

SF 01005
2645



SUNSET VILLAGE FILING NO. 4

CONSTRUCTION PLANS

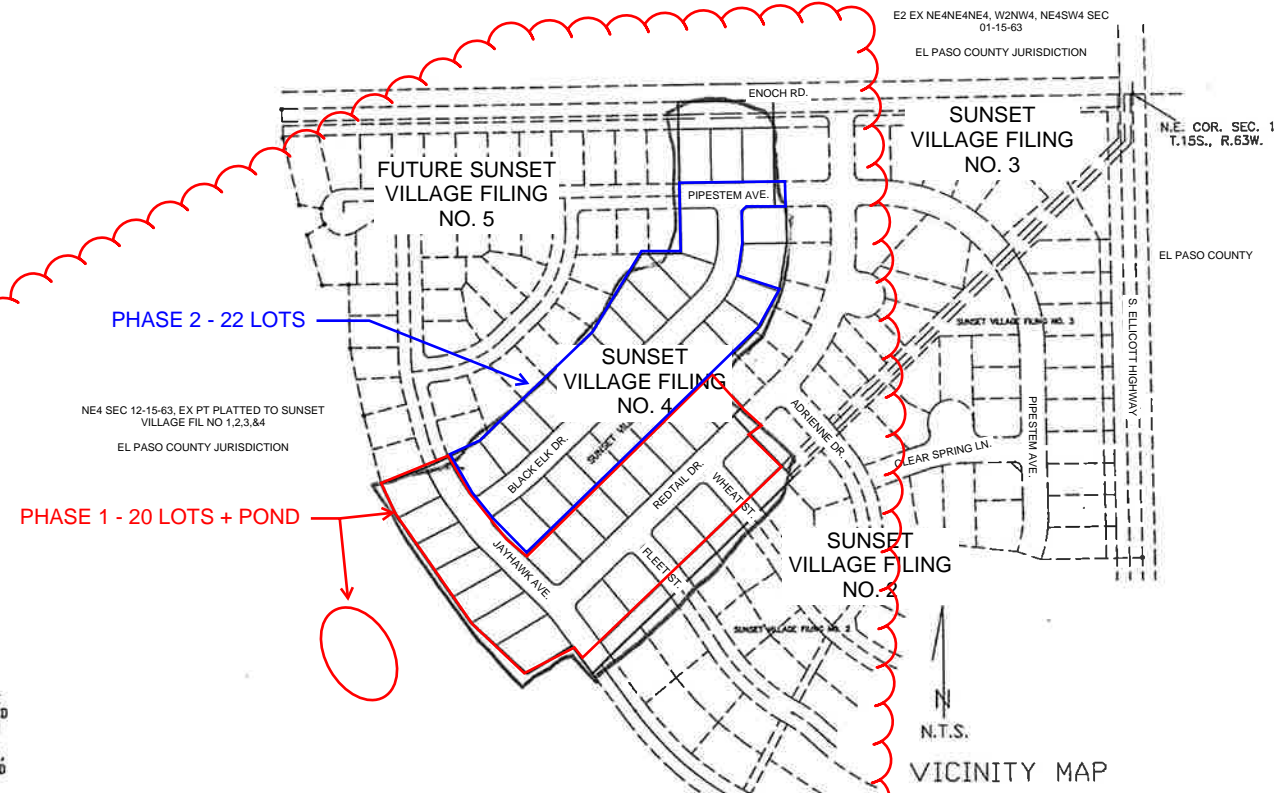
Contacts List:

El Paso County Planning and Community Development
Gilbert LaForce, PE
719-520-7945
gilbertlaforce@elpasoco.com

Ryan Howser
719-520-6049; ryanhowser@elpasoco.com

Owner/Developer
Scott Van Whye
Sunset Village View, LLC.
303-519-5100

Civil Engineer
Richard Lyon, PE
Atwell, LLC.
rlyon@atwell-group.com



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- 2) GENERAL NOTES AND DETAILS
- 3) STREET & SANITARY SEWER PLAN (PIPESTEM)
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- 5) STREET & SANITARY SEWER PLAN (BLACK ELK DRIVE)
- 6) STREET & SANITARY SEWER PLAN (JAYHAWK AVE.)
- 7) STREET PLAN (WHEAT DRIVE)
- 8) STREET PLAN (FLEET STREET)
- 9) STREET PLAN (ENOCH ROAD)
- 10) UTILITY PLAN
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- 17) POND PLAN
- 18) POND DETAILS
- 19) POND DETAILS
- 20) DETAILS
- 21) DETAILS
- 22) DETAILS

THE FOLLOWING STANDARD DETAILS ARE INCLUDED IN THIS PLAN SET:

- EL PASO COUNTY DETAILS:
- EPC DETAIL SD 2-20 TYPICAL CURB AND GUTTER
 - EPC DETAIL SD 2-26 TYPICAL CROSS PAN LAYOUT
 - EPC DETAIL SD 2-41 PEDESTRIAN INTERSECTION RAMP
 - EPC DETAIL SD 2-42 DETECTABLE WARNING SURFACE
 - EPC DETAIL SD 2-50 PARALLEL PEDESTRIAN CURB RAMP

EROSION CONTROL MEASURES:

- CONCRETE WASHOUT AREA
- VEHICLE TRACKING CONTROL
- ROCK SOCKS
- INLET PROTECTION
- SEEDING AND MULCHING
- STRAW BALE BARRIER / CHECK DAM
- SILT FENCE



4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS COLORADO
(719) 597-9900 80915

PROJECT 00-0908 DATE 10-08-01 DRAWN J.L.K.

SHEET 1 OF 22

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022

Condition of Approval:
The developer shall submit collateral for phase 2 before proceeding with phase 2 construction.

ENGINEER'S STATEMENT:

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED PLANS AND SPECIFICATIONS MEET THE PURPOSE FOR WHICH THE PARTICULAR DRAINAGE FACILITIES ARE DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED DRAINAGE PLANS AND SPECIFICATIONS.

JOHN P. SCHWAB, P.E. NO. 29891



DISCLAIMER:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

DEVELOPER'S STATEMENT:

I, RODNEY PRIESSER, THE DEVELOPER HAS READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THIS DRAINAGE REPORT AND PLAN.

BY: *[Signature]*

TITLE OWNER
ADDRESS: 90 S. CASCADE AVE. # 950
COLORADO SPRINGS, CO. 80903

EL PASO COUNTY:

FILED IN ACCORDANCE WITH SECTION 51.1 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

[Signature] 12-19-01 DATE

CONDITIONS:

Engineer's Statement:

These detailed plans and specifications were prepared under my direction and supervision. Said plans and specifications have been prepared according to the criteria established by the County for detailed roadway, drainage, grading and erosion control plans and specifications, and said plans and specifications are in conformity with applicable master drainage plans and master transportation plans. Said plans and specifications meet the purposes for which the particular roadway and drainage facilities are designed and are correct to the best of my knowledge and belief. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparation of these detailed plans and specifications.

[Signature] 01-07-2022
Richard Lyon, P.E. #39921 Date

Owner/Developer's Statement:

I, the owner/developer have read and will comply with all of the requirements of the grading and erosion control plan and all of the requirements specified in these detailed plans and specifications.

[Signature] 01-07-2022
Scott Van Whye, President
Sunset Village View, LLC.
300 Windchime Pl #301, Colorado Springs, CO

El Paso County:

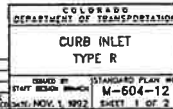
County plan review is provided only for general conformance with County Design Criteria. The County is not responsible for the accuracy and adequacy of the design, dimensions, and/or elevations which shall be confirmed at the job site. The County through the approval of this document assumes no responsibility for completeness and/or accuracy of this document.



Filed in accordance with the requirements of the El Paso County Land Development Code, Drainage Criteria Manual, Volumes 1 and 2, and Engineering Criteria Manual as amended.

In accordance with ECM Section 1.12, these construction documents will be valid for construction for a period of 2 years from the date signed by the El Paso County Engineer. If construction has not started within those 2 years, the plans will need to be resubmitted for approval, including payment of review fees at the Planning and Community Development Directors discretion.

Jennifer Irvine, P.E.
County Engineer / ECM Administrator

APPROVED
Engineering Department
03/01/2022
EPC Planning & Community Development Department



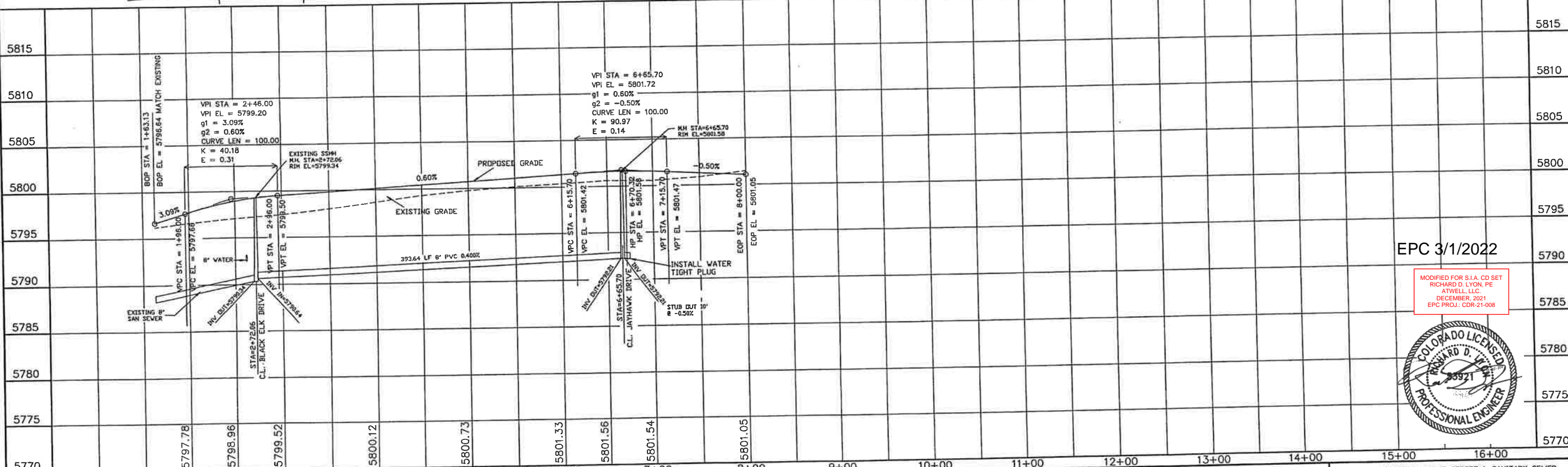
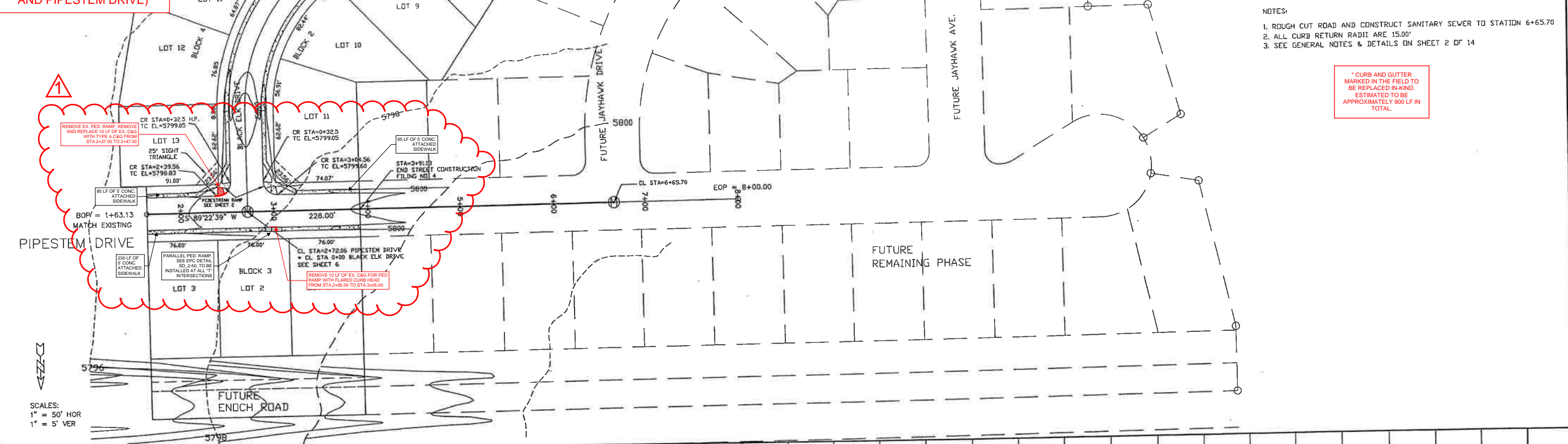
- | | | | |
|---|------------|----------------|----------------------|
|  | 12/03/2021 | SIA CD UPDATES | RDL |
| | | | |
| | | | |
| | | | |
| REL | DATE | REVISIONS | BY: |
| SHEET TITLE: GENERAL NOTES AND DETAILS FOR
SUNSET VILLAGE FILING NO.4 | | | FIELD BOOK REL |
| | | | SCALE |
| | | | DATE 10-12-01 |
| PROJECT | | | DRAWN J.L.K. |
| EL PASO COUNTY, COLORADO | | | CHECKED |
| | | | DWG. 00-9508 |
|  | | | PROJECT NO. 00-9508 |
| 4095 GALLERY ROAD SUITE 900
COLORADO SPRINGS COLORADO
70741 857-5900
2004 | | | _ 2 _ OF _ 22 _ SITS |

PHASE 2 (BLACK ELK DRIVE AND PIPESTEM DRIVE)

NOTES:

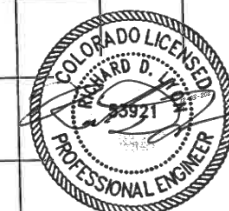
1. ROUGH CUT ROAD AND CONSTRUCT SANITARY SEWER TO STATION 6+65.70
2. ALL CURB RETURN RADII ARE 15.00'
3. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

* CURB AND GUTTER
MARKED IN THE FIELD TO
BE REPLACED IN-KIND.
ESTIMATED TO BE
APPROXIMATELY 900 LF IN
TOTAL.



EPC 3/1/2022

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT:

THE COUNTY OF EL PASO, RECOGNIZES THE
DESIGN ENGINEER AS HAVING RESPONSIBILITY
FOR THE DESIGN, THE COUNTY HAS LIMITED
ITS SCOPE OF REVIEW ACCORDINGLY.

REVIEW: _____
STREET DESIGN: _____
ROUGH CUT REVIEW _____ DATE _____
FINAL REVIEW _____ DATE _____
DRAINAGE BASIN: _____

DESIGN DATA:

SIDEWALKS: WIDTH 5'
LOCATION: Attached ☒
Detached, 6' from P/L ☐

CURB TYPE 102030

R/W WIDTH 60' B/C-B/C 35'

STREET TYPE HVEM

ASPHALT THICKNESS:
AC Surface 120
AC Base _____
AGG. BASE THICKNESS:
Class 6 _____
Class 5 _____
Class 2 _____

SCALE: HORIZ. 50' VERT. 5'
BENCHMARK: U.S.G.S. BRASS CAP
114.K (1953) ELEV=5752.00
LOCATED AT THE SOUTHEAST CORNER
OF SECTION 12, T.15S., R.63W.

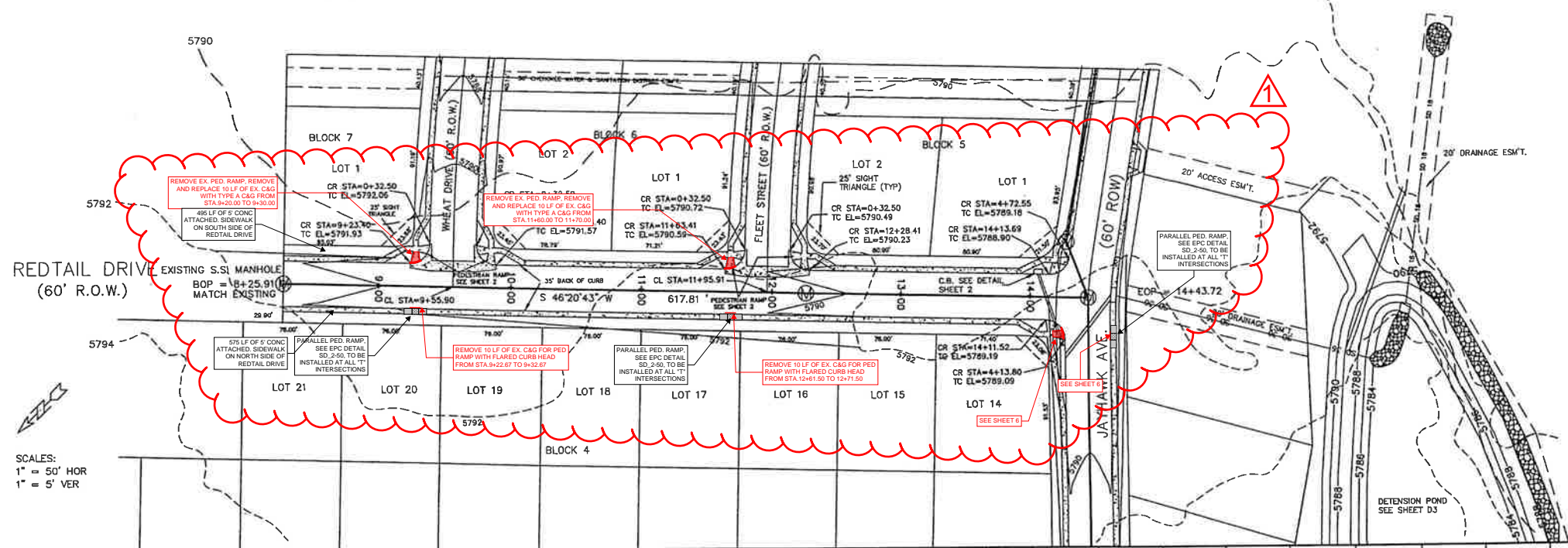
REVISIONS:		
NO.	DESCRIPTION	DATE
1	SIA CD UPDATES	01/07/2022

ENGINEER:
UNITED
PLANNING
ENGINEERING
(719) 597-9900
4575 GALLEY ROAD SUITE 200
COLORADO SPRINGS, COLORADO 80915

DESIGNED BY: JLK DATE: J
DRAWN BY: JLK DATE: J
CHECKED BY: TLK DATE: J

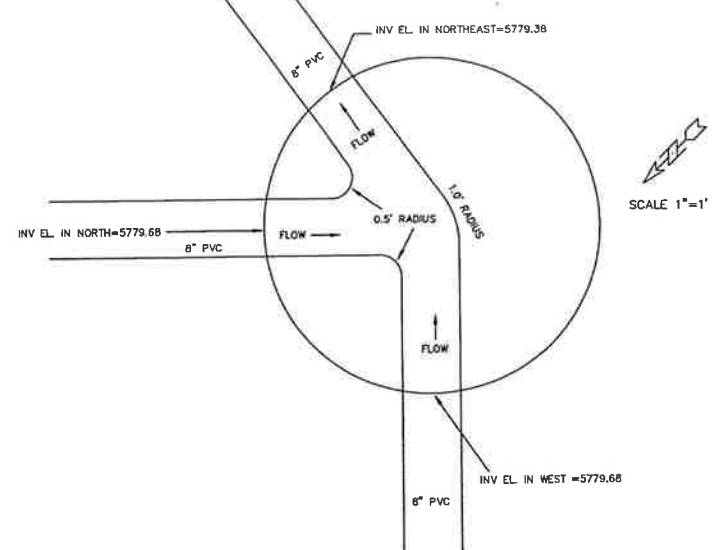
PROJECT PIPESTEM DRIVE STREET & SANITARY SEWER
FROM 1+63.13 TO 6+65.70
SUBDIVISION SUNSET VILLAGE FILING NO. 4
DRAINAGE BASIN TELEPHONE EXCHANGE
JOB NO. D:\PROJ\00-0908\RCP01001.DWG SHEET 3 OF 22

PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE, FLEET STREET, JAYHAWK AVENUE)



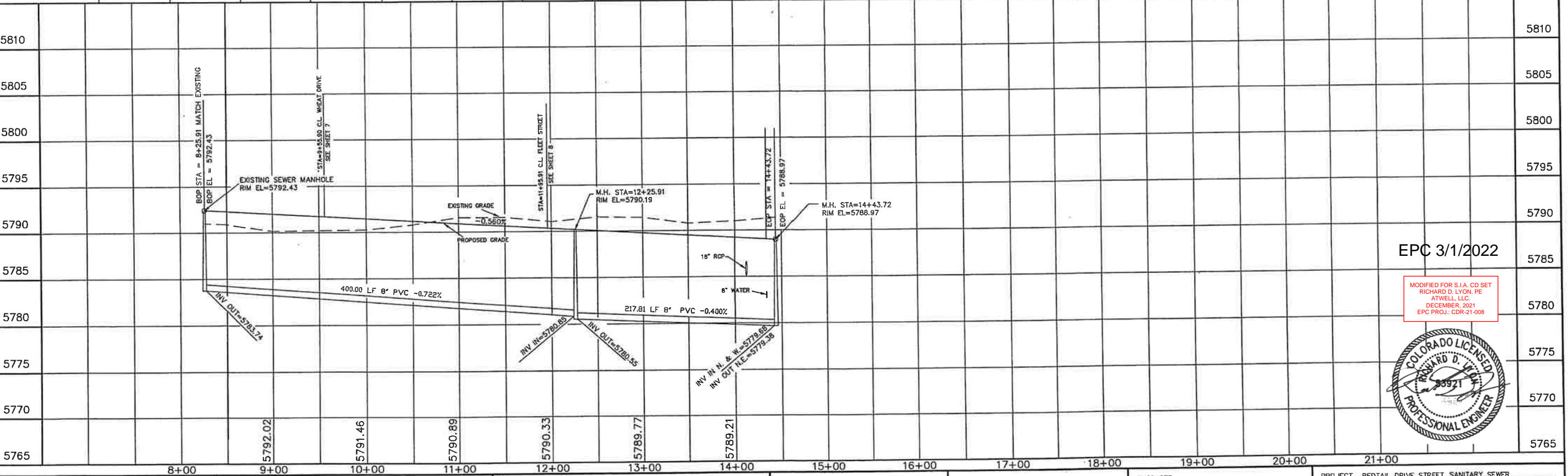
* CURB AND GUTTER MARKED IN THE FIELD TO BE REPLACED IN-KIND. ESTIMATED TO BE APPROXIMATELY 900 LF IN TOTAL.

DETAIL
MANHOLE STATION 14+43.72
INTERSECTION REDTAIL DRIVE AND JAYHAWK AVE.



SCALES:
1" = 50' HOR
1" = 5' VER

- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

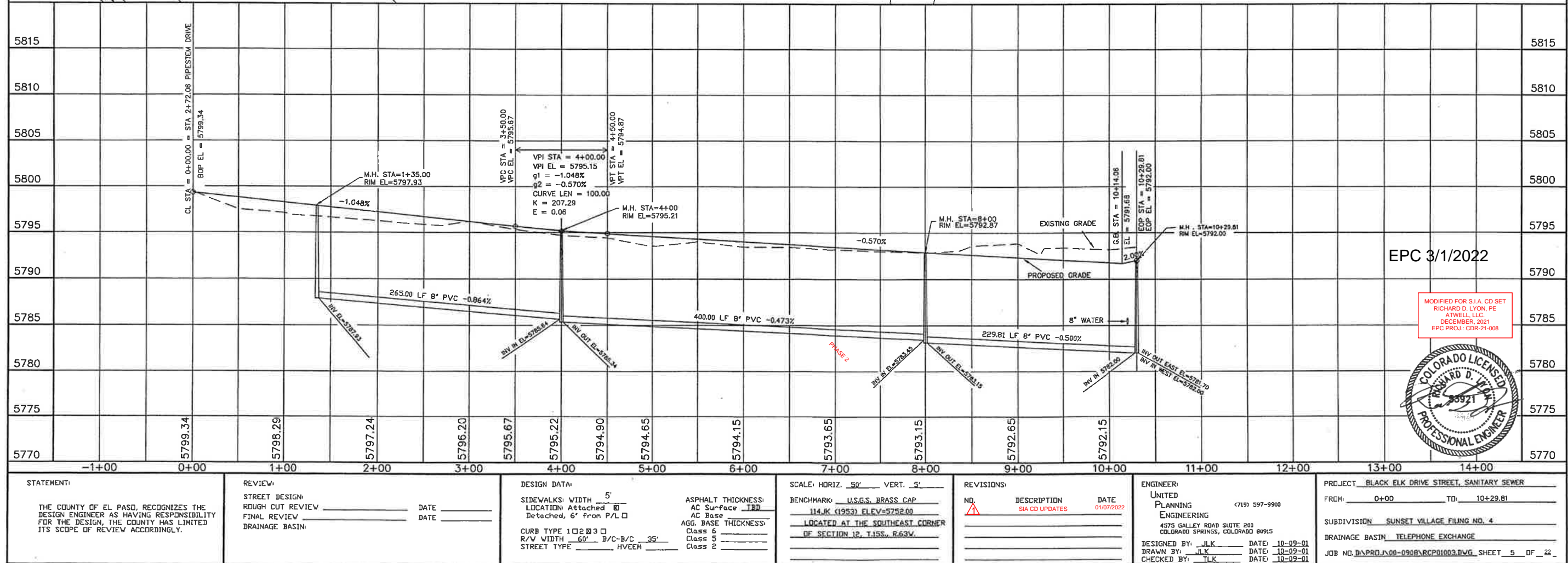
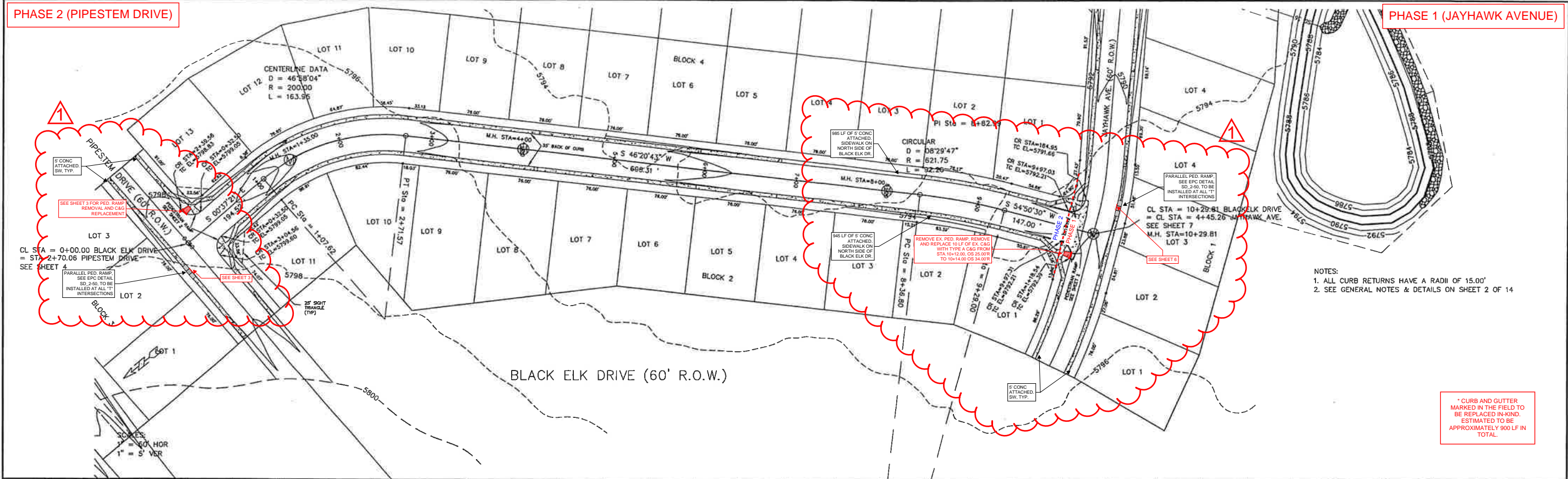


EPC 3/1/2022

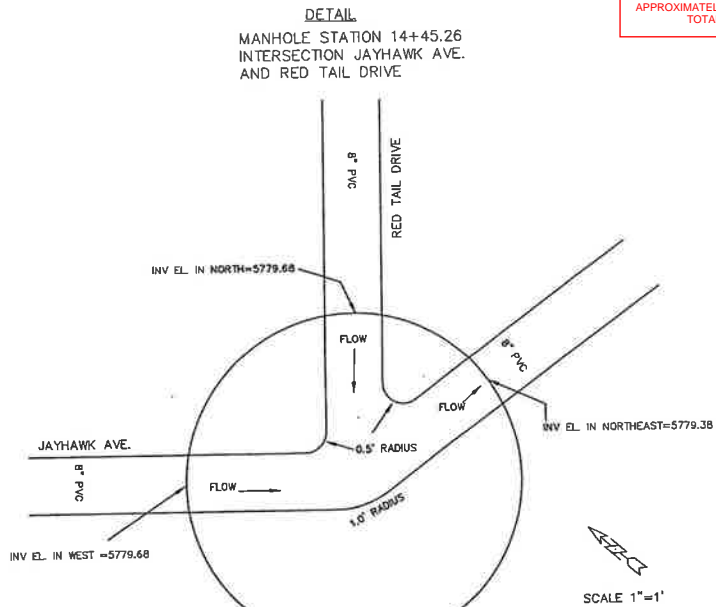
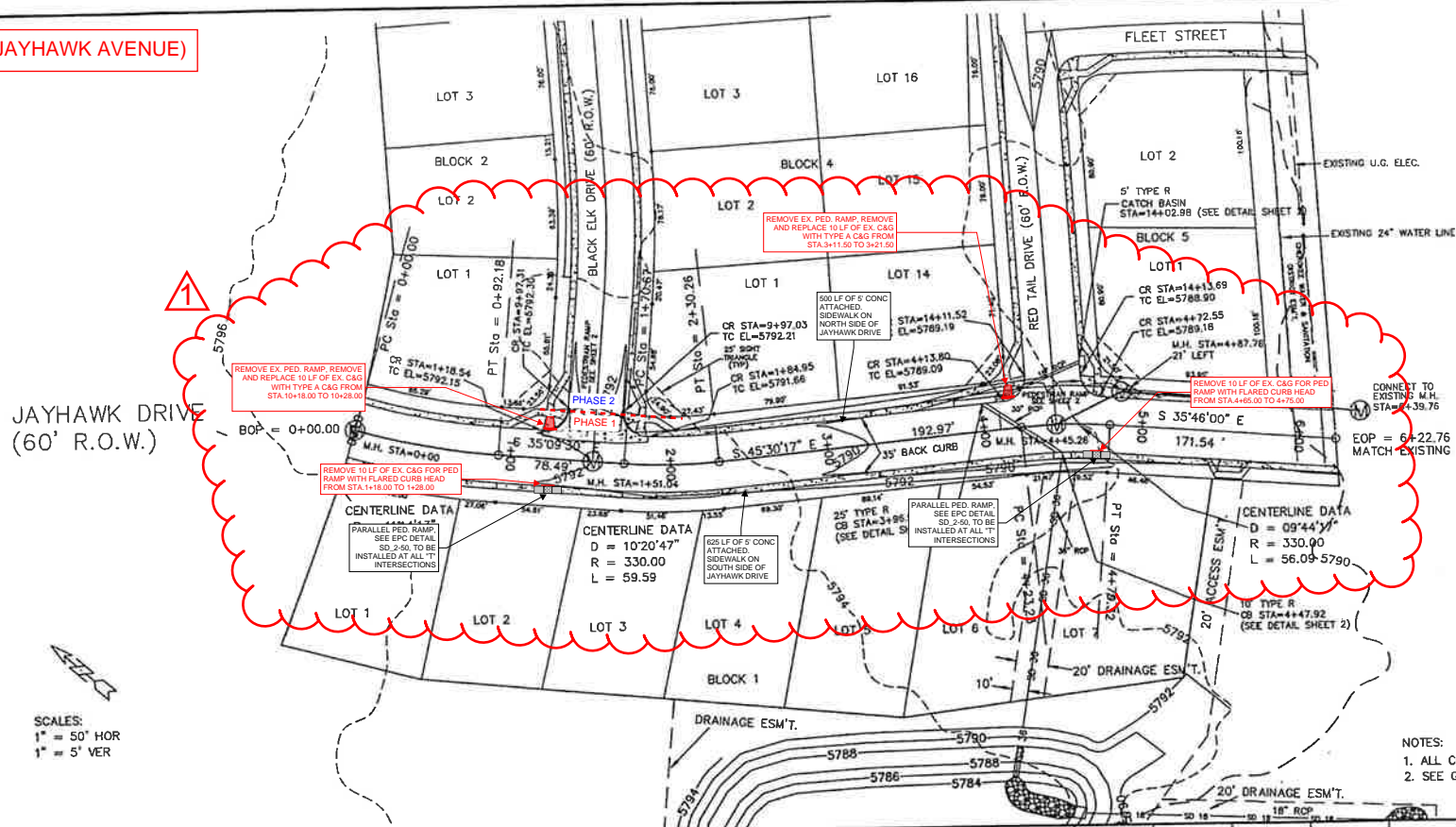
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RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



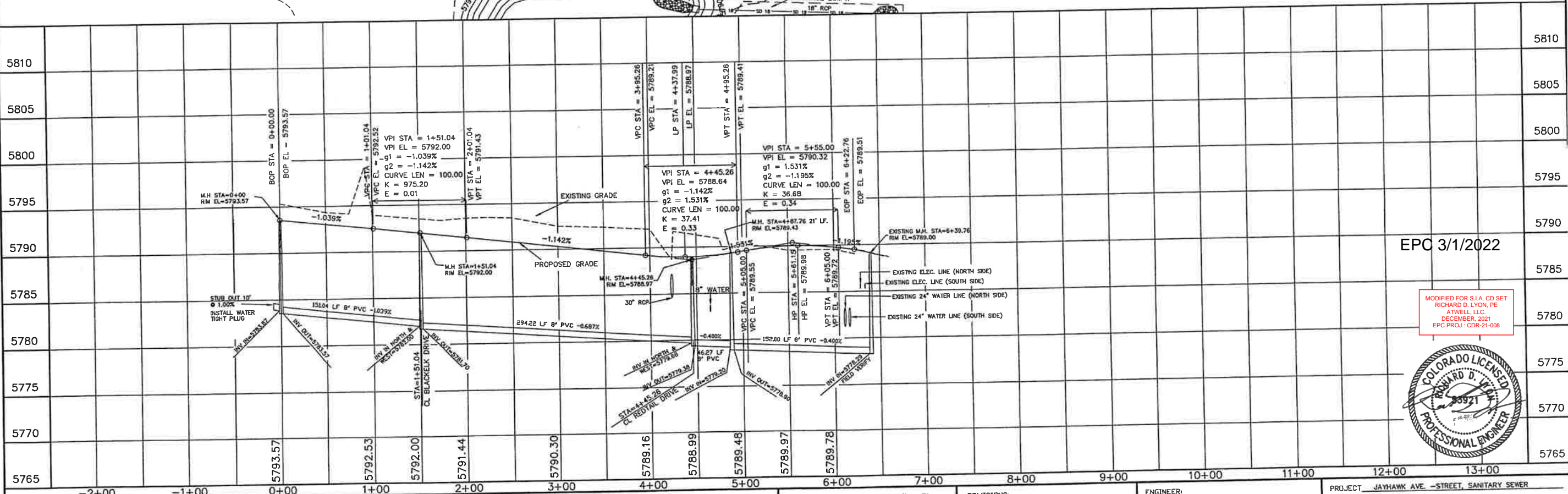
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION: Attached <input checked="" type="checkbox"/> Detached, 6' from P/L <input type="checkbox"/> CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ ASPHALT THICKNESS: AC Surface 1BD AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01	PROJECT: REDTAIL DRIVE STREET, SANITARY SEWER FROM: 8+25.91 TO: 14+43.72 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\A00-0908\RCP01002.DWG SHEET 4 OF 22
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PHASE 1 (JAYHAWK AVENUE)



- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



EPC 3/1/2022

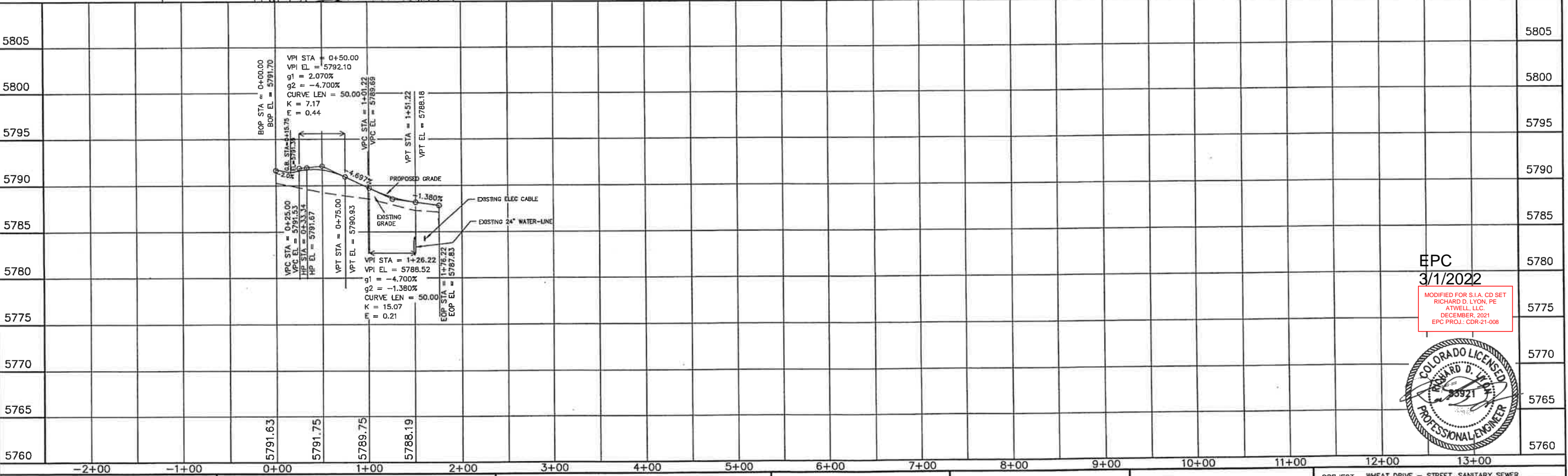
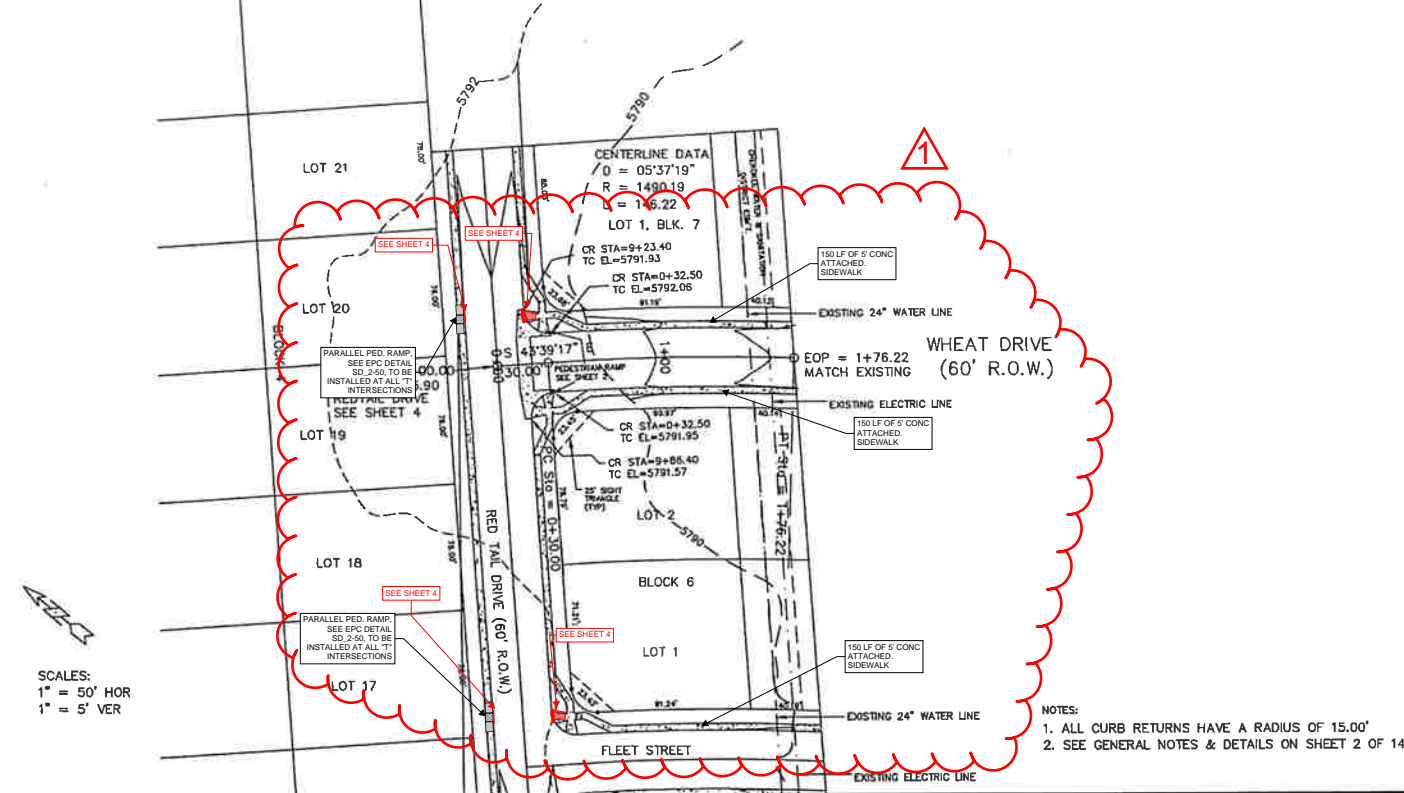
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____	DESIGN DATA: SIDEWALKS WIDTH 5' LOCATION Attached to Detached, 6' from P/LD CURB TYPE 10 200 30 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM ASPHALT THICKNESS: AC Surface 18D AC Base AGG. BASE THICKNESS: Class 6 Class 5 Class 2	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5758.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 18, T15S, R63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: J.L.K. DATE: 10-09-01	PROJECT: JAYHAWK AVE. - STREET, SANITARY SEWER FROM: 0+00 TO: 6+22.76 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\100-0908\RCD\01004.DWG SHEET 6 OF 22
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PHASE 1 (REDTAIL DRIVE, WHEAT DRIVE,
FLEET STREET, JAYHAWK AVENUE)

* CURB AND GUTTER
MARKED IN THE FIELD TO
BE REPLACED IN-KIND.
ESTIMATED TO BE
APPROXIMATELY 900 LF IN
TOTAL.



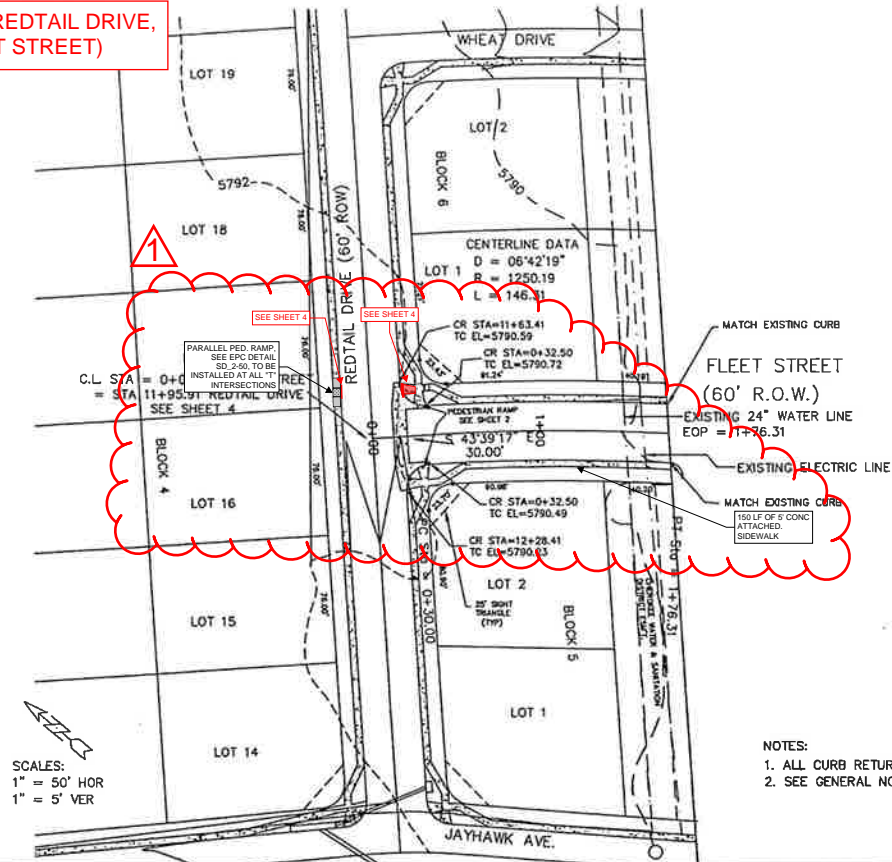
EPC
3/1/2022
MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC.
DECEMBER, 2021
EPC PROJ.: CDR-21-008



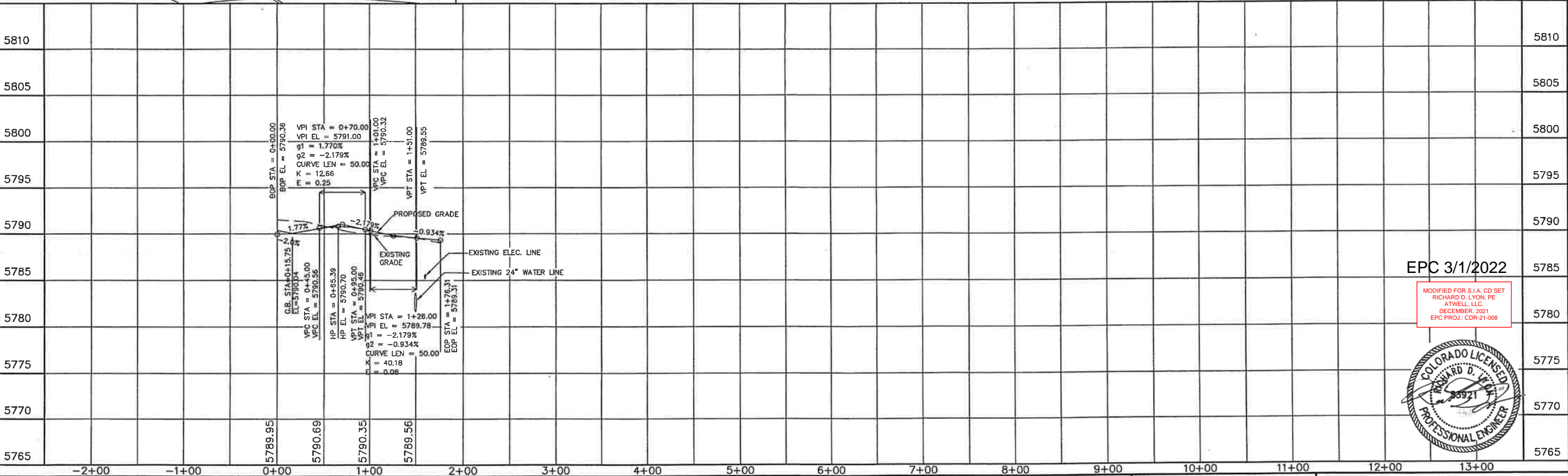
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____ DRAINAGE BASIN _____	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/LD CURB TYPE 102030 R/W WIDTH 60' B/C-B/C 35' STREET TYPE _____ HVEEM _____ ASPHALT THICKNESS: AC Surface 180 AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S., R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-02-01 DRAWN BY: JLK DATE: 10-02-01 CHECKED BY: TLK DATE: 10-02-01	PROJECT: WHEAT DRIVE - STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.22 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. B:\PROJ\A00-0908\PCP01005.DWG SHEET 7 OF 15
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PHASE 1 (REDTAIL DRIVE, FLEET STREET)

* CURB AND GUTTER
MARKED IN THE FIELD TO
BE REPLACED IN-KIND.
ESTIMATED TO BE
APPROXIMATELY 900 LF IN
TOTAL.



- NOTES:
1. ALL CURB RETURNS HAVE A RADIUS OF 15.00'
 2. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14



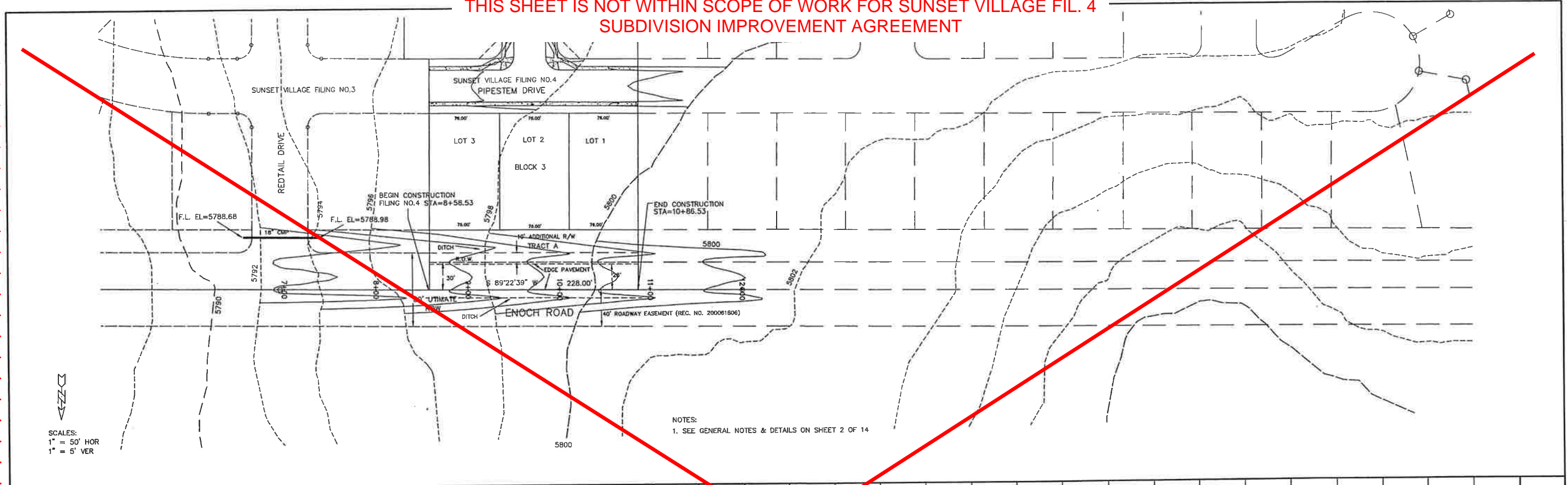
EPC 3/1/2022

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DECEMBER, 2021
EPC PROJ. CDR-21-008

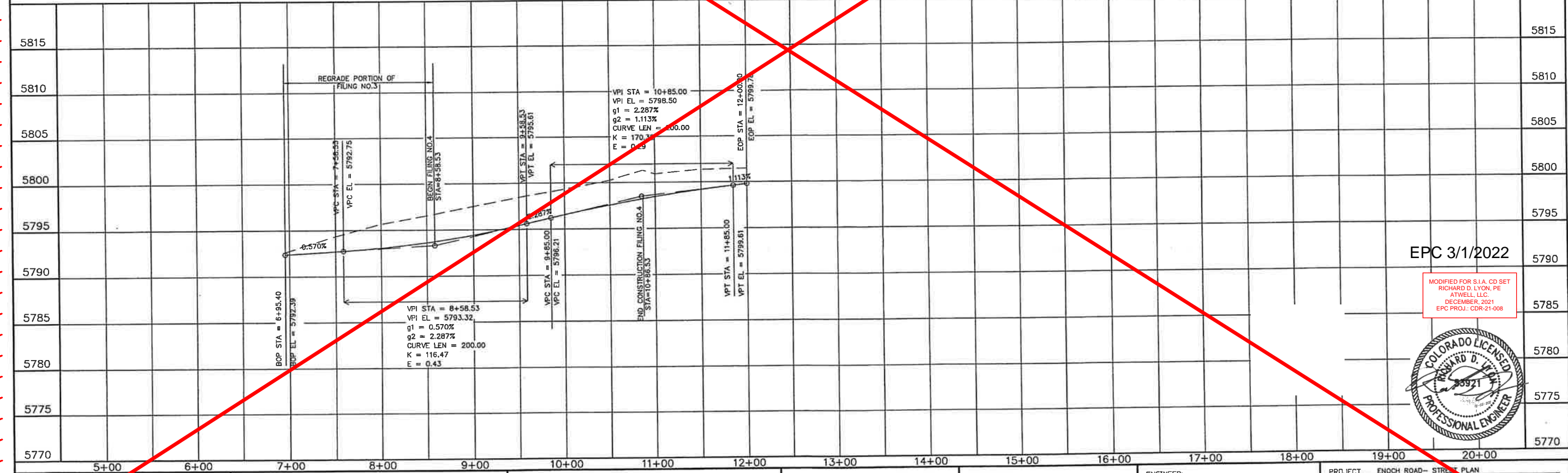


STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN, THE COUNTY HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.	REVIEW: STREET DESIGN ROUGH CUT REVIEW FINAL REVIEW DRAINAGE BASIN:	DESIGN DATA: SIDEWALKS: WIDTH 5' LOCATION: Attached to Detached, 6' from P/L/D CURB TYPE 10 20 30 R/W WIDTH 60' B/C-B/C 35' STREET TYPE HVEEM	ASPHALT THICKNESS: AC Surface 180 AC Base AGG. BASE THICKNESS: Class 6 Class 5 Class 2	SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114 JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 12, T.15S, R.63W.	REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022	ENGINEER: UNITED PLANNING ENGINEERING 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: J.L.K. DATE: 10-09-01 DRAWN BY: J.L.K. DATE: 10-09-01 CHECKED BY: T.L.K. DATE: 10-09-01	PROJECT: FLEET STREET-STREET, SANITARY SEWER FROM: 0+00 TO: 1+76.31 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. D:\PROJ\100-0908\RCPE01006.DWG SHEET 8 OF 15
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THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT



NOTES:
1. SEE GENERAL NOTES & DETAILS ON SHEET 2 OF 14

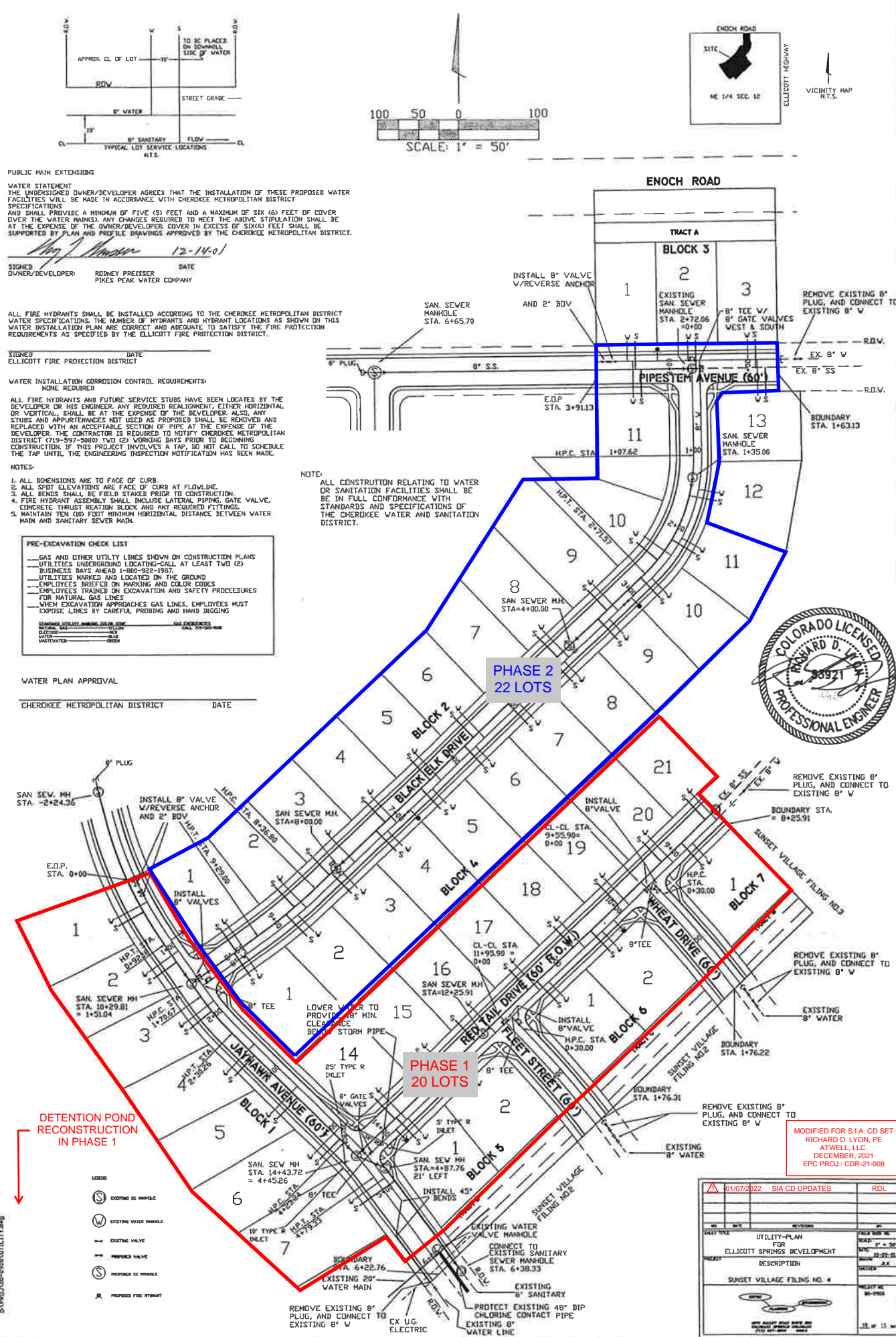


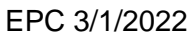
EPC 3/1/2022

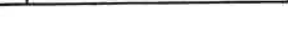
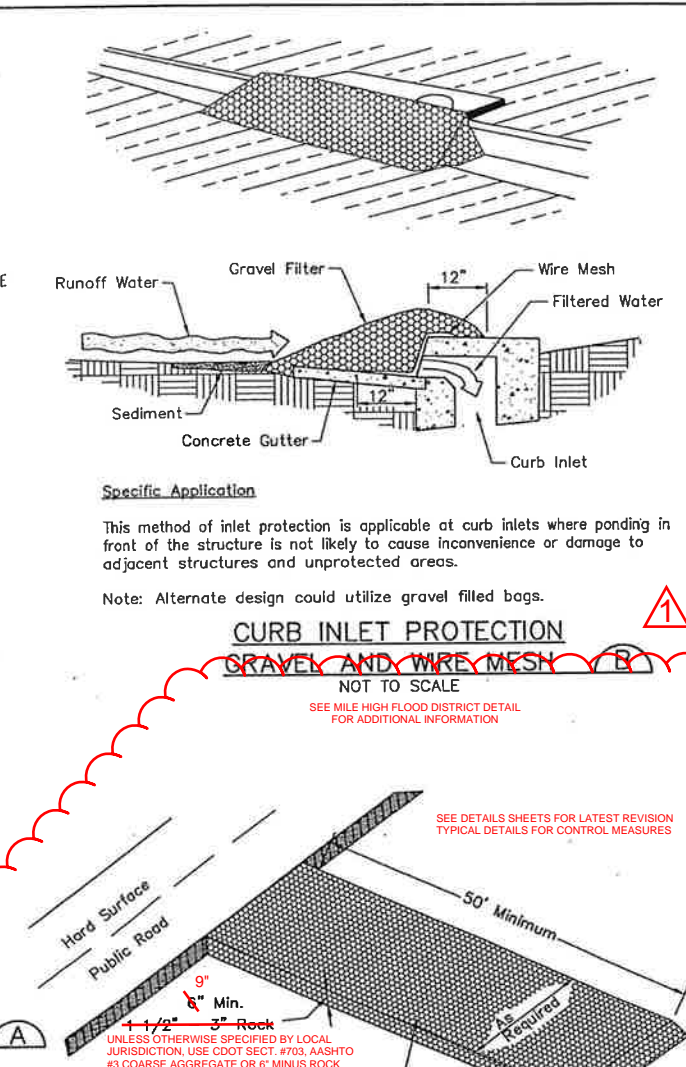
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RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008



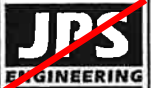
STATEMENT: THE COUNTY OF EL PASO, RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE COUNTY HAS LIMITED THE SCOPE OF REVIEW ACCORDINGLY.		REVIEW: STREET DESIGN _____ DATE _____ ROUGH CUT REVIEW _____ DATE _____ FINAL REVIEW _____ DATE _____		DESIGN DATA: SIDEWALKS: WIDTH _____ LOCATION: Attached <input type="checkbox"/> Detached, 6' from P/L <input type="checkbox"/> CURB TYPE 10 20 30 _____ R/W WIDTH 80' PROP. F/C-F/C _____ STREET TYPE _____ HVECH _____ ASPHALT THICKNESS: AC Surface _____ AC Base _____ AGG. BASE THICKNESS: Class 6 _____ Class 5 _____ Class 2 _____		SCALE: HORIZ. 50' VERT. 5' BENCHMARK: U.S.G.S. BRASS CAP 114JK (1953) ELEV=5752.00 LOCATED AT THE SOUTHEAST CORNER OF SECTION 18, T.15S., R.63W.		REVISIONS: NO. DESCRIPTION DATE 1 SIA CD UPDATES 01/07/2022		ENGINEER: UNITED PLANNING ENGINEERING (719) 597-9900 4575 GALLEY ROAD SUITE 200 COLORADO SPRINGS, COLORADO 80915 DESIGNED BY: JLK DATE: 10-09-01 DRAWN BY: JLK DATE: 10-09-01 CHECKED BY: TLK DATE: 10-09-01		PROJECT: ENOCH ROAD - STREET PLAN FROM: 6+95.40 TO: 12+00 SUBDIVISION: SUNSET VILLAGE FILING NO. 4 DRAINAGE BASIN: TELEPHONE EXCHANGE JOB NO. \PROJ\A00-0908\RCP01007.DWG SHEET 9 OF 15	
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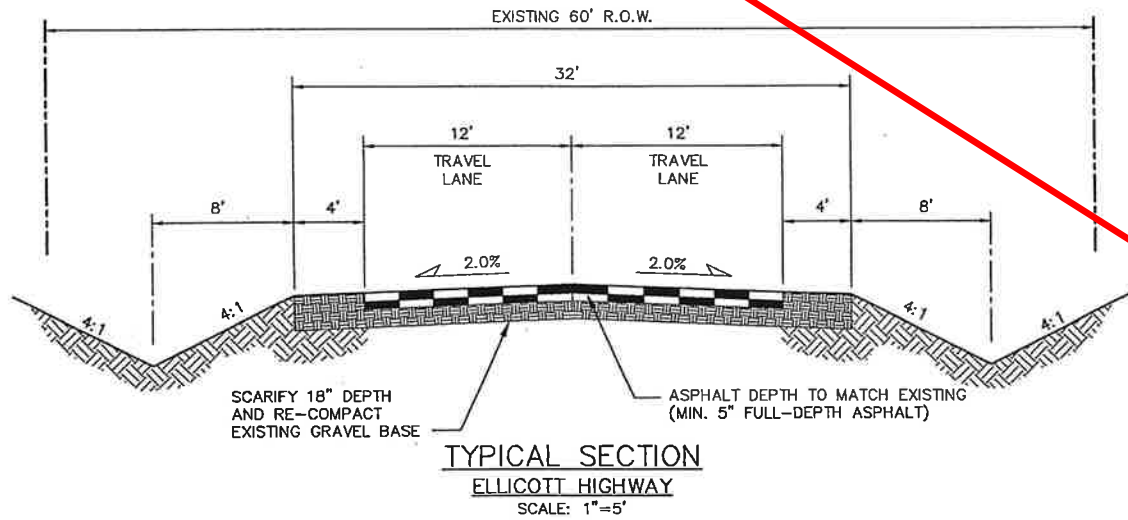
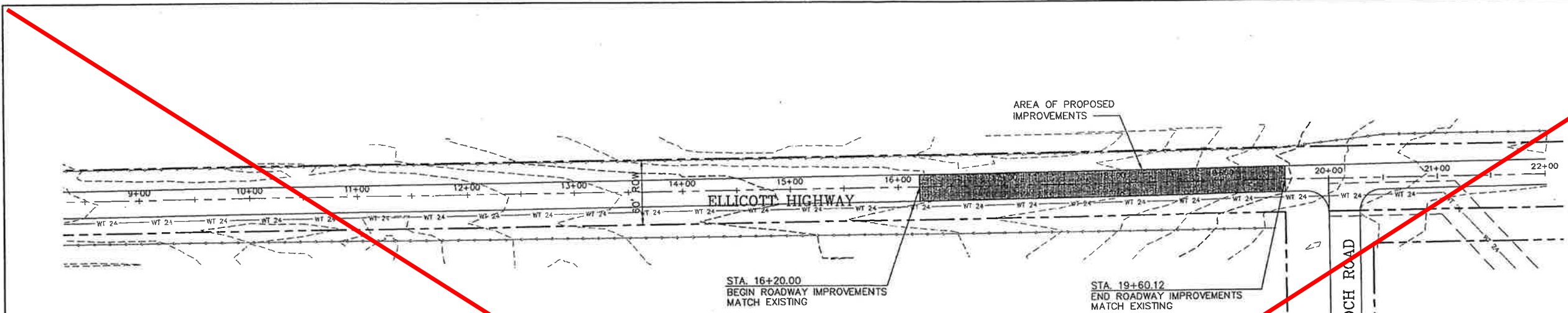




THIS SHEET IS NOT WITHIN SCOPE OF WORK FOR SUNSET VILLAGE FIL. 4
SUBDIVISION IMPROVEMENT AGREEMENT

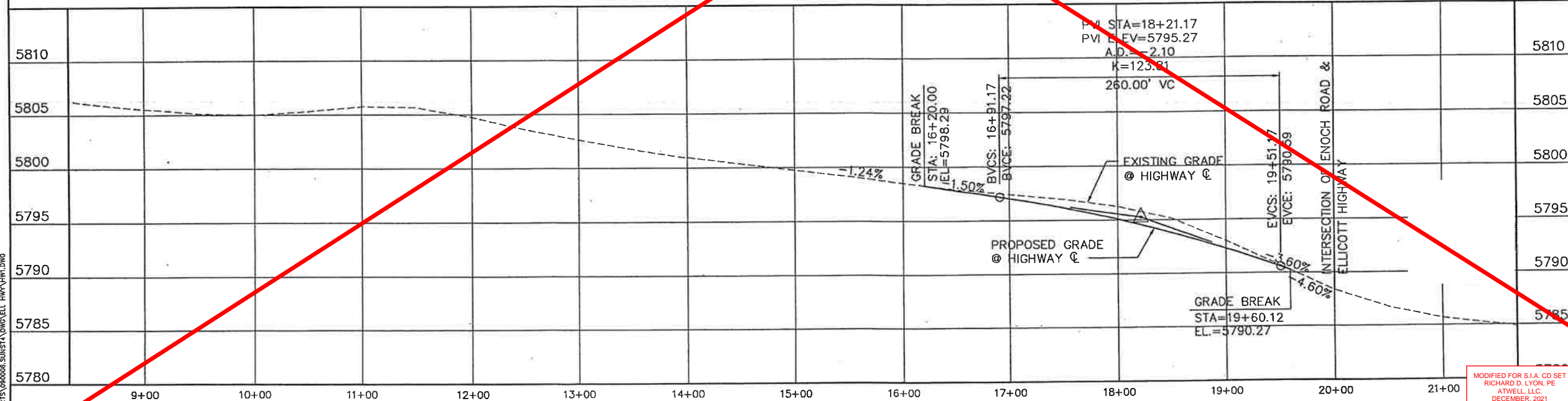
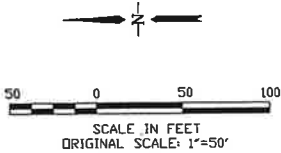


518 N. Nevada Ave.
Suite 303
Colorado Springs, CO
80903
PH: 719-477-9429
FAX: 719-471-0766



GENERAL NOTES

1. CONFORM TO EL PASO COUNTY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS.
2. THE CONTRACTOR SHALL CONTACT ALL UTILITIES FOR LOCATIONS TWO (2) WORKING DAYS PRIOR TO ANY EXCAVATION.
3. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE UTILITY.
4. CONTRACTOR SHALL SUBMIT DETAILED TRAFFIC CONTROL PLANS AND OBTAIN PERMITS AS REQUIRED BY EL PASO COUNTY.
5. PROVIDE REQUIRED SIGNING AND TRAFFIC CONTROL DEVICES MEETING MUTCD, CDOT, AND EL PASO COUNTY STANDARDS.
6. CONTRACTOR SHALL FIELD VERIFY GRADES TO ENSURE POSITIVE DRAINAGE TRANSITION TO ADJACENT PAVEMENT.
7. REMOVE & DISPOSE OF EXISTING ASPHALT WITHIN LIMITS OF PROPOSED WORK.
8. ROADSIDE DITCHES SHALL BE RESTORED TO THE ORIGINAL CONDITION. DITCH RESTORATION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
9. NEW PAVEMENT ON ELLICOTT HIGHWAY SHALL BE TAPERED INTO EXISTING PAVEMENT WITH FINE MIX ASPHALT.
10. CONTRACTOR SHALL TAKE CORE SAMPLES ON AN UNDISTURBED SECTION OF ELLICOTT HIGHWAY TO DETERMINE EXISTING ASPHALT AND GRAVEL BASE THICKNESS.



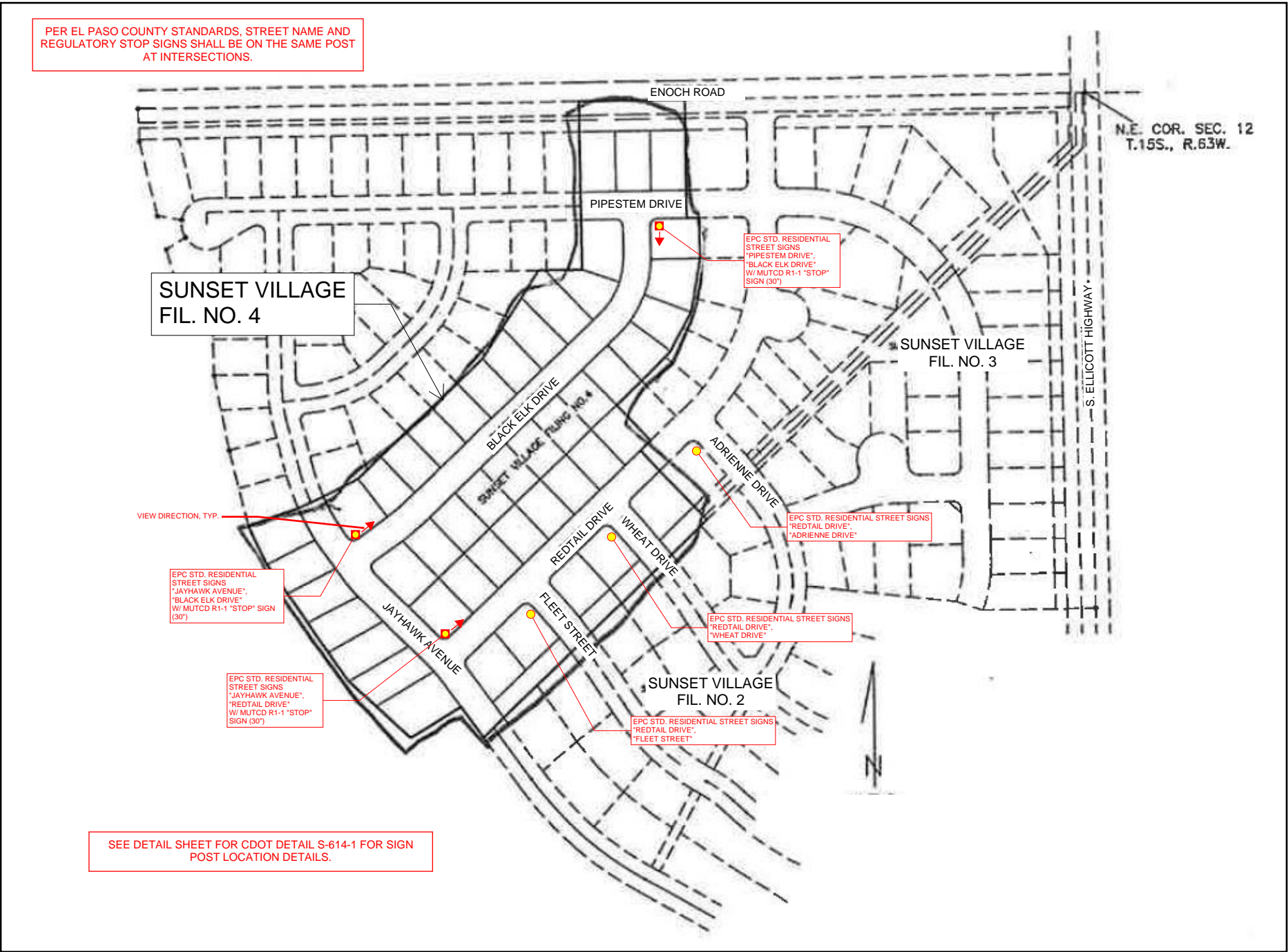
ELLICOTT HIGHWAY

HIGHWAY
IMPROVEMENT PLAN

PROJECT NO.	090006	DATE	7/10/01
PROJECT NO.	090006	DATE	7/10/01
PROJECT NO.	090006	DATE	7/10/01
PROJECT NO.	090006	DATE	7/10/01

SHEET: HW1

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008
REVISION 1: 01/07/2022



PROJECT DESCRIPTION
STRIPING AND SIGNAGE MODIFICATIONS WITHIN SUNSET VILLAGE FILING NO. 4.

GENERAL NOTES
1. THE CONTRACTOR SHALL HAVE A COPY OF ALL APPLICABLE STANDARDS ON SITE FO TEH DURATION OF THE PROJECT.
2. THE CONTRACTOR SHALL ACQUIRE ALL NECESSARY PERMITS AND INSPECTIONS REQUIRED TO COMPLETE THE SCOPE OF WORK PRESENTED HEREIN.

TRAFFIC CONTROL
1. ALL SIGNAGE AND STRIPING SHALL FOLLOW THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", MUTCD, CURRENT EDITION, AND ALL APPLICABLE CDOT M&S STANDARDS.
2. THE CONTRACTOR SHALL FURNISH, INSTALL, AND MAINTAIN TEMPORARY TRAFFIC CONTROL DEVICES NECESSARY THROUGHOUT THE DURATION OF CONSTRUCTION IN CONFORMANCE WITH TRAFFIC CONTROL PLANS AND/OR APPROVED MHT.
3. THE TRAFFIC CONTROL SUPERVISOR SHALL COORDINATE CONSTRUCTION ZONE TRAFFIC CONTROL ACTIVITIES WITH ALL APPROPRIATE OFFICIALS.
4. THE CONTRACTOR SHALL MAINTAIN FULL COMPLIANCE PAVEMENT MARKINGS OR APPROVED DECIVES ON THE ROADWAYS DURING ALL PHASES OF THE CONSTRUCTION PERIOD.

EL PASO COUNTY SIGNING AND STRIPING NOTES:
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.

6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"

8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.

11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.

13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.

14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

MODIFIED FOR S.I.A. CD SET
RICHARD D. LYON, PE
ATWELL, LLC
DECEMBER, 2021
EPC PROJ.: CDR-21-008

REVISION 1: 01/07/2022



SUBDIVISION: SUNSET VILLAGE FIL. NO. 4
SHEET: 15
STRIPING AND SIGNAGE PLAN
EPC PLAN NO. CDR-21-008

EPC 3/1/2022

Computer File Information
Creation Date: 07/04/12
Created By: KCM
Last Modification Date: 07/31/19
Last Modified By: AVU
CAD Ver.: MicroStation V8 Scale: Not to Scale Units: English

Sheet Revisions
Date: Comments

Colorado Department of Transportation
2829 W. Howard Pl.
Denver, CO 80204
Phone: 303-757-9436
Fax: 303-757-9219
Traffic & Safety Engineering MKB

GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

STANDARD PLAN NO.
S-614-1
Standard Sheet No. 1 of 2
Project Sheet Number:

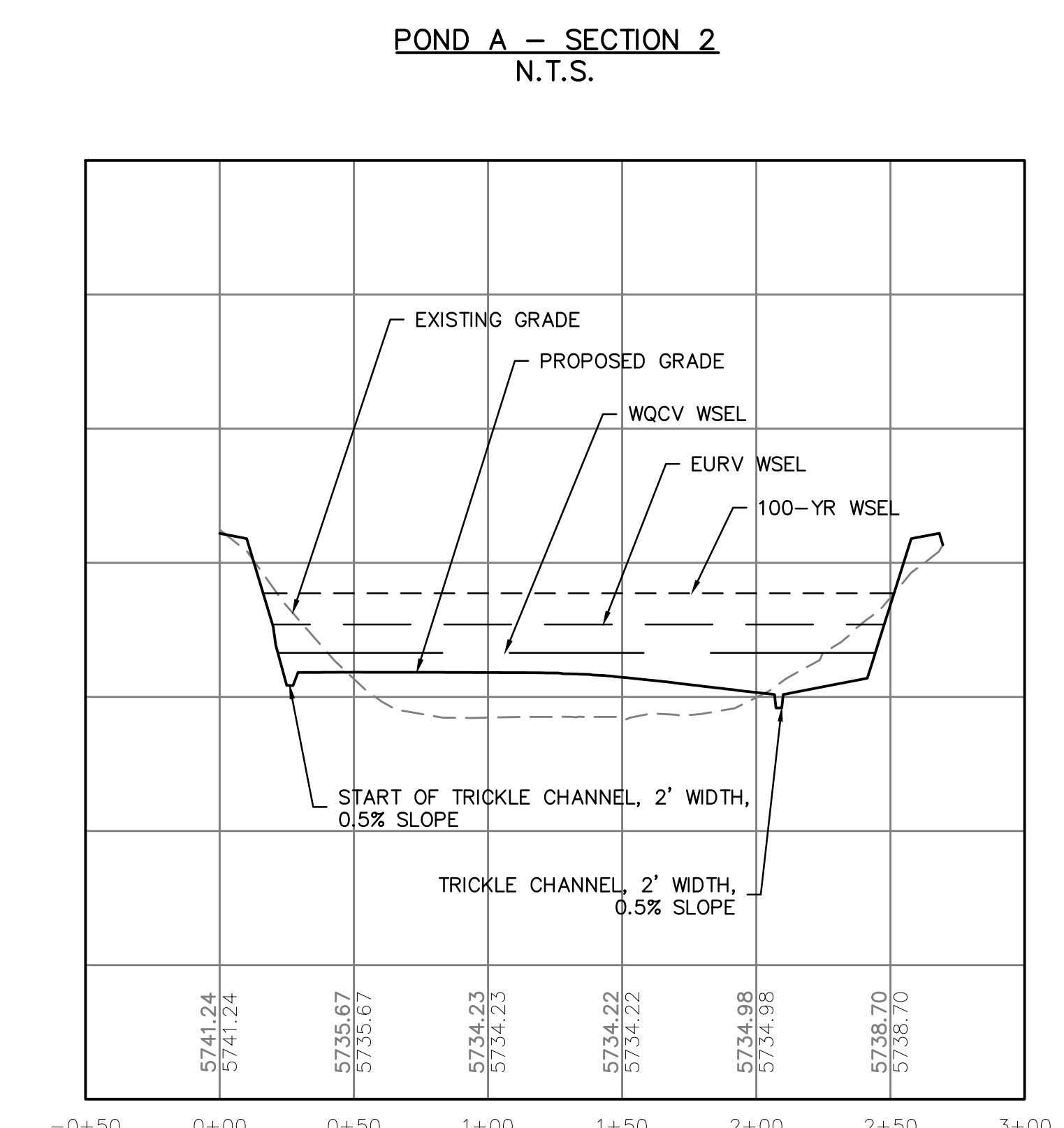
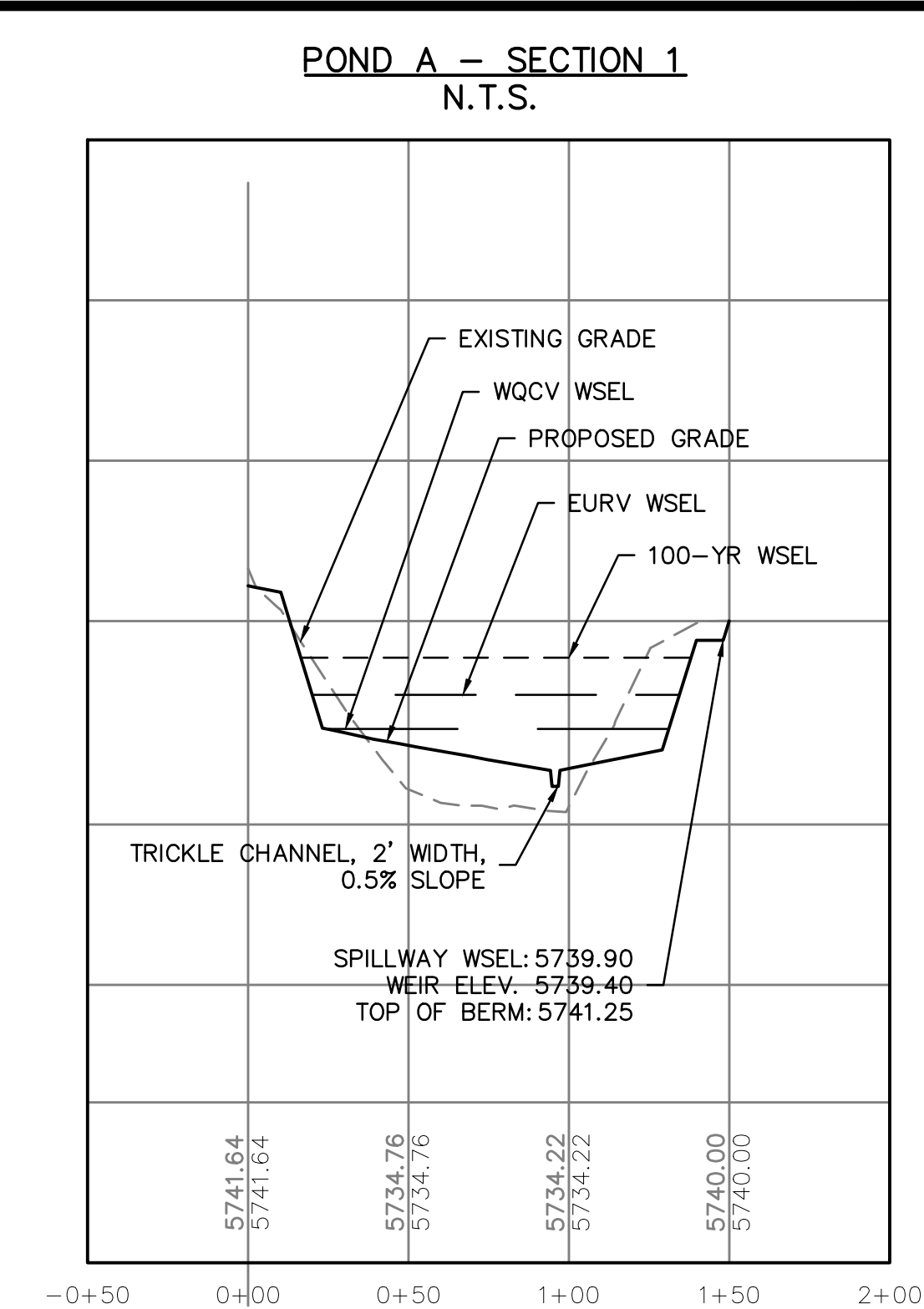
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Sheet Revisions
Date: Comments

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2829 W. Howard Pl.
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Traffic & Safety Engineering MKB

GROUND SIGN PLACEMENT
Issued By: Traffic & Safety Engineering Branch July 31, 2019

STANDARD PLAN NO.
S-614-1
Standard Sheet No. 2 of 2
Project Sheet Number:



POND SUMMARY TABLE	
WQCV (AC-FT)	0.303
EURV (AC-FT)	0.480
100-YEAR (AC-FT)	0.614
TOP OF MICROPOOL (FT)	5734.11
WQCV ELEV (FT)	5736.64
EURV ELEV (FT)	5737.70
SPILLWAY INVERT (FT)	5739.40

1. THE DEVELOPER SHALL HAVE A LICENSED PROFESSIONAL ENGINEER CERTIFY EACH STORMWATER DETENTION POND AND/OR WATER QUALITY BMP IS BUILT ACCORDING TO THE APPROVED PLANS AND SPECIFICATIONS AND THE REQUIRED DETENTION VOLUME, INCLUDING THE WQCV WHEN USED, IS MET. THE CERTIFICATION SHALL ALSO VERIFY ALL PERTINENT DIMENSIONS, ELEVATIONS, REQUIRED OUTLET ORATIONS, AND REQUIRED DETENTION VOLUMES. THE CERTIFICATION SHALL BE INSTALLED PER THE APPROVED PLANS AND SPECIFICATIONS, AND SHALL SHOW THE AS-BUILT DESIGN VOLUMES (WQCV, 10-YEAR, 100-YEAR, EURV) AND OTHER PERTINENT DIMENSIONS, ELEVATIONS AND CAPACITY REQUIREMENTS ASSOCIATED WITH THE WQ BMP USED. THE CERTIFICATION SHALL BE PROVIDED TO EL PASO COUNTY ENGINEERING. AN APPROVED POND CERTIFICATE SHALL BE REQUIRED PRIOR TO THE RETURN OF ANY FISCAL SECURITY DEPOSIT (AS WELL AS SATISFYING OTHER CONDITIONS OF THE STORMWATER PERMIT) FOR SITES THAT DO NOT REQUIRE A CERTIFICATE OF OCCUPANCY. EXAMPLES OF THESE SITES INCLUDE BUT ARE NOT LIMITED TO: SITES WITHOUT VERTICAL CONSTRUCTION, OIL AND GAS WELLS, AND OTHER FORMS OF INDUSTRIAL DEVELOPMENT. A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY SHALL BE REQUIRED FOR ALL OTHER SITES. A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY SHALL BE ISSUED WITHOUT AN APPROVED POND CERTIFICATE.

The diagram shows a cross-section of a spillway structure. Key features include:

- EXISTING GRADE**: The top surface of the structure.
- WQCV WSEL**: Water Quality Control Facility Water Surface Elevation.
- PROPOSED GRADE**: The proposed top surface of the structure.
- EURV WSEL**: Event Unrestricted Water Surface Elevation.
- 100-YR WSEL**: 100-year flood Water Surface Elevation.
- TRICKLE CHANNEL, 2' WIDTH, 0.5% SLOPE**: A channel at the base of the structure.
- SPILLWAY WSEL: 5739.90**: Water Surface Elevation at the spillway crest.
- WEIR ELEV: 5739.40**: Elevation of the weir crest.
- TOP OF BERM: 5741.25**: Elevation of the top of the berm.

The diagram also includes stationing markers along the bottom: +50, 0+00, 0+50, 1+00, 1+50, and 2+00. Elevation markers on the left side include 5741.64, 5741.64, 5734.76, 5734.76, 5734.22, 5734.22, 5740.00, and 5740.00.

The diagram illustrates a cross-section of a drainage system. It shows the 'EXISTING GRADE' as a solid line and the 'PROPOSED GRADE' as a dashed line. The 'WQCV WSEL' (Water Quality Control Volume Water Surface Elevation) is indicated by a horizontal line. The 'EURV WSEL' (Event Rainfall Water Surface Elevation) is shown as a horizontal line above the WQCV WSEL. The '100-YR WSEL' (100-year flood Water Surface Elevation) is shown as a horizontal line above the EURV WSEL. A 'START OF TRICKLE CHANNEL, 2' WIDTH, 0.5% SLOPE' is marked on the left side. The 'TRICKLE CHANNEL, 2' WIDTH, 0.5% SLOPE' is shown as a dashed line sloping downwards to the right. Elevation data is provided at the bottom of the diagram:

Stationing	Elevation (ft)
0+50	5741.24
0+60	5741.24
0+70	5735.67
0+80	5735.67
0+90	5734.23
1+00	5734.23
1+50	5734.22
2+00	5734.22
2+50	5734.98
3+00	5734.98
3+50	5738.70
4+00	5738.70

6.

**Know what's below.
Call before you dig.**

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THESE PLANS. YOU MAY ONLY HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER. IT IS YOUR RESPONSIBILITY THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREE TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S WORK. YOU SHALL BE RESPONSIBLE TO PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR; NEITHER THE OWNER NOR THE ENGINEER SHALL BE RESPONSIBLE FOR SAFETY OF THE WORK, OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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303.462.1100

PUNCHLUST CONNECTIONS LLC	300 WINDCHIME PLACE #301 COLORADO SPRINGS, COLORADO 80919	303.519.5100	SCOTT VAN WYHE
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PUNCHLIST CONNECTIONS LLC
T VILLAGE FILING 4 – DRAINAGE
PASO COUNTY, COLORADO
CONSTRUCTION DRAWINGS
POND 2

DATE	1/7/2022
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REVISIONS

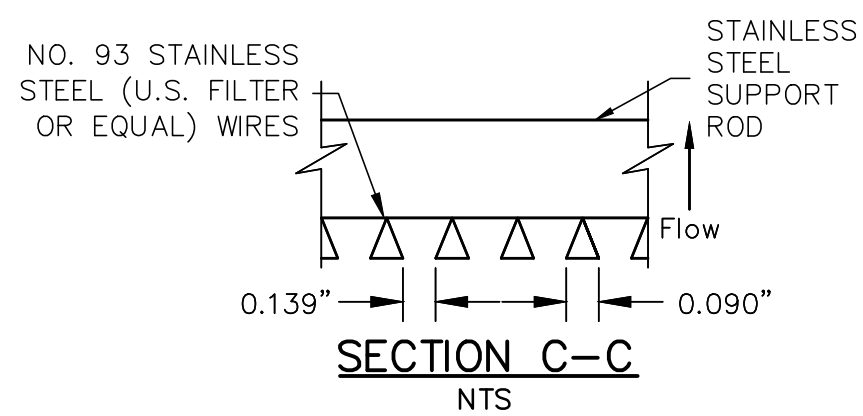
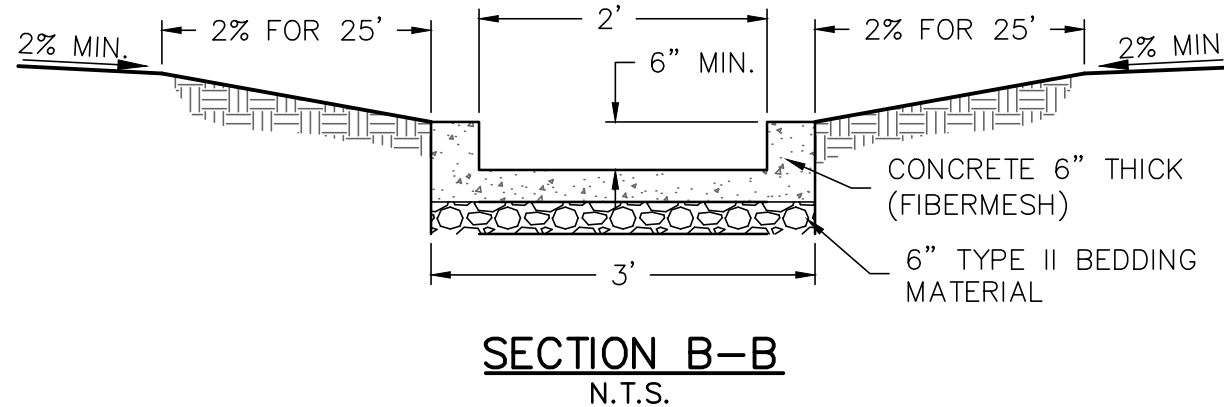
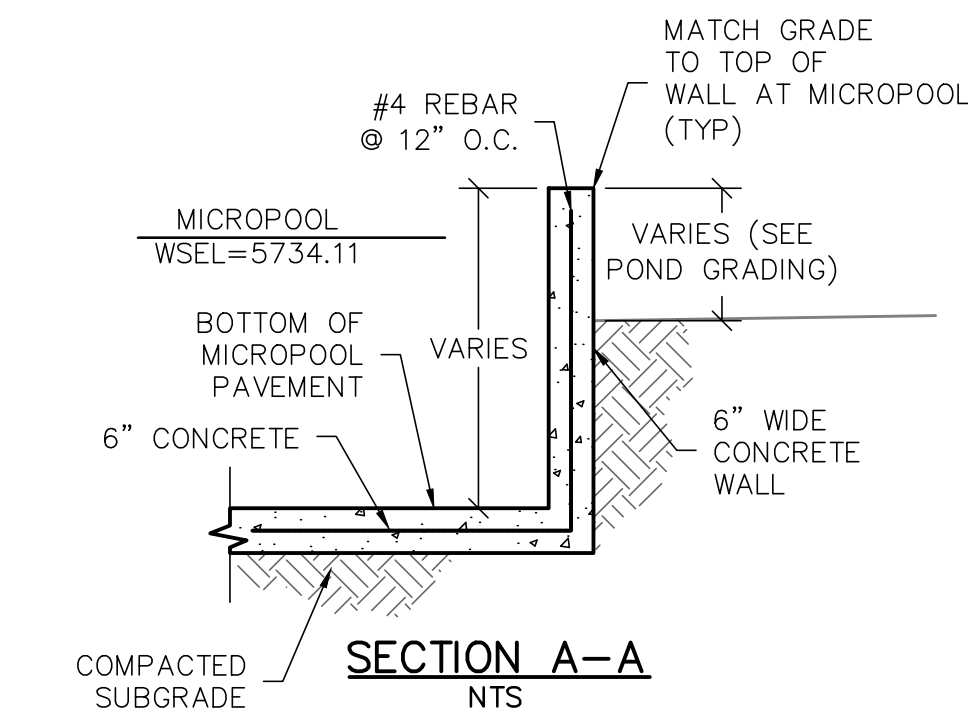
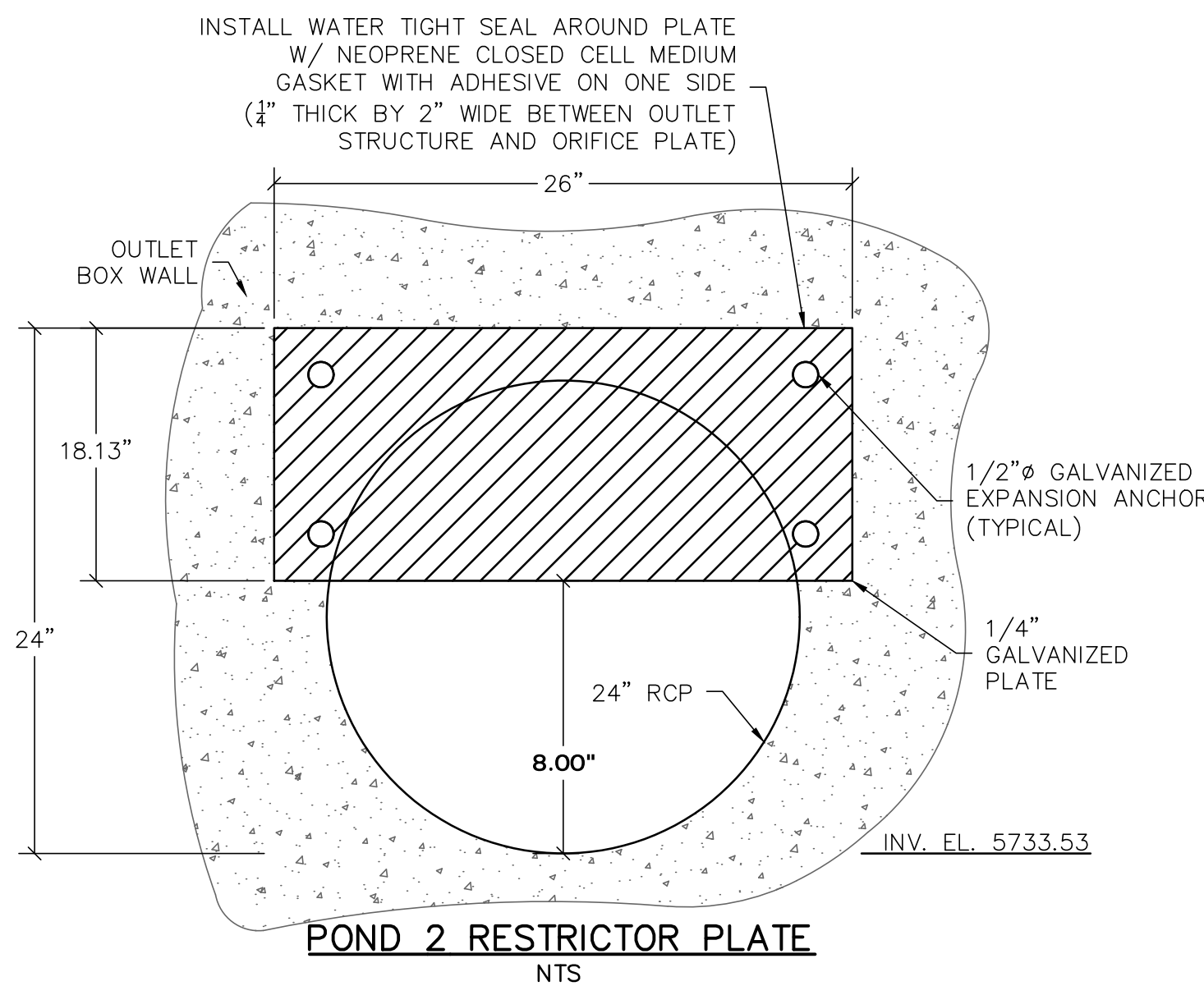
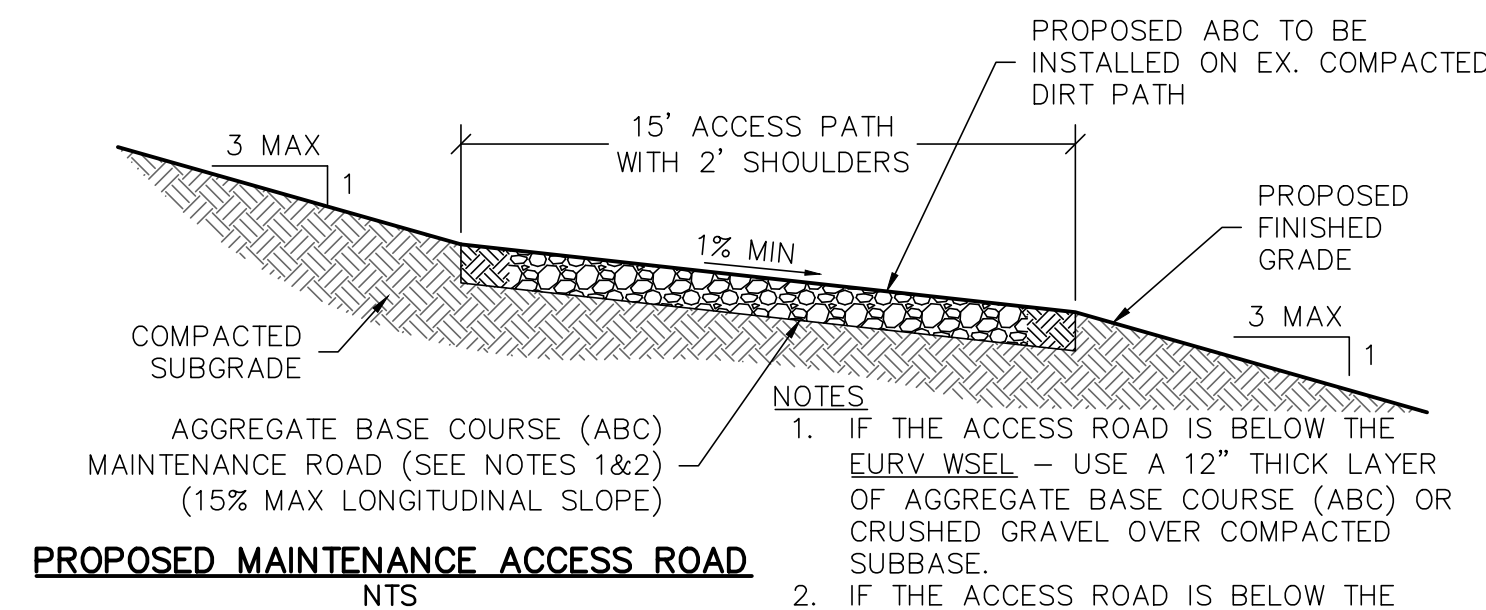
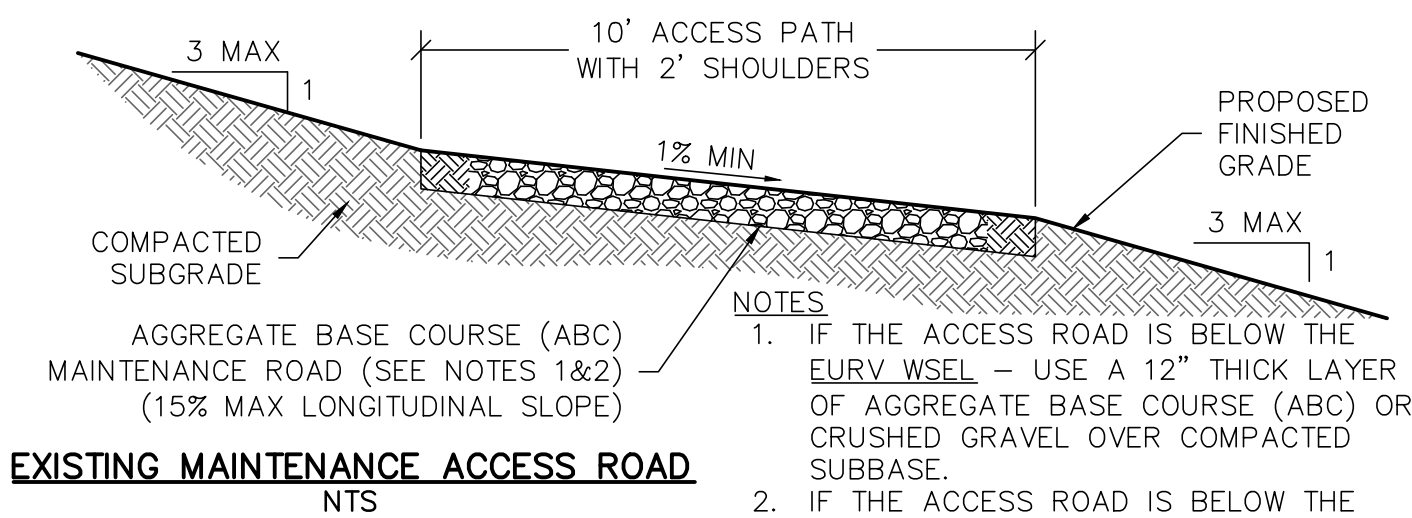
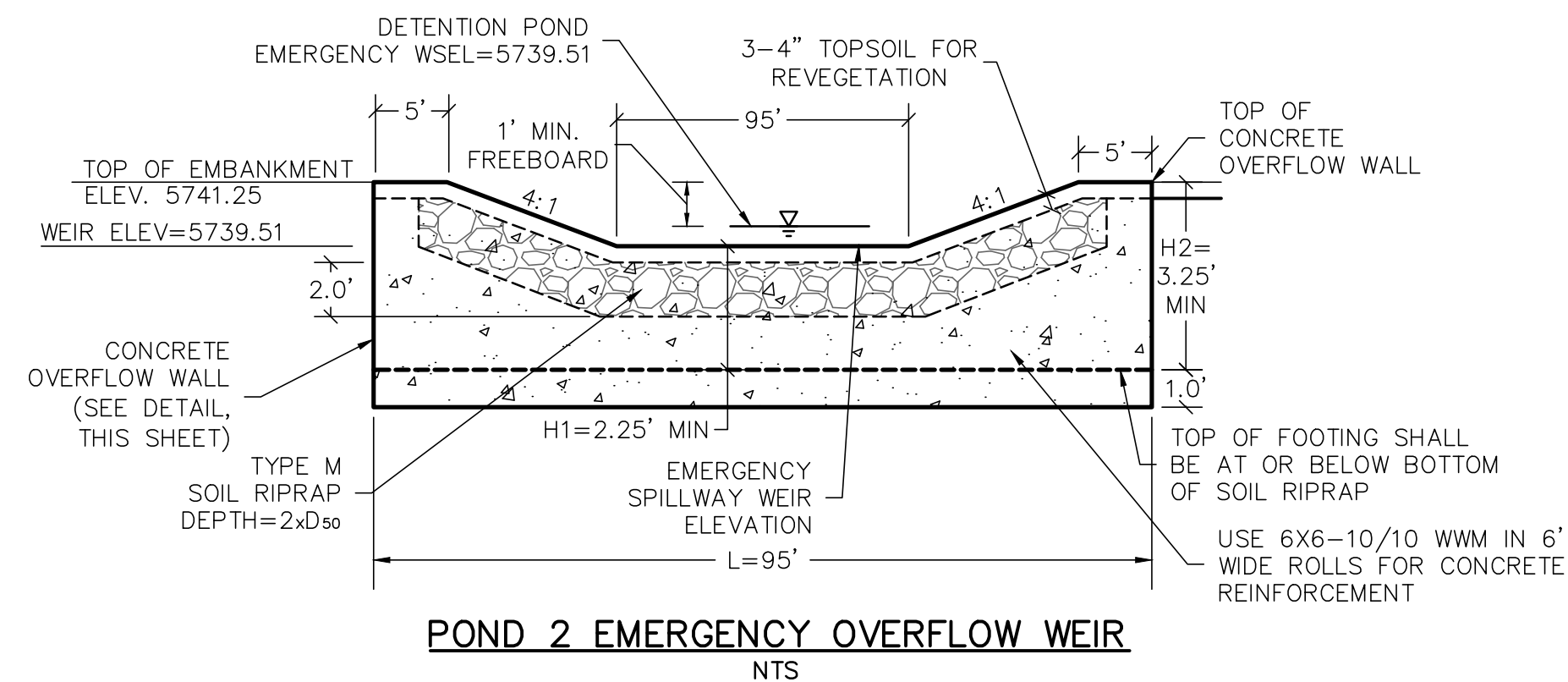
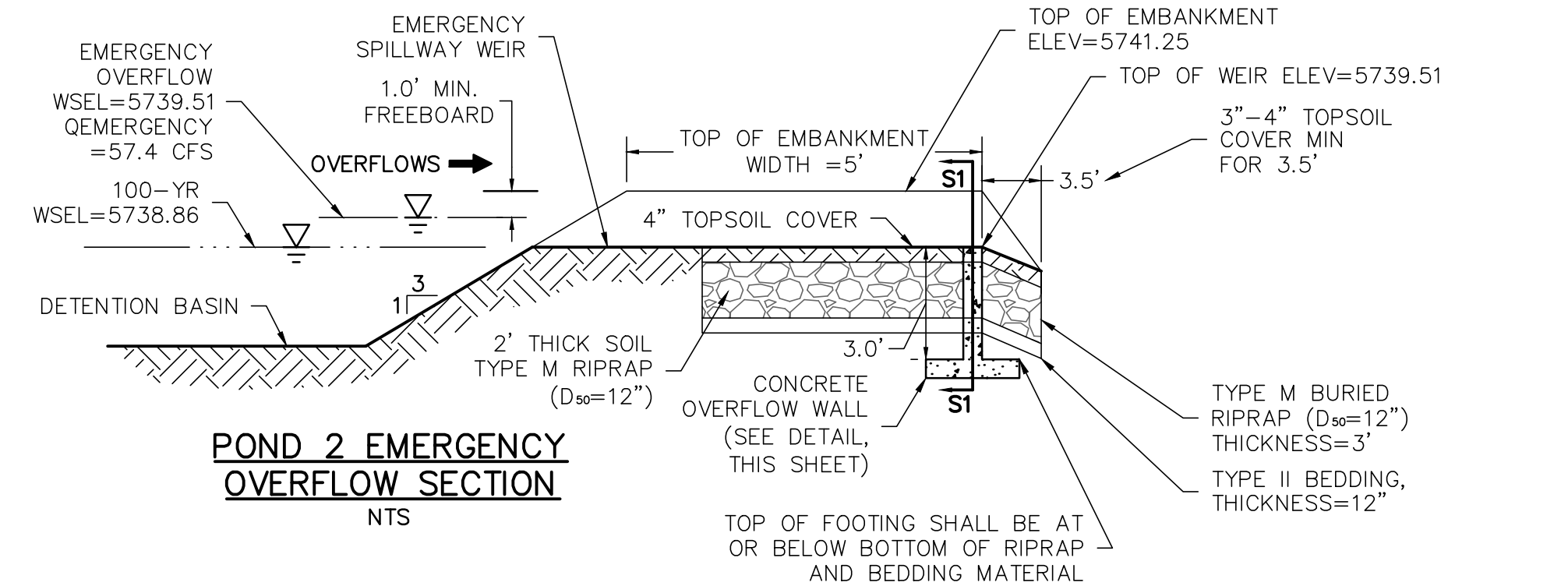
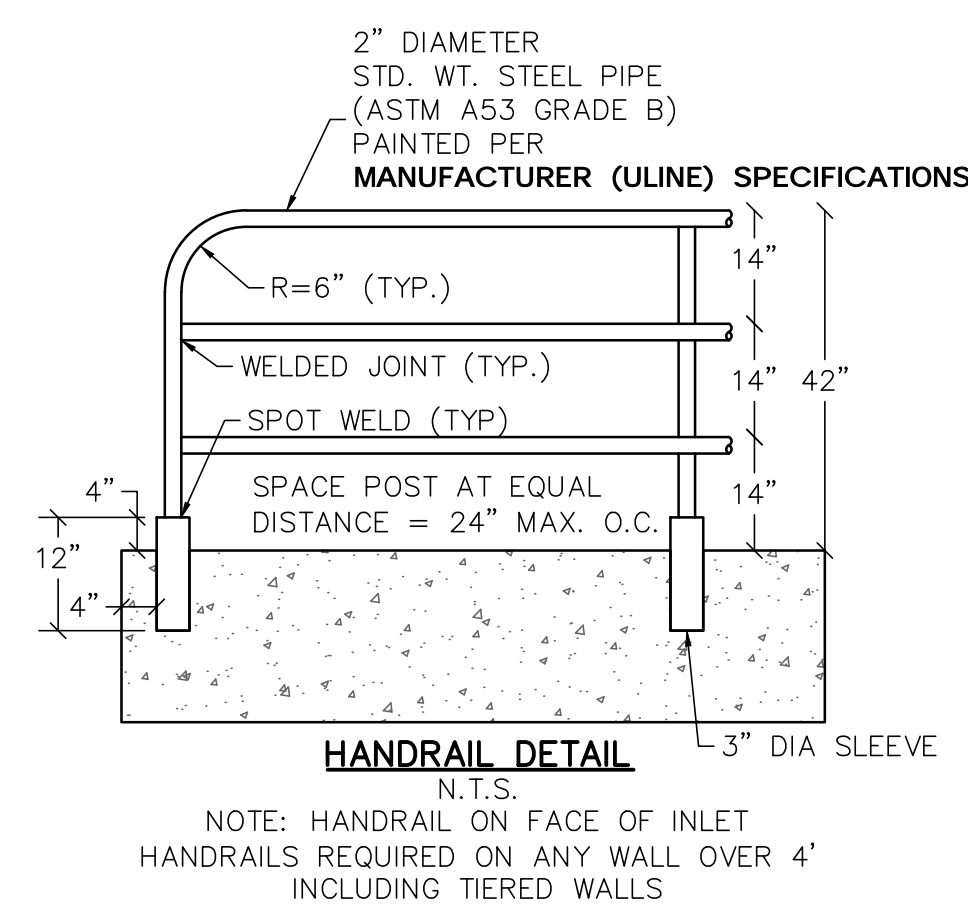
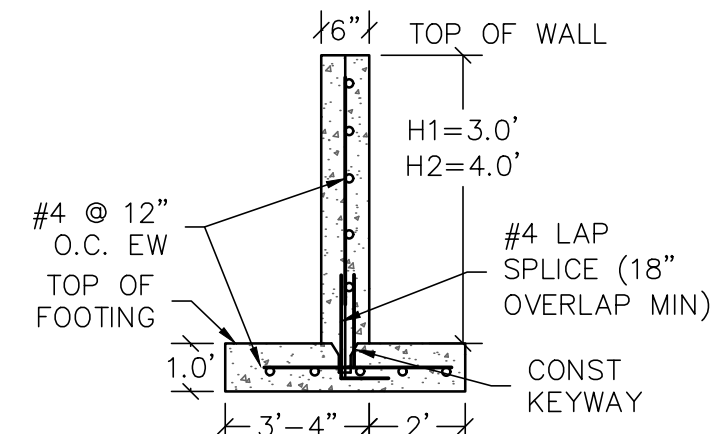
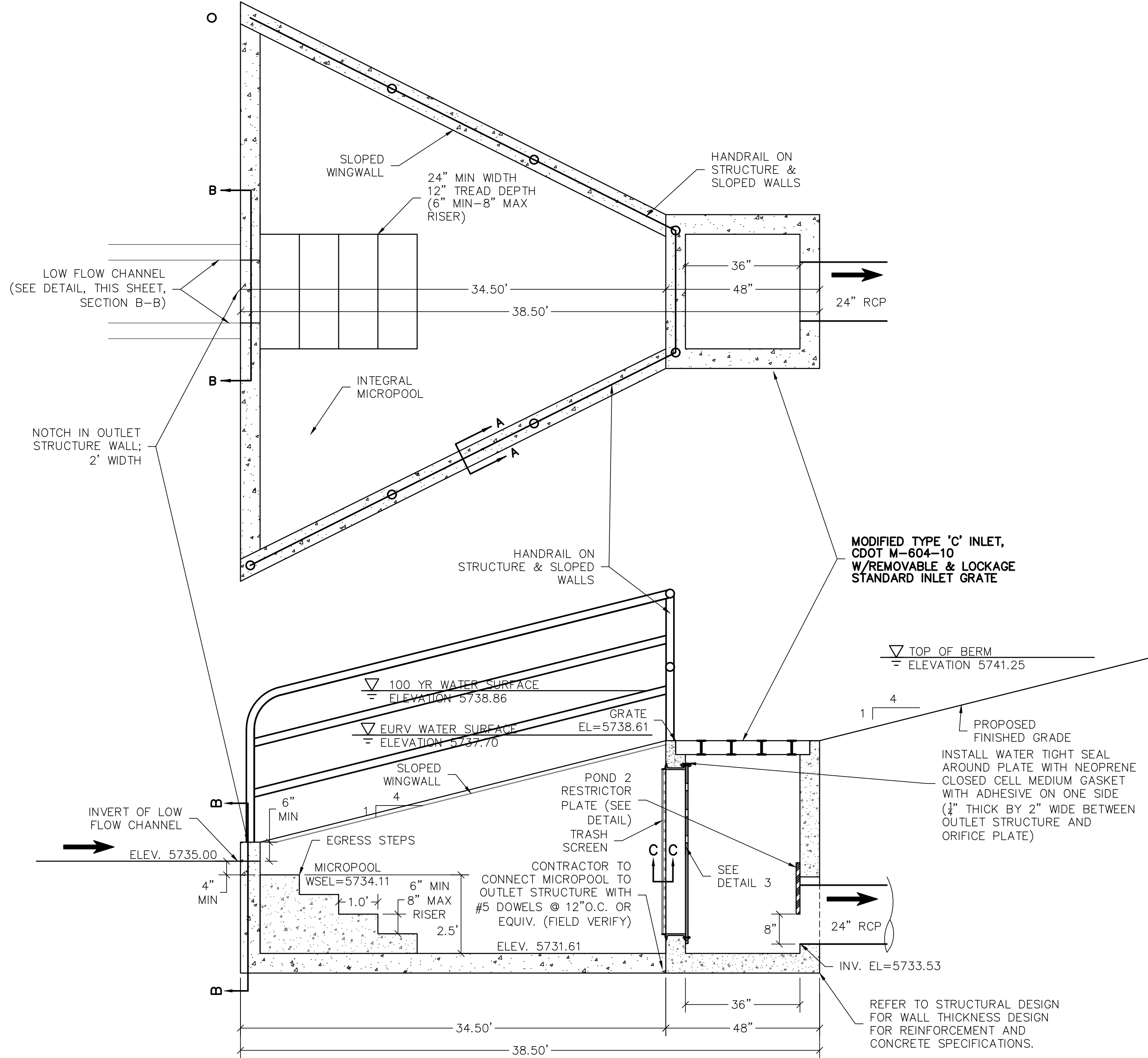
COLORADO LICENSED
RICHARD D. LYDA
23921
MECHANICAL ENGINEERING
PROFESSIONAL ENGINEER

MR. RDL	CH. RDL
P.M. RDL	
DOB	21004166
SHEET NO.	

EPC 3/1/2022

CAD FILE: 21004166-POND PLAN.DWG

5/20/2024 10:00 AM ATWELL GROUP, INC. 2004166-POND DETAILS.DWG 2/1/2022 8:44 AM ALKAR PAGE



POND SUMMARY TABLE								
DESIGN POINT	POND	TRIBUTARY AREA (AC)	WQCV WSEL	WQCV VOLUME (AC-FT)	EURV	EURV VOLUME (AC-FT)	Qs (CFS)	Q100 (CFS)
B	2	22.23	5736.64	0.303	5737.70	0.480	27.8	57.4

EPC 3/1/2022

811
Know what's below.
Call before you dig.

THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

NOTICE: CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO 80919
303.519.5100
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC
SUNSET VILLAGE FILING 4 - DRAINAGE
EL PASO COUNTY, COLORADO
CONSTRUCTION DRAWINGS
POND 2

CLIENT
DATE 1/7/2022

REVISIONS

COLORADO LICENSED PROFESSIONAL ENGINEER
80921

DR. RDL GH. RDL
P.M. RDL
JOB 21004166
SHEET NO.

CAD FILE: 21004166-POND DETAILS.DWG



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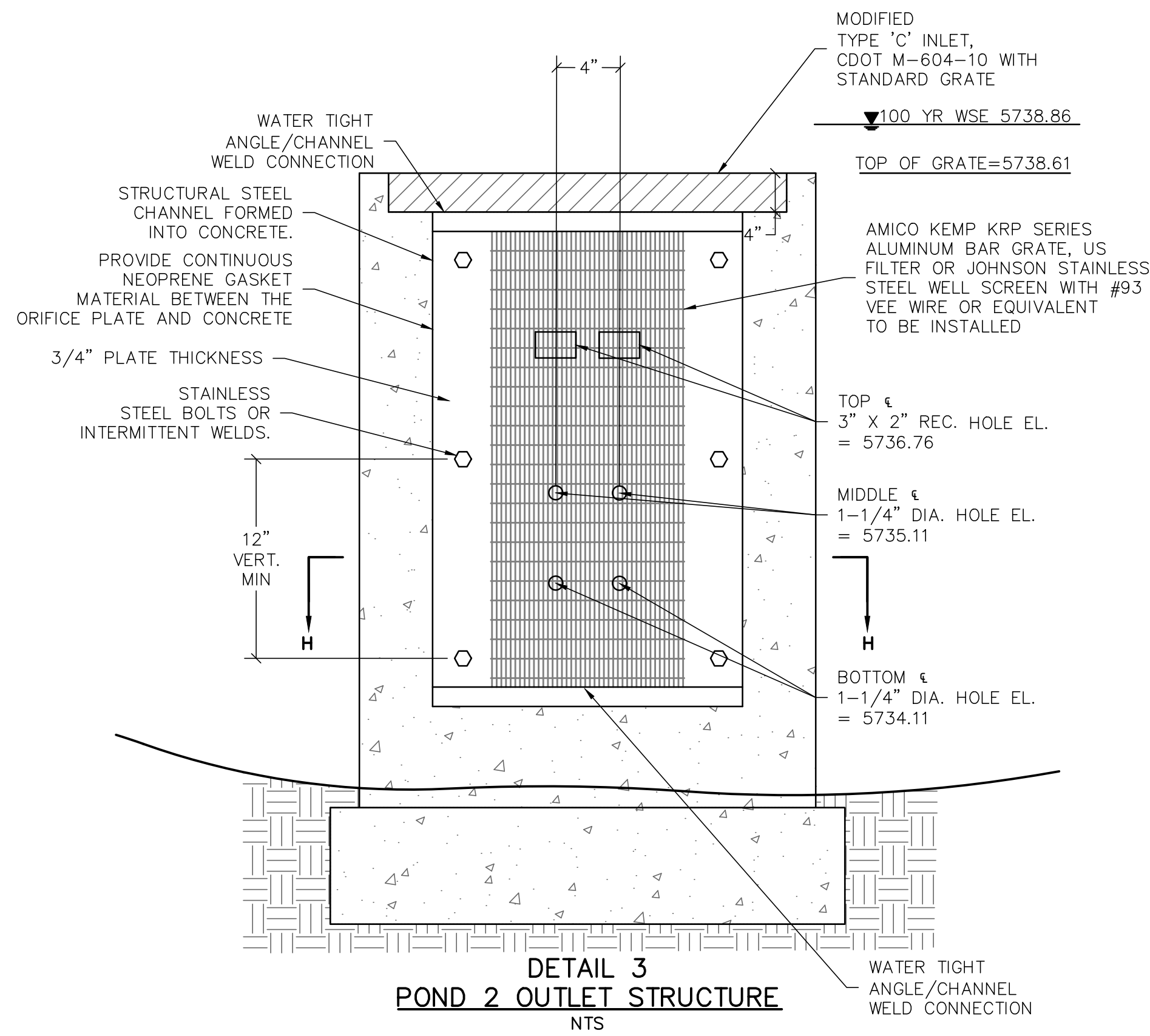
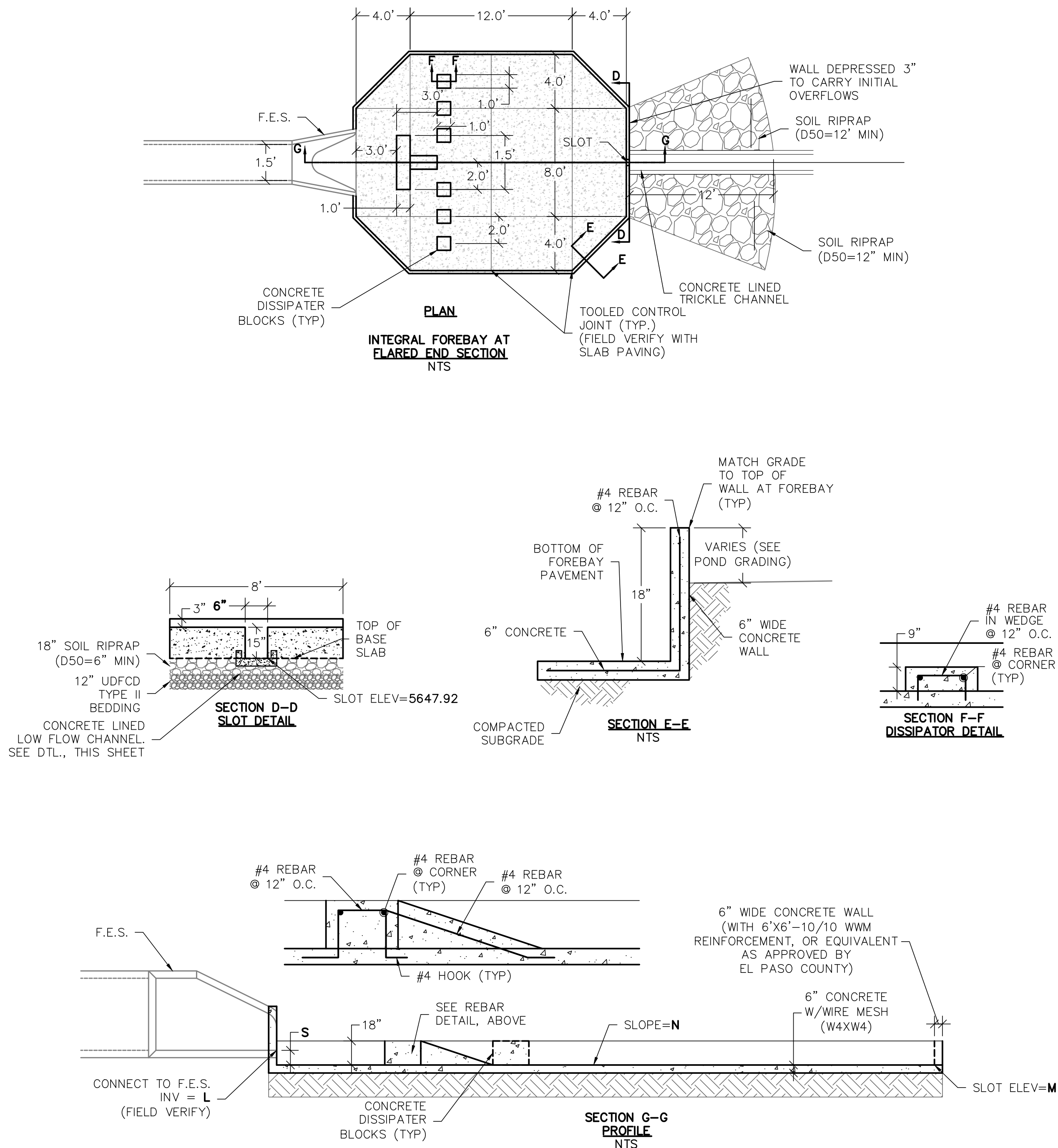
PUNCHLIST CONNECTIONS LLC
300 WINDCHIME PLACE #301
COLORADO SPRINGS, COLORADO 80919
303.519.5100
SCOTT VAN WYHE

PUNCHLIST CONNECTIONS LLC
SUNSET VILLAGE FILING 4 - DRAINAGE
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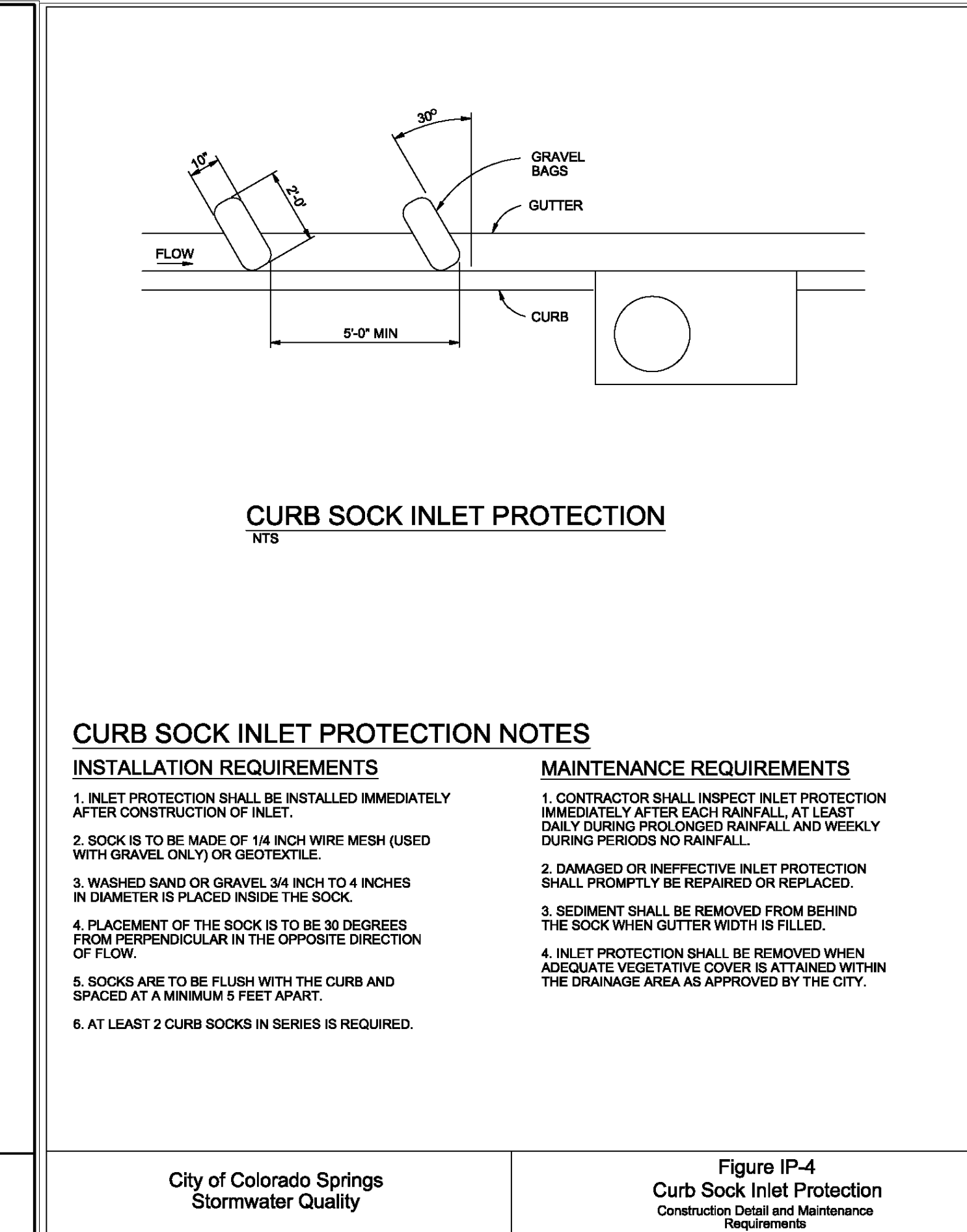
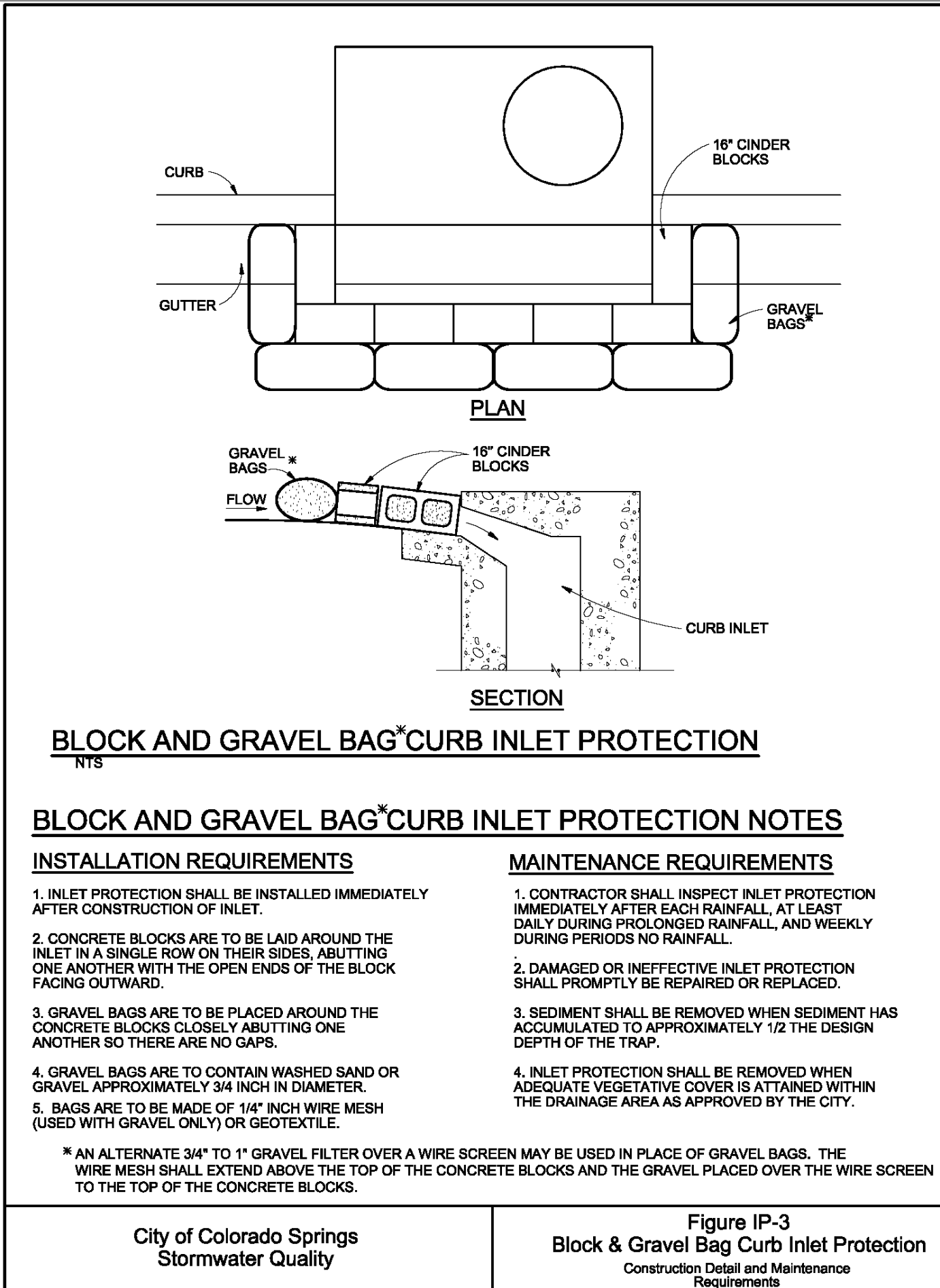
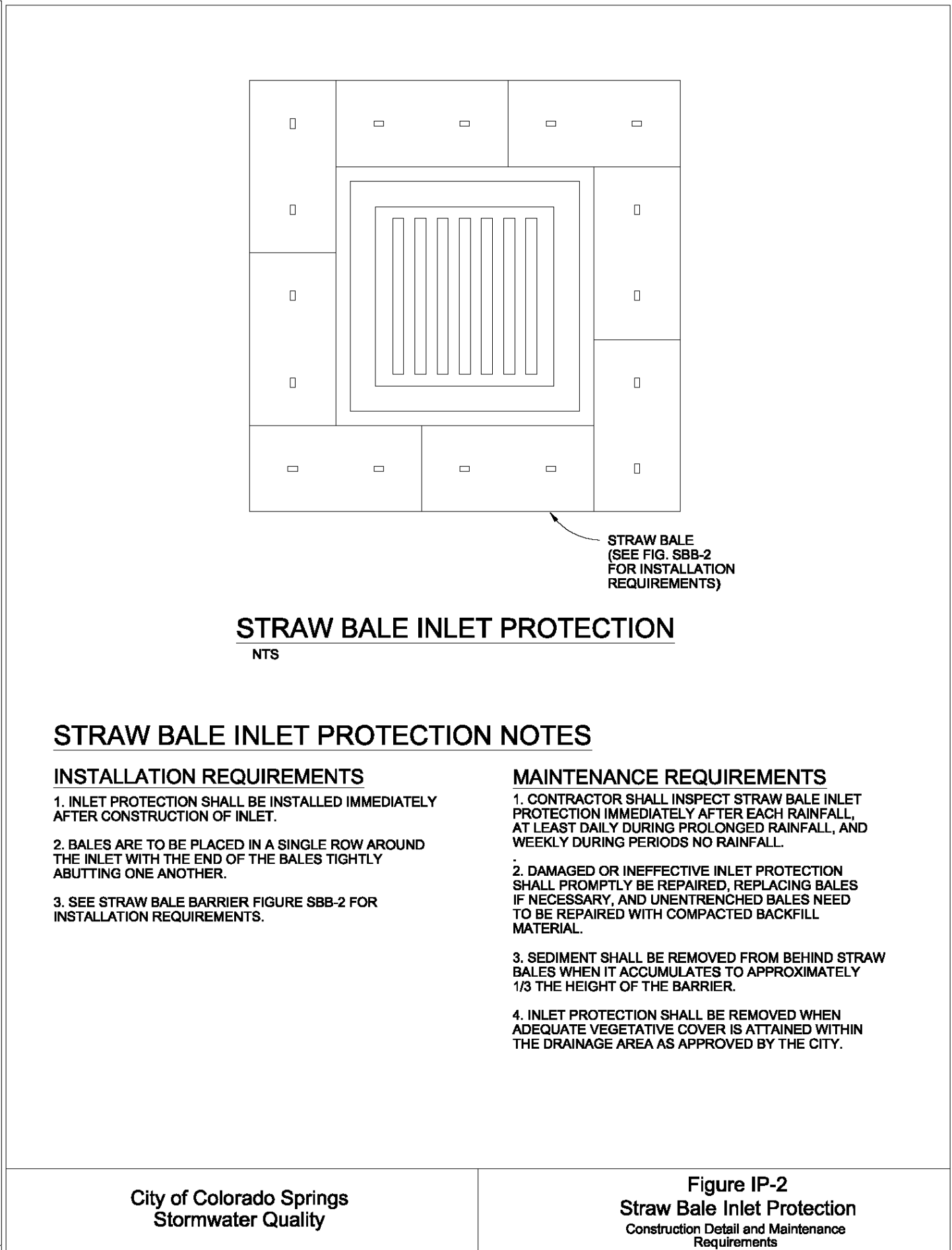
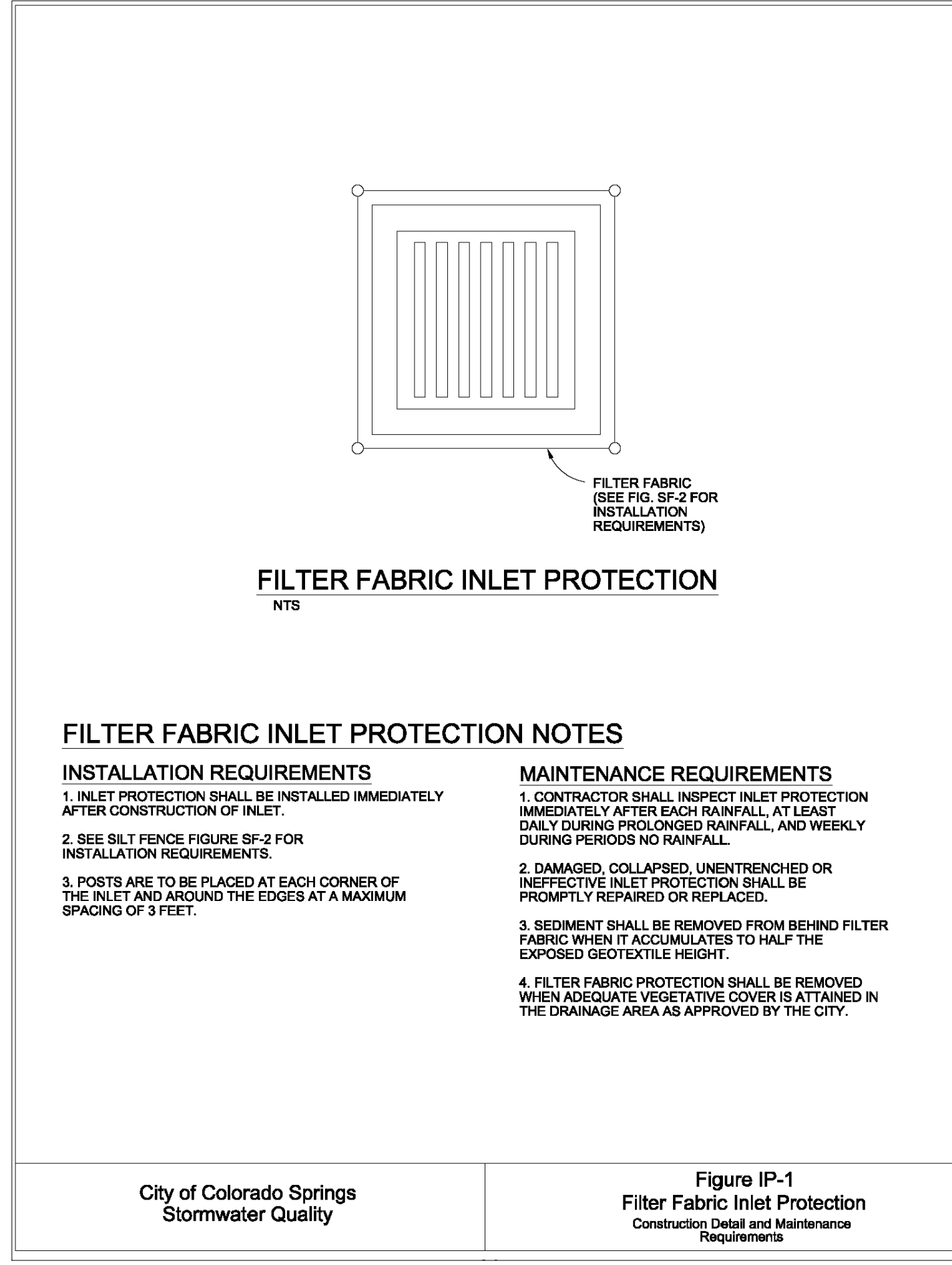
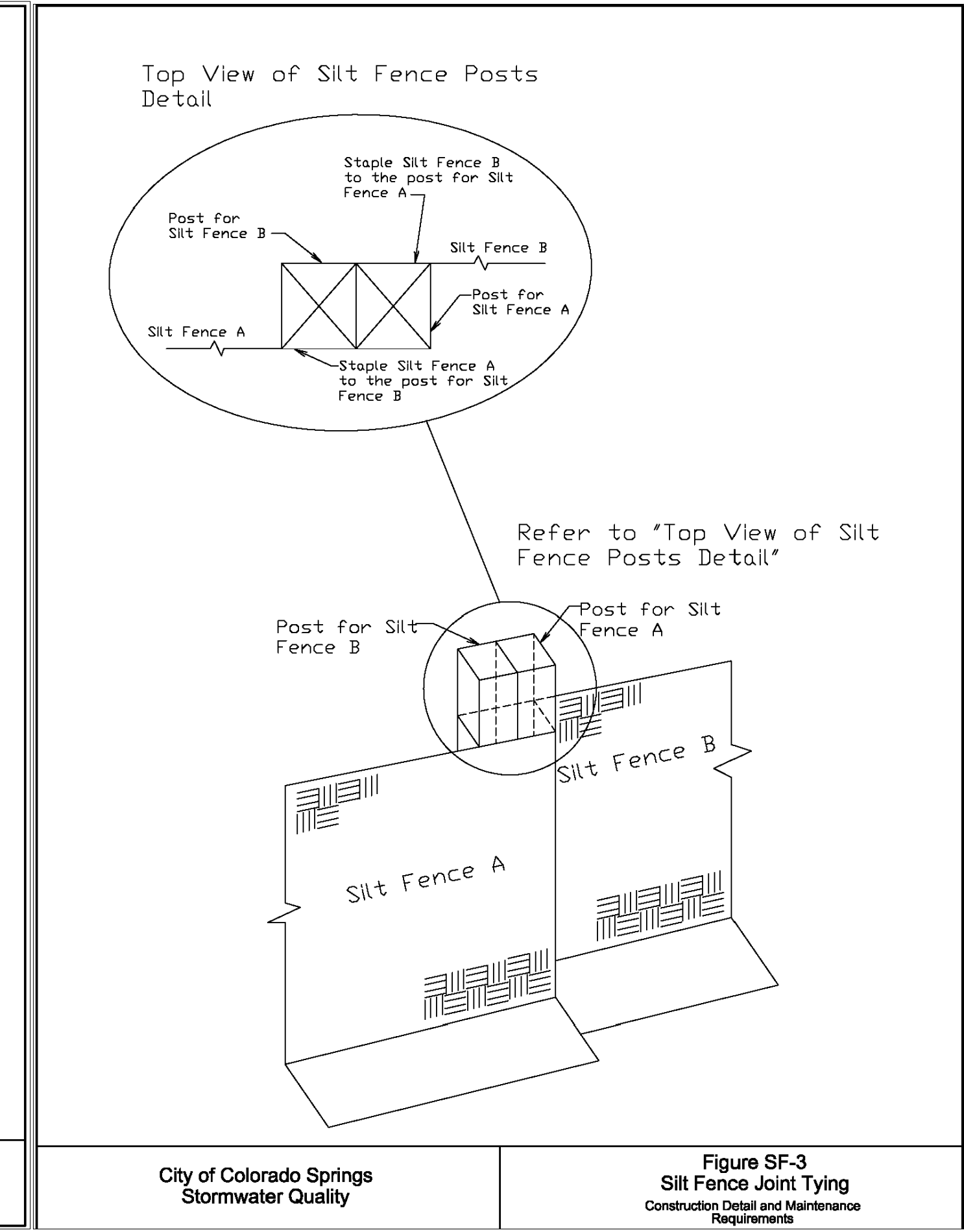
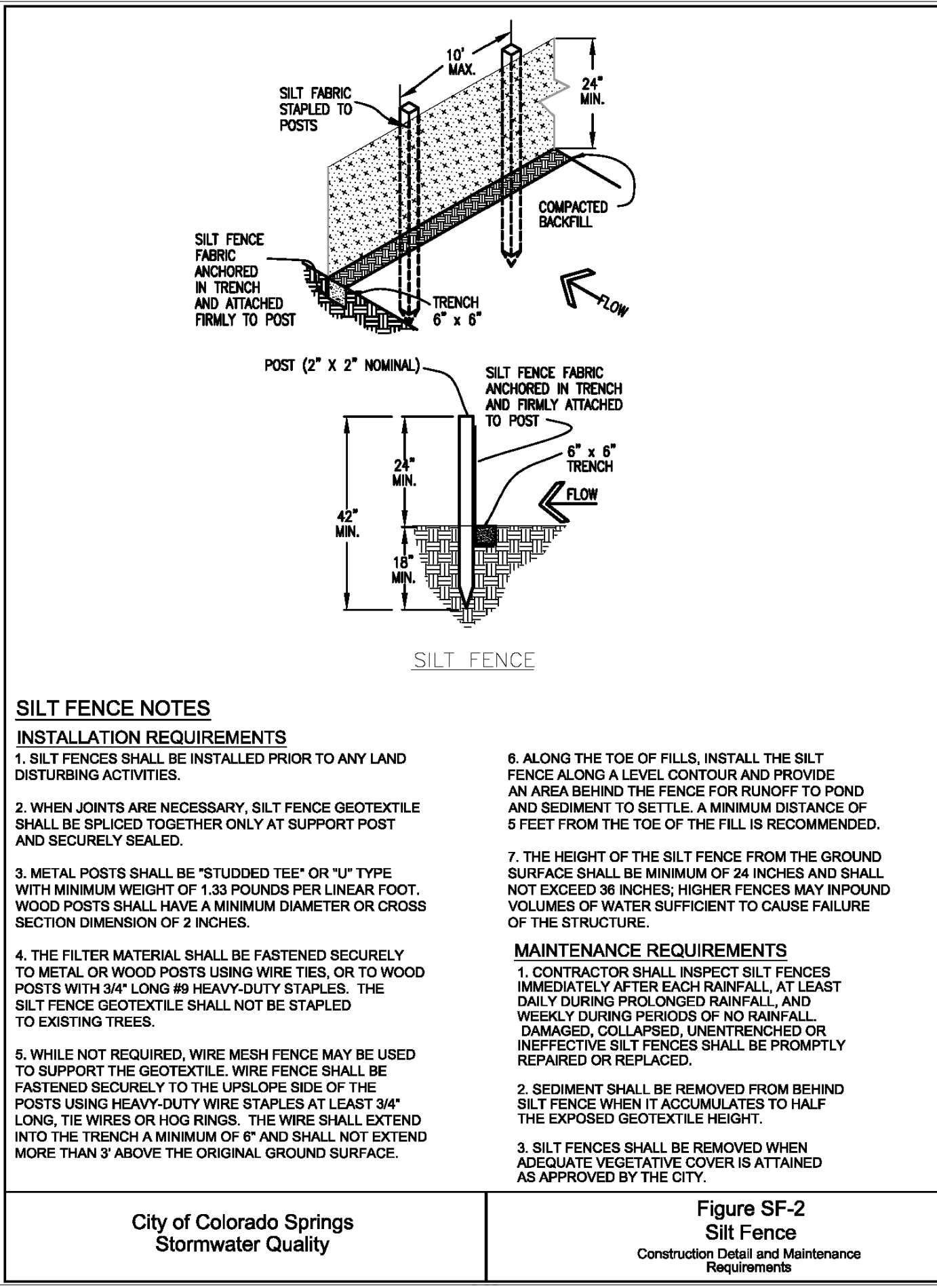
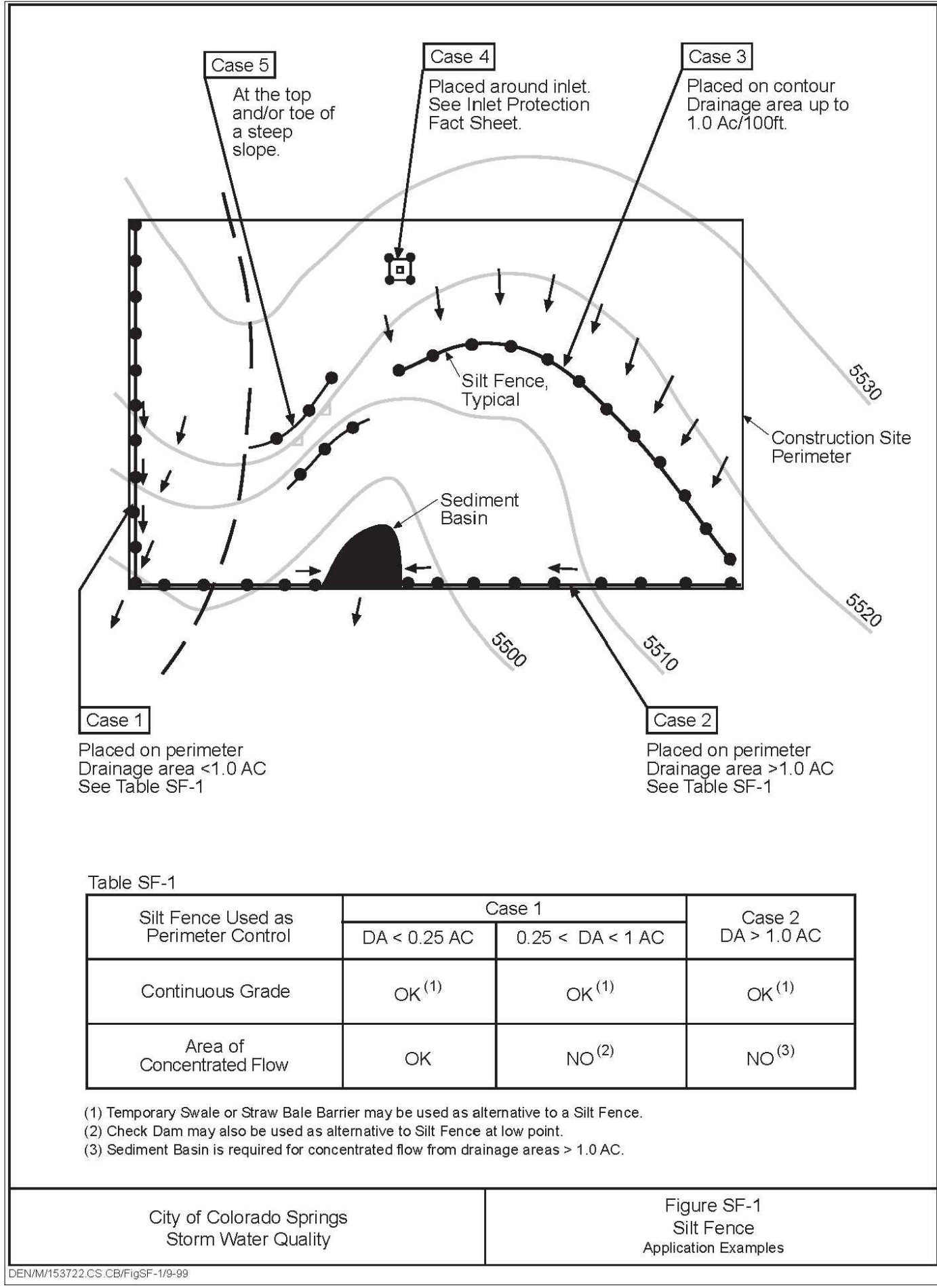
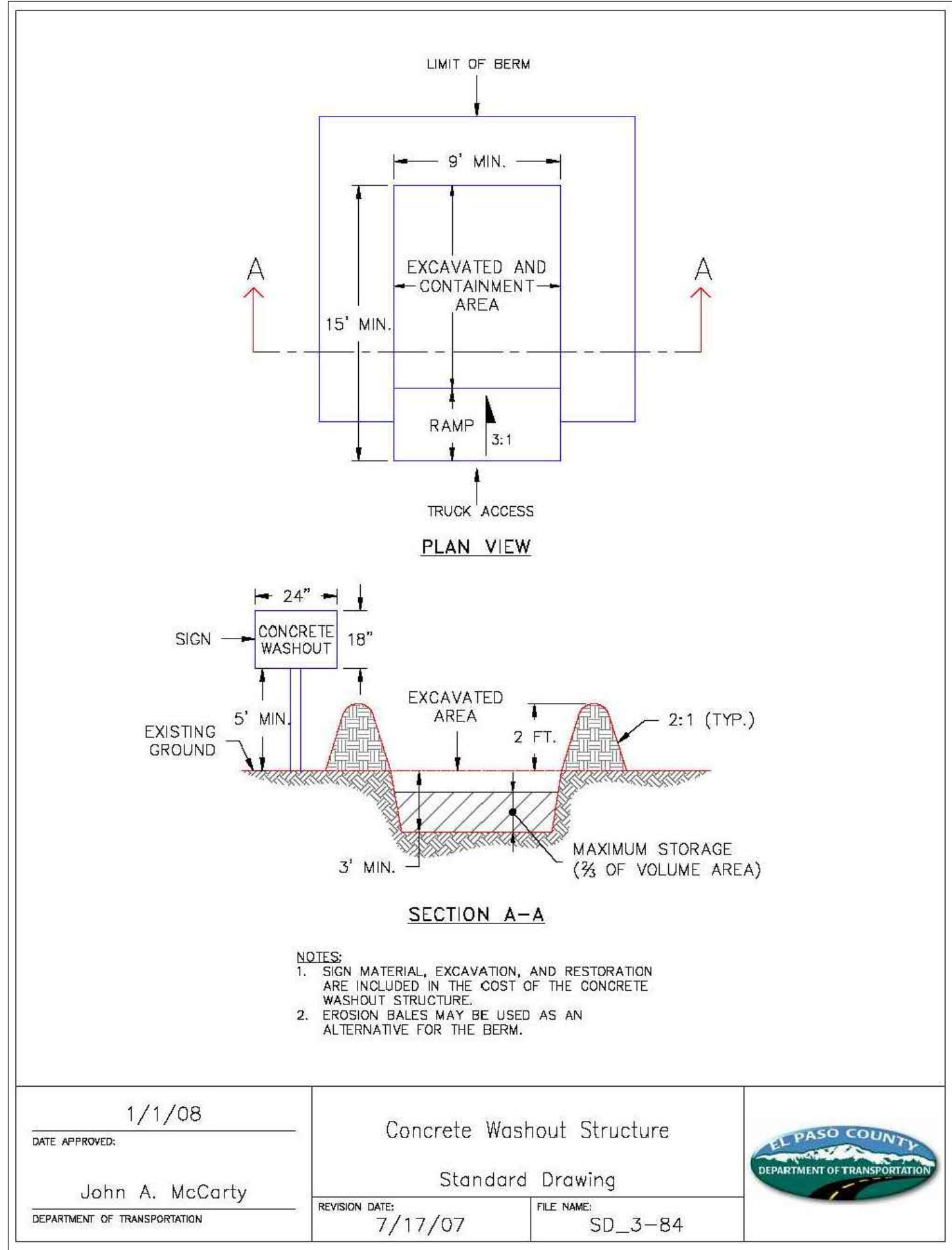
CLIENT
DATE 1/7/2022



DR. RDL | CH. RDL
P.M. RDL
JOB 21004166
SHEET NO.



FOREBAY SIZE TABLE						
FOREBAY NAME	PIPE SIZE	L	M	N	S	T
A1	18"	5648.22	5647.92	0.50%	2.5"	6"



811
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303.462.1100

SUNSET VILLAGE VIEW, LLC.
487 WINDCHIME PL. STE. #300
303-519-5100
SCOTT VAN WHYTE

SUNSET VILLAGE VIEW, LLC.
SUNSET VILLAGE FIL. NO. 4
JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

DETAILS

DATE: 12/03/2021

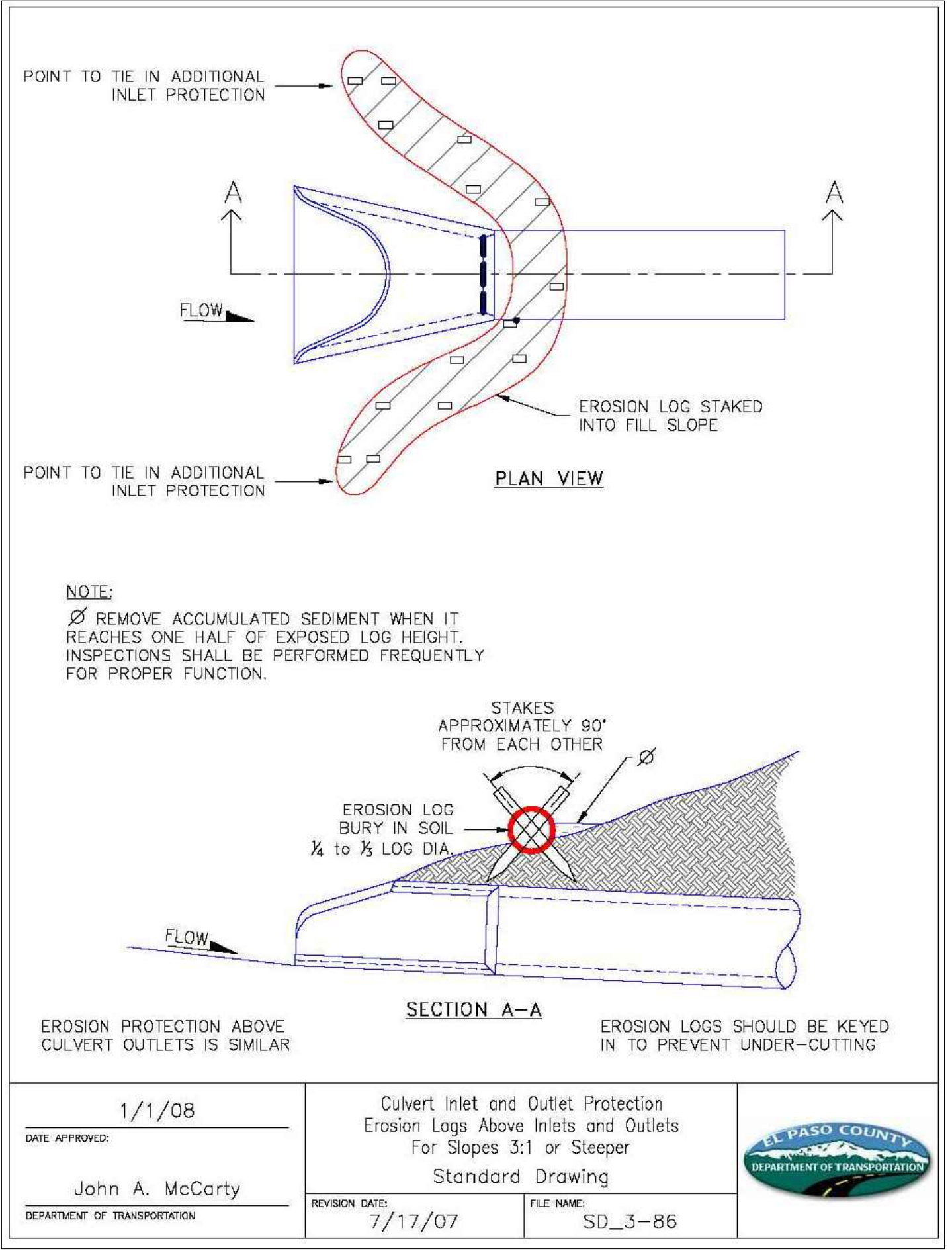
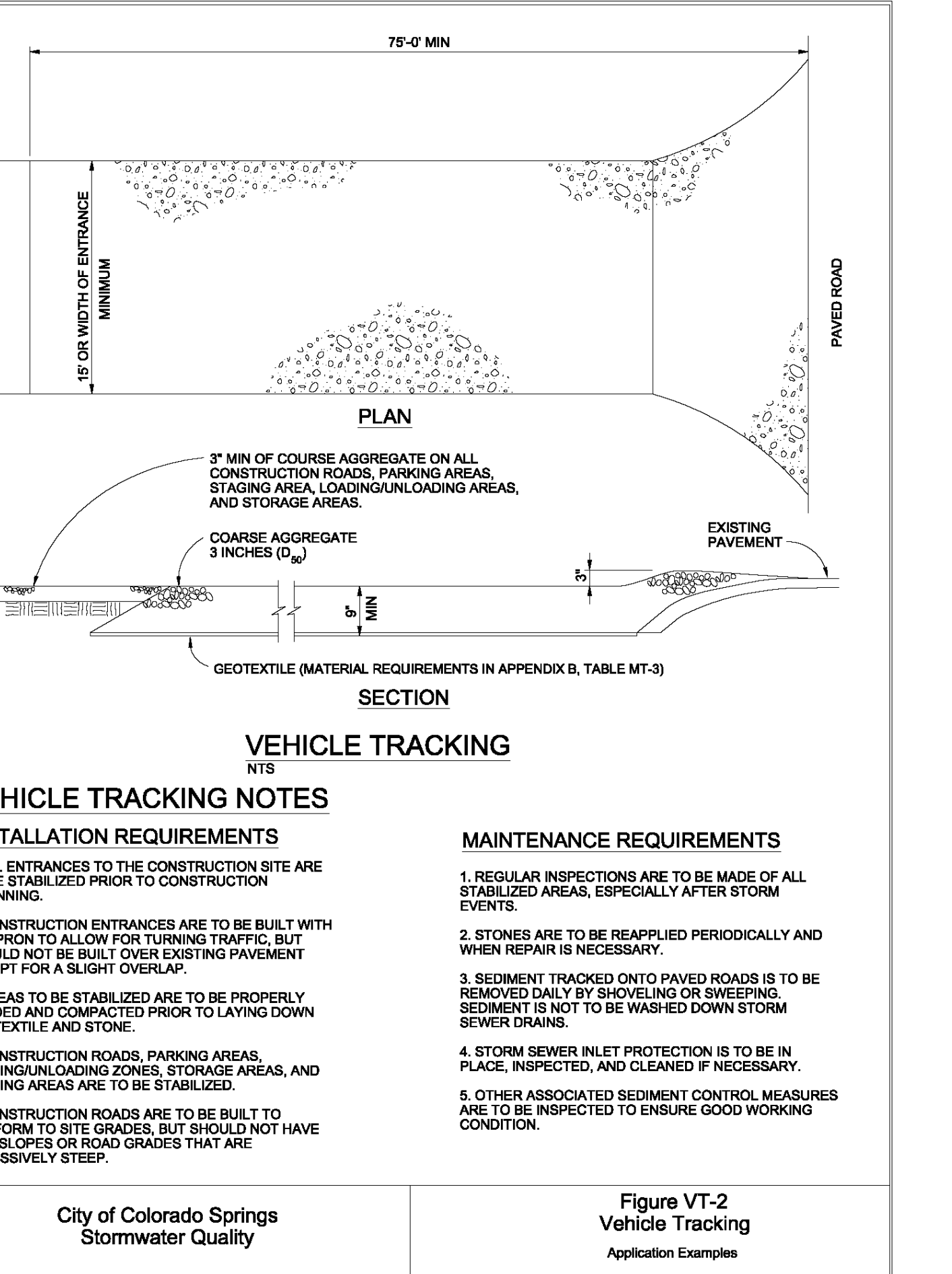
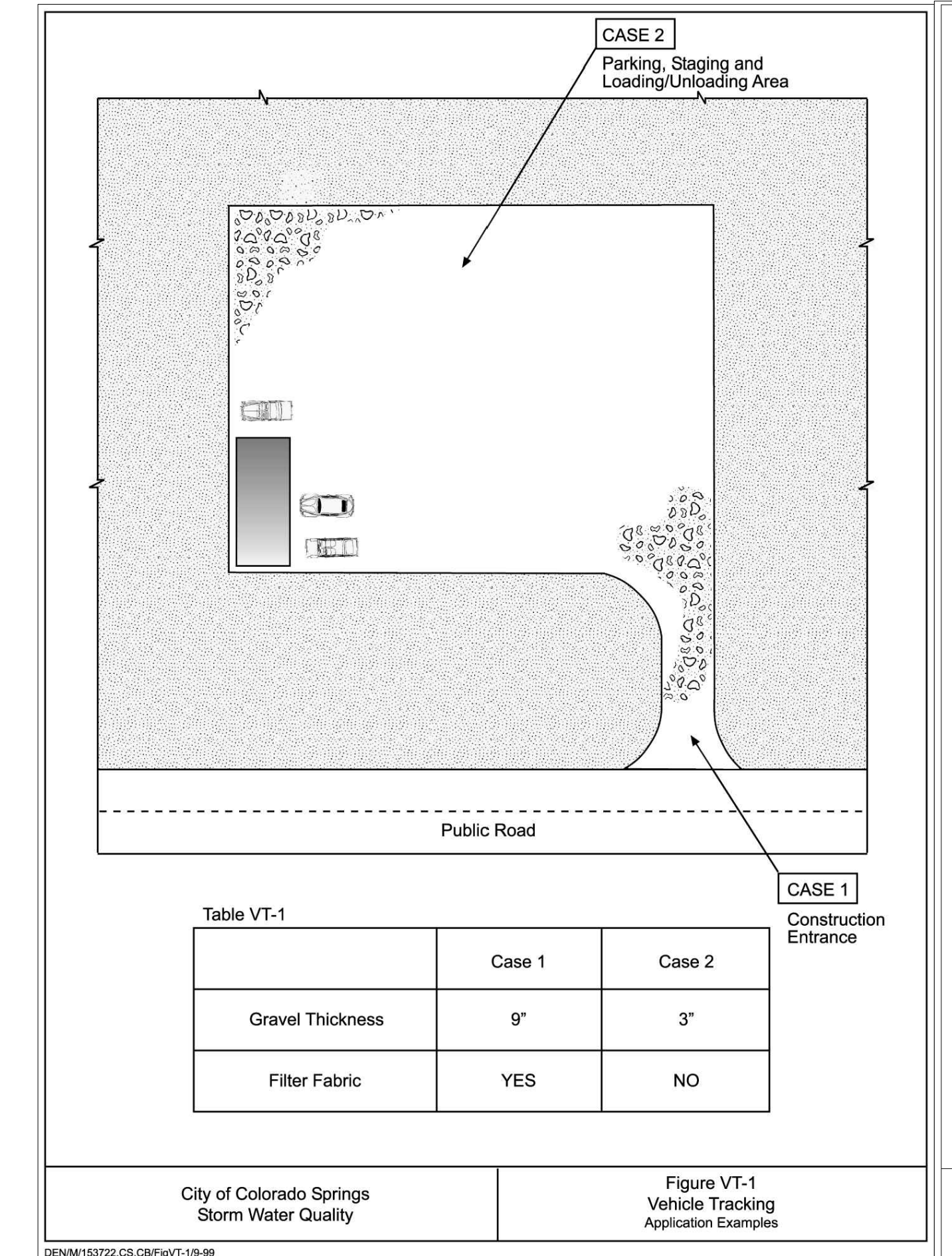
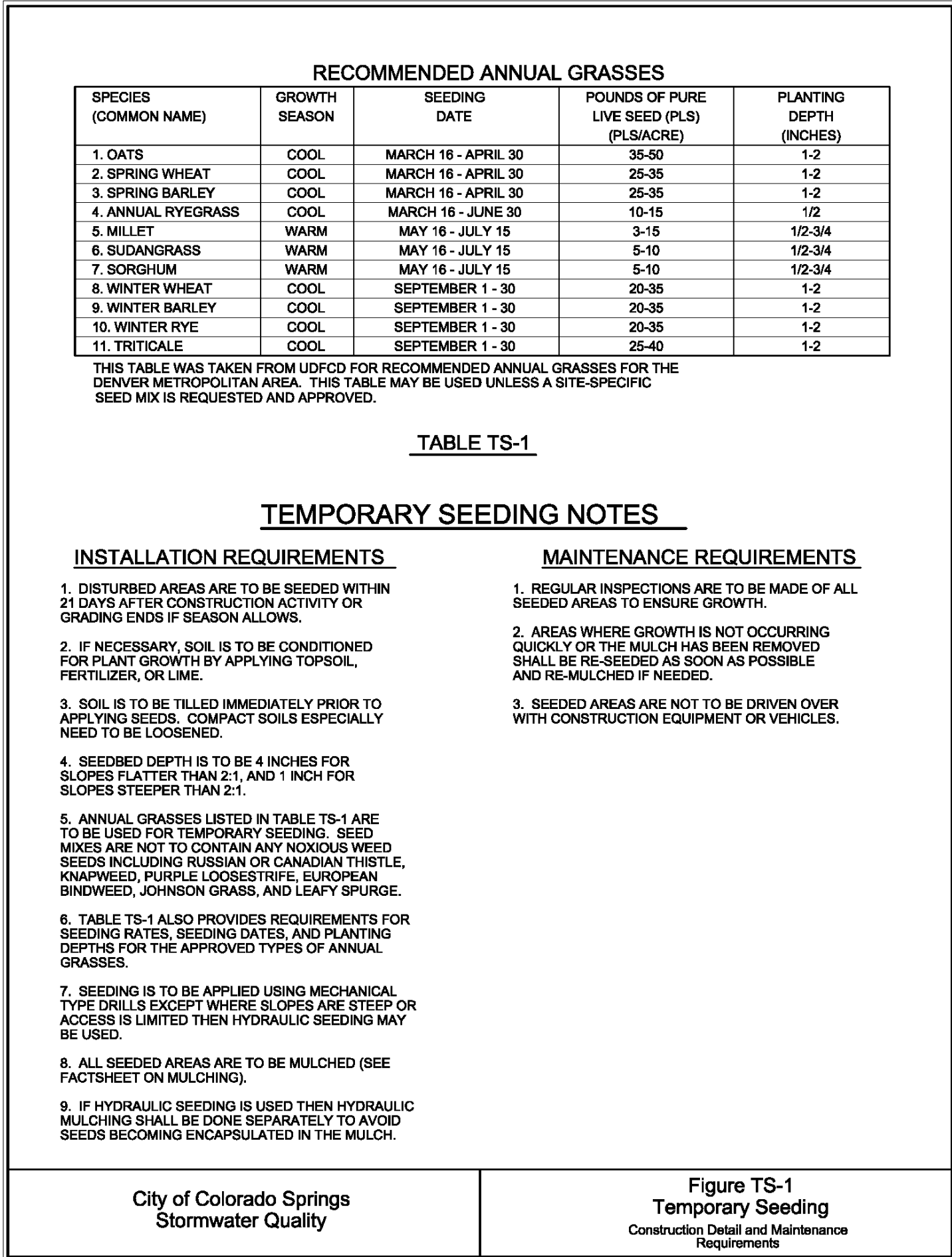
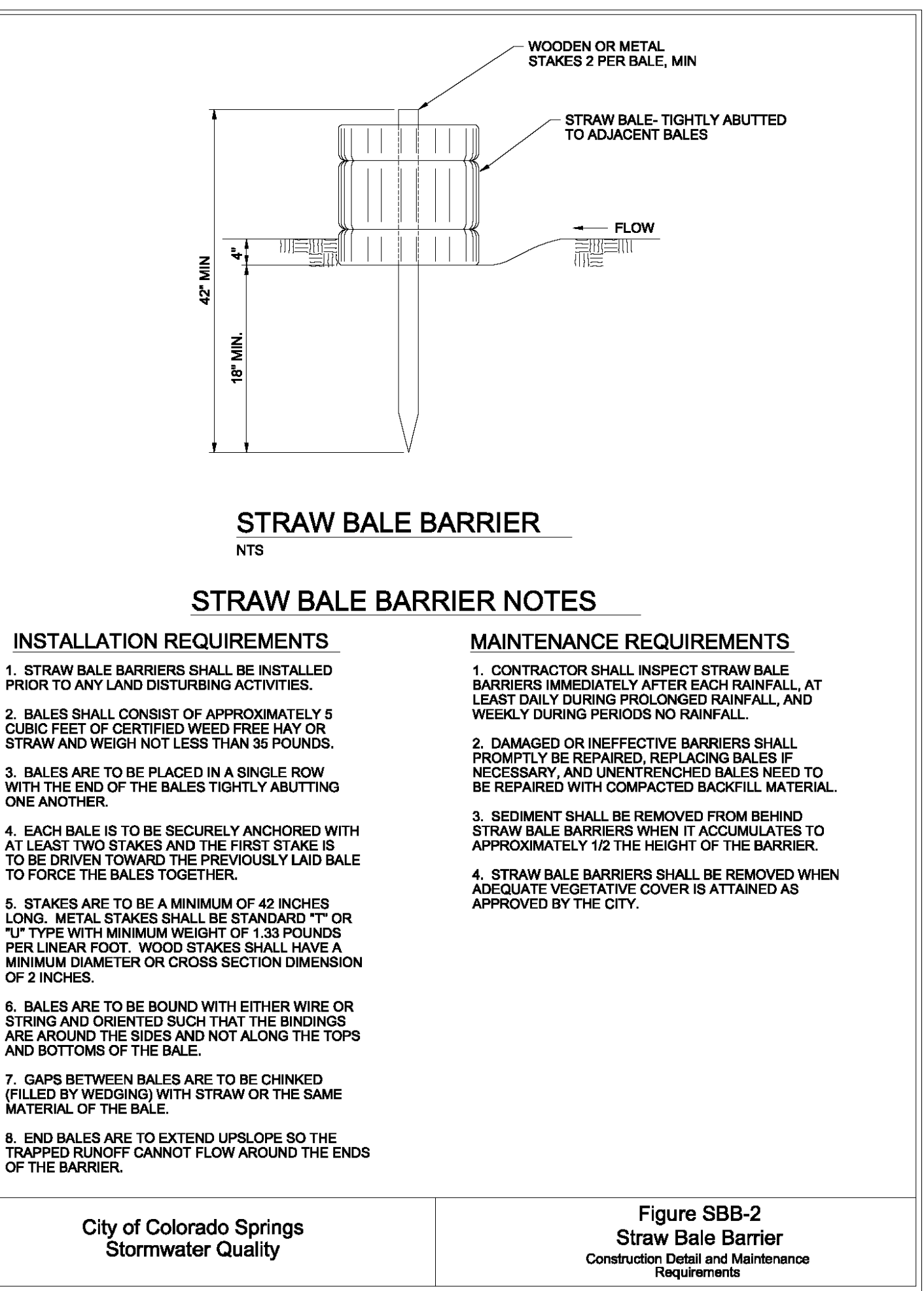
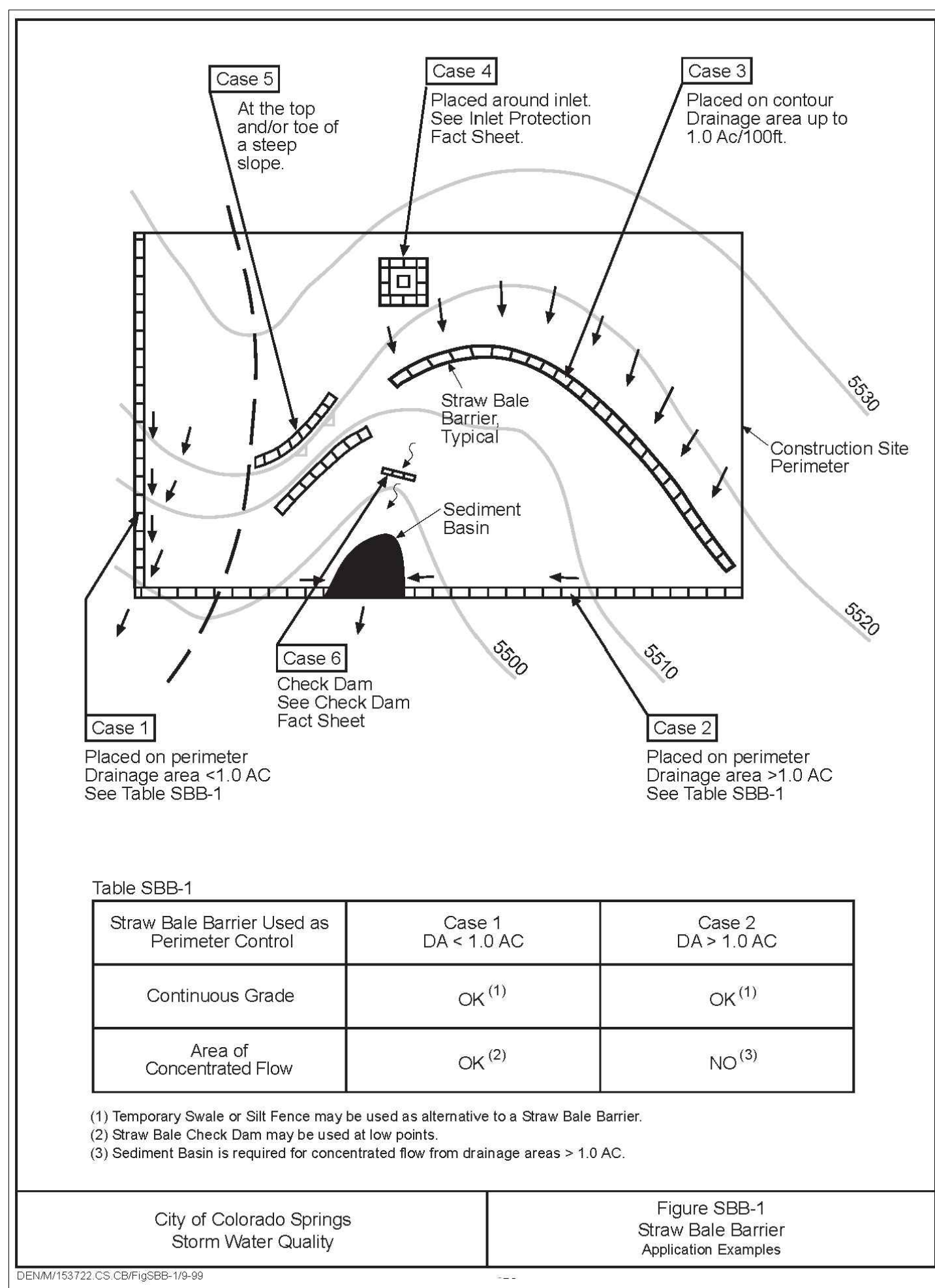
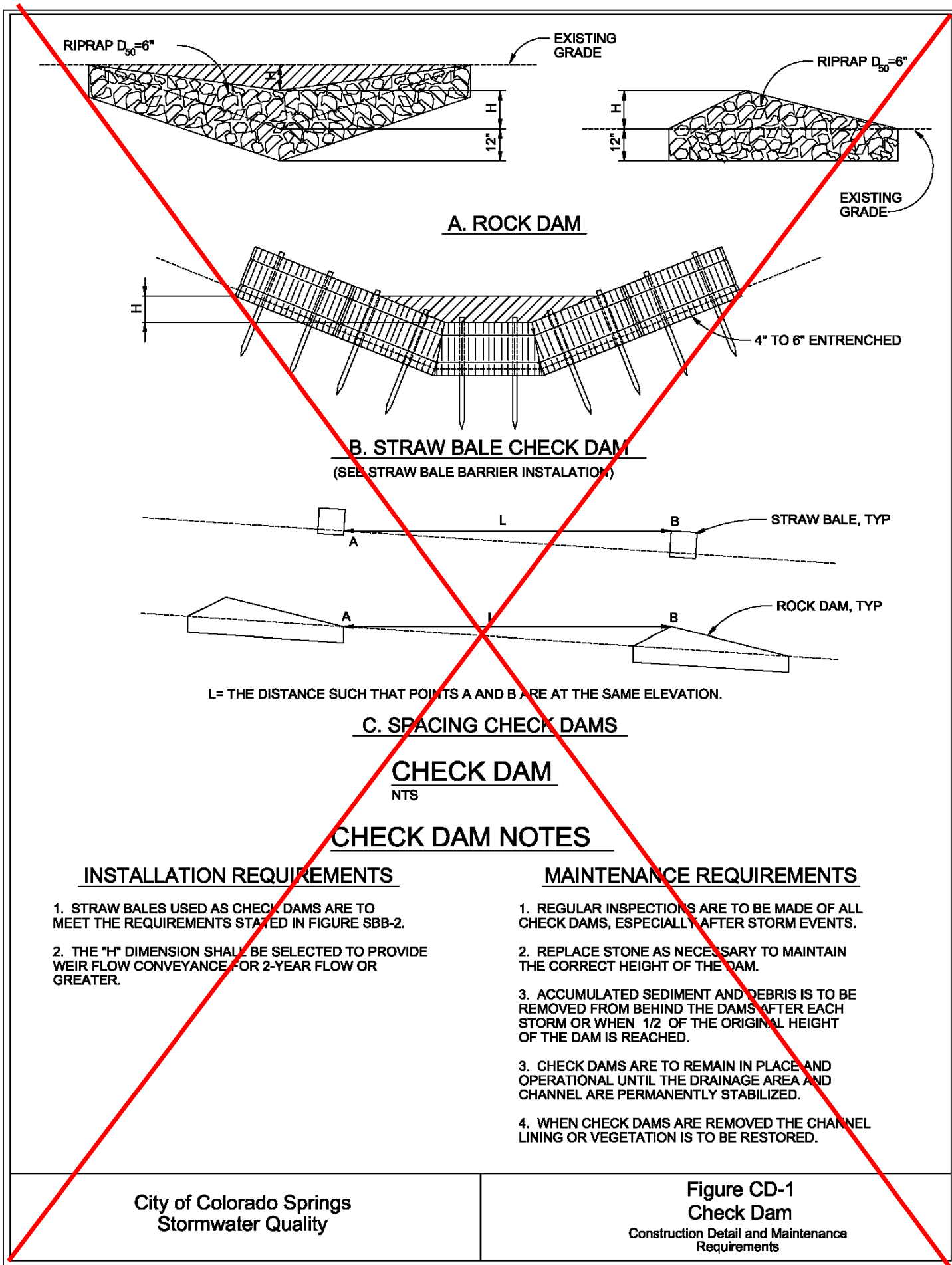
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19971

DR. RDL CH. RDL
P.M. RDL

JOB: 21004166
SHEET NO. 20

CAD FILE: 21004166-DETAILS.DWG



811

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NOTICE:
CONSTRUCTION SITE SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE ENGINEER SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OF PERSONS ENGAGED IN THE WORK, OF ANY NEARBY STRUCTURES, OR OF ANY OTHER PERSONS.

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JAYHAWK AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO

DETAILS

DATE: 12/03/2021

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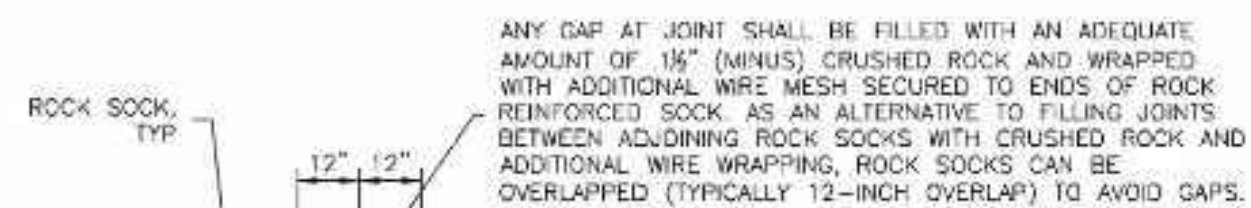
SC-5

Rock Sock (RS)



ROCK SOCK SECTION

ROCK SOCK PLAN



ROCK SOCK JOINTING

ROCK SOCK INSTALLATION NOTES

- SEE PLAN VIEW FOR: -LOCATION(S) OF ROCK SOCKS.
- CRUSHED ROCK SHALL BE 1/2" (MINUS) IN SIZE WITH A FRACTURED FACE (ALL SIDES) AND SHALL COMPLY WITH GRADATION SHOWN ON THIS SHEET (1/2" MINUS).
- WIRE MESH SHALL BE FABRICATED OF 10 GAGE POULTRY MESH, OR EQUIVALENT, WITH A MAXIMUM OPENING OF 1/2", RECOMMENDED MINIMUM ROLL WIDTH OF 48"
- WIRE MESH SHALL BE SECURED USING "HOC RINGS" OR WIRE TIES AT 6" CENTERS ALONG ALL JOINTS AND AT 2" CENTERS ON ENDS OF SOCKS.
- SOME MUNICIPALITIES MAY ALLOW THE USE OF FILTER FABRIC AS AN ALTERNATIVE TO WIRE MESH FOR THE ROCK ENCLOSURE.

RS-1. ROCK SOCK PERIMETER CONTROL

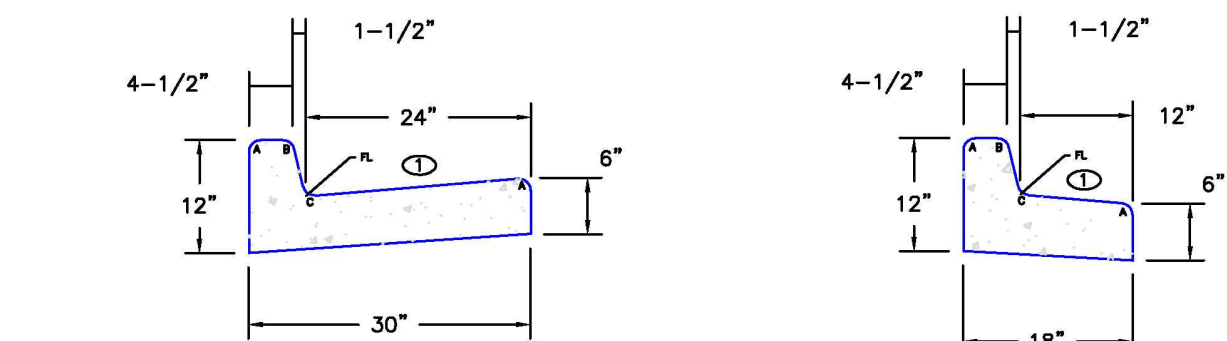
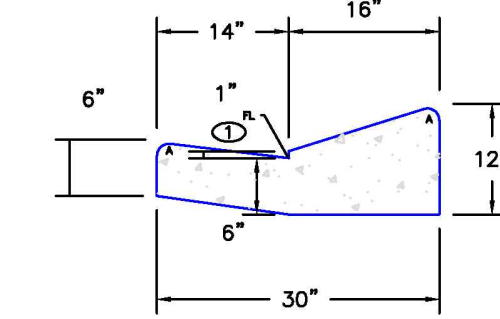
ROCK SOCK MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SOCKS SHALL BE REPLACED IF THEY BECOME HEAVILY SOILED, OR DAMAGED BEYOND REPAIR.
- SEDIMENT ACCUMULATED UPSTREAM OF ROCK SOCKS SHALL BE REMOVED AS NEEDED TO MAINTAIN FUNCTIONALITY OF THE BMP. TYPICALLY WHEN DEPTH OF ACCUMULATED SEDIMENT IS APPROXIMATELY 1/2 OF THE HEIGHT OF THE ROCK SOCK.
- ROCK SOCKS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS STABILIZED AND APPROVED BY THE LOCAL JURISDICTION.
- WHEN ROCK SOCKS ARE REMOVED, ALL DISTURBED AREAS SHALL BE COVERED WITH TOPSOIL, SEEDED AND MULCHED OR OTHERWISE STABILIZED AS APPROVED BY LOCAL JURISDICTION.

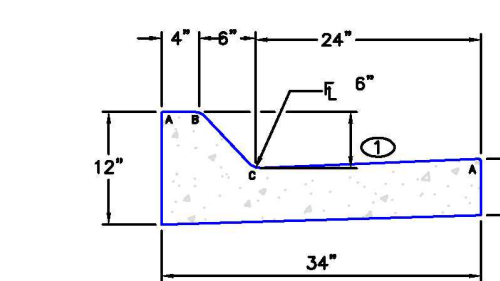
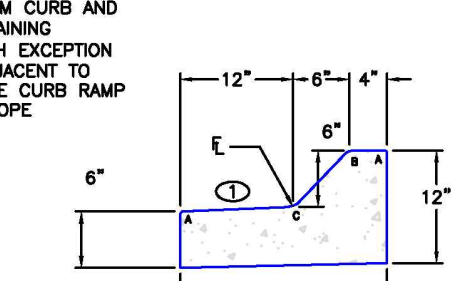
(DETAIL ADAPTED FROM TOWN OF PARKER, COLORADO AND CITY OF AURORA, COLORADO, NOT AVAILABLE IN AUTOCAD)

NOTE: MANY JURISDICTIONS HAVE BMP DETAILS THAT VARY FROM UDFCD STANDARD DETAILS. CONSULT WITH LOCAL JURISDICTIONS AS TO WHICH DETAIL SHOULD BE USED WHEN DIFFERENCES ARE NOTED.

NOTE: THE DETAILS INCLUDED WITH THIS FACT SHEET SHOW COMMONLY USED, CONVENTIONAL METHODS OF ROCK SOCK INSTALLATION IN THE DENVER METROPOLITAN AREA. THERE ARE MANY OTHER SIMILAR PROPRIETARY PRODUCTS ON THE MARKET. UDFCD NEITHER ENDORSES NOR DISCOURAGES USE OF PROPRIETARY PROTECTION PRODUCTS; HOWEVER, IN THE EVENT PROPRIETARY METHODS ARE USED, THE APPROPRIATE DETAIL FROM THE MANUFACTURER MUST BE INCLUDED IN THE SWMP AND THE BMP MUST BE INSTALLED AND MAINTAINED AS SHOWN IN THE MANUFACTURER'S DETAILS.

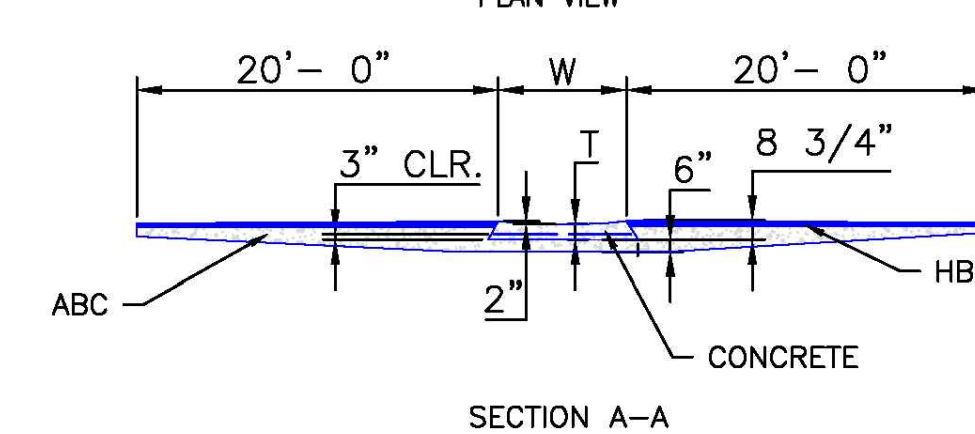
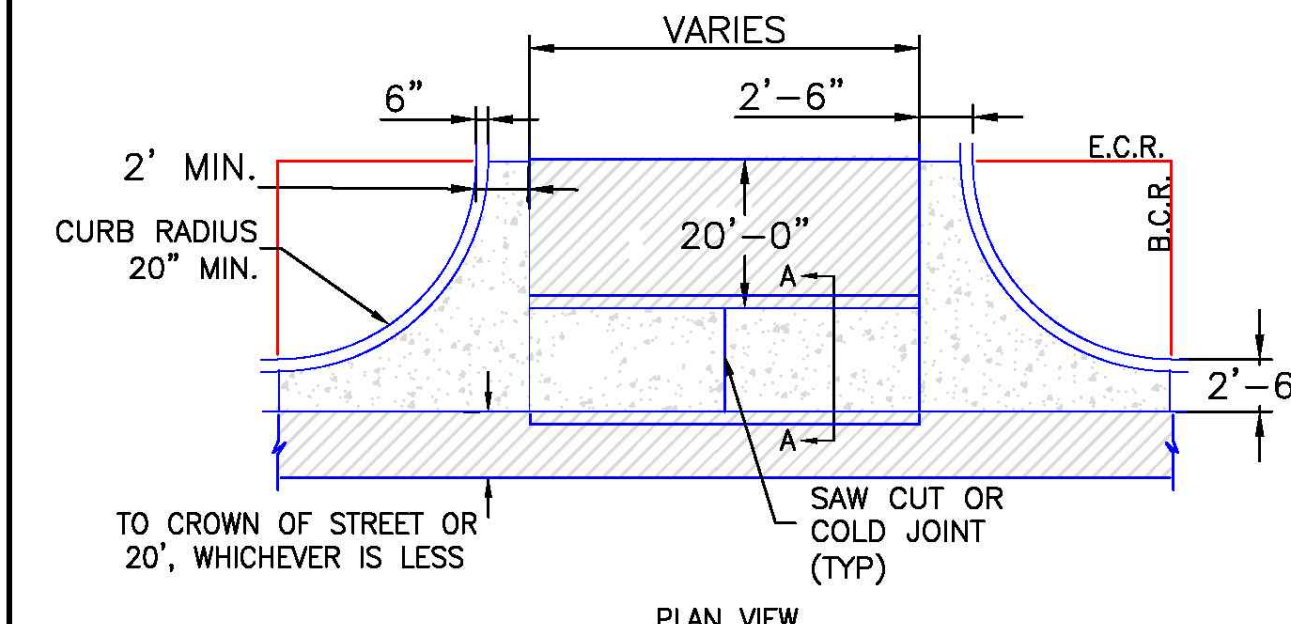
EPC TYPE A
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE B
(REVERSE SLOPE OF PAN FOR SPILL CURB)EPC TYPE C
(REVERSE SLOPE OF PAN FOR SPILL CURB)

EPC OPTIONAL TYPE C

EPC TYPE D
(6" RAMP CURB)EPC TYPE E
(6" RAMP CURB)

SCALE: NOT TO SCALE

6/23/20	Typical Curb and Gutter Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-20	

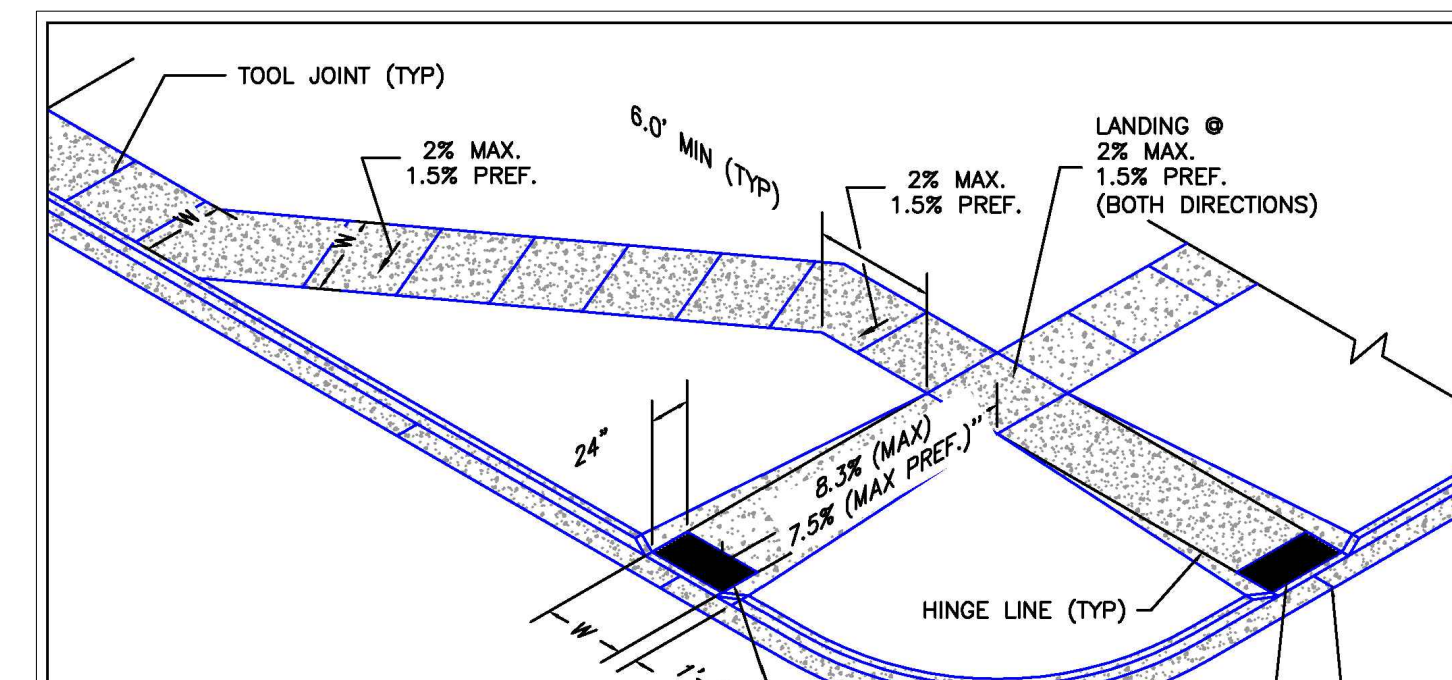


NOTES

- W - WIDTH SHALL BE 6' FOR LOCAL, 8' FOR COLLECTORS, AND 10' FOR ARTERIAL ROADS.
- T - SLOPED-OFF RETURN TO BE POURED MONOLITHICALLY, 8" PCC FOR LOCAL ROADS, 9" FOR COLLECTORS WITH 6x6 - 4.4 W.W.F. OR #4 REINFORCING BAR @ 18" EACH WAY.
- 3" MINIMUM ASPHALT DEPTH (2 LIFTS).
- DESIGN TO SPECIFY ELEVATIONS AT PI AND PCR.

SCALE: NOT TO SCALE

8/11/11	Typical Cross Pan Layout Detail		EL PASO COUNTY
DATE APPROVED: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	DEPARTMENT OF TRANSPORTATION



W=SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

PEDESTRIAN RAMP NOTES

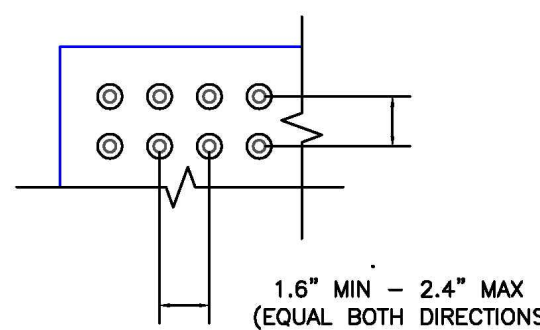
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN CURB RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- PEDESTRIAN CURB RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 8.3% MAXIMUM RUNNING RAMP SLOPE DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS. SEE EGM SECTION 6.3.5 FOR PEDESTRIAN PUSHBUTTON LOCATION REQUIREMENTS.
- DETECTABLE WARNING SURFACE SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING SURFACE SHALL BE PREFABRICATED, CAST IRON (OPTIMA NATURAL FINISH) AND IN ACCORDANCE WITH EGM CHAPTER 8 AND SD-2-42. THERMOPLASTIC TRUNCATED DOMES AND PAVERS WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING SURFACE SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE FLARE AREA.
- PEDESTRIAN CURB RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK, 4' MINIMUM.
- ALL PEDESTRIAN CURB RAMPs WILL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMPs WHICH MAY BE PARALLEL, SUBJECT TO APPROVAL.
- DRAINAGE STRUCTURES, TRAFFIC SIGNAL/BOXES, UTILITIES/JUNCTION BOXES, OR OTHER OBSTRUCTIONS WITHIN PROPOSED PEDESTRIAN CURB RAMP AREAS AND LANDINGS ARE PROHIBITED.
- THE COUNTER SLOPE OF THE GUTTER OR ROAD AT THE FOOT OF A RAMP SHALL NOT EXCEED 3%.

GENERAL NOTES

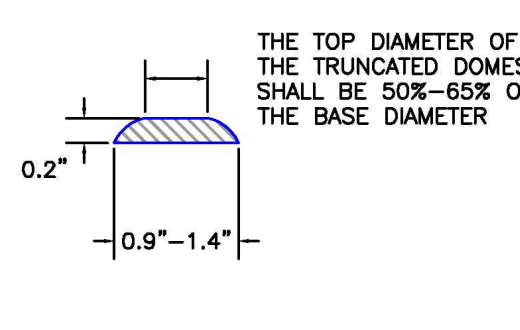
- WHERE THE 1'-6" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA (PEDESTRIAN CIRCULATION PATH), THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY (PEDESTRIAN ACCESS ROUTE) AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPs ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPs.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPs, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

6/23/20	Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-41	

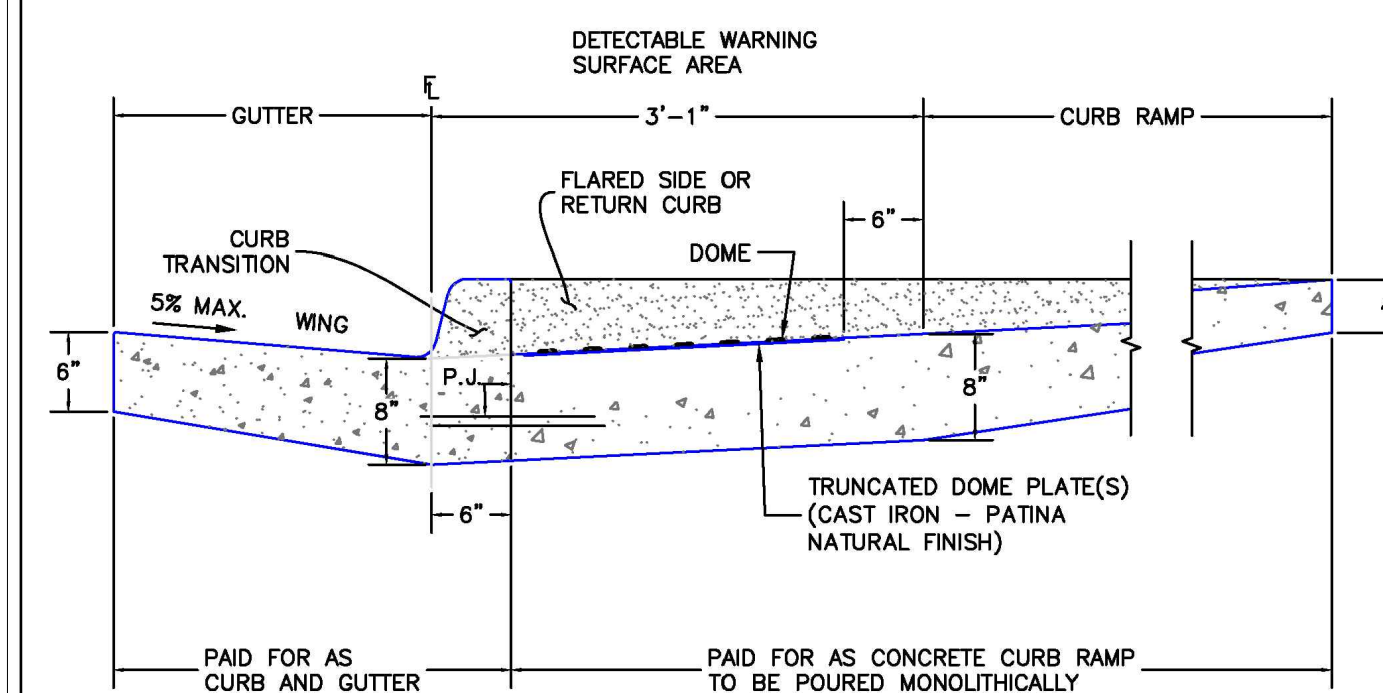
TRUNCATED DOME DETAILS



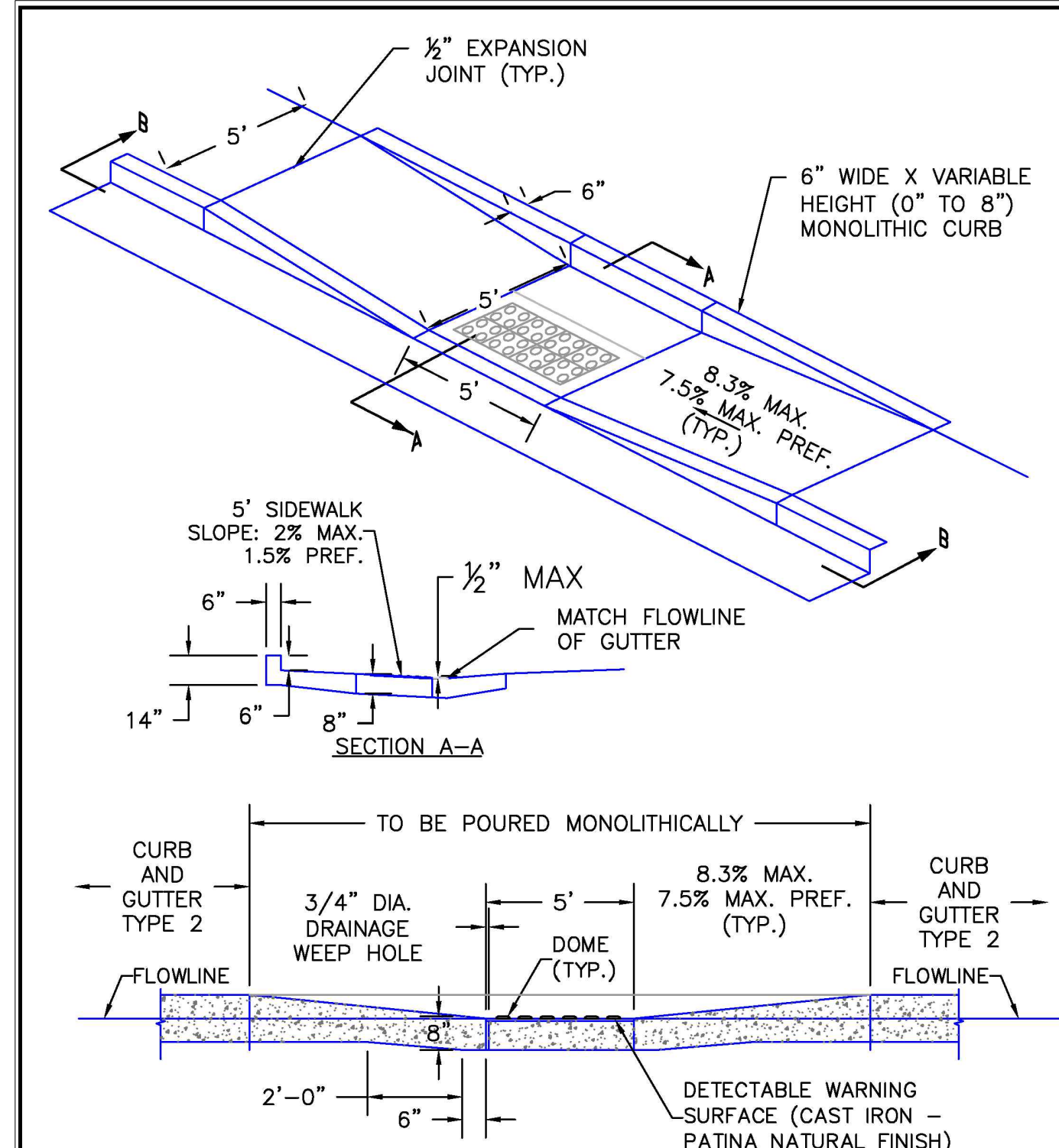
DOME SPACING



ELEVATION VIEW

SIDE CROSS SECTION VIEW OF
DETECTABLE WARNING SURFACE, CURB AND GUTTER

6/23/20	Detectable Warning Surface Details		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-42	



SECTION B-B SCALE: NOT TO SCALE

6/23/20	Parallel Pedestrian Curb Ramp Detail		DEPARTMENT OF PUBLIC WORKS
DATE APPROVED: Jennifer E. Irvine	REVISION DATE: 6/23/20	FILE NAME: SD_2-50	

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SUNSET VILLAGE FIL. NO. 4
JAYHAW AVENUE AND REDTAIL DRIVE
EL PASO COUNTY, COLORADO
DETAILS

CLIENT
DATE 12/03/2021

1st SUBMITTAL TO EPC
10/27/2021 - RDL
2nd SUBMITTAL TO EPC
12/03/2021 - RDL

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