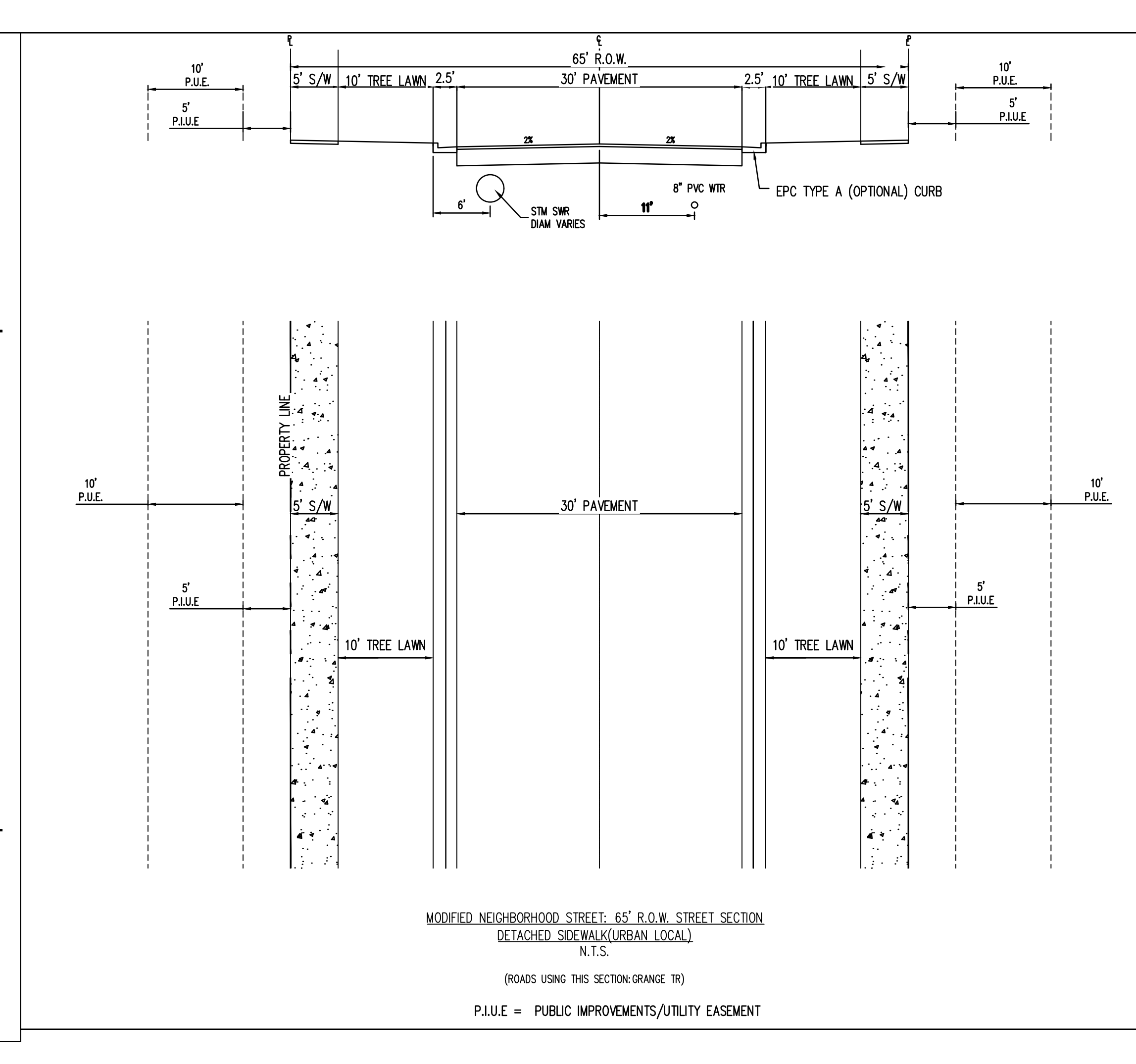
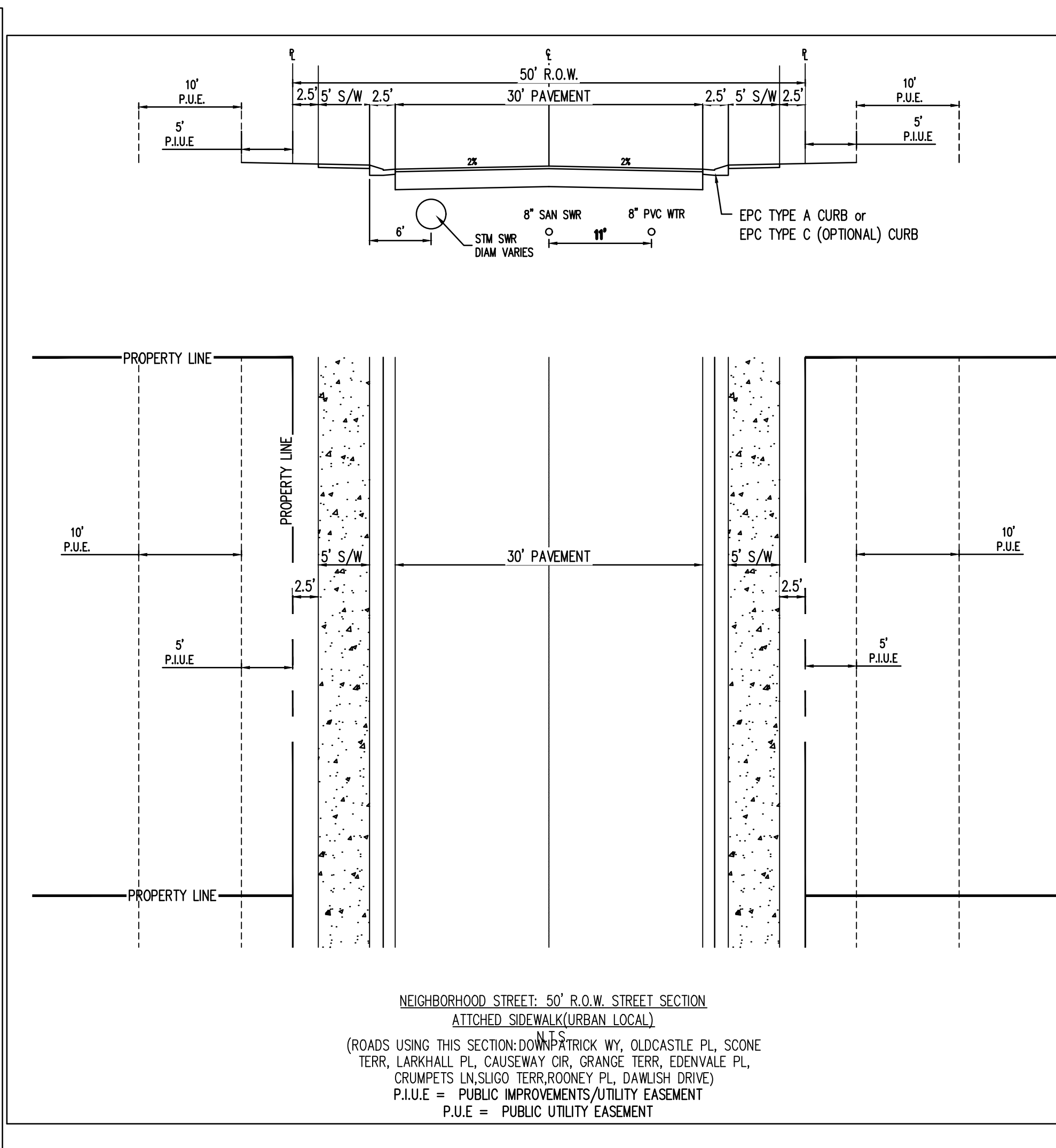
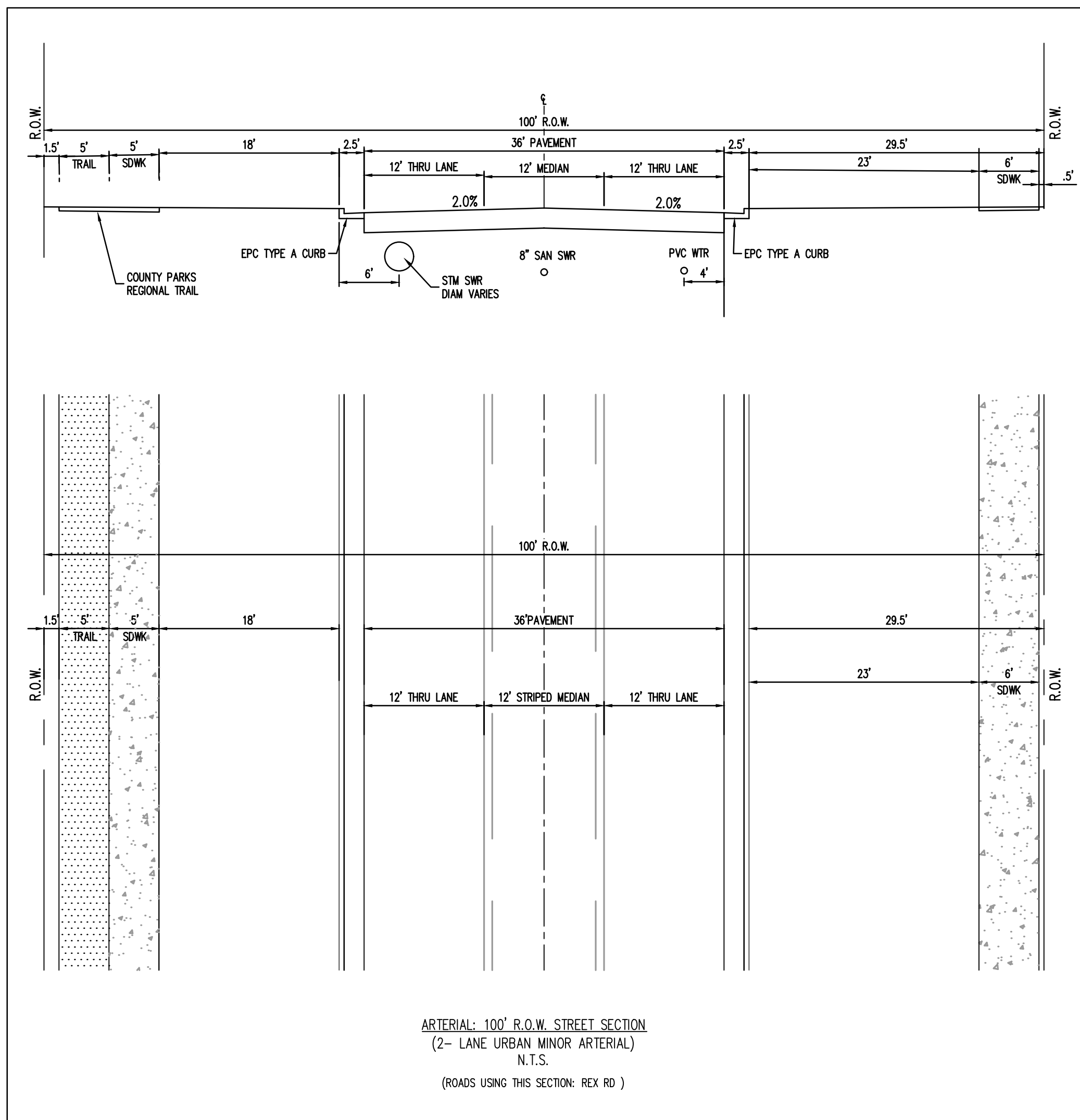
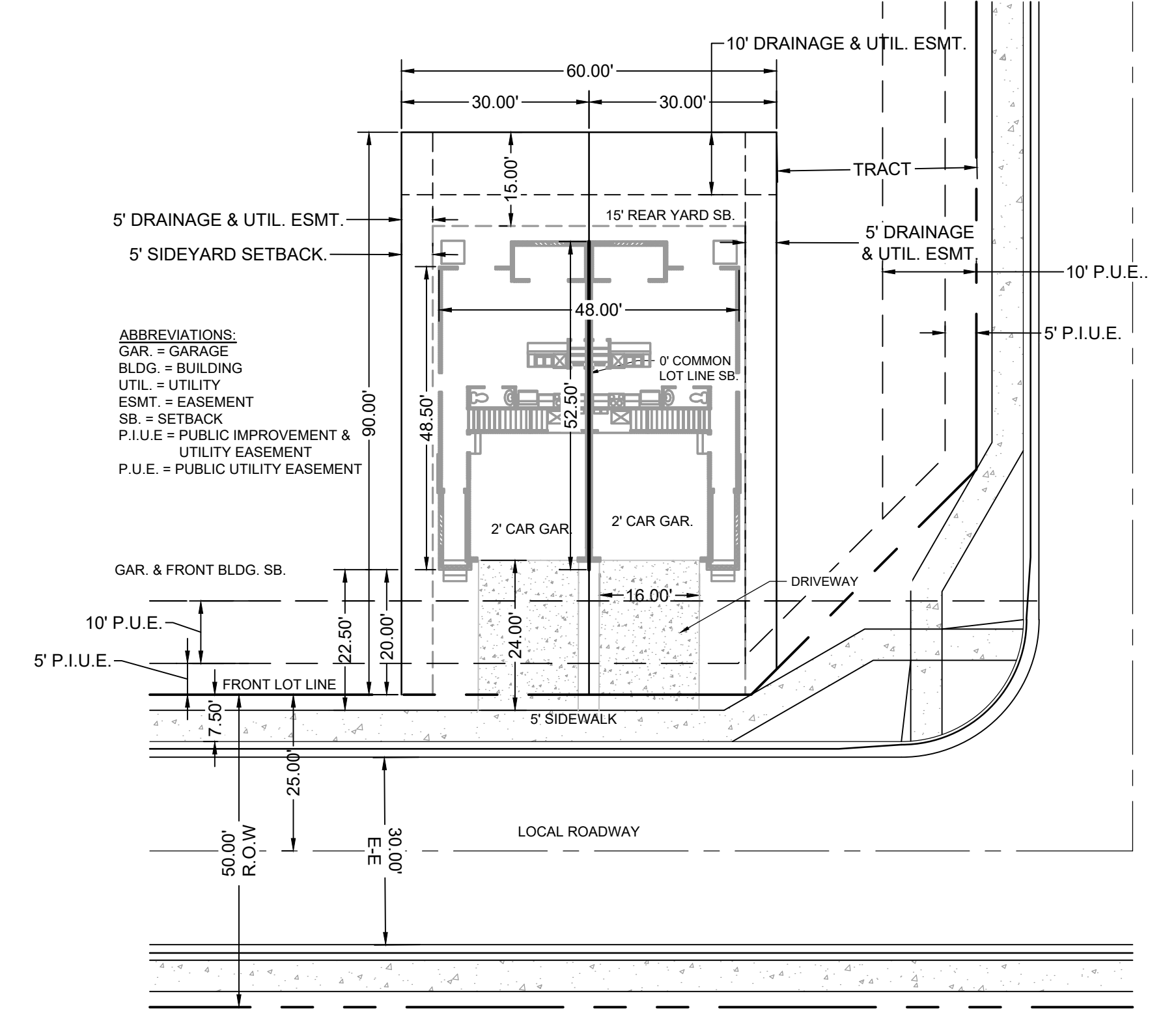
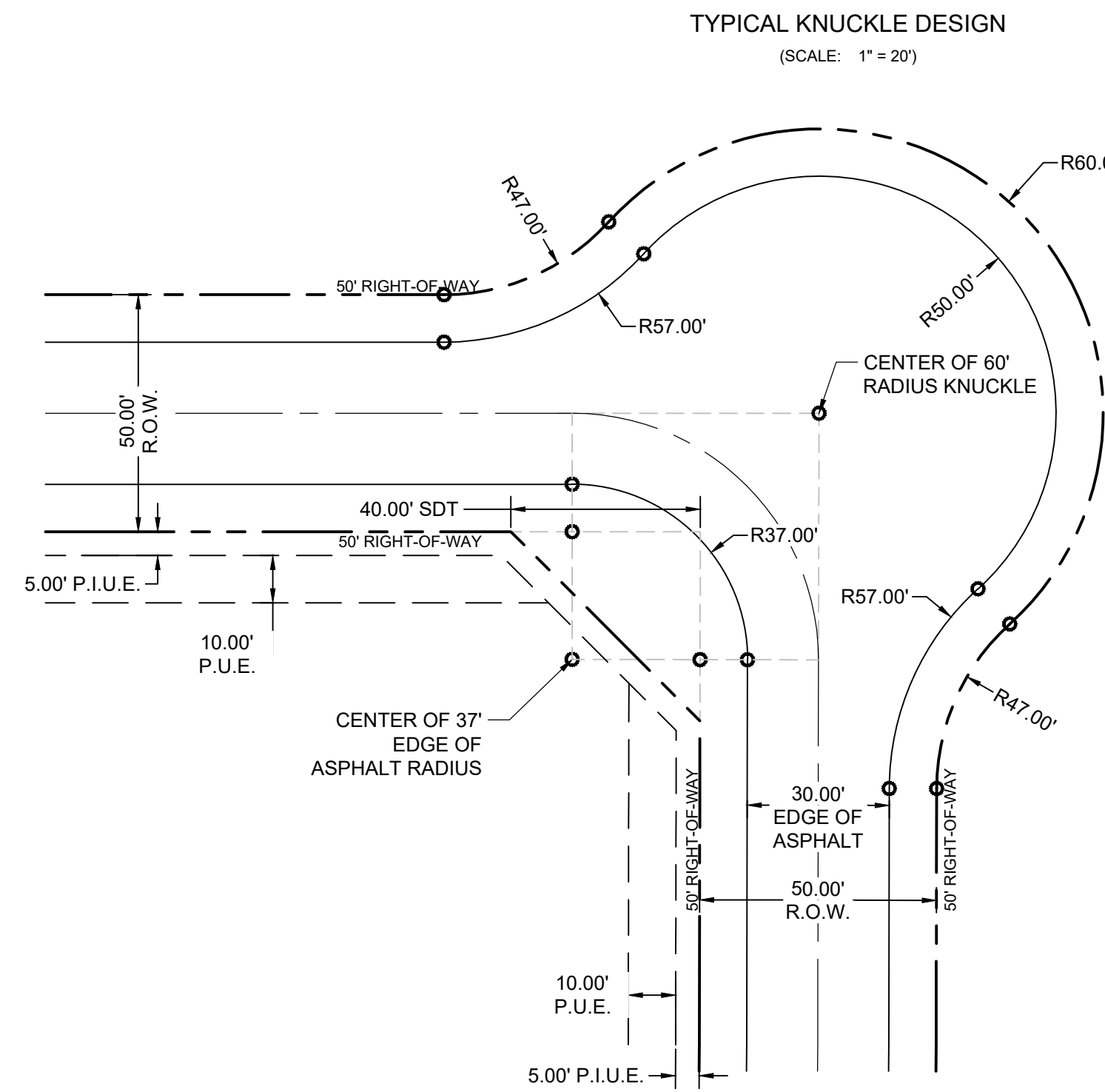
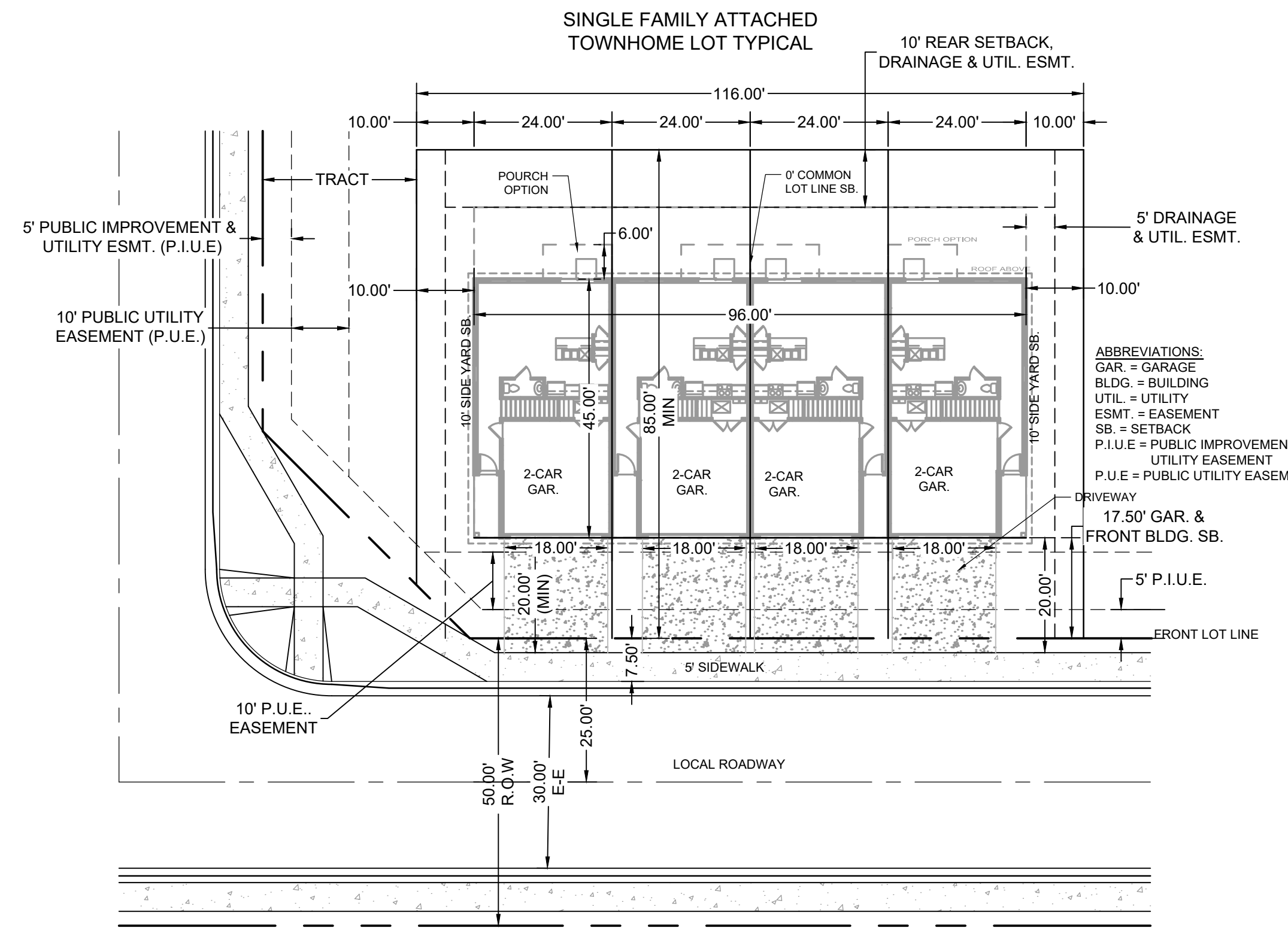




# GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

SINGLE FAMILY ATTACHED  
DUPLEX LOT TYPICAL (PLAN A)



DRAWN BY: YOU JOB DATE: ---  
 APPROVED: KEN JOB NUMBER: 201662  
 CAD DATE: 8/20/2024  
 CAD FILE: J:\2020\201662\CAD\Drawings\CIPUD\_Phase\_2\_662.2021\Typ-Sections\_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

**HRGreen**  
 HR GREEN - COLORADO SPRINGS  
 1975 RESEARCH PKWY SUITE 230  
 COLORADO SPRINGS CO 80920  
 PHONE: 719.300.4140  
 FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2  
 D.R. HORTON  
 EL PASO COUNTY, CO



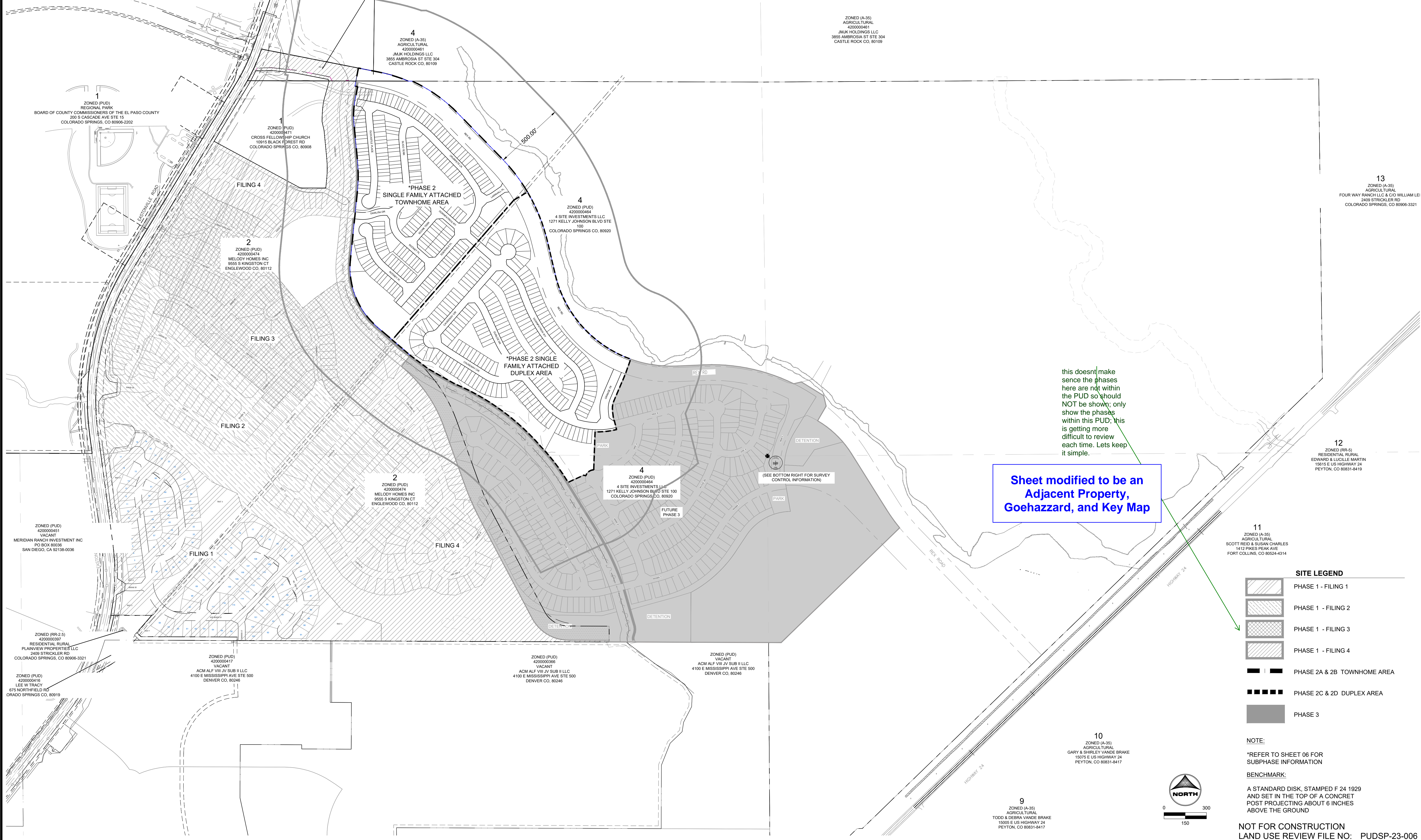
COVER & TYP. SECTIONS  
 TYPICAL SECTIONS

SHEET TYP 02

HUHN, KEN, 8/20/2024, 4:13 PM

# GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



Sheet modified to be an Adjacent Property, Goehazard, and Key Map

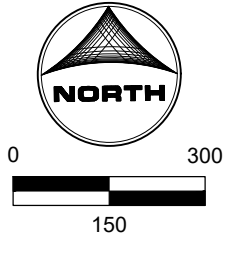
this doesn't make sense the phases here are not within the PUD so should NOT be shown; only show the phases within this PUD; this is getting more difficult to review each time. Lets keep it simple.

**SITE LEGEND**

[Hatched Pattern]	PHASE 1 - FILING 1
[Hatched Pattern]	PHASE 1 - FILING 2
[Hatched Pattern]	PHASE 1 - FILING 3
[Hatched Pattern]	PHASE 1 - FILING 4
[Solid Black]	PHASE 2A & 2B TOWNHOME AREA
[Dotted Pattern]	PHASE 2C & 2D DUPLEX AREA
[Solid Grey]	PHASE 3

**NOTE:**  
\*REFER TO SHEET 06 FOR SUBPHASE INFORMATION

**BENCHMARK:**  
A STANDARD DISK, STAMPED F 24 1929 AND SET IN THE TOP OF A CONCRETE POST PROJECTING ABOUT 6 INCHES ABOVE THE GROUND



NOT FOR CONSTRUCTION  
LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: CVW      JOB DATE: ---  
 APPROVED: KMH      JOB NUMBER: 201662  
 CAD DATE: 8/20/2024  
 CAD FILE: J:\2020\201662\CAD\DWG\CIPUD\_Phase\_2\_662.2021\PU\Adjacent\_Properties\_PUD

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 IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

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ADJACENT PROPERTY  
 ADJACENT PROPERTY & OVERALL SITE PLAN

SHEET  
**ADJ**      03

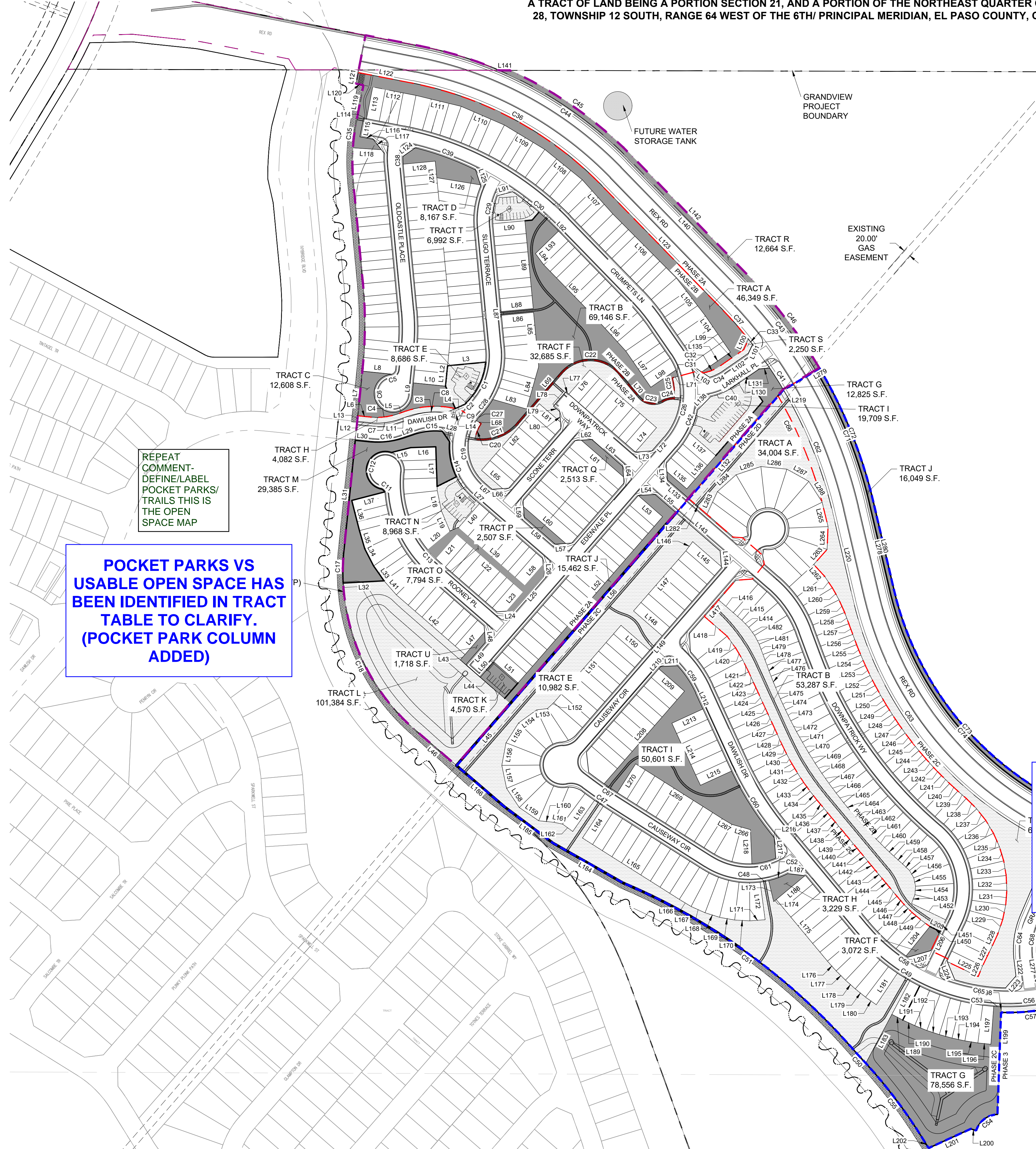
HR GREEN Xrefs: wpt-saron.dwg; PH2\_PUD; vrow-662; 10; xc-clamnet; xc-row-PH3; xc-row-662; 08; Eastonville; w-dgn; 662; xc-filing-bndys

HUHN, KEN, 8/22/2024 6:41 AM

# GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

TRACTS IN THIS COLUMN ARE DESIGNATED AS PARKS, "PARK" LABELED IN COLUMN HEADING AND ADDITIONAL LABELS ADDED ON PLAN



GRANDVIEW RESERVE PHASE 2A-D TRACT USE AND AREA TABLE												
TRACT	AREA (SF)	ACREAGE (AC)	PUBLIC IMPROVEMENTS	PUBLIC UTILITIES	PUBLIC DRAINAGE	DETENTION	PARKING	PARK (USABLE OPEN SPACE)	PEDESTRIAN ACCESS	LANDSCAPING	SIGNAGE	MAINTENANCE AND OWNERSHIP
<b>GRANDVIEW RESERVE PHASE 2A&amp;B TOWNHOME TRACT SUMMARY</b>												
A	46,349	1.06	P	P					X	X		GVRMD
B	69,146	1.59	P	P	X			X	X	X		GVRMD
C	12,608	0.29	P	P					X	X		GVRMD
D	8,167	0.19	P	P					X	X		GVRMD
E	8,686	0.20	P	P			X		X	X		GVRMD
F	32,685	0.75	P	P	X			X	X	X		GVRMD
G	12,825	0.29	P	P					X	X	X	GVRMD
H	4,082	0.09	P	P					X	X	X	GVRMD
I	19,709	0.45	P	P			X		X	X		GVRMD
J	15,462	0.35	P	P					X	X	X	GVRMD
K	4,570	0.10	P	P			X		X	X		GVRMD
L	101,384	2.33	P	P	X	X			X	X	X	GVRMD
M	29,385	0.67	P	P	X				X	X	X	GVRMD
N	8,968	0.21	P	P			X		X	X		GVRMD
O	7,794	0.18	P	P					X	X		GVRMD
P	2,507	0.06	P	P					X	X		GVRMD
Q	2,513	0.07	P	P					X	X		GVRMD
R	12,664	0.29	P	P					X	X		GVRMD
S	2,250	0.05	P	P					X	X		GVRMD
T	6,992	0.16	P	P			X		X	X		GVRMD
U	1,718	0.04	P	P					X	X		GVRMD
<b>GRANDVIEW RESERVE PHASE 2C&amp;D DUPLEX TRACT SUMMARY</b>												
A	34,004	0.78	P	P					X	X		GVRMD
B	53,287	1.22	P	P	X			X	X	X		GVRMD
C	10,373	0.24	P	P					X	X		GVRMD
D	69,508	1.60	P	P					X	X		GVRMD
E	178,578	4.10	P	P	X			X	X	X		GVRMD
F	3,072	0.07	P	P	X				X	X		GVRMD
G	78,556	1.80	P	P	X	X			X	X	X	GVRMD
H	3,229	0.07	P	P					X	X		GVRMD
I	50,601	1.16	P	P	X				X	X		GVRMD
J	16,049	0.37	P	P					X	X		GVRMD
K	2,270	0.05	P	P					X	X		GVRMD
TOTAL	909,991	20.90					4.13	1.12	7.60			

X = ALLOWED USE  
P = ALLOWED USE WHERE EASEMENTS DEDICATED  
GVRMD = GRANDVIEW RESERVE METROPOLITAN DISTRICT

GRANDVIEW RESERVE PHASE 2-D OPEN SPACE TABLE	
	AREA (AC)
OPEN SPACE REQUIRED (10% OF SITE AREA)*	6.11
OPEN SPACE PROVIDED**	20.90
USABLE RESIDENTIAL OPEN SPACE REQUIRED (25% OF REQUIRED GROSS OPEN SPACE)	1.53
USABLE RESIDENTIAL OPEN SPACE PROVIDED***	7.60

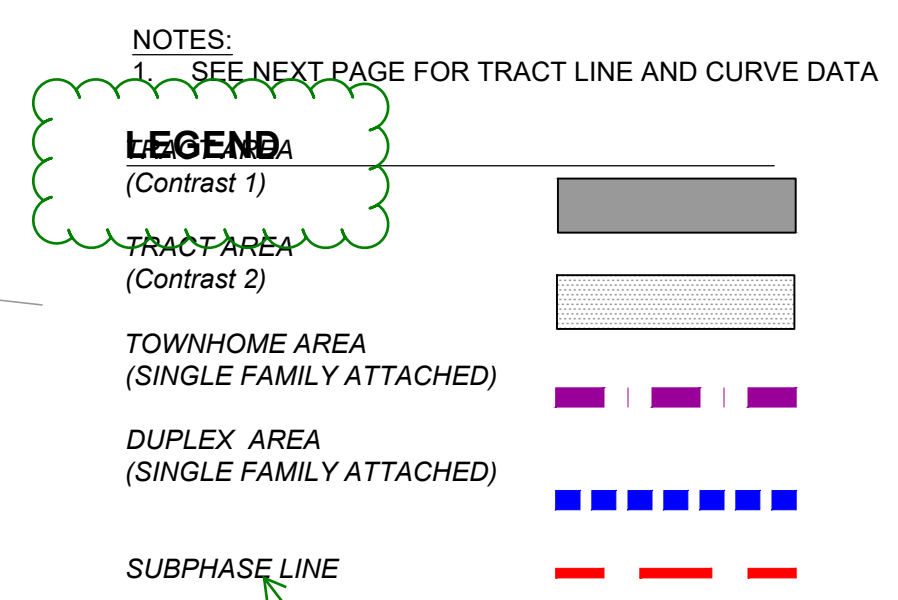
\* EXCLUDES REX ROAD RIGHT-OF-WAY AREA (AC)  
\*\* EXCLUDES TRACTS IDENTIFIED FOR PARKING ( REF. TRACT USE TABLE)  
\*\*\* TRACTS IDENTIFIED FOR PARK USABLE OPEN SPACE ( REF. TRACT USE TABLE)

REPEAT COMMENT-DEFINE/LABEL POCKET PARKS/TRAILS THIS IS THE OPEN SPACE MAP

**POCKET PARKS VS USABLE OPEN SPACE HAS BEEN IDENTIFIED IN TRACT TABLE TO CLARIFY. (POCKET PARK COLUMN ADDED)**

**NOTE ADDED TO DEFINE DIFFERENCE BETWEEN HATCH AREAS: HATCHED AREAS DISTINCTLY DIFFERENTIATE BETWEEN ADJACENT TRACT AREAS. THIS IS FOR PLAN CLARITY ONLY**

label over label; what is contrast 1 mean? are these differentiating between uses?



DELETE this - this would not be correct if you were proposing plats within the preliminary plan. Plats has to have roads to get to them and tracts etc... just add a note multiple plat filings are anticipated within preliminary plan.

**REDIFINED AS FILING LINE. THE FILING LIMITS HAVE BEEN ESTABLISHED SUCH THAT ROAD ACCESS IS PROVIDED WHEN BUILT IN SEQUENCE. NOTE REGARDING FILING PROVIDED ON SHEET 6**

LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: CVW JOB DATE: ---  
APPROVED: KEN JOB NUMBER: 201662  
CAD DATE: 8/22/2024  
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD\_Phase\_2\_662.2021\PU\Tract\_Plan\_PUD

NO.	DATE	BY	REVISION DESCRIPTION

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1975 RESEARCH PKWY SUITE 230  
COLORADO SPRINGS CO 80920  
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FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2  
D.R. HORTON  
EL PASO COUNTY, CO



TRACT PLAN  
TRACT PLAN

SHEET TP 04

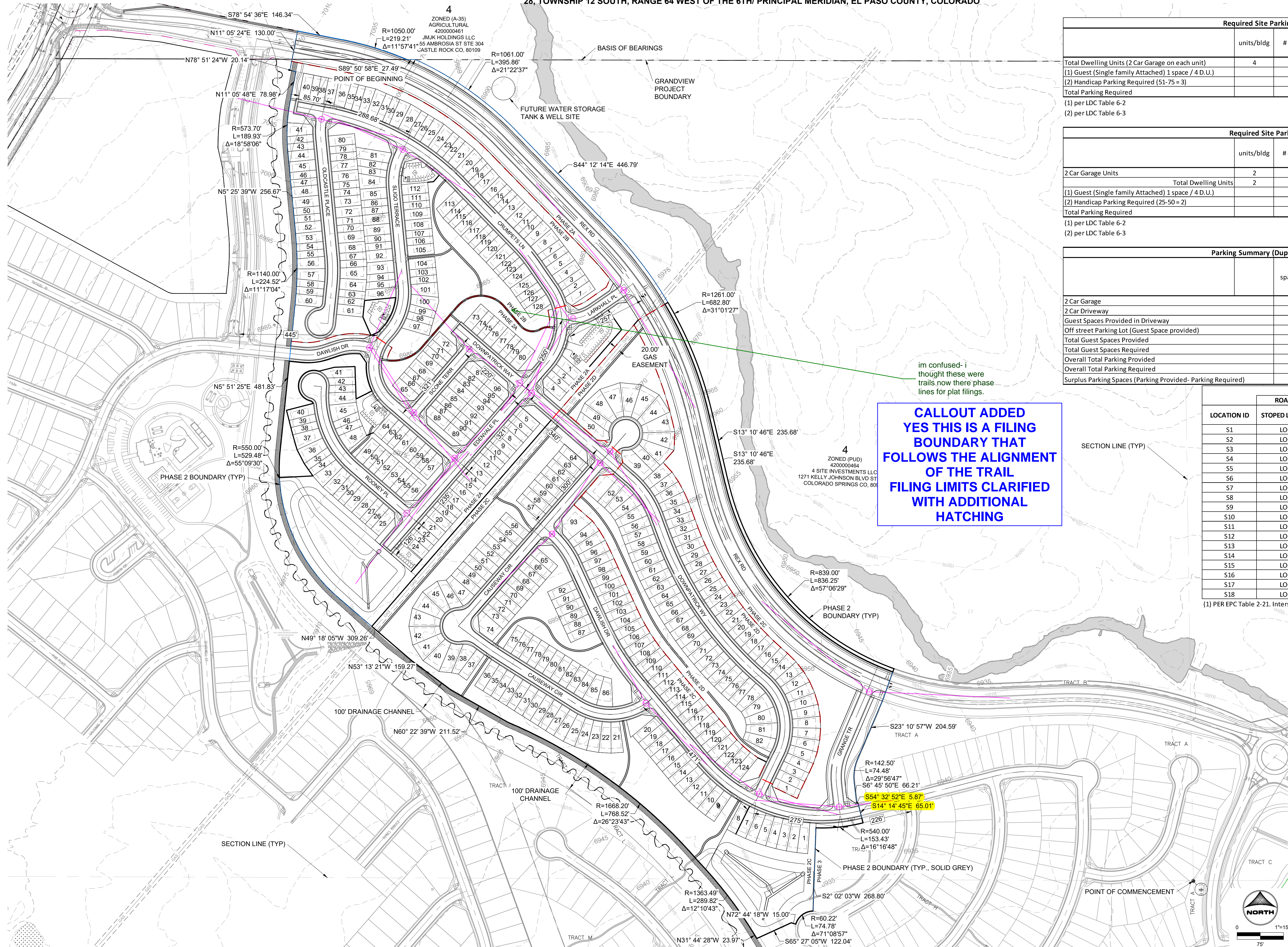
HR GREEN Xrefs: xref-saron.dwg, P102\_PUD, xrow-662, xrow-PH2, 01-XC-channel, xrow-F2, xrow-F3, xrow-F4, xrow-F5, xrow-F6, xrow-F7, xrow-F8, xrow-F9, xrow-F10, xrow-F11, xrow-F12, xrow-F13, xrow-F14, xrow-F15, xrow-F16, xrow-F17, xrow-F18, xrow-F19, xrow-F20, xrow-F21, xrow-F22, xrow-F23, xrow-F24, xrow-F25, xrow-F26, xrow-F27, xrow-F28, xrow-F29, xrow-F30, xrow-F31, xrow-F32, xrow-F33, xrow-F34, xrow-F35, xrow-F36, xrow-F37, xrow-F38, xrow-F39, xrow-F40, xrow-F41, xrow-F42, xrow-F43, xrow-F44, xrow-F45, xrow-F46, xrow-F47, xrow-F48, xrow-F49, xrow-F50, xrow-F51, xrow-F52, xrow-F53, xrow-F54, xrow-F55, xrow-F56, xrow-F57, xrow-F58, xrow-F59, xrow-F60, xrow-F61, xrow-F62, xrow-F63, xrow-F64, xrow-F65, xrow-F66, xrow-F67, xrow-F68, xrow-F69, xrow-F70, xrow-F71, xrow-F72, xrow-F73, xrow-F74, xrow-F75, xrow-F76, xrow-F77, xrow-F78, xrow-F79, xrow-F80, xrow-F81, xrow-F82, xrow-F83, xrow-F84, xrow-F85, xrow-F86, xrow-F87, xrow-F88, xrow-F89, xrow-F90, xrow-F91, xrow-F92, xrow-F93, xrow-F94, xrow-F95, xrow-F96, xrow-F97, xrow-F98, xrow-F99, xrow-F100



# GRANDVIEW RESERVE PHASE 2

## PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



Required Site Parking (Townhomes)						
	units/bldg	# of units	Proposed Dwelling Units	(1) Required Parking Ratio per D.U.	Parking Spaces Required	Guest Spaces Required
Total Dwelling Units (2 Car Garage on each unit)	4	224	224	2	448	
(1) Guest (Single family Attached) 1 space / 4 D.U.)				0.25		56
(2) Handicap Parking Required (51-75 = 3)						3
Total Parking Required					448	56
(1) per LDC Table 6-2	Overall Total Required					
(2) per LDC Table 6-3	504					

Required Site Parking (Duplexes)						
	units/bldg	# of bldgs	Proposed Dwelling Units	(1) Required Parking Ratio per D.U.	Parking Spaces Required	Guest Spaces Required
2 Car Garage Units	2	103	206	2	412	52
Total Dwelling Units	2	103	206			
(1) Guest (Single family Attached) 1 space / 4 D.U.)				0.25		52
(2) Handicap Parking Required (25-50 = 2)						2
Total Parking Required					412	52
(1) per LDC Table 6-2	Overall Total Required					
(2) per LDC Table 6-3	464					

Parking Summary (Duplexes & Townhomes)					
	spaces/unit	# of units	Townhome provided spaces	# of units	Duplex provided spaces
2 Car Garage	2	224	448	206	412
2 Car Driveway	2	224	448	206	412
Guest Spaces Provided in Driveway			448		412
Off street Parking Lot (Guest Space provided)			67		0
Total Guest Spaces Provided			515		412
Total Guest Spaces Required					52
Overall Total Parking Provided			963		824
Overall Total Parking Required			504		464
Surplus Parking Spaces (Parking Provided- Parking Required)			459		361

INTERSECTION SIGHT DISTANCE TABLE				
LOCATION ID	ROADWAY CLASSIFICATION		SIGHT DISTANCE LEFT (FEET)(1)	SIGHT DISTANCE RIGHT (FEET) (1)
	STOPPED LOCATION	THRU STREET		
S1	LOCAL	LOCAL	280	280
S2	LOCAL	LOCAL	280	280
S3	LOCAL	LOCAL	280	280
S4	LOCAL	LOCAL	280	280
S5	LOCAL	LOCAL	280	280
S6	LOCAL	LOCAL	280	280
S7	LOCAL	LOCAL	280	280
S8	LOCAL	LOCAL	280	280
S9	LOCAL	LOCAL	280	280
S10	LOCAL	LOCAL	280	280
S11	LOCAL	LOCAL	280	280
S12	LOCAL	LOCAL	280	280
S13	LOCAL	LOCAL	280	280
S14	LOCAL	LOCAL	280	280
S15	LOCAL	LOCAL	280	280
S16	LOCAL	LOCAL	280	280
S17	LOCAL	MINOR ARTERIAL	445	445
S18	LOCAL	MINOR ARTERIAL	445	445

(1) PER EPC Table 2-21. Intersection Sight Distance

**TOWNHOME AREA SUMMARY:**  
 56 - 4 UNIT BUILDINGS  
 224 - DWELLING UNITS

**PHASE 2A:**  
 24 - 4 UNIT BUILDINGS  
 96 - DWELLING UNITS

**PHASE 2B:**  
 32 - 4 UNIT BUILDINGS  
 128 - DWELLING UNITS

**DUPLEX AREA SUMMARY:**  
 103 - DUPLEX BUILDINGS  
 206 - DWELLING UNITS

**PHASE 2D:**  
 82 - DWELLING UNITS

**PHASE 2C:**  
 124 - DWELLING UNITS

DRAWN BY: CVW  
 APPROVED: KEN  
 CAD DATE: 8/20/2024  
 CAD FILE: J:\2020\201662\CAD\DWGS\CIPUD\_Phase\_2\_662.202\PUDSite\_Plan\_PUD

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS  
 1975 RESEARCH PKWY SUITE 230  
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GRANDVIEW RESERVE - PHASE 2  
 D.R. HORTON  
 EL PASO COUNTY, CO



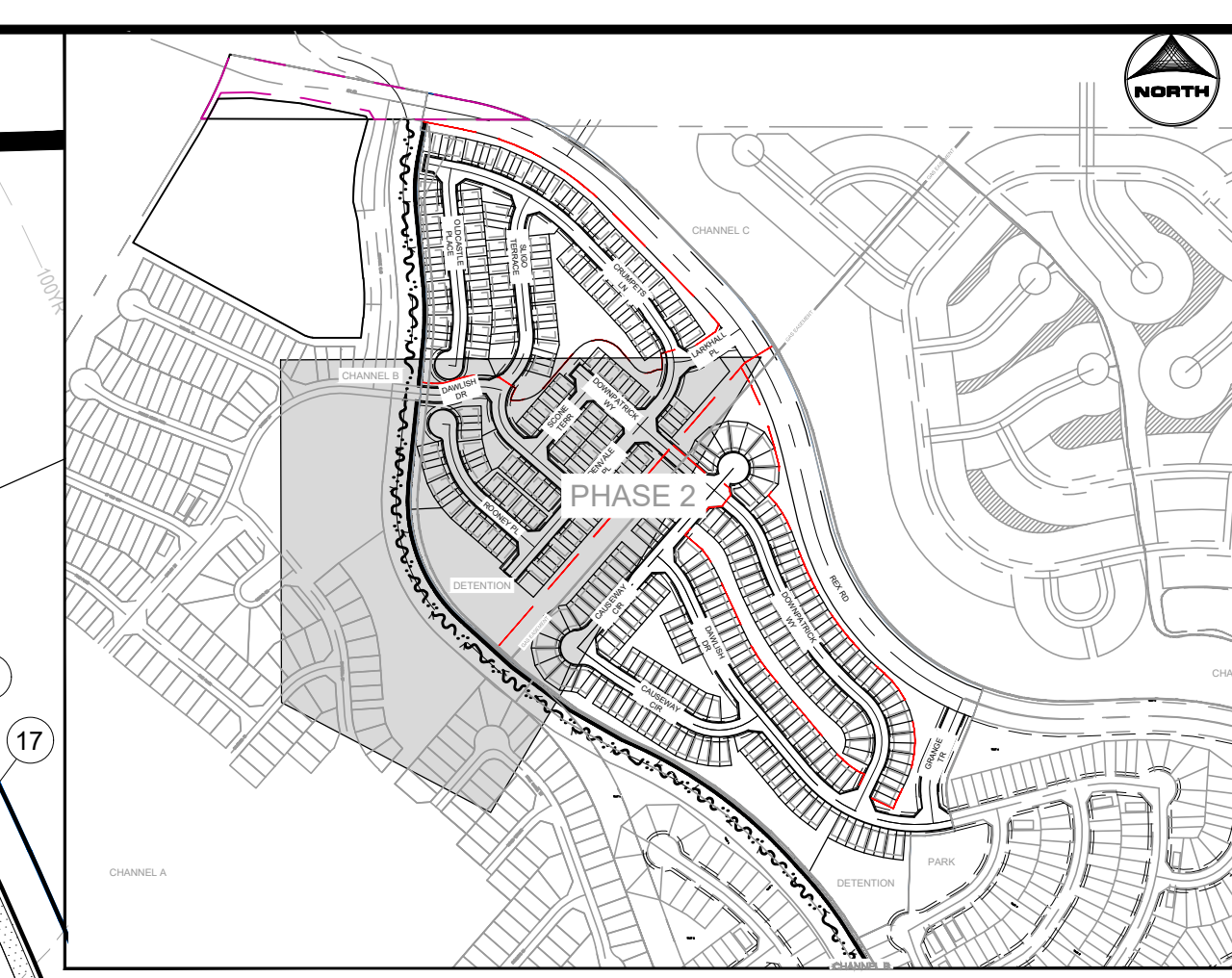
SITE PLAN  
 OVERALL SITE, PHASING, & PARKING PLAN

HUHN, KEN, 8/20/2024, 8:33 AM



# GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP  
SCALE: NTS

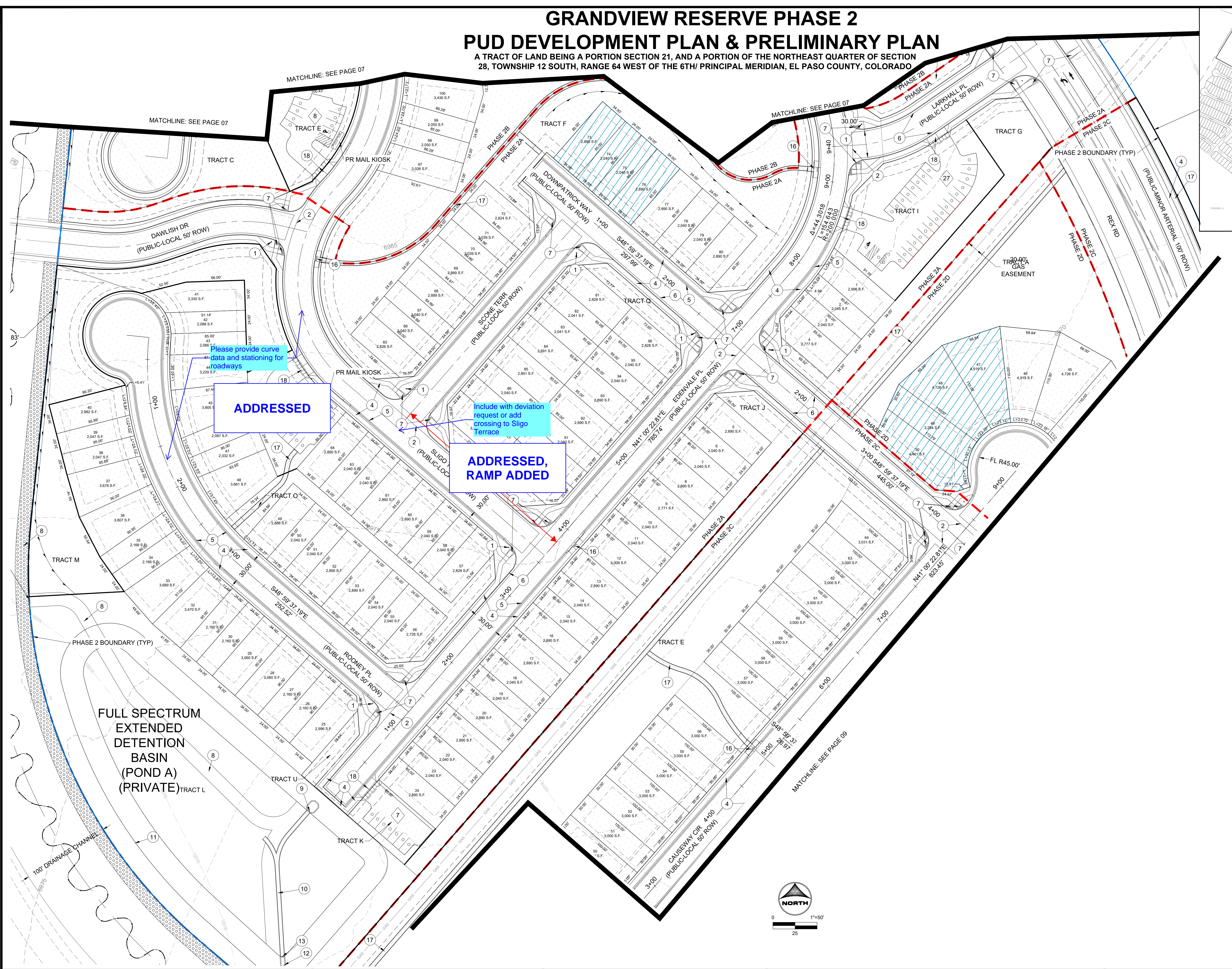
### LINWORK LEGEND

MATCH LINE	
PR PHASE 2 BOUNDARY	
PR SUBPHASE BOUNDARY	
EX PROPERTY LINE	
PR EASEMENT LINE	
EX EASEMENT LINE	
PR RIGHT OF WAY	
EX RIGHT OF WAY	
PR LOT LINE	
EX LOT LINE	
EX SWALE	
PR SWALE	
PR TRAIL	
PR CURB & GUTTER	
EX CURB & GUTTER	
PR SIDEWALK	
PR CONCRETE	
PR RIP-RAP	
PR POND RIM	
PR INDEX CONTOUR	
EX INDEX CONTOUR	
PR INTER. CONTOUR	
EX INTER. CONTOUR	
PR PHASE LINE	
EX 100 YR FLOODPLAIN	
GROUNDWATER 0' - 5' BELOW PROPOSED SURFACE (SEE NOTE 1)	
GROUNDWATER 5' - 10' BELOW PROPOSED SURFACE	

NOTES:  
1. IF GROUNDWATER FOUND WITHIN CLOSE RANGE OF CRAWL SPACE, A SLAB ON GRADE FOUNDATION SHALL BE UTILIZED (REFER TO GEOLOGIC HAZARD REPORT)

### SITE SCHEDULE

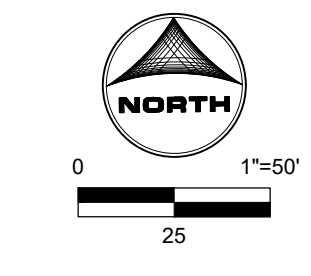
- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5" CONCRETE SIDEWALK
- 5 PR EPC OPTIONALTYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE PARALLEL CURB RAMP
- 17 PR TRAIL (WIDTH VARIES)
- 18 PARKING LOT DRIVEWAY (SEE STANDARD DETAIL SD\_2-24)



Addressed  
Please provide curve data and stationing for roadways

Addressed, Ramp Added  
Include with deviation request or add crossing to Silgo Terrace

FULL SPECTRUM EXTENDED DETENTION BASIN (POND A) (PRIVATE)



LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: CVW	JOB DATE: 8/20/2024	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201662	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD DATE: 8/20/2024	CAD FILE: J:\2020\201662\CAD\Draws\CIPUD_Phase_2_662.2021\Site_Plan_PUD	

NO.	DATE	BY	REVISION DESCRIPTION

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**GRANDVIEW RESERVE - PHASE 2**  
D.R. HORTON  
EL PASO COUNTY, CO



SITE PLAN  
SITE PLAN- 2 OF 4

SHEET  
SP  
08

HUHN, KEN, 8/20/2024, 8:33 AM  
HR GREEN Xrefs: xref-saron.dwg, P12\_PUD, xrow-662, xrow-PH3, xrow-F4, xrow-F5, xrow-F6, xrow-F7, xrow-F8, xrow-F9, xrow-F10, xrow-F11, xrow-F12, xrow-F13, xrow-F14, xrow-F15, xrow-F16, xrow-F17, xrow-F18, xrow-F19, xrow-F20, xrow-F21, xrow-F22, xrow-F23, xrow-F24, xrow-F25, xrow-F26, xrow-F27, xrow-F28, xrow-F29, xrow-F30, xrow-F31, xrow-F32, xrow-F33, xrow-F34, xrow-F35, xrow-F36, xrow-F37, xrow-F38, xrow-F39, xrow-F40, xrow-F41, xrow-F42, xrow-F43, xrow-F44, xrow-F45, xrow-F46, xrow-F47, xrow-F48, xrow-F49, xrow-F50, xrow-F51, xrow-F52, xrow-F53, xrow-F54, xrow-F55, xrow-F56, xrow-F57, xrow-F58, xrow-F59, xrow-F60, xrow-F61, xrow-F62, xrow-F63, xrow-F64, xrow-F65, xrow-F66, xrow-F67, xrow-F68, xrow-F69, xrow-F70, xrow-F71, xrow-F72, xrow-F73, xrow-F74, xrow-F75, xrow-F76, xrow-F77, xrow-F78, xrow-F79, xrow-F80, xrow-F81, xrow-F82, xrow-F83, xrow-F84, xrow-F85, xrow-F86, xrow-F87, xrow-F88, xrow-F89, xrow-F90, xrow-F91, xrow-F92, xrow-F93, xrow-F94, xrow-F95, xrow-F96, xrow-F97, xrow-F98, xrow-F99, xrow-F100

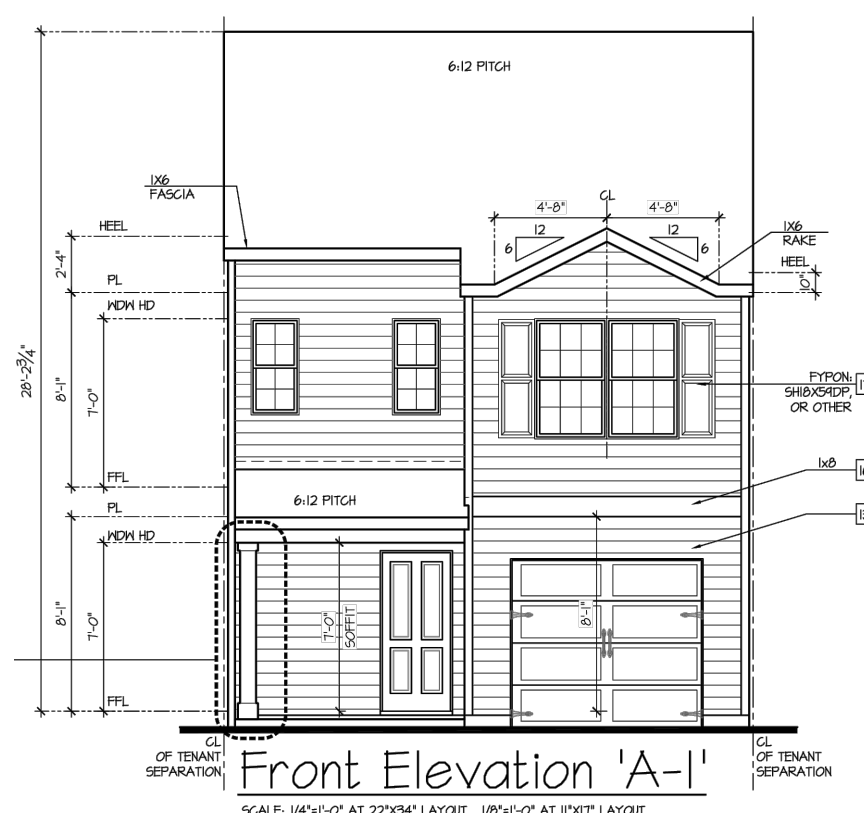






- NOTES:
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITES FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - SCREENED BERRIES:
  - 1ST FLOOR: 8'-0" FIN. ON ELEVATIONS.
  - 2ND FLOOR: 7'-0" FIN. ON ELEVATIONS.
  - ROOFING: PRICED SHINGLES PER DEVELOPER.
  - FINISHING: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
  - ENTRY DOOR: AS SELECTED BY DEVELOPER.
  - GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL, AS SHOWN.
  - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - PROTECTION AGAINST DECAY:
  - ALL PORTIONS OF A FINISH SCREEN FINISH OR DECK FROM THE BOTTOM OF THE HEADER DOWN INCLUDING POOR, NAILS, PICKETS, STEPS AND FLOOR STRUCTURE.
- KEY NOTES:
- MASONRY:
1. BRICKED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  2. MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  3. 8" SOLID CORNER.
  4. BRICKWORK COURSE.
  5. N/A.
- TYPICALS:
1. DECORATIVE LOWERED VENTS, SIZE AS NOTED.
  2. CODE APPROVED TERMINATION CROWN CAP.
  3. CORONA ROOFING (80' ROOF TO ALL EXTERIOR CODE COMPLIANT).
  4. CORONA ROOFING (80' ROOF TO ALL EXTERIOR CODE COMPLIANT).
  5. STANDING SEAM METAL ROOF. METAL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  6. DECORATIVE HEIGHT IRON, SEE DETAILS.
- SCREENING:
1. VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  2. FEEDER CORNER SHINGLES PER DEVELOPER (1/4" CORNER TRIM BOARD) AT SPECIFIED LOCATIONS.
  3. VINYL LAP SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  4. VINYL LAP SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  5. VINYL BOARD AND BATT SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  6. FEEDER CORNER PANEL SHINGLES WITH 1/8" BATT AT 12" O.C. PER DEVELOPER WITH VINYL CORNER TRIM BOARD. AT SPECIFIED LOCATIONS.
  7. FEEDER CORNER TRIM OR EQUAL, 1/2" O.C. AS NOTED.
  8. VINYL TRIM, TYPE AS NOTED. (SEE VENT SIZE AS NOTED).
  9. PYPAN BATTERS, TYPE AS SHOWN, SIZE AS NOTED. (SEE VENT SIZE AS NOTED).

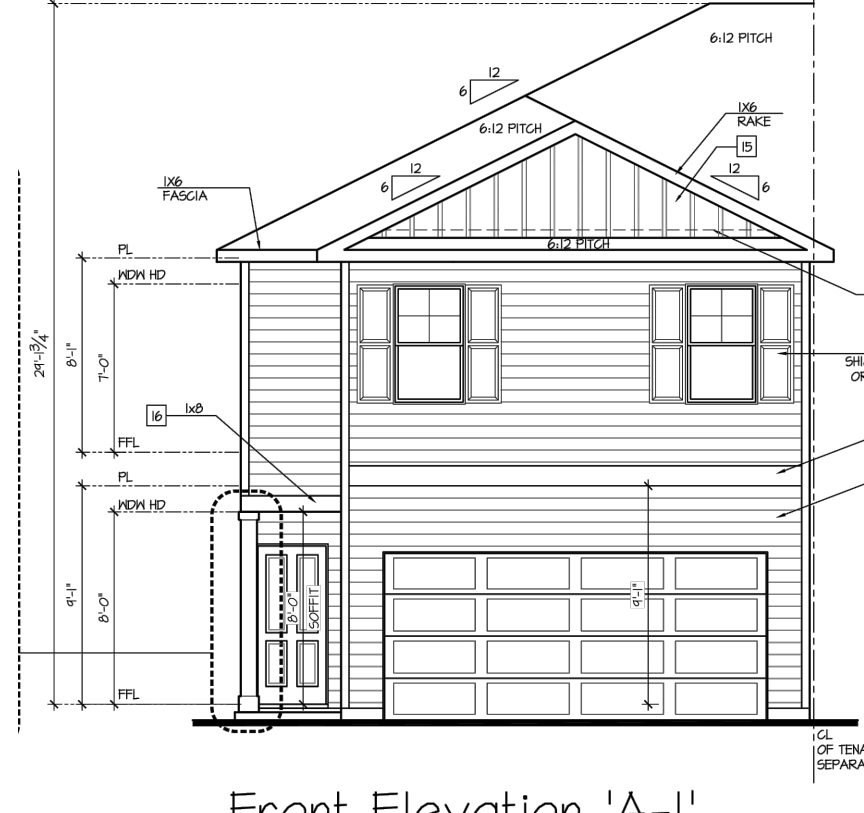
ADDITIONAL NOTE:  
-ARCHITECTURAL MODIFICATIONS WILL NOT REQUIRE AN AMENDMENT TO THE PUD, IF DIMENSIONAL STANDARDS ARE MET AS PROVIDED ON SHEET 1



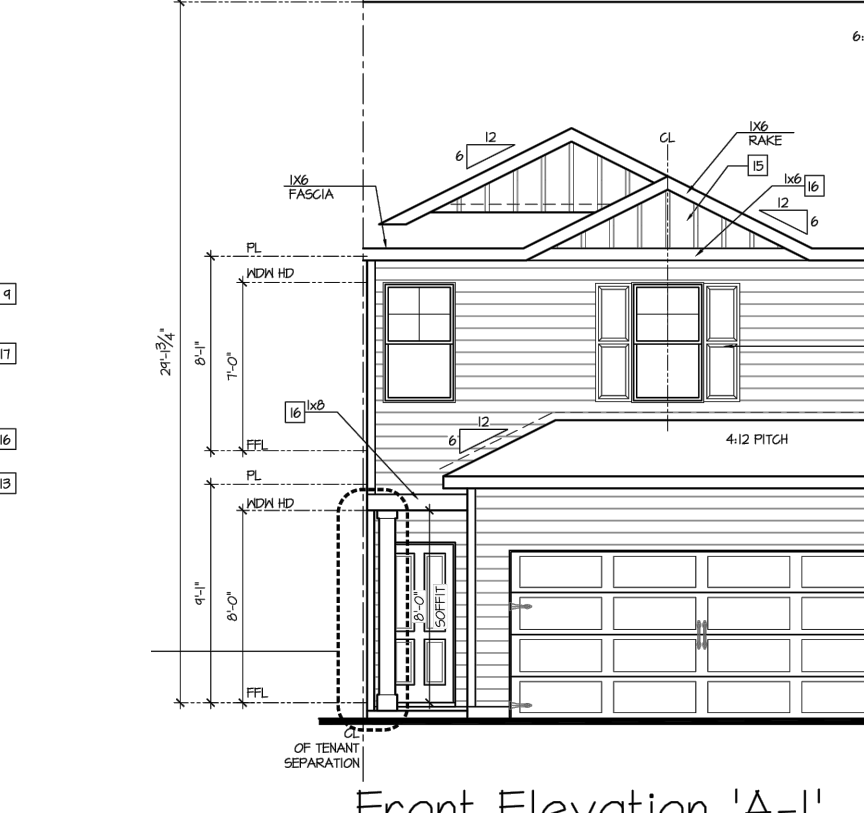
TOWNHOME MIDDLE UNIT  
(ALTAMONT)



TOWNHOME MIDDLE UNIT  
(MITCHELL)



TOWNHOME END UNIT  
(PATTISON)



TOWNHOME END UNIT  
(TATUM)

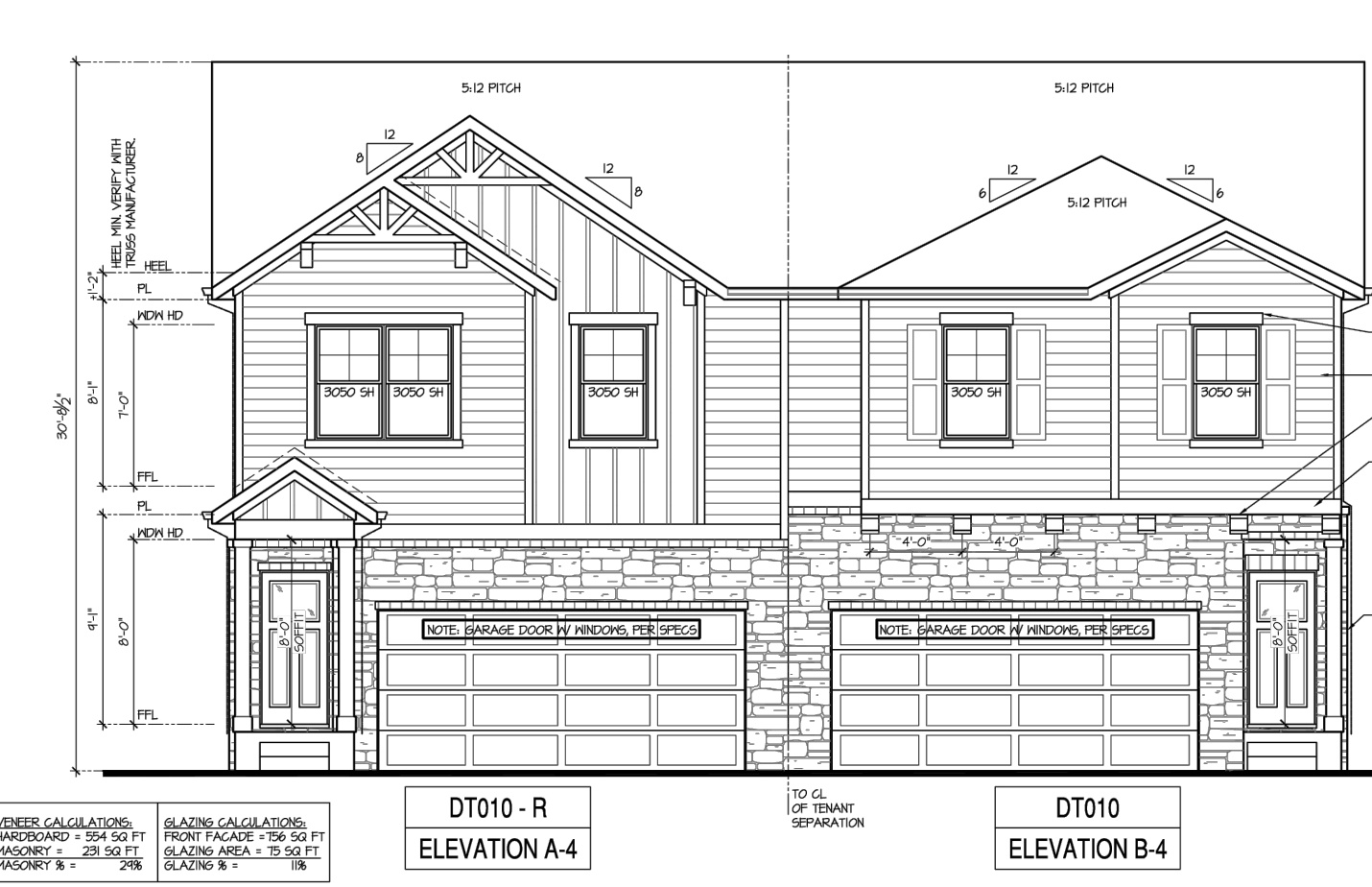
- NOTES:
- GRADE CONDITIONS MAY VARY FOR INDIVIDUAL SITES FROM THAT SHOWN. BUILDER SHALL VERIFY AND COORDINATE PER ACTUAL SITE CONDITIONS.
  - SCREENED BERRIES:
  - 1ST FLOOR: 8'-0" FIN. ON ELEVATIONS.
  - 2ND FLOOR: 7'-0" FIN. ON ELEVATIONS.
  - ROOFING: PRICED SHINGLES PER DEVELOPER.
  - FINISHING: MANUFACTURER PER DEVELOPER. DIVIDED LITES AS SHOWN ON THE EXTERIOR ELEVATIONS.
  - ENTRY DOOR: AS SELECTED BY DEVELOPER.
  - GARAGE DOORS: AS SELECTED BY DEVELOPER. RAISED PANEL, AS SHOWN.
  - ALL EXTERIOR MATERIALS TO BE INSTALLED PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  - PROTECTION AGAINST DECAY:
  - ALL PORTIONS OF A FINISH SCREEN FINISH OR DECK FROM THE BOTTOM OF THE HEADER DOWN INCLUDING POOR, NAILS, PICKETS, STEPS AND FLOOR STRUCTURE.
- KEY NOTES:
- MASONRY:
1. BRICKED STONE VENEER AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  2. MASONRY FULL BRICK AS SELECTED BY DEVELOPER. HEIGHT AS NOTED.
  3. 8" SOLID CORNER.
  4. BRICKWORK COURSE.
  5. N/A.
- TYPICALS:
1. DECORATIVE LOWERED VENTS, SIZE AS NOTED.
  2. CODE APPROVED TERMINATION CROWN CAP.
  3. CORONA ROOFING (80' ROOF TO ALL EXTERIOR CODE COMPLIANT).
  4. CORONA ROOFING (80' ROOF TO ALL EXTERIOR CODE COMPLIANT).
  5. STANDING SEAM METAL ROOF. METAL PER MANUFACTURER'S WRITTEN INSTRUCTIONS.
  6. DECORATIVE HEIGHT IRON, SEE DETAILS.
- SCREENING:
1. VINYL SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  2. FEEDER CORNER SHINGLES PER DEVELOPER (1/4" CORNER TRIM BOARD) AT SPECIFIED LOCATIONS.
  3. VINYL LAP SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  4. VINYL LAP SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  5. VINYL BOARD AND BATT SHINGLES PER DEVELOPER WITH VINYL CORNER TRIM PER DEVELOPER. AT SPECIFIED LOCATIONS.
  6. FEEDER CORNER PANEL SHINGLES WITH 1/8" BATT AT 12" O.C. PER DEVELOPER WITH VINYL CORNER TRIM BOARD. AT SPECIFIED LOCATIONS.
  7. FEEDER CORNER TRIM OR EQUAL, 1/2" O.C. AS NOTED.
  8. VINYL TRIM, TYPE AS NOTED. (SEE VENT SIZE AS NOTED).
  9. PYPAN BATTERS, TYPE AS SHOWN, SIZE AS NOTED. (SEE VENT SIZE AS NOTED).

ADDITIONAL NOTE:  
-ARCHITECTURAL MODIFICATIONS WILL NOT REQUIRE AN AMENDMENT TO THE PUD, IF DIMENSIONAL STANDARDS ARE MET AS PROVIDED ON SHEET 1

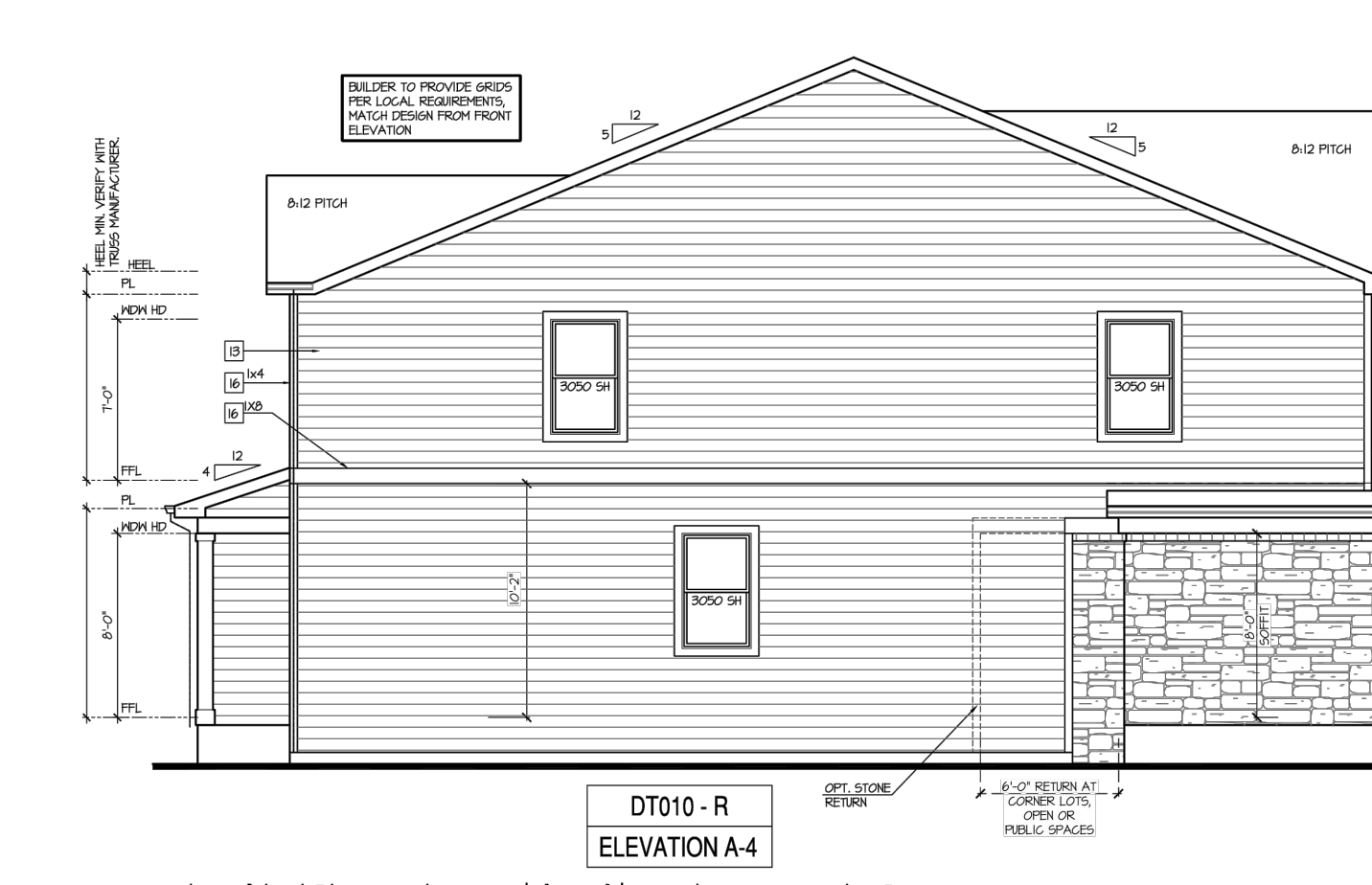
SINGLE-FAMILY ATTACHED  
DUPLEX MODELS



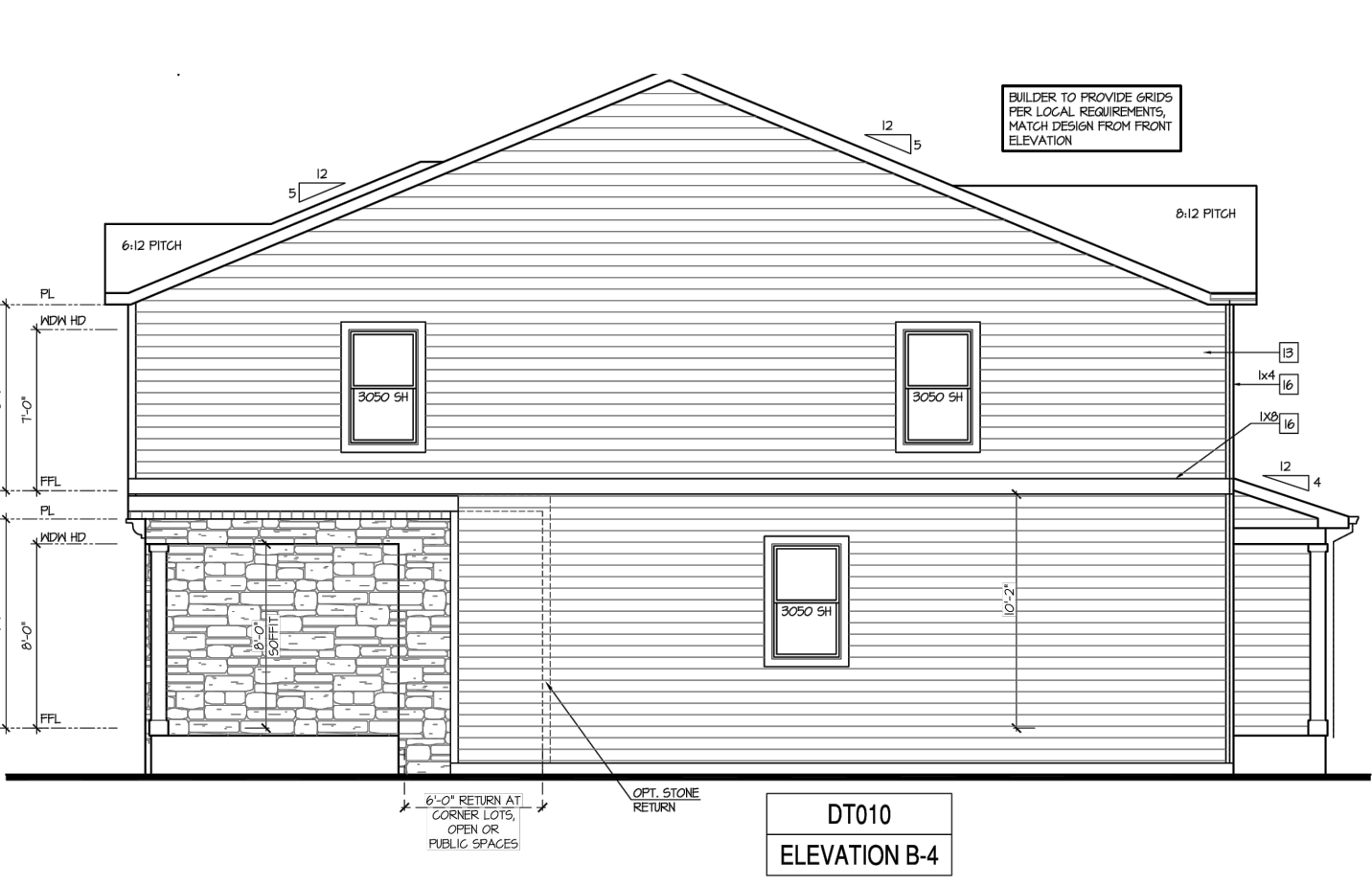
Rear Elevation - Building Type (DT010 + DT010) 'A-1/B-1' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



Front Elevation - Building Type (DT010 + DT010) 'A-4/B-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



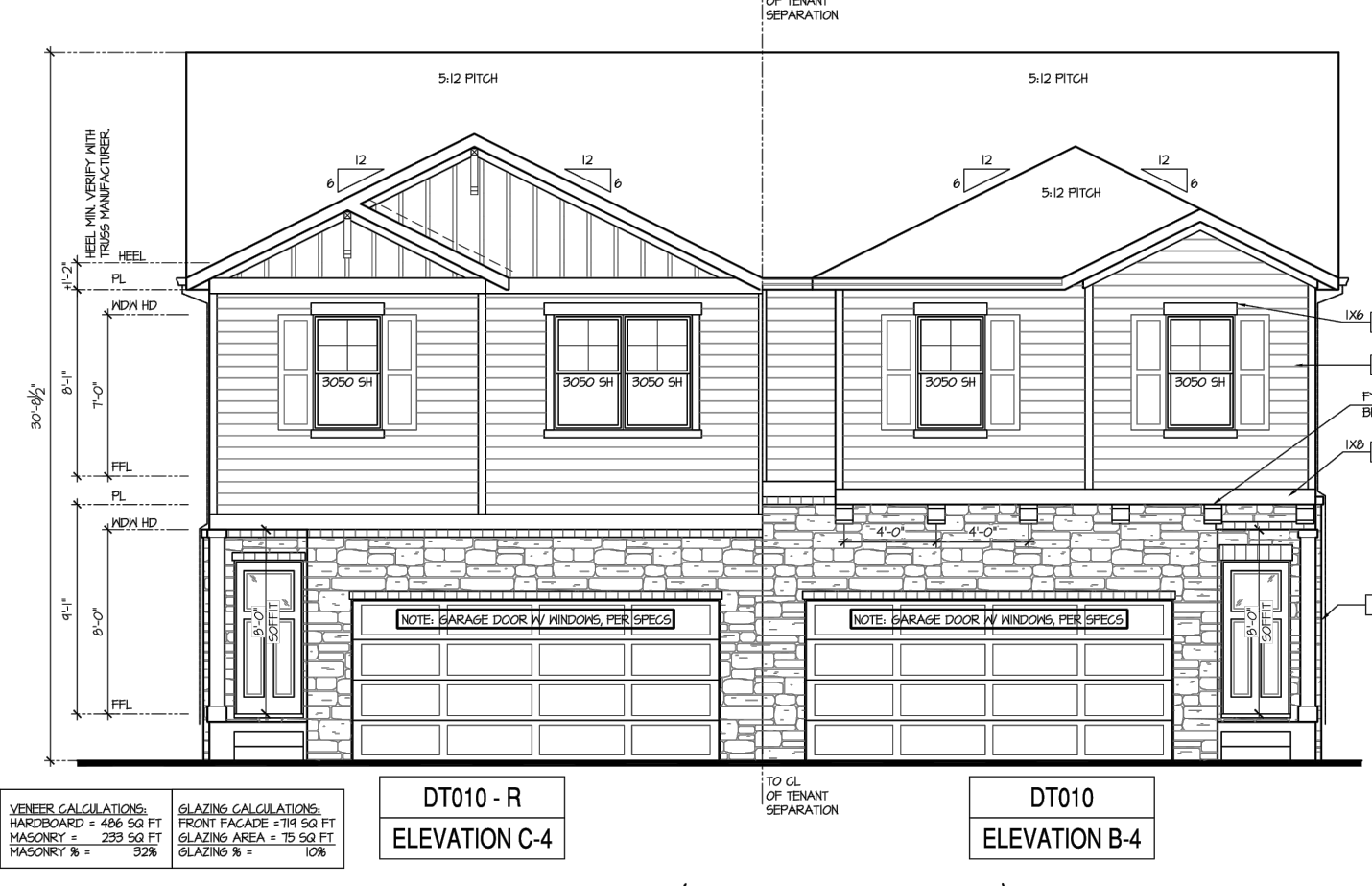
Left Elevation 'A-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



Right Elevation 'B-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



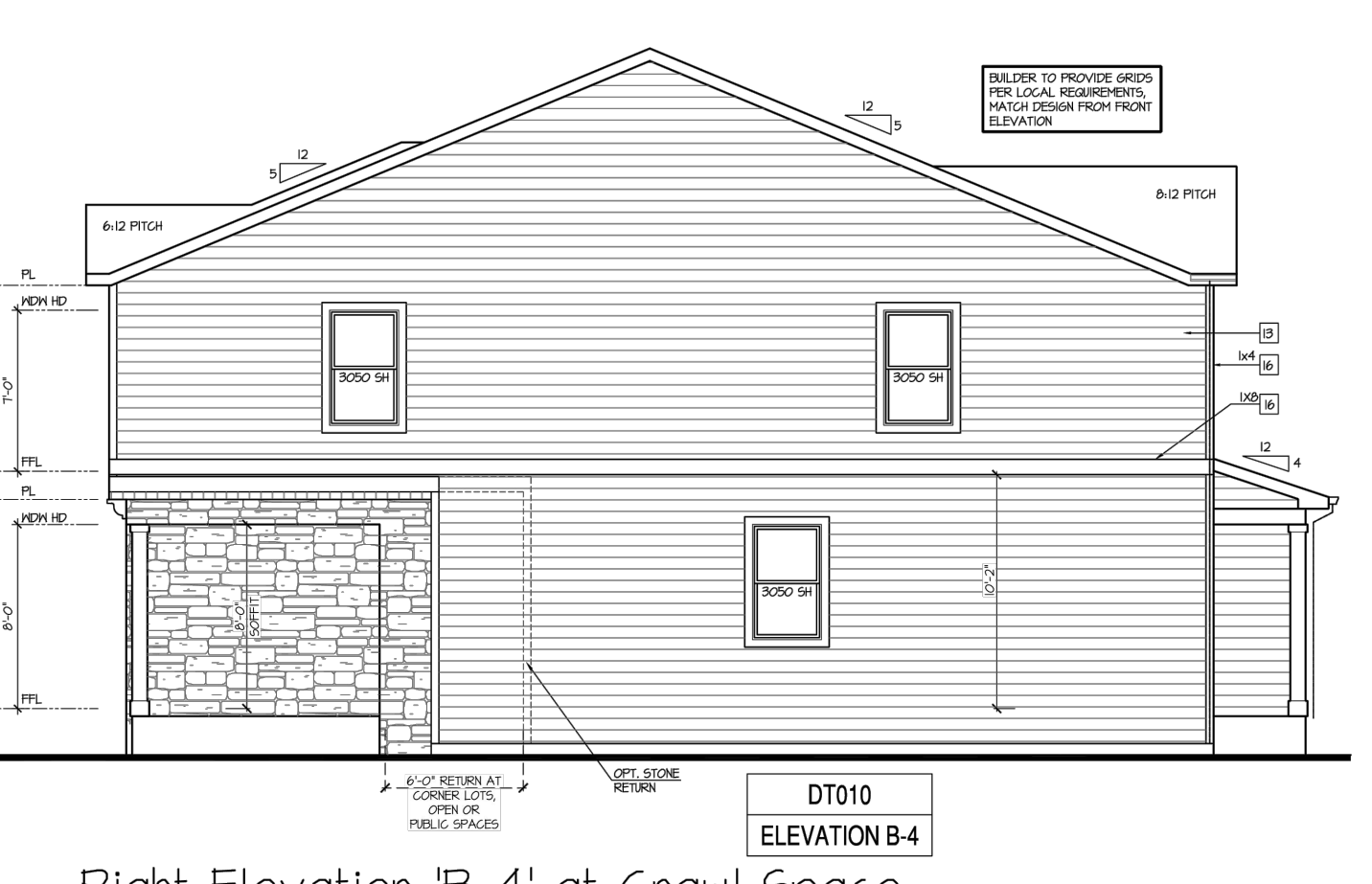
Rear Elevation - Building Type (DT010 + DT010) 'C-4/B-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



Front Elevation - Building Type (DT010 + DT010) 'C-4/B-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



Left Elevation 'C-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT



Right Elevation 'B-4' at Craw Space  
SCALE: 1/4"=1'-0" AT 22'50" LAYOUT, 1/8"=1'-0" AT 17'5" LAYOUT

ADDITIONAL NOTE:  
-ARCHITECTURAL MODIFICATIONS WILL NOT REQUIRE AN AMENDMENT TO THE PUD, IF DIMENSIONAL STANDARDS ARE MET AS PROVIDED ON SHEET 1

DRAWN BY: AXB	JOB DATE: 12/12/2023	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KMH	JOB NUMBER: 201662	0" = 1"
CAD DATE: 8/20/2024	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\DWGS\CIPUD_Phase_2_662.2024\PUDElevations_PUD		

NO.	DATE	BY	REVISION DESCRIPTION

**HRGreen**  
1975 RESEARCH PKWY SUITE 230  
COLORADO SPRINGS CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

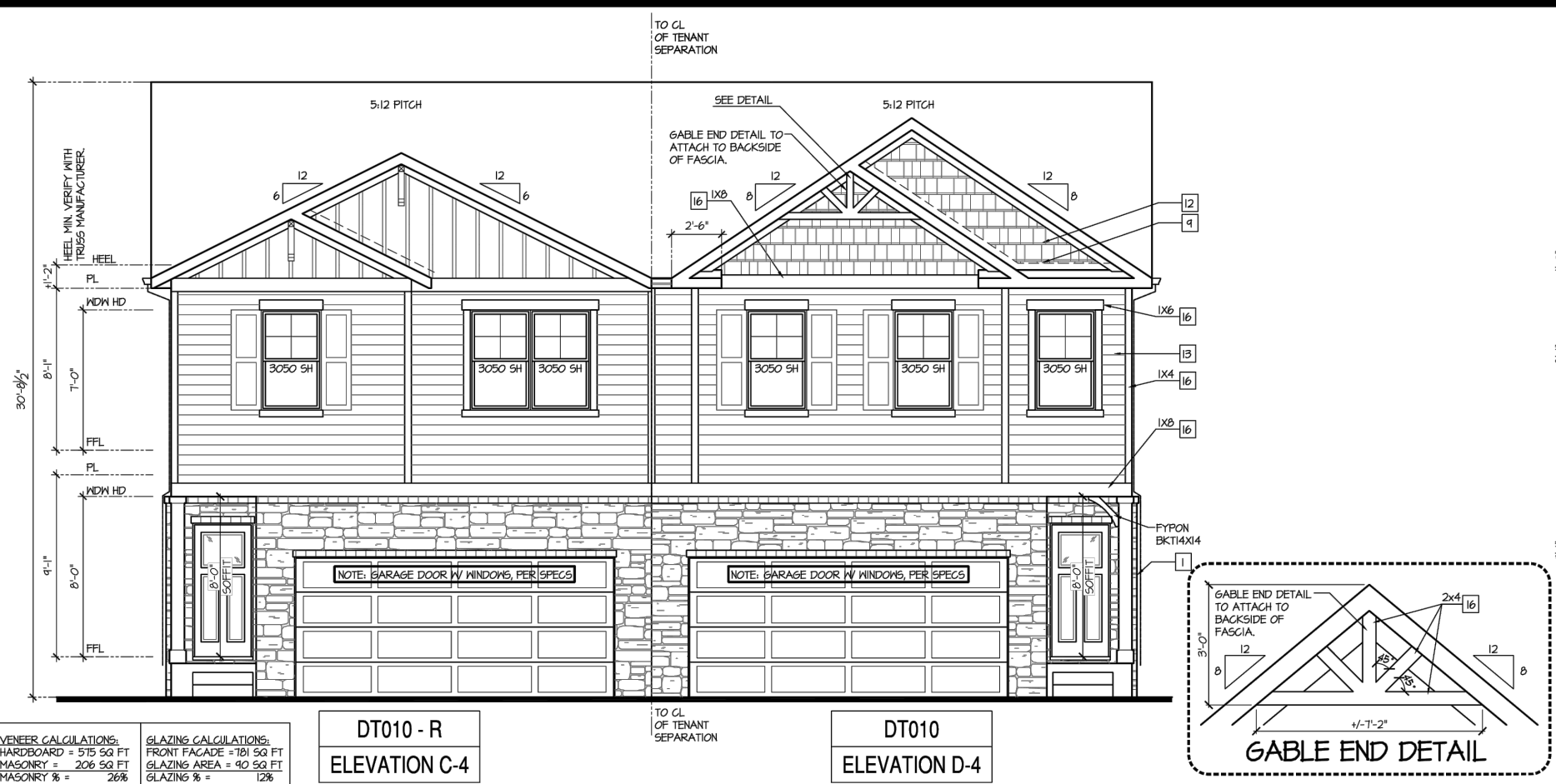
**GRANDVIEW RESERVE - PHASE 2**  
D.R. HORTON  
EL PASO COUNTY, CO





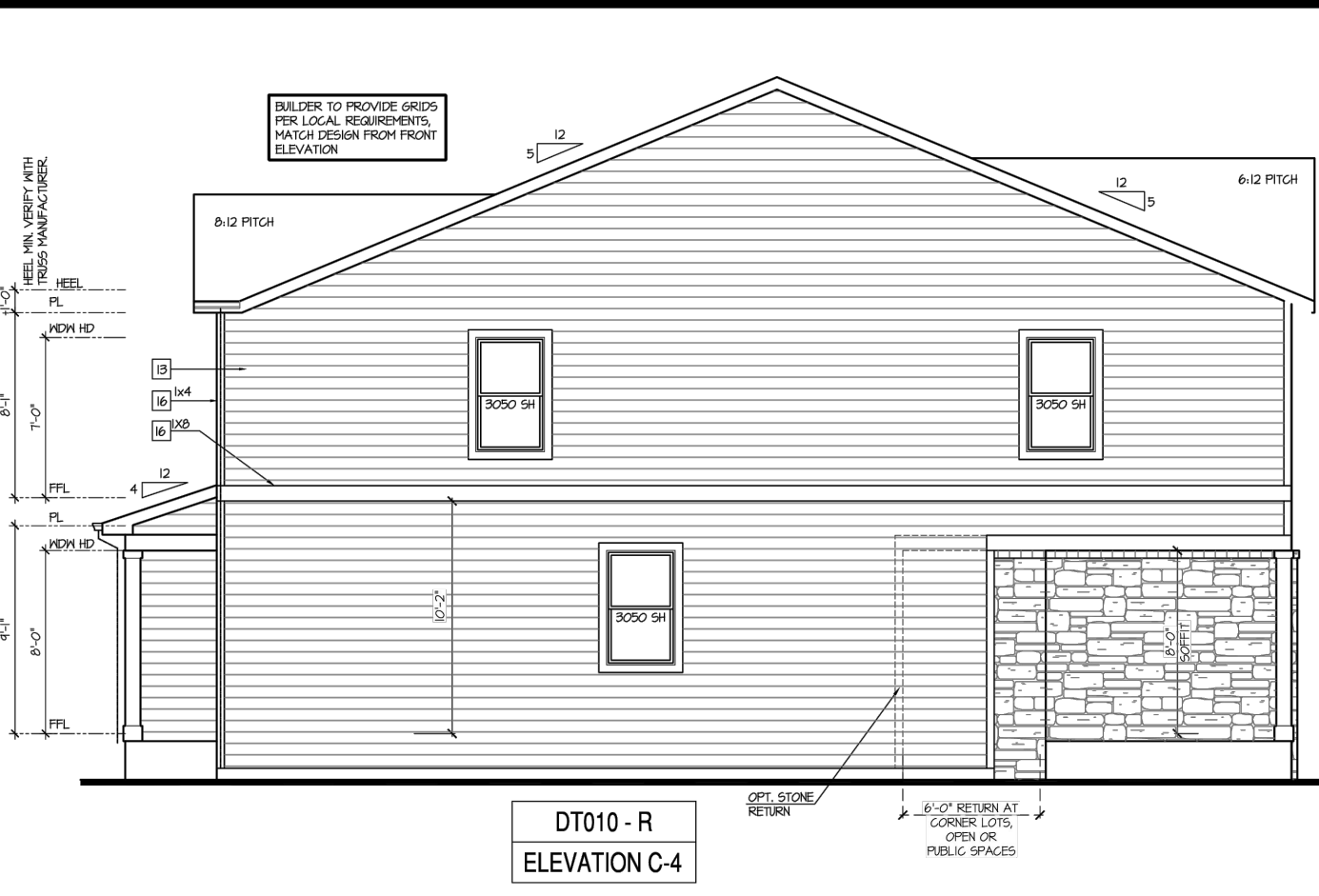
DT010 ELEVATION D DT010 - R ELEVATION C

Rear Elevation - Building Type (DT010 + DT010) 'C'/D' at Crawl Space



DT010 - R ELEVATION C-4 DT010 ELEVATION D-4

Front Elevation - Building Type (DT010 + DT010) 'C-4'/D-4' at Crawl Space



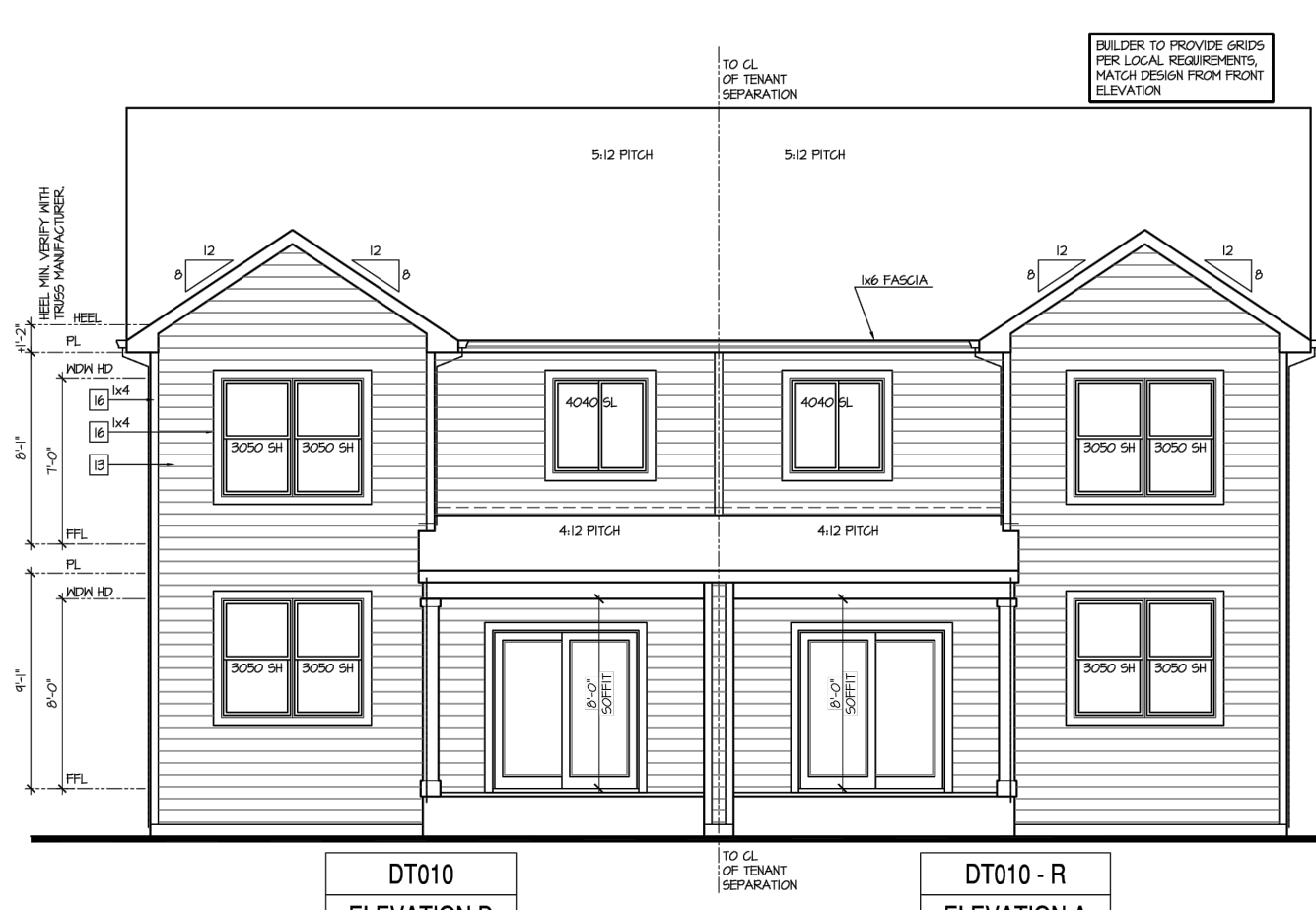
DT010 - R ELEVATION C-4

Left Elevation 'C-4' at Crawl Space



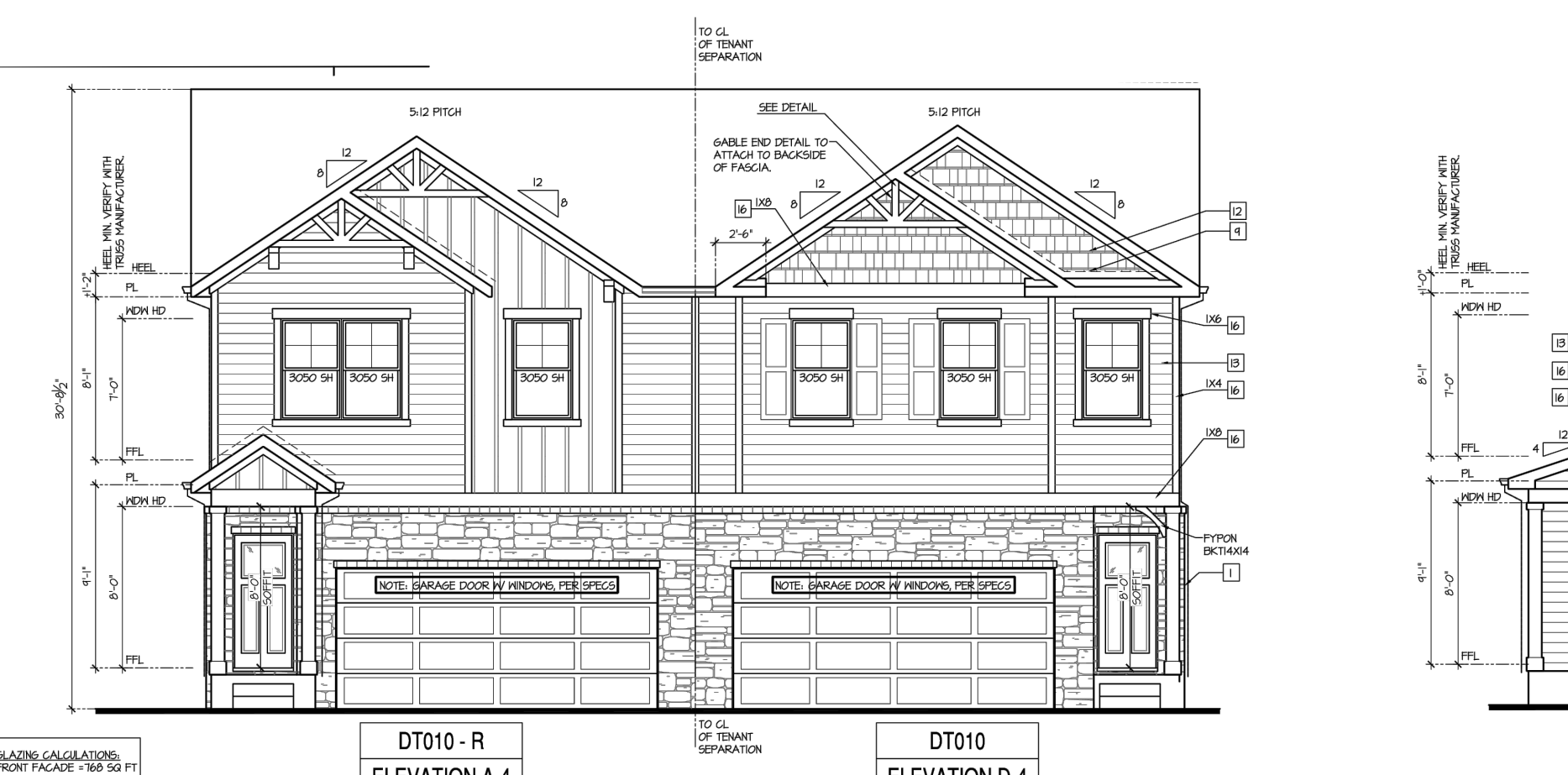
DT010 ELEVATION D-4

Right Elevation 'D-4' at Crawl Space



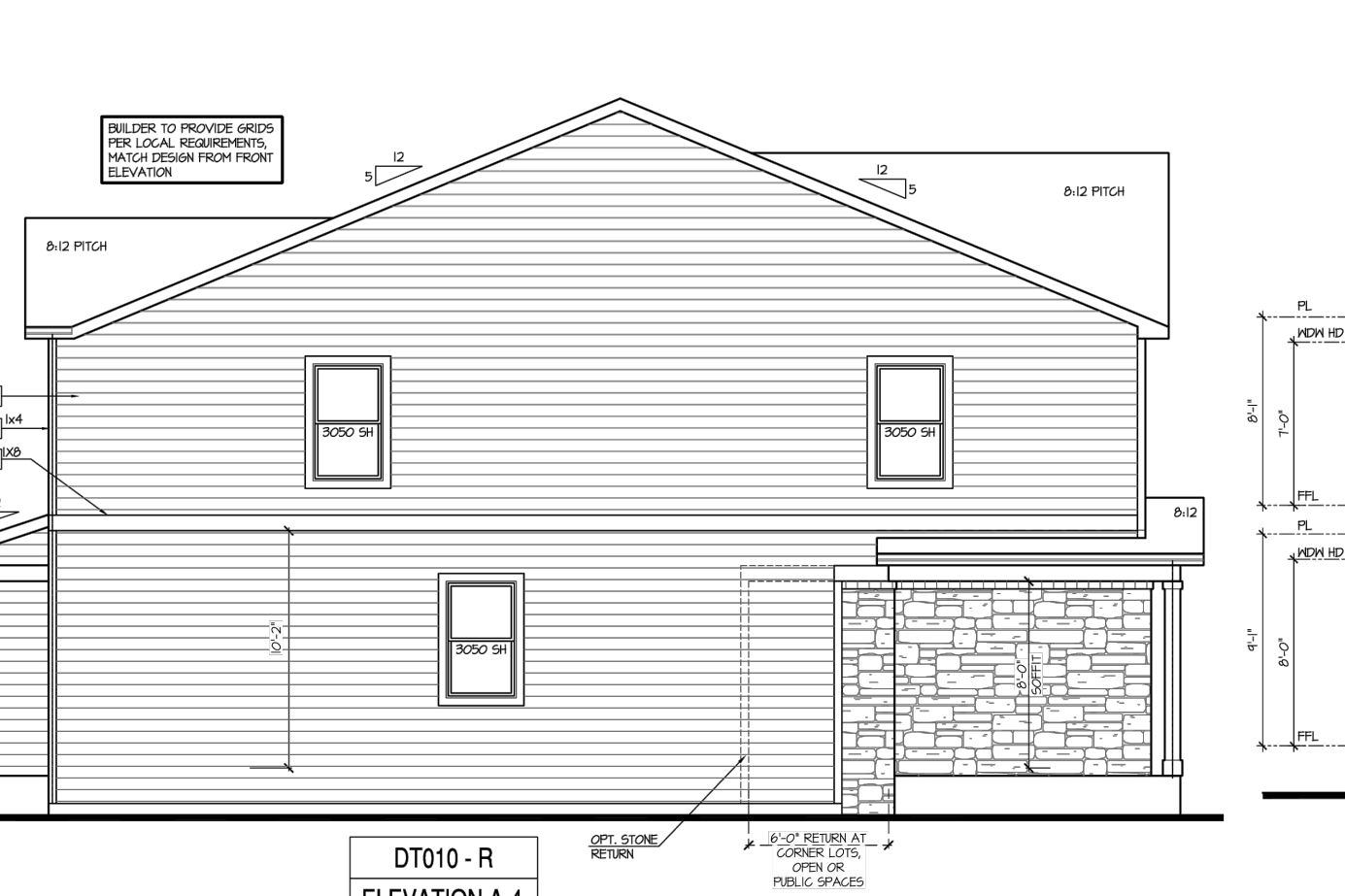
DT010 ELEVATION D DT010 - R ELEVATION A

Rear Elevation - Building Type (DT010 + DT010) 'A'/D' at Crawl Space



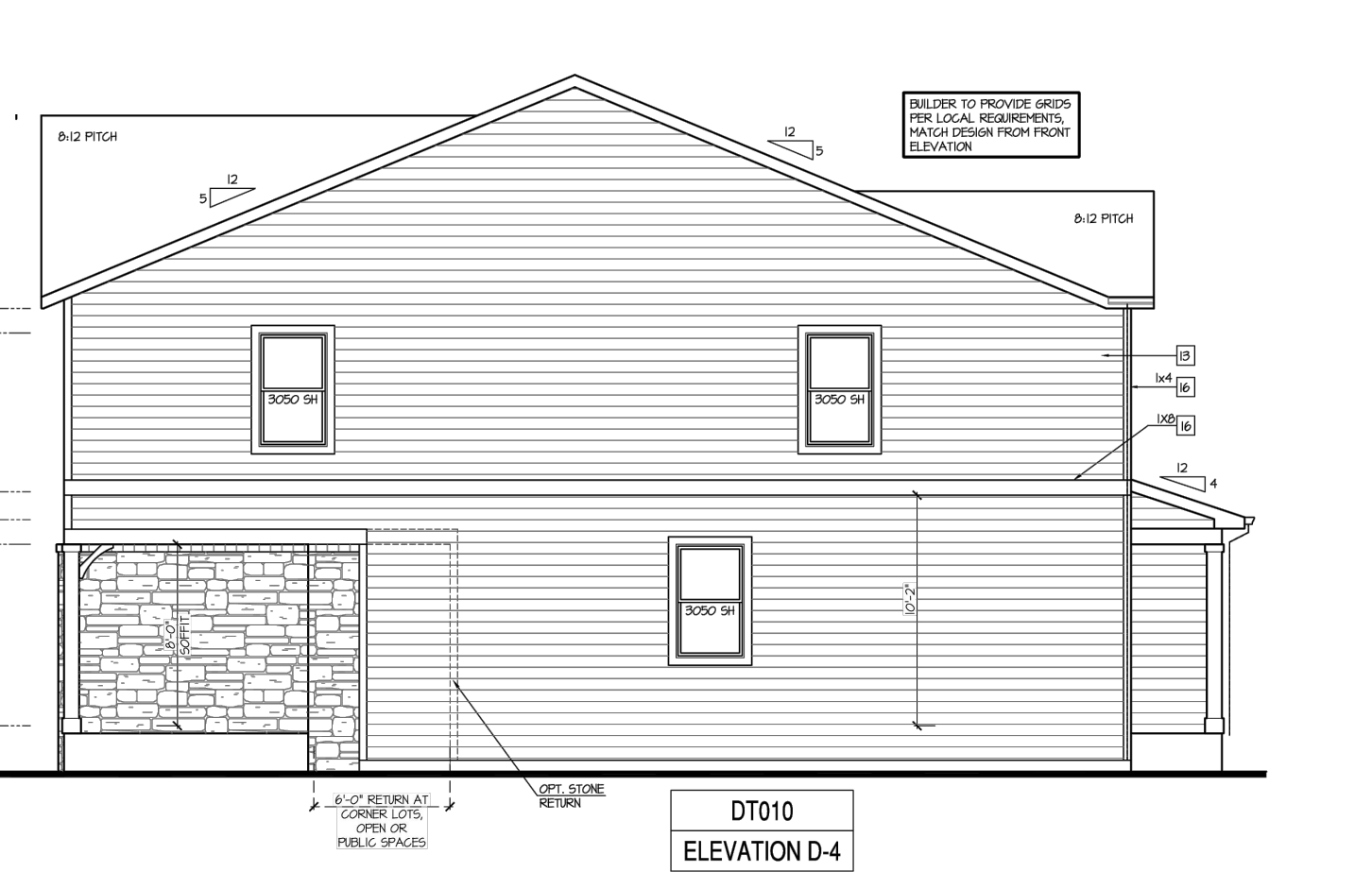
DT010 - R ELEVATION A-4 DT010 ELEVATION D-4

Front Elevation - Building Type (DT010 + DT010) 'A-4'/D-4' at Crawl Space



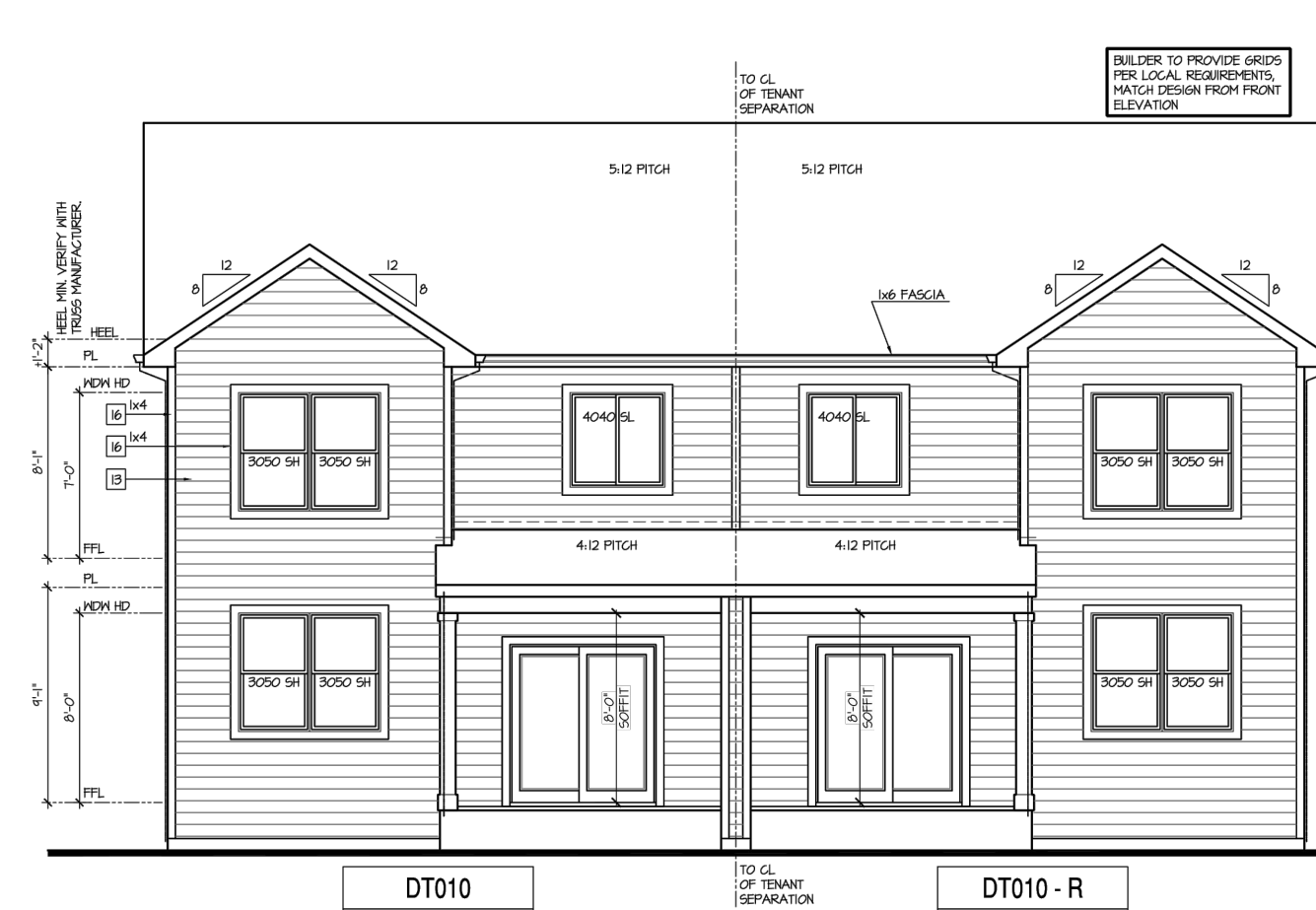
DT010 - R ELEVATION A-4

Left Elevation 'A-4' at Crawl Space



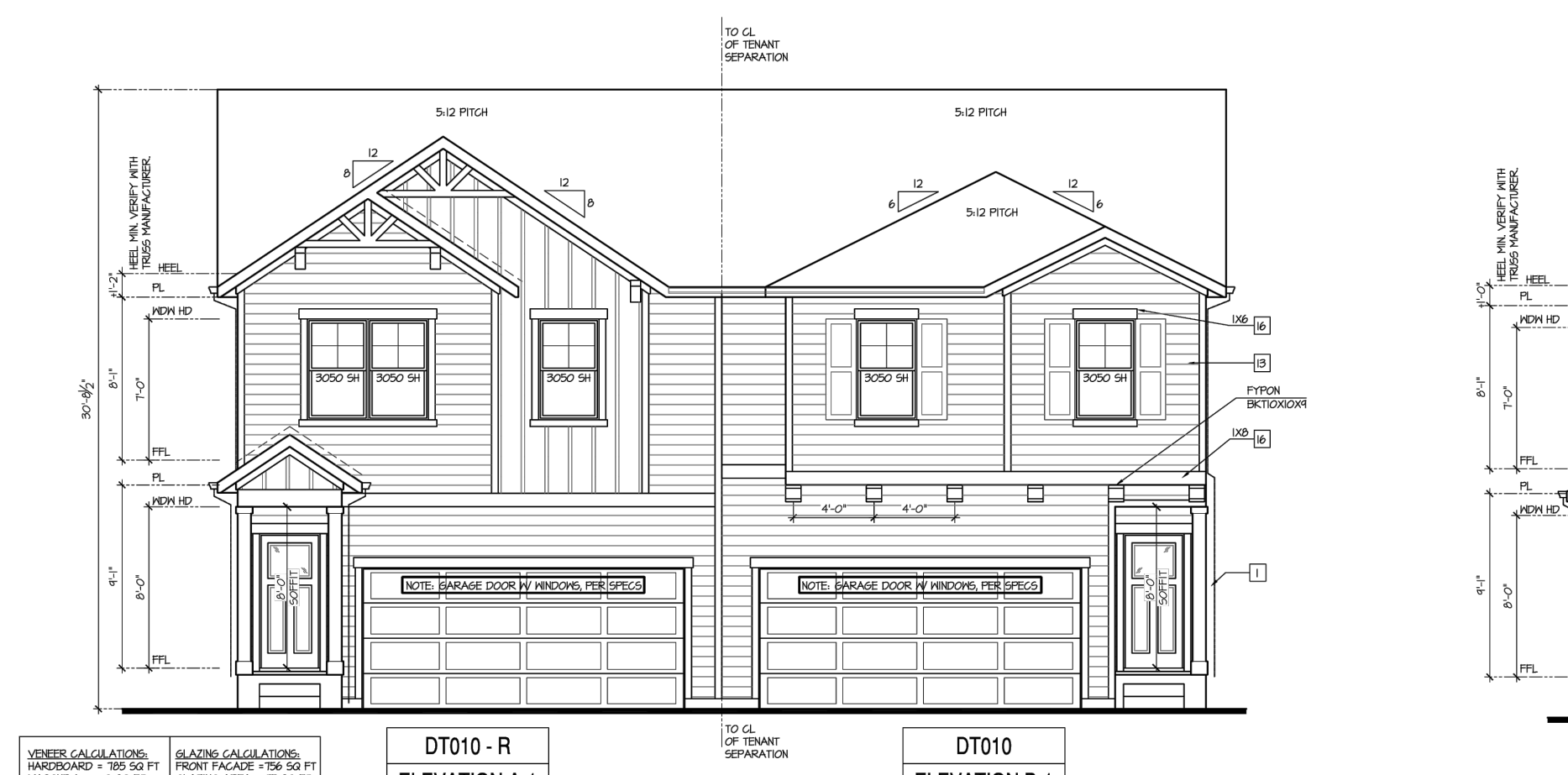
DT010 ELEVATION D-4

Right Elevation 'D-4' at Crawl Space



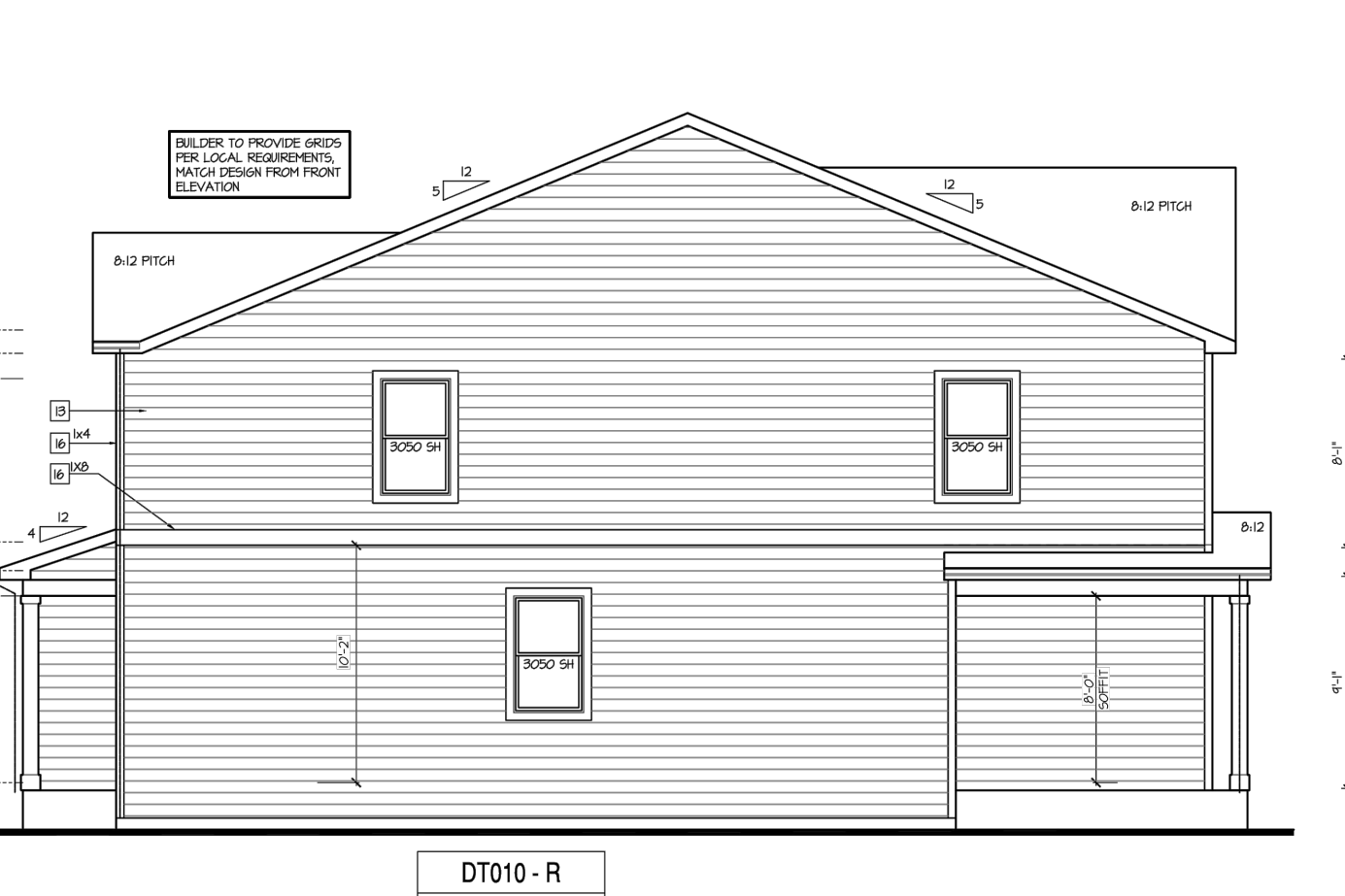
DT010 ELEVATION B DT010 - R ELEVATION A

Rear Elevation - Building Type (DT010 + DT010) 'A'/B' at Crawl Space



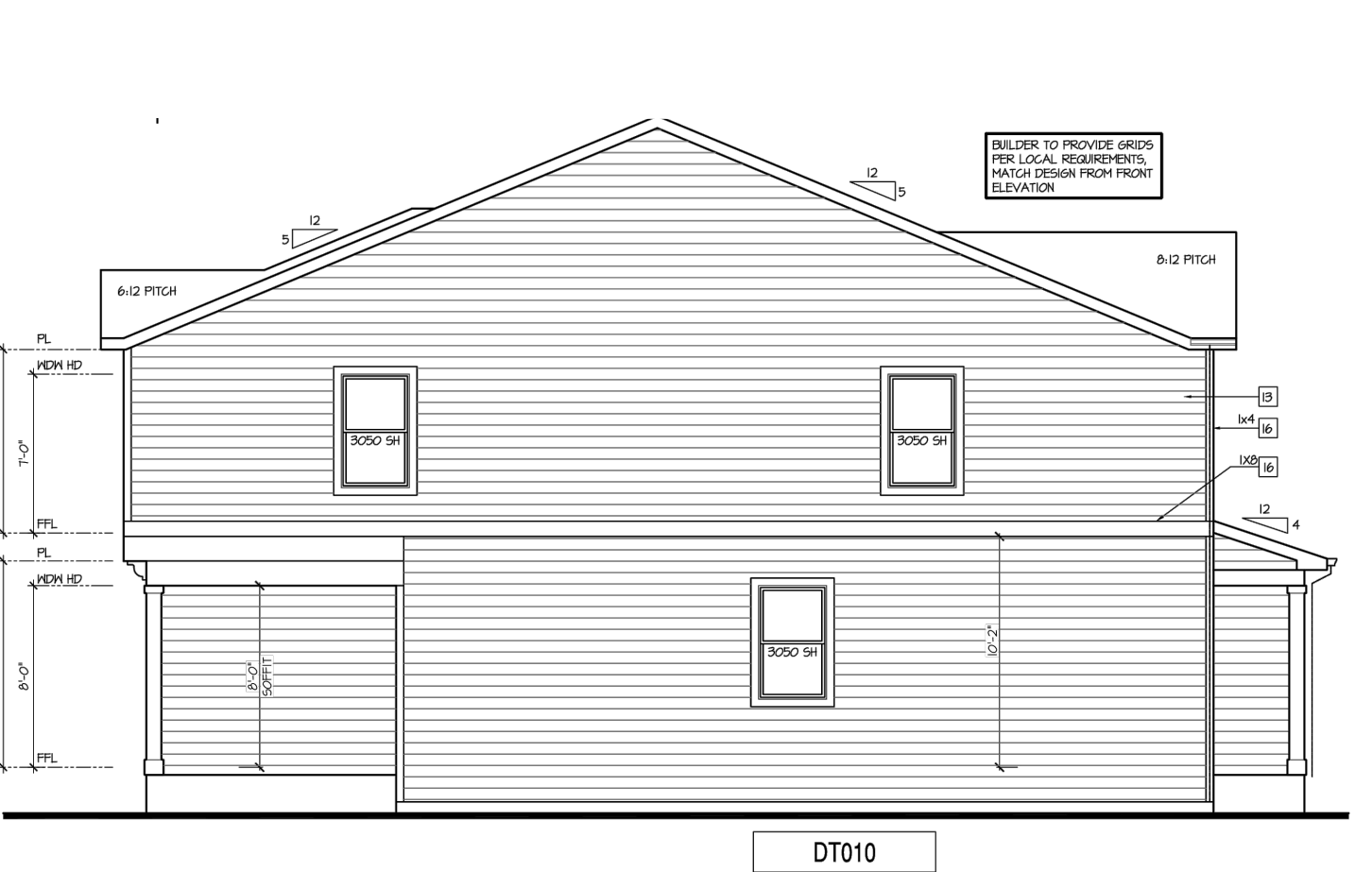
DT010 - R ELEVATION A-1 DT010 ELEVATION B-1

Front Elevation - Building Type (DT010 + DT010) 'A-1'/B-1' at Crawl Space



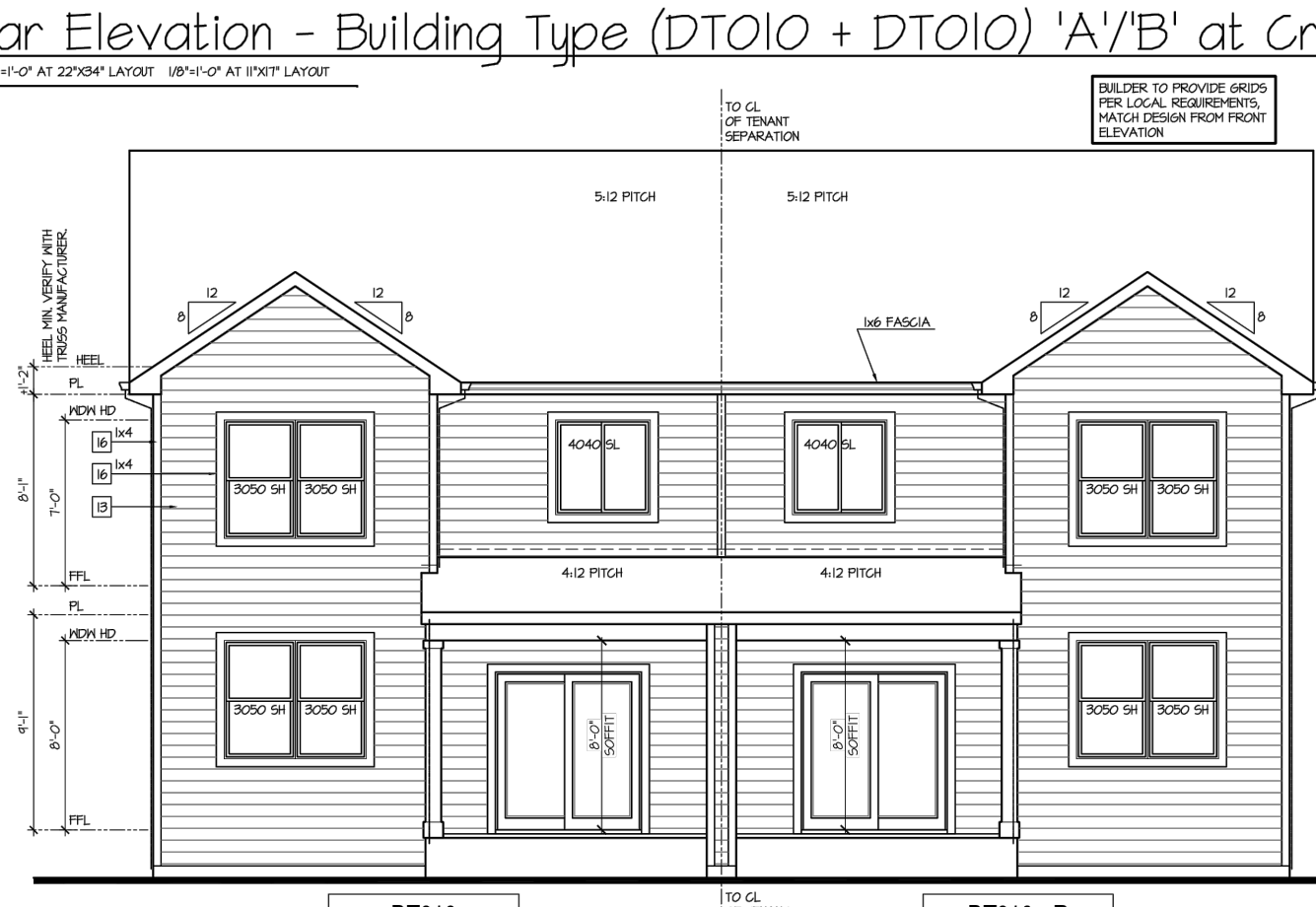
DT010 - R ELEVATION A-1

Left Elevation 'A-1' at Crawl Space



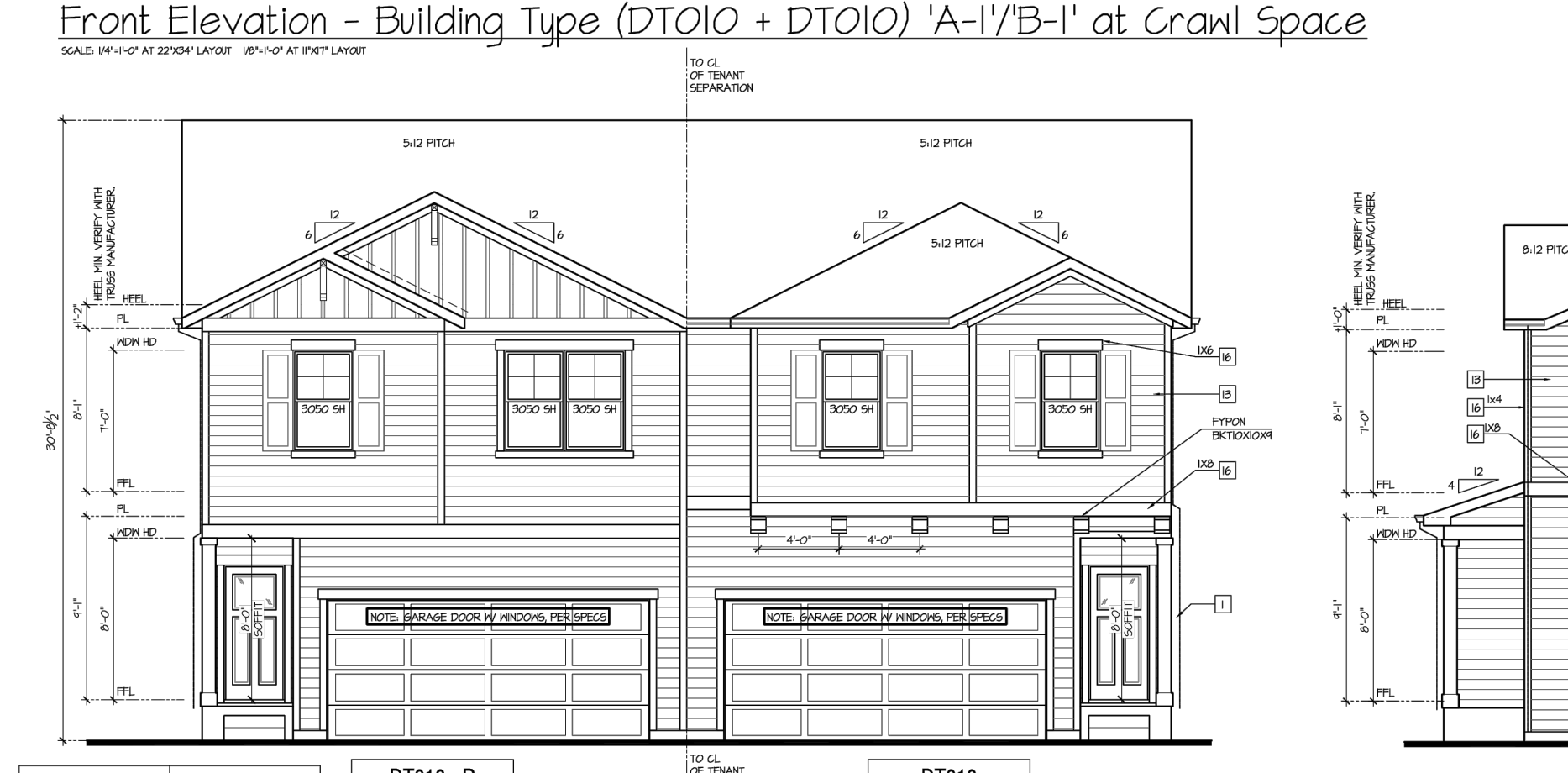
DT010 ELEVATION B-1

Right Elevation 'B-1' at Crawl Space



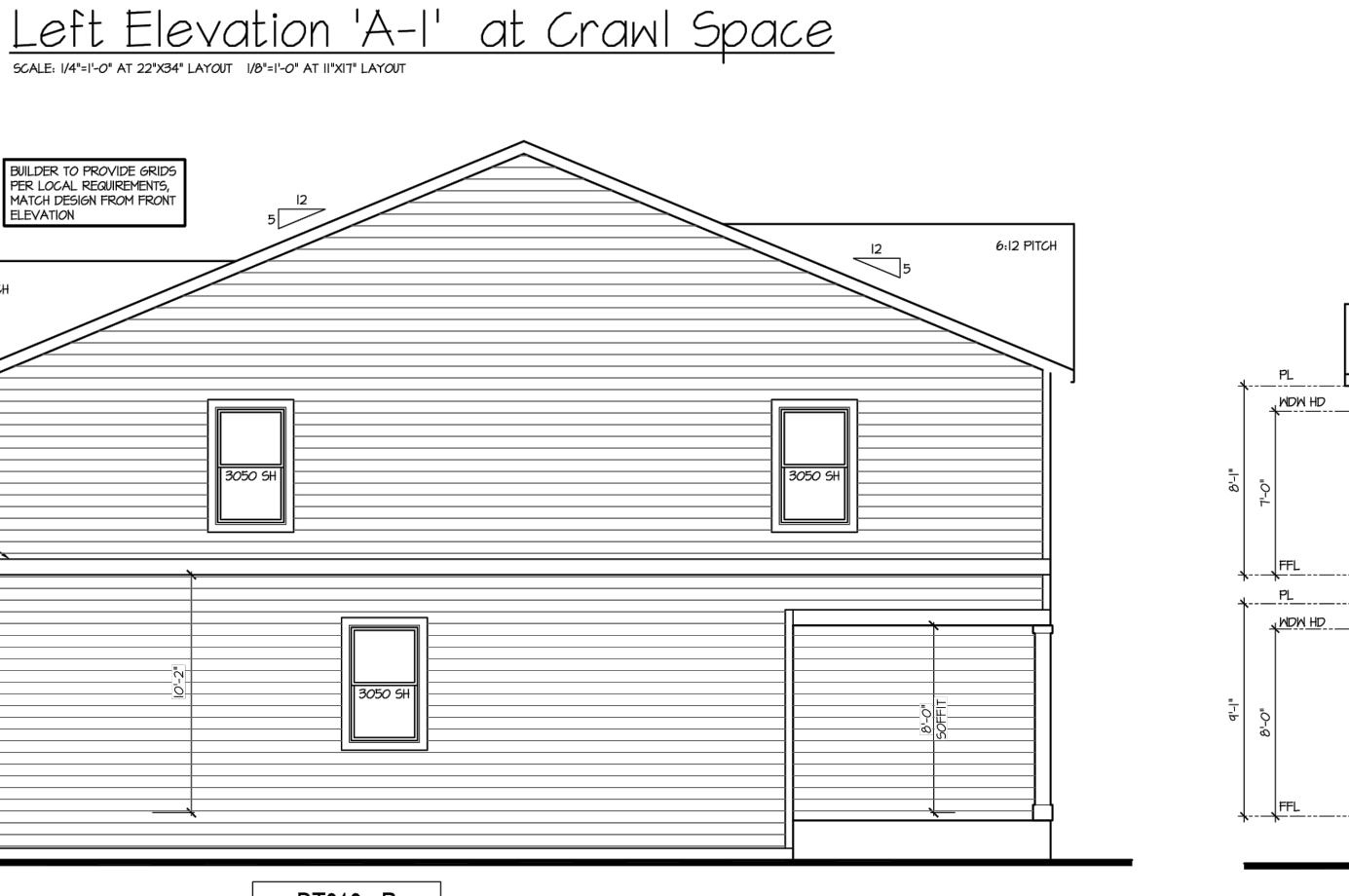
DT010 ELEVATION B DT010 - R ELEVATION C

Rear Elevation - Building Type (DT010 + DT010) 'C'/B' at Crawl Space



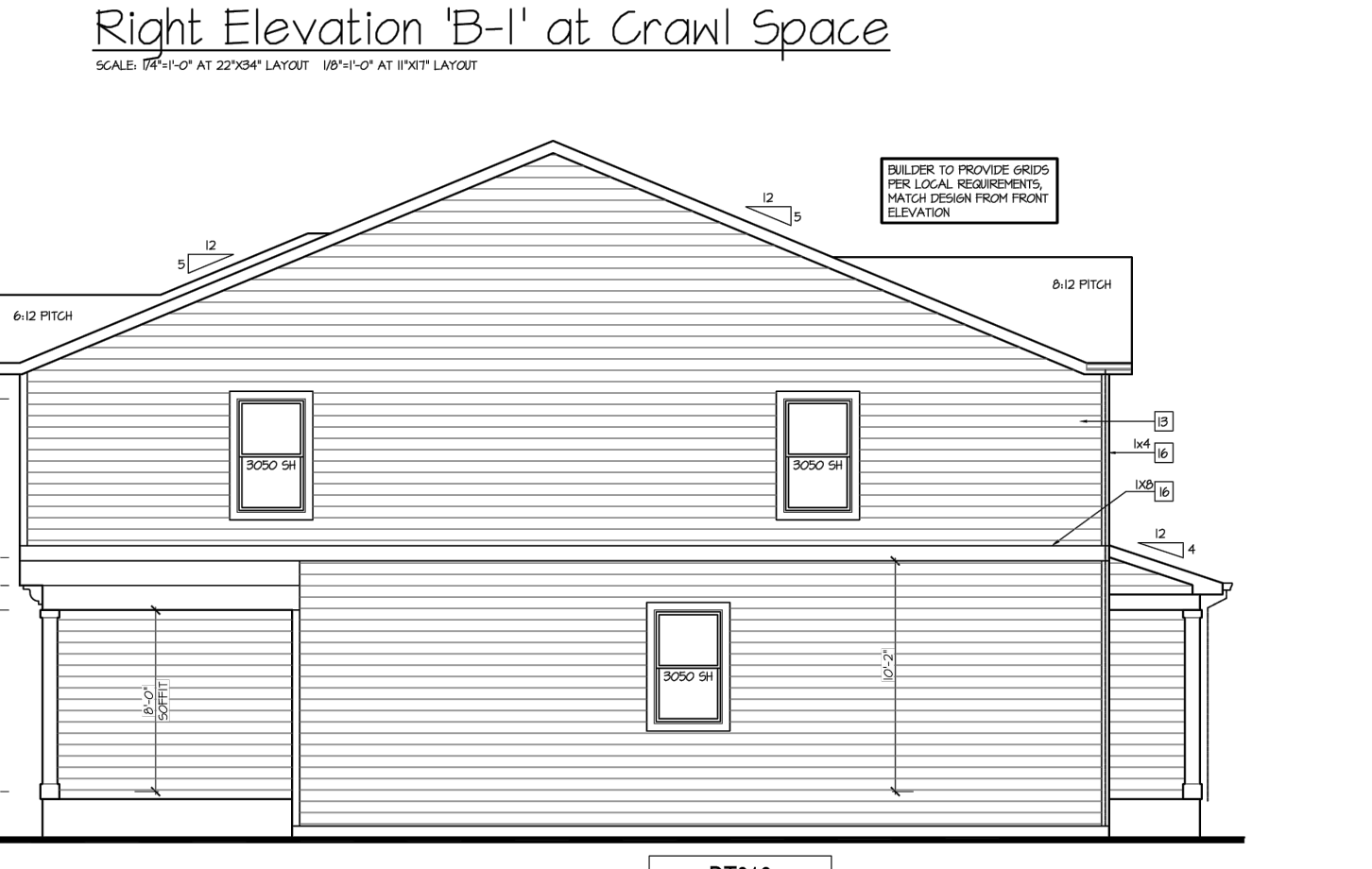
DT010 - R ELEVATION C-1 DT010 ELEVATION B-1

Front Elevation - Building Type (DT010 + DT010) 'C-1'/B-1' at Crawl Space



DT010 - R ELEVATION C-1

Left Elevation 'C-1' at Crawl Space



DT010 ELEVATION B-1

Right Elevation 'B-1' at Crawl Space

LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: AXB JOB DATE: 12/12/2023 BAR IS ONE INCH ON OFFICIAL DRAWINGS.  
APPROVED: KMH JOB NUMBER: 201662  
CAD DATE: 8/20/2024  
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD\_Phase\_2\_662.2021\PUDElevations\_PUD

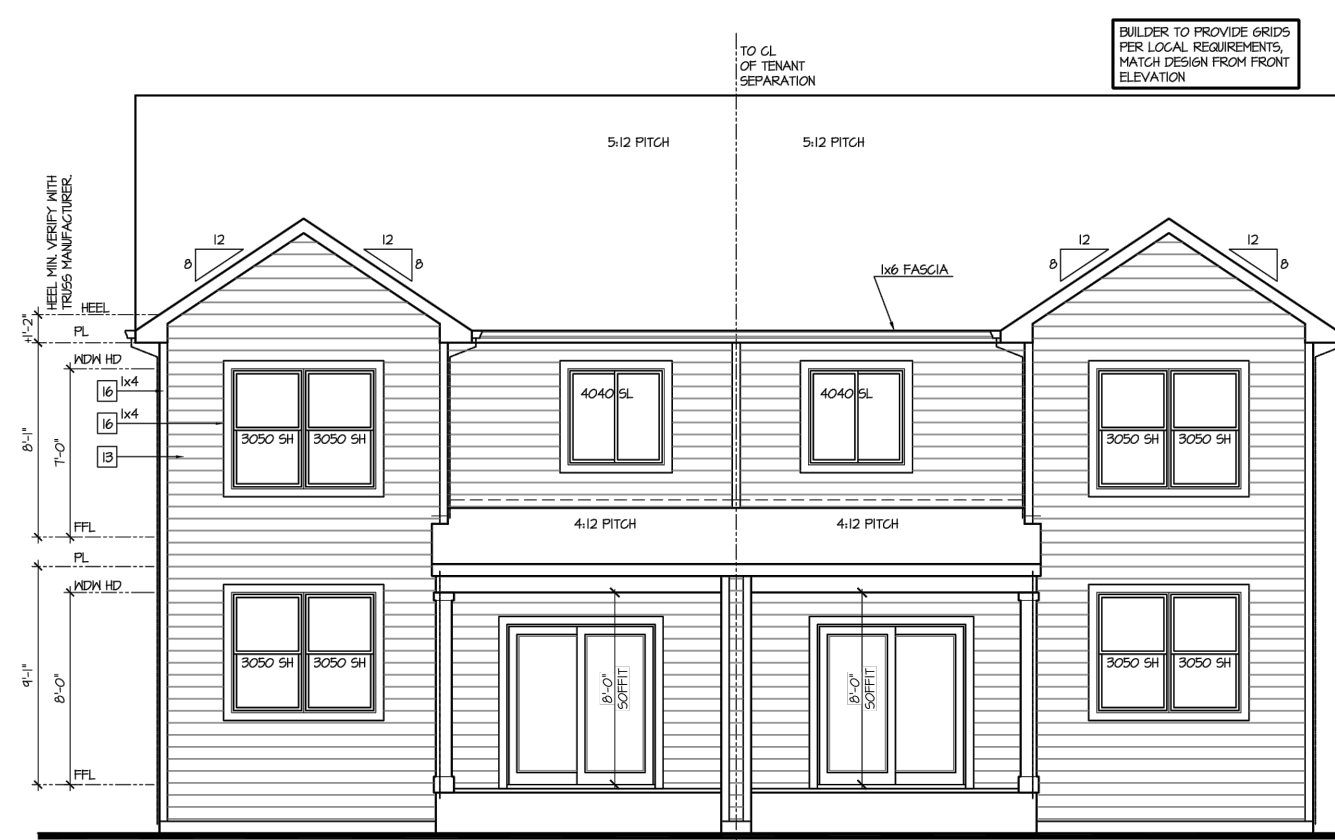
NO.	DATE	BY	REVISION DESCRIPTION

HRGreen  
HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PKWY SUITE 230  
COLORADO SPRINGS CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2  
D.R. HORTON  
EL PASO COUNTY, CO

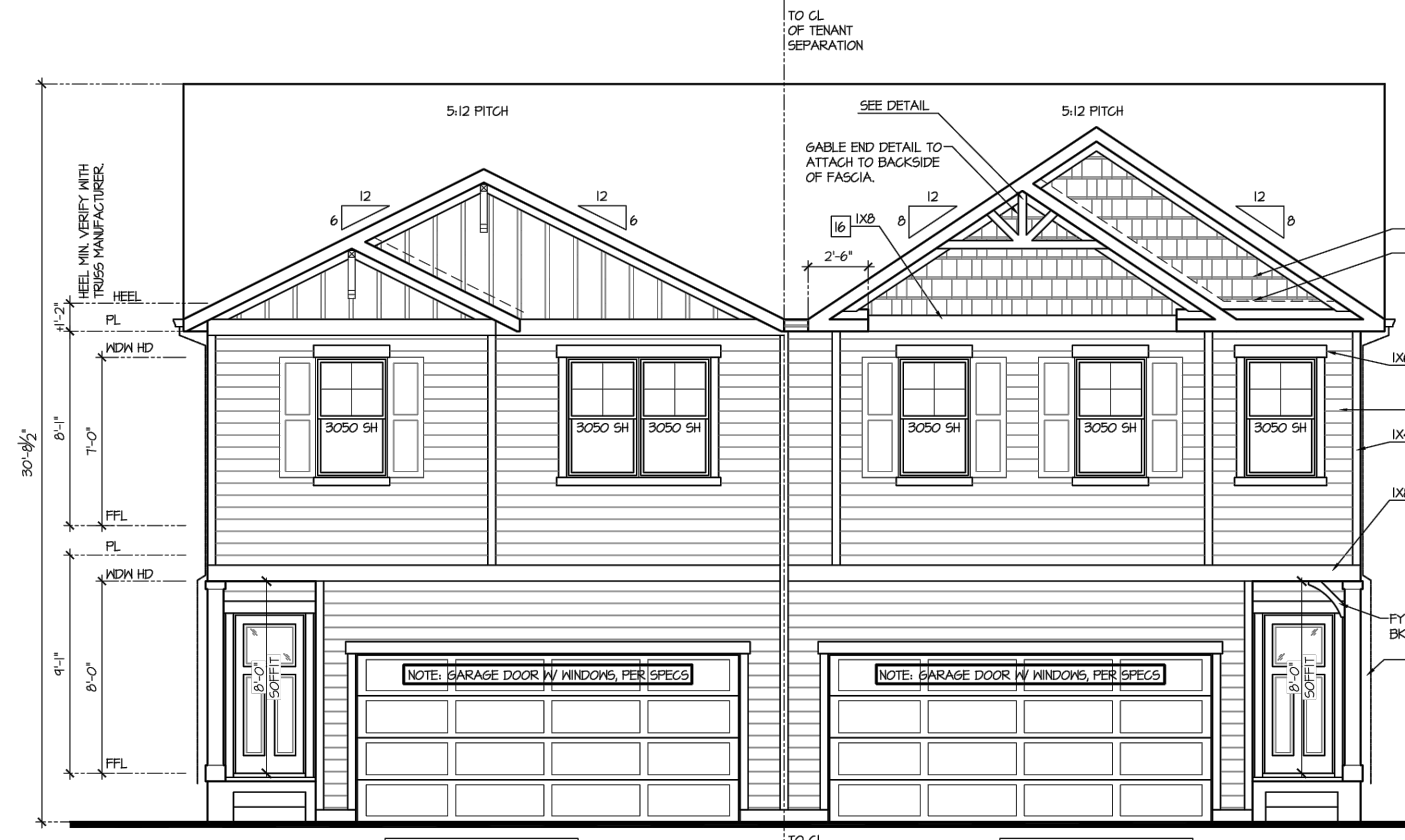


ELEVATIONS  
ELEVATIONS 1 OF 3  
SHEET  
04



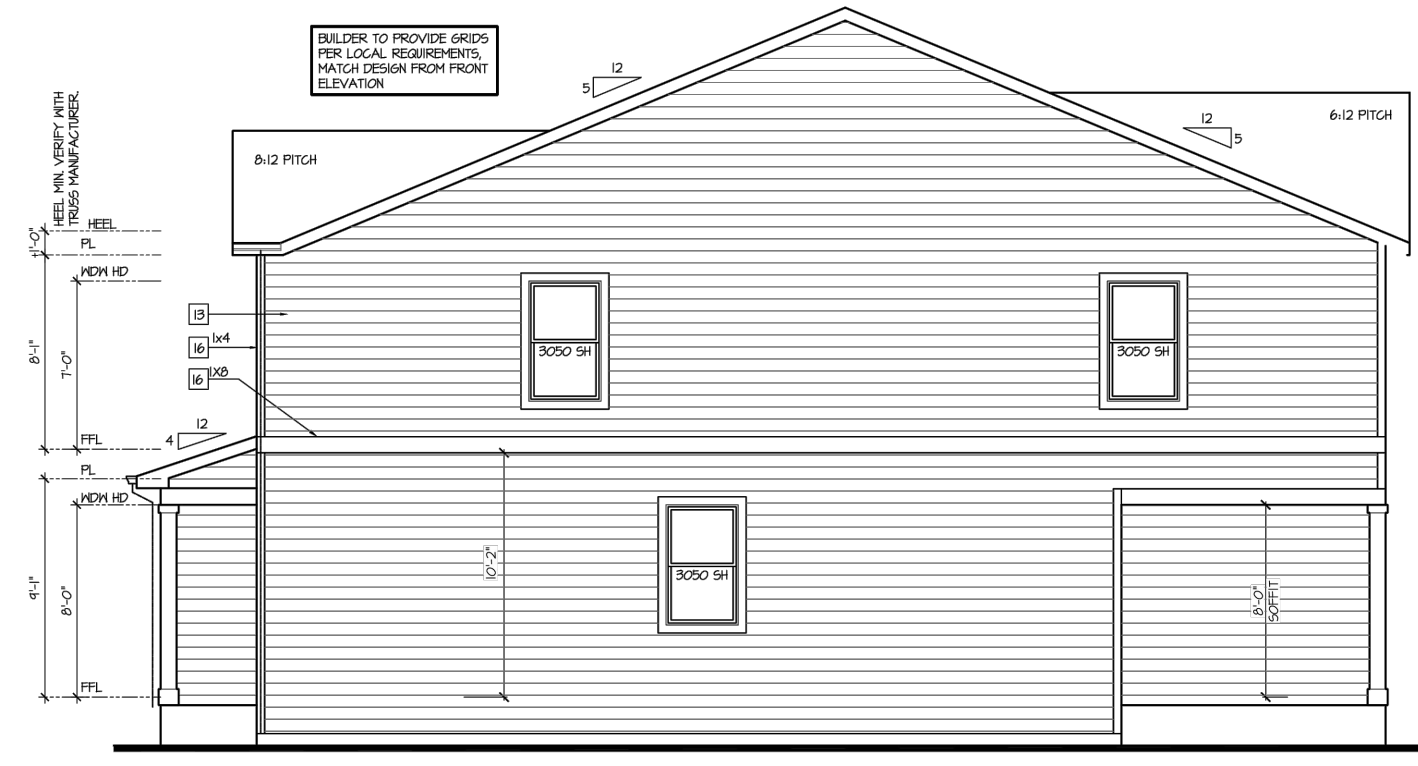
DT010 ELEVATION D  
DT010 - R ELEVATION C

Rear Elevation - Building Type (DT010 + DT010) 'C'/D' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



DT010 - R ELEVATION C-1  
DT010 ELEVATION D-1

Front Elevation - Building Type (DT010 + DT010) 'C-1'/D-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



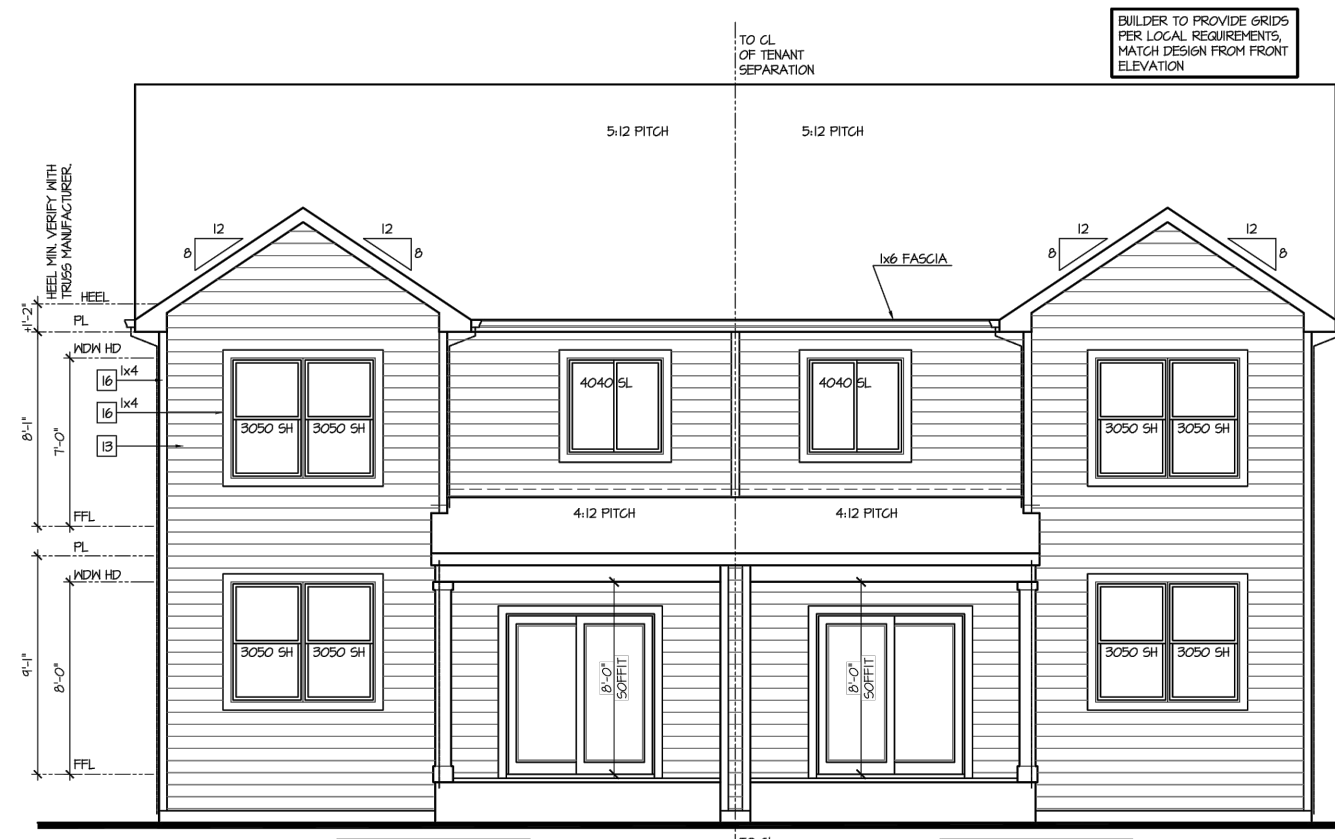
DT010 - R ELEVATION C-1

Left Elevation 'C-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



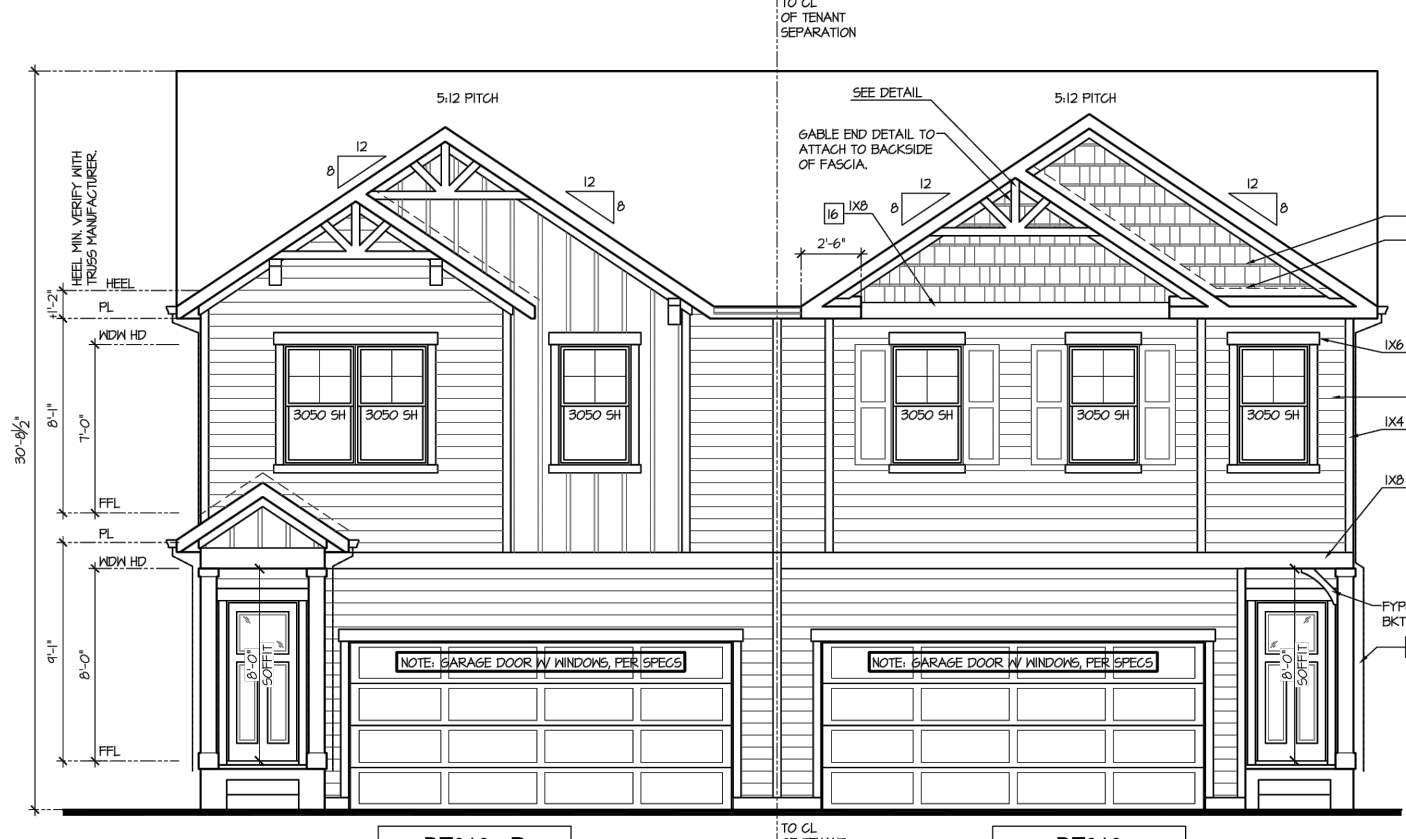
DT010 ELEVATION D-1

Right Elevation 'D-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



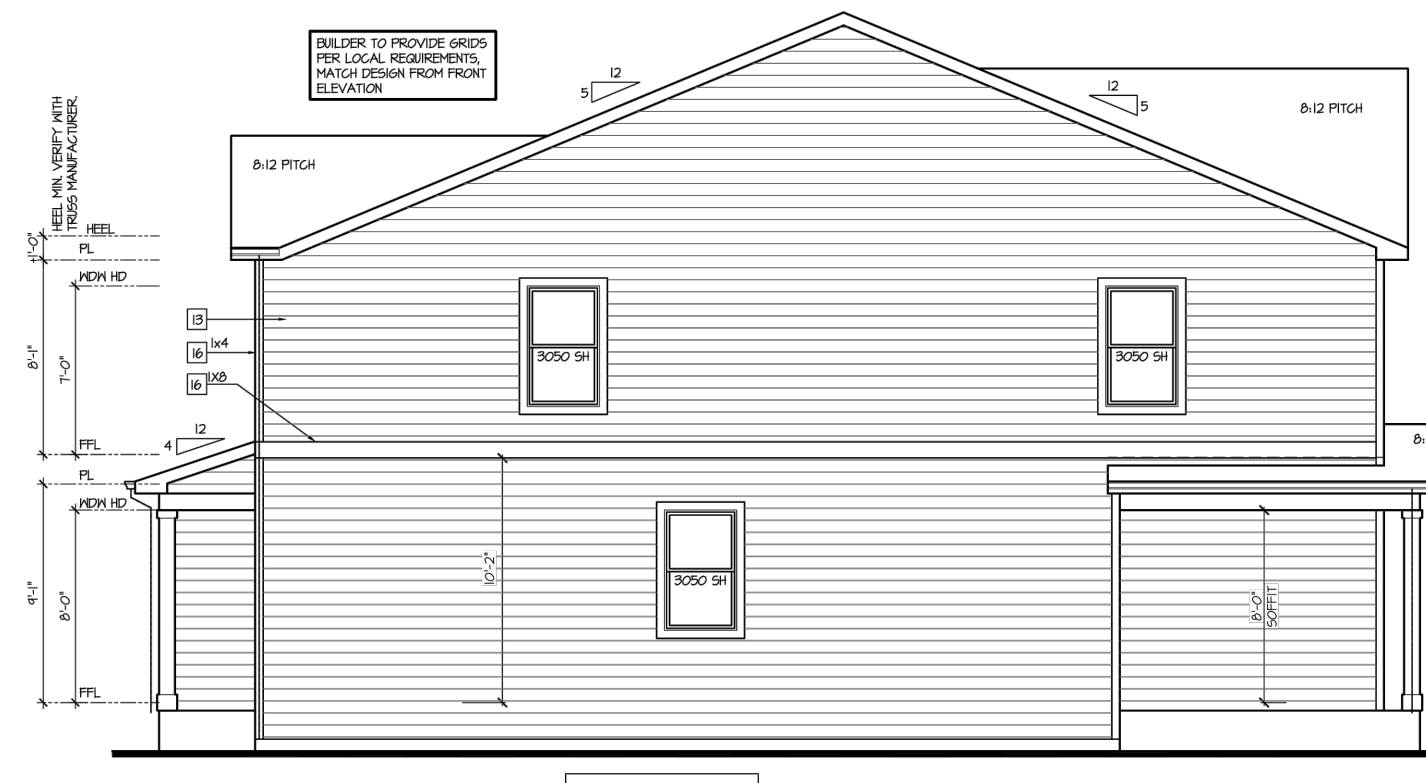
DT010 ELEVATION D  
DT010 - R ELEVATION A

Rear Elevation - Building Type (DT010 + DT010) 'A'/D' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



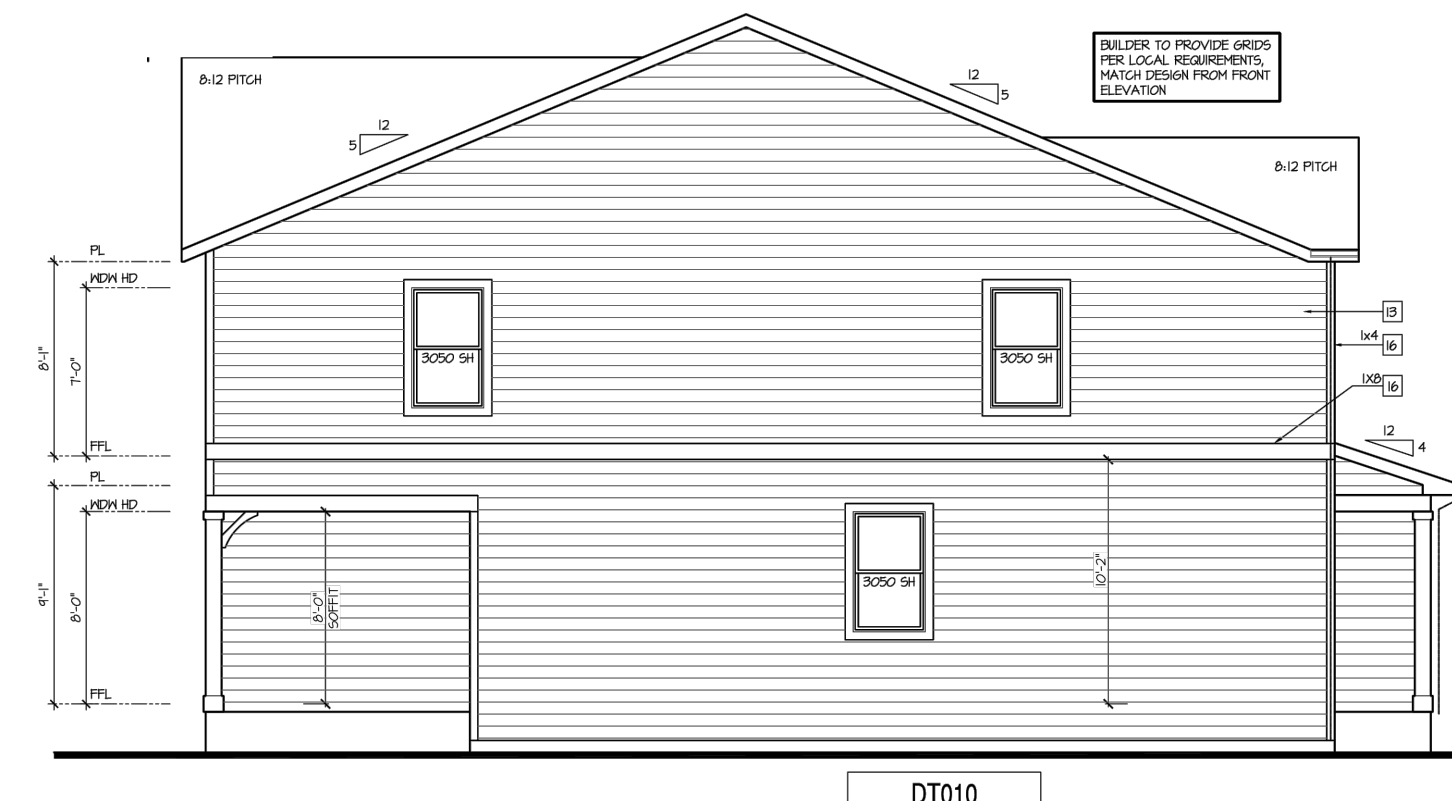
DT010 - R ELEVATION A-1  
DT010 ELEVATION D-1

Front Elevation - Building Type (DT010 + DT010) 'A-1'/D-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



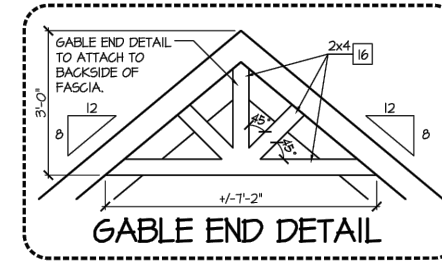
DT010 - R ELEVATION A-1

Left Elevation 'A-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



DT010 ELEVATION D-1

Right Elevation 'D-1' at Crawl Space  
SCALE: 1/4"=1'-0" AT 22'0\"/>



NO.	DATE	BY	REVISION DESCRIPTION





GREEN, JUSTIN, 8/21/2024, 3:32 PM

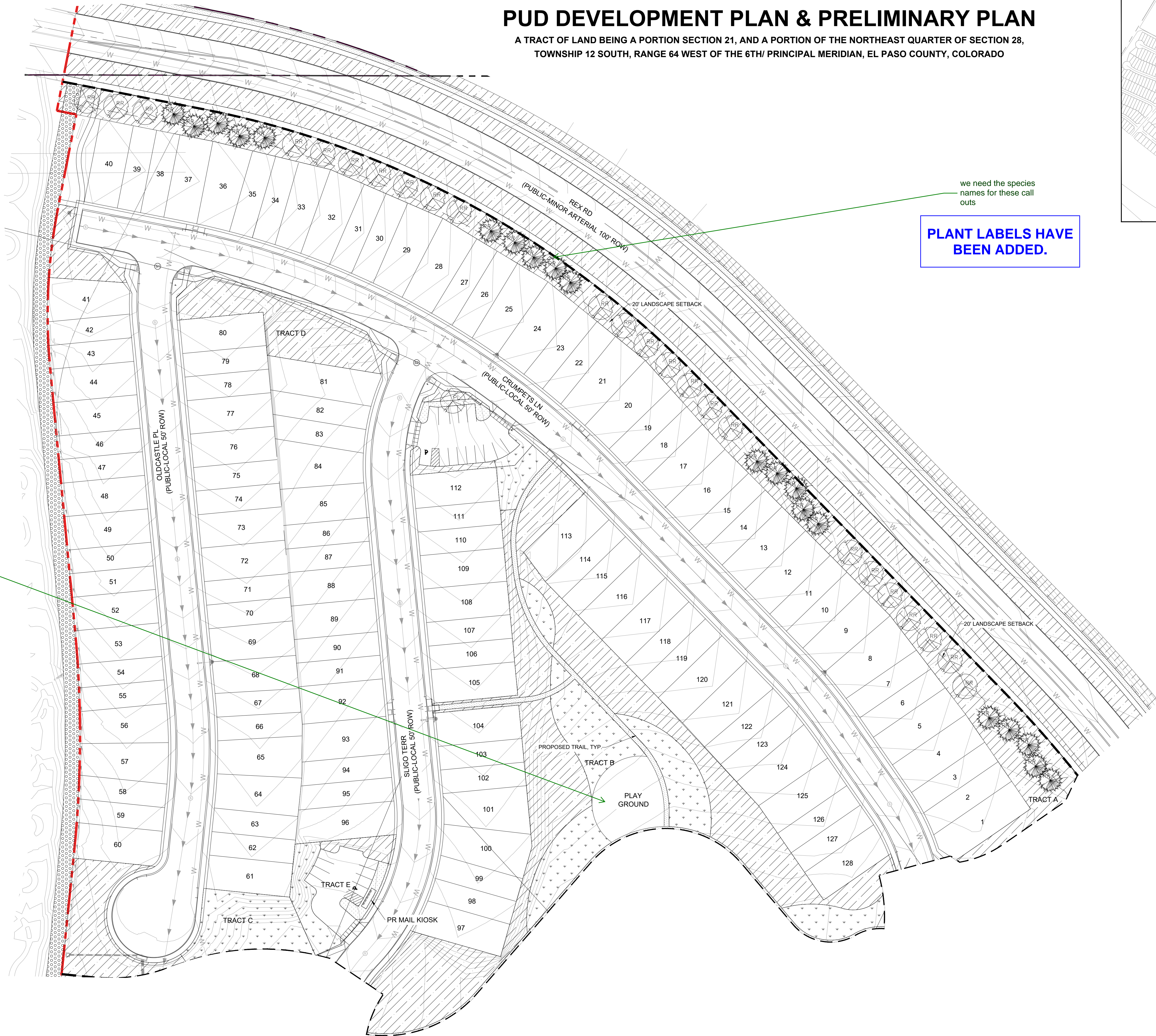
HR GREEN Xrefs: xcdesign-PM2, xcrow-PM2, 01-XC-channel, xrow-002, xcdign, 062, xcdign-PM2, xg1-1-arch, 061, PM2\_PUD, xcdign-PM2, xcrow-PM2, xrow-013, xrow-014, xcrow-PM2, xrow-017, xrow-018, xrow-019, xrow-020, xrow-021, xrow-022, xrow-023, xrow-024, xrow-025, xrow-026, xrow-027, xrow-028, xrow-029, xrow-030, xrow-031, xrow-032, xrow-033, xrow-034, xrow-035, xrow-036, xrow-037, xrow-038, xrow-039, xrow-040, xrow-041, xrow-042, xrow-043, xrow-044, xrow-045, xrow-046, xrow-047, xrow-048, xrow-049, xrow-050, xrow-051, xrow-052, xrow-053, xrow-054, xrow-055, xrow-056, xrow-057, xrow-058, xrow-059, xrow-060, xrow-061, xrow-062, xrow-063, xrow-064, xrow-065, xrow-066, xrow-067, xrow-068, xrow-069, xrow-070, xrow-071, xrow-072, xrow-073, xrow-074, xrow-075, xrow-076, xrow-077, xrow-078, xrow-079, xrow-080, xrow-081, xrow-082, xrow-083, xrow-084, xrow-085, xrow-086, xrow-087, xrow-088, xrow-089, xrow-090, xrow-091, xrow-092, xrow-093, xrow-094, xrow-095, xrow-096, xrow-097, xrow-098, xrow-099, xrow-100, xrow-101, xrow-102, xrow-103, xrow-104, xrow-105, xrow-106, xrow-107, xrow-108, xrow-109, xrow-110, xrow-111, xrow-112, xrow-113, xrow-114, xrow-115, xrow-116, xrow-117, xrow-118, xrow-119, xrow-120, xrow-121, xrow-122, xrow-123, xrow-124, xrow-125, xrow-126, xrow-127, xrow-128

# GRANDVIEW RESERVE PHASE 2A-D PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28,  
TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP  
SCALE: NTS



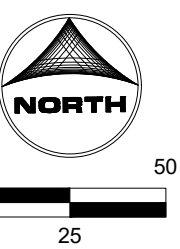
**PLANT LABELS HAVE BEEN ADDED.**

### GROUND COVER LEGEND

SYMBOL	DESCRIPTION
[Symbol]	<b>SOD TURF</b> IRRIGATED KENTUCKY BLUEGRASS SOD. CONTACT LOCAL SUPPLIER WITHIN EL PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS.
[Symbol]	<b>NATIVE SEED</b> IRRIGATED NATIVE SEED, TO BE PRE-BLENDED, EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
[Symbol]	<b>DETENTION SEED</b> DETENTION SEED, TO BE PRE-BLENDED, EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
[Symbol]	<b>CRUSHED ROCK</b> COMPACTED FOR MAINTENANCE ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER SUPPLIER'S SPECIFICATIONS.
[Symbol]	<b>SHREDDED MULCH</b> SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.
[Symbol]	<b>EXISTING LANDSCAPE</b> AREAS TO REMAIN AND ARE TO PRESERVED. IF AREAS ARE DISTURBED, THEY SHALL BE RE-VEGETATED BACK TO ORIGINAL CONDITION.

### TREE LEGEND

SYMBOL	DESCRIPTION
[Symbol]	<b>DECIDUOUS SHADE TREE</b>
[Symbol]	<b>EVERGREEN TREE</b>
[Symbol]	<b>ORNAMENTAL TREE</b>



LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: JAG	JOB DATE: 8/21/2024	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: JFR	JOB NUMBER: 201662.202	0" = 1'
CAD DATE: 8/21/2024	IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.	
CAD FILE: J:\2020\201662\CAD\Dwg\Site\PU2_Phase_2_662.202\PU2Landscape_Plan_PUD		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PKWY SUITE 230  
COLORADO SPRINGS CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2  
D.R. HORTON  
EL PASO COUNTY, CO



LANDSCAPE  
PRELIMINARY LANDSCAPE PLAN

SHEET  
L.03  
16







# GRANDVIEW RESERVE PHASE 2A-D PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28,  
TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



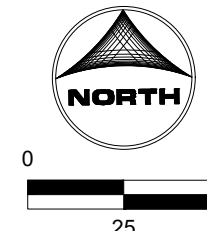
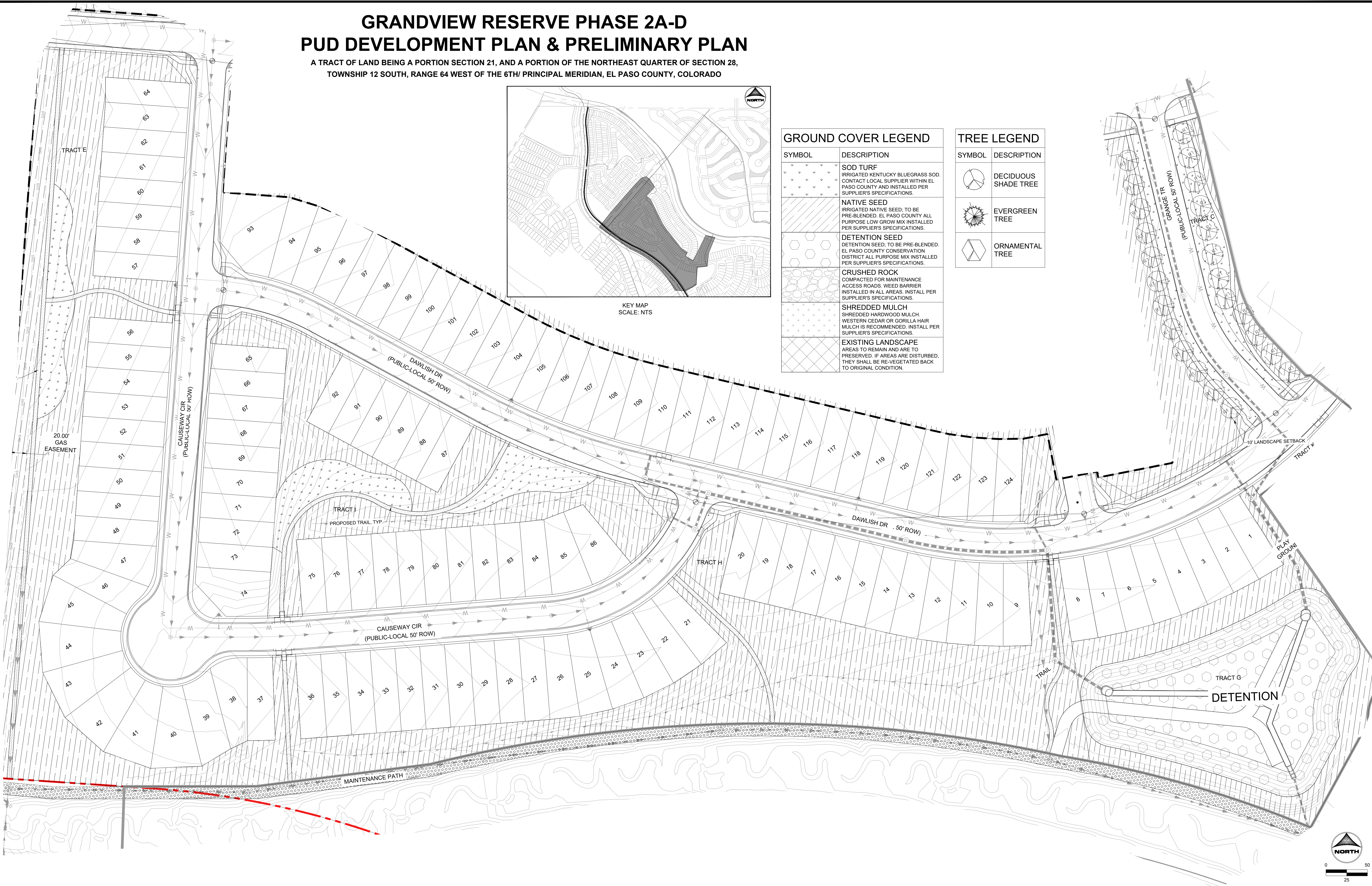
KEY MAP  
SCALE: NTS

### GROUND COVER LEGEND

SYMBOL	DESCRIPTION
	<b>SOD TURF</b> IRRIGATED KENTUCKY BLUEGRASS SOD. CONTACT LOCAL SUPPLIER WITHIN EL PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	<b>NATIVE SEED</b> IRRIGATED NATIVE SEED, TO BE PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	<b>DETENTION SEED</b> DETENTION SEED, TO BE PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.
	<b>CRUSHED ROCK</b> COMPACTED FOR MAINTENANCE ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER SUPPLIER'S SPECIFICATIONS.
	<b>SHREDDED MULCH</b> SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.
	<b>EXISTING LANDSCAPE</b> AREAS TO REMAIN AND ARE TO PRESERVED. IF AREAS ARE DISTURBED, THEY SHALL BE RE-VEGETATED BACK TO ORIGINAL CONDITION.

### TREE LEGEND

SYMBOL	DESCRIPTION
	<b>DECIDUOUS SHADE TREE</b>
	<b>EVERGREEN TREE</b>
	<b>ORNAMENTAL TREE</b>



LAND USE REVIEW FILE NO: PUDSP-23-006

DRAWN BY: JAG	JOB DATE: 8/21/2024	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: JFR	JOB NUMBER: 201662.202	0"
CAD DATE: 8/21/2024		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2020\201662\CAD\DWG\CIPUD_Phase_2_662.202\PUD\Landscape_Plan_PUD		

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS  
1975 RESEARCH PKWY SUITE 230  
COLORADO SPRINGS CO 80920  
PHONE: 719.300.4140  
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2  
D.R. HORTON  
EL PASO COUNTY, CO



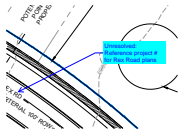
LANDSCAPE  
PRELIMINARY LANDSCAPE PLAN





# V3\_PUDSP.pdf Markup Summary

Bret (8)



**Subject:** Callout  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** Bret  
**Date:** 9/10/2024 1:31:24 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Unresolved:  
Reference project # for Rex Road plans



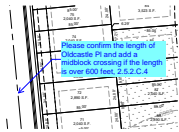
**Subject:** Engineer  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** Bret  
**Date:** 9/11/2024 8:48:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please be sure that the sidewalk is entirely within the ROW



**Subject:** Engineer  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** Bret  
**Date:** 9/11/2024 10:00:48 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include with deviation request or add crossing to Crumpets Lane



**Subject:** Engineer  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** Bret  
**Date:** 9/11/2024 9:29:45 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please confirm the length of Oldcastle Pl and add a midblock crossing if the length is over 600 feet, 2.5.2.C.4



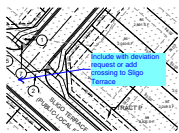
**Subject:** Engineer  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** Bret  
**Date:** 9/11/2024 9:34:13 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please provide curve data and stationing for roadways



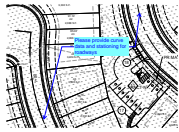
**Subject:** Length Measurement  
**Page Label:** [8] 08 SITE PLAN- 2 OF 4  
**Author:** Bret  
**Date:** 9/10/2024 1:14:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

220'-1/4"



**Subject:** Engineer  
**Page Label:** [8] 08 SITE PLAN- 2 OF 4  
**Author:** Bret  
**Date:** 9/10/2024 3:53:03 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Include with deviation request or add crossing to Sligo Terrace



**Subject:** Engineer  
**Page Label:** [8] 08 SITE PLAN- 2 OF 4  
**Author:** Bret  
**Date:** 9/11/2024 9:34:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Please provide curve data and stationing for roadways

dsdparsons (22)



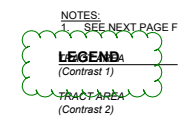
**Subject:** Callout  
**Page Label:** [1] 01 COVER  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:37:05 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Multiple plat filings are anticipated with the preliminary plan area. Filings will be established with final plats.



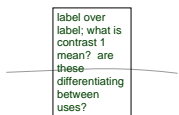
**Subject:** Callout  
**Page Label:** [1] OSP\_ADJACENT PROPERTY  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:30:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this doesnt make sense the phases here are not within the PUD so should NOT be shown; only show the phases within this PUD; this is getting more difficult to review each time. Lets keep it simple.

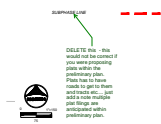


**Subject:** Cloud  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:10:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

label over label; what is contrast 1 mean? are these differentiating between uses?



**Subject:** Text Box  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:11:06 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



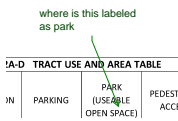
**Subject:** Callout  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:24:33 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

DELETE this - this would not be correct if you were proposing plats within the preliminary plan. Plats has to have roads to get to them and tracts etc.... just add a note multiple plat filings are anticipated within preliminary plan.



**Subject:** Text Box  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:22:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

REPEAT COMMENT- DEFINE/LABEL POCKET PARKS/ TRAILS THIS IS THE OPEN SPACE MAP



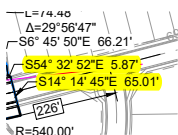
**Subject:** Callout  
**Page Label:** [1] TRACT PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:25:05 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

where is this labeled as park



**Subject:** Callout  
**Page Label:** [6] 06 OVERALL SITE, PHASING, & PARKING PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:29:03 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

im confused- i thought these were trails now there phase lines for plat filings.



**Subject:** Highlight  
**Page Label:** [6] 06 OVERALL SITE, PHASING, & PARKING PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:31:12 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

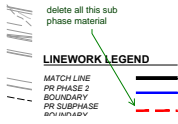
S54° 32' 52"E 5.87'  
 S14° 14' 45"E 65.01'



**Subject:** Callout  
**Page Label:** [7] 07 SITE PLAN- 1 OF 4  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:32:14 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

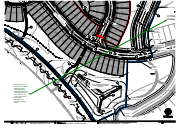
remove not a part of this; we have to depict the location as it serves the development





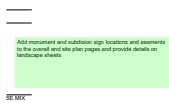
**Subject:** Callout  
**Page Label:** [10] 10 SITE PLAN- 4 OF 4  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:33:22 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

delete all this sub phase material



**Subject:** Callout  
**Page Label:** [10] 10 SITE PLAN- 4 OF 4  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:34:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

is this in this PUD description or is this a different project ? Lets talk about all these labels and lines identifying phases its very confusing - we need to limit the info to this legal description w/ exception to water tanks...



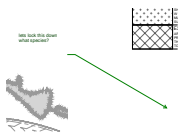
**Subject:** Planner  
**Page Label:** [1] 14 PRELIMINARY LANDSCAPE COVER SHEET  
**Author:** dsdparsons  
**Date:** 9/12/2024 8:33:43 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Add monument and subdivision sign locations and easements to the overall and site plan pages and provide details on landscape sheets



**Subject:** Callout  
**Page Label:** [2] 15 PRELIMINARY LANDSCAPE PLAN (OVERALL)  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:40:00 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

delete word Preliminary - This is the PUD and were locking this in so the new Code requirements dont apply at PLAT



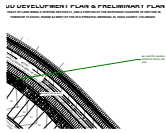
**Subject:** Callout  
**Page Label:** [2] 15 PRELIMINARY LANDSCAPE PLAN (OVERALL)  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:41:15 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

lets lock this down what species?



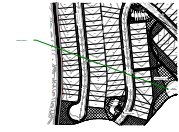
**Subject:** Callout  
**Page Label:** [2] 15 PRELIMINARY LANDSCAPE PLAN (OVERALL)  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:44:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

where are the details for the park? landscape benches park equip gazebos etc



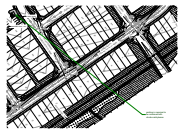
**Subject:** Callout  
**Page Label:** [3] 16 PRELIMINARY LANDSCAPE PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:42:32 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

we need the species names for these call outs



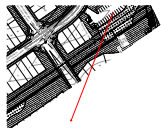
**Subject:** Callout  
**Page Label:** [3] 16 PRELIMINARY LANDSCAPE PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:44:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

details please



**Subject:** Callout  
**Page Label:** [4] 17 PRELIMINARY LANDSCAPE PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:45:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

parking is required to be screened with shrubs add please



**Subject:** Arrow  
**Page Label:** [4] 17 PRELIMINARY LANDSCAPE PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:45:27 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

see parking  
 landscape  
 requirements  
 and add

**Subject:** Text Box  
**Page Label:** [4] 17 PRELIMINARY LANDSCAPE PLAN  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:46:00 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

see parking landscape requirements and add



**Subject:** Text Box  
**Page Label:** [8] 21 PRELIMINARY LANDSCAPE DETAILS  
**Author:** dsdparsons  
**Date:** 9/12/2024 9:47:04 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

missing fence locations symbol; details of fencing;  
 monument signs locations and details