

PURPOSE AND INTENT:

TO CREATE A COHESIVE AND WELL PLANNED COMMUNITY TO ALLOW A MAXIMUM 418 DWELLING UNITS (224 TOWNHOMES & 194 DUPLEXES) - THAT GENERALLY CONFORMS TO THE SKETCH PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS, ON SEPTEMBER 22, 2020. THE DEVELOPMENT WILL BE IN HARMONY WITH THE CHARACTER OF THE SURROUNDING AREA AND IS SUITABLE FOR THE INTENDED USE, THAT INCLUDES RESIDENTIAL, PARKS, AND OPEN SPACE.

AUTHORITY

THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY

THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND, THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION

THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR GRANDVIEW RESERVE PHASE 2 IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLAN(S); IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE; AND THAT THE EL PASO COUNTY LAND DEVELOPMENT CODE AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS

THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF GRANDVIEW RESERVE PHASE 2, PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS, ARE AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT

TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT

WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

MAXIMUM LEVEL OF DEVELOPMENT

THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY SHOWN ON THE DEVELOPMENT PLAN FOR DEVELOPMENT WITHIN THE SPECIFIED PLANNING AREAS IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION (PLUS ANY UNREVERSED DENSITY TRANSFERS). THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT MAY BE LESS DUE TO SUBDIVISION OR SITE DEVELOPMENT PLAN REQUIREMENTS, LAND CARRYING CAPACITY, OR OTHER REQUIREMENTS OF THE BOARD OF COUNTY COMMISSIONERS

PROJECT TRACKING

AT THE TIME OF ANY FINAL PLAT APPLICATION, THE APPLICANT SHALL PROVIDE A SUMMARY OF THE DEVELOPMENT, TO DATE, TO PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT, IN ORDER TO ASSURE MAXIMUM DEVELOPMENT LIMITS ARE NOT EXCEEDED.

OVERALL PROJECT STANDARDS

THE STANDARD ZONING REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE INCLUDING OFF-STREET PARKING, LANDSCAPING, SITE DEVELOPMENT, ACCESSORY AND TEMPORARY USES, BY SPECIAL REVIEW AND VARIANCE PROCESSES SHALL APPLY TO THIS PUD, EXCEPT AS MODIFIED BY THE PUD.

ENVIRONMENTAL NOTE:

1. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).

ADA NOTE:

1. THE SUBDIVIDER / DEVELOPER HAS FAMILIARIZED ITSELF WITH THE CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER / HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

LEGAL DESCRIPTION: GRANDVIEW RESERVE PHASE 2

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS:

THE EAST LINE OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO, BEING MONUMENTED AT THE SOUTHERLY END BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," AND BEING MONUMENTED AT THE NORTHERLY END BY A 3-1/4" ALUMINUM SURVEYOR'S CAP STAMPED ACCORDINGLY, "PLS 30087," BEING ASSUMED TO BEAR N00°52'26"W, A DISTANCE OF 5,290.17 FEET.

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 21, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO;
THENCE N00°52'26"W ON THE EAST LINE OF SAID SECTION 21, A DISTANCE OF 2,645.09 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION 21; THENCE N89°50'58"W, ON SAID NORTH LINE, A DISTANCE OF 2,471.06 FEET TO THE POINT OF BEGINNING; THENCE ON THE ARC OF A CURVE TO THE RIGHT WHOSE CENTER BEARS S24°23'09"W, HAVING A DELTA OF 21°23'37", A RADIUS OF 1,061.00 FEET, A DISTANCE OF 395.86 FEET TO A POINT OF TANGENT; THENCE S44°12'14"E A DISTANCE OF 446.79 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 31°01'27", A RADIUS OF 1,261.00 FEET, A DISTANCE OF 682.80 FEET TO A POINT OF TANGENT; THENCE S13°10'46"E A DISTANCE OF 235.68 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 57°06'29", A RADIUS OF 839.00 FEET, A DISTANCE OF 836.25 FEET TO A POINT ON CURVE; THENCE S19°42'45"W A DISTANCE OF 111.00 FEET; THENCE S23°10'57"W A DISTANCE OF 204.59 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT HAVING A DELTA OF 29°56'47", A RADIUS OF 142.50 FEET A DISTANCE OF 74.48 FEET TO A POINT OF TANGENT; THENCE S06°45'50"E A DISTANCE OF 66.21 FEET; THENCE S44°32'52"E A DISTANCE OF 5.87 FEET; THENCE S14°14'45"E A DISTANCE OF 65.01 FEET; THENCE S28°43'11"W A DISTANCE OF 325.08 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S03°47'46"W, HAVING A DELTA OF 76°32'04", A RADIUS OF 60.00 FEET A DISTANCE OF 80.15 FEET TO A POINT ON CURVE; THENCE N72°44'18"W A DISTANCE OF 15.00 FEET; THENCE S65°27'05"W A DISTANCE OF 122.04 FEET; THENCE N31°44'28"W A DISTANCE OF 23.97 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF CURVE TO THE LEFT WHOSE CENTER BEARS S58°25'43"W, HAVING A DELTA OF 12°10'43", A RADIUS OF 1,363.49 FEET A DISTANCE OF 289.82 FEET TO A POINT ON CURVE; THENCE ON THE ARC OF A CURVE TO THE LEFT WHOSE CENTER BEARS S49°18'50"W, HAVING A DELTA OF 26°23'43", A RADIUS OF 1,688.20 FEET A DISTANCE OF 768.52 FEET TO A POINT ON CURVE; THENCE N60°22'39"W A DISTANCE OF 211.52 FEET; THENCE N63°13'21"W A DISTANCE OF 159.27 FEET TO A POINT OF CURVE SAID POINT BEING ON THE EASTERLY BOUNDARY LINE OF THE TRACT OF LAND DESCRIBED IN THE DOCUMENT RECORDED UNDER RECEPTION NUMBER 223014483, RECORDS OF EL PASO COUNTY, COLORADO; THENCE ON SAID EASTERLY BOUNDARY LINE THE FOLLOWING NINE (9) COURSES:

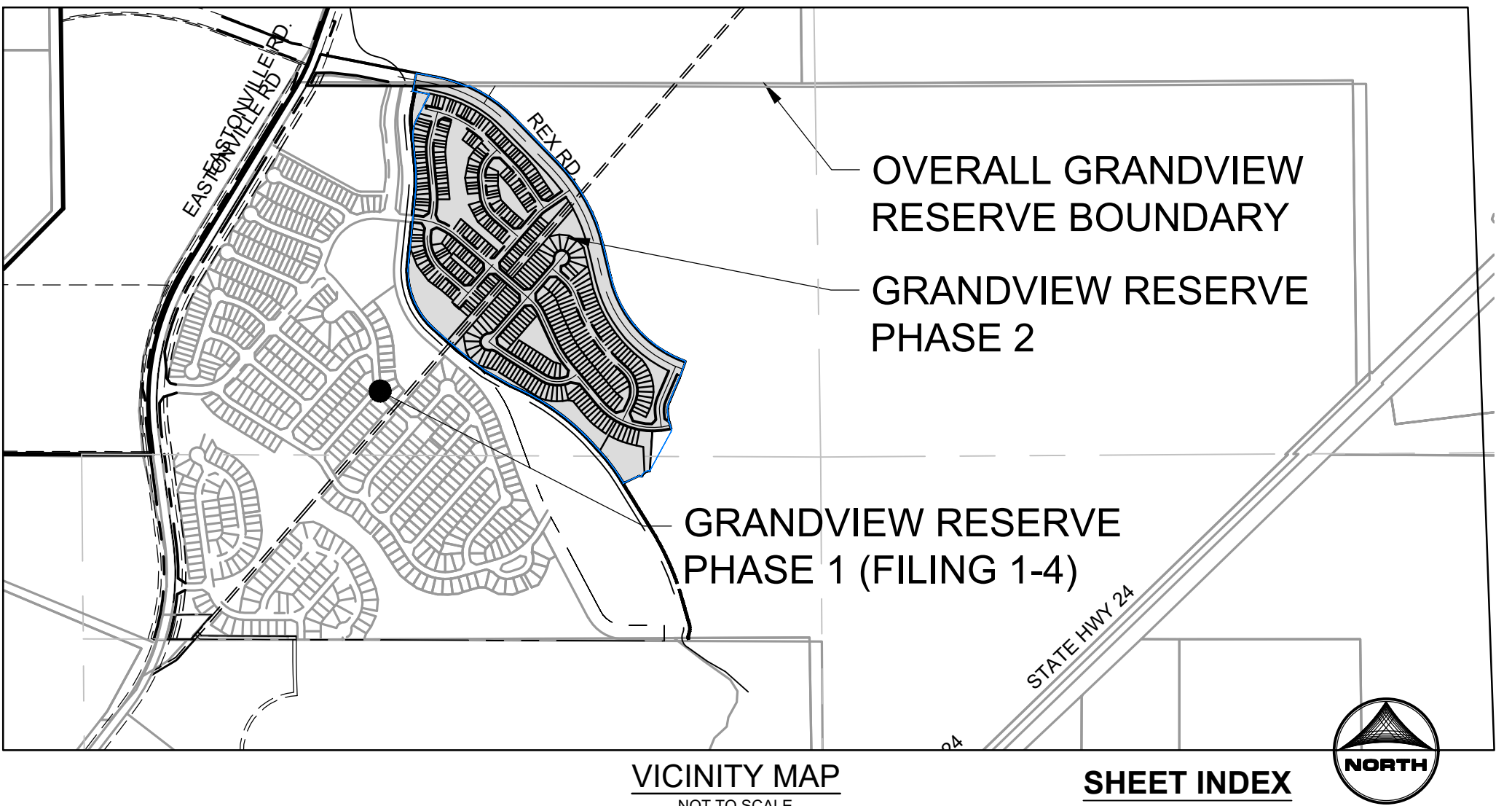
1. N49°18'05"W A DISTANCE OF 309.26 FEET TO A POINT OF CURVE;
2. ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 55°09'30", A RADIUS OF 550.00 FEET, A DISTANCE OF 529.48 FEET TO A POINT OF TANGENT;
3. N05°51'25"E A DISTANCE OF 481.83 FEET TO A POINT OF CURVE;
4. ON THE ARC OF A CURVE TO THE LEFT HAVING DELTA OF 11°17'04", A RADIUS OF 1,140.00 FEET, A DISTANCE OF 224.52 FEET TO A POINT OF TANGENT;
5. N05°25'39"W A DISTANCE OF 185.30 FEET TO A POINT OF CURVE;
6. ON THE ARC OF A CURVE TO THE RIGHT HAVING A DELTA OF 32°15'55", A RADIUS OF 250.00 FEET, A DISTANCE OF 140.78 FEET TO A POINT OF TANGENT;
7. N26°50'16"E A DISTANCE OF 203.39 FEET;
8. N78°54'36"W A DISTANCE OF 120.75 FEET;
9. N11°05'24"E A DISTANCE OF 36.85 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION 21;

THENCE CONTINUING N11°05'24"E A DISTANCE OF 93.15 FEET; THENCE S78°54'36"E A DISTANCE OF 146.34 FEET TO A POINT OF CURVE; THENCE ON THE ARC OF A CURVE TO THE RIGHT, HAVING A DELTA OF 11°57'41", A RADIUS OF 1,050.00 A DISTANCE OF 219.21 FEET TO A POINT ON THE NORTH LINE OF THE SOUTH HALF OF SAID SECTION 21; THENCE S89°50'58"E ON SAID NORTH LINE A DISTANCE OF 27.49 FEET TO THE POINT OF BEGINNING;

CONTAINING A CALCULATED AREA OF 2,993.622 SQUARE FEET OR 68.724 ACRES, MORE OR LESS.

GRANDVIEW RESERVE PHASE 2
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



DEVELOPMENT STANDARDS AND GUIDELINES (TOWNHOME AREA):

1. THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT.
2. ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE PHASE 2, AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.
3. MINIMUM LOT AREA:
a. DWELLING, SINGLE FAMILY ATTACHED : ONE THOUSAND EIGHT HUNDRED AND SEVENTY SQUARE FEET (1,870SF). (REFER TO TYPICAL LOT LAYOUTS)
4. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM.
5. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40').
6. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: TWENTY TWO FEET (22')
7. MINIMUM DRIVEWAY LENGTH: 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK
8. SETBACK REQUIREMENTS:
a. FRONT YARD: SEVENTEEN AND ONE HALF FEET (17.5') TO FACE OF GARAGE
b. SIDE YARD: FIVE FEET (10')
c. COMMON LOT LINE: (0')
d. REAR YARD TEN FEET (10')
e. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
f. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

- ACCESSORY USE STANDARDS:
8. ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOs, PATIOS, HOT TUBS AND POOLS. THERE SHALL BE NO GUEST HOUSES ALLOWED.
9. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY USES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
10. MAXIMUM ACCESSORY STRUCTURE HEIGHT: FIFTEEN FEET (15')
11. SETBACK REQUIREMENTS:
a. FRONT YARD: FIFTY FEET (50')
b. SIDE YARD: FIVE FEET (5')
c. REAR YARD: FIVE FEET (5')
d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

DEVELOPMENT STANDARDS AND GUIDELINES (DUPLEX AREA):

1. THERE SHALL BE ONLY ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE FAMILY RESIDENCE ON A LOT.
2. ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, MAIL KIOSK, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, AND ANY OTHER USES ALLOWED PER THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE PHASE 2, AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.
3. MINIMUM LOT AREA:
a. DWELLING, SINGLE FAMILY ATTACHED : THREE THREE THOUSAND THREE HUNDRED SQUARE FEET (3,300SF). (REFER TO TYPICAL LOT LAYOUTS)
4. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM.
5. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40').
6. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (28')
7. MINIMUM DRIVEWAY LENGTH: 20' FROM FACE OF GARAGE TO BACK OF SIDEWALK
8. SETBACK REQUIREMENTS:
a. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
b. SIDE YARD: FIVE FEET (5')
c. COMMON LOT LINE: (0')
d. REAR YARD TWENTY FEET (20')
e. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
f. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

- ACCESSORY USE STANDARDS:
8. ACCESSORY STRUCTURE USE SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES SUCH AS SHEDS, DECKS, DETACHED DECKS, GAZEBOs, PATIOS, HOT TUBS AND POOLS. THERE SHALL BE NO GUEST HOUSES ALLOWED.
9. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY USES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
10. MAXIMUM ACCESSORY STRUCTURE HEIGHT: FIFTEEN FEET (15')
11. SETBACK REQUIREMENTS:
a. FRONT YARD: FIFTY FEET (50')
b. SIDE YARD: FIVE FEET (5')
c. REAR YARD: FIVE FEET (5')
d. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
e. CORNER YARD ADJACENT TO AN OPEN SPACE TRACT (5')

SITE DATA

EXISTING LAND USE:	GRAZING & AGRICULTURAL
EXISTING ZONING:	RR-2.5
PROPOSED ZONING:	PUD
SITE ACREAGE:	68.72AC - 100%
PROPOSED NUMBER OF UNITS:	418
MAXIMUM GROSS DENSITY (ALLOWED PER SKETCH PLAN):	PARCEL H - 12 DU/AC, PARCEL I - 8 DU/AC
PROPOSED GROSS DENSITY:	6.08 DU/AC
PARKING REQUIREMENTS:	REFER TO PARKING TABLE ON 99 - OVERALL SITE & PHASING PLAN

TOTAL AREAS (SEE LAND USE TABLE BELOW)

GRANDVIEW RESERVE PHASE 2 - LAND USE TABLE			
LAND USE	AREA (ACRES)	DWELLING UNITS	% OF LAND
SINGLE FAMILY ATTACHED (TOWNHOMES)	16.15	224	23.5%
SINGLE FAMILY ATTACHED (DUPLEXES)	13.98	194	20.3%
SINGLE FAMILY ATTACHED (TOTAL COMBINED)	30.14	418	43.9%
TRACTS/OPEN SPACE	19.75	N/A	28.7%
ROAD R.O.W.	18.84	N/A	27.4%
TOTAL LAND AREA	68.72		100.0%

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02 - TYPICAL SECTIONS
03 - ADJACENT PROPERTY & OVERALL SITE PLAN
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09 - OVERALL SITE & PHASING PLAN
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GEOLOGIC HAZARD NOTE:

MITIGATION MEASURES AND A MAP OF THE HAZARD AREA CAN BE FOUND IN THE REPORT ENTITLED: GEOLOGIC HAZARD EVALUATION AND PRELIMINARY GEOTECHNICAL INVESTIGATION GRANDVIEW RESERVE, PHASE 2, COLORADO BY CTL THOMPSON INC. DATED DECEMBER 20, 2023 IN FILE GRANDVIEW RESERVE PUDSP FILE NUMBER: _____ AVAILABLE AT THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT. THE FOLLOWING GEOLOGIC HAZARDS HAVE BEEN IDENTIFIED:

1. SHALLOW GROUNDWATER: REFER TO GROUNDWATER CONDITIONS MAP (FIGURE 3) IN REPORT FOR LOTS WHERE GROUNDWATER COULD POTENTIAL IMPACT CRAWL SPACE FOUNDATIONS. PROPOSED GRADES HAVE BEEN ESTABLISHED SUCH THAT BOTTOM OF FOOTING ELEVATIONS WILL BE ABOVE THE KNOWN PEAK GROUNDWATER ELEVATIONS. WHERE GROUNDWATER CONDITIONS ARE ENCOUNTERED THAT IMPACT CRAWLS SPACE FOUNDATIONS, SLAB ON GRADE FOUNDATIONS SYSTEMS ARE RECOMMENDED. IT SHAL BE NOTED THAT FUTURE LOT SPECIFIC STUDIES MAY ALTER THESE RECOMMENDATIONS. NO BASEMENTS ARE PROPOSED WITHIN THE LIMITS OF PHASE 2.
2. HARD BEDROCK: THE SANDSTONE AND CLAYSTONE OF THE DAWSON FORMATION ARE HARD TO VERY HARD AND PRESENT AT SHALLOW DEPTHS WITHIN THE SITE. THE HARD TO VERY HARD BEDROCK WILL BE DIFFICULT TO EXCAVATE AND WILL REQUIRE HEAVY DUTY EXCAVATION EQUIPMENT. DEEP EXCAVATIONS INTO BEDROCK WILL REQUIRE AGGRESSIVE EXCAVATION TECHNIQUES. THE RATE OF EXCAVATION WILL BE SLOW WITHIN THE BEDROCK.
3. EXPANSIVE SOILS AND BEDROCK: EXPANSIVE BEDROCK IS PRESENT AT THIS SITE, WHICH CONSTITUTES A GEO-LOGIC HAZARD. THERE IS RISK THAT FOUNDATIONS AND SLAB-ON-GRADE FLOORS WILL EXPERIENCE HEAVE OR SETTLEMENT AND DAMAGE. IT IS CRITICAL THAT PRECAUTIONS ARE TAKEN TO INCREASE THE CHANCES THAT THE FOUNDATIONS AND SLAB-ON-GRADE WILL PERFORM SATISFACTORILY. IT IS NOTED THAT THE PRESENCE OF EXPANSIVE MATERIALS WITHIN THE DAWSON FORMATION IS HIGHLY VARIABLE AND WILL NEED TO BE FURTHER EVALUATED AT THE TIME OF LOT SPECIFIC SOILS AND FOUNDATION INVESTIGATIONS. ENGINEERED PLANNING, DESIGN AND CONSTRUCTION, SHAD GRADING, PAVEMENTS, FOUNDATIONS, SLABS-ON-GRADE, AND DRAINAGE CAN MITIGATE, BUT NOT ELIMINATE, THE EFFECTS OF EXPANSIVE AND COMPRESSIBLE SOILS. SUB-EXCAVATION IS A GROUND IMPROVEMENT METHOD THAT CAN BE USED TO REDUCE THE IMPACTS OF SWELLING SOILS.
4. FLOODING: THE MAJORITY OF THE SITE LIES WITHIN ZONE D (UNDETERMINED FLOOD HAZARD), AS SHOWN ON FIRM COMMUNITY MAP NUMBER 08041C0556, REVISED DECEMBER 7, 2018. ZONE D INDICATES FLOODS ARE POSSIBLE, BUT NOT LIKELY. SOME PORTIONS OF THE SITE WITHIN DRAINAGE AREAS LIE WITHIN ZONE A. A LOMR IS CURRENTLY IN PROCEES WITH FEMA TO REALIGN THE FLOODPLAIN WITHIN AN NEW CHANNEL. ALL PROPOSED LOTS WILL BE REMOVED FROM FLOODPLAIN WITH THE CONSTRUCTION OF CHANNEL B.

NOTE: NO GEOLOGIC HAZARDS WERE IDENTIFIED THAT PRECLUDE THE PROPOSED DEVELOPMENT. POTENTIAL HAZARDS CAN BE MITIGATED WITH PROPER ENGINEERING, DESIGN, AND CONSTRUCTION PRACTICES.

FLOODPLAIN NOTES:

1. THIS PROPERTY IS LOCATED WITHIN A DESIGNED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBERS '08041C0556' AND '08041C0552G' EFFECTIVE DATE 7, 2018.
2. THE EXISTING FLOODPLAIN BOUNDARIES WILL BE REVISED VIA A LOMR MODELING THE PROPOSED IMPROVEMENTS TO ESTABLISH FLOOD ELEVATIONS AND THEN PROCESSED THROUGH TO FEMA TO ESTABLISH ZONE AE FLOODPLAIN LIMITS. NO GRADING WILL TAKE PLACE WITHIN THE EXISTING FLOODPLAIN LIMITS UNTIL THE CLOMR HAS BEEN APPROVED
3. THOSE LOTS EITHER PARTIALLY OR ENTIRELY LOCATED WITHIN THE CURRENT FLOODPLAIN SHALL NOT BE PLATTED UNTIL THE FLOODPLAIN BOUNDARY REVISION PROCESS IS COMPLETED EFFECTIVELY REMOVING THE FLOODPLAIN LIMITS FROM THESE LOTS.
4. THE SUBMITTAL AND REVIEW OF THE FLOODPLAIN REVISION OCCUR INDEPENDENTLY OF THIS PRELIMINARY PLAN AND SHALL BE APPROVED PRIOR TO THE PLATTING OF ANY LOTS CURRENTLY LOCATED WITHIN FLOODPLAIN BOUNDARIES.
5. NO STRUCTURES OR SOLID FENCES ARE PERMITTED WITHIN THE DESIGNATED FLOODPLAIN AREA.

PUBLIC STREETS

1. ALL STREETS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS. DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS EXCEPT FOR LANDSCAPE AREAS WHICH SHALL BE MAINTAINED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT OR HOME OWNERS ASSOCIATION.
2. ALL LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT VIA DEVELOPMENT AGREEMENT, LICENSE AGREEMENT OR INTER-GOVERNMENT AGREEMENT.
3. REX ROAD AS ILLUSTRATED ON THE DRAWINGS WILL BE A PUBLIC STREET DESIGNED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
4. PUBLIC STREETS WITHIN THIS DEVELOPMENT PROVIDE LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY ON FILE FOR THIS PROJECT.

TRAFFIC IMPACT FEES:

1. THE SUBDIVIDER(S) AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

LANDSCAPE

1. COMMON OPEN SPACE AREAS SHALL BE XERISCAPED AS MUCH AS FEASIBLE BALANCING WITH AESTHETICALLY PLEASING LANDSCAPE DESIGN APPROACHES. URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARKS VIA PARK LAND AGREEMENTS.
2. LANDSCAPING AREAS, TRAILS, COMMON OPEN SPACE AND BUFFERS SHALL BE MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT
3. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.4.1.D. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AND/OR UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
4. TRAILS TO BE SOFT SURFACE (I.E. CRUSHED REFINES) AND FINAL TRAIL ALIGNMENT TO BE DETERMINED IN THE BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES AT THE TIME OF THE FINAL PLAT.
5. ANY FUTURE NON-REGIONAL TRAILS TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT.

GENERAL NOTES

1. THE GRANDVIEW RESERVE PHASE 2 OVERALL GROSS DENSITY IS 6.08 DU/ AC, ON 68.72 ACRES, FOR A TOTAL OF 418 UNITS. PER SKETCH PLAN APPROVAL DENSITY TRANSFERS MAY OCCUR IN WHICH SPECIFIC AREAS EXCEED 4.24 DU/ AC SO LONG AS THE OVERALL DENSITY OF THE PROJECT IS BELOW THE APPROVED MAXIMUM UNIT COUNT. ANY DENSITY BELOW THIS CAP MAY BE USED IN SUBSEQUENT PHASES AND TRANSFERRED TO OTHER PARCELS AS LONG AS THE TOTAL MAXIMUM UNIT COUNT ON THE APPROVED SKETCH PLAN IS NOT EXCEEDED.
2. DEVELOPMENT OF THIS PROPERTY SHALL BE IN ACCORDANCE WITH THIS PUD DEVELOPMENT PLAN. MAJOR MODIFICATIONS ARE SUBJECT TO REVIEW AND APPROVAL BY THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS UNLESS OTHERWISE PROVIDED BY THE EPC LAND DEVELOPMENT CODE.
3. CENTRAL WATER INFRASTRUCTURE TO BE CONSTRUCTED, OWNED AND OPERATED BY GRANDVIEW RESERVE METROPOLITAN DISTRICT TO PROVIDE WATER SERVICE TO THE PROJECT. CENTRAL WASTEWATER INFRASTRUCTURE WILL CONSIST OF A COLLECTION SYSTEM OWNED AND OPERATED BY WOODMAN HILLS METROPOLITAN DISTRICT WHO WILL PROVIDE SERVICE TO THE INDIVIDUAL HOMES. THE COLLECTIONS SYSTEM WILL ULTIMATELY CONNECT TO THE WOODMAN HILLS METROPOLITAN DISTRICT (WHMD) WASTEWATER SYSTEM WHICH WILL CONVEY THE WASTEWATER TO THE TREATMENT FACILITY WHERE CMD WILL BE RESPONSIBLE FOR TREATMENT.
4. ALL TRACTS ARE TO BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT. TRACTS INCLUDE LANDSCAPE EASEMENTS, DRAINAGE TRACTS, STORM WATER FACILITIES, OPEN SPACE TRACTS, STREETSCAPE PLANTINGS, DETENTION PONDS, UTILITIES, FENCES, PARKS AND RECREATIONAL FACILITIES, TRAILS, MAILBOX CLUSTERS, AND OTHER USES, AND OTHER USES.
5. ALL ELECTRICAL SERVICES SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN EASEMENTS AS REQUIRED.
6. BLACK HILLS ENERGY WILL PROVIDE NATURAL GAS.
7. PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED ON ALL LOTS AS INDICATED ON THE DRAWINGS AND/ OR AS SHOWN WITHIN THE DETAILS.
8. PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND OR FEES WITH REVIEW AND APPROVED BY EL PASO COUNTY PARKS. ANY PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY PARK VIA PARK LAND AGREEMENTS.
9. FEES IN LIEU OF LAND WILL BE PROVIDED FOR SCHOOLS AND PARKS, IF REQUIREMENTS ARE NOT MET WITH LAND DEDICATION.
10. ALL COMMON LANDSCAPE AREAS AND OPEN SPACE WITHIN THE DEVELOPMENT SHALL BE OWNED AND MAINTAINED BY THE GRANDVIEW RESERVE METROPOLITAN DISTRICT.
11. THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICES.
12. PUBLIC UTILITY DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF THE LOTS PERIMETER AS FOLLOWS:
a. FRONT: TEN FEET (10')
b. SIDE: FIVE FEET (5')
c. REAR: TEN FEET (10')
d. ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNED FOR PUBLIC UTILITIES AS REQUIRED.
e. MVEA: TWENTY FEET (20') MIN. WIDTH EASMENT WILL BE PROVIDED TO MVEA IN SELECT AREAS AROUND THE PERIMETER OF THE OVERALL SITE OR THROUGH OPEN SPACE TRACTS. THE EXACT LOCATIONS SHALL BE COORDINATED WITH MVEA WITH FINAL LOCATIONS TO BE INCLUDED ON THE FINAL PLAT. MVEA INFRASTRUCTURE DESIGN WAS IN PROGRESS AT THE TIME OF THIS PUD PRELIMINARY PLAN APPROVAL.
13. INDIVIDUAL LOT SIDE YARD SWALES SHALL BE CONSTRUCTED DURING INDIVIDUAL LOT CONSTRUCTION / LANDSCAPING TO PROVIDE ADEQUATE DRAINAGE. ALL PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. PUBLIC DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE PROVIDED BY THE INDIVIDUAL LOT OWNERS UNLESS OTHERWISE INDICATED. HOMEOWNERS ARE RESPONSIBLE TO ENSURE PROPER DRAINAGE AROUND STRUCTURES, INCLUDING ELEVATIONS OF FOUNDATIONS AND WINDOW WELLS IN RELATION TO SIDE-LOT DRAINAGE EASEMENTS AND SWALES. HOMEOWNERS SHALL NOT CHANGE THE GRADE OF THE LOT OR DRAINAGE SWALES, WITHIN SAID EASEMENTS, AS CONSTRUCTED BY THE BUILDER, IN A MANNER THAT WOULD CAUSE ADVERSE DRAINAGE IMPACTS TO PROPERTIES. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
14. GRASS BUFFER BMPs WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
15. STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS AND EL PASO COUNTY DETAILS AND SPECIFICATIONS.
16. SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR GRANDVIEW RESERVE AND THE GRANDVIEW RESERVE DESIGN GUIDELINES.
17. FENCING:
• ALL PROPOSED FENCING IS SUBJECT TO DESIGN REVIEW COMMITTEE APPROVAL AS SET FORTH IN THE COVENANTS AND ANY FUTURE DESIGN GUIDELINES FOR GRANDVIEW RESERVE.
• NO FENCES SHALL IMPEDE DRAINAGE IN ANY WAY.
• NEW SIDEWALKS ADJACENT TO RESIDENTIAL LOTS ARE TO BE 6" THICK AND SUBJECT TO THE DEVELOPER COLLECTALATERALIZING AND INSTALLING SAID SIDEWALKS. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.

CERTIFICATE OF OWNERSHIP

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into lots, tracts, streets, and easements (use which are applicable) as shown hereon under the name and subdivision of _____ All public improvements so planned are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owners/Mortgagee (Signature) _____

By: _____

Title: _____

ATTEST: (If corporation) _____

Secretary/Treasurer _____

STATE OF COLORADO) _____

) s _____

COUNTY OF _____

Acknowledged before me this _____ day of _____, 200____ by _____ as _____

My commission expires _____

Witness my hand and official seal _____

Notary Public _____

Signatures of officers signing for a corporation shall be acknowledged as follows: (print name as President/Vice President and print name as Secretary/Treasurer, name of corporation, a state corporation.)

Signatures of managers/members for a LLC shall be acknowledged as follows: (print name as Manager/Member of company, a state limited liability company.)

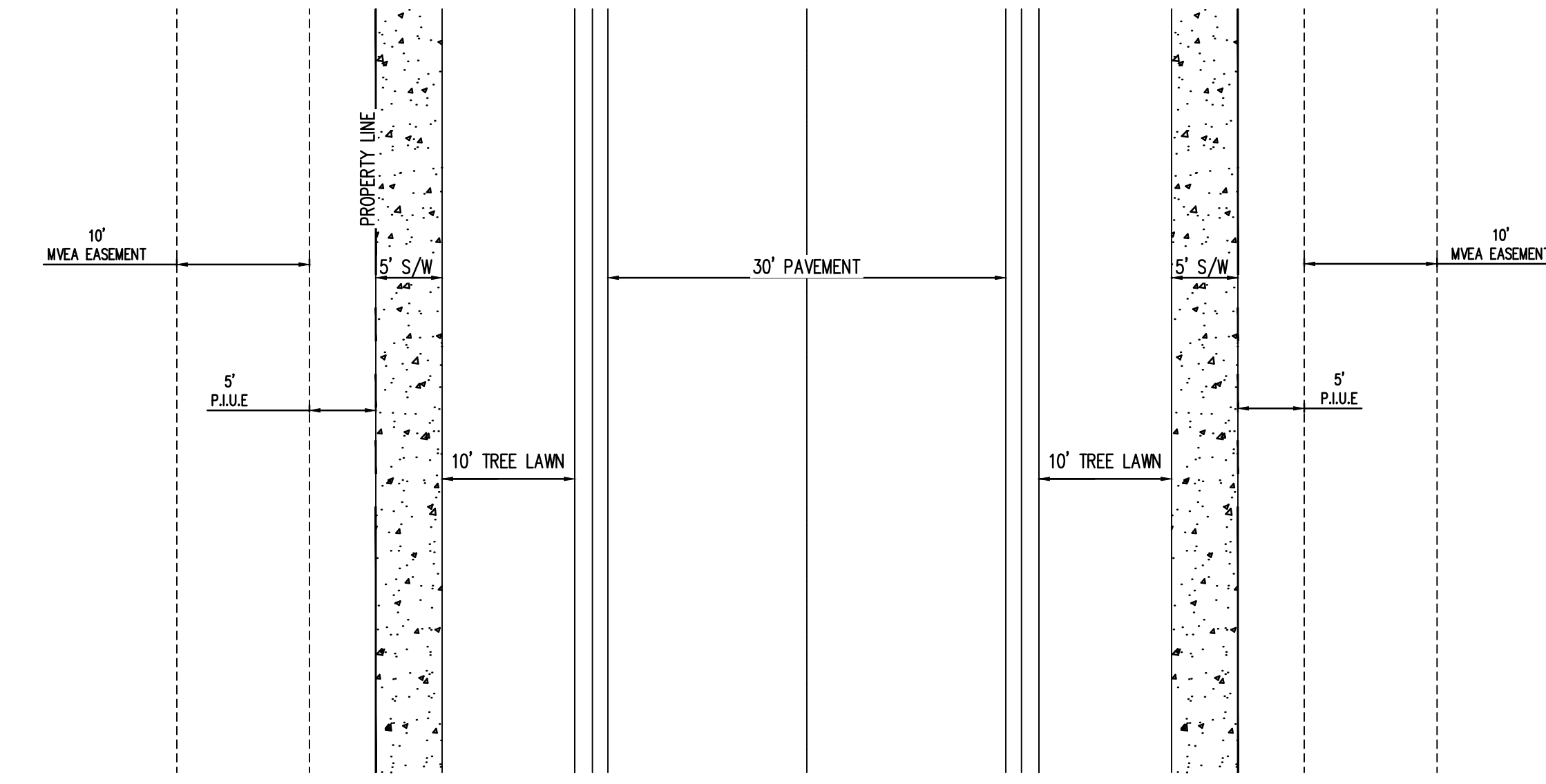
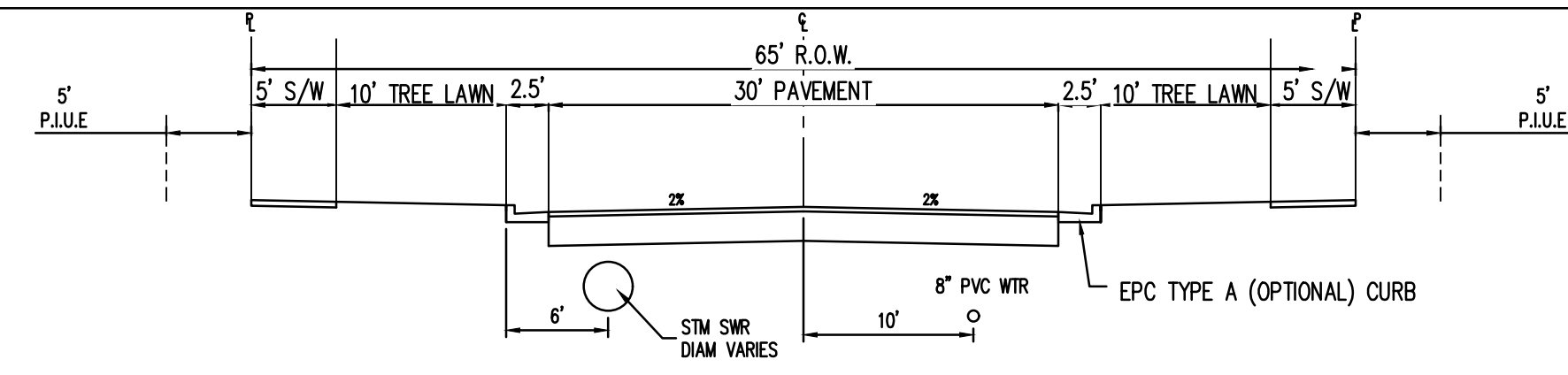
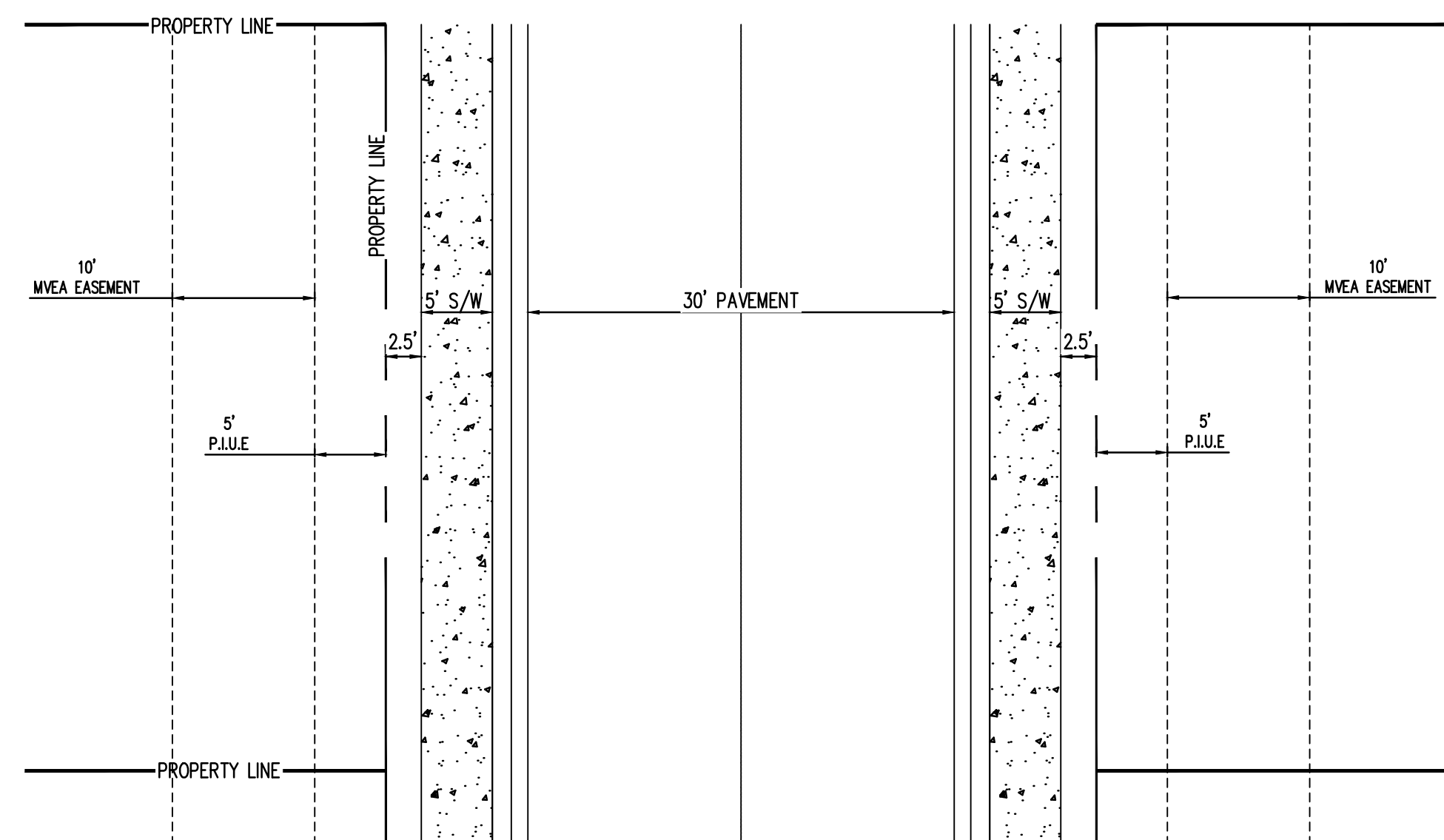
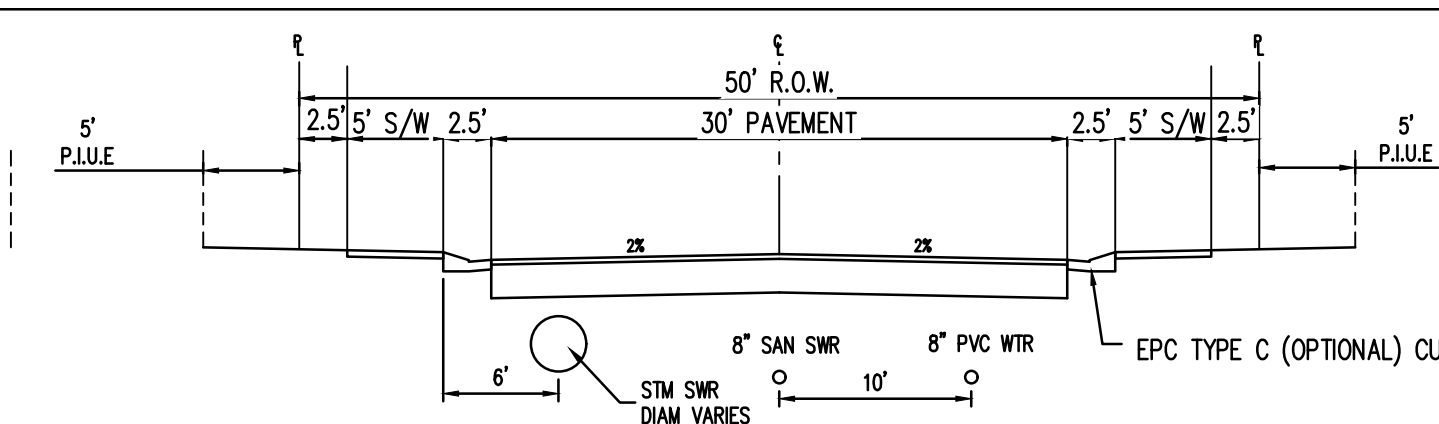
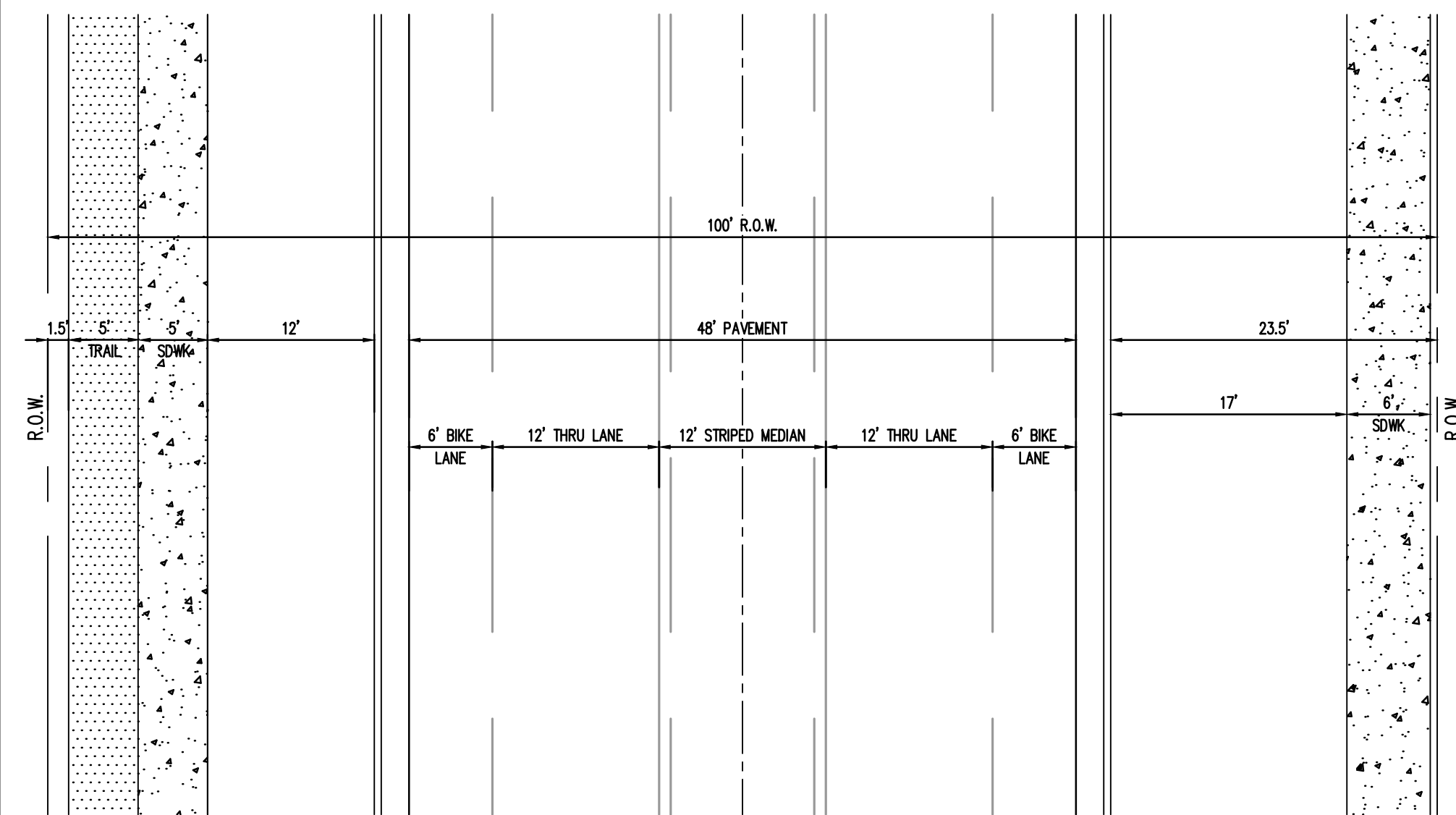
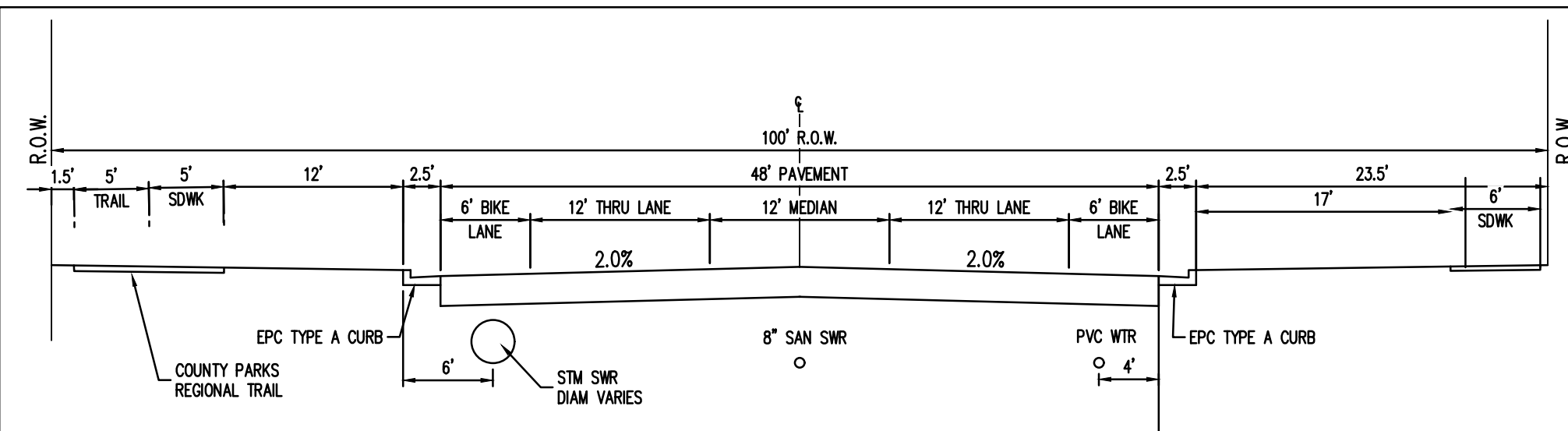
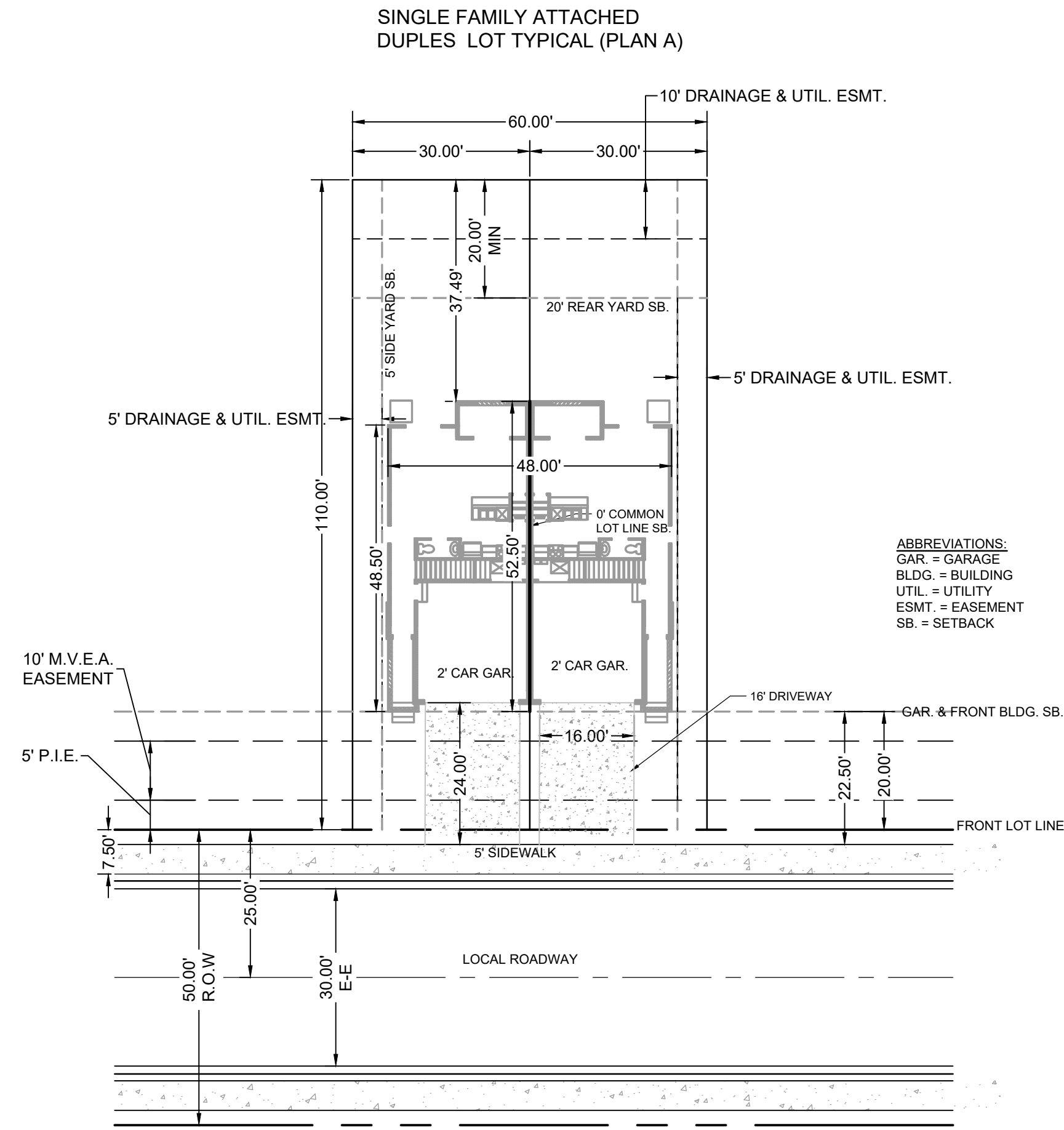
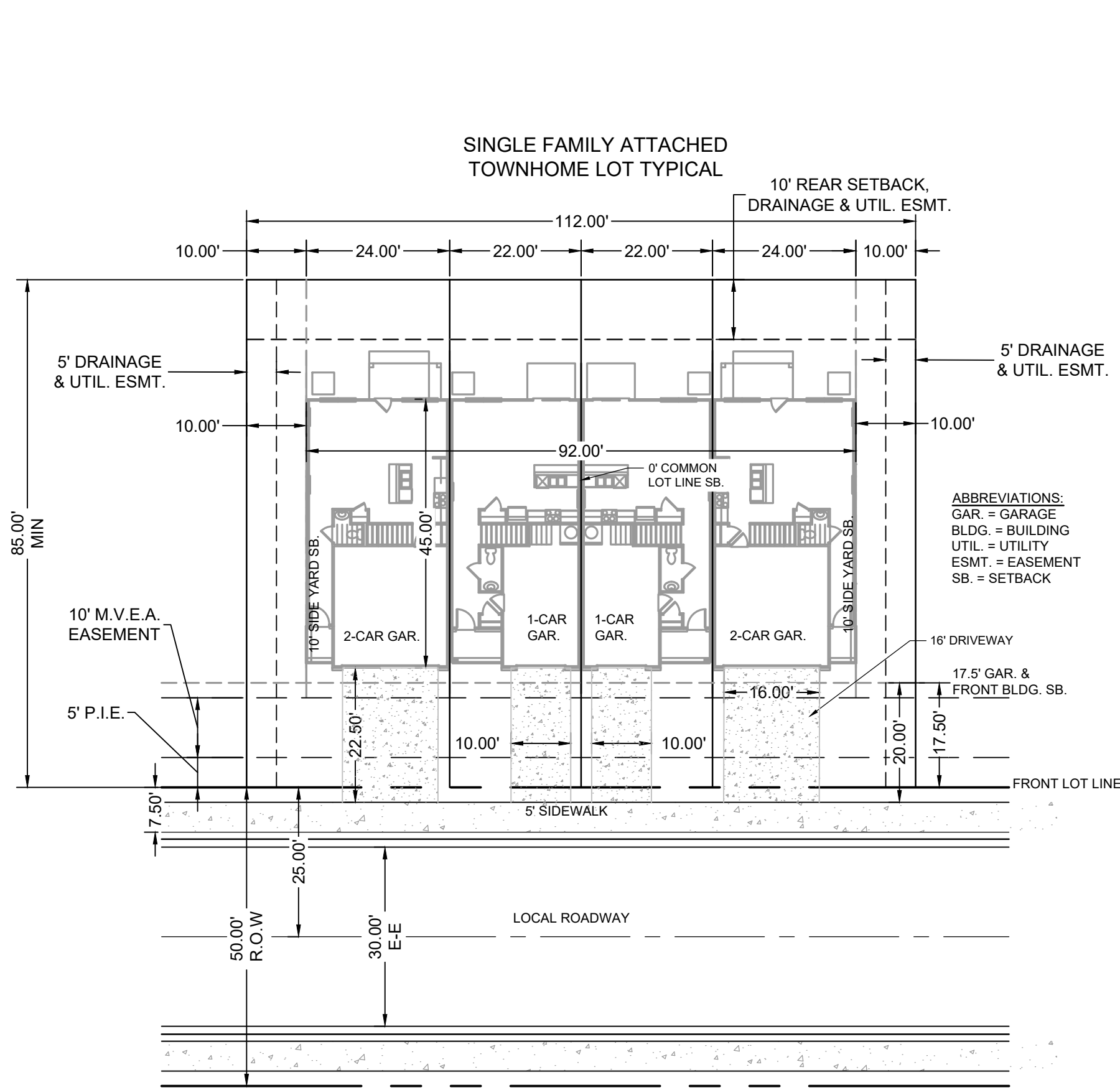
(Note: Required when separate ratification statements for deed of trust holders, mortgagees are not utilized)

BOARD OF COUNTY COMMISSIONER'S CERTIFICATE

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200____, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements; list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners _____ Date _____

Director, Planning and Community Development _____ Date _____



DRAWN BY: YOU JOB DATE: ---
APPROVED: KEN JOB NUMBER: 201662
CAD DATE: 12/21/2023
CAD FILE: J:\2020\201662\CAD\DWG\I\CPUD_Phase_2_662.202\I\UD\Typ-Sections_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION

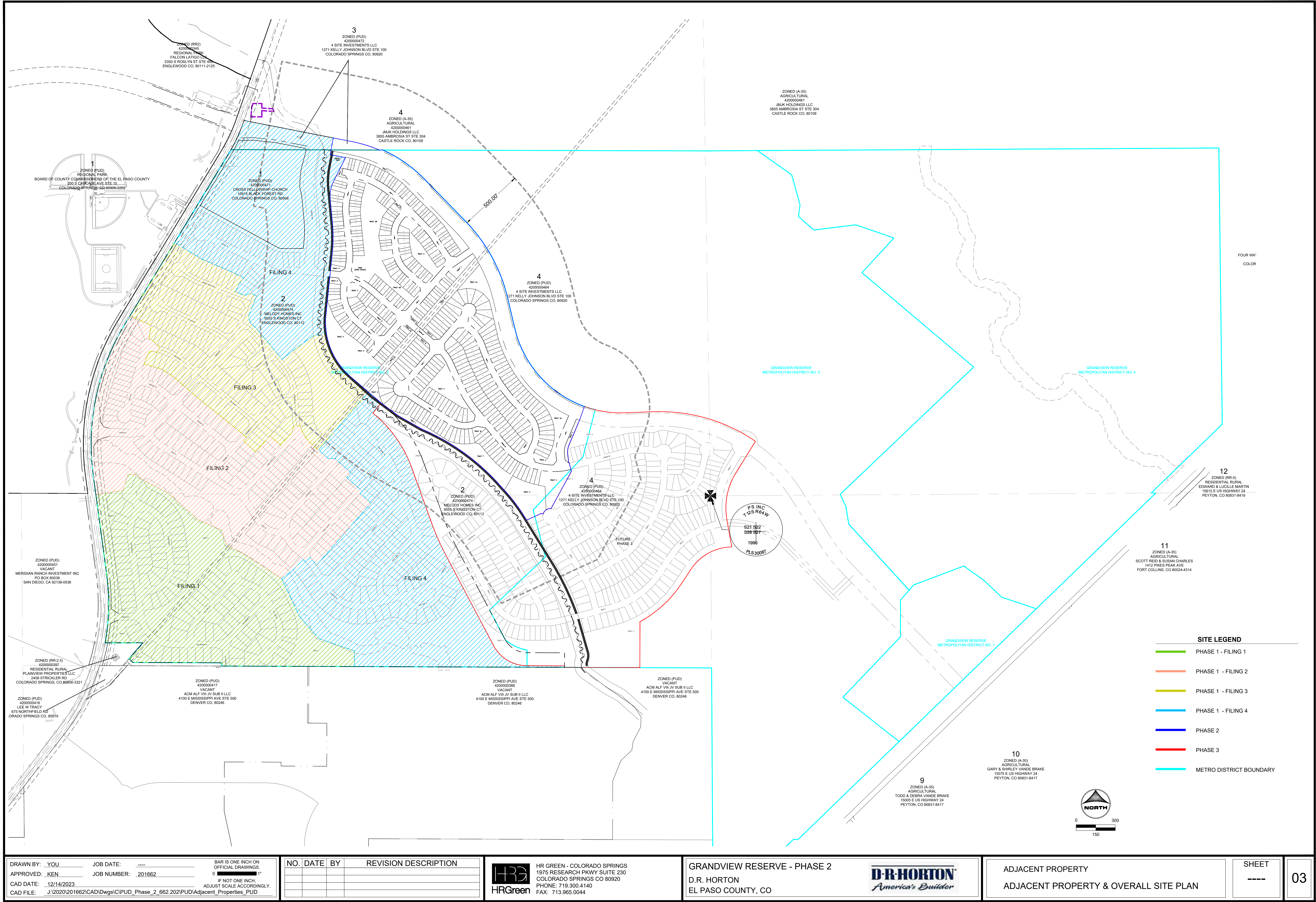
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO




COVER & TYP. SECTIONS
TYPICAL SECTIONS

SHEET




DRAWN BY: YOU	JOB DATE: ----	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: KEN	JOB NUMBER: 201662	0" NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD DATE: 12/14/2023		
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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

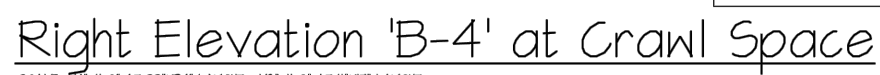
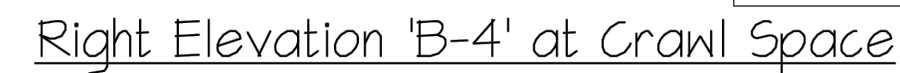
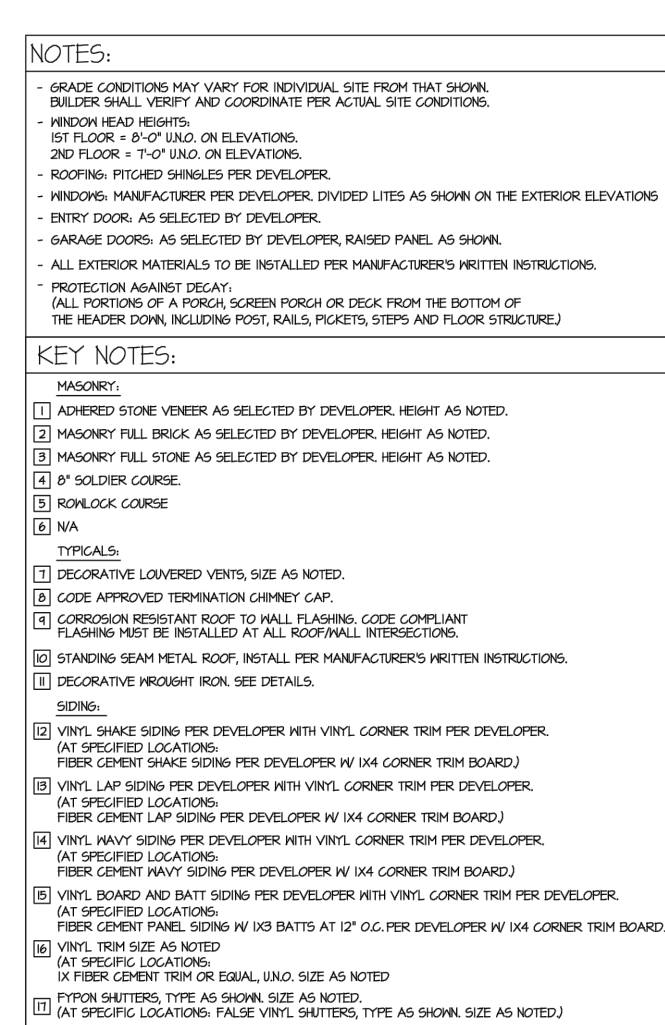
GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



ADJACENT PROPERTY
ADJACENT PROPERTY & OVERALL SITE PLAN

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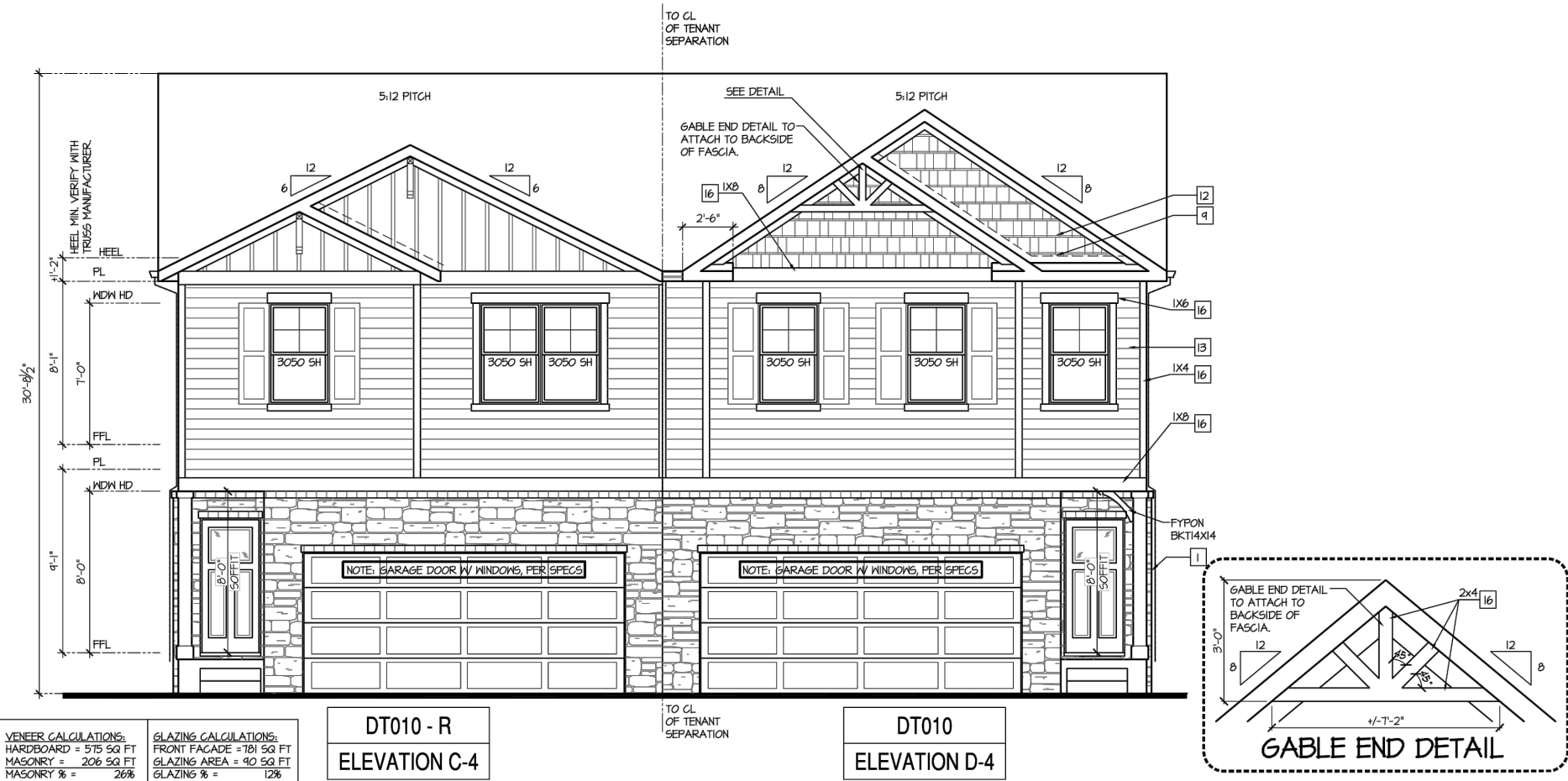
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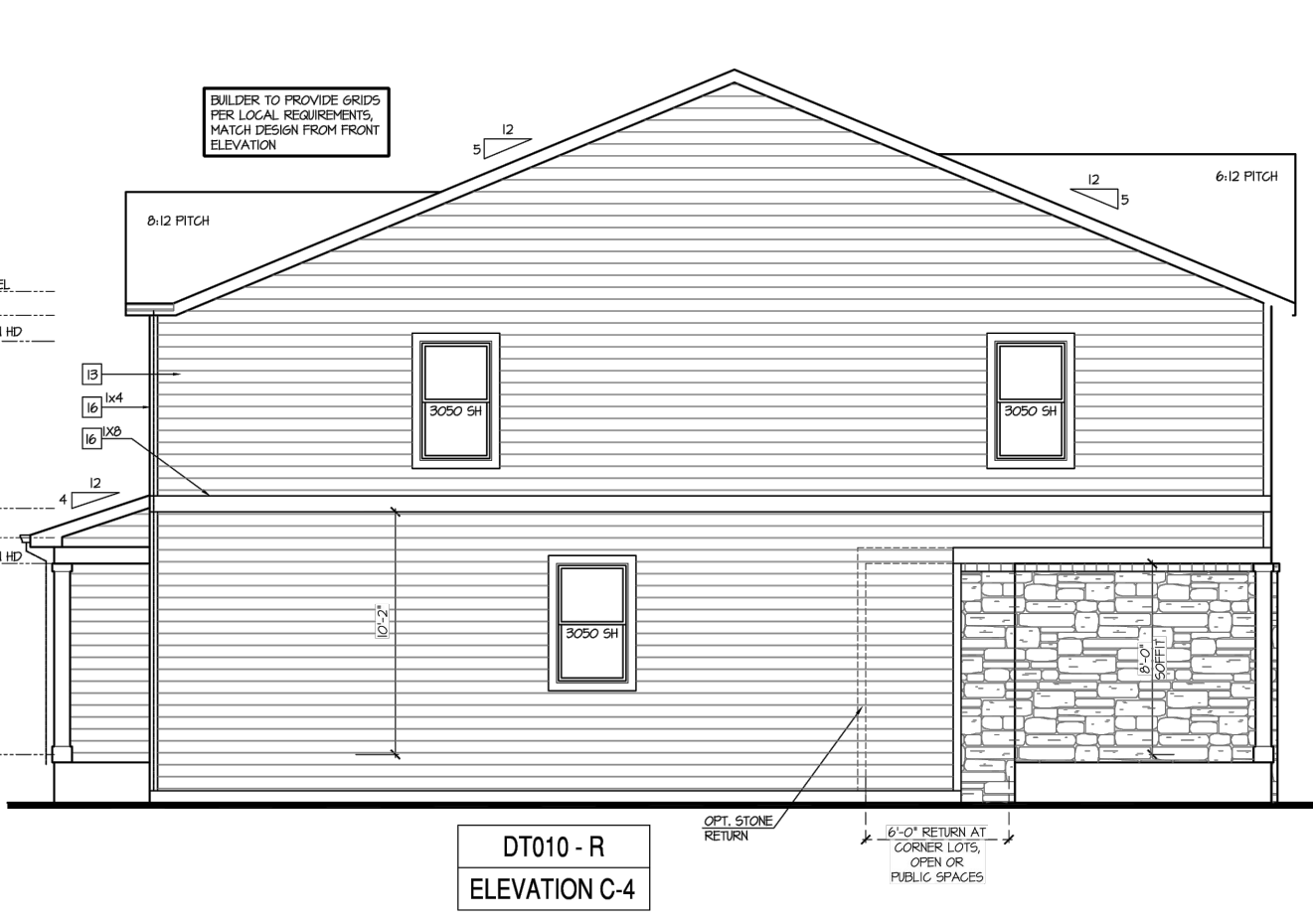
SHEET EL	04
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Rear Elevation - Building Type (DT010 + DT010) 'C'/D' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



Front Elevation - Building Type (DT010 + DT010) 'C'-4'/D'-4' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



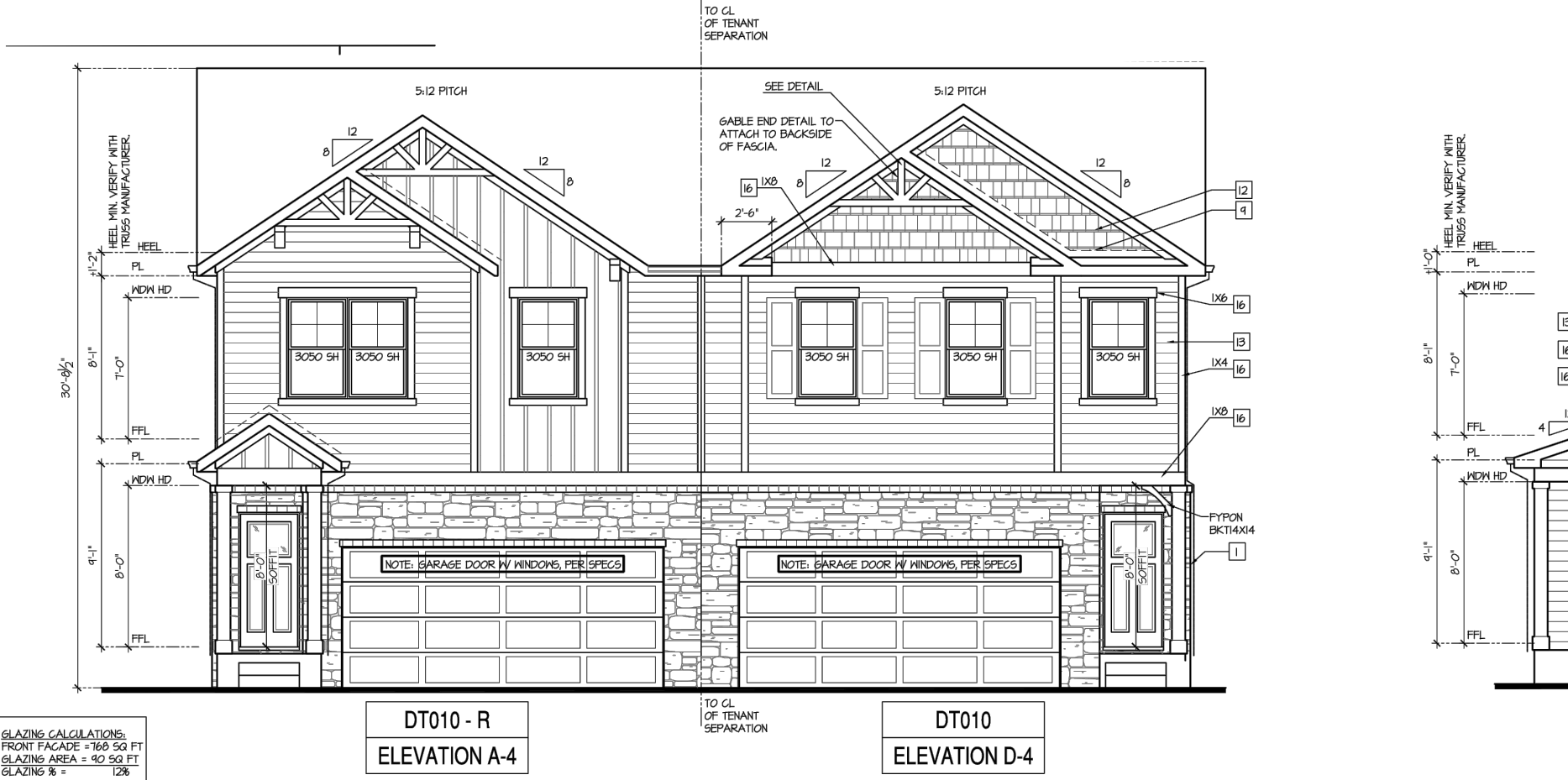
Left Elevation 'C'-4' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



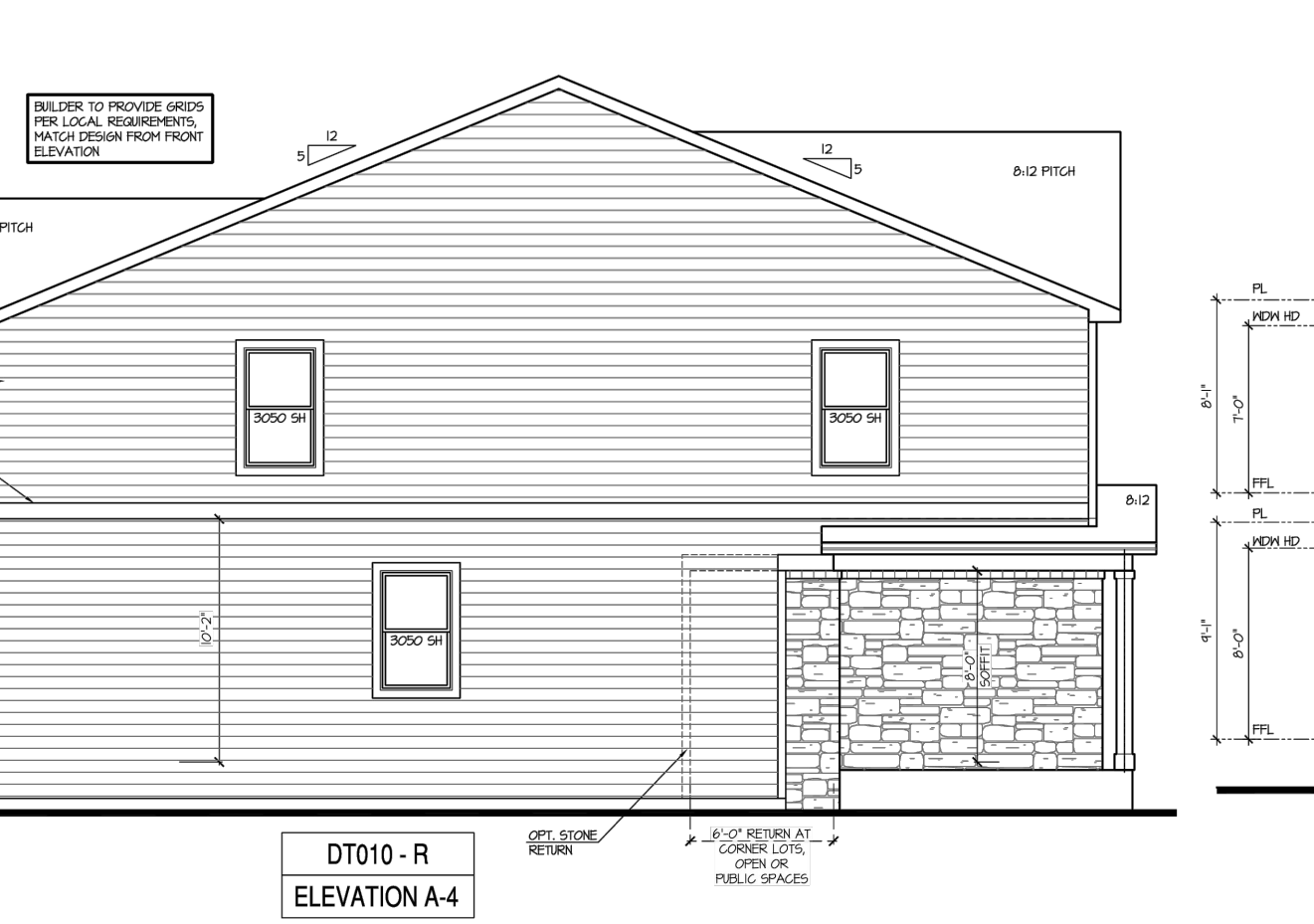
Right Elevation 'D'-4' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



Rear Elevation - Building Type (DT010 + DT010) 'A'/D' at Crawl Space
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Front Elevation - Building Type (DT010 + DT010) 'A'-4'/D'-4' at Crawl Space
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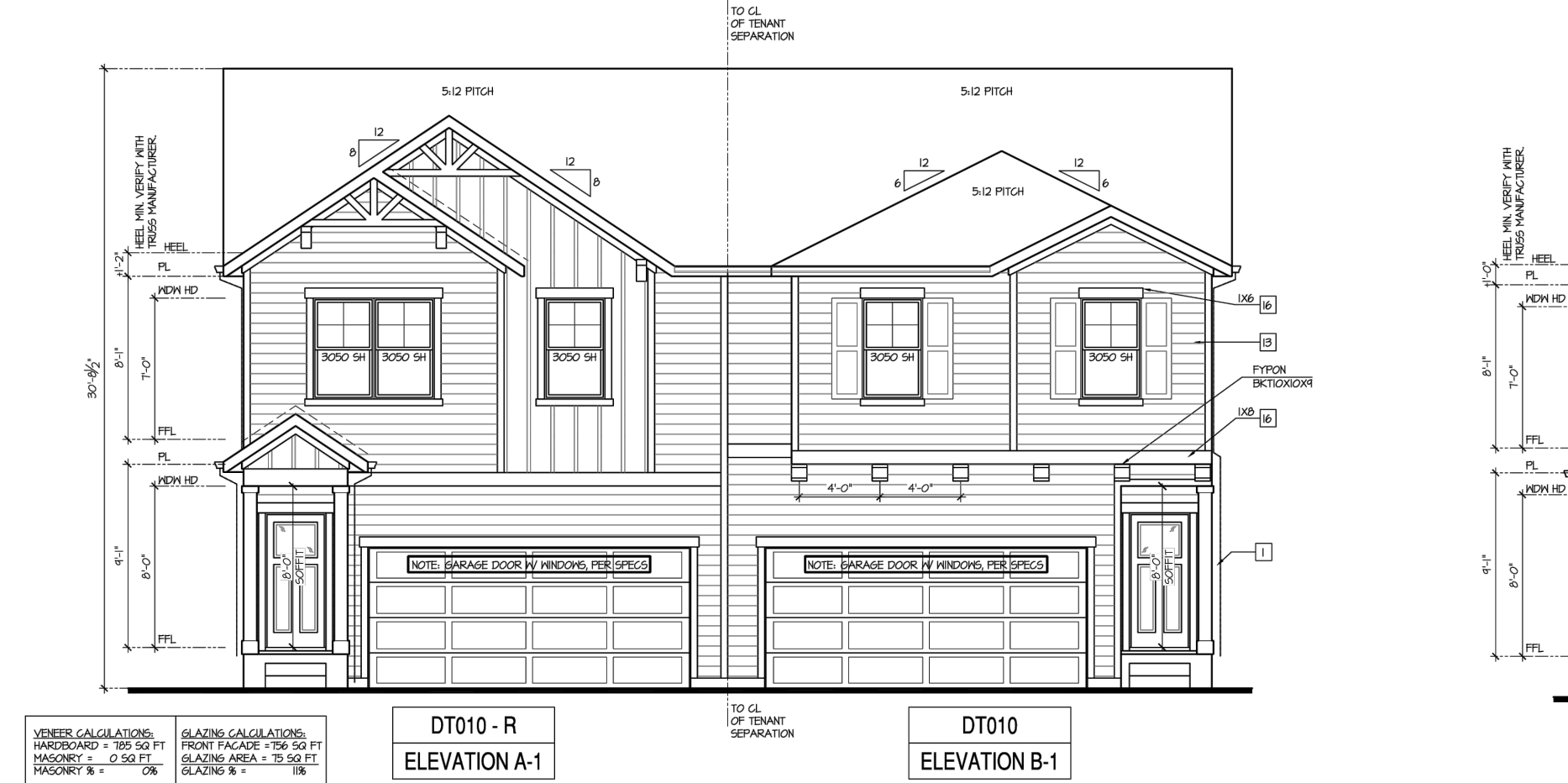
Left Elevation 'A'-4' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



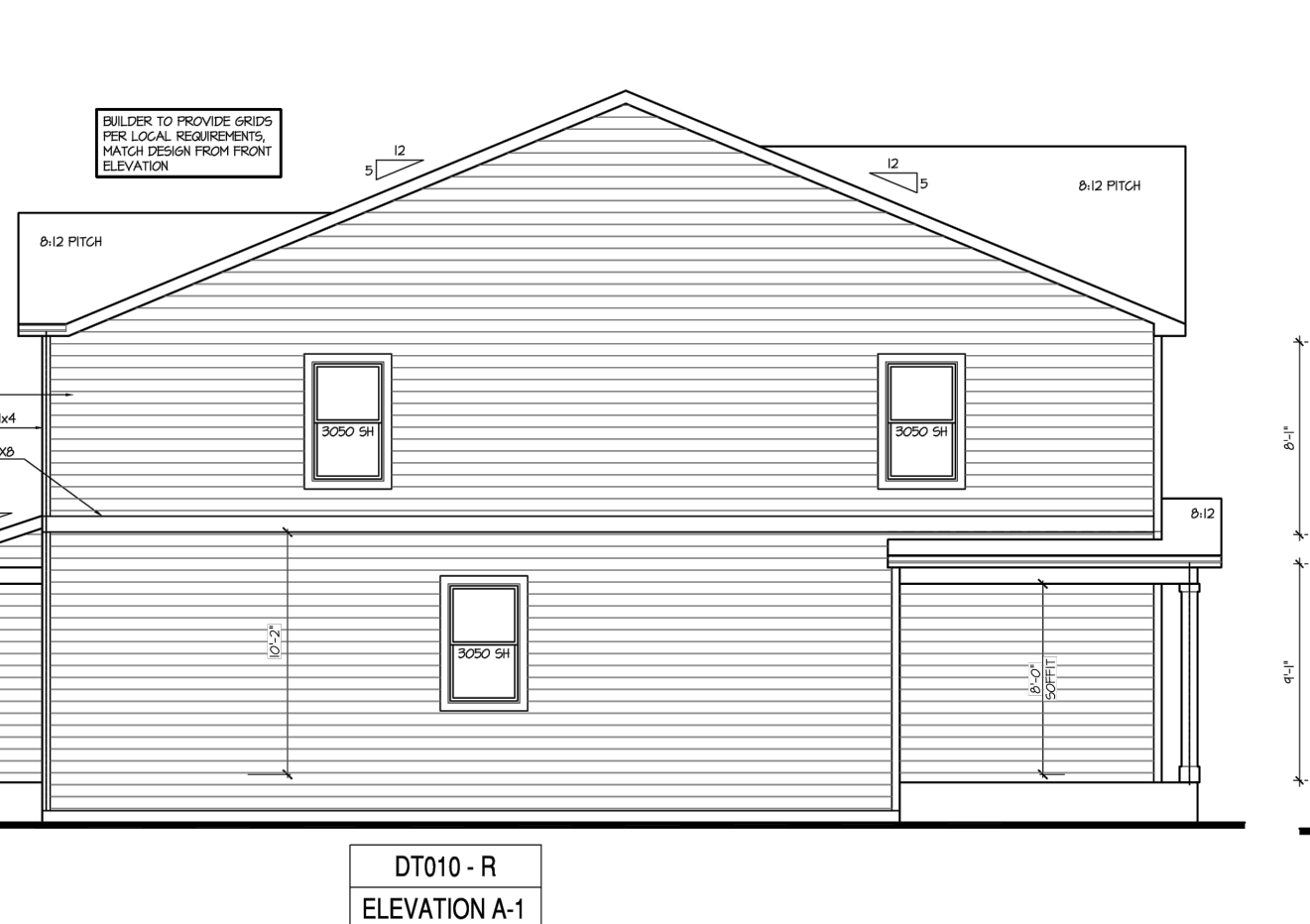
Right Elevation 'D'-4' at Crawl Space
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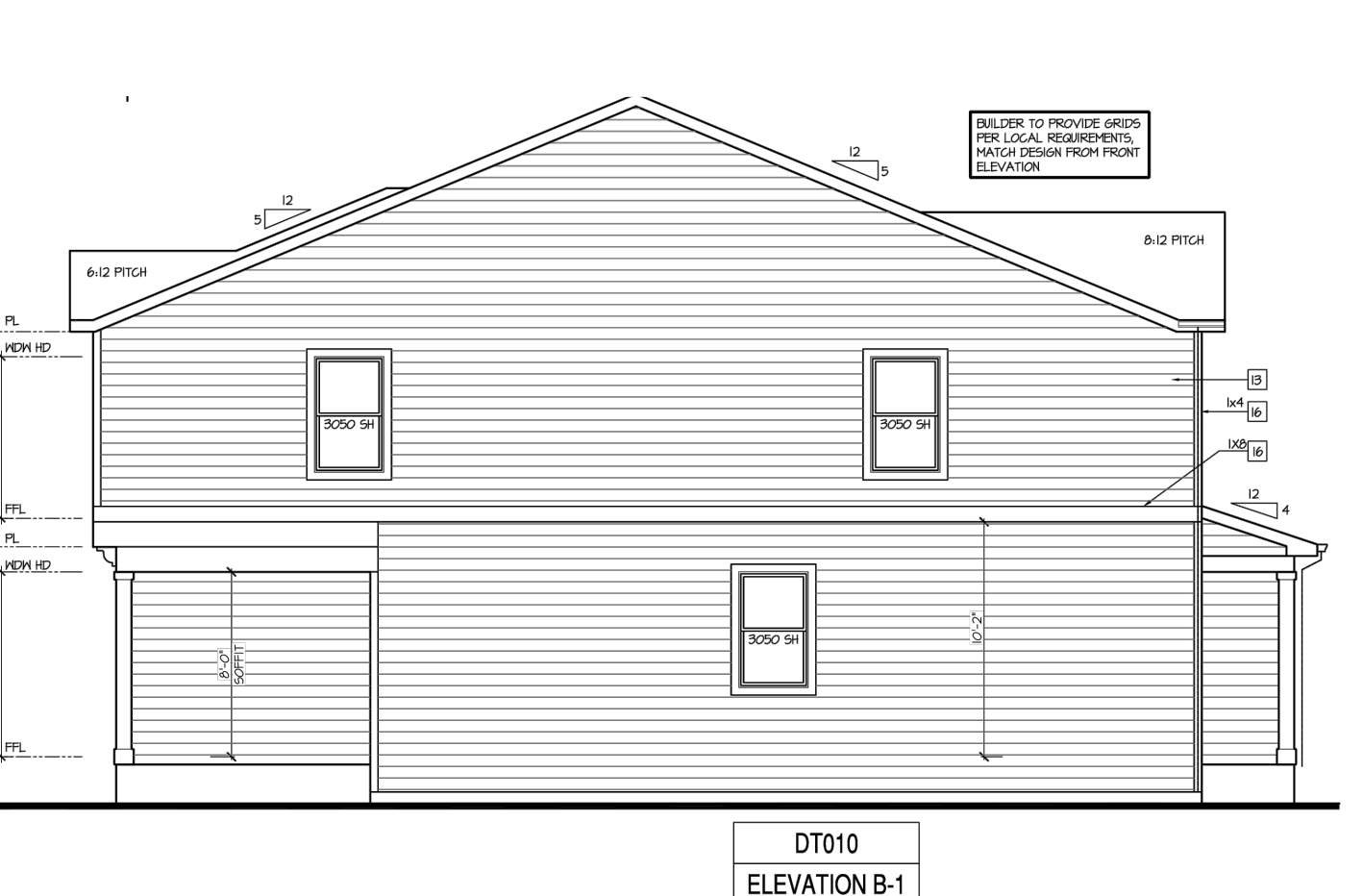
Rear Elevation - Building Type (DT010 + DT010) 'A'/B' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



Front Elevation - Building Type (DT010 + DT010) 'A'-1'/B'-1' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



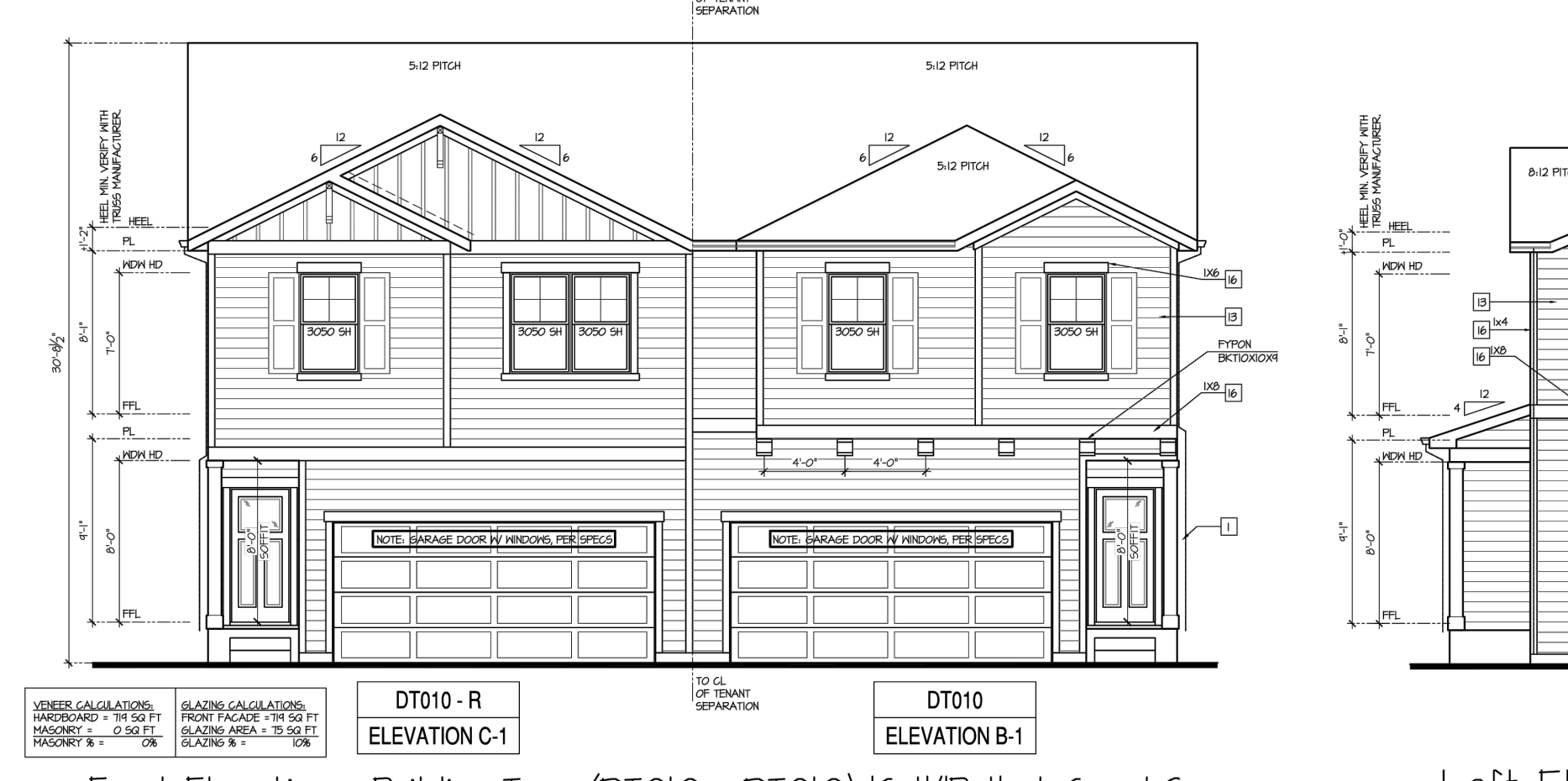
Left Elevation 'A'-1' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



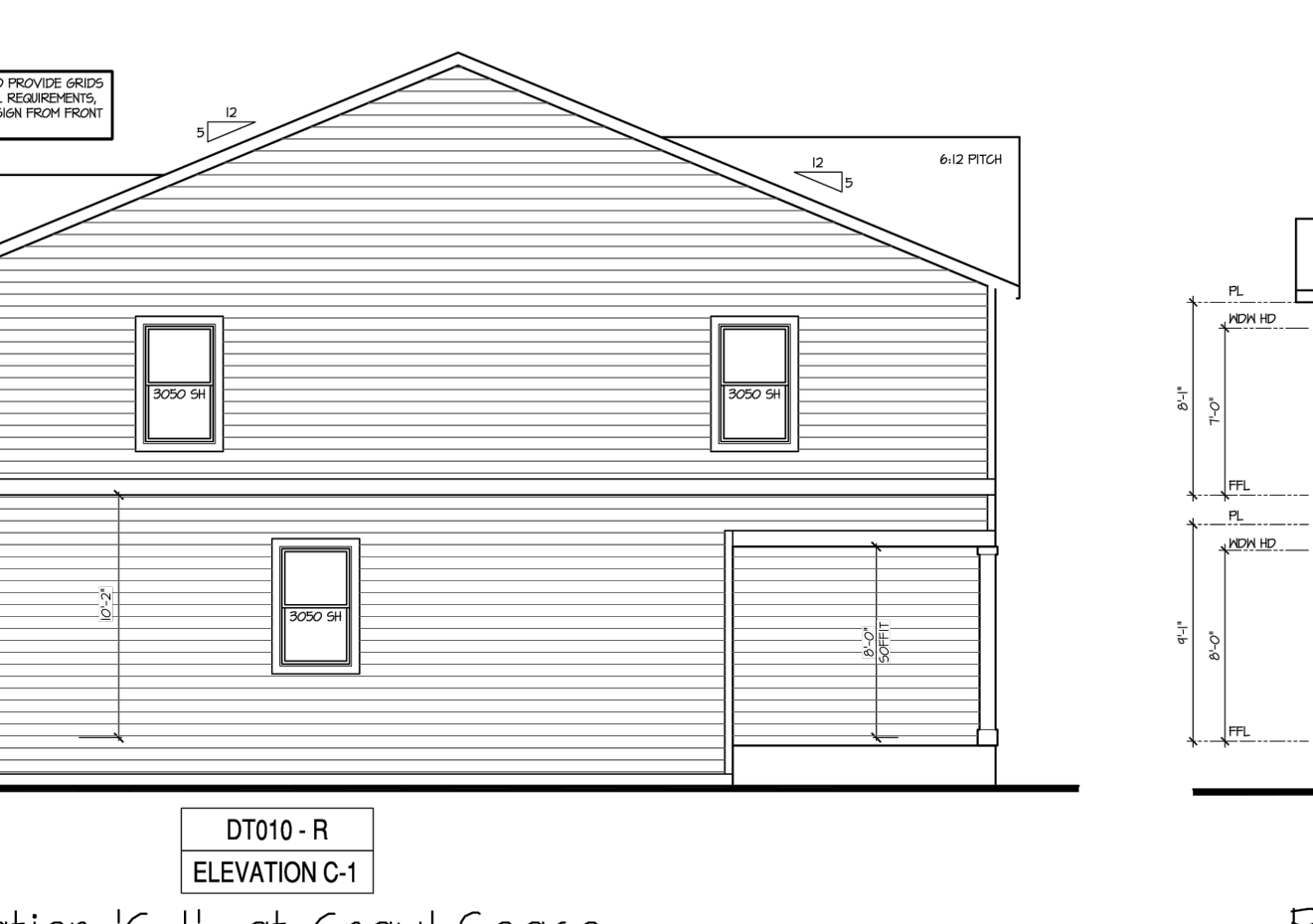
Right Elevation 'B'-1' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



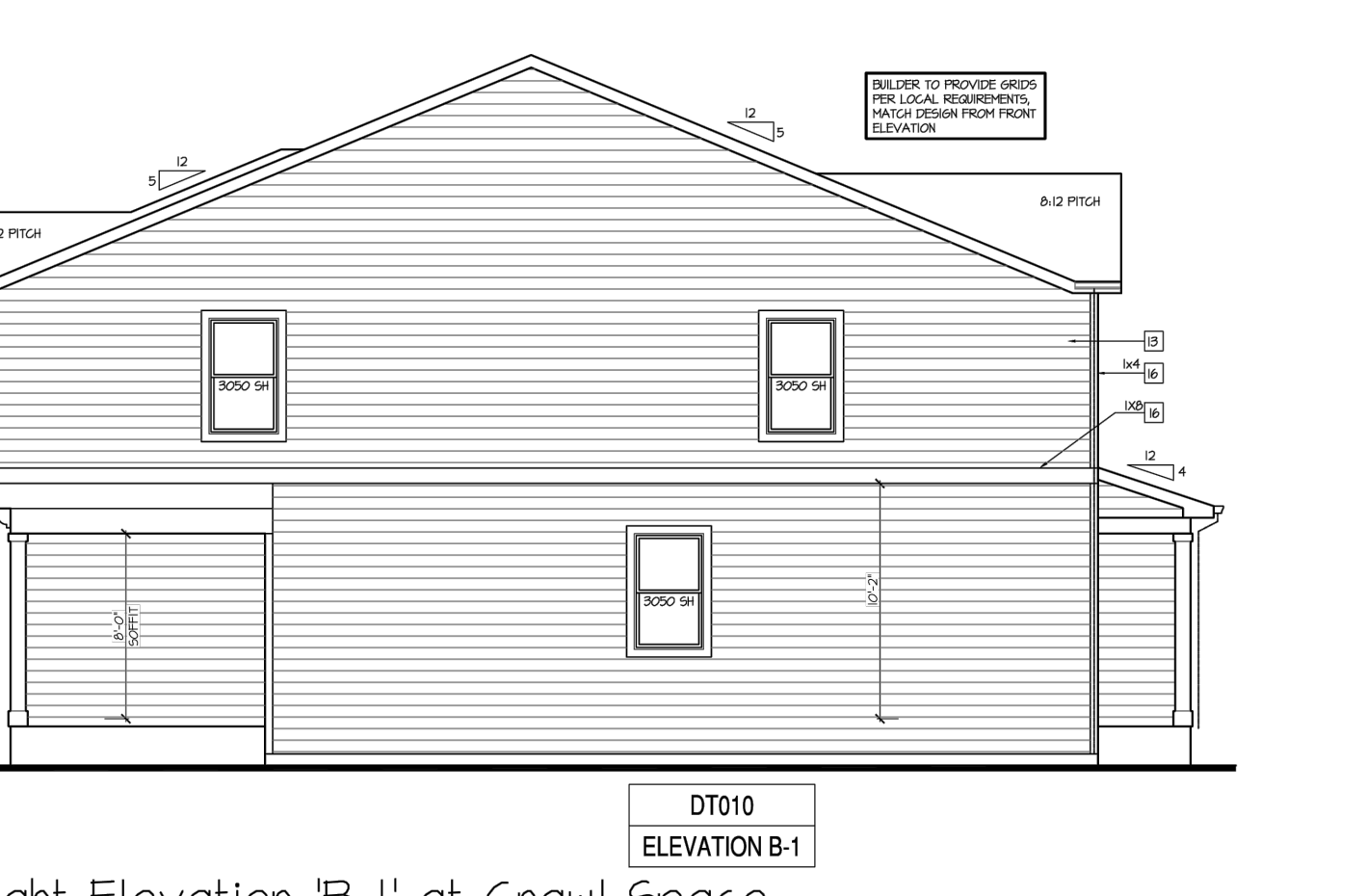
Rear Elevation - Building Type (DT010 + DT010) 'C'/B' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



Front Elevation - Building Type (DT010 + DT010) 'C'-1'/B'-1' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT



Left Elevation 'C'-1' at Crawl Space
SCALE: 1/4"=1'-0" AT 22'00" LAYOUT, 1/8"=1'-0" AT 1'00" LAYOUT

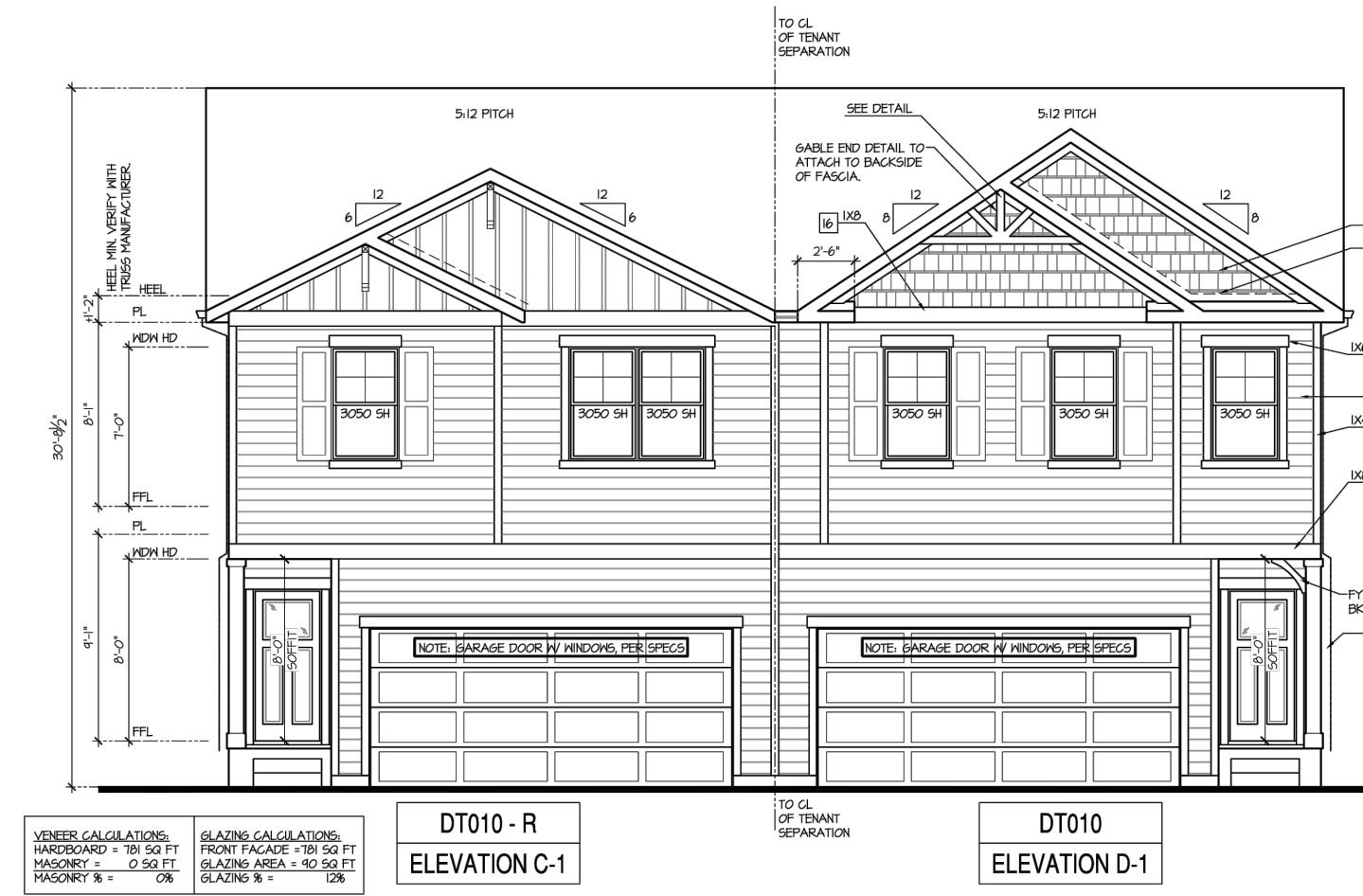


Right Elevation 'B'-1' at Crawl Space
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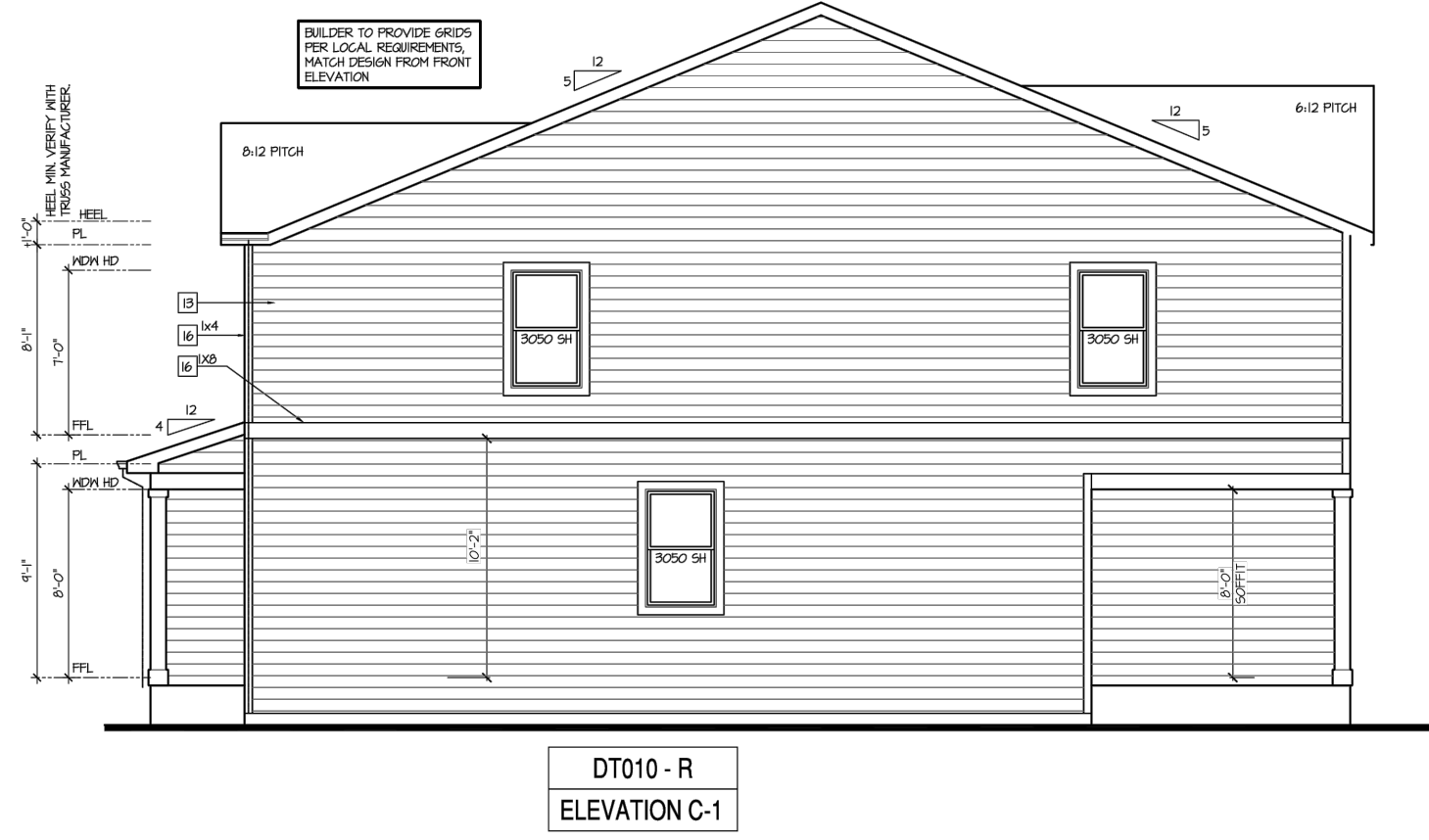
Rear Elevation - Building Type (DT010 + DT010) 'C-I'/D' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



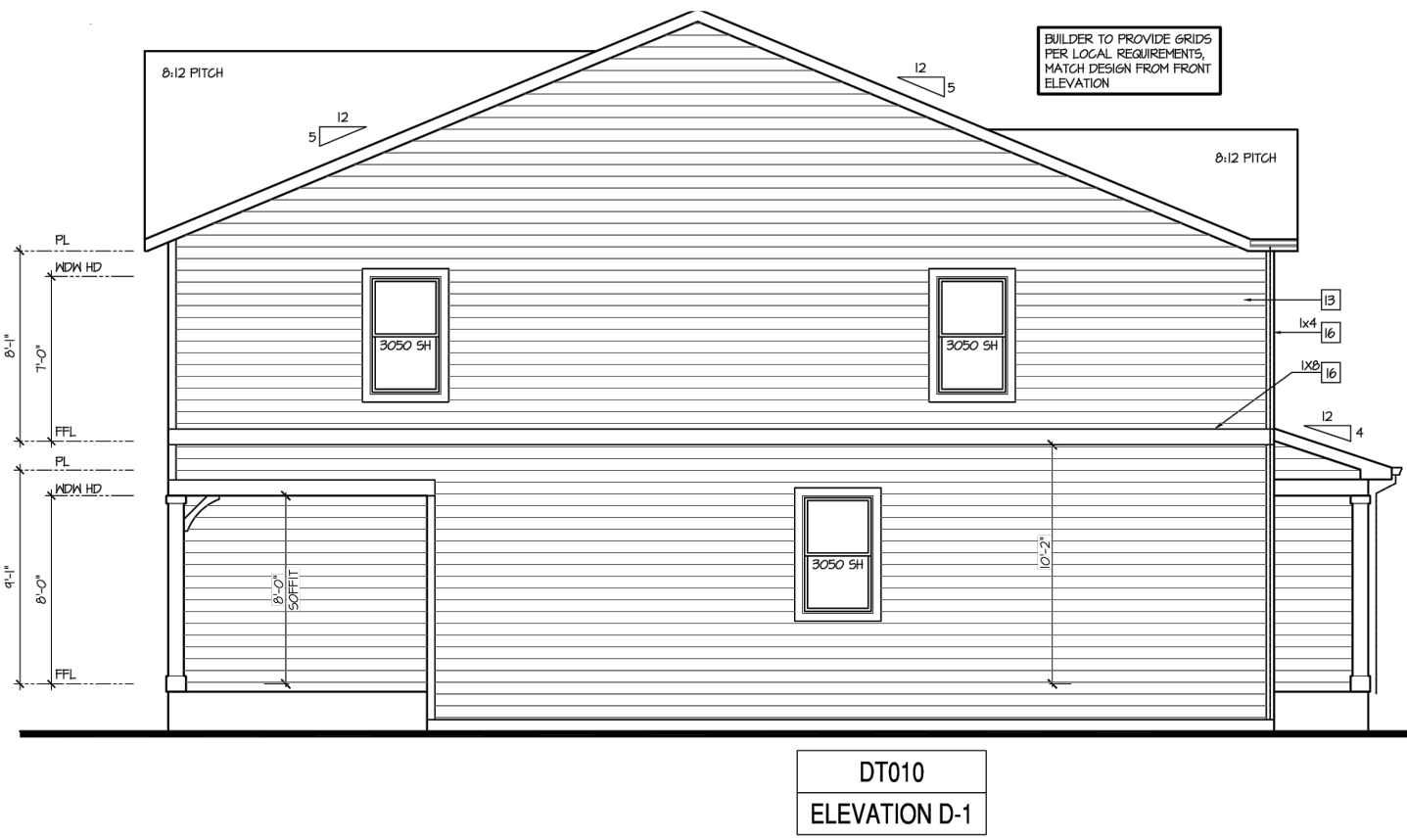
Front Elevation - Building Type (DT010 + DT010) 'C-I'/D-I' at Crawl Space

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Left Elevation 'C-I' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



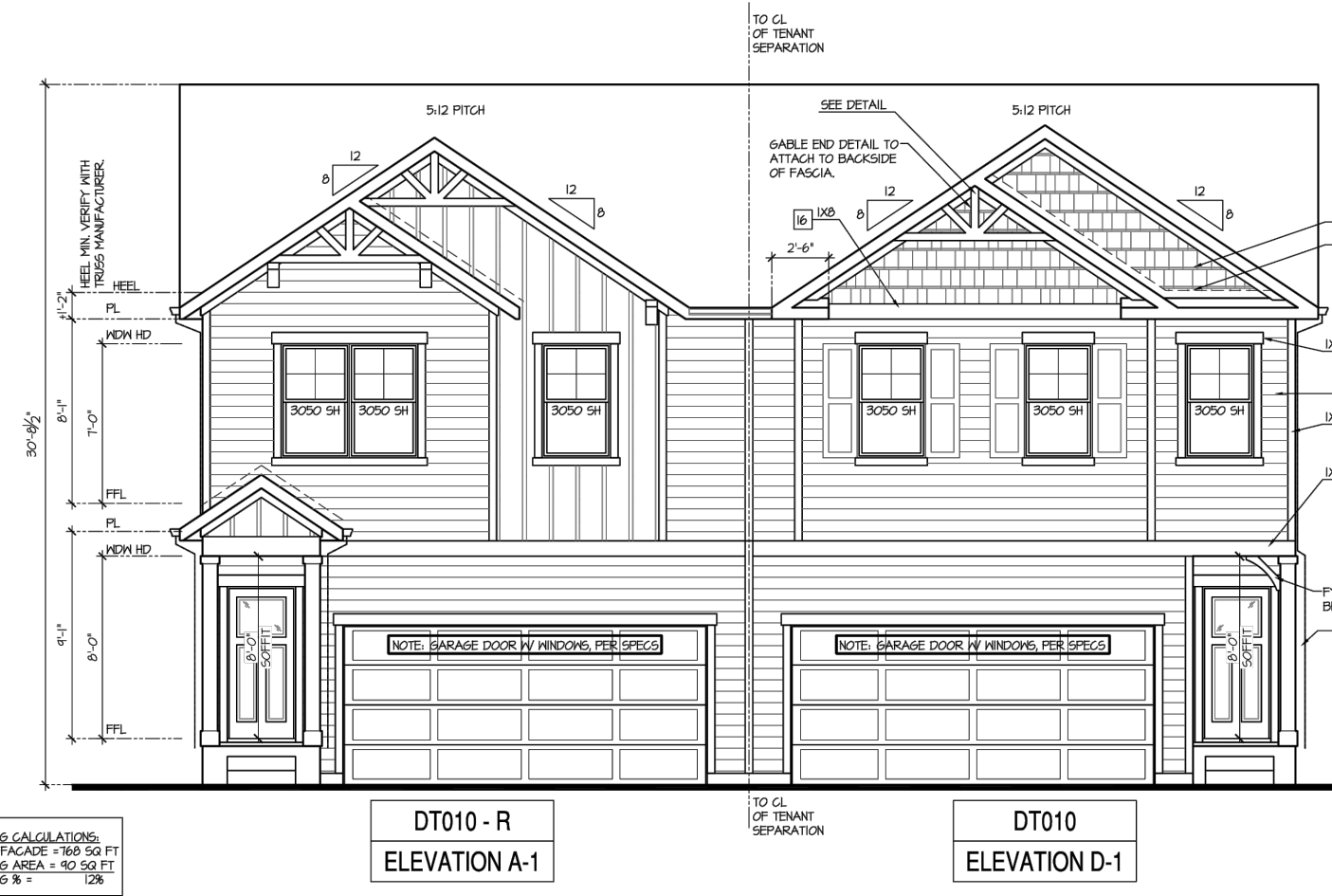
Right Elevation 'D-I' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



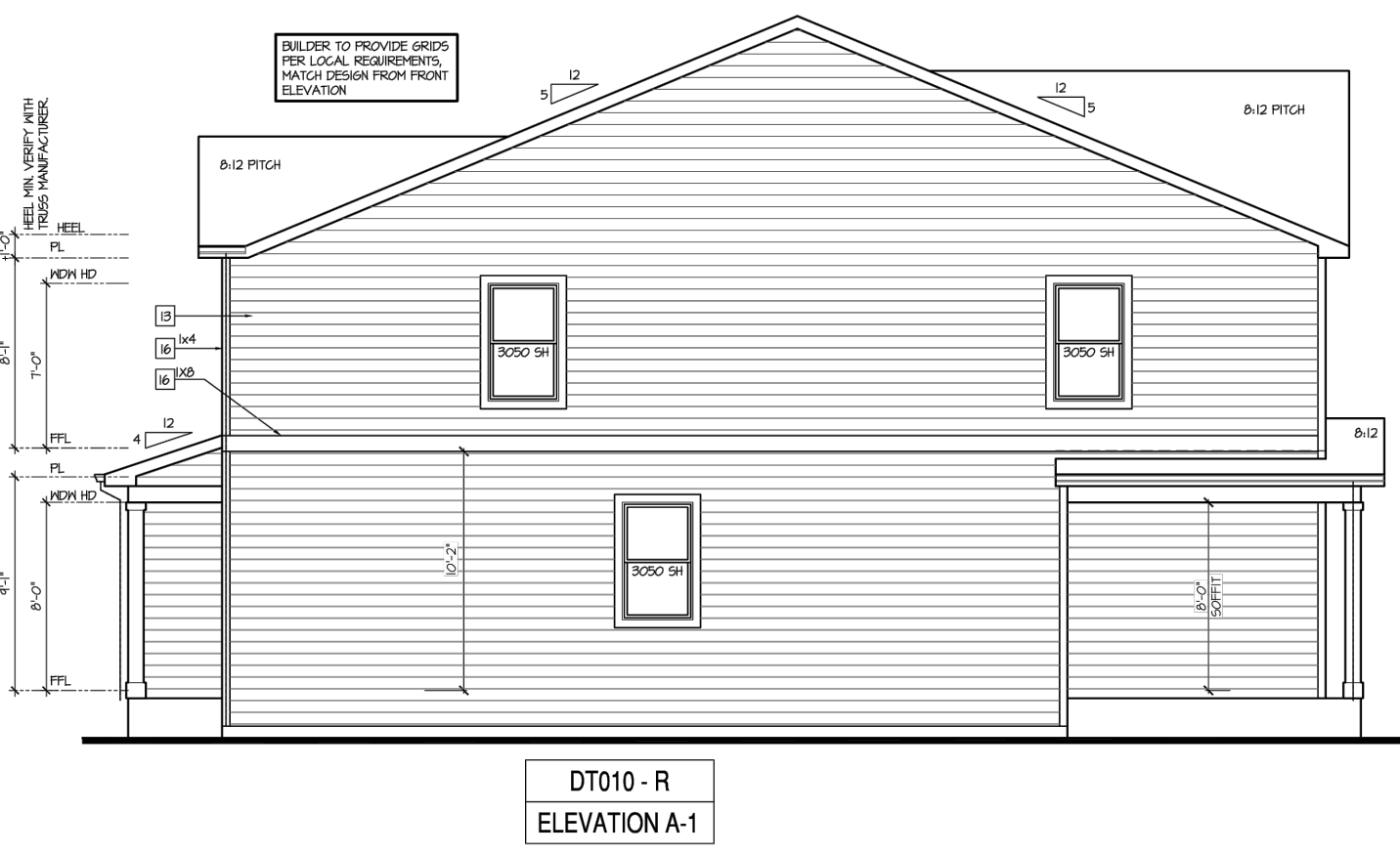
Rear Elevation - Building Type (DT010 + DT010) 'A-I'/D' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



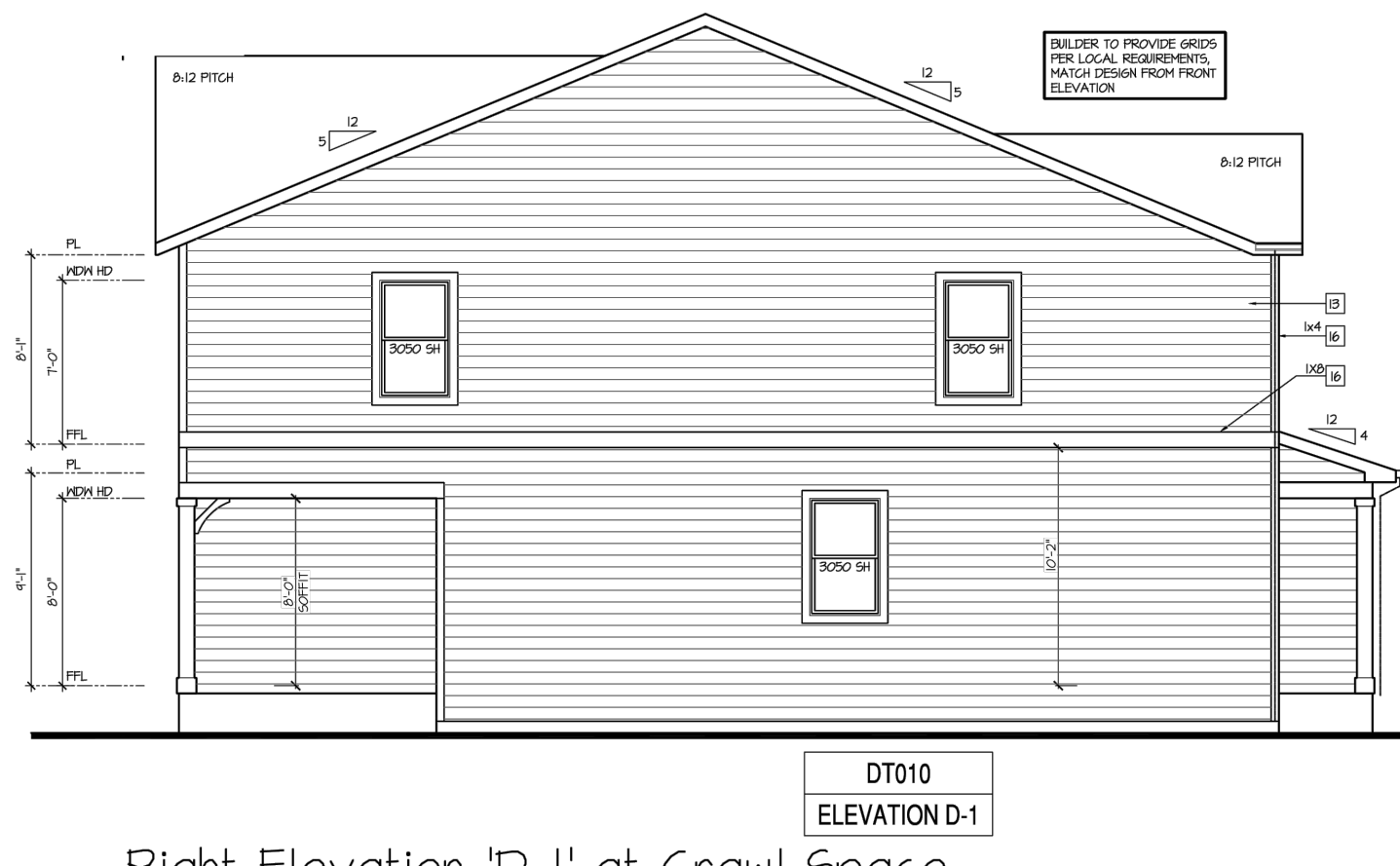
Front Elevation - Building Type (DT010 + DT010) 'A-I'/D-I' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



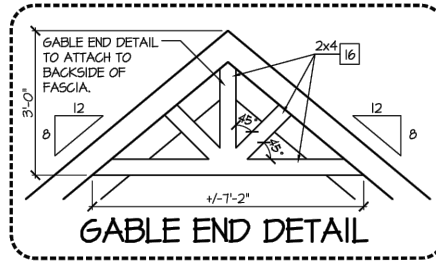
Left Elevation 'A-I' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT

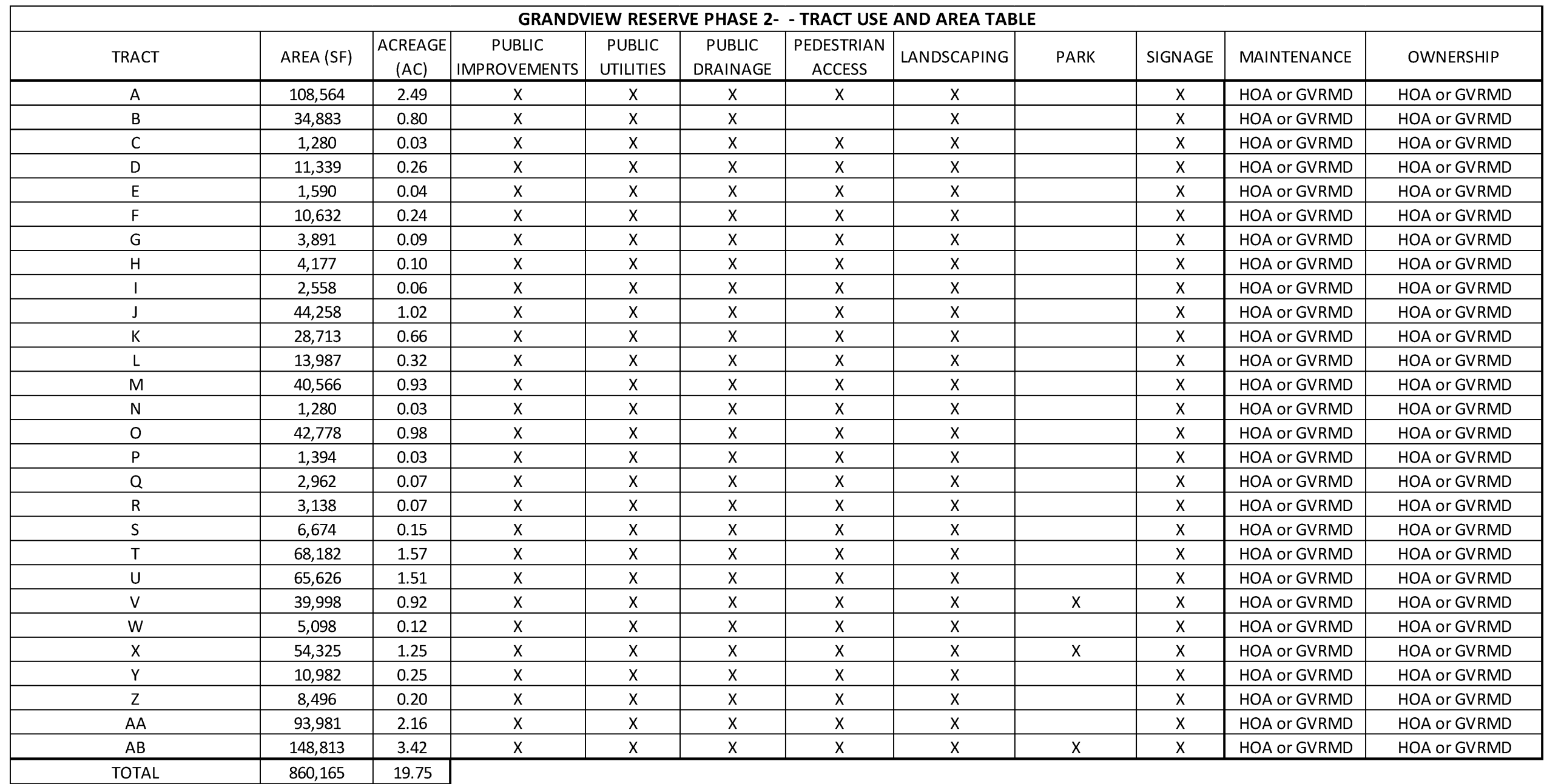


Right Elevation 'D-I' at Crawl Space

SCALE: 1/4"=1'-0" AT 22'X34" LAYOUT 1/8"=1'-0" AT 17'X17" LAYOUT



A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



HOA = HOME OWNERS ASSOCIATION

P = WHERE EASEMENTS DEDICATED

GVRMD = GRANDVIEW RESERVE METROPOLITAN DISTRICT

NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

D·R·HORTON
America's Builder

SHEET
TP

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

Curve Table				
Curve #	Length	Radius	Delta	Centerline/Flowline
C1	63.44	1150.00	3°09'39"	Flowline
C2	10.66	475.00	1°17'09"	Flowline
C6	32.48	525.00	3°32'41"	Flowline
C8	24.05	475.00	2°54'03"	Flowline
C12	17.05	325.00	3°00'18"	Flowline
C14	91.07	475.00	10°59'07"	Flowline
C16	107.77	275.00	22°27'17"	Flowline
C19	530.12	550.00	55°13'30"	Flowline
C20	416.82	1050.00	22°44'41"	Flowline
C21	676.84	1250.00	31°01'27"	Flowline
C22	847.21	850.00	57°06'29"	Flowline
C23	836.25	839.00	57°06'29"	Flowline
C24	682.80	1261.00	31°01'27"	Flowline
C25	395.86	1061.00	21°22'37"	Flowline
C26	575.45	950.00	34°42'22"	Flowline
C27	167.42	1150.00	8°20'28"	Flowline
C28	34.77	1150.00	1°43'56"	Flowline
C30	43.91	175.00	14°22'36"	Flowline
C34	65.92	175.00	21°34'54"	Flowline
C35	9.70	225.00	2°28'08"	Flowline
C36	197.92	785.00	14°26'45"	Flowline
C37	113.17	525.00	12°21'03"	Flowline
C38	124.15	525.00	13°32'58"	Flowline
C39	53.17	275.00	11°04'39"	Flowline
C40	25.03	950.00	1°30'34"	Flowline
C42	87.55	167.50	29°56'47"	Flowline
C46	74.48	142.50	29°56'47"	Flowline
C48	229.24	525.00	25°01'06"	Flowline
C49	40.07	60.00	38°16'02"	Flowline
C50	262.63	1363.49	11°02'09"	Flowline
C51	40.07	60.00	38°16'02"	Flowline
C52	15.42	1025.00	0°51'44"	Flowline
C53	768.52	1668.20	26°23'43"	Flowline
C54	27.19	1363.49	1°08'34"	Flowline
C55	19.27	525.00	2°06'10"	Flowline
C56	856.84	950.00	51°40'39"	Flowline
C58	307.07	1150.00	15°17'56"	Flowline
C70	3.69	435.00	0°29'11"	Flowline
C72	512.01	980.00	29°56'04"	Flowline
C88	139.41	475.00	16°48'59"	Flowline
C91	121.52	232.50	29°56'47"	Flowline
C93	115.09	175.00	37°40'57"	Flowline
C94	44.75	225.00	11°23'43"	Flowline
C95	86.79	275.00	18°04'59"	Flowline
C100	27.02	975.00	1°35'16"	Flowline
C108	57.50	175.00	18°49'37"	Flowline
C111	216.94	825.00	15°04'00"	Flowline
C113	39.43	785.00	2°52'41"	Flowline
C117	39.59	786.22	2°57'39"	Flowline

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L1	56.94	N 41°00'23" E
L2	262.11	N 41°00'23" E
L4	218.08	S 41°00'23" W
L5	448.00	S 41°00'23" W
L6	20.00	S 41°00'23" W
L7	60.00	S 48°59'37" E
L8	23.73	N 41°00'23" E
L9	322.72	N 41°00'23" E
L10	60.00	N 48°59'37" W
L11	20.00	S 41°00'23" W
L12	336.75	S 41°00'23" W
L13	224.80	S 41°00'23" W
L14	60.00	S 49°18'05" E
L15	102.12	N 41°00'23" E
L16	82.21	N 41°00'23" E
L17	371.90	N 41°00'23" E
L18	25.00	N 41°00'23" E
L19	20.11	N 78°54'36" W
L20	66.20	S 26°50'16" W
L21	84.50	S 74°52'00" E
L22	26.89	N 31°53'18" W
L23	27.87	N 78°54'36" W
L24	50.00	N 11°05'24" E
L25	110.31	N 79°00'44" W
L26	47.32	S 5°51'25" W
L27	41.01	S 84°08'35" E
L28	44.98	N 57°36'07" E

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L152	6.57	N 5°25'39" W
L153	85.00	S 84°34'21" W
L154	116.96	N 10°02'17" W
L155	203.41	S 23°10'57" W
L156	43.53	S 6°45'50" E
L157	33.76	S 54°32'52" E
L158	66.21	N 6°45'50" W
L159	204.59	N 23°10'57" E
L160	15.00	N 14°14'45" W
L162	115.00	S 10°46'21" W
L163	51.88	S 77°39'01" E
L164	179.24	S 2°27'30" E
L166	325.08	N 28°43'11" E
L167	51.88	N 77°39'01" W
L168	35.23	N 77°39'01" W
L169	35.26	N 74°29'41" W
L170	35.26	N 71°20'17" W
L171	35.23	N 68°10'57" W
L172	35.23	N 65°01'42" W
L173	35.26	N 61°52'22" W
L174	128.20	S 29°42'20" W
L176	23.97	S 31°44'28" E
L177	122.04	N 65°27'05" E
L178	15.00	S 72°44'18" E
L180	179.24	N 2°27'30" W
L181	110.00	N 32°20'57" E
L182	9.58	N 57°39'03" W

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L29	41.01	N 84°08'35" W
L30	44.79	S 5°51'25" W
L31	89.75	S 80°19'03" E
L32	42.22	N 32°17'40" W
L33	41.59	S 62°31'34" W
L34	73.95	N 79°43'07" E
L35	84.55	N 33°15'25" E
L36	28.28	N 3°59'37" W
L37	74.00	S 41°00'23" W
L38	224.00	N 48°59'37" W
L39	35.88	S 38°27'16" W
L40	110.41	S 48°41'25" E
L41	112.00	S 48°59'37" E
L42	74.00	S 41°00'23" W
L43	28.28	N 86°00'23" E
L44	144.23	N 41°00'23" E
L45	28.28	S 86°00'23" W
L46	74.00	S 48°59'37" E
L47	20.00	N 41°00'23" E
L48	54.00	N 48°59'37" W
L49	28.28	S 3°59'37" E
L50	54.00	S 48°59'37" E
L51	20.00	N 41°00'23" E
L52	74.00	N 48°59'37" W
L53	102.12	S 41°00'23" W
L54	127.33	S 49°18'05" E
L55	21.50	S 53°13'21" E

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L184	110.00	S 33°12'41" W
L185	131.56	N 74°15'50" W
L186	66.37	S 53°13'21" E
L187	211.52	S 60°22'39" E
L190	128.20	N 29°42'20" E
L191	115.00	N 29°42'20" E
L193	115.00	S 31°48'30" W
L194	35.23	N 56°36'53" W
L195	35.26	N 53°27'33" W
L196	35.26	N 50°18'09" W
L197	35.23	N 47°08'49" W
L198	35.23	N 43°59'34" W
L199	34.50	N 40°53'45" W
L200	30.00	N 39°43'02" W
L201	30.00	N 39°43'02" W
L202	60.00	N 39°43'02" W
L203	33.76	N 74°33'10" W
L204	41.63	S 80°09'11" W
L205	41.63	S 87°10'24" W
L206	41.63	N 85°48'23" W
L207	41.63	N 78°47'11" W
L208	41.69	N 72°53'36" W
L209	347.40	N 57°39'03" W
L210	25.00	S 41°00'23" W
L211	138.00	S 48°59'37" E
L212	35.36	N 3°59'37" W
L213	113.00	N 48°59'37" W

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L56	67.68	N 24°46'01" W
L57	113.01	N 9°22'15" W
L58	50.00	N 48°59'37" W
L59	20.00	N 48°59'37" W
L60	15.52	N 41°00'23" E
L61	112.00	N 48°59'37" W
L62	115.97	N 53°42'11" W
L63	136.08	N 36°55'59" W
L64	137.62	N 21°36'13" W
L65	109.88	S 5°51'25" W
L67	0.01	S 47°47'51" E
L68	121.27	S 49°18'05" E
L69	224.80	N 41°00'23" E
L70	85.00	N 48°59'37" W
L71	27.49	N 89°50'58" W
L73	446.79	S 44°12'14" E
L75	235.68	S 13°10'46" E
L77	11.00	N 19°42'45" E
L79	235.68	N 13°10'46" W
L81	446.79	N 44°12'14" W
L83	446.79	N 44°12'14" W
L85	146.34	N 78°54'36" W
L86	30.00	S 11°05'24" W
L87	120.75	S 78°54'36" E
L88	4.94	N 11°05'24" E
L89	117.44	S 76°42'42" E
L90	121.17	S 69°27'40" E

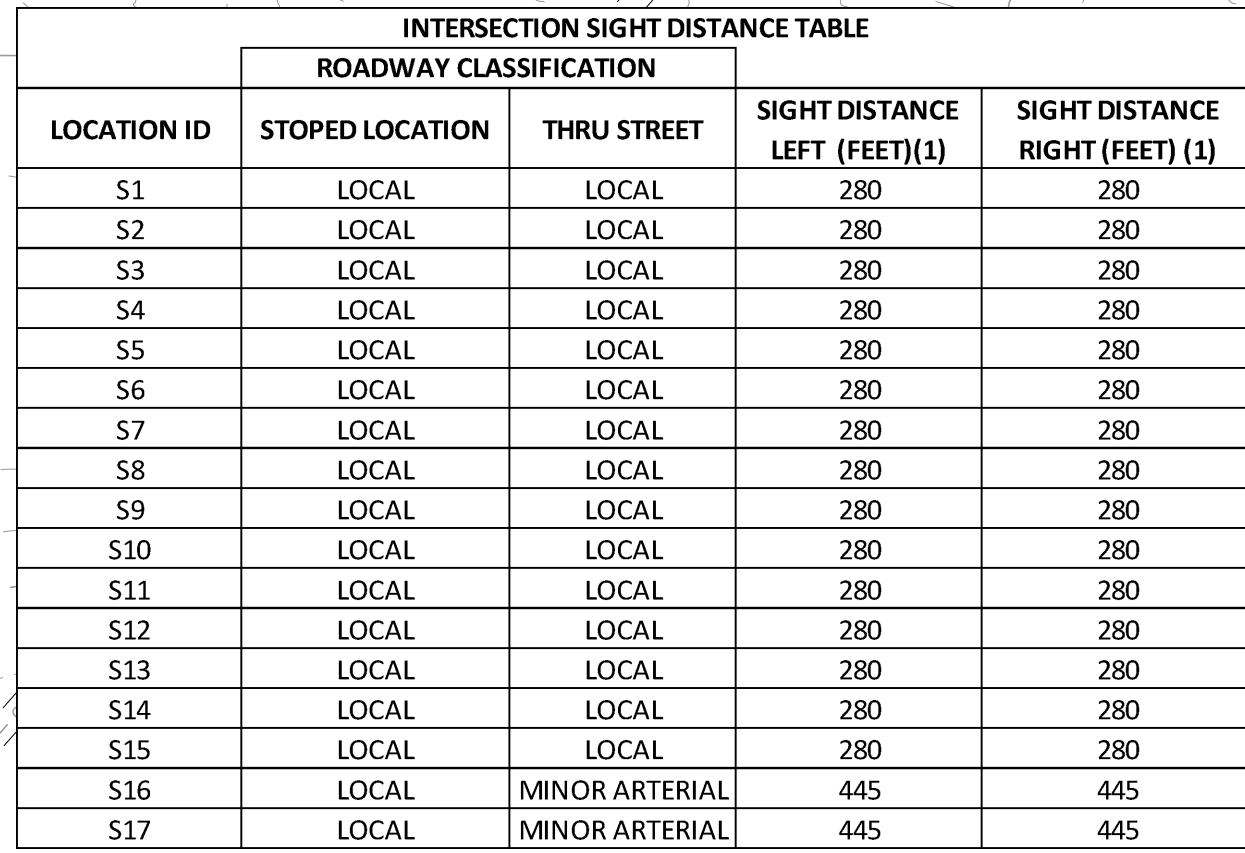
PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L214	23.73	S 41°00'23" W
L215	113.00	S 48°59'37" E
L216	33.55	N 86°00'23" E
L217	136.73	N 48°59'37" W
L218	235.68	N 13°10'46" W
L219	262.11	S 41°00'23" W
L220	73.43	N 78°40'08" E
L221	70.93	S 84°21'04" E
L222	68.00	S 60°46'23" E
L223	68.99	S 41°12'31" E
L224	72.51	S 13°17'40" E
L225	74.42	S 13°10'46" E
L226	35.05	S 13°10'46" E
L227	42.67	S 13°10'46" E
L228	40.36	S 13°16'19" E
L229	39.12	S 11°11'22" E
L230	67.36	S 20°16'03" E
L231	41.84	S 51°23'31" E
L232	41.66	S 36°41'52" E
L233	41.63	S 30°13'55" E
L234	41.79	S 23°11'55" E
L235	41.79	S 16°09'07" E
L236	41.63	S 9°07'06" E
L237	41.63	S 2°05'53" E
L238	41.79	S 4°56'07" W
L239	41.79	S 11°58'55" W
L240	41.63	S 19°00'56" W

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L91	121.17	S 61°57'02" E
L92	121.17	S 54°26'23" E
L93	119.77	S 44°38'21" E
L94	112.00	S 44°12'14" E
L95	112.11	S 46°45'36" E
L96	122.02	S 41°14'33" E
L97	113.78	S 32°11'16" E
L98	112.00	S 34°37'01" E
L99	74.00	S 55°22'59" W
L100	28.28	S 79°37'01" E
L101	119.73	N 55°22'59" E
L103	186.00	S 55°22'59" W
L104	4.32	S 41°00'23" W
L105	85.00	S 48°59'37" E
L106	218.08	N 41°00'23" E
L107	109.15	N 42°06'55" W
L108	85.00	N 45°47'46" E
L109	87.13	N 44°12'14" W
L110	43.84	N 89°12'14" W
L111	10.77	S 45°47'46" W
L113	85.00	S 65°47'08" E
L114	101.86	S 1°12'44" W
L115	103.84	S 11°56'53" E
L116	105.12	S 44°26'28" E
L117	112.00	S 48°59'37" E
L118	74.00	S 41°00'23" W
L119	28.28	N 86°00'23" E

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L241	35.38	S 24°53'20" W
L242	30.00	S 25°46'22" W
L243	115.00	N 64°13'38" W
L244	26.24	S 25°46'22" W
L245	56.45	S 22°00'09" E
L246	41.38	N 40°57'05" E
L247	42.16	N 6°45'50" W
L248	203.41	N 23°10'57" E
L249	108.93	S 58°39'58" W
L250	27.24	S 47°03'42" E
L251	27.24	S 51°20'18" E
L252	110.00	S 36°31'23" W
L253	22.10	S 54°48'35" E
L254	56.12	N 73°55'09" E
L255	72.85	N 25°46'22" E
L257	118.28	N 50°16'58" E
L258	5.97	N 39°43'02" W
L259	64.18	N 79°54'47" W
L261	78.96	S 13°21'25" E
L262	44.08	S 87°28'30" W
L263	7.97	S 41°00'23" W
L264	110.00	S 48°59'37" E
L265	320.64	S 41°00'23" W
L266	9.90	S 57°39'03" E
L267	110.00	N 32°20'57" E
L268	240.00	S 57°39'03" E
L269	30.00	S 57°39'03" E

PARCEL LINE SEGMENT TABLE		
Line #	Length	Direction
L120	158.92	N 41°00'23" E
L122	28.85	N 6°28'05" E
L123	72.26	S 55°22'59" W
L124	112.00	N 34°37'01" W
L125	111.51	N 34°40'35" W
L126	146.29	N 11°17'22" E
L127	73.40	N 34°59'58" E
L128	112.00	N 51°40'14" W
L129	85.00	N 33°44'27" E
L131	26.52	S 61°22'39" W
L132	72.18	S 74°52'00" E
L133	112.00	S 15°08'00" W

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

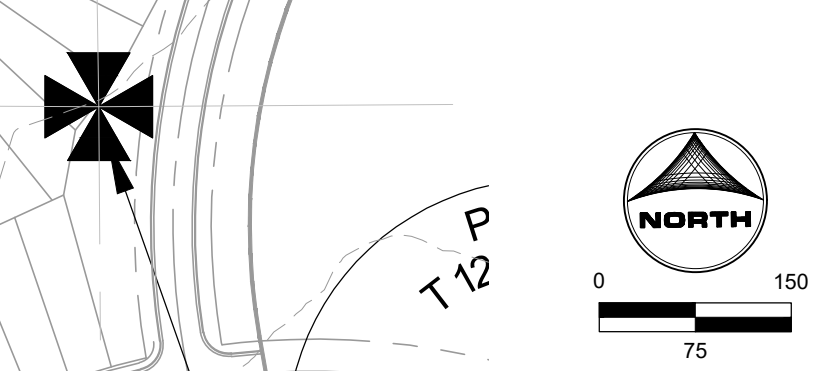


*56 (4 unit buildings)

Required Site Parking (Duplexes)						
	units/bldg	# of units	Proposed Dwelling Units	(1) Required Parking Ratio per D.U.	Parking Spaces Required	Guest Spaces Required
2 Car Garage Units	2	97	194	2	388	49
Total Dwelling Units	2	97	194			
(1) Guest (Single family Attached) 1 space / 4 D.U.)				0.25		49
(2) Handicap Parking Required (25-50 = 2)						2
Total Parking Required					388	49
Overall Total Required						437
(1) per LDC Table 6-2 (2) per LDC Table 6-3						

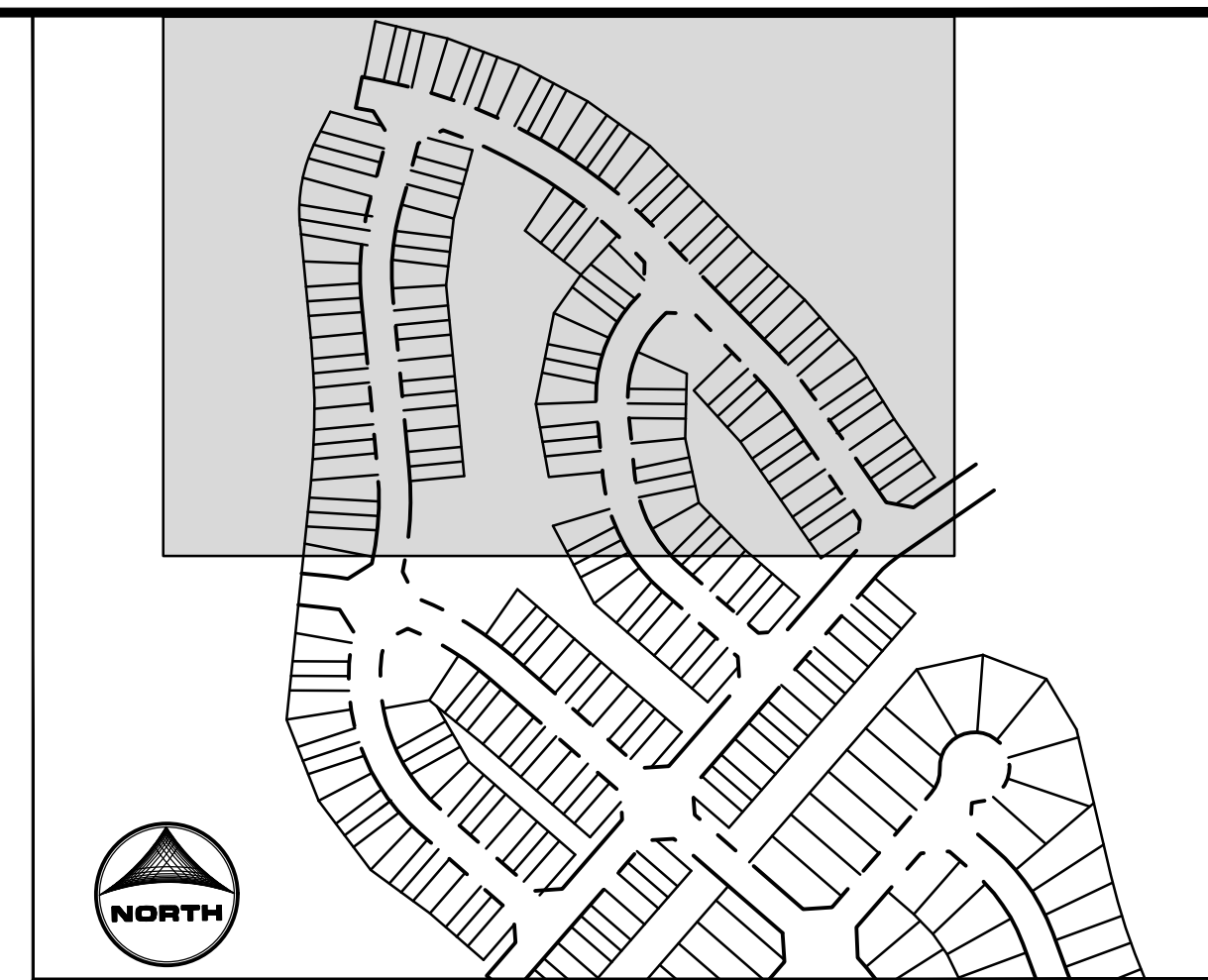
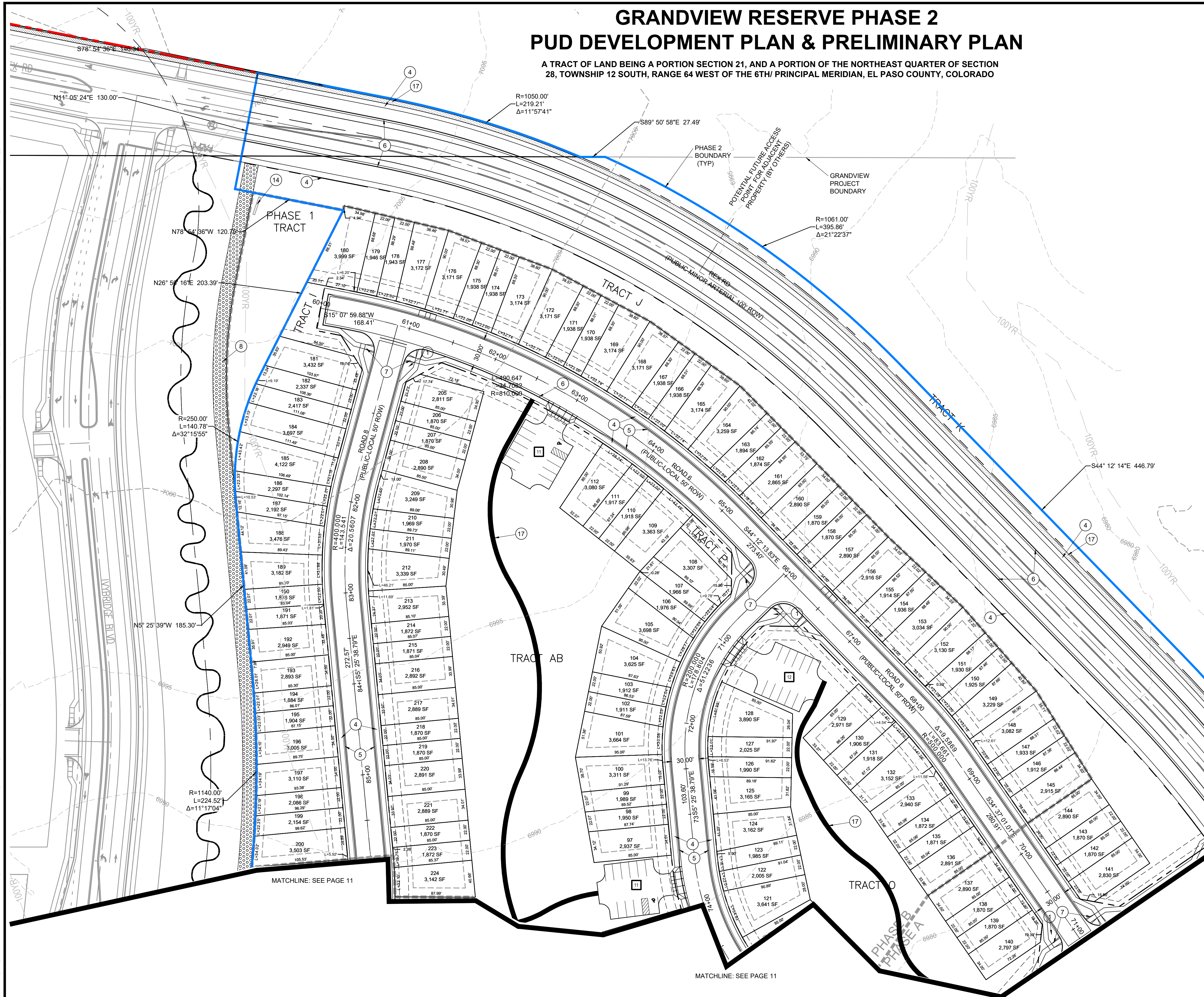
Parking Summary (Duplexes & Townhomes)						
		spaces/unit	# of units	Townhome provided spaces	# of units	Duplex provided spaces
1 Car Garage		1	112	112	0	0
2 Car Garage		2	112	224	194	388
1 Car Driveway		1	112	112	0	0
2 Car Driveway		2	112	224	194	388
Guest Spaces Provided in Driveway (2 car Driveway only)				112		194
Off street parking lot (Guest Space)				46		0
Total Guest Spaces Provided				158		194
Total Guest Spaces Required				56		49
Overall Total Parking Provided				718		776
Overall Total Parking Required				504		437
Surplus Parking Spaces				214		340


























PHASE B:
84 - DWELLING UNITS



GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

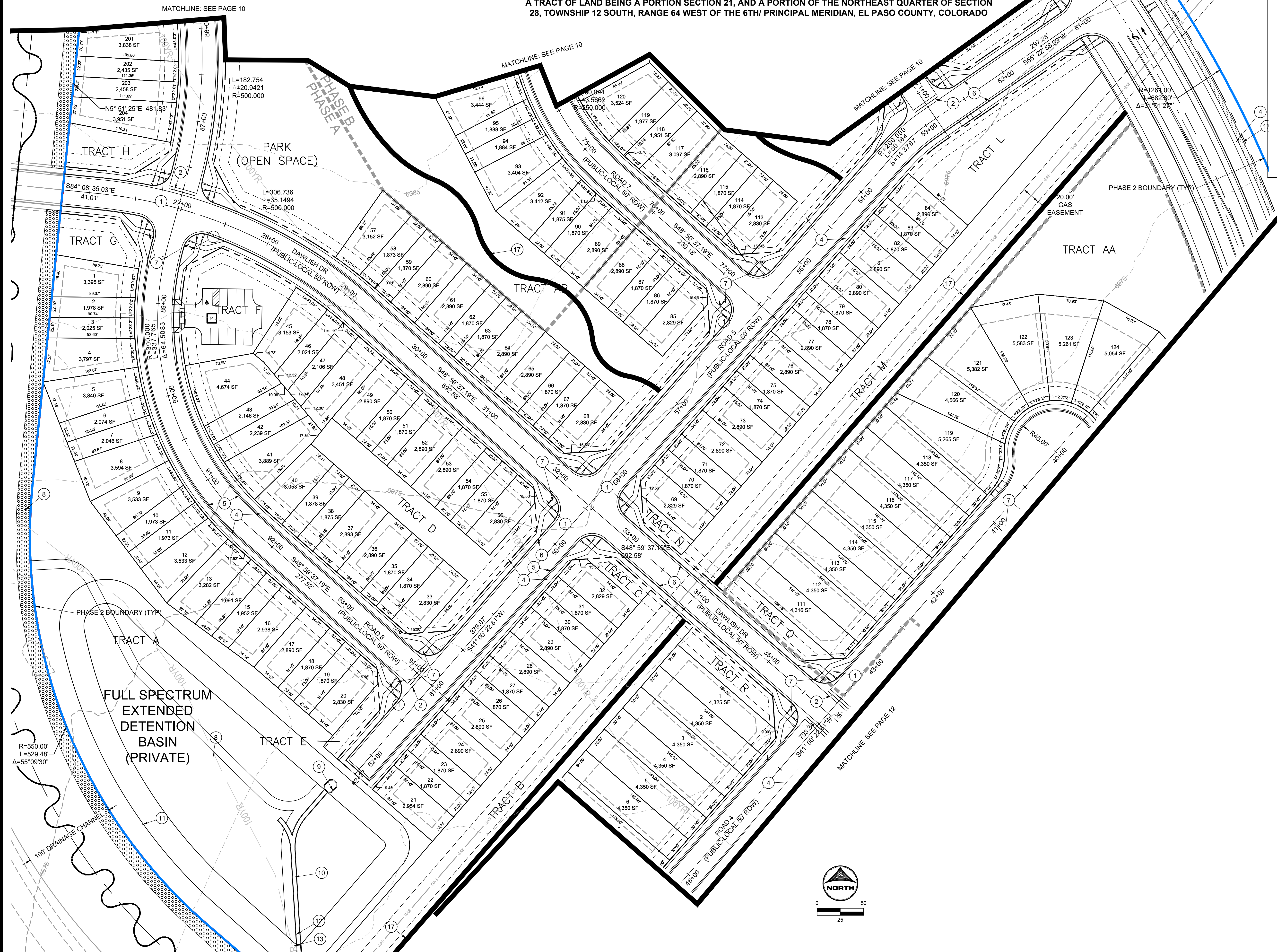


- # LINEWORK LEGEND
- | | |
|-------------------------|---|
| MATCH LINE |  |
| PR Phase 2 Boundary |  |
| EX PROPERTY LINE |  |
| PR EASEMENT LINE |  |
| EX EASEMENT LINE |  |
| PR RIGHT OF WAY |  |
| EX RIGHT OF WAY |  |
| PR LOT LINE |  |
| EX LOT LINE |  |
| EX SWALE |  |
| PR SWALE |  |
| PR ACCESS TRAIL |  |
| PR CURB & GUTTER |  |
| EX CURB & GUTTER |  |
| PR SIDEWALK |  |
| PR CONCRETE |  |
| PR RIP-RAP |  |
| PR POND RIM |  |
| PR INDEX CONTOUR |  |
| EX INDEX CONTOUR |  |
| PR INTER. CONTOUR |  |
| EX INTER. CONTOUR |  |
| NOT WITHIN SCOPE OF PUD |  |
| PR PHASE LINE |  |
| EX 100 YR FLOODPLAIN |  |

- ## SITE SCHEDULE
- ① PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
 - ② PR 6" CONCRETE CROSS PAN
 - ③ PR 8" CONCRETE CROSS PAN
 - ④ PR 5" CONCRETE SIDEWALK
 - ⑤ PR EPC TYPE C MOUNTABLE CURB & GUTTER
 - ⑥ PR EPC TYPE A VERTICAL CURB & GUTTER
 - ⑦ PR CONCRETE CURB RAMP
 - ⑧ PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
 - ⑨ PR CONCRETE FOREBAY (PRIVATE)
 - ⑩ PR CONCRETE TRICKLE CHANNEL (PRIVATE)
 - ⑪ PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
 - ⑫ PR CONCRETE OUTLET STRUCTURE (PRIVATE)
 - ⑬ PR MICRO-POOL (PRIVATE)
 - ⑭ PR ENTRY SIGN (SEE LANDSCAPE PLANS)
 - ⑮ PR MODULAR BLOCK WALL
 - ⑯ PR CONCRETE MID-BLOCK CURB RAMP
 - ⑰ PR TRAIL (WIDTH VARIES)




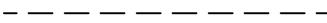






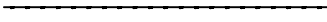





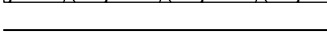








**GRANDVIEW RESERVE PHASE 2
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN**

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE: NTS

LINEWORK LEGEND

- | | |
|-------------------------|---|
| MATCH LINE |  |
| PR Phase 2 Boundary |  |
| EX PROPERTY LINE |  |
| PR EASEMENT LINE |  |
| EX EASEMENT LINE |  |
| PR RIGHT OF WAY |  |
| EX RIGHT OF WAY |  |
| PR LOT LINE |  |
| EX LOT LINE |  |
| EX SWALE |  |
| PR SWALE |  |
| PR ACCESS TRAIL |  |
| PR CURB & GUTTER |  |
| EX CURB & GUTTER |  |
| PR SIDEWALK |  |
| PR CONCRETE |  |
| PR RIP-RAP |  |
| PR POND RIM |  |
| PR INDEX CONTOUR |  |
| EX INDEX CONTOUR |  |
| PR INTER. CONTOUR |  |
| EX INTER. CONTOUR |  |
| NOT WITHIN SCOPE OF PUD |  |
| PR PHASE LINE |  |
| EX 100 YR FLOODPLAIN |  |

SITE SCHEDULE

- 1 PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- 2 PR 6" CONCRETE CROSS PAN
- 3 PR 8" CONCRETE CROSS PAN
- 4 PR 5' CONCRETE SIDEWALK
- 5 PR EPC TYPE C MOUNTABLE CURB & GUTTER
- 6 PR EPC TYPE A VERTICAL CURB & GUTTER
- 7 PR CONCRETE CURB RAMP
- 8 PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- 9 PR CONCRETE FOREBAY (PRIVATE)
- 10 PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- 11 PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- 12 PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- 13 PR MICRO-POOL (PRIVATE)
- 14 PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- 15 PR MODULAR BLOCK WALL
- 16 PR CONCRETE MID-BLOCK CURB RAMP
- 17 PR TRAIL (WIDTH VARIES)

DRAWN BY: CBM JOB DATE: ---- BAR IS ONE INCH ON
APPROVED: KMH JOB NUMBER: 201662 OFFICIAL DRAWINGS.
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CAD DATE: 12/14/2023 IF NOT ONE INCH.
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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



SITE PLAN

SITE PLAN- 2 OF 4

SHEET
SITE PLAN 11

**GRANDVIEW RESERVE PHASE 2
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN**

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



KEY MAP
SCALE: NTS

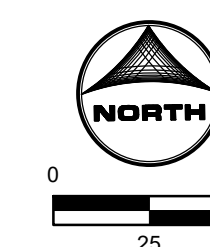
LINEWORK LEGEND

MATCH LINE
PR Phase 2 Boundary
EX PROPERTY LINE
PR EASEMENT LINE
EX EASEMENT LINE
PR RIGHT OF WAY
EX RIGHT OF WAY
PR LOT LINE
EX LOT LINE
EX SWALE
PR SWALE
PR ACCESS TRAIL

PR CURB & GUTTER
EX CURB & GUTTER
PR SIDEWALK
PR CONCRETE
PR RIP-RAP
PR POND RIM
PR INDEX CONTOUR
EX INDEX CONTOUR
PR INTER. CONTOUR
EX INTER. CONTOUR
NOT WITHIN SCOPE OF PUD
PR PHASE LINE
EX 100 YR FLOODPLAIN

SITE SCHEDULE

- ① PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- ② PR 6' CONCRETE CROSS PAN
- ③ PR 8' CONCRETE CROSS PAN
- ④ PR 5' CONCRETE SIDEWALK
- ⑤ PR EPC TYPE C MOUNTABLE CURB & GUTTER
- ⑥ PR EPC TYPE A VERTICAL CURB & GUTTER
- ⑦ PR CONCRETE CURB RAMP
- ⑧ PR 15' MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC EOM.
- ⑨ PR CONCRETE FOREBAY (PRIVATE)
- ⑩ PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- ⑪ PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- ⑫ PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- ⑬ PR MICRO-POOL (PRIVATE)
- ⑭ PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- ⑮ PR MODULAR BLOCK WALL
- ⑯ PR CONCRETE MID-BLOCK CURB RAMP
- ⑰ PR TRAIL (WIDTH VARIES)



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NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
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FAX: 719.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



SITE PLAN

SITE PLAN- 3 OF 4

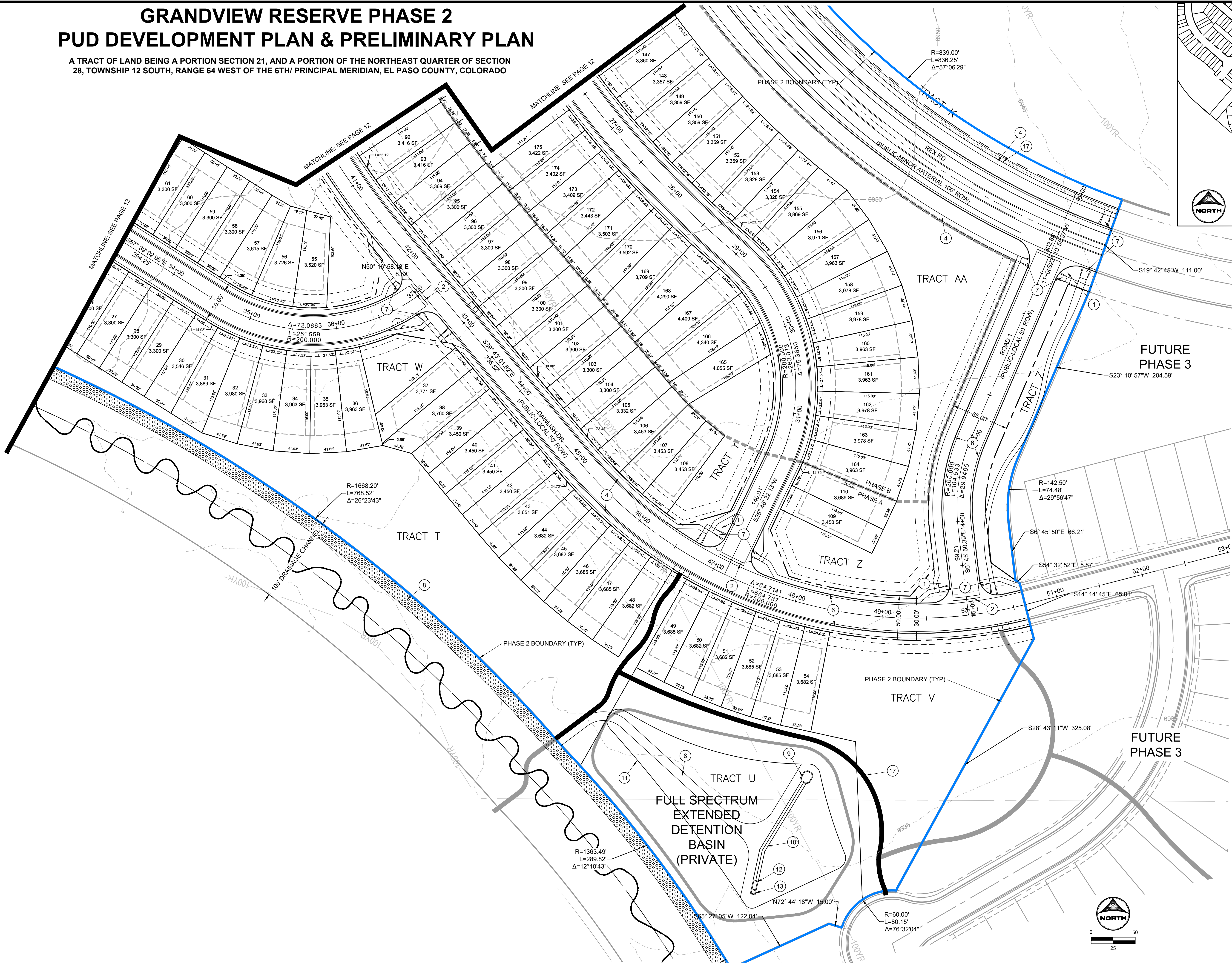
SHEET
SP

12

HR GREEN Kents: xgpt=arc01_P102_PUD, xrcow=662, xc-dgn=PH2, lot_townhome_typical, 4-Unit Townhome, 01-XC-channel, key_map, key_map2, key_map3, Site Plan, Plan, Linework, Legend, Site Schedule, Duplex Lot, Typical Duplex A, Block, xvall, 662, xc-dgn, 662, xc-dgn=662-08, Eastonville, Sag, 3

GRANDVIEW RESERVE PHASE 2 PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO



LINEWORK LEGEND

- MATCH LINE**
- PR Phase 2 Boundary
 - EX PROPERTY LINE
 - PR EASEMENT LINE
 - EX EASEMENT LINE
 - PR RIGHT OF WAY
 - EX RIGHT OF WAY
 - PR LOT LINE
 - EX LOT LINE
 - EX SWALE
 - PR SWALE
 - PR ACCESS TRAIL
- PR CURB & GUTTER**
- EX CURB & GUTTER
 - PR SIDEWALK
 - PR CONCRETE
 - PR RIP-RAP
 - PR POND RIM
 - PR INDEX CONTOUR
 - EX INDEX CONTOUR
 - PR INTER. CONTOUR
 - EX INTER. CONTOUR
- NOT WITHIN SCOPE OF PUD**
- PR PHASE LINE
 - EX 100 YR FLOODPLAIN

SITE SCHEDULE

- PR 30" R1-1 STOP SIGN W. STREET NAME SIGNS
- PR 6" CONCRETE CROSS PAN
- PR 8" CONCRETE CROSS PAN
- PR 5" CONCRETE SIDEWALK
- PR EPC TYPE C MOUNTABLE CURB & GUTTER
- PR EPC TYPE A VERTICAL CURB & GUTTER
- PR CONCRETE CURB RAMP
- PR 15" MAINTENANCE ACCESS ROAD 6" MIN. OF GRAVEL SHALL MEET MATERIAL SPECIFICATIONS PRESENTED ON TABLE D-7 IN THE EPC ECM.
- PR CONCRETE FOREBAY (PRIVATE)
- PR CONCRETE TRICKLE CHANNEL (PRIVATE)
- PR EMERGENCY SPILLWAY WITH EMBANKMENT PROTECTION (RIP-RAP)
- PR CONCRETE OUTLET STRUCTURE (PRIVATE)
- PR MICRO-POOL (PRIVATE)
- PR ENTRY SIGN (SEE LANDSCAPE PLANS)
- PR MODULAR BLOCK WALL
- PR CONCRETE MID-BLOCK CURB RAMP
- PR TRAIL (WIDTH VARIES)

DRAWN BY: CBM JOB DATE: ----
APPROVED: KMH JOB NUMBER: 201662
CAD DATE: 12/14/2023
CAD FILE: J:\2020\201662\CAD\DWG\Site Plan_PUD

BAR IS ONE INCH ON
OFFICIAL DRAWINGS.
0 1" IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
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GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



SITE PLAN
SITE PLAN- 4 OF 4

SHEET
SP

A TRACT OF LAND BEING A PORTION SECTION 21, AND A PORTION OF THE NORTHEAST QUARTER OF SECTION 28, TOWNSHIP 12 SOUTH, RANGE 64 WEST OF THE 6TH/ PRINCIPAL MERIDIAN, EL PASO COUNTY, COLORADO

1. LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION). ALL INTERNAL LANDSCAPE AND OPEN SPACE SHALL BE OWNED AND MAINTAINED BY THE METRO DISTRICT OR HOA (HOME OWNERS ASSOCIATION) AFTER INSTALLATION.
2. LANDSCAPE CONTRACTOR SHALL PROVIDE ALL LABOR, MATERIALS AND SERVICES NECESSARY TO FURNISH AND INSTALL LANDSCAPE ELEMENTS AND PLANTINGS AS SPECIFIED HEREIN AND AS SHOWN ON THESE PLANS.
3. NO MATERIAL SUBSTITUTIONS SHALL BE MADE WITHOUT LANDSCAPE ARCHITECT'S APPROVAL. ALTERNATE MATERIALS OF SIMILAR SIZE AND CHARACTER MAY BE CONSIDERED IF SPECIFIED PLANT MATERIALS CANNOT BE OBTAINED. OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REVISE PLANT LIST AS DEEMED NECESSARY.
4. ALL PLANT LOCATIONS ARE APPROXIMATE, ADJUST AS NECESSARY TO AVOID CONFLICTS.
5. CONTRACTOR SHALL LOCATE ALL UTILITIES BEFORE WORK. UTILITIES HAVE BEEN SHOWN ON PLAN FOR ROUGH LOCATION OF SERVICES. LOCATE EXACT UTILITY LOCATIONS BY CONTACTING "CALL BEFORE YOU DIG" AT (800) 922-1987 OR 811. CONTRACTOR WILL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE HE MAY CAUSE TO UTILITIES.
6. REMOVE ALL RUBBISH, EQUIPMENT, AND MATERIAL AND LEAVE THE AREA IN A NEAT, CLEAN CONDITION EACH DAY. MAINTAIN PAVED AREAS UTILIZED FOR HAULING EQUIPMENT AND MATERIALS BY OTHER TRADES IN A CLEAN AND UNOBSTRUCTED CONDITION AT ALL TIMES.
7. STORAGE OF ANY MATERIALS, BUILDINGS, VEHICLES OR EQUIPMENT, FENCING AND WARNING SIGNS SHALL BE MAINTAINED THROUGHOUT THE SITE WORK AND CONSTRUCTION PERIODS BY THE CONTRACTOR.
8. STREET TREES, STREETScape IMPROVEMENTS, AND VEGETATION WITHIN THE COUNTY ROW SHALL BE OWNED BY THE COUNTY AND MAINTAINED BY THE CURRENT PROPERTY OWNER.

1. ALL SHRUBS AND TREES SHALL BE DRIP IRRIGATED. ALL TREES LOCATED WITHIN SEEDING AREAS SHALL BE WATERED BY A DRIP VALVE

1. OWNER AND OWNER'S REPRESENTATIVE RESERVES THE RIGHT TO REJECT AT ANY TIME OR PLACE PRIOR TO FINAL ACCEPTANCE OF WORK, ANY AND ALL PLANTS WHICH, IN THEIR OPINION, FAIL TO MEET THE REQUIREMENTS OF THE SPECIFICATIONS.
2. ALL TREE AND SHRUB LOCATIONS ARE APPROXIMATE; ADJUST AS NECESSARY TO AVOID CONFLICTS. PLANTING LOCATIONS OF SHRUBS, GRASSES AND PERENNIALS AS SPECIFIED. OBTAIN OWNERS REPRESENTATIVE'S APPROVAL OF LOCATIONS PRIOR TO PLANTING TREES AND SHRUBS.
3. ALL PLANT MATERIAL SHALL BE WELL-FORMED AND DEVELOPED IN GOOD CONDITION, HEALTHY AND DISEASE FREE, AND BE TYPICAL OF THE SPECIES.
4. PLANTS SHALL COMPLY IN ALL APPLICABLE RESPECTS WITH ACCEPTABLE STANDARDS SET FORTH IN THE COLORADO NURSERY ACT OF 1965 - TITLE 35, ARTICLE 25, CRS 1974 (SEE LANDSCAPE THE NURSERY ACT).
5. AT THE COMPLETION OF PLANTING OPERATIONS ALL PLANTS SHALL BE INSPECTED BY THE OWNER AND OWNERS'S REPRESENTATIVE. CONTRACTOR SHALL REPLACE IMMEDIATELY ANY PLANTS NOT IN HEALTHY AND VIGOROUS CONDITION AT THAT TIME AT NO EXPENSE TO THE OWNER. ANY PLANT NOT IN HEALTHY CONDITION DURING THE WARRANTY PERIOD SHALL BE REPLACED AS PER THE ORIGINAL SPECIFICATIONS, AT NO CHARGE TO THE OWNER.
6. PLANTS ARE TO BE SELECTED AND SIZED AS SHOWN ON THE PLANT SCHEDULE.
7. PLANTS BED RECEIVING 3" DEPTH MIN. ROCK WOOD ARE TO BE FREE OF WEEDS AND GRASS. TREAT BEDS WITH A PRE-EMERGENT HERBICIDE PRIOR TO PLANTING AND ROCK MULCH PLACEMENT. APPLY IN ACCORDANCE WITH STANDARD TRADE PRACTICE. DO NOT APPLY HERBICIDE IN PERENNIAL BEDS.
8. POROUS WEED BARRIER FABRIC SHALL BE INSTALLED WHERE NOTED IN THE DETAILS.
9. USE TRIANGULAR SPACING IN ALL GROUND COVER AND PERENNIAL BEDS.
10. THE CONTRACTOR SHALL PROVIDE WATER, WATERING DEVICES, AND LABOR NEEDED TO IRRIGATE PLANT MATERIALS UNTIL AUTOMATIC IRRIGATION SYSTEMS ARE OPERATIONAL AND ACCEPTED. THE CONTRACTOR SHALL SUPPLY ENOUGH WATER TO MAINTAIN THE PLANT'S HEALTHY CONDITION BASED ON SEASONAL CONSIDERATIONS.

1. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING EXISTING EROSION CONTROL MEASURES DURING THE DURATION OF WORK ON-SITE.
2. ALL PROPOSED TURF AND PLANTING AREAS ARE TO BE ROTO-TILLED TO A DEPTH OF 8". FINE GRADE, AND REMOVE ALL CONSTRUCTION DEBRIS AND ROCKS OVER 1" IN DIAMETER FROM THE SITE.
3. AFTER TILLING APPLY SOIL AMENDMENTS & FERTILIZERS TO ALL TURF AND PLANTING AREAS. GRADE SHALL BE ADJUSTED FOR SOD THICKNESS. ALL FINISH GRADING SHALL BE PERFORMED BY LANDSCAPE CONTRACTOR.
4. FINE GRADE SOD AREAS TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING.
5. ALL AREAS TO BE SEEDDED SHALL BE TILLED AS SPECIFIED AND THEN HARROWED, RAKED OR ROLLED TO PRODUCE A FIRM SEED BED FOR PLANTING. IMPORTED TOPSOIL MAY BE REQUIRED TO PROVIDE AN ACCEPTABLE PLANTING MEDIUM. LARGE ROCKS (1" DIAMETER) AND DEBRIS THAT MAY IMPEDE SEEDING SHALL BE CLEARED FROM THE SITE. ANY REQUIRED EROSION CONTROL FEATURES (E.G., WATER BARS, BERMS, BASINS, TURNOUTS) SHALL BE CONSTRUCTED PRIOR TO SEEDING. SITES THAT ARE NOT ADEQUATELY PREPARED PRIOR TO SEEDING (E.G., COMPACTED SOIL, INSUFFICIENT TOPSOIL, ROCKY, ERODED SURFACE, ETC.) SHALL BE REJECTED.
6. ALL SPECIFIED SEED MIXES SHALL CONSIST OF CERTIFIED SEE VARIETIES THAT ARE FREE OF NOXIOUS WEEDS AND HAVE BEEN TESTED FOR PURITY AND GERMINATION WITHIN SIX MONTHS OF THE PLANTING DATE. CERTIFICATION LABELS WHICH INDICATE THE SPECIES, PURITY, GERMINATION, WEED CONTENT, ORIGIN, AND TEST DATE SHALL BE SUBMITTED FOR ALL SEED MATERIALS.
7. SEEDING SHALL OCCUR DEPENDING ON THE PROJECT SCHEDULE, IT IS PREFERABLE THAT SEEDING OCCUR DURING THE FALL (SEPTEMBER-NOVEMBER) OR SPRING (MARCH-MAY) TO MAXIMIZE PLANTING SUCCESS. IF THE PROJECT SCHEDULED DOES NOT COINCIDE WITH THE PREFERRED SEEDING PERIODS, OR THERE ARE UNSUITABLE SITE CONDITIONS (I.E. FROZEN GROUND), THEN SOIL STABILIZATION AND/OR STORM WATER BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED TO STABILIZE THE AREA UNTIL THE NEXT APPROPRIATE SEEDING DATE.
9. ANY SEEDING CONDUCTED OUTSIDE THE PREFERRED MONTHS SHALL BE APPROVED BY THE OWNER. SEEDING METHOD: DRILL SEEDING OR BROADCAST SEEDING SHALL BE USED FOR REVEGETATION. AS OUTLINED BELOW, THE SIZE AND SLOPE OF THE DISTURBED AREA SHALL DETERMINE WHICH SEEDING METHOD(S) IS APPROPRIATE AND ACCEPTABLE. WHERE FEASIBLE, RANGELAND DRILL SEEDING COMBINED WITH A COVER OF CRIMPED HAY MULCH OR HYDRO-MULCH IS THE REQUIRED METHOD.
 - 9.1 SLOPES LESS THAN 3:1 - SEED SHALL BE PLANTED USING A RANGELAND DRILL WITH A SMALL SEED/LEGUME BOX AND AN AGITATOR BOX FOR FLUFFY OR BULKY SEED. SEED ROWS SHALL BE SPACED 7-10 INCHES APART, AND PLANTED TO 0.5 TO 0.75 INCHES DEEP. THE DRILL SHALL HAVE DOUBLE-DISK FURROW OPENERS WITH DEPTH BANDS AND PACKER WHEELS. SEEDING SHALL BE ACCOMPLISHED USING BI-DIRECTIONAL DRILLING AND FOLLOWING THE SLOPE CONTOUR. THE DRILL EQUIPMENT SHALL BE CALIBRATED EACH DAY OR WHENEVER THERE IS A CHANGE IN THE SEED MIX TO ENSURE PROPER SEED DISTRIBUTION AND RATE.
 - 9.2 SLOPES GREATER THAN 3:1 OR AREAS LESS THAN 0.10 ACRE - SEED SHALL BE BROADCAST BY HAND, MECHANICAL SPREADER, OR HYDRO-SEEDING EQUIPMENT. BROADCAST SEEDDED AREAS SHALL BE RAKED OR HARROWED TO INCORPORATE THE SEED INTO THE SOIL AT A DEPTH NOT EXCEEDING 0.75 INCHES. SLOPES GREATER THAN 3:1 SHALL HAVE EROSION CONTROL BLANKET AFTER SEEDING. REFER TO ENGINEERING SHEETS FOR EROSION CONTROL APPLICATIONS.
 - 9.2.1. FOR AREAS LARGER THAN 0.1 ACRE-HYDRO-SEEDING SHALL BE USED. THE SEED SHALL NOT BE TANK MIXED WITH THE HYDRO-MULCH AND BROADCAST.
 - 9.2.2. BROADCAST SEEDING SHALL BE AVOIDED WHEN WIND SPEED EXCEEDS 15 MILES PER HOUR.
10. MULCHING: WEED-FREE NATIVE HAY, WEED-FREE STRAW, OR VIRGIN WOOD FIBER HYDRO-MULCH SHALL BE USED TO CONTROL EROSION AND PROMOTE SEE GERMINATION AND PLANT ESTABLISHMENT. NATIVE HAY, STRAW, OR HYDRO-MULCH SHALL BE APPLIED AT 2,000 POUNDS/ACRE ON SLOPES LESS THAN 3:1. ON STEEPER SLOPES, A MULCHING RATE OF 2,500 POUNDS/ACRE SHALL BE USED.
11. NATIVE HAY OR STRAW SHALL BE CRIMPED INTO THE SOIL TO A DEPTH OF AT LEAST 3 INCHES, AND SHALL PROTRUDE ABOVE THE GROUND AT LEAST 3 INCHES. AN ORGANIC TACKIFIER SHALL BE USED TO HOLD THE HAY OR STRAW IN PLACE IF THE CRIMPING RESULTS ARE INSUFFICIENT. HYDRO-MULCH SHALL BE APPLIED USING A COLOR DYE AND THE MANUFACTURER RECOMMENDED RATE OF AN ORGANIC TACKIFIER.
12. FINE GRADE SEED TO ELIMINATE IRREGULARITIES ON THE SURFACE. ROLL OR PERFORM ADDITIONAL FINE GRADING. SEED AREAS BY MEANS OF APPROVED BROADCAST OR HYDRAULIC-TYPE SPREADERS. DO NOT SEED DURING WINDY WEATHER. MULCH SEEDDED AREAS WITH WOOD CELLULOSE FIBER MULCH WITHIN 24 HOURS OF SEEDING. APPLY MULCH TACKIFIER AT RATE RECOMMENDED BY MANUFACTURER'S RECOMMENDATIONS.
13. SUPPLEMENTAL IRRIGATION SHALL NORMALLY NOT BE NECESSARY OR REQUIRED IF THE SEEDING IS ACCOMPLISHED DURING THE PREFERRED PLANTING PERIODS. HOWEVER, IF A WATER HOOK-UP IS AVAILABLE A SPRINKLER SYSTEM MAY BE USED TO PROMOTE A RAPID PLANT ESTABLISHMENT. GENERALLY, WATERING AT 0.75-1.0 INCHES/WEEK IS RECOMMENDED DURING THE APRIL-OCTOBER GROWING SEASON DEPENDING ON NATURAL RAINFALL. THE USE OF WATER TRUCKS FOR IRRIGATION IS PROHIBITED DUE TO TRAFFIC IMPACTS ON THE SEEDDED AREAS AND TYPICAL POOR WATER DISTRIBUTION OBSERVED WITH THIS TYPE OF WATERING.
14. APPROVAL OF SEEDDED TURF AREAS SHALL BE BASED UPON THE SEED PROCEDURES GUARANTEED SEEDING GERMINATION RATE FOR A ONE SQUARE FOOT AREA. IF GUARANTEED GERMINATION RATE IS NOT ACHIEVED, THE CONTRACTOR SHALL OVERSEED UNTIL THE GERMINATION RATE IS ACHIEVED. REVEGETATION SHALL HAVE AT LEAST 3 NATIVE GRASS SEEDLINGS/SQUARE FOOT AND NO BARE AREAS EXCEEDING ONE SQUARE METER AFTER THE SECOND GROWING SEASON. FOR DRILL SEEDDED AREAS, PLANTING ROWS SHALL BE NOTICEABLE BY THE END OF THE FIRST FULL GROWING SEASON. IF A PARTIAL OR TOTAL SEEDING FAILURE IS APPARENT AFTER THE SECOND GROWING SEASON, POORLY VEGETATED AREAS SHALL BE RESEEDDED IN THE SAME MANNER DESCRIBED ABOVE. APPROPRIATE SITE PREPARATION PRACTICES SHALL BE USED TO CREATE A SUITABLE SEEDBED FOR PLANTING, BUT ANY ESTABLISHED NATIVE VEGETATION SHALL BE UNDISTURBED TO THE EXTENT POSSIBLE. AREAS THAT ERODE BEFORE GERMINATION AND ESTABLISHMENT CAN OCCUR SHALL BE REPAIRED AND IMMEDIATELY RESEEDDED DURING THE SAME SEASON.

A map of the area around the proposed site. The site is located at the intersection of Eastonville Rd and Stapleton Dr. The map shows the following roads: VOLLMER RD (north-south), MERIDIAN RD (north-south), EASTONVILLE RD (north-south), ELBERT RD (north-south), STAPLETON DR (east-west), JUDGE ORR RD (east-west), PEYTON HWY (north-south), and HWY 24 (diagonal). The site is located on the east side of Eastonville Rd, north of Stapleton Dr. The map also shows the locations of FALCON, PEYTON, and LATIGO BLVD. A north arrow is located in the bottom right corner.

[illegible]

SHEET 14 - PRELIMINARY LANDSCAPE COVER SHEET
SHEET 15 - PRELIMINARY LANDSCAPE NOTES
SHEET 16 - PRELIMINARY LANDSCAPE PLAN (OVERALL)
SHEET 17 - PRELIMINARY LANDSCAPE PLAN
SHEET 18 - PRELIMINARY LANDSCAPE PLAN
SHEET 19 - PRELIMINARY LANDSCAPE PLAN
SHEET 20 - PRELIMINARY LANDSCAPE PLAN
SHEET 21 - PRELIMINARY LANDSCAPE DETAILS
SHEET 22 - PRELIMINARY LANDSCAPE DETAILS

EXISTING ZONING: RR-2.5
PROPOSED ZONING: PUD

DRAWN BY: JAG JOB DATE: 12/19/2023 BAR IS ONE INCH ON
APPROVED: JFR JOB NUMBER: 201662.202 OFFICIAL DRAWINGS.
0 [REDACTED] 1"
IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY.
CAD DATE: 12/19/2023
CAD FILE: J:\2020\201662\CAD\DWG\CI\PU\Phase_2_662.202\PU\Landscape_Plan_PUD

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO




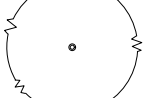

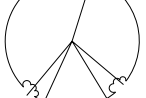




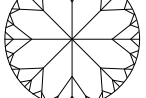


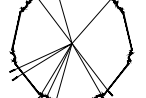

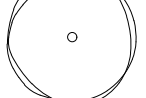
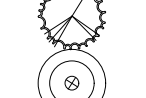

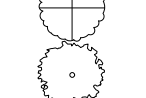
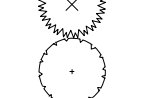

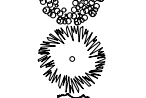


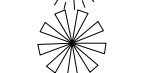



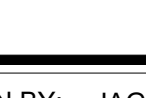
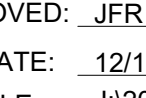

LANDSCAPE

PRELIMINARY LANDSCAPE COVER SHEET

SHEET
L.01

14

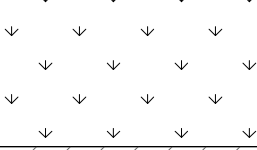
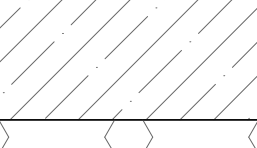
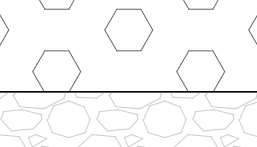


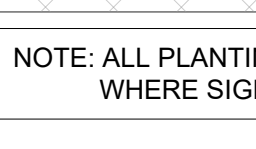
PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE
DECIDUOUS TREES			
	AG	ACER GINNALA / AMUR MAPLE	1.5" CAL.
	CS	CATALPA SPECIOSA / NORTHERN CATALPA	1.5" CAL.
	CO	CELTIS OCCIDENTALIS / COMMON HACKBERRY	1.5" CAL.
	GT	GLEDTISIA TRIACANTHOS INERMIS 'HARVE' / NORTHERN ACCLAIM® HONEY LOCUST	1.5" CAL.
	GK	GYMNOCLADUS DIOICA / KENTUCKY COFFEETREE	1.5" CAL.
	KP	KOELREUTERIA PANICULATA / GOLDEN RAIN TREE	1.5" CAL.
EVERGREEN TREES			
	AC	ABIES CONCOLOR / WHITE FIR	6' HT.
	PP	PICEA PUNGENS GLAUCA / COLORADO BLUE SPRUCE	6' HT.
	PB	PINUS ARISTATA / BRISTLECONE PINE	6' HT.
	PE	PINUS EDULIS / PINYON PINE	6' HT.
	PN	PINUS NIGRA / AUSTRIAN PINE	6' HT.
ORNAMENTAL TREES			
	MR	MALUS X 'RADIANT' / RADIANT CRABAPPLE	1" CAL.
	PV	PRUNUS VIRGINIANA MELANOCARPA / WESTERN CHOKECHERRY	1" CAL.
	PC	PRUNUS X CISTENA / PURPLE LEAF SAND CHERRY	1" CAL.
DECIDUOUS SHRUBS			
	CD	CARYOPTERIS X CLANDONENSIS 'DARK KNIGHT' / DARK KNIGHT BLUEBEARD	#5
	CP	CYTISUS PURGANS 'SPANISH GOLD' / SPANISH GOLD BROOM	#5
	EN	ERICAMERIA NAUSEOSA / RUBBER RABBITBRUSH	#5
	PM	PHYSOCARPUS MONOGYNUS / MOUNTAIN NINEBARK	#5
	PF	POTENTILLA FRUTICOSA / BUSH CINQUEFOIL	#5
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	#5
	RA	RIBES ALPINUM / ALPINE CURRANT	#5
	SM	SYMPHORICARPOS OREOPHILUS / MOUNTAIN SNOWBERRY	#5
	VL	VIBURNUM LENTAGO / NANNYBERRY	#5
EVERGREEN SHRUBS			
	JB	JUNIPERUS HORIZONTALIS 'BLUE CHIP' / BLUE CHIP CREEPING JUNIPER	#5
	JH	JUNIPERUS HORIZONTALIS 'HUGHES' / HUGHES CREEPING JUNIPER	#5
	MM	PINUS MUGO 'MOPS' / MOPS MUGO PINE	#5
GRASSES			
	BB	BOUTELOUA GRACILIS 'BLONDE AMBITION' / BLONDE AMBITION BLUE GRAMA	#1
	MG	MISCANTHUS SINENSIS 'GRACILLIMUS' / EULALIA GRASS	#1
	PS	PANICUM VIRGATUM 'SHENANDOAH' / SHENANDOAH SWITCH GRASS	#1
	SH	SPOROBOLUS HETEROLEPIS / PRAIRIE DROPSEED	#1

DEVELOPMENT PLAN DATA

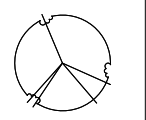
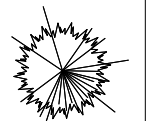
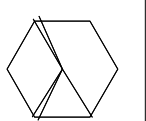
STREET NAME OR ZONE BOUNDARY	REX ROAD	ROAD 1	PARKING LOTS
LANDSCAPE SETBACK LOCATION	NORTH EAST	EAST	N/A
ZONE DISTRICT BOUNDARY	NO	NO	NO
STREET CLASSIFICATION	COLLECTOR	RESIDENTIAL	N/A
SETBACK DEPTH REQUIRED/PROVIDED	10' / 10'	10' / 10'	N/A
LINEAR FOOTAGE	2847'	686'	45 SPACES
TREE/FEET REQUIRED	1 TREE / 30'	1 TREE / 30'	1 TREE / 15 SPACES
NUMBER OF TREES REQUIRED/PROVIDED	95 / 95	23 / 23	4 / 4
SHRUB SUBSTITUTION REQUIRED/PROVIDED	0 / 0	0 / 0	0 / 0
ORNAMENTAL GRASS SUBSTITUTION REQ./PROV.	0 / 0	0 / 0	0 / 0
PLANT ABBREVIATION DENOTED ON PLAN *	RR	R1	PL
% GROUND PLANE VEG. REQUIRED/PROVIDED	75% / 75%	75% / 75%	75% / 75%

GROUND COVER LEGEND/QUANTITIES

SYMBOL	DESCRIPTION	QUANTITY	UNITS
	SOD TURF IRRIGATED KENTUCKY BLUEGRASS SOD. CONTACT LOCAL SUPPLIER WITHIN EL PASO COUNTY AND INSTALLED PER SUPPLIER'S SPECIFICATIONS.	2.0	ACRES
	NATIVE SEED IRRIGATED NATIVE SEED. TO BE PRE-BLENDED. EL PASO COUNTY ALL PURPOSE LOW GROW MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.	17.4	ACRES
	DETENTION SEED DETENTION SEED; TO BE PRE-BLENDED. EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX INSTALLED PER SUPPLIER'S SPECIFICATIONS.	2.1	ACRES
	CRUSHED ROCK COMPACTED FOR MAINTENANCE ACCESS ROADS. WEED BARRIER INSTALLED IN ALL AREAS. INSTALL PER SUPPLIER'S SPECIFICATIONS.	TBD	SQ. FT.
	SHREDDED MULCH SHREDDED HARDWOOD MULCH. WESTERN CEDAR OR GORILLA HAIR MULCH IS RECOMMENDED. INSTALL PER SUPPLIER'S SPECIFICATIONS.	TBD	SQ. FT.
	EXISTING LANDSCAPE AREAS TO REMAIN AND ARE TO PRESERVED. IF AREAS ARE DISTURBED, THEY SHALL BE RE-VEGETATED BACK TO ORIGINAL CONDITION.	TBD	ACRES

NOTE: ALL PLANTINGS SHALL BE LESS THAN 3.5' AND MORE THAN 8' CANOPY WHERE SIGHT VISIBILITY TRIANGLES EXIST.

TREE LEGEND

SYMBOL	DESCRIPTION	QTY.
	DECIDUOUS SHADE TREE	123
	EVERGREEN TREE	TBD
	ORNAMENTAL TREE	TBD

SEEDING SPECIFICATIONS

NATIVE SEEDING

EL PASO COUNTY ALL PURPOSE LOW GROW MIX

- 25% BUFFALOGRASS
- 20% GRAMA, BLUE
- 29% GRAMA, SIDEOATS
- 5% GREEN NEEDLEGRASS
- 20% WHEATGRASS, WESTERN
- 1% DROPSEED, SAND

SEEDING RATE: 42 LBS PLS/ACRE

DETENTION SEEDING

EL PASO COUNTY CONSERVATION DISTRICT ALL PURPOSE MIX

- 20% BLUESTEM, BIG
- 10% GRAMA, BLUE
- 10% GREEN NEEDLEGRASS
- 20% WHEATGRASS, WESTERN
- 10% GRAMA, SIDEOATS
- 10% SWITCHGRASS
- 10% PRAIRIE SANDREED
- 10% YELLOW INDIANGRASS

SEEDING RATE: 19.3 LBS PLS/ACRE

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2

D.R. HORTON
EL PASO COUNTY, CO



LANDSCAPE
PRELIMINARY LANDSCAPE NOTES

SHEET
L.02

15



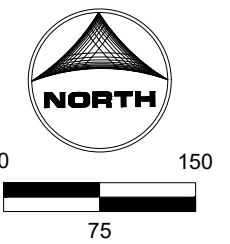
KEY MAP
SCALE: NTS

GROUND COVER LEGEND

SYMBOL	DESCRIPTION
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TREE LEGEND

SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE



DRAWN BY: JAG JOB DATE: 12/19/2023
APPROVED: JFR JOB NUMBER: 201662.202
CAD DATE: 12/19/2023
CAD FILE: J:\2020\201662\CAD\DWG\I\CPUD_Phase_2_662.202\IPUD\Landscape_Plan_PUD

BAR IS ONE INCH ON OFFICIAL DRAWINGS.
0" = 1" IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
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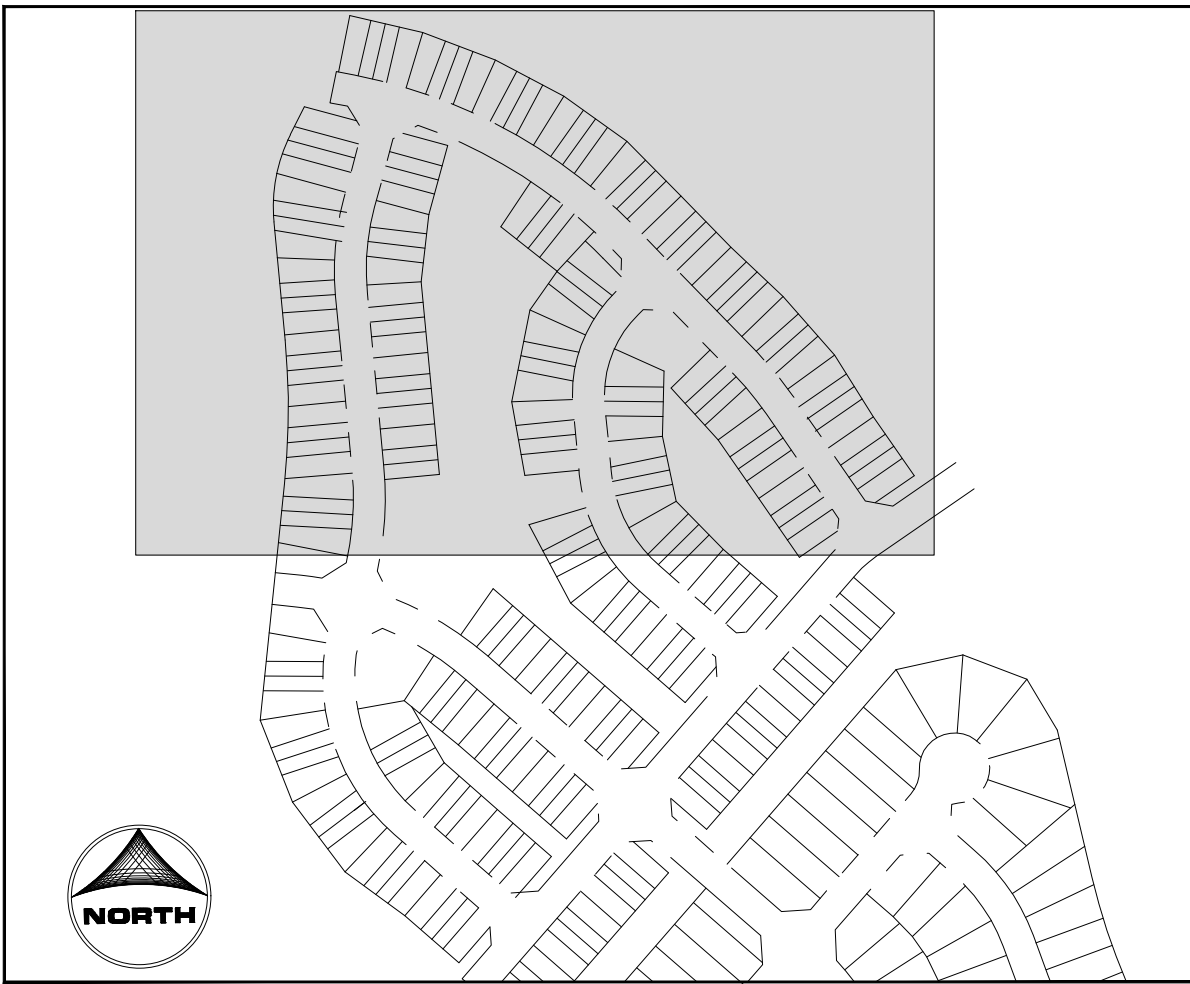
GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



LANDSCAPE
PRELIMINARY LANDSCAPE PLAN (OVERALL)

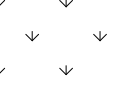


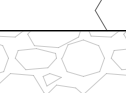


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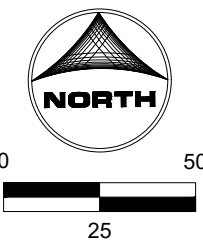
KEY MAP
SCALE: NTS

GROUND COVER LEGEND

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TREE LEGEND

SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE



DRAWN BY: JAG JOB DATE: 12/19/2023 BAR IS ONE INCH ON
APPROVED: JFR JOB NUMBER: 201662.202 OFFICIAL DRAWINGS.
0 [REDACTED] 1"
CAD DATE: 12/19/2023 IF NOT ONE INCH,
CAD FILE: J:\2020\201662\CAD\DWG\C\IPUD_Phase_2_662.202\IPUD\Landscape_Plan_PUD ADJUST SCALE ACCORDINGLY.

NO.	DATE	BY	REVISION DESCRIPTION



HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



LANDSCAPE




PRELIMINARY LANDSCAPE PLAN

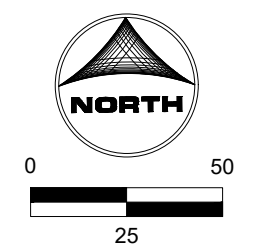
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GROUND COVER LEGEND	
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TREE LEGEND	
SYMBOL	DESCRIPTION
	DECIDUOUS SHADE TREE
	EVERGREEN TREE
	ORNAMENTAL TREE



NO.	DATE	BY	REVISION DESCRIPTION

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

18



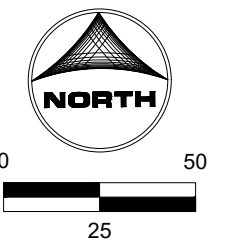
KEY MAP
SCALE: NTS

GROUND COVER LEGEND

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	EVERGREEN TREE
	ORNAMENTAL TREE



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NO.	DATE	BY	REVISION DESCRIPTION

HR GREEN - COLORADO SPRINGS
1975 RESEARCH PKWY SUITE 230
COLORADO SPRINGS CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO

LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

SHEET
L.06

19



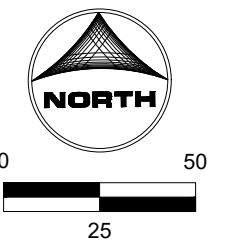
KEY MAP
SCALE: NTS

GROUND COVER LEGEND

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TREE LEGEND

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	EVERGREEN TREE
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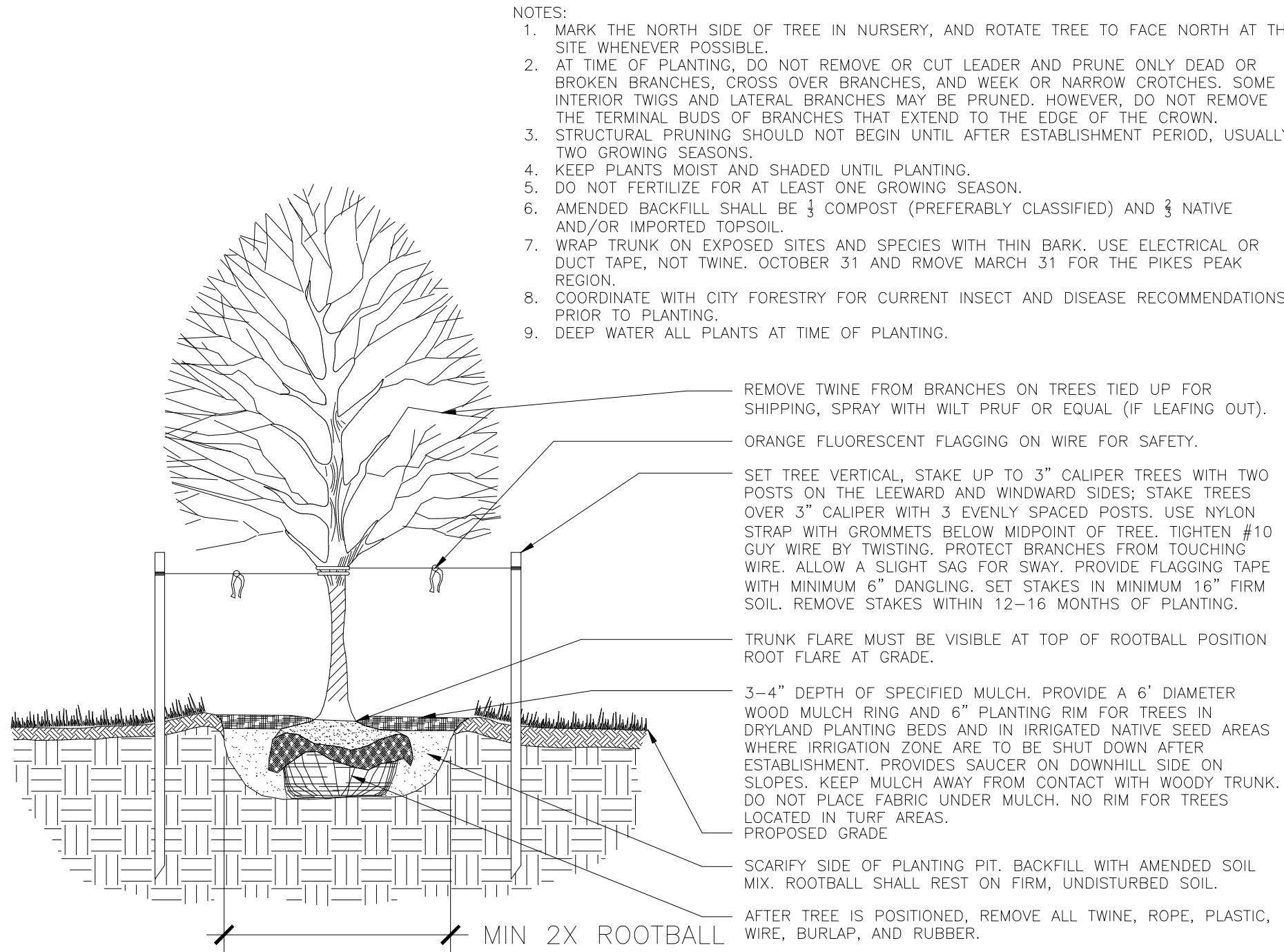
GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



LANDSCAPE
PRELIMINARY LANDSCAPE PLAN

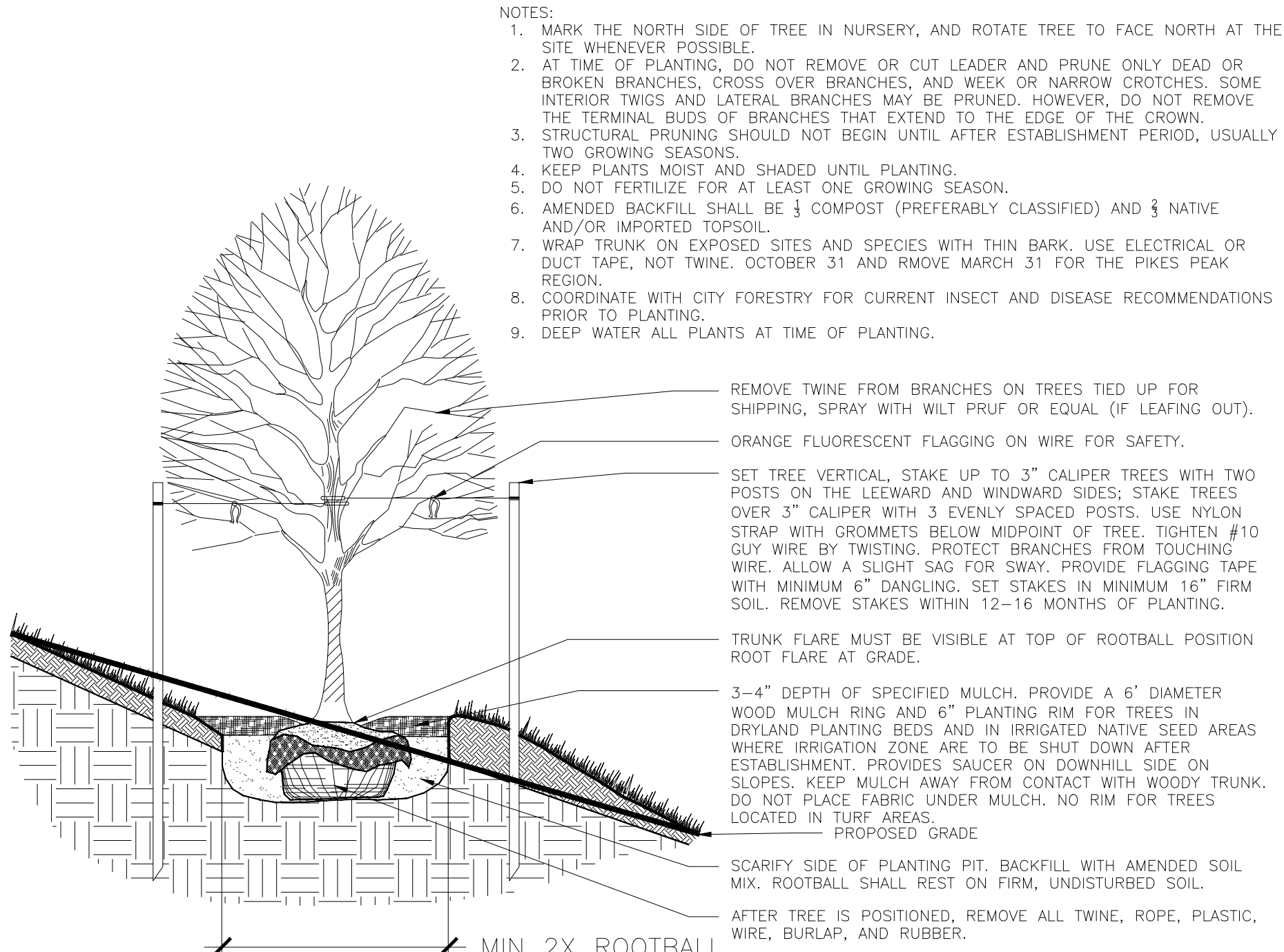
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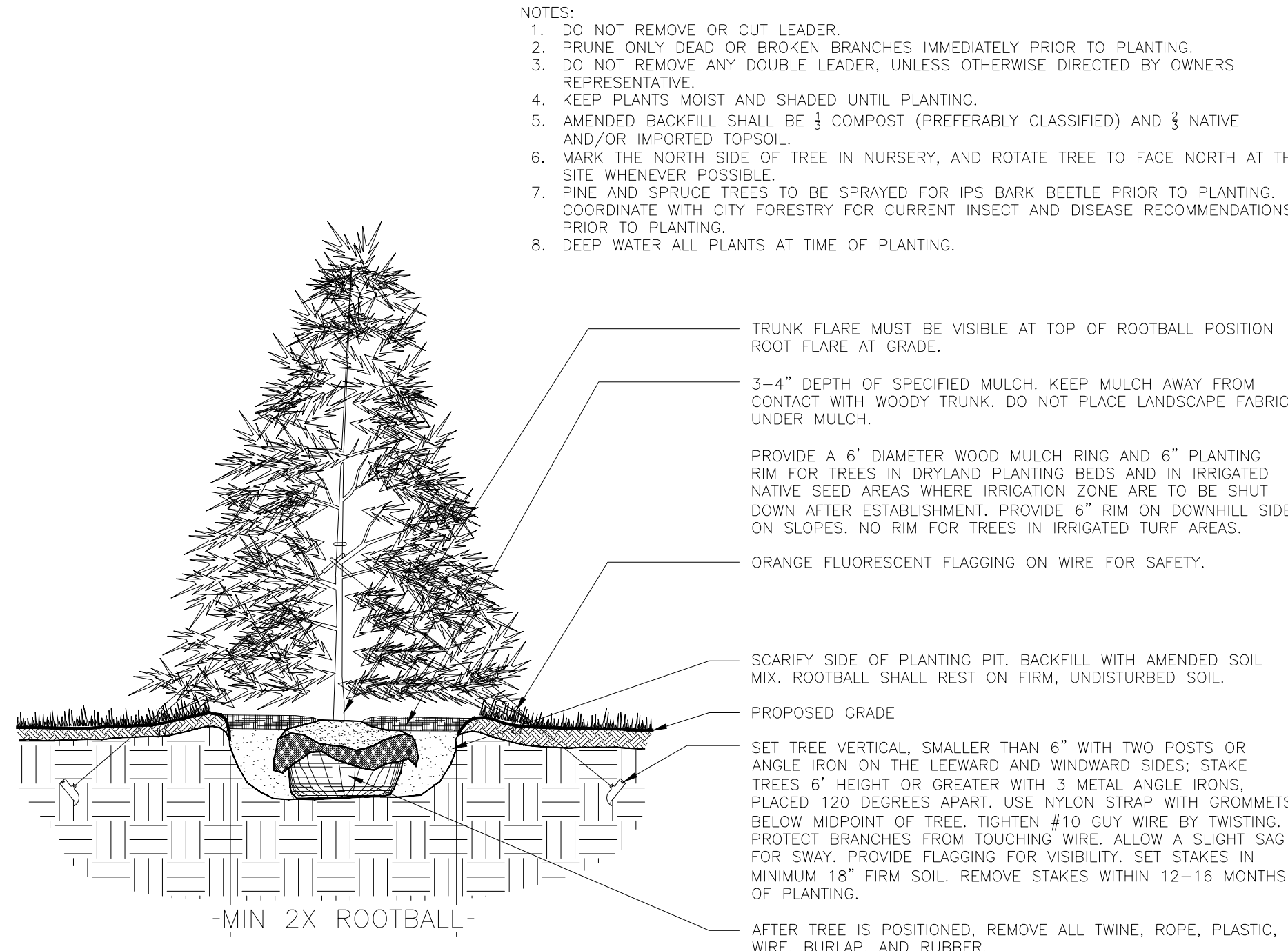
1 TYP. DECIDUOUS TREE PLANTING DETAIL

SCALE: NTS



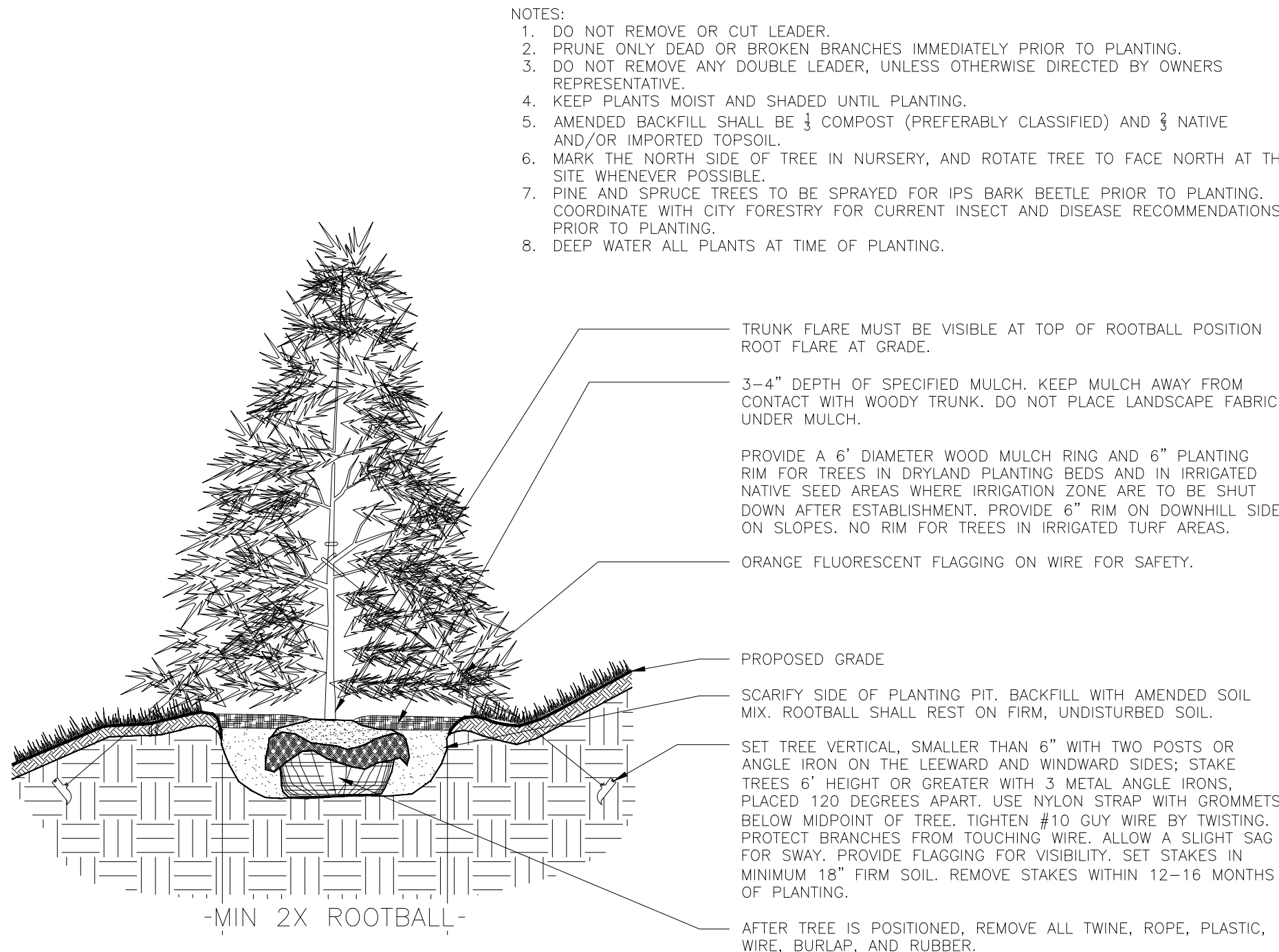
2 TYP. DECIDUOUS TREE PLANTING DETAIL (SLOPE CONDITION)

SCALE: NTS



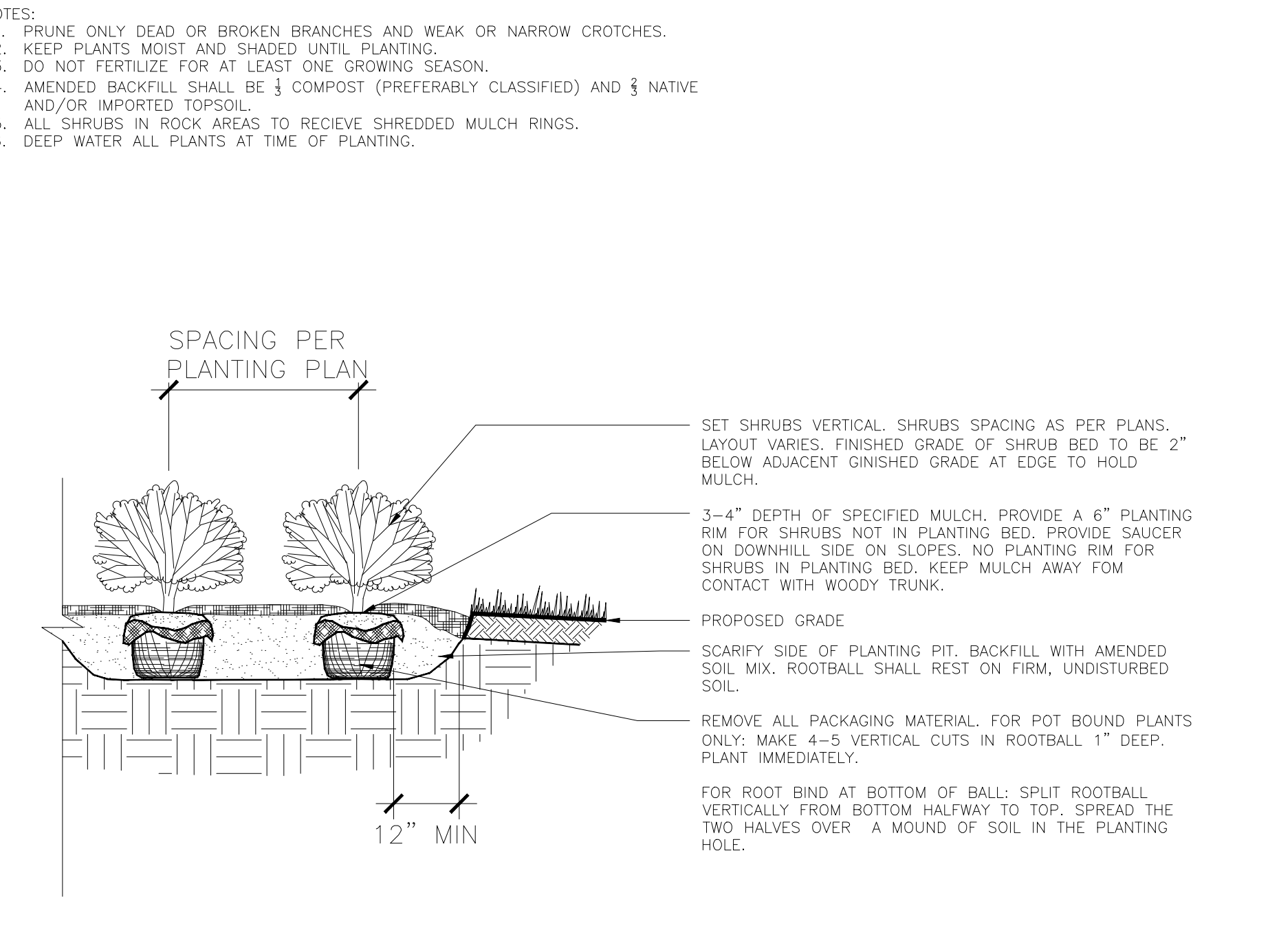
3 TYP. EVERGREEN TREE PLANTING DETAIL

SCALE: NTS



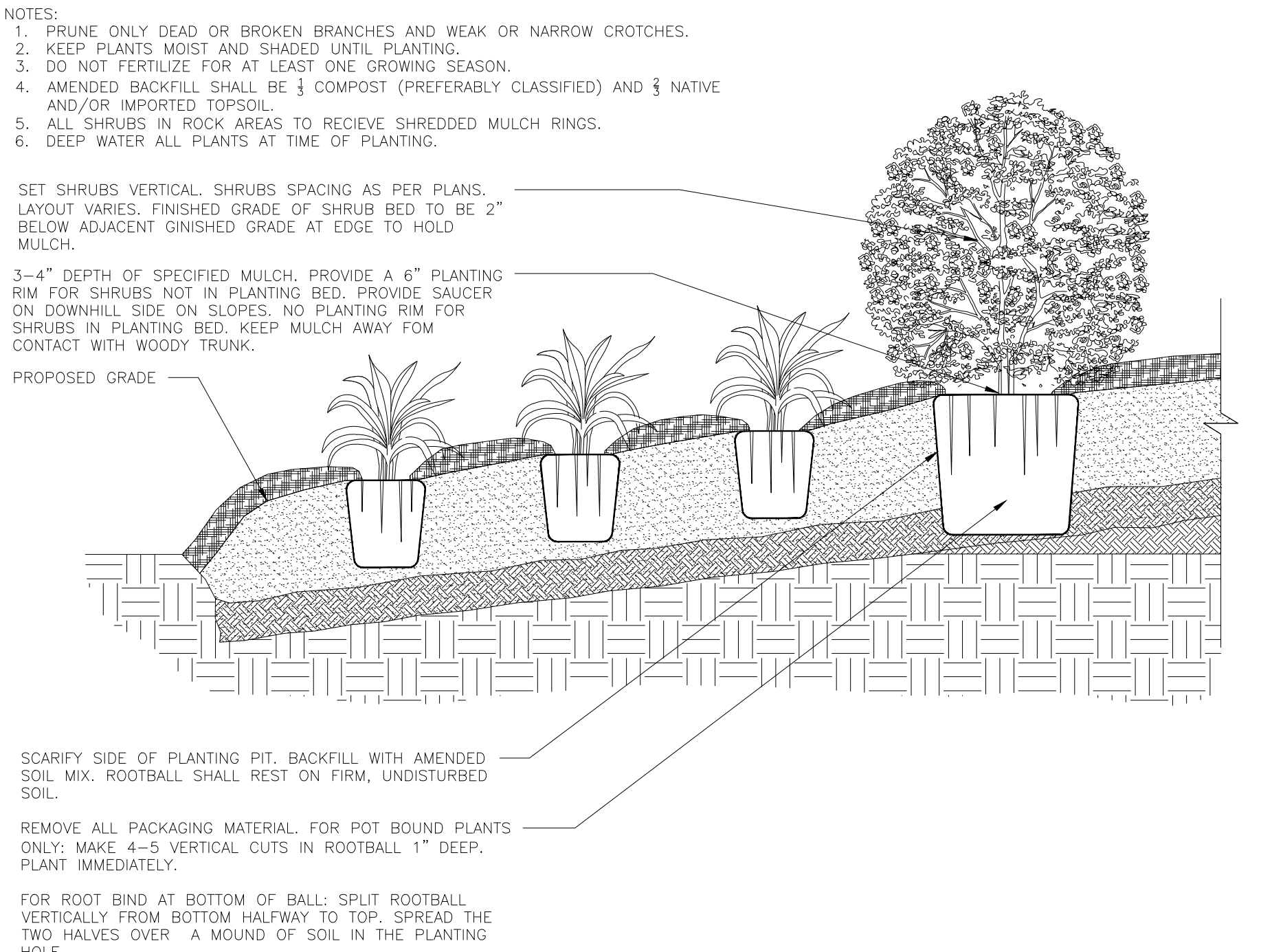
4 TYP. EVERGREEN TREE PLANTING DETAIL (SLOPE CONDITION)

SCALE: NTS



5 TYP. SHRUB PLANTING DETAIL

SCALE: NTS



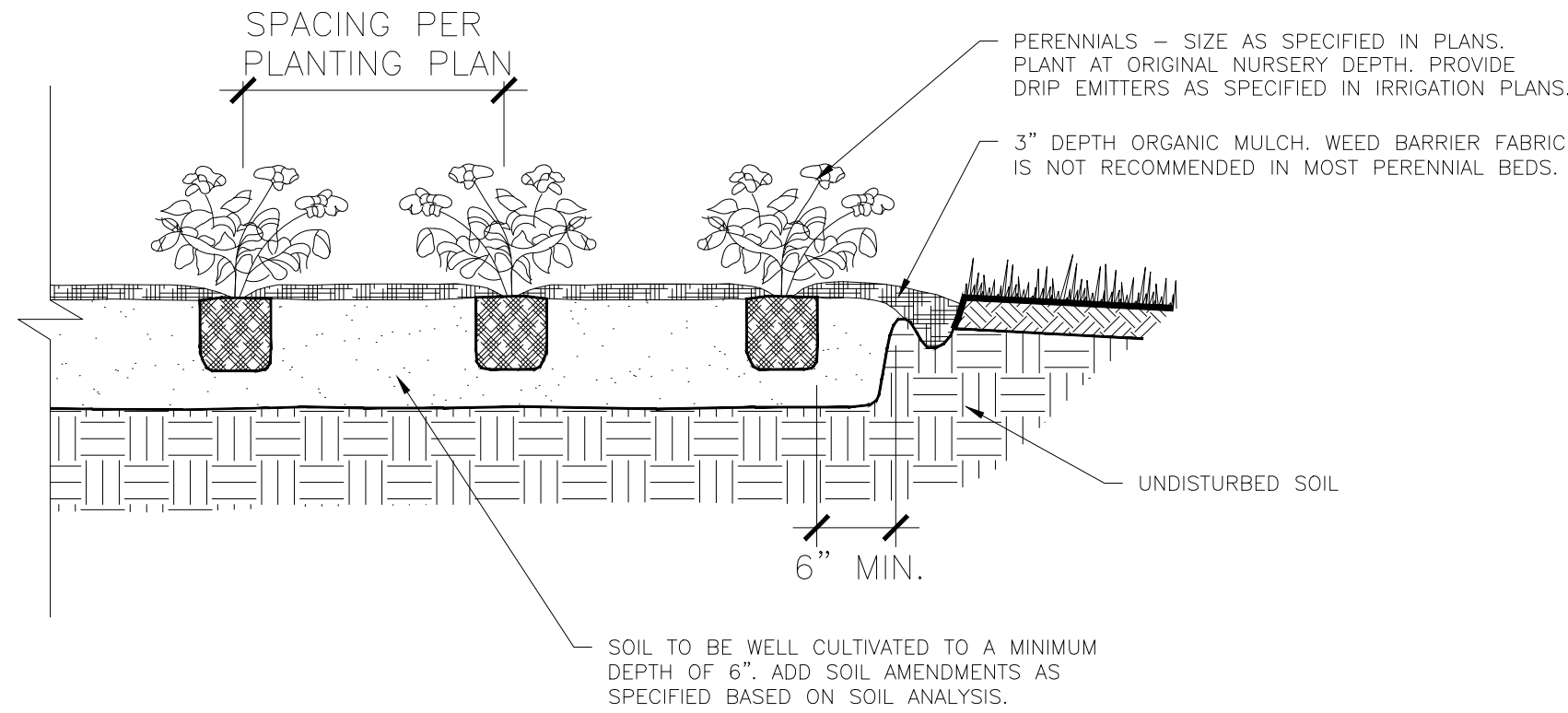
6 TYP. SHRUB PLANTING DETAIL (SLOPE CONDITION)

SCALE: NTS

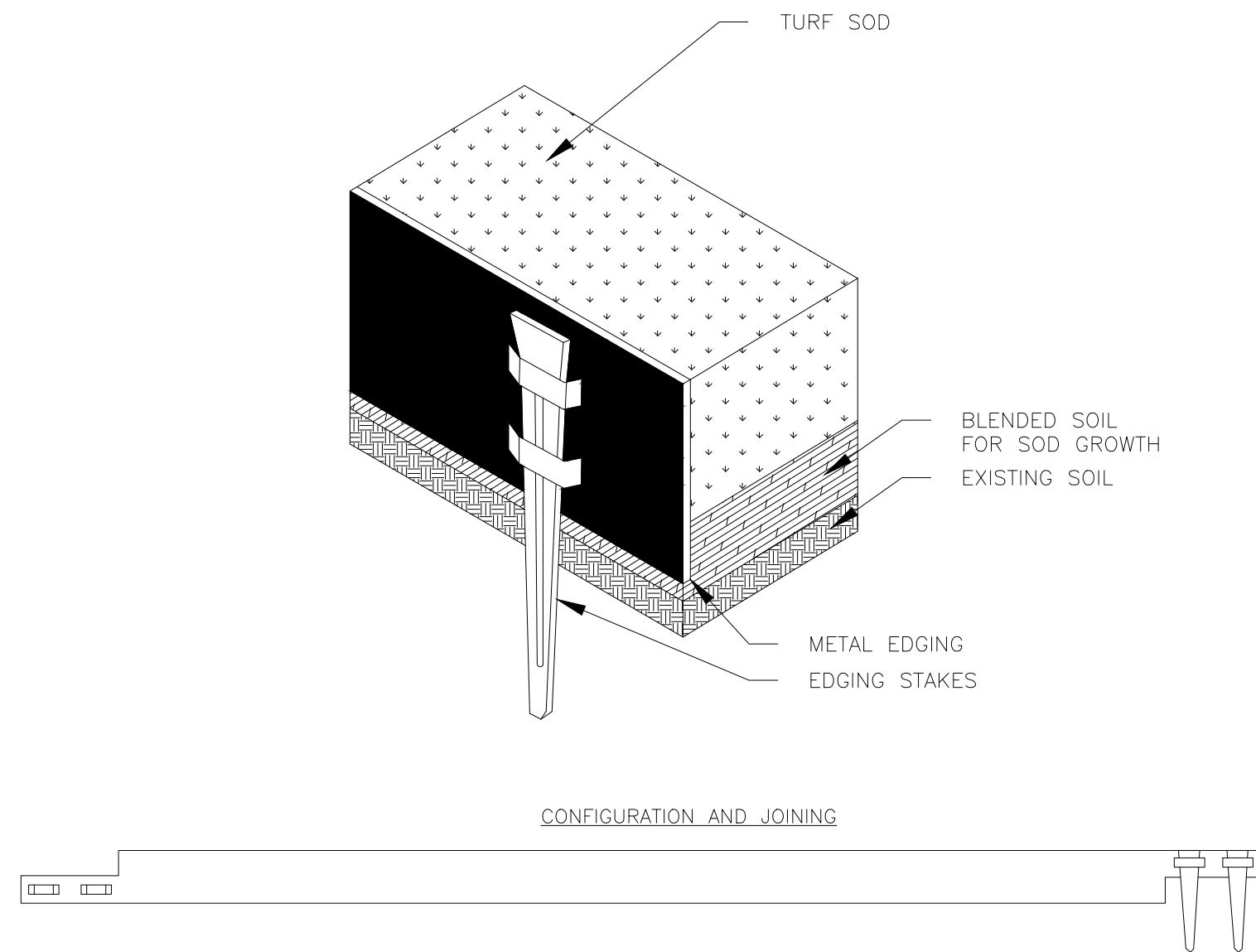
1. KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
2. PLANTING GROUND COVERS AND PERENNIALS LEVEL AND AT GRADE.
3. PRUNE ALL DEAD OR BROKEN PARTS PRIOR TO PLANTING.
4. AMENDED BACKFILL SHALL BE $\frac{1}{3}$ COMPOST (PREFERABLY CLASSIFIED) AND $\frac{2}{3}$ NATIVE AND/OR IMPORTED TOPSOIL.
5. ALL PERENNIALS PLANTED IN ROCK MULCH AREAS TO HAVE ORGANIC MULCH RINGS AROUND THE BASE OF THE PLANT.

Diagram illustrating a planting bed layout with staggered rows. The diagram shows a cross-section of a planting bed with plants arranged in two rows. The plants in the second row are staggered relative to the plants in the first row. Labels indicate:

- EQUAL SPACING BETWEEN ALL PLANTS
- EDGE OF PLANTING BED
- TYPICAL STAGGERED ROWS



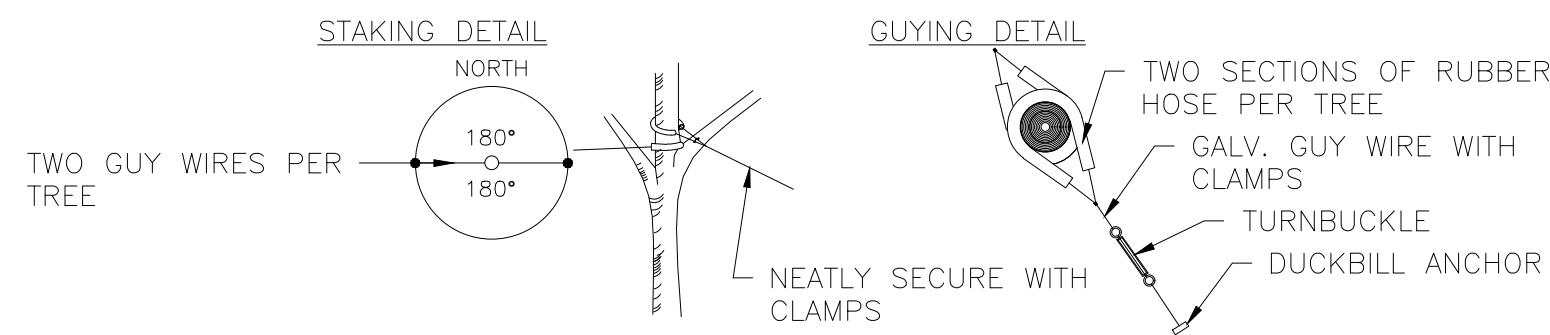
SCALE: NTS



1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
2. METAL EDGING IS TO BE POWDER COATED AND ROLLED TOP.
3. USE BROWN COLOR ONLY.
4. CUT/BEND WHERE NEEDED TO CONFORM TO LANDSCAPE PLAN LAYOUT.

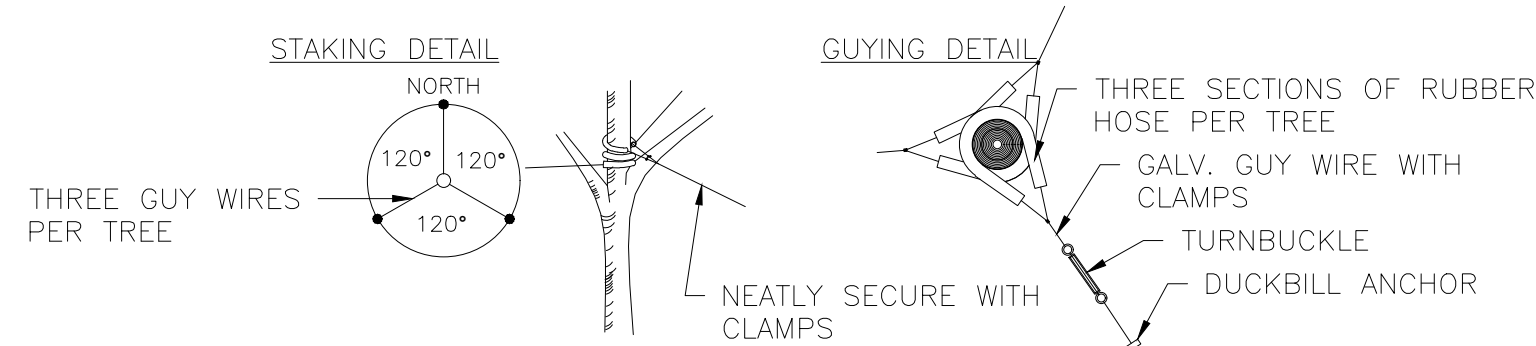
SCALE: NTS

- TWO (2) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
- 13' OF $\frac{3}{8}$ " 7x7 GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
- $\frac{1}{2}$ " DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
- TWO (2) TURNBUCKLES, EYE AND EYE TYPE, $\frac{3}{8}$ " THREAD DIAMETER WITH 3" TAKE-UP.
- FOUR (4) $\frac{3}{8}$ " CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH $\frac{1}{4}$ " ROUND DRIVING TIP NEEDED TO INSTALL ANCHORS. ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS).
- TWO (2) RUBBER HOSE TREE COLLARS, 21" LONG, EA.



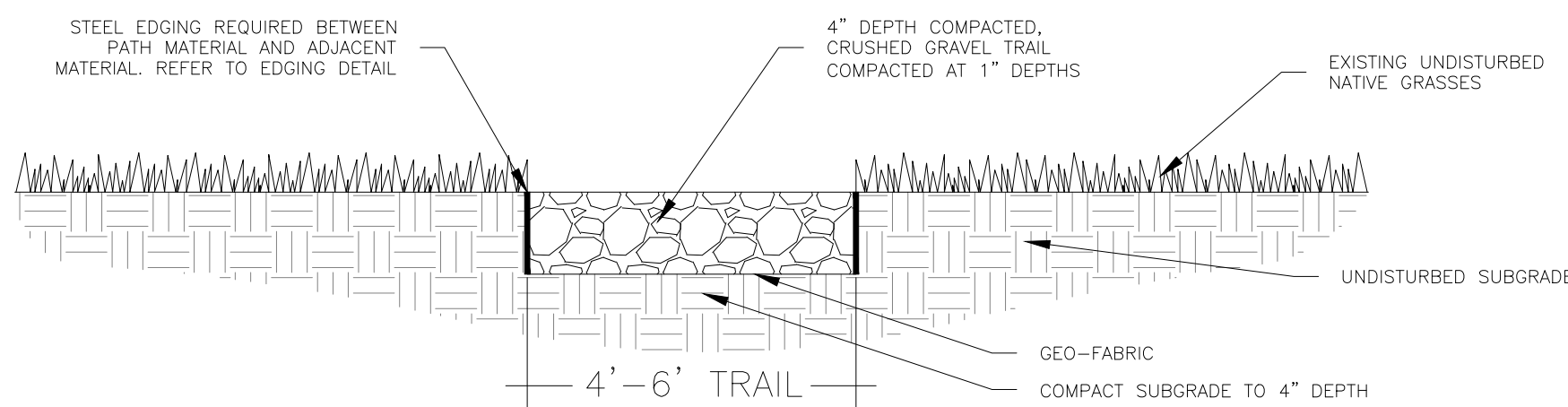
*APPLIES TO SINGLE TRUNK DECIDUOUS TREES 3" CAL. AND LESS & EVERGREEN TREES 8' HT. AND LESS

THREE (3) MODEL 68 DUCKBILL ANCHORS (HOLDING CAPACITY 1100# PER ANCHOR IN NORMAL SOIL.
13' OF 3/8" x 7' GALVANIZED STEEL CABLE WITH TURNBUCKLE ATTACHED MID-CABLE.
1/2" DIAMETER THIN WALL P.V.C. TUBING (WHITE) 48" MINIMUM LENGTH. ONE (1) REQUIRED/EACH GUY.
THREE (3) TURNBUCKLES, EYE AND EYE TYPE, 3/8" THREAD DIAMETER WITH 3" TAKE-UP
SIX (6) 3/8" CABLE CLAMPS, ZINC PLATED (DR-2 STEEL DRIVE ROD 2' LONG WITH 3/4" ROUND DRIVING TIP NEEDED
TO INSTALL ANCHORS). ONE ROD, NOT INCLUDED IN KIT, DRIVES HUNDREDS OF ANCHORS)
THREE (3) RUBBER HOSE TERN COLLARS, 21" LONG, EA.



*APPLIES TO SINGLE TRUNK DECIDUOUS TREES GREATER THAN 3" CAL. & EVERGREEN TREES GREATER THAN 8' HT.

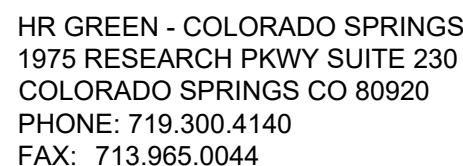
SCALE: NTS



SCALE: NTS

DRAWN BY: JAG JOB DATE: 12/19/2023 BAR IS ONE INCH ON
APPROVED: JFR JOB NUMBER: 201662.202 OFFICIAL DRAWINGS.
CAD DATE: 12/19/2023 IF NOT ONE INCH,
CAD FILE: J:\2020\201662\CAD\DWGS\CIPUD_Phase_2_662.202\PU\DLandscape_Plan_PUD
ADJUST SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



GRANDVIEW RESERVE - PHASE 2
D.R. HORTON
EL PASO COUNTY, CO



LANDSCAPE

PRELIMINARY LANDSCAPE DETAILS

SHEET
L.09

22