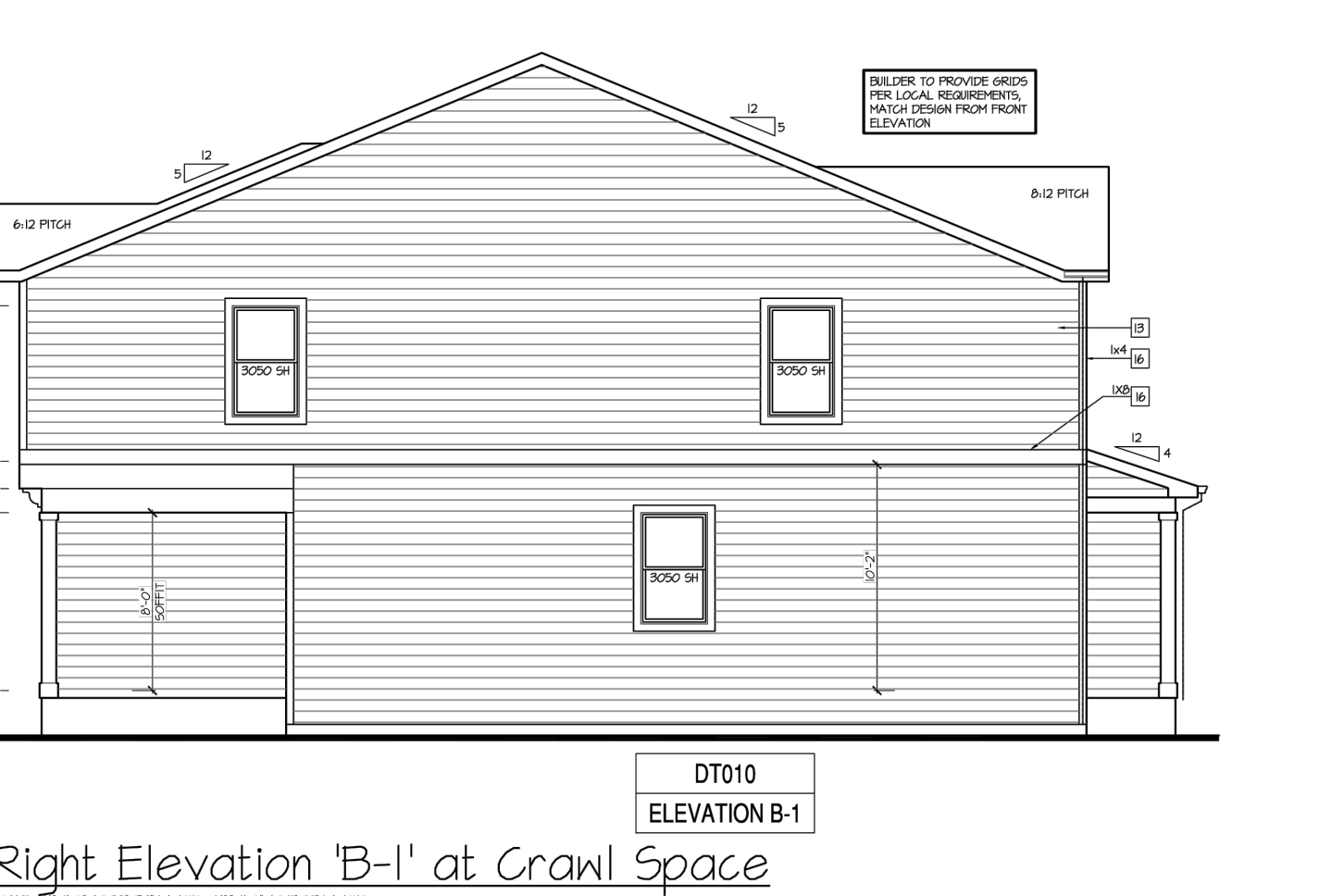
Rear Elevation - Building Type (DT010 + DT010) 'C'/B' at Crawl Space



Front Elevation - Building Type (DT010 + DT010) 'C-1'/B-1' at Crawl Space



Left Elevation 'C-1' at Crawl Space



Right Elevation 'B-1' at Crawl Space

DRAWN BY: AXB JOB DATE: 12/12/2023 BAR IS ONE INCH ON OFFICIAL DRAWINGS.
 APPROVED: KMH JOB NUMBER: 201662
 CAD DATE: 12/14/2023
 CAD FILE: J:\2020\201662\CAD\DWGS\CIPUD_Phase_2_662.202\IPE\Elevations_PUD

NO.	DATE	BY	REVISION DESCRIPTION

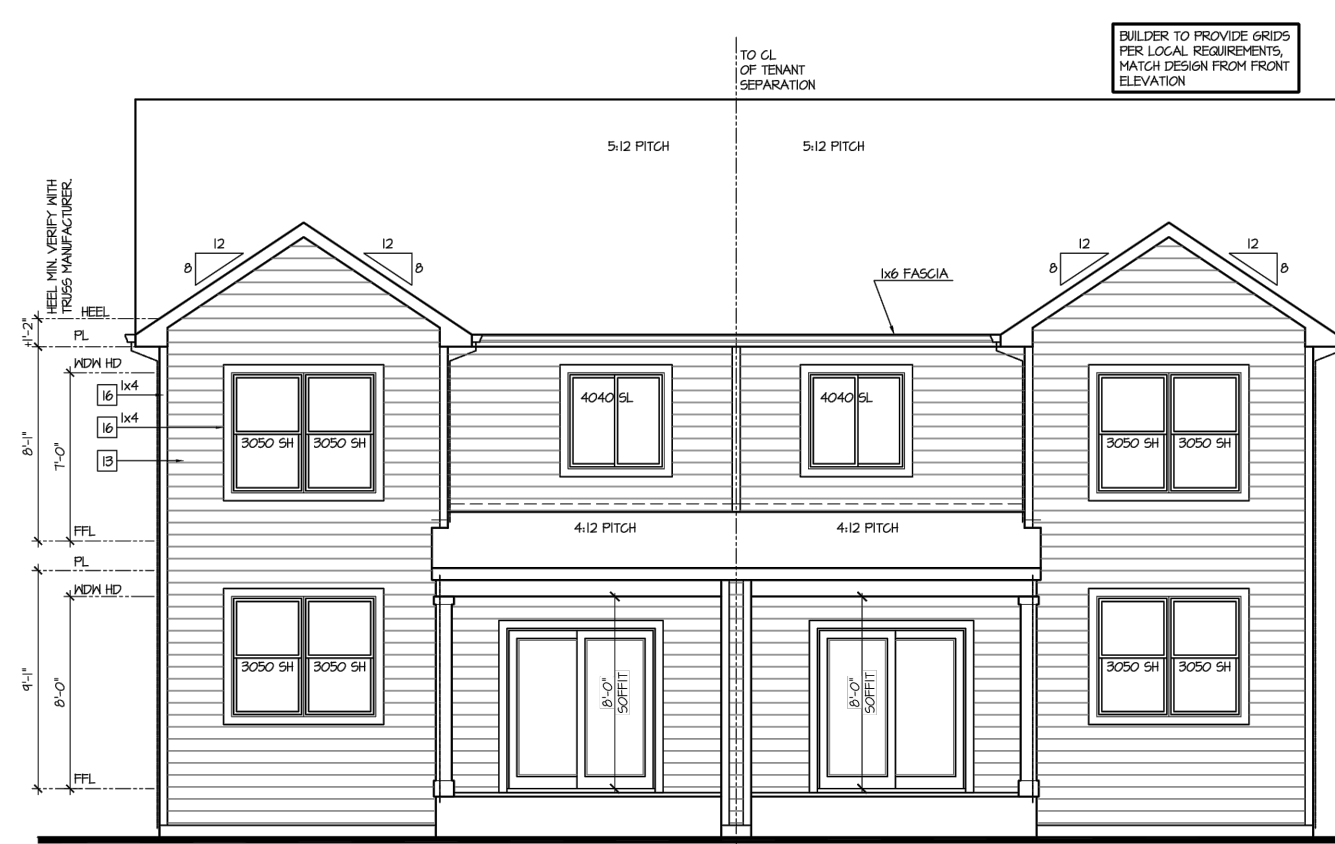
HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO



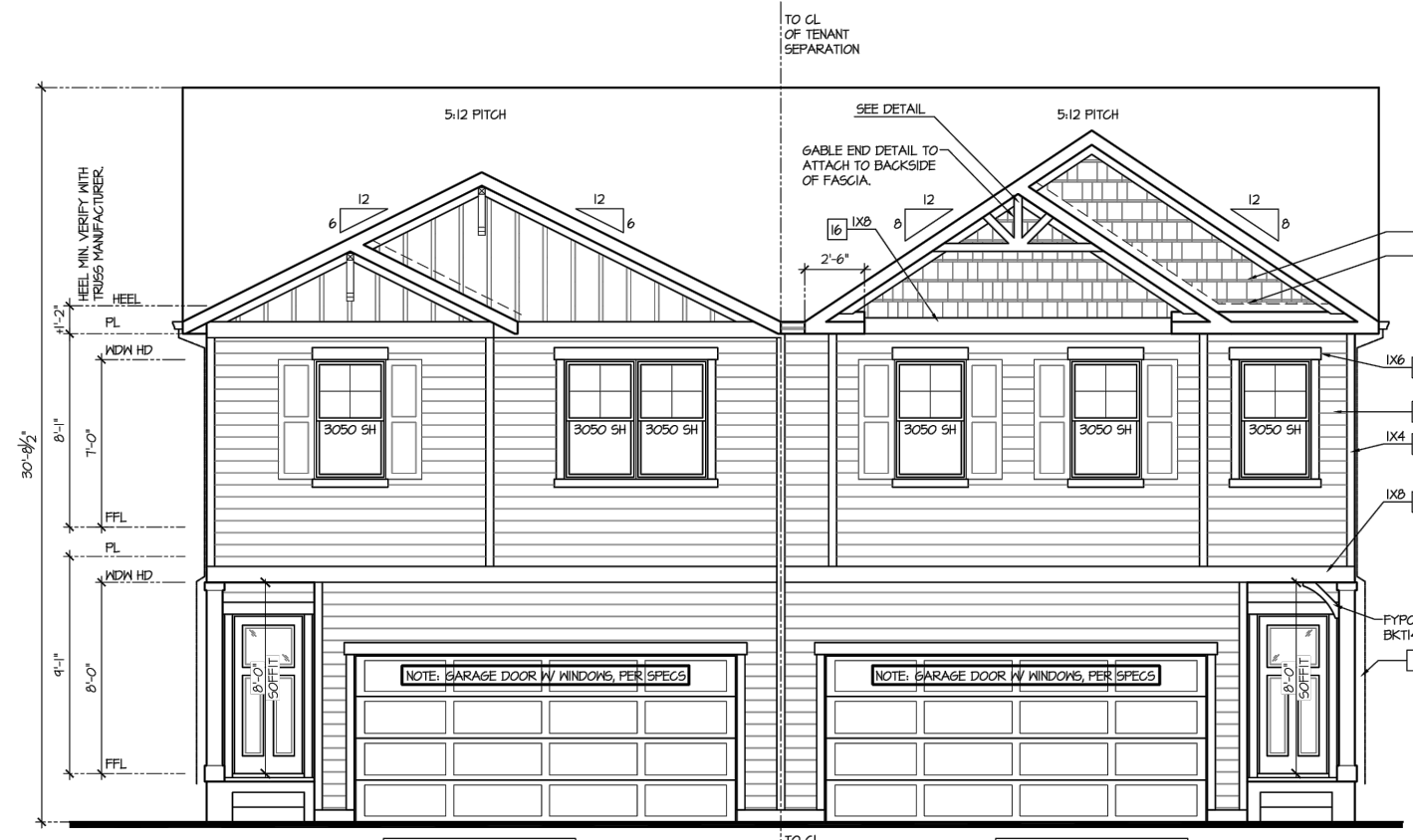
ELEVATIONS
 ELEVATIONS 1 OF 3
 SHEET

 04



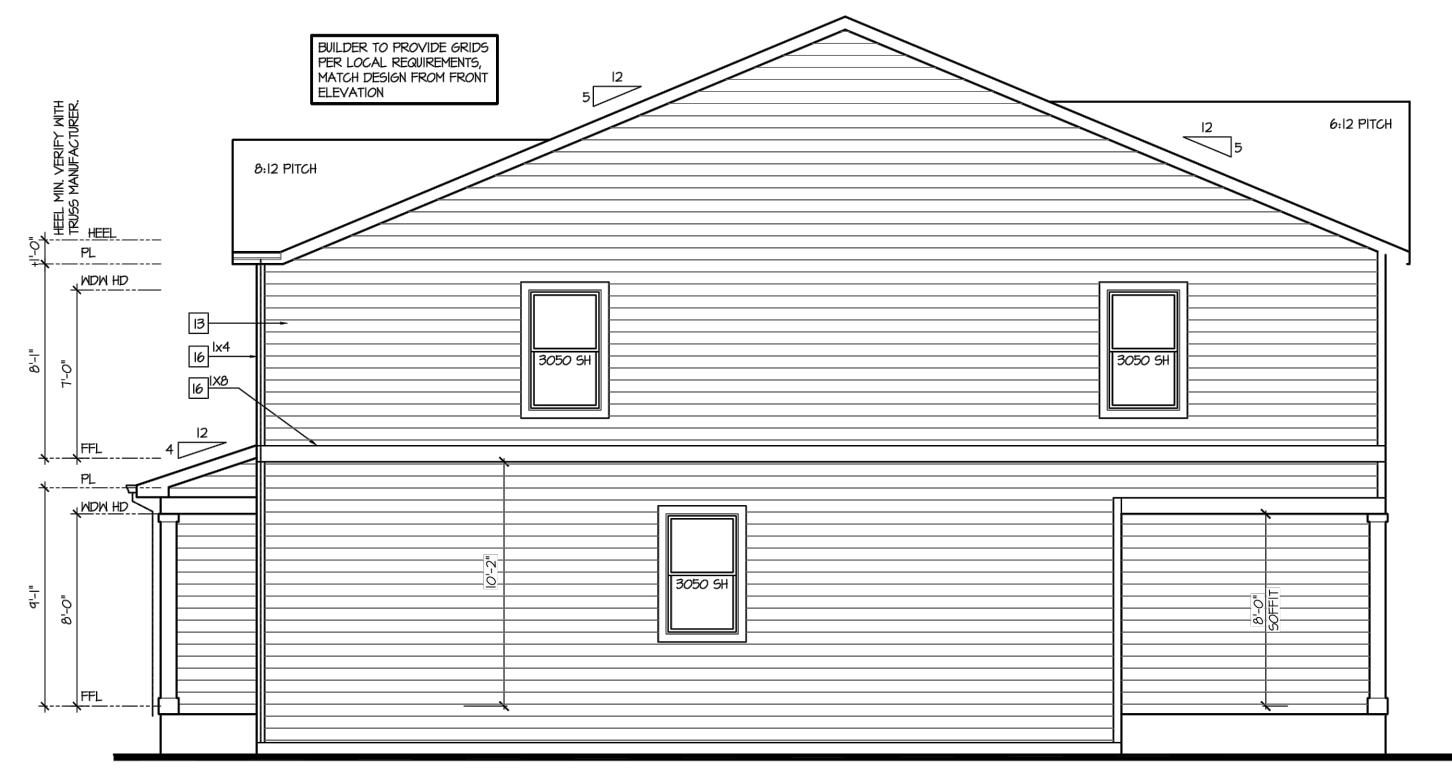
DT010 ELEVATION D DT010 - R ELEVATION C

Rear Elevation - Building Type (DT010 + DT010) 'C'/D' at Crawl Space



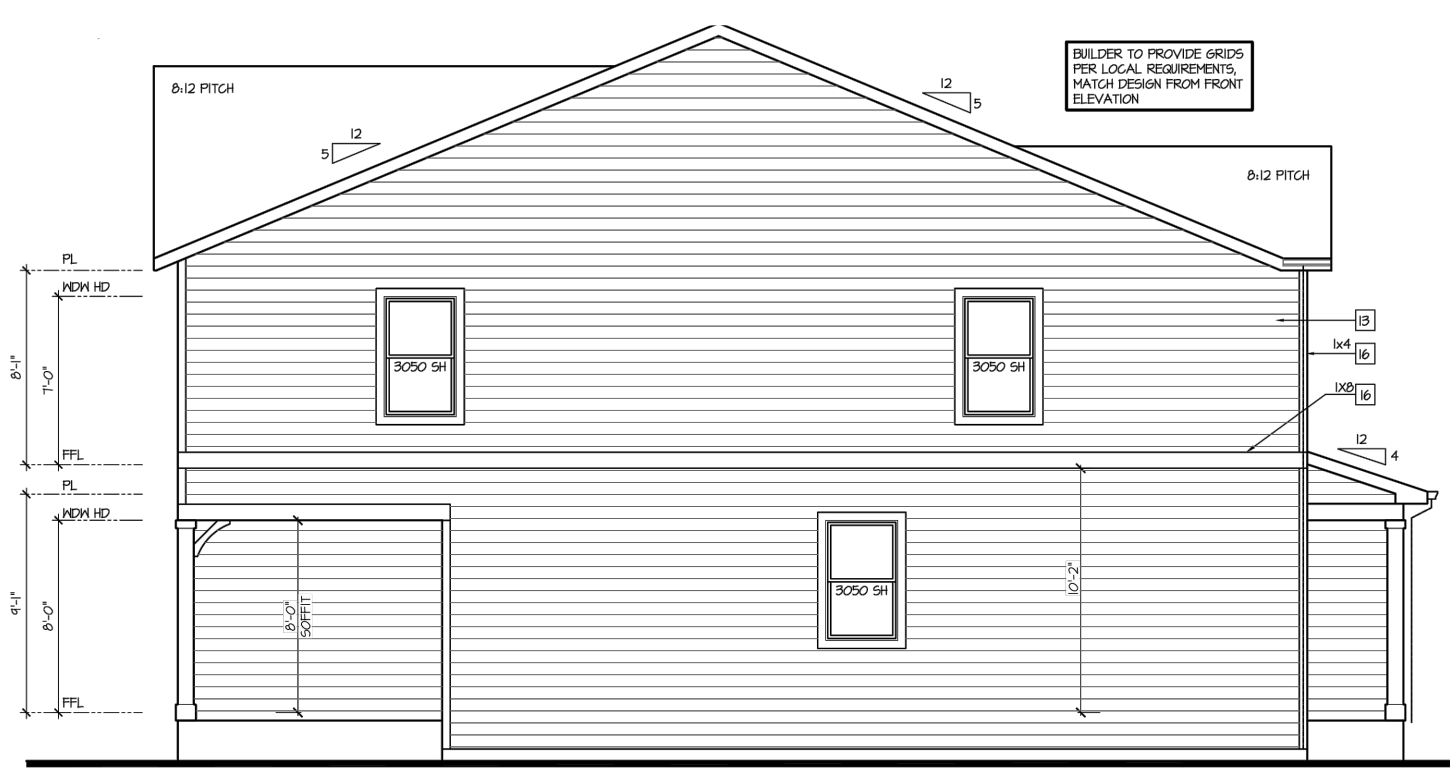
DT010 - R ELEVATION C-1 DT010 ELEVATION D-1

Front Elevation - Building Type (DT010 + DT010) 'C-1'/D-1' at Crawl Space



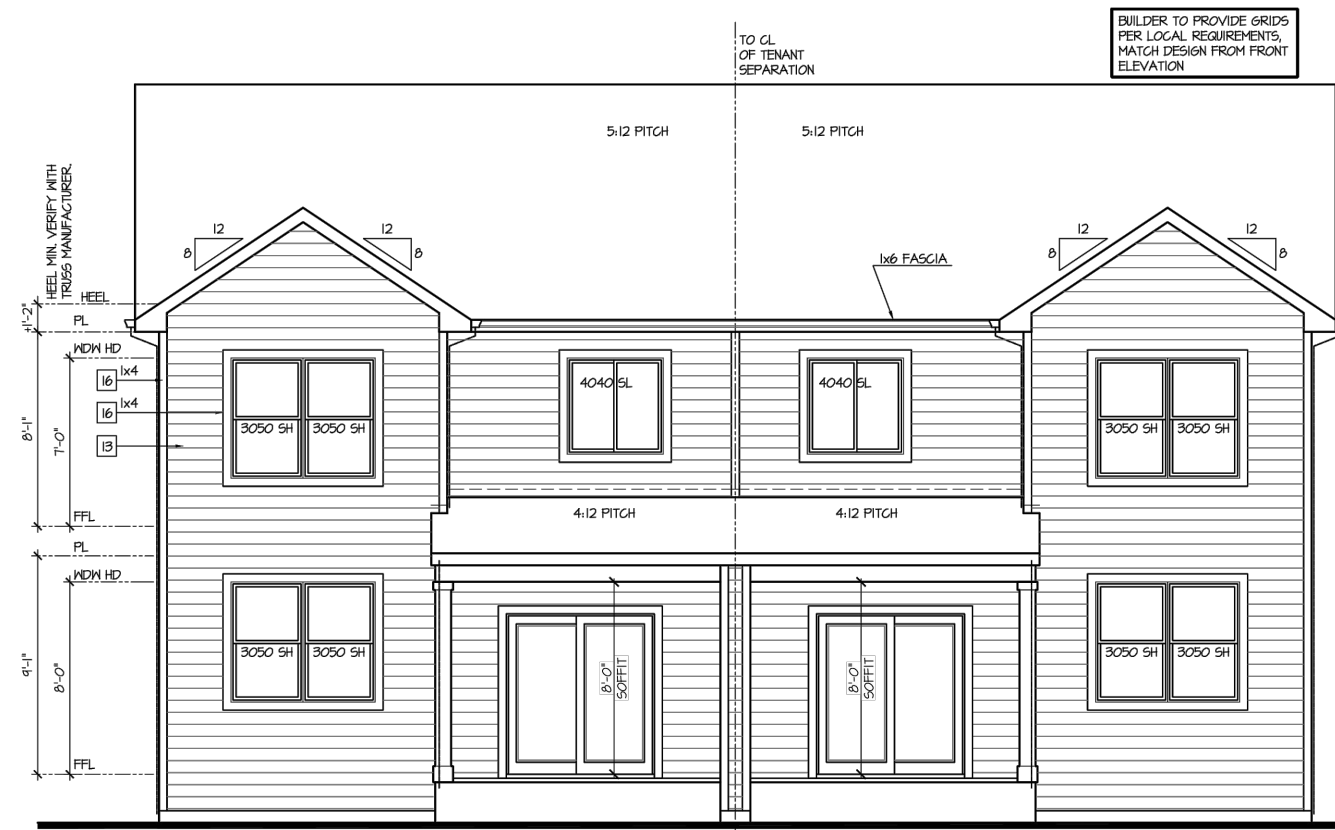
DT010 - R ELEVATION C-1

Left Elevation 'C-1' at Crawl Space



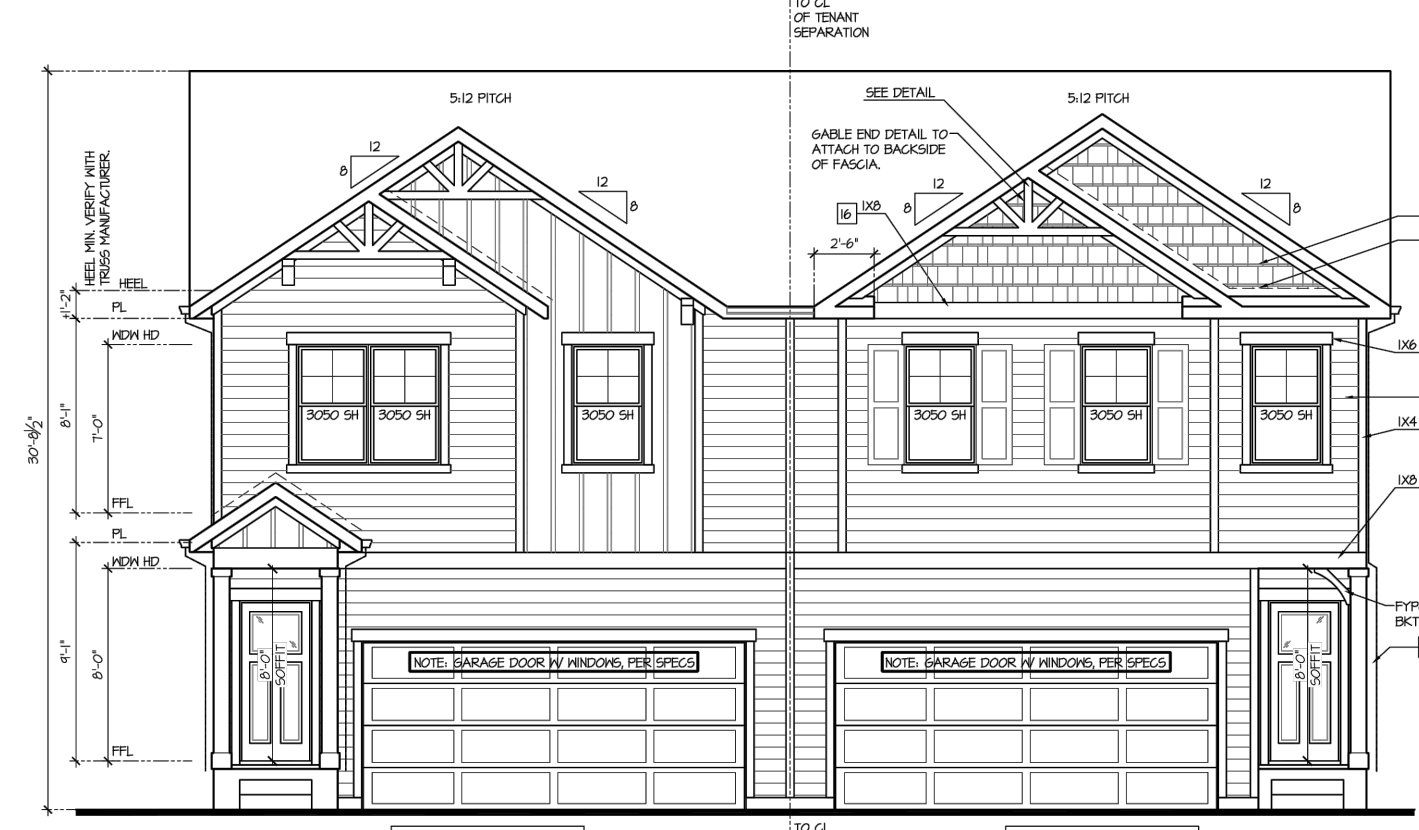
DT010 ELEVATION D-1

Right Elevation 'D-1' at Crawl Space



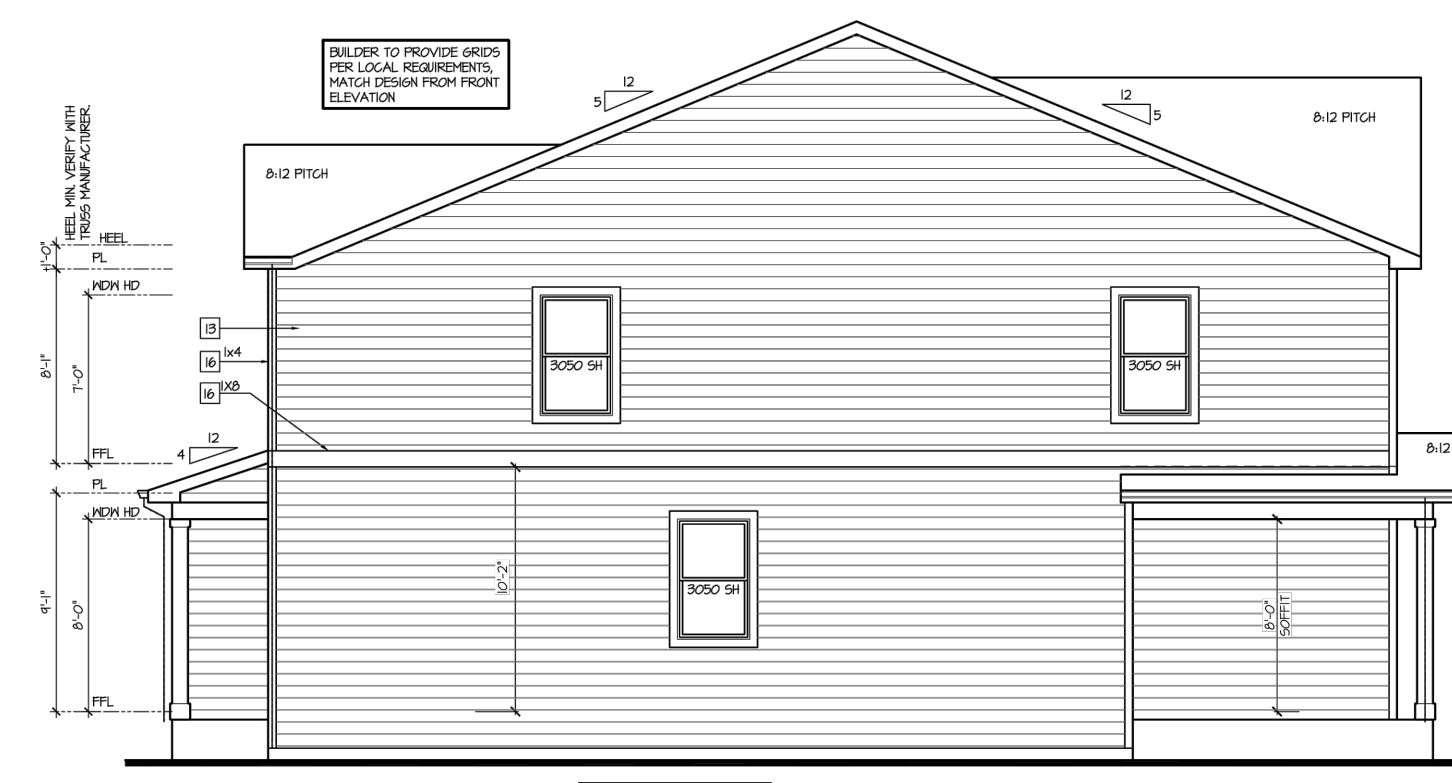
DT010 ELEVATION D DT010 - R ELEVATION A

Rear Elevation - Building Type (DT010 + DT010) 'A'/D' at Crawl Space



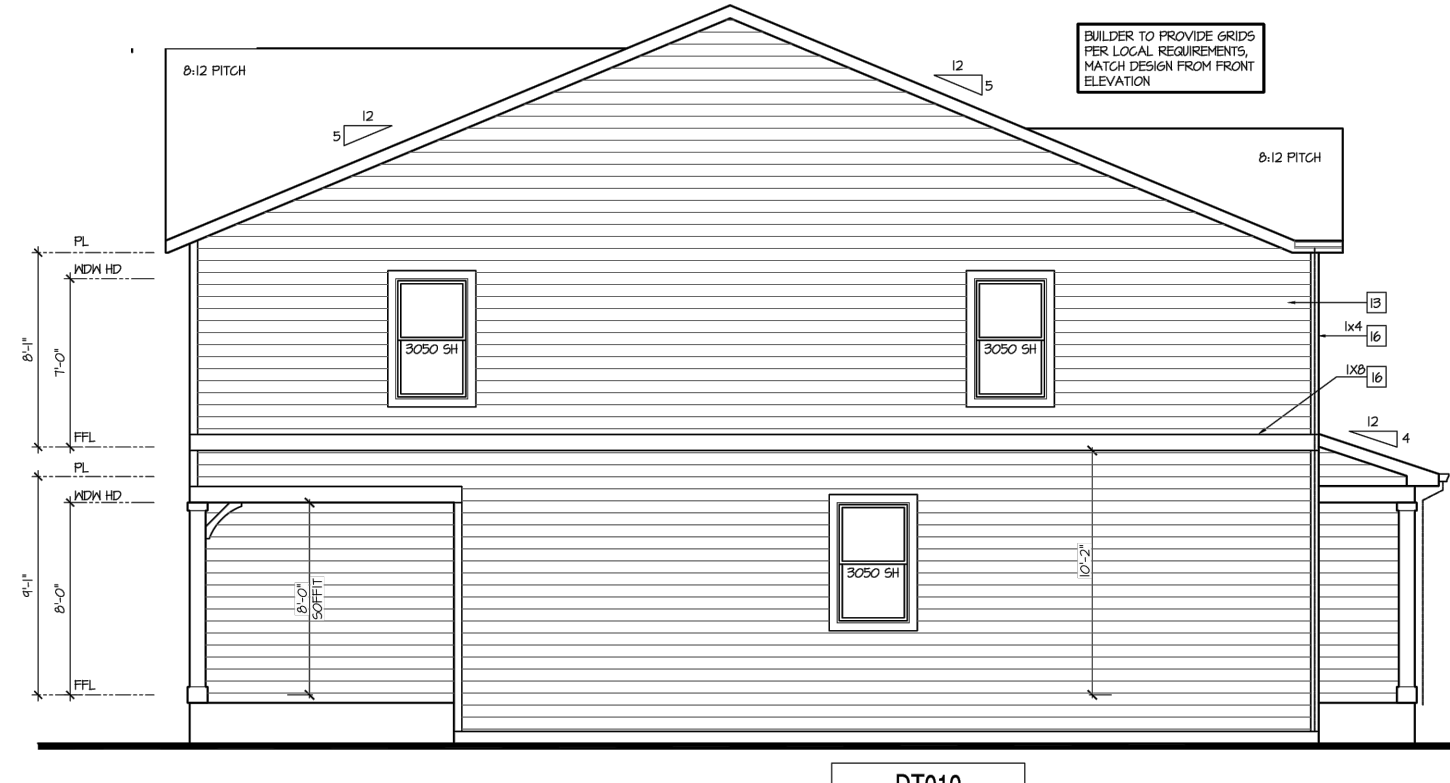
DT010 - R ELEVATION A-1 DT010 ELEVATION D-1

Front Elevation - Building Type (DT010 + DT010) 'A-1'/D-1' at Crawl Space



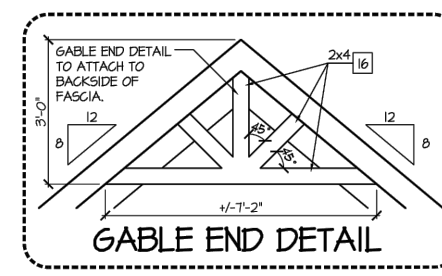
DT010 - R ELEVATION A-1

Left Elevation 'A-1' at Crawl Space



DT010 ELEVATION D-1

Right Elevation 'D-1' at Crawl Space



DRAWN BY: AXB	JOB DATE: 12/12/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201662	0 [] 1"
CAD DATE: 12/14/2023		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.2021\PUDElevations_PUD		

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 719.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO

D-R-HORTON
America's Builder

ELEVATIONS
 ELEVATIONS 3 OF 3

SHEET
 EL

06

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIM

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



P	1,394	0.03	P	P						X	X			GVRMD
Q	2,962	0.07	P	P						X	X			GVRMD
R	3,138	0.07	P	P						X	X			GVRMD
S	6,674	0.15	P	P						X	X			GVRMD
T	68,182	1.57	P	P						X	X			GVRMD
U	65,626	1.51	P	P		X	X			X	X			GVRMD
V	39,998	0.92	P	P		X	X			X	X			GVRMD
W	5,098	0.12	P	P						X	X			GVRMD
X	54,325	1.25	P	P						X	X			GVRMD
Y	10,982	0.25	P	P						X	X			GVRMD
Z	8,496	0.20	P	P						X	X			GVRMD
AA	93,981	2.16	P	P						X	X	X		GVRMD
AB	1,014	0.02	P	P						X	X			GVRMD
AC	12,883	0.30	P	P			X			X	X			GVRMD
AD	65,147	1.50	P	P		X	X			X	X			GVRMD
AE	35,226	0.81	P	P				X		X	X			GVRMD
AF	5,968	0.14	P	P				X		X	X			GVRMD
AG	28,576	0.66	P	P						X	X			GVRMD
AH	33,196	0.76	P	P		X	X			X	X			GVRMD
TOTAL	859,709	19.74						4.00	0.90	1.73				

X = ALLOWED USE
P = ALLOWED USE WHERE EASEMENTS DEDICATED
GVRMD = GRANDVIEW RESERVE METROPOLITAN DISTRICT

TRACT	AREA (SF)	ACREAGE (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PUBLIC DRAINAGE	PEDESTRIAN ACCESS	LANDSCAPING	PARK	SIGNAGE	MAINTENANCE	OWNERSHIP
A	108,564	2.49	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
B	34,883	0.80	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
C	1,280	0.03	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
D	11,339	0.26	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
E	1,590	0.04	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
F	10,632	0.24	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
G	3,891	0.09	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
H	4,177	0.10	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
I	2,558	0.06	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
J	44,258	1.02	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
K	28,713	0.66	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
L	13,987	0.32	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
M	40,566	0.93	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
N	1,280	0.03	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
O	42,778	0.98	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
P	1,394	0.03	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
Q	2,962	0.07	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
R	3,138	0.07	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
S	6,674	0.15	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
T	68,182	1.57	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
U	65,626	1.51	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
V	39,998	0.92	X	X	X	X	X	X	X	HOA or GVRMD	HOA or GVRMD
W	5,098	0.12	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
X	54,325	1.25	X	X	X	X	X	X	X	HOA or GVRMD	HOA or GVRMD
Y	10,982	0.25	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
Z	8,496	0.20	X	X	X	X	X		X	HOA or GVRMD	HOA or GVRMD
AA	93,981	2.16	X	X	X	X	X	X	X	HOA or GVRMD	HOA or GVRMD
AB	148,813	3.42	X	X	X	X	X	X	X	HOA or GVRMD	HOA or GVRMD
TOTAL	860,165	19.75									

HOA = HOME OWNERS ASSOCIATION
P = WHERE EASEMENTS DEDICATED
GVRMD = GRANDVIEW RESERVE METROPOLITAN DISTRICT

which area is single-family duplex and single family townhome?

this is not openspace nor park if there are structures roads etc

Label all easements - existing and proposed. ADDRESSED.

Add road names so they are legible when printed for recording Label Detention, utility, park tracts, openspace, parking. ADDRESSED.

The table as written is a catch all- please specially identify which tract is openspace, park usable and what is to be actually used for utilities and which is to be used for detention; this is not helpful to identify usable openspace and just open lands... No we do not want full public access in areas that are specific for water or wastewater or detention

please determine which entity is to maintain and own this the preliminary plan

HRG RESPONSE: Legend added, separate grey only for contrast to help differentiate separate tracts.

HR GREEN RESPONSE: ADDRESSED. TRACTS DESIGNATED AS WHAT IT IS DEDICATED FOR AND WHAT IS PRESENT IN THE TRACT.

legend for different hatching/color

Are there lift stations, tanks, pump stations here? where are they? Please label as utility tract. These are not open to public and they are not openspace. The drainage ponds are not public (County owned). Tracts designated for parking need to state that use...and parking lot should be drawn on them.

DISCUSS WITH COUNTY

provide calcs for required open space, and required usable openspace...

north arrow, scale

ADDRESSED.

DRAWN BY: YOU JOB DATE: --- BAR IS ONE INCH ON OFFICIAL DRAWINGS.

APPROVED: KEN JOB NUMBER: 201662 0 1"

CAD DATE: 12/14/2023 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.2021\Tract_Plan_PUD

NO.	DATE	BY	REVISION DESCRIPTION

HR Green HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO

TRACT PLAN
TRACT PLAN

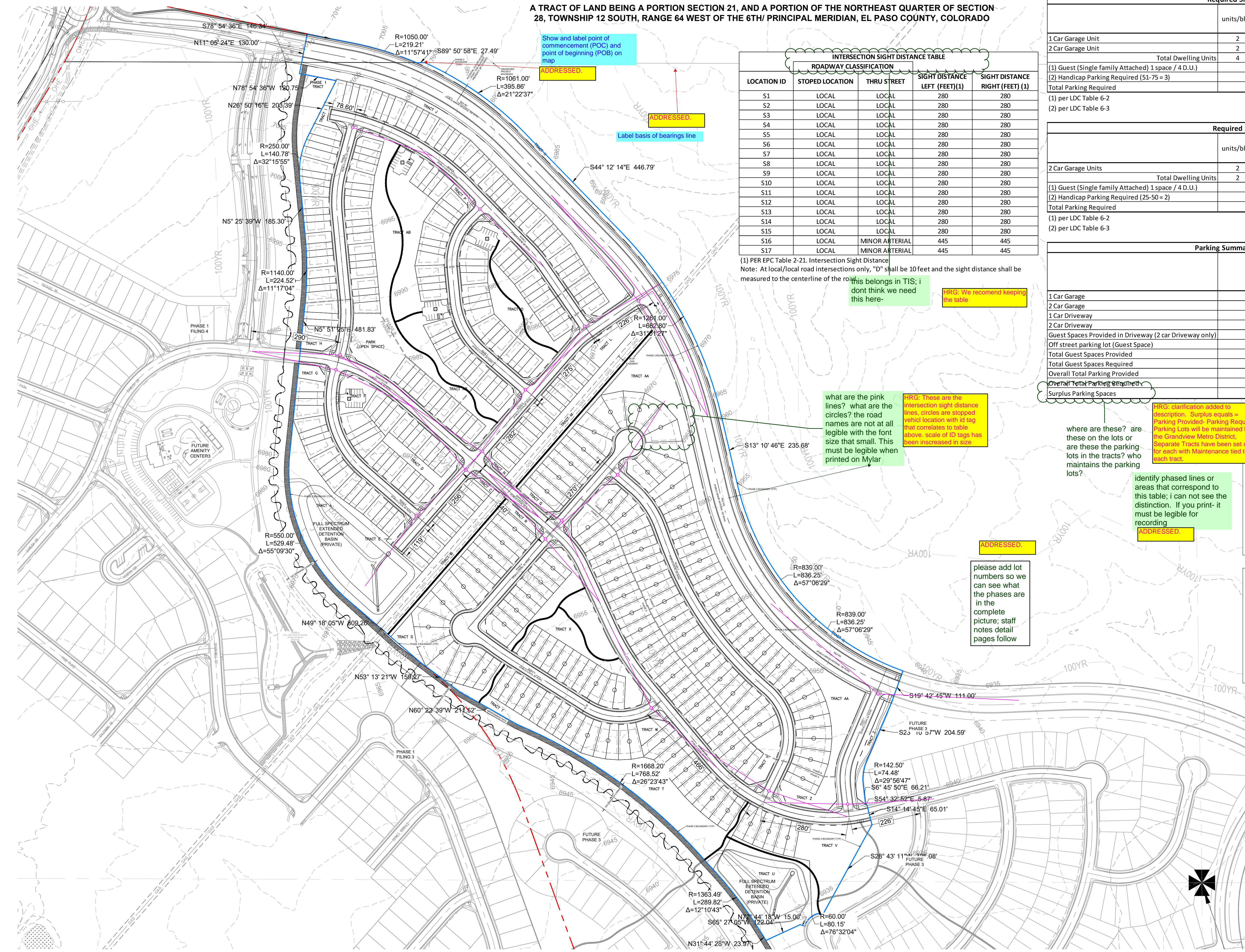
SHEET TP 07

HR GREEN Krens: xp1-saron.dwg01_P102_xc-row-602.202_xc-row-602.2021_xc-channel_xc-ow-f4_xc-dgn-P12

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

HRRG: Ken, 12/14/2023 5:58 PM
 HUH, KEN, 12/14/2023 5:58 PM
 HR GREEN: xpf: -saron.dh01_P102_PUD_vxrow.662, xc: -sdpn-002,08_Eastonville_Seg_3
 HRRG: Ken, 12/14/2023 5:58 PM
 HUH, KEN, 12/14/2023 5:58 PM
 HR GREEN: xpf: -saron.dh01_P102_PUD_vxrow.662, xc: -sdpn-002,08_Eastonville_Seg_3



Show and label point of commencement (POC) and point of beginning (POB) on map

ADDRESSED

ADDRESSED

Label basis of bearings line

INTERSECTION SIGHT DISTANCE TABLE

ROADWAY CLASSIFICATION			SIGHT DISTANCE	
LOCATION ID	STOPED LOCATION	THRU STREET	LEFT (FEET)(1)	RIGHT (FEET) (1)
S1	LOCAL	LOCAL	280	280
S2	LOCAL	LOCAL	280	280
S3	LOCAL	LOCAL	280	280
S4	LOCAL	LOCAL	280	280
S5	LOCAL	LOCAL	280	280
S6	LOCAL	LOCAL	280	280
S7	LOCAL	LOCAL	280	280
S8	LOCAL	LOCAL	280	280
S9	LOCAL	LOCAL	280	280
S10	LOCAL	LOCAL	280	280
S11	LOCAL	LOCAL	280	280
S12	LOCAL	LOCAL	280	280
S13	LOCAL	LOCAL	280	280
S14	LOCAL	LOCAL	280	280
S15	LOCAL	LOCAL	280	280
S16	LOCAL	MINOR ARTERIAL	445	445
S17	LOCAL	MINOR ARTERIAL	445	445

(1) PER EPC Table 2-21. Intersection Sight Distance
 Note: At local/local road intersections only, "D" shall be 10 feet and the sight distance shall be measured to the centerline of the road.

this belongs in TIS; i dont think we need this here-

HRRG: We recommend keeping the table

what are the pink lines? what are the circles? the road names are not at all legible with the font size that small. This must be legible when printed on Mylar

HRRG: These are the intersection sight distance lines, circles are stopped vehicle location with id tag that correlates to table above. scale of id tags has been increased in size

where are these? are these on the lots or are these the parking lots in the tracts? who maintains the parking lots?

identify phased lines or areas that correspond to this table; i can not see the distinction. If you print- it must be legible for recording

ADDRESSED

ADDRESSED
 please add lot numbers so we can see what the phases are in the complete picture; staff notes detail pages follow

*56 (4 unit buildings)

Required Site Parking (Townhomes)						
	units/bldg	# of units	Proposed Dwelling Units	(1) Required Parking Ratio per D.U.	Parking Spaces Required	Guest Spaces Required
1 Car Garage Unit	2	112	112	2	224	28
2 Car Garage Unit	2	112	112	2	224	28
Total Dwelling Units	4	224	224			
(1) Guest (Single family Attached) 1 space / 4 D.U.)				0.25		56
(2) Handicap Parking Required (51-75 = 3)						3
Total Parking Required					448	56
(1) per LDC Table 6-2						
(2) per LDC Table 6-3						
Overall Total Required						504

Required Site Parking (Duplexes)

	units/bldg	# of units	Proposed Dwelling Units	(1) Required Parking Ratio per D.U.	Parking Spaces Required	Guest Spaces Required
2 Car Garage Units	2	97	194	2	388	49
Total Dwelling Units	2	97	194			
(1) Guest (Single family Attached) 1 space / 4 D.U.)				0.25		49
(2) Handicap Parking Required (25-50 = 2)						2
Total Parking Required					388	49
(1) per LDC Table 6-2						
(2) per LDC Table 6-3						
Overall Total Required						437

Parking Summary (Duplexes & Townhomes)

	spaces/unit	# of units	Townhome provided spaces	# of units	Duplex provided spaces
1 Car Garage	1	112	112	0	0
2 Car Garage	2	112	224	194	388
1 Car Driveway	1	112	112	0	0
2 Car Driveway	2	112	224	194	388
Guest Spaces Provided in Driveway (2 car Driveway only)			112		194
Off street parking lot (Guest Space)			46		0
Total Guest Spaces Provided			158		194
Total Guest Spaces Required			56		49
Overall Total Parking Provided			718		776
Overall Total Parking Required			504		437
Surplus Parking Spaces			214		340

HRRG: clarification added to description. Surplus equals = Parking Provided- Parking Required. Parking Lots will be maintained by the Grandview Metro District. Separate Tracts have been set up for each with Maintenance tied to each tract

TOWNHOME AREA SUMMARY:
 26 - 4 UNIT BUILDINGS
 104 - DWELLING UNITS

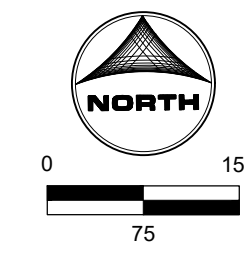
PHASE A:
 26 - 4 UNIT BUILDINGS
 104 - DWELLING UNITS

PHASE B:
 30 - 4 UNIT BUILDINGS
 120 - DWELLING UNITS

DUPLEX AREA SUMMARY:
 97 - DUPLEX BUILDINGS
 194 - DWELLING UNITS

PHASE A:
 110 - DWELLING UNITS

PHASE B:
 84 - DWELLING UNITS



ADDRESSED

DRAWN BY: YOU	JOB DATE: ----	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KEN	JOB NUMBER: 201662	0" = 1"
CAD DATE: 12/14/2023	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\DWG\CI\PU\Phase_2_662.202\Site_Plan_PUD		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO



SITE PLAN
 OVERALL SITE & PHASING PLAN

parking data **ADDRESSED**

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



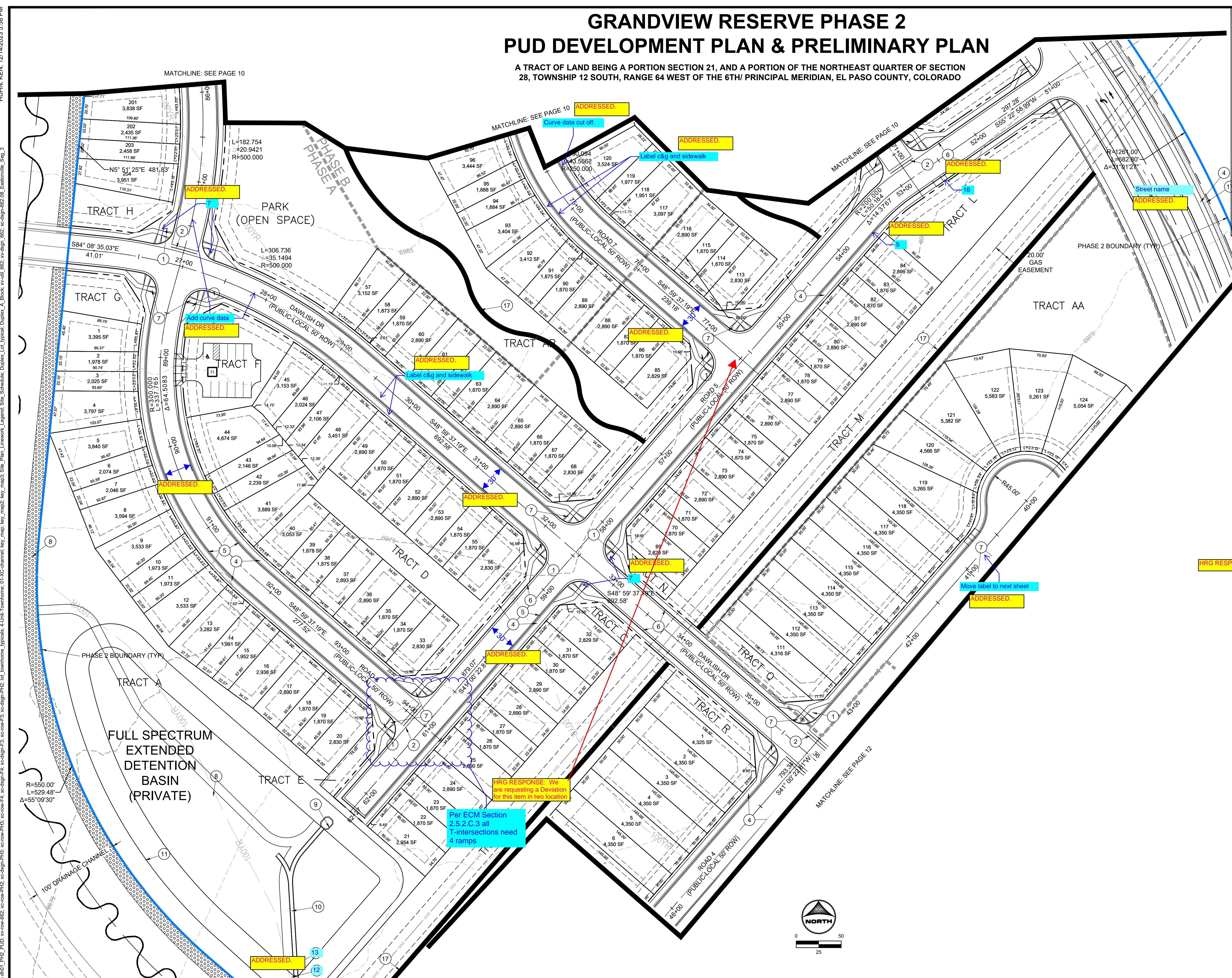
KEY MAP
SCALE: NTS

LINework LEGEND

- MATCH LINE
- PR Phase 2 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR ACCESS TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD
- PR PHASE LINE
- EX 100 YR FLOODPLAIN

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR TRAIL (WIDTH VARIES)



HRG RESPONSE

fencing symbols; wall symbols

HRG RESPONSE: We are requesting a Deviation for this item in two locations

Per ECM Section 2.5.2.C.3 all T-intersections need 4 ramps

HR GREEN - 12/14/2023 5:58 PM
HUHN, KEN - 12/14/2023 5:58 PM
HR GREEN: xref: saron.dwg, PH2, PH2, v: row-602, xc: dgm-002, 08, Eastonville, Seg_3
HR GREEN: xref: wgt: saron.dwg, PH2, PH2, v: row-602, xc: dgm-002, 08, Eastonville, Seg_3
HR GREEN: xref: wgt: saron.dwg, PH2, PH2, v: row-602, xc: dgm-002, 08, Eastonville, Seg_3

DRAWN BY: CBM JOB DATE: 12/14/2023
APPROVED: KMH JOB NUMBER: 201662
CAD DATE: 12/14/2023
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.2021\Site_Plan_PUD

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



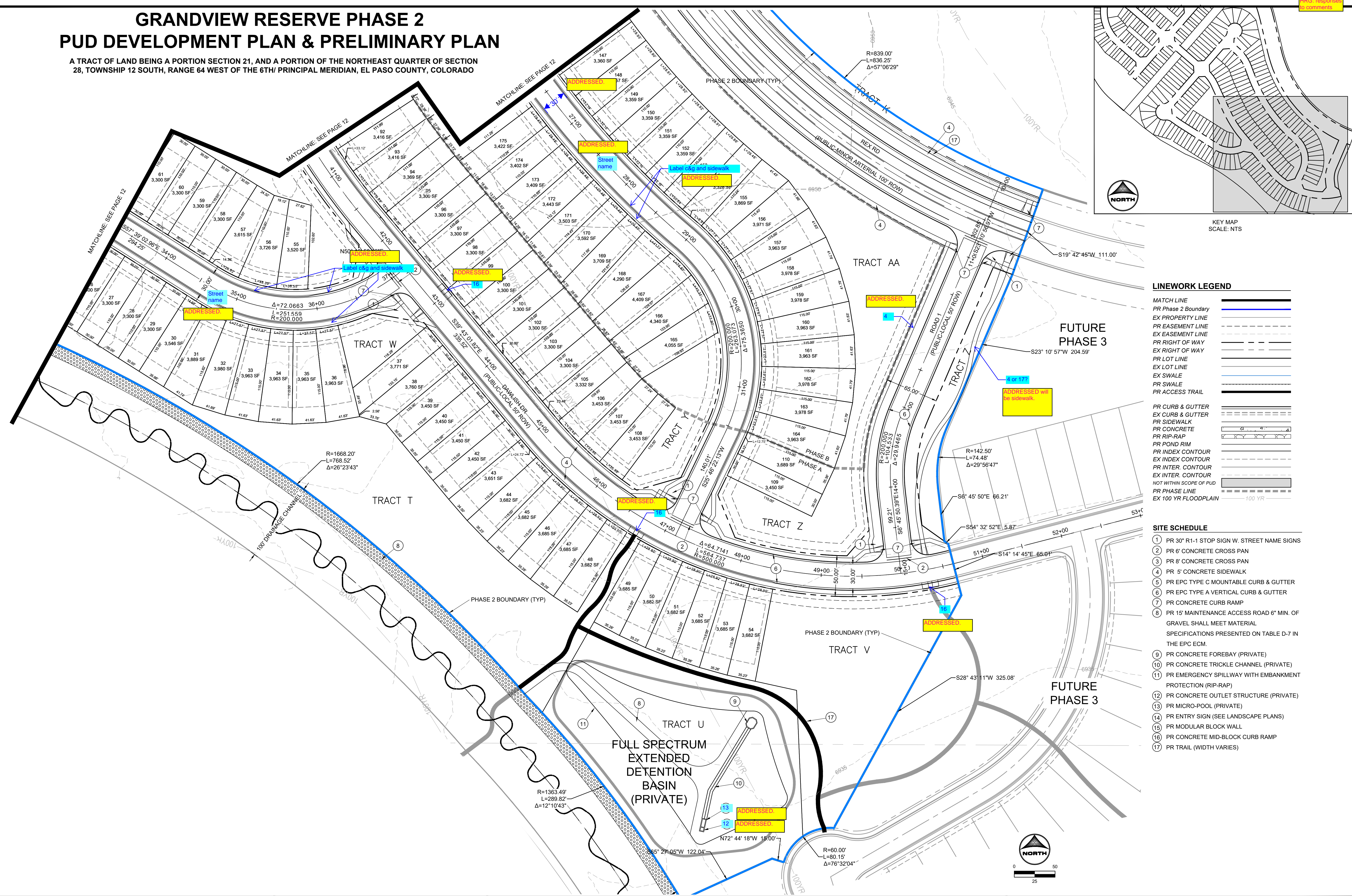
SITE PLAN
SITE PLAN- 2 OF 4
SHEET
SITE PLAN 11

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

HUHN, KEN, 12/14/2023 5:59 PM

PR: responses
to comments



KEY MAP
SCALE: NTS

LINWORK LEGEND

- MATCH LINE
- PR Phase 2 Boundary
- EX PROPERTY LINE
- PR EASEMENT LINE
- EX EASEMENT LINE
- PR RIGHT OF WAY
- EX RIGHT OF WAY
- PR LOT LINE
- EX LOT LINE
- EX SWALE
- PR SWALE
- PR ACCESS TRAIL
- PR CURB & GUTTER
- EX CURB & GUTTER
- PR SIDEWALK
- PR CONCRETE
- PR RIP-RAP
- PR POND RIM
- PR INDEX CONTOUR
- EX INDEX CONTOUR
- PR INTER. CONTOUR
- EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD
- PR PHASE LINE
- EX 100 YR FLOODPLAIN

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR TRAIL (WIDTH VARIES)

DRAWN BY: CBM JOB DATE: ---
 APPROVED: KMH JOB NUMBER: 201662
 CAD DATE: 12/14/2023
 CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.202\Site_Plan_PUD

NO.	DATE	BY	REVISION DESCRIPTION

HRGreen
 HR GREEN - COLORADO SPRINGS
 1975 RESEARCH PKWY SUITE 230
 COLORADO SPRINGS CO 80920
 PHONE: 719.300.4140
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
 D.R. HORTON
 EL PASO COUNTY, CO



SITE PLAN
 SITE PLAN- 4 OF 4

SHEET
 SP 13