

**AGENCY CONTACTS**

**DEVELOPER** D.R. HORTON  
BYRAN REID P.E.  
9555 S. KINGSTON CT.  
ENGLEWOOD, CO 80112  
(303) 669-5133

**CIVIL ENGINEER** DREXEL BARRELL & CO.  
TIM MCCONNELL, P.E.  
101 SAHWATCH STREET, #100  
COLORADO SPRINGS, CO 80903  
(719) 260-0887

**COUNTY ENGINEER** EL PASO COUNTY DEVELOPMENT SERVICES  
JOSHUA PALMER, COUNTY ENGINEER  
3275 AKERS DRIVE  
COLORADO SPRINGS, CO 80922  
(719) 520-6460

**COUNTY PLANNING** EL PASO COUNTY DEVELOPMENT SERVICES  
KARI PARSONS, PROJECT MANAGER/PLANNER II  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
(719) 520-6300

**FIRE** SECURITY FIRE DEPARTMENT  
400 SECURITY BLVD.  
SECURITY, CO 80911  
(719) 392-3271

**WATER** SECURITY WATER DISTRICT  
231 SECURITY BLVD.  
SECURITY, CO 80911  
(719) 392-3475

**WASTEWATER** SECURITY SANITARY DISTRICT  
231 SECURITY BLVD.  
SECURITY, CO 80911  
(719) 392-3475

**ELECTRIC** C.S.U. ELECTRIC DEPT. SYSTEM PLANNING  
1521 HANCOCK EXPY.  
COLORADO SPRINGS, CO 80903  
(719) 668-5557

**GAS** COLORADO SPRINGS UTILITIES  
TODD STURTEVANT  
1521 HANCOCK EXPRESSWAY  
COLORADO SPRINGS, CO 80903  
(719) 668-3556

**TELEPHONE** CENTURY LINK  
PATTY MOORE  
(719) 636-8096  
(LOCATORS) (719) 597-8418  
AT&T  
(LOCATORS) (719) 635-3674

**CABLE** COMCAST  
RICKEY NELSON  
213 N. UNION BLVD  
COLORADO SPRINGS, CO 80909  
RICKEY\_NELSON@CABLE.COMCAST.COM

**BASIS OF BEARING**

BEARINGS ARE BASED ON NORTHERLY LINE OF THE NORTH WEST 1/4 OF THE NORTH WEST 1/4 OF SECTION 12, TOWNSHIP 15 SOUTH, RANGE 66 WEST, ASSUMED TO BE S89°44'11"E

**BENCHMARK**

CHISELED "X" IN WING WALL ELEVATION 5859.54 (FIMS DATUM), NORTH EAST CORNER OF FMIC SUPERDITCH AND ALTURAS DR.

**TRAFFIC CONTROL NOTE**

THE CONTRACTOR SHALL PROVIDE ALL TRAFFIC CONTROL DEVICES AND MONITORING NECESSARY TO SAFELY COMPLETE THE WORK SHOWN IN THESE CONSTRUCTION DOCUMENTS IN CONFORMANCE WITH M.U.T.C.D. GUIDELINES. THE CONTRACTOR SHALL COMPLETE ALL NECESSARY WORK FOR PLAN REVIEW, PERMITS AND PROCESSING. TRAFFIC CONTROL WILL NOT BE PAID SEPARATELY BUT IS INCLUDED IN THE COST OF THE PROJECT.

**WATER STATEMENT**

THE UNDERSIGNED OWNER/DEVELOPER AGREES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH THE SECURITY WATER DISTRICT STANDARD SPECIFICATIONS AND SHALL BE INSTALLED TO MAINTAIN A DEPTH OF FIVE (5) FEET TO BOTTOM OF PIPE FOR WATER MAINS UP TO 12-INCH DIAMETER, AND COVER OF FOUR (4) FEET FOR 12-INCH AND LARGER DIAMETER MAINS AT FINAL GRADE. ANY CHANGES REQUIRED TO MEET THE ABOVE STIPULATION SHALL BE MADE AT THE EXPENSE OF THE OWNER/DEVELOPER

ANY WATER MAIN, SERVICE LINE OR APPURTENANCE THAT IS TO BE RELOCATED OR ADJUSTED BY THE CONTRACTOR OR DEVELOPER SHALL BE ACCOMPLISHED BY THE DEVELOPER, BUILDER, CONTRACTOR OR PERSON OR PERSONS REQUIRING THE MOVEMENT, RELOCATION OR ADJUSTMENT AT NO EXPENSE TO THE SECURITY WATER DISTRICT.

SIGNED \_\_\_\_\_ DATE: 7-24-24  
OWNER/DEVELOPER

**FLOODPLAIN STATEMENT:**

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED ON THE NFIP FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, PANEL NUMBER 08041 C 0763 G, DATED DECEMBER 7, 2018.

**APPROXIMATE SCHEDULE OF DEVELOPMENT:**

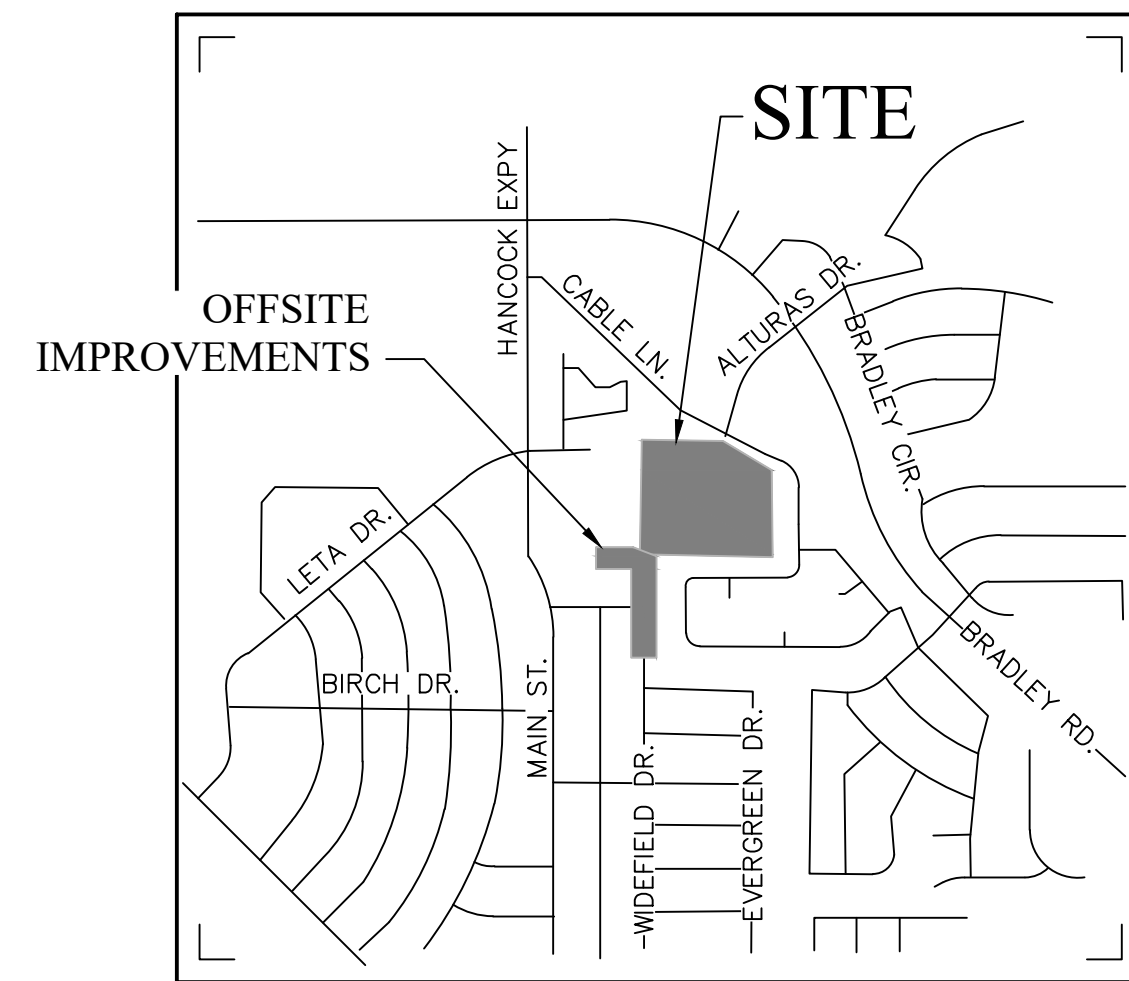
BEGIN FALL 2024  
COMPLETE SUMMER 2025

# HAVEN VALLEY SUBDIVISION

## BRADLEY ROAD/ALTURAS DRIVE

### SECURITY, COLORADO

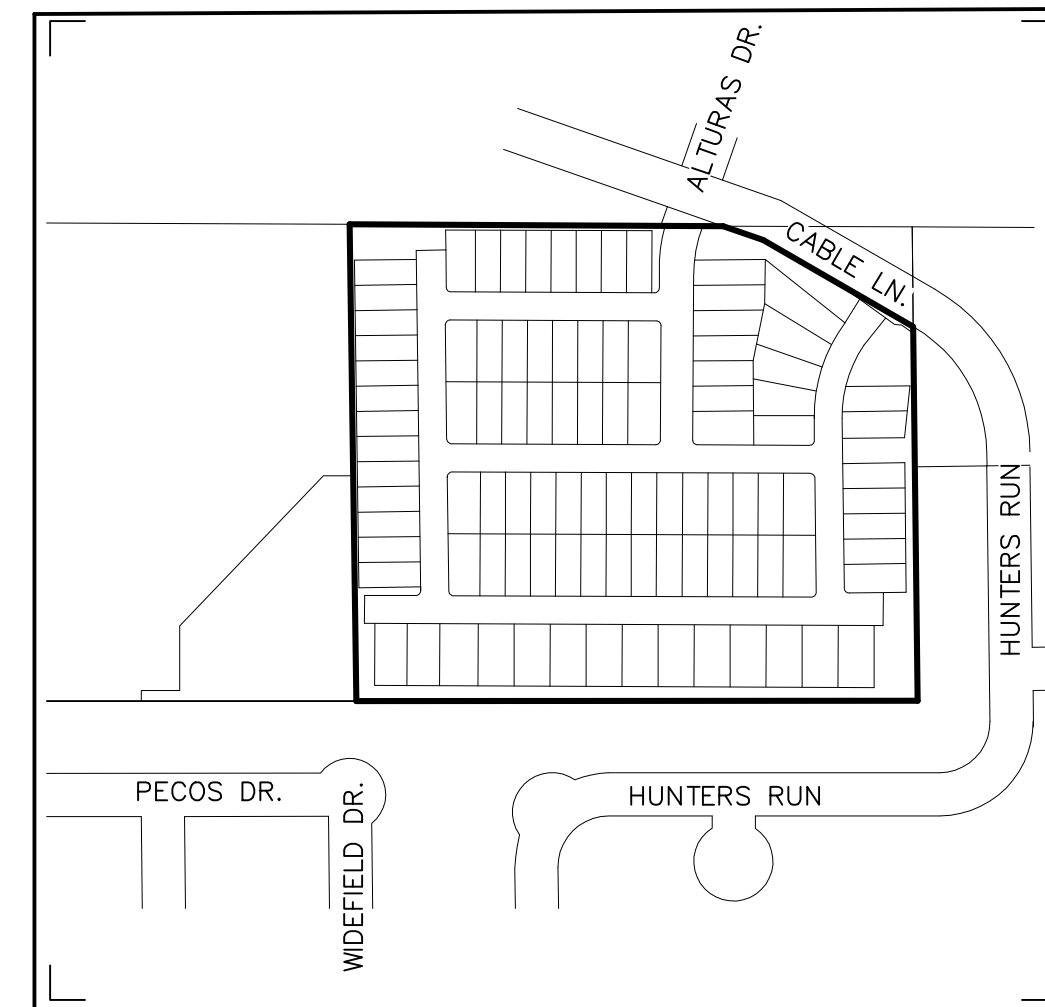
# CIVIL CONSTRUCTION PLANS



**VICINITY MAP**  
NOT TO SCALE



N.T.S.



**SITE MAP**  
NOT TO SCALE



N.T.S.

**ADA NOTE:**

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

**SECURITY WATER DISTRICT APPROVAL**

THE SECURITY WATER DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE SECURITY WATER DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY

SECURITY WATER DISTRICT  
WATER DESIGN APPROVAL  
DATE \_\_\_\_\_ BY \_\_\_\_\_  
PROJECT NO. \_\_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES SHALL GOVERN.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

**SECURITY SANITATION DISTRICT APPROVAL**

THE SECURITY SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN. THE SECURITY SANITATION DISTRICT HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

SECURITY SANITATION DISTRICT  
SANITARY SEWER DESIGN APPROVAL  
DATE \_\_\_\_\_ BY \_\_\_\_\_  
PROJECT NO. \_\_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE SANITARY SEWER DESIGN AS SHOWN ON THIS DOCUMENT. THE STANDARDS AS DEFINED IN THE SECURITY SANITATION DISTRICT SEWER USE REGULATIONS AND SEWER DESIGN AND CONSTRUCTION STANDARDS, RULES, POLICIES AND PROCEDURES SHALL GOVERN.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL

**SHEET INDEX**

- CV01 CIVIL COVER SHEET
- NT01 NOTES
- TS01 ROADWAY SECTIONS
- DT01 STANDARD DETAILS
- DM01 EXISTING CONDITIONS/DEMOLITION PLAN
- SP01 SITE PLAN
- HCO1 HORIZONTAL CONTROL PLAN
- GD01 GRADING PLAN
- GP02 DETAILED GRADING PLAN
- GP03 DETAILED GRADING PLAN
- RW01-05 RETAINING WALL PLAN & PROFILES
- RD01 DEERHAVEN VIEW PLAN & PROFILE
- RD02 HAVENWARD VIEW PLAN & PROFILE
- RD03 NEW HAVEN POINT PLAN & PROFILE
- RD04 HAWK HAVEN VIEW PLAN & PROFILE
- RD05 HAVEN COVE POINT PLAN & PROFILE
- RD06 HAVENLOCK POINT PLAN & PROFILE
- RD07 CABLE LANE PLAN & PROFILE
- IN01-02 DETAILED INSECTION GRADING PLANS
- SI01 SIGNAGE PLAN
- SD01-05 STORM SEWER PLAN & PROFILE

- UCV1 UTILITY PLANS COVER SHEET
- UP01 OVERALL UTILITY PLAN
- UT1-UT8 WATER & SANITARY PLAN & PROFILES
- SS01 OFFSITE SANITARY PLAN & PROFILE
- US01 UTILITY SERVICE PLAN

- ECCV EROSION CONTROL COVER SHEET
- ECNT NOTES
- EC01 INITIAL GRADING AND EROSION CONTROL PLAN
- EC02 INTERIM GEC PLAN
- EC03 FINAL/VERTICAL GEC PLAN
- ECDT EROSION CONTROL DETAILS
- ECDT EROSION CONTROL DETAILS
- PDD1 DETENTION POND DETAILS
- PDD2 CONCRETE FOREBAY DETAILS
- PDD3 POND OUTLET STRUCTURE DEETAILS

**DESIGN ENGINEER'S STATEMENT**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

7-24-24  
TIM D. MCCONNELL DATE  
P.E.# 33797

**OWNER'S STATEMENT**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

7-24-24  
ROBERT C. IRWIN DATE

**EL PASO COUNTY**

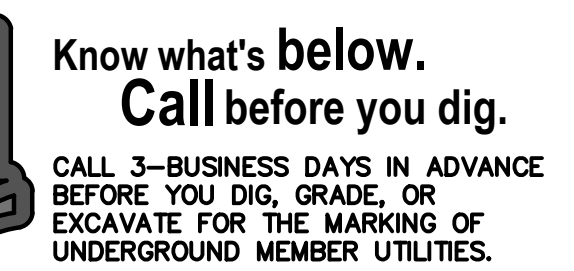
COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E. DATE  
COUNTY ENGINEER / ECM ADMINISTRATOR

Conditions of Approval:  
-Developer shall resubmit these plans with signature approval from the Security Water, Security Sanitation, and Security Fire Protection Districts prior to receiving a Notice to Proceed from El Paso County.  
-Shop drawings for the two proposed 15' inlet bubbler systems along Widefield Drive shall be provided for review by El Paso County Development Services. The bubblers shall not be installed until a specific notice to proceed has been provided by El Paso County.



PREPARED BY:  
  
DREXEL, BARRELL & CO.  
Engineers • Surveyors  
101 SAHWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03CV01



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

COVER SHEET

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**CV01**

SHEET: 1 OF 52

**STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS**

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
  - EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
  - CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
  - COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
  - CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.
- EL PASO COUNTY DOES NOT OWN AND IS NOT RESPONSIBLE FOR THE UNDERDRAINS OR GROUNDWATER DISCHARGE SYSTEMS SHOWN ON THESE PLANS AND ASSUMES NO LIABILITY FOR WATER RIGHTS ADMINISTRATION BY APPROVING THESE PLANS. MAINTENANCE AND WATER RIGHTS ARE THE RESPONSIBILITY OF THE DEVELOPER AND THE HAVEN VALLEY HOA, OR HAVEN VALLEY METROPOLITAN DISTRICT.

**SIGNAGE AND STRIPING NOTES**

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 16" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

Supplemental Specification - El Paso County, Colorado

July 13, 2021

**PRIVATE ROAD SIGNS**

**DESCRIPTION**

This work consists of the construction of traffic signs. This work shall be done in accordance with the latest version of the CDOT Standard Specifications for Road and Bridge Construction, the latest revision of the "Manual on Uniform Traffic Control Devices for Streets and Highways" published by the FHWA and adopted by CDOT, the latest revision of the Colorado Supplement thereto, and in conformity with the EPC Standard Private Road Detail together and the details shown on the plans or established.

**MATERIALS**

Private Road sign panel materials shall conform to this specification, Sections 614 and 713 of the CDOT Standard Specifications for Road and Bridge Construction and to the details shown on the plans.

The Private Road sign panel shall contain a retroreflective green background with a retroreflective white legend and border.

Private road street name signing that faces approach roads which are classified or operate as local residential area subdivision roads that provide direct access to consistently subdivided residential lots will typically utilize an 8-inch sign panel height with 4-inch initial upper-case lettering for the primary street name legend. Private road street name signing that faces approach roads which are classified or operate as non-local residential area subdivision roads will typically utilize a 12-inch sign panel height with 6-inch initial upper-case lettering for the primary street name legend. Larger signs may be required per the MUTCD.

The words "PRIVATE ROAD" shall be located prior to the street name and shall be center justified. The words shall be all capital letters, stacked and centered vertically. For an 8-inch sign panel height, use 2.25 inches for the PRIVATE ROAD letter height and a 1.5-inch vertical space between the legend. For a 12-inch sign panel height, use 3 inches for the PRIVATE ROAD letter height and a 2-inch vertical space between the legend.

**CONSTRUCTION REQUIREMENTS**

Private Road sign panel construction shall conform to Section 614 of the CDOT Standard Specifications for Road and Bridge Construction.

**METHOD OF MEASUREMENT**

Private Road signs will be measured by the square feet of facing.

**BASIS OF PAYMENT**

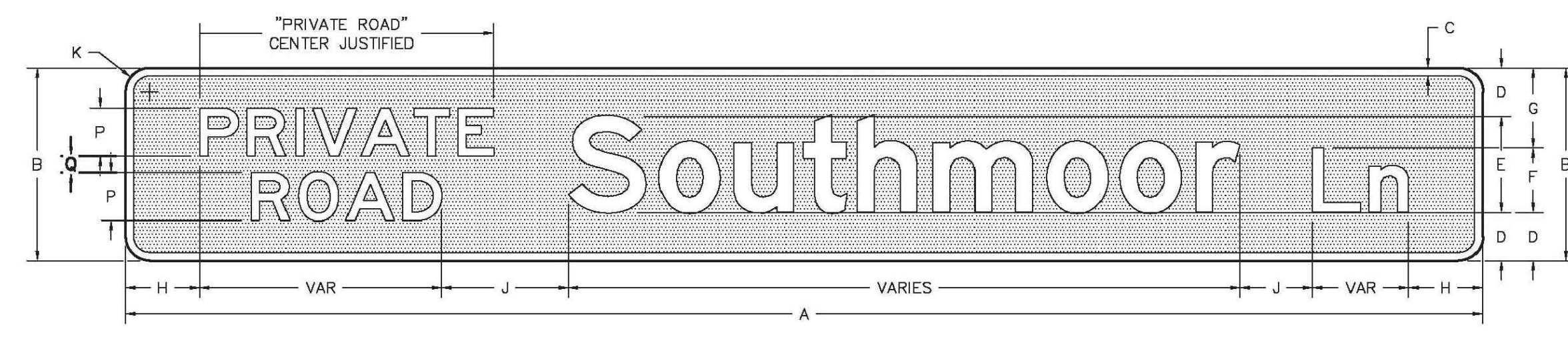
The accepted quantities will be paid for at the contract price per unit of measurement for each of the pay items listed below that appear in the bid schedule.

Payment will be made under:

Pay Item	Pay Unit
Sign Panel (Class)	Square Foot

1

CALL UTILITY NOTIFICATION CENTER OF COLORADO (UNCC) 811 3 BUSINESS DAYS IN ADVANCE FOR THE WORKING OF UNDERGROUND UTILITY SERVICES.



**SIGN DIMENSIONS**

	A	B	C	D	E	F	G	H	J	K	P	Q
VAR	8	0.375	2	4 D	3 D	3	3 (MIN)	3	3	1	2.25	1.5
VAR	12	0.5	3	6 D	4 D	5	4.5 (MIN)	4.5	1.5	3	2	

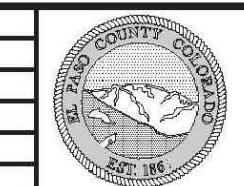
COLORS: LEGEND, BORDER - WHITE (RETROREFLECTIVE)  
BACKGROUND - GREEN (RETROREFLECTIVE)

**NOTES:**  
REFERENCE SUPPLEMENTAL SPECIFICATION

Sign Detail  
Scale: NTS

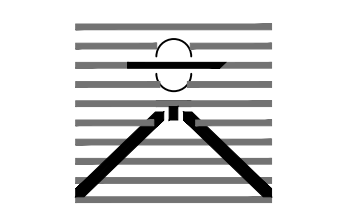
FINAL 7/13/2021

Computer File Information				Index of Revisions				As Constructed		Private Road Detail		Project No./Code	
Creation Date:	3/4/2021	Initials:	DAN	(R-)	7/13/2021	Approval Date:	JJE	No Revisions:		Design:	JP	Structure:	EPC
Last Modification Date:	7/13/2021	Initials:	DAN	(R-)				Revised:		Detailer:	DAN	Numbers:	Standard Drawing
Full Path:	P:\Proj-Cv3D-2020			(R-)				Void:		Sheet/Sheet:		Subset/Sheets:	1 of 1
Drawing File Name:	PrivateRoadSignDets.dwg			(R-)									Sheet Number
Acad Ver:	Civ3D 2020	Scale:	n/g	Units:	Feet								



El Paso County  
Department of Public Works  
3275 Alamo Drive  
Colorado Springs, Colorado 80922-1547  
Ph: 719-520-8460 Fax: 719-520-8678  
Division of Transportation

PREPARED BY:



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Engineers • Surveyors  
101 SAHAWATCH STREET, #100  
COLORADO SPRINGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03NT01



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

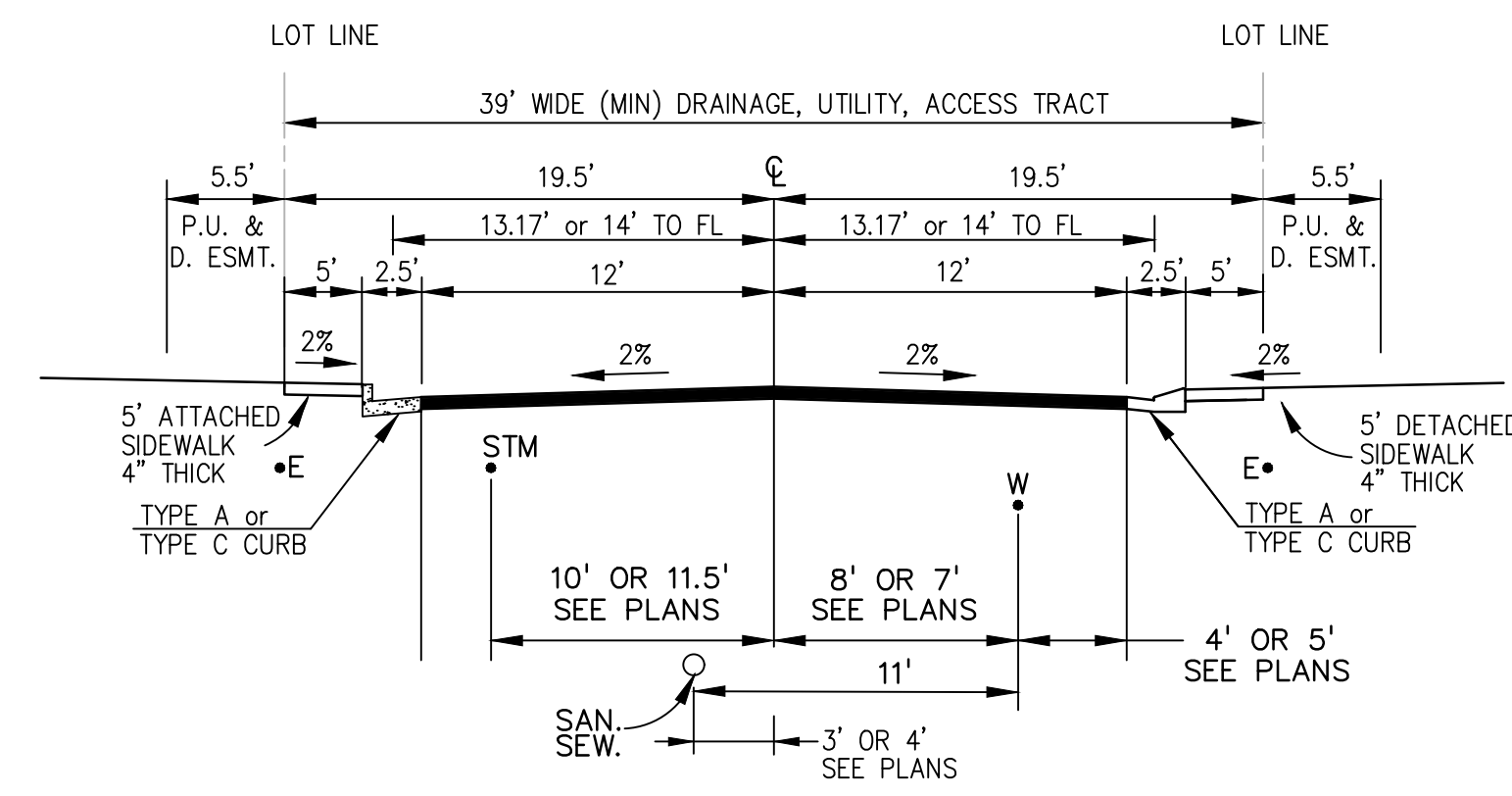
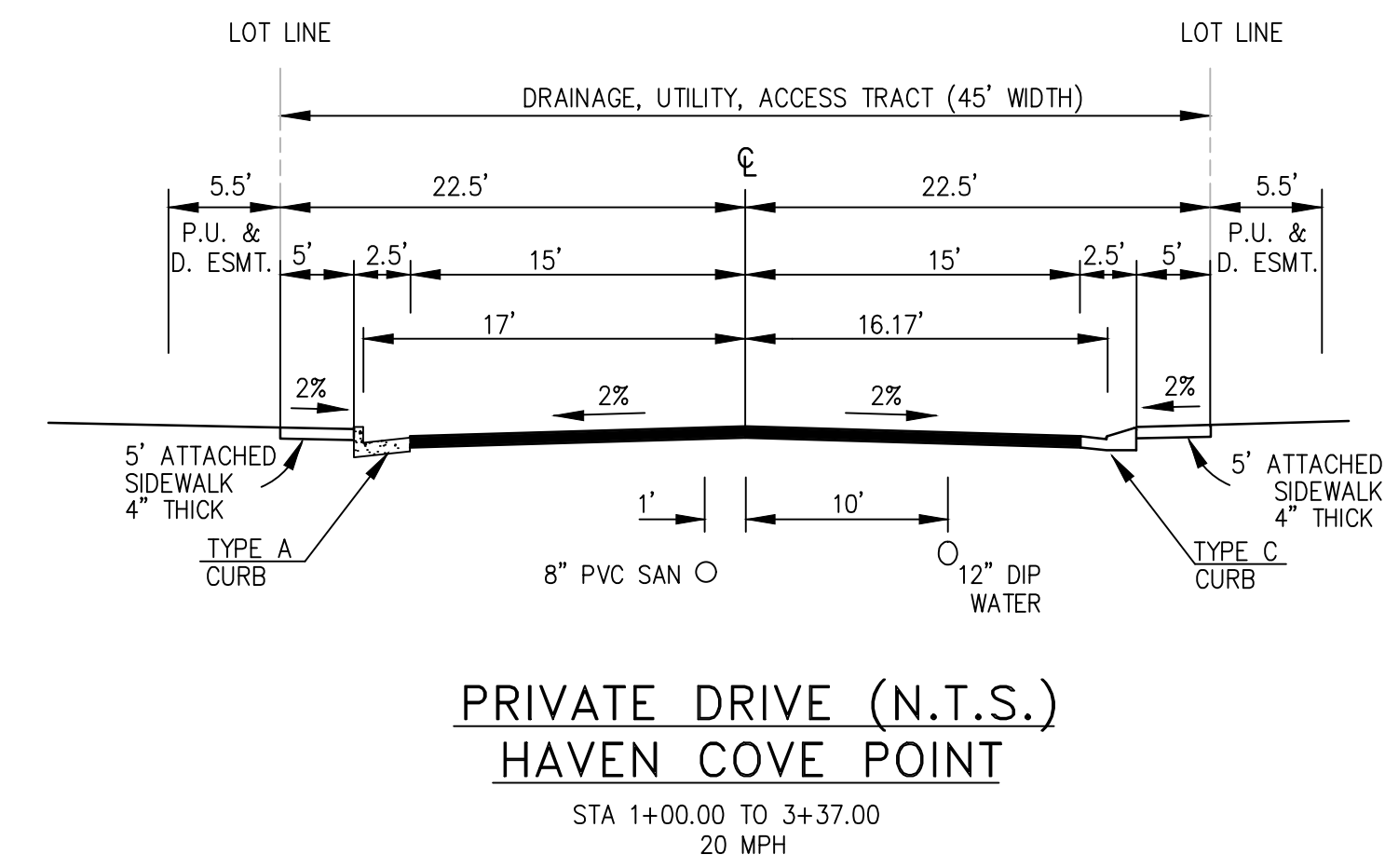
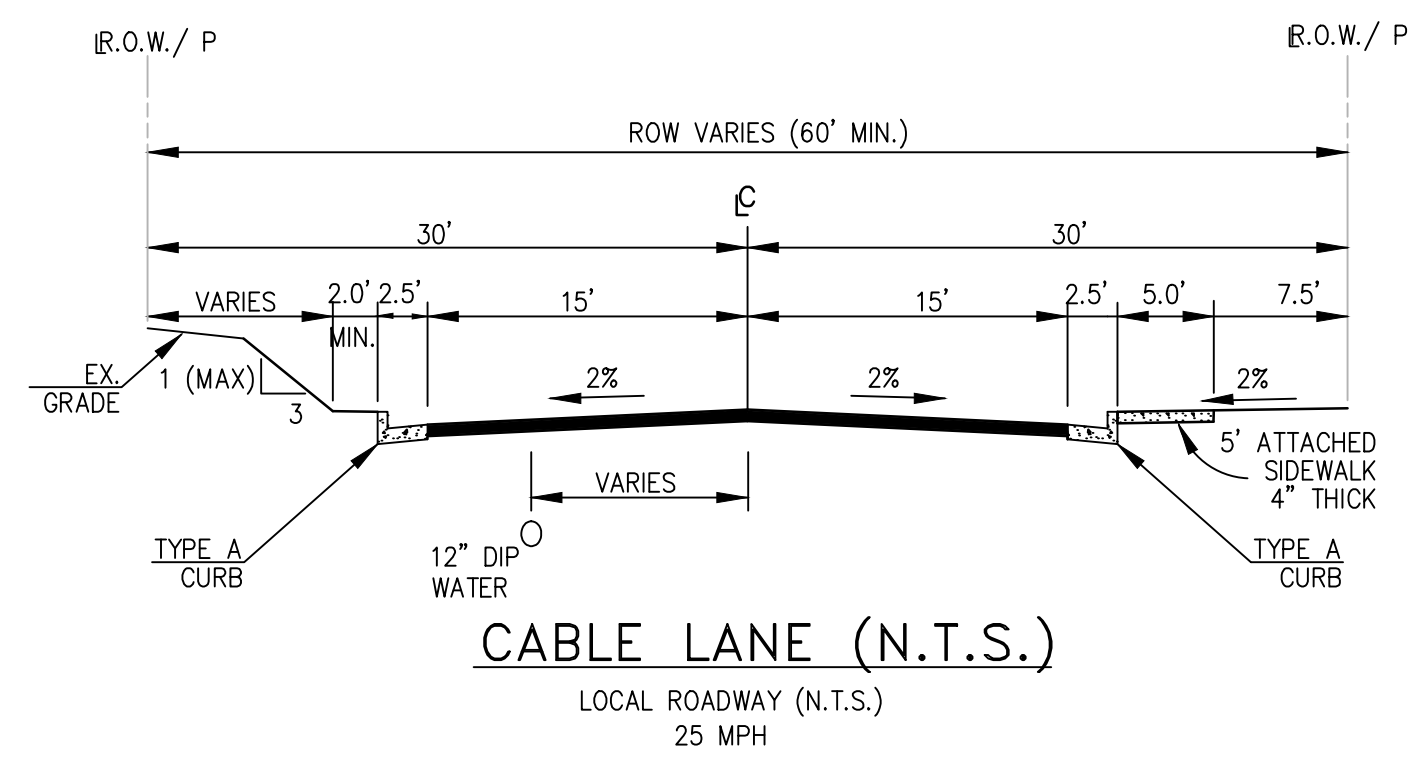
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HORIZONTAL: N/A  
VERTICAL: N/A

NOTE SHEET

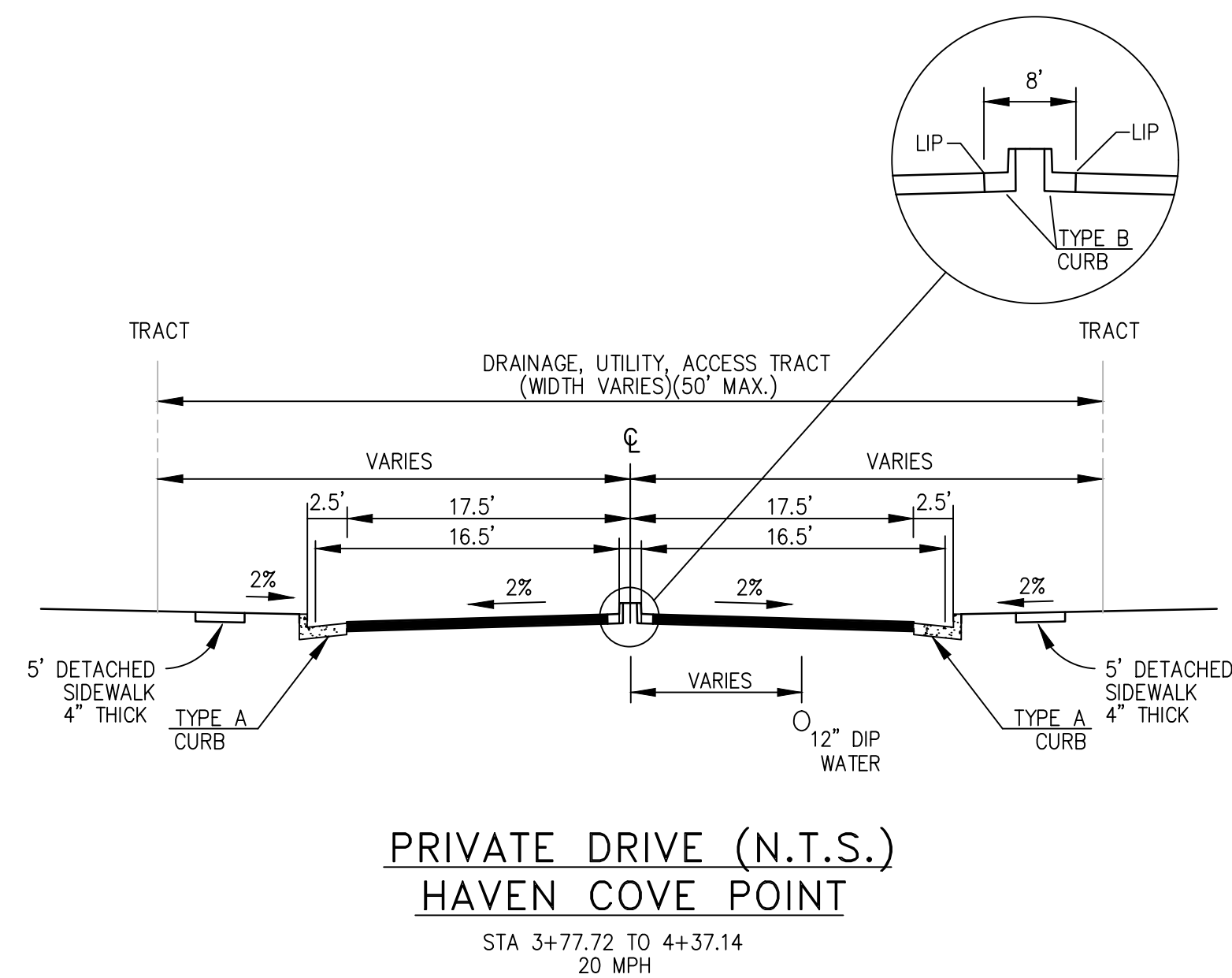
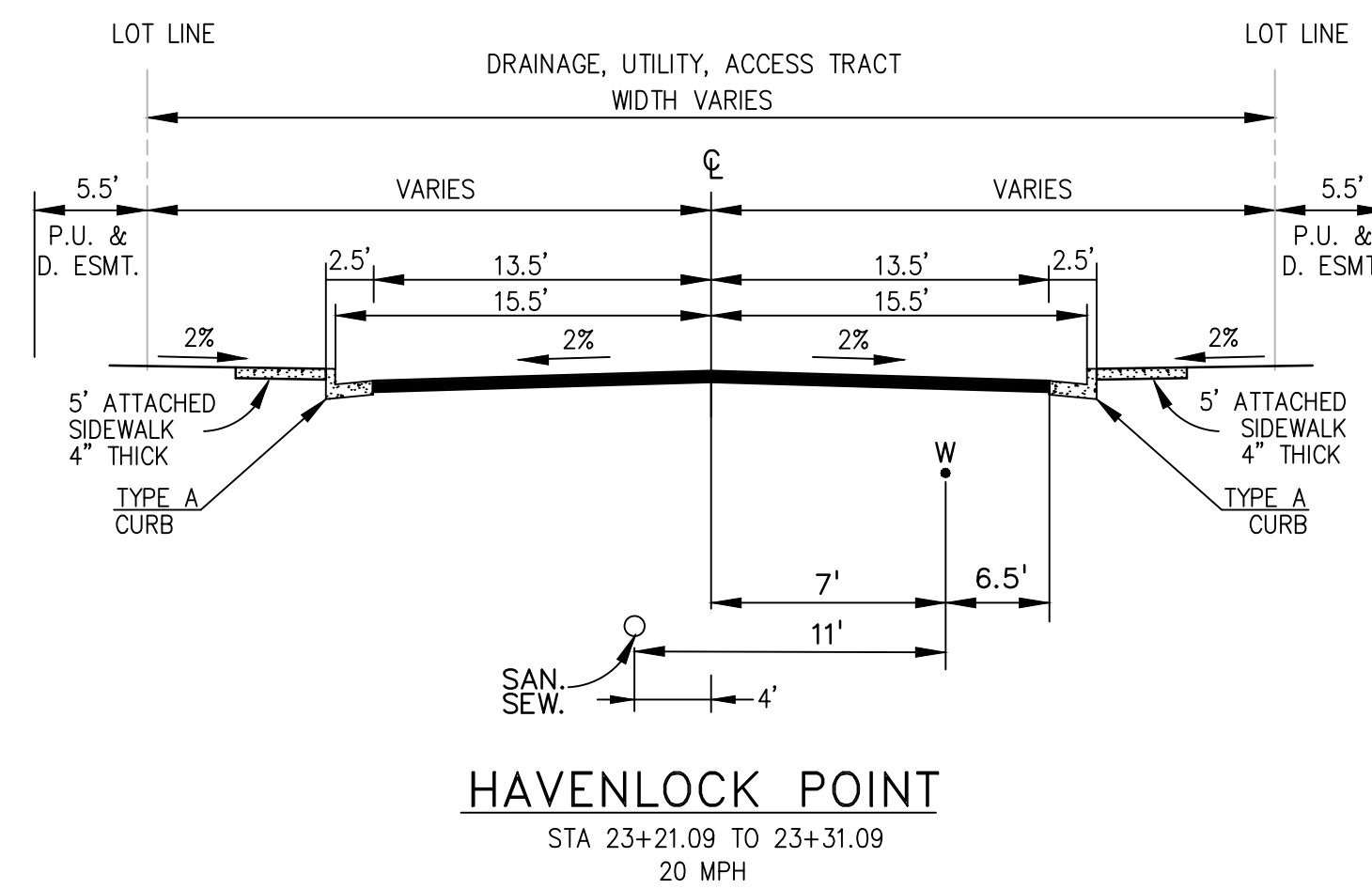
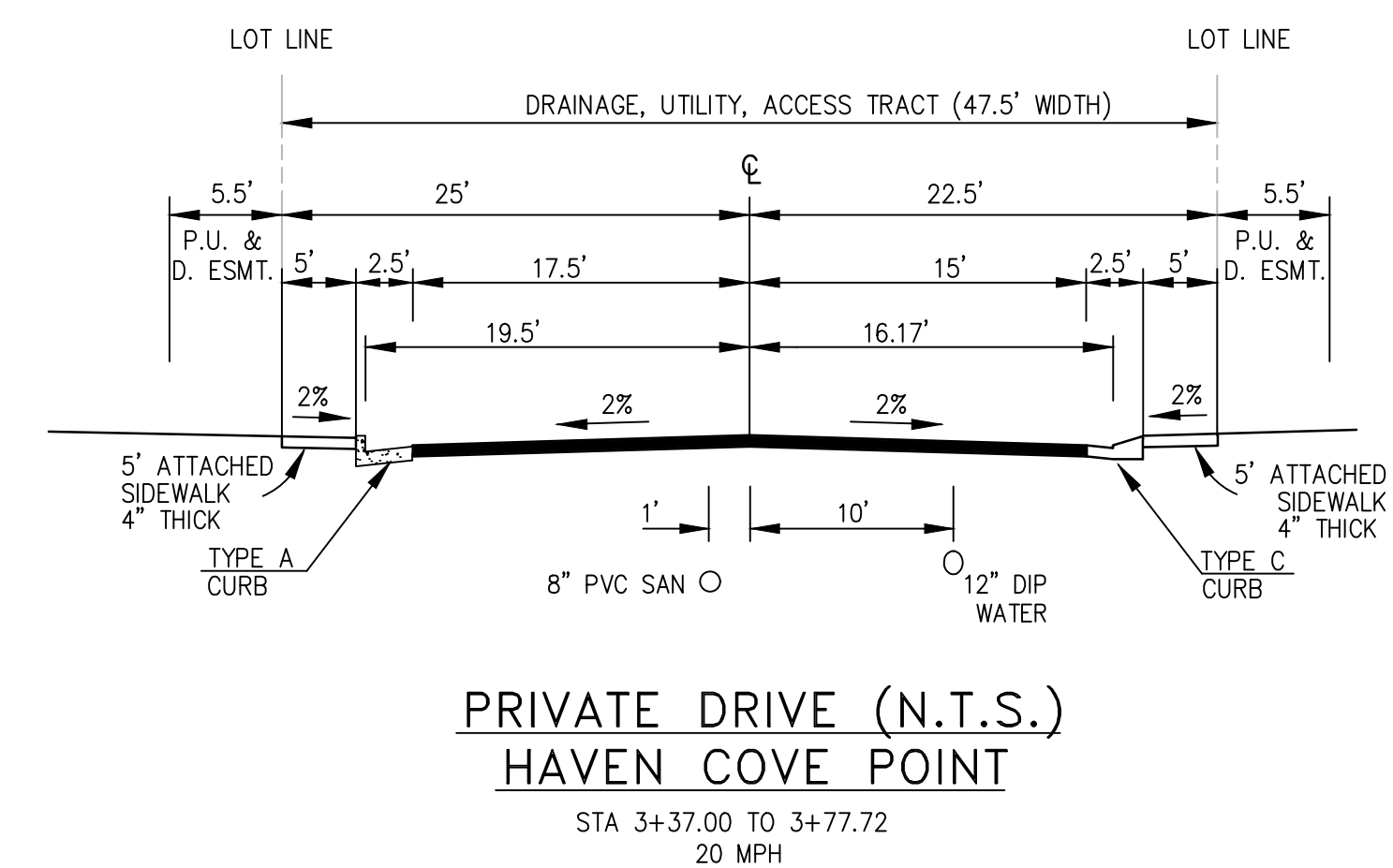
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**NT01**

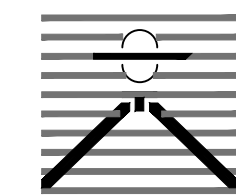
SHEET: 2 OF 52



**PRIVATE DRIVE (N.T.S.)**  
DEERHAVEN VIEW  
HAVENWARD VIEW  
NEW HAVEN POINT  
HAWK HAVEN VIEW  
HAVENLOCK POINT  
(STA 19+00 TO 22+87.02)  
20 MPH



PREPARED BY:



**DREXEL, BARRELL & CO.**  
Engineers & Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03TS01



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

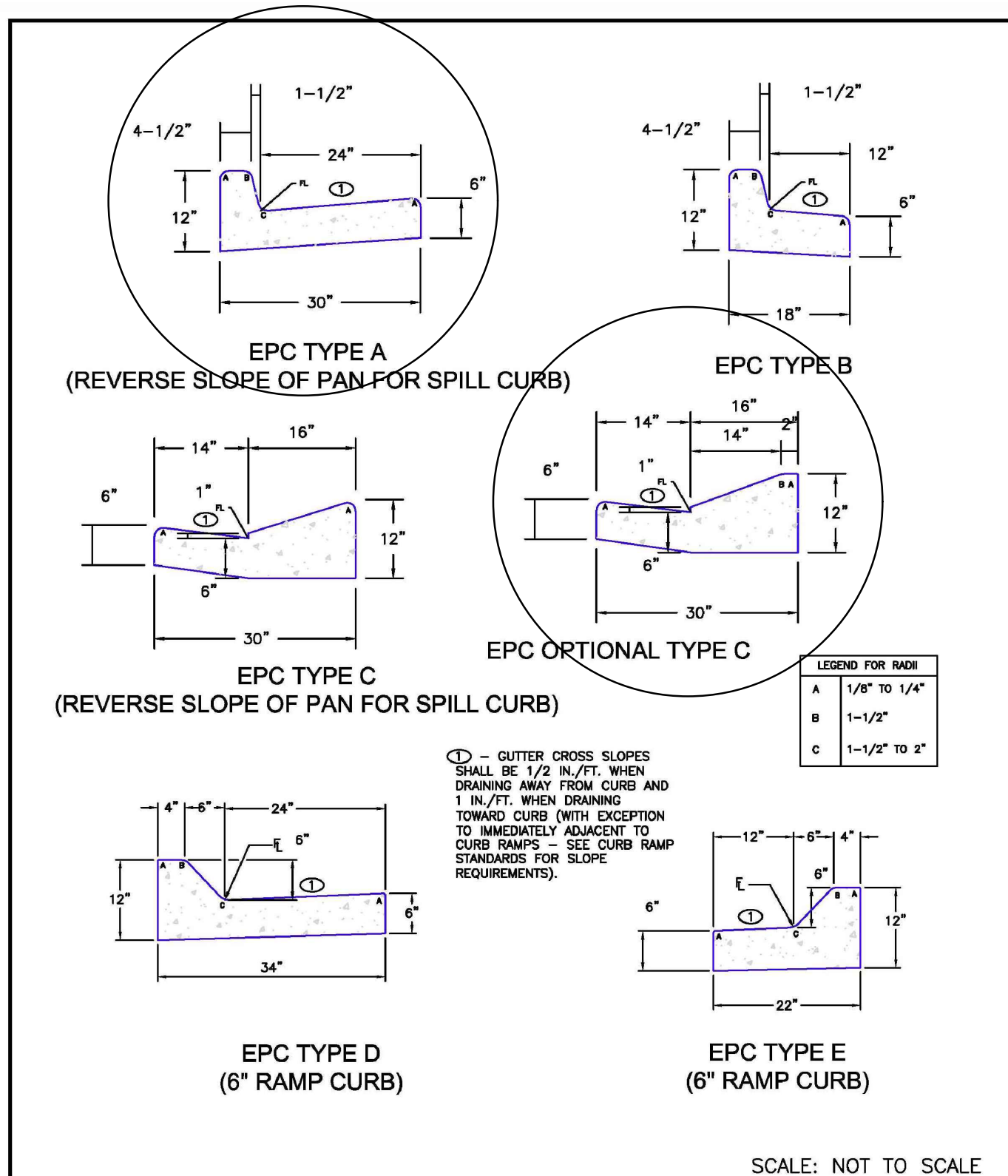
DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

**TYPICAL ROAD SECTIONS**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

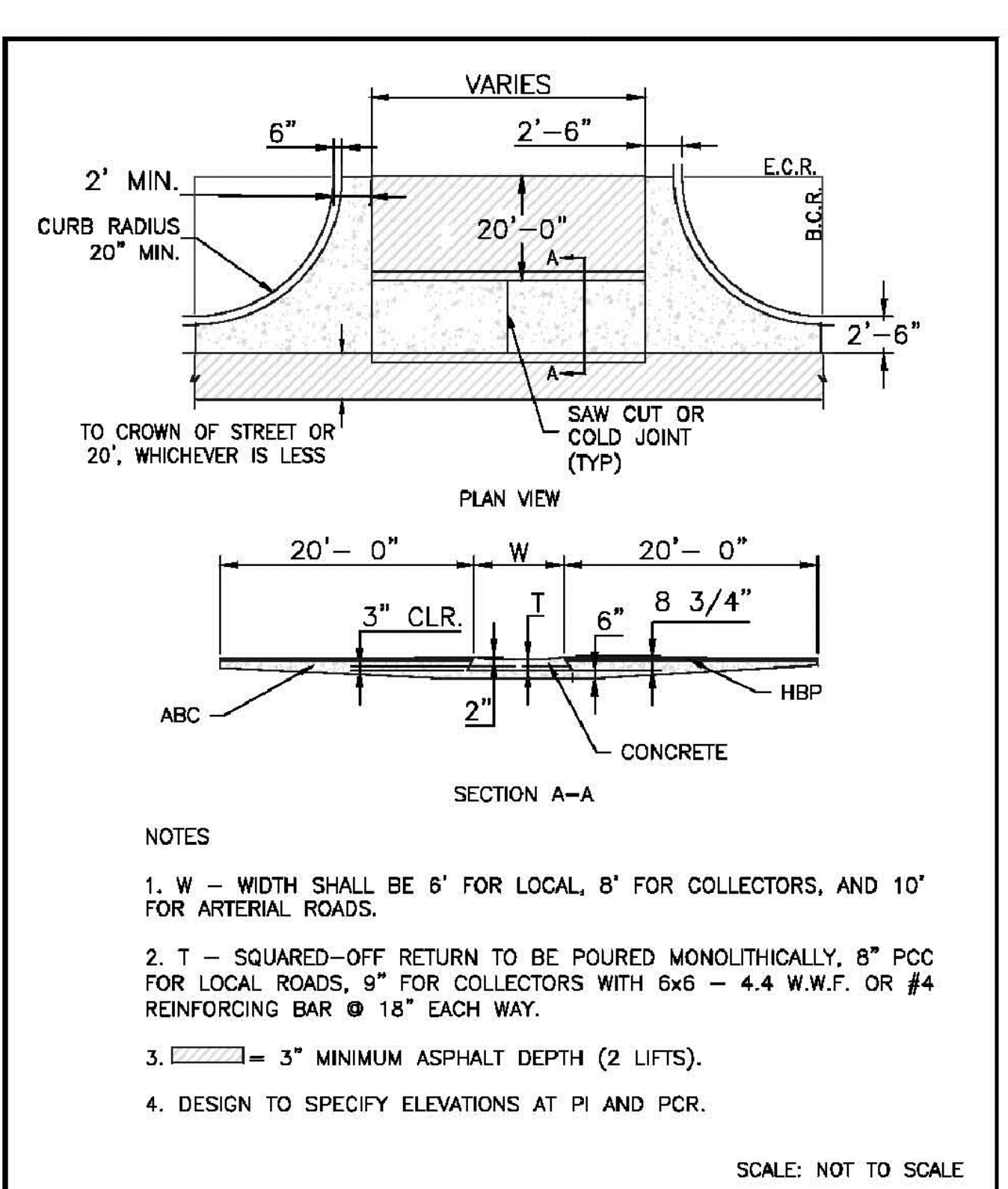
**TS01**

SHEET: 3 OF 52



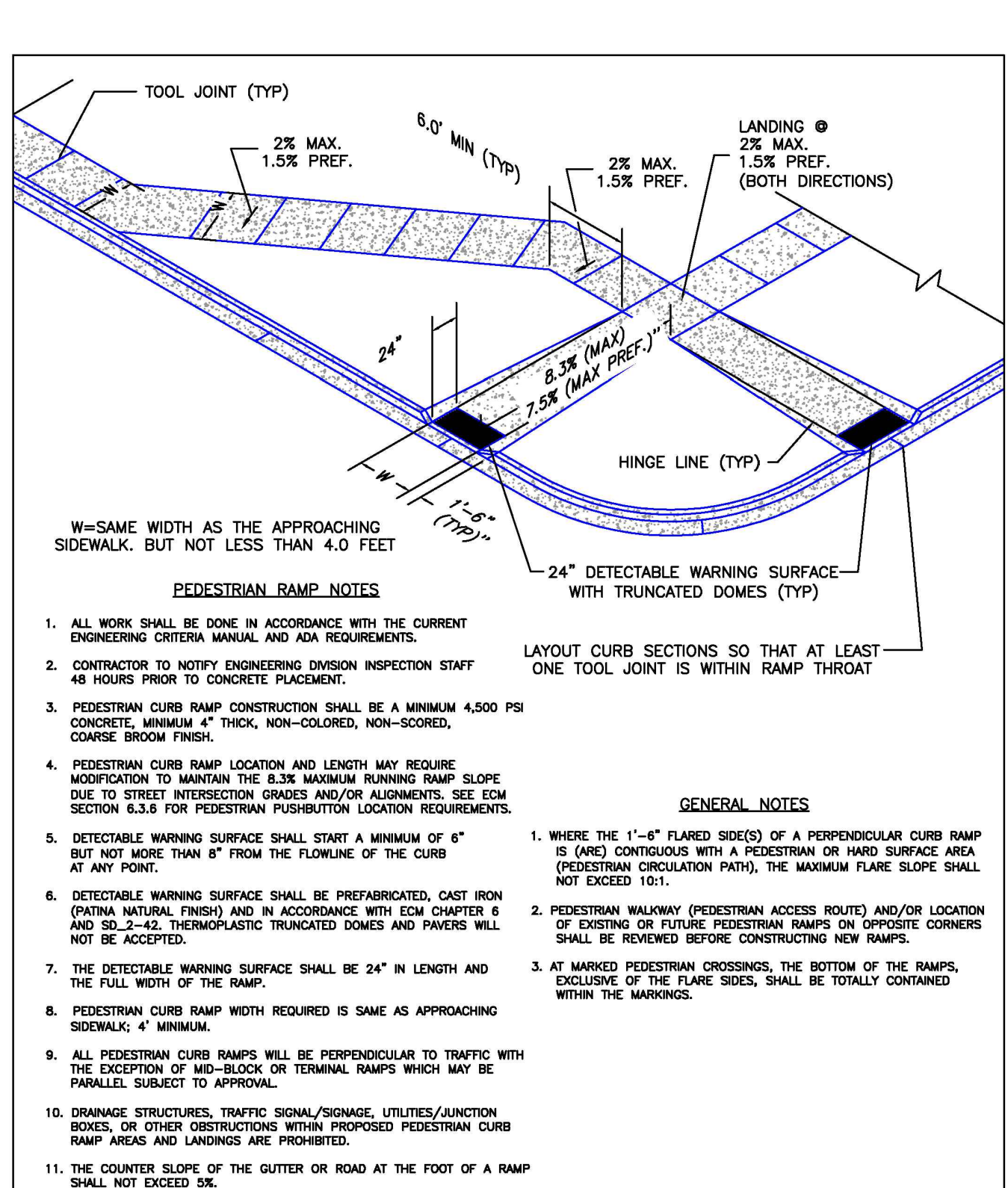
6/23/20  
DATE APPROVED: Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Typical Curb and Gutter Details  
Standard Drawing  
REVISION DATE: 6/23/20 FILE NAME: SD\_2-20



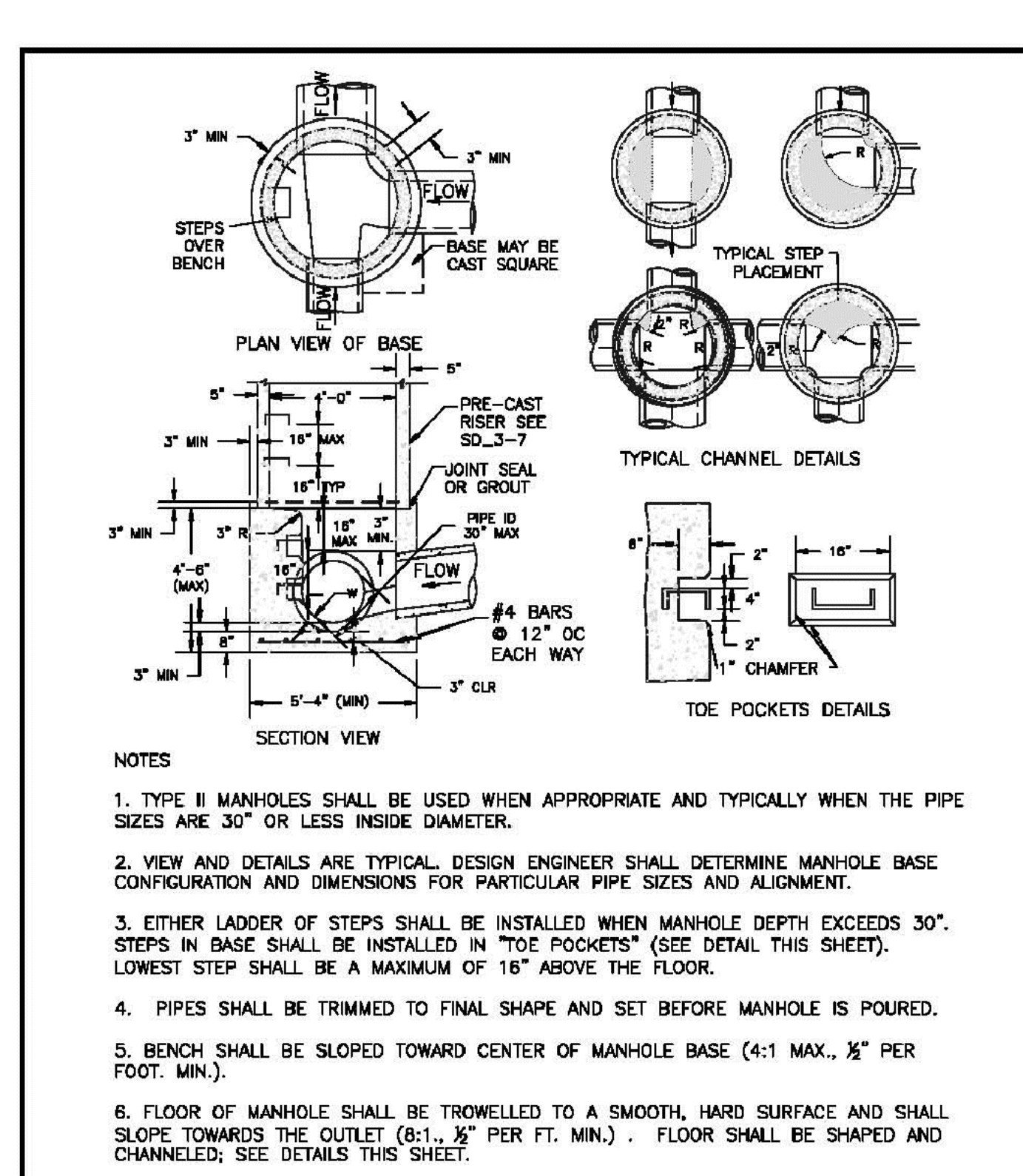
8/11/11  
DATE APPROVED: André P. Brackin  
DEPARTMENT OF TRANSPORTATION

Typical Cross Pan Layout Detail  
Standard Drawing  
REVISION DATE: 12/8/15 FILE NAME: SD\_2-26

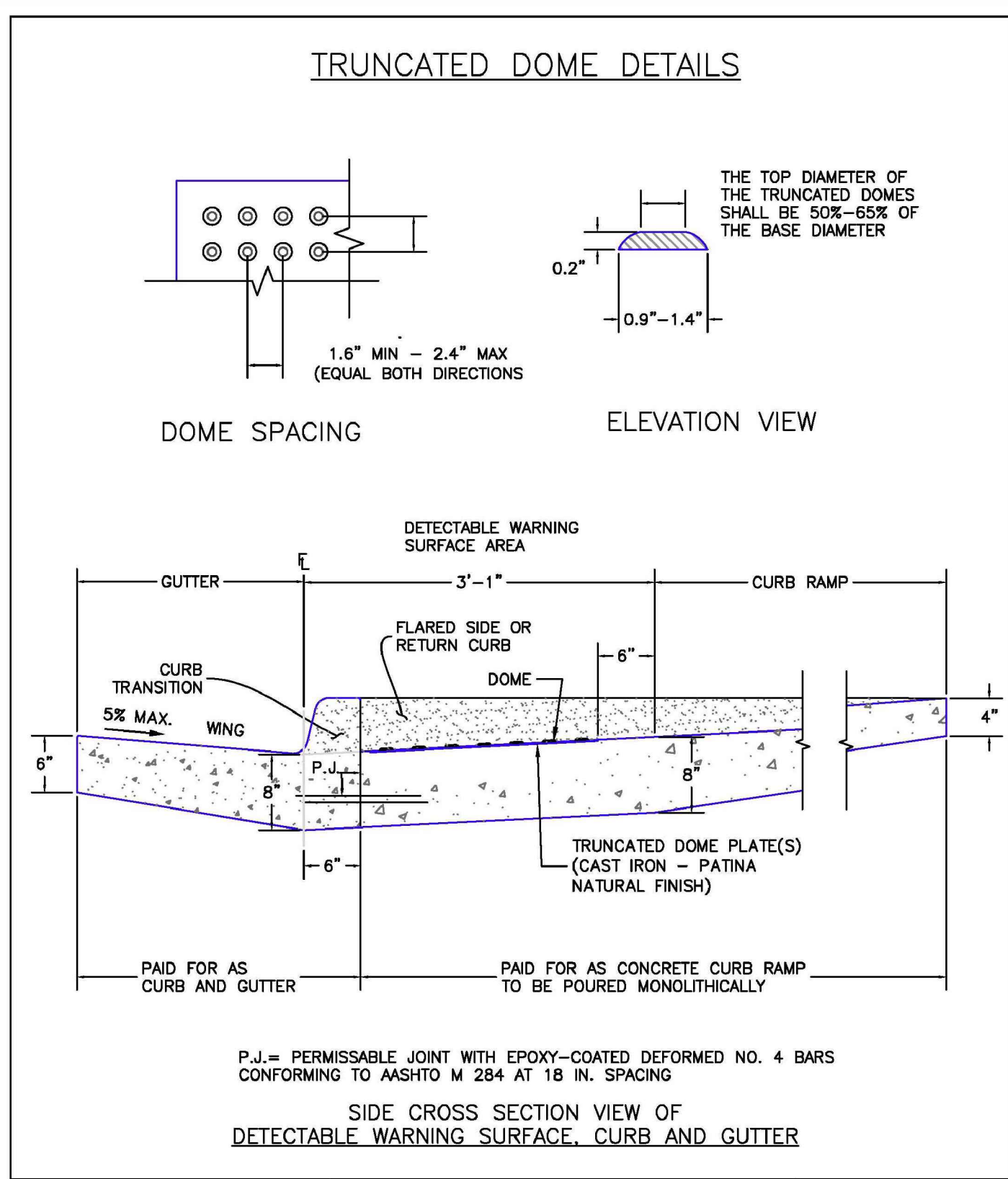


6/23/20  
DATE APPROVED: Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Pedestrian Curb Ramp Detail  
Standard Drawing  
REVISION DATE: 6/23/20 FILE NAME: SD\_2-41

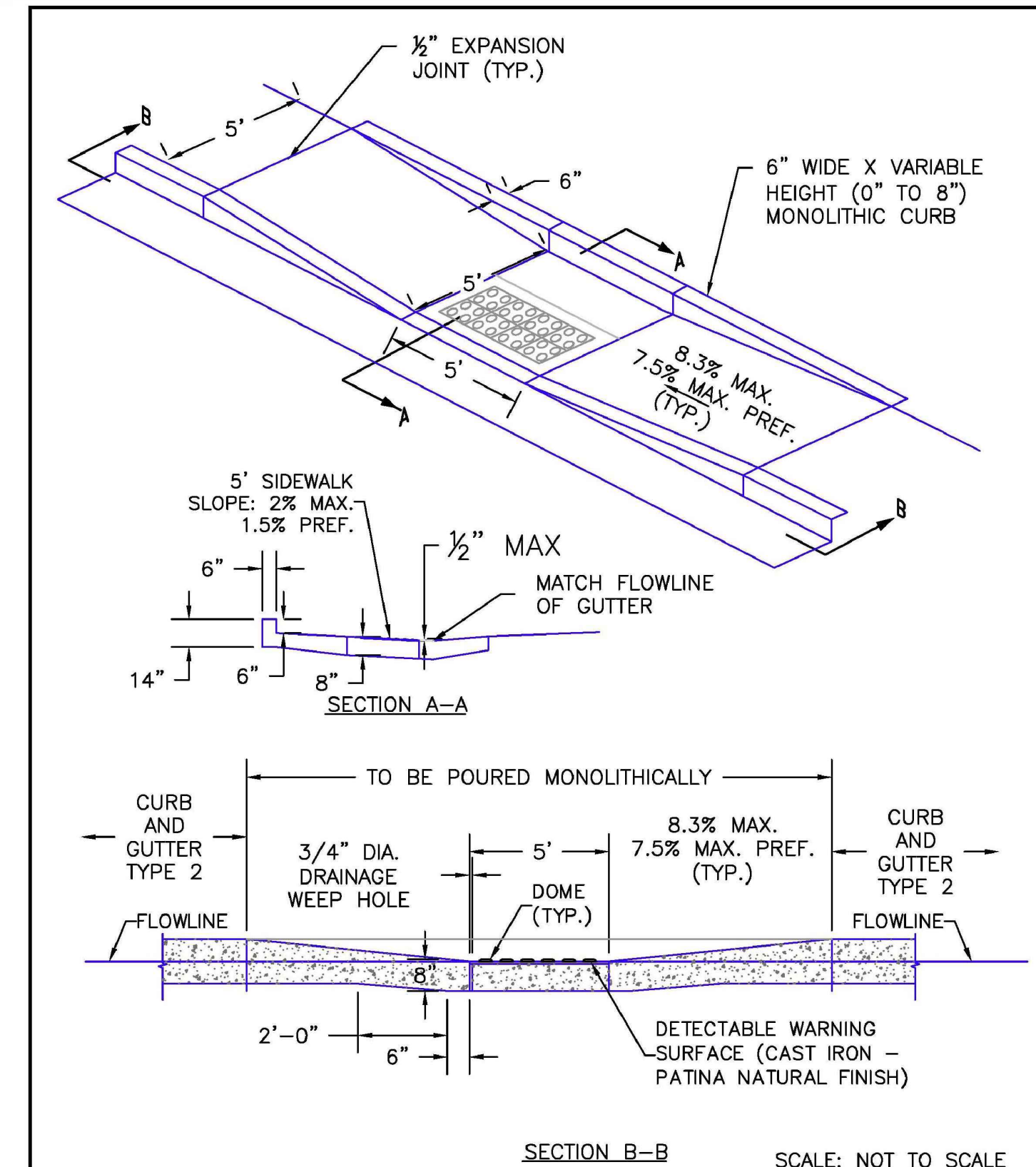


Storm Sewer Manhole Detail Type II  
Standard Drawing  
REVISION DATE: 11/10/04 FILE NAME: SD\_3-2



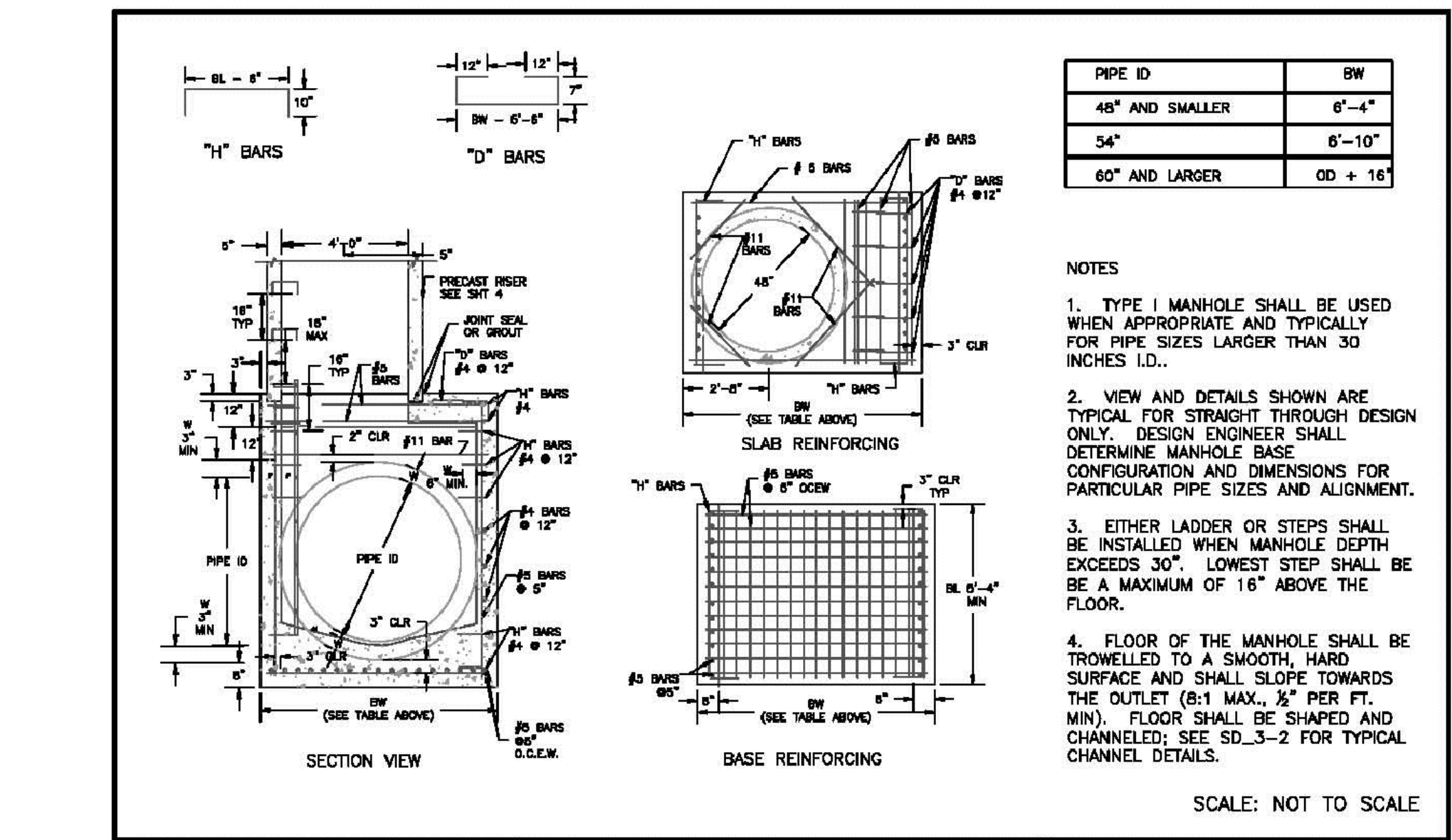
6/23/20  
DATE APPROVED: Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Detectable Warning Surface Details  
Standard Drawing  
REVISION DATE: 6/23/20 FILE NAME: SD\_2-42



6/23/20  
DATE APPROVED: Jennifer E. Irvine  
DEPARTMENT OF PUBLIC WORKS

Parallel Pedestrian Curb Ramp Detail  
Standard Drawing  
REVISION DATE: 6/23/20 FILE NAME: SD\_2-50



7/9/09  
DATE APPROVED: André Brackin  
DEPARTMENT OF TRANSPORTATION

Storm Sewer Manhole Detail Type I  
Standard Drawing  
REVISION DATE: 7/9/09 FILE NAME: SD\_3-1

PREPARED BY:  
  
DREXEL, BARRELL & CO.  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
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CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: GES  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03D101

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

STANDARD DETAILS

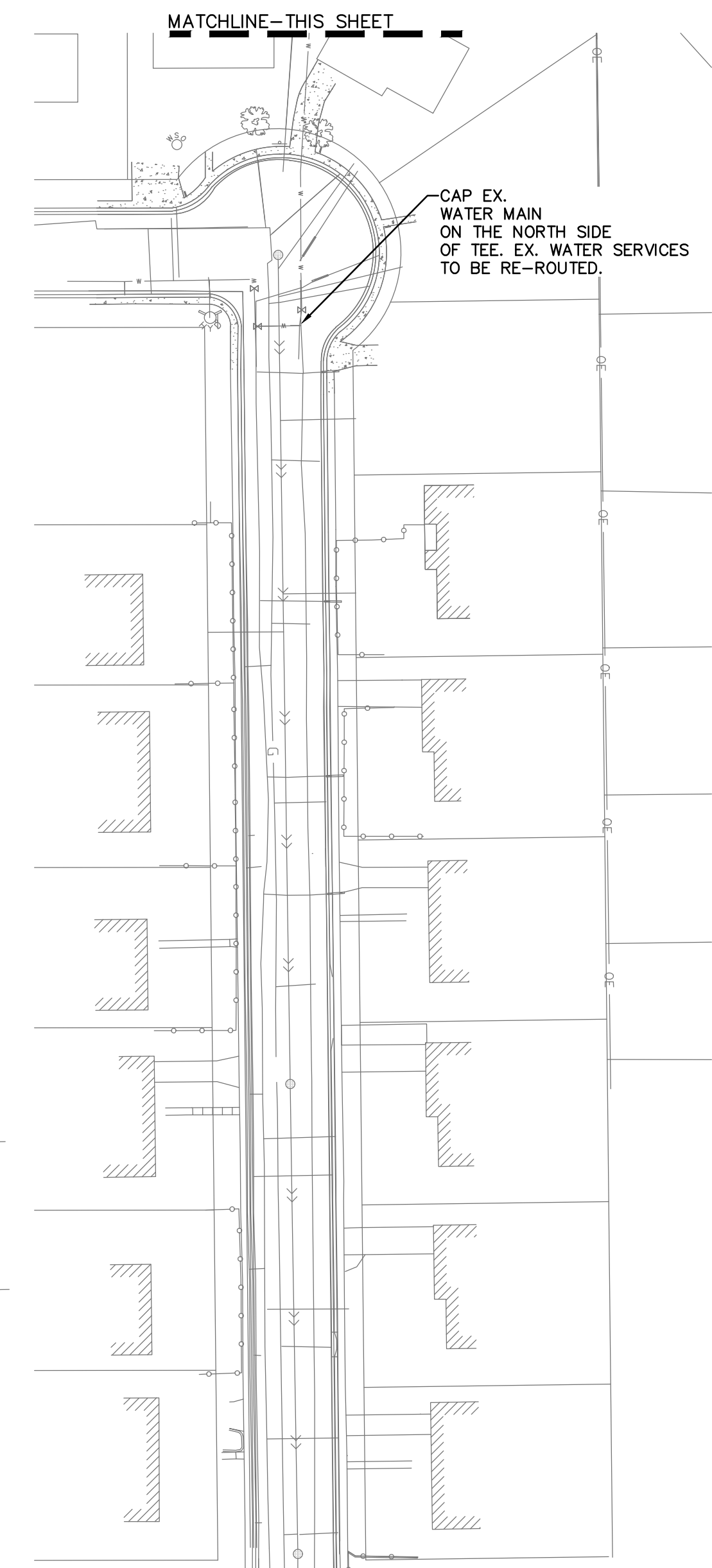
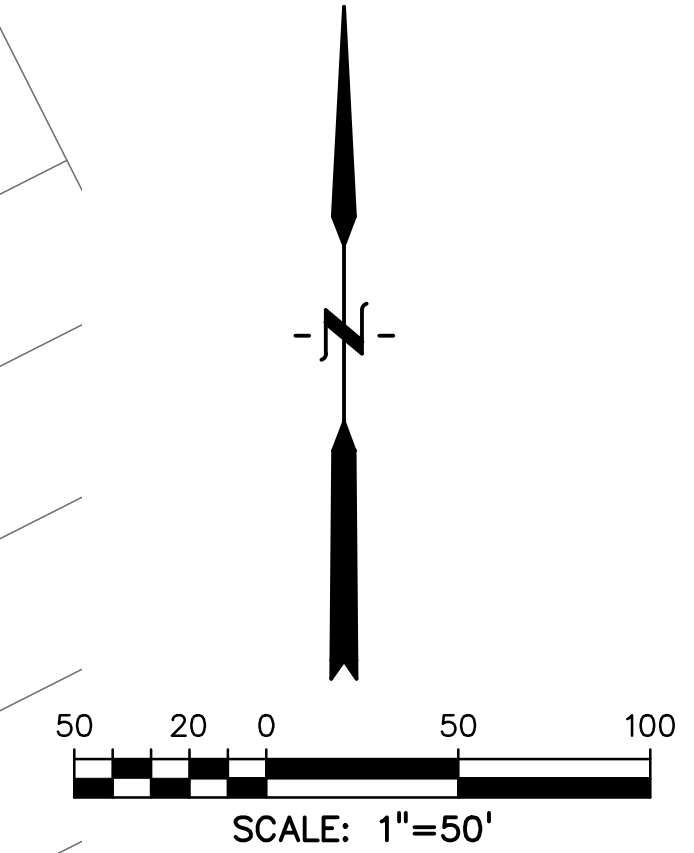
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**DT01**

SHEET: 4 OF 52



- LEGEND**
- STORM DRAIN
  - SANITARY SEWER
  - WATERLINE
  - CURB FLOWLINE
  - BOUNDARY
  - R.O.W.
  - FIRE HYDRANT
  - MANHOLE
  - WATER VALVE
  - WATER BEND
  - EXIST. WATER MAIN
  - EXIST. FENCE
  - EXIST. STORM SEWER
  - EXIST. SANITARY SEWER
  - EXIST. ELECTRIC
  - EXIST. OVERHEAD ELECTRIC
  - EXIST. FIBER OPTIC



PREPARED BY:

**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
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CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

# HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03DM01



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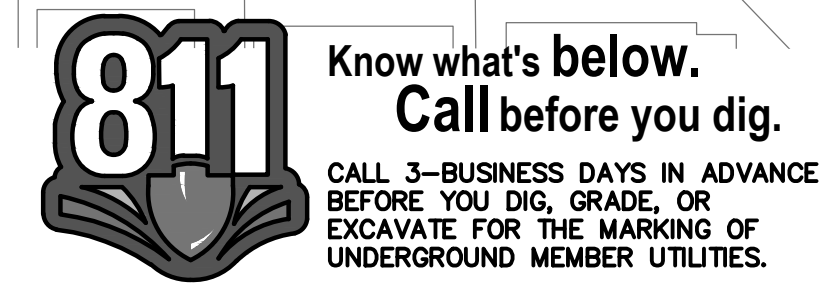
DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

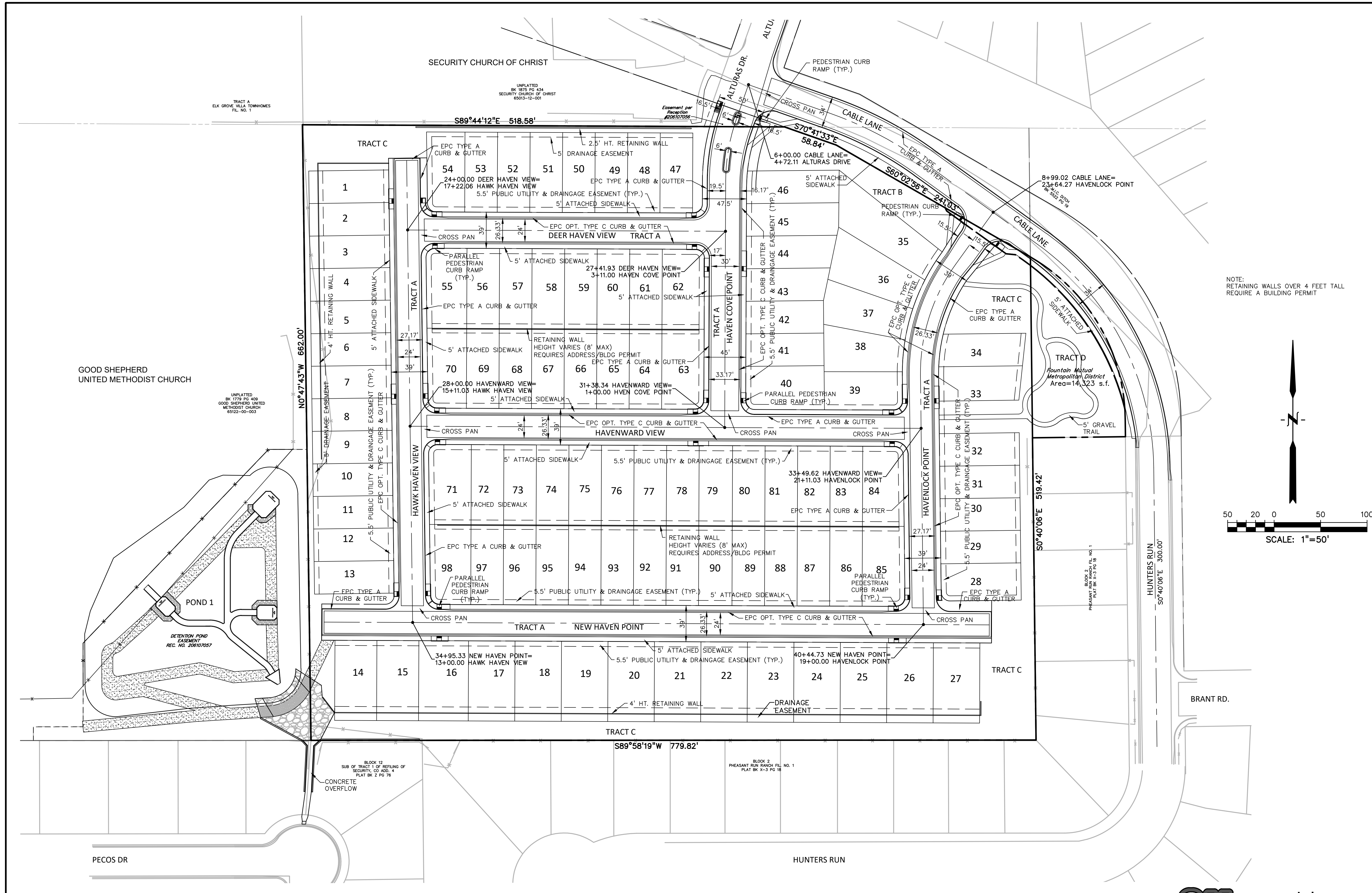
**DEMOLITION PLAN**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**DM01**

SHEET: OF 52





PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
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 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
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CLIENT:  
 MIDCO INVESTMENTS, LLC  
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 COLORADO SPRINGS, CO 80960  
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 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03SP01



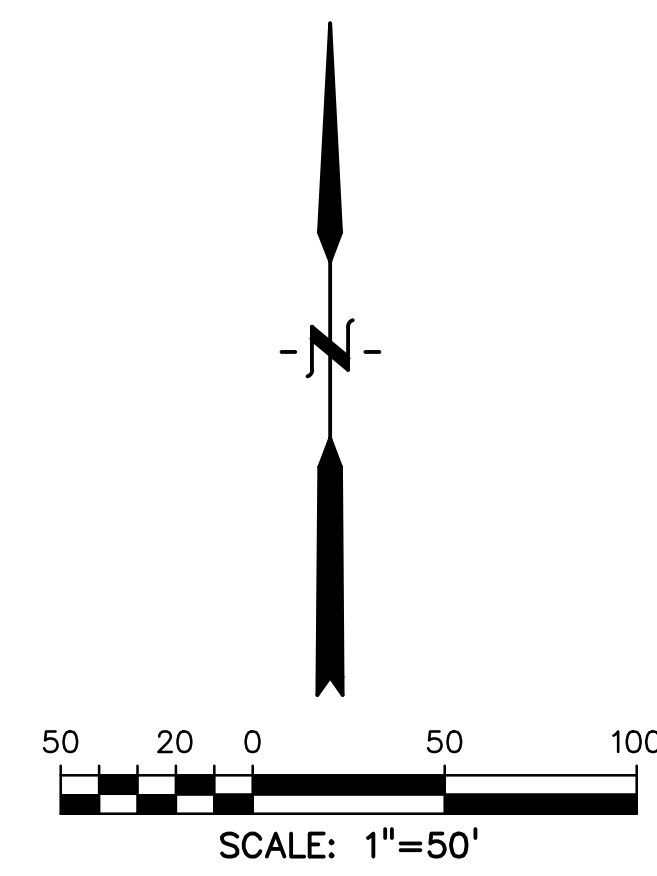
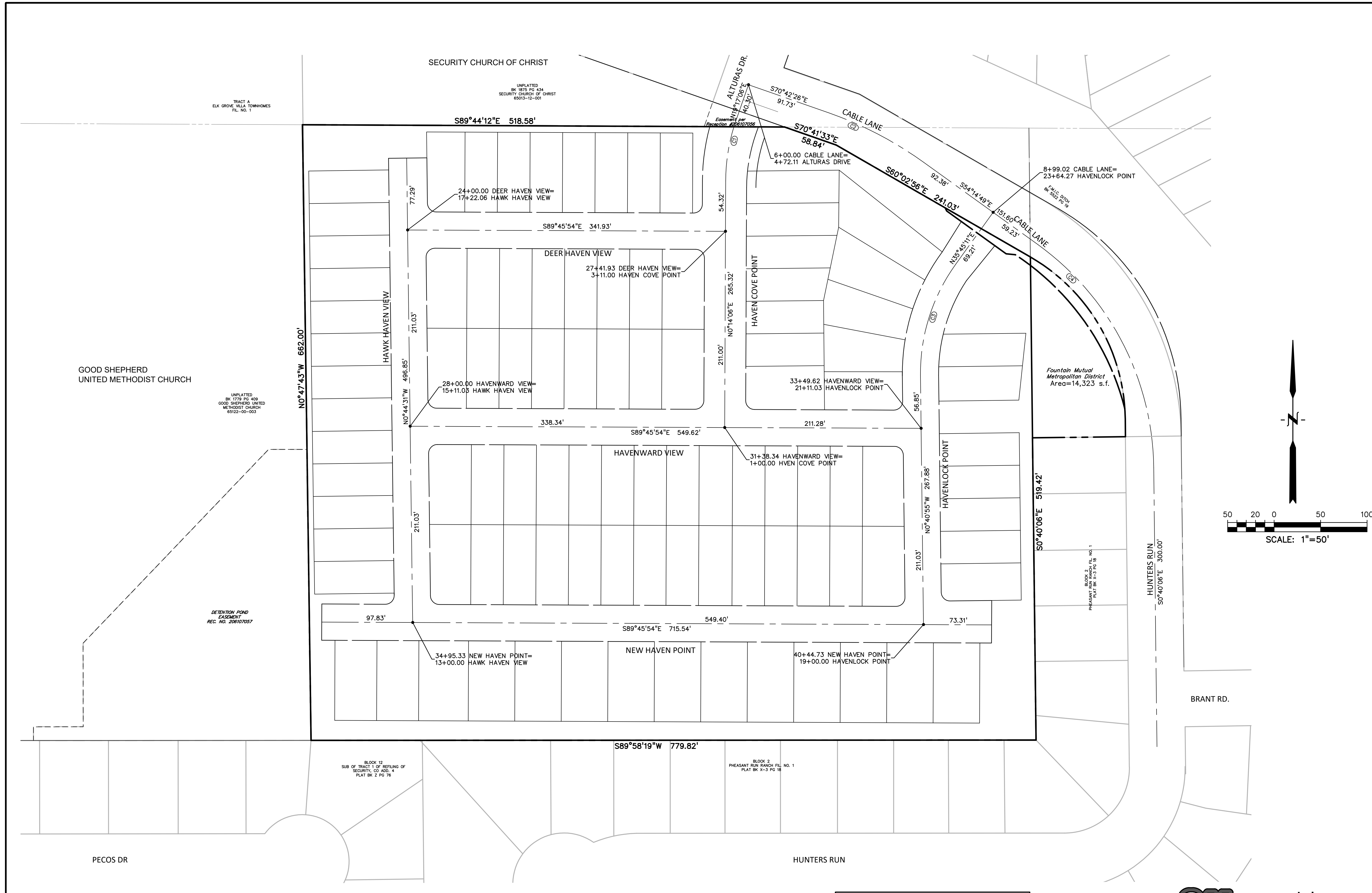
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

SITE PLAN  
 PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**SP01**

SHEET: 6 OF 52





CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	66.50'	200.00'	19°03'00"	S09°45'36"W	66.19'
C2	114.91'	400.00'	16°27'37"	N62°28'37"W	114.52'
C3	127.18'	200.00'	36°26'06"	S17°32'08"W	125.05'
C4	280.54'	300.00'	53°34'42"	N27°27'27"W	270.43'

**811** Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
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CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03HC01



PREPARED UNDER MY DIRECT  
SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 50'  
VERTICAL: N/A

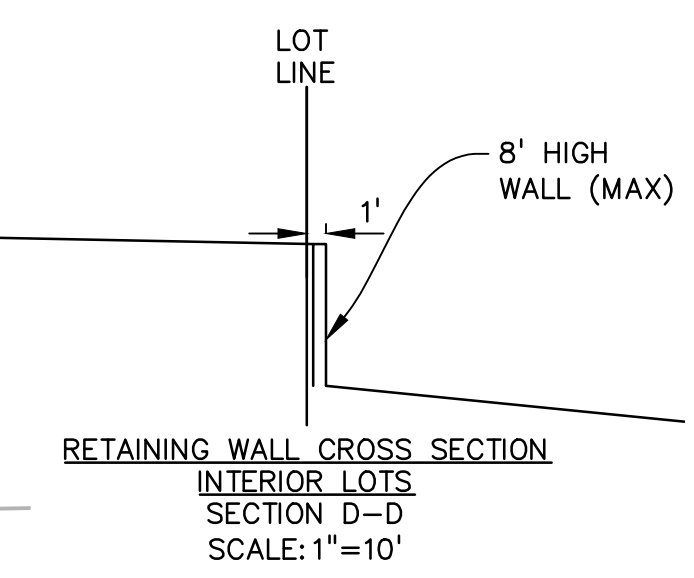
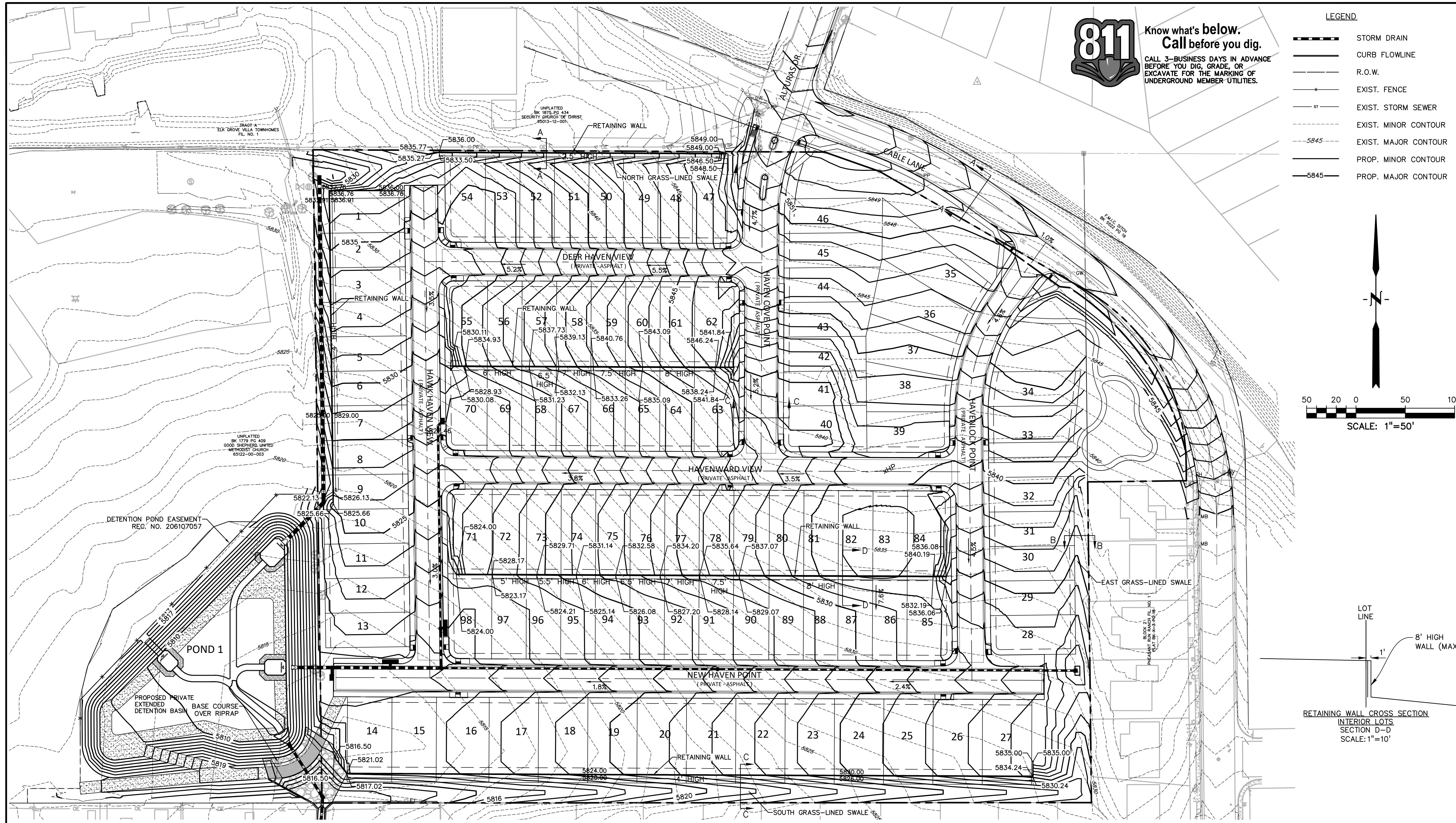
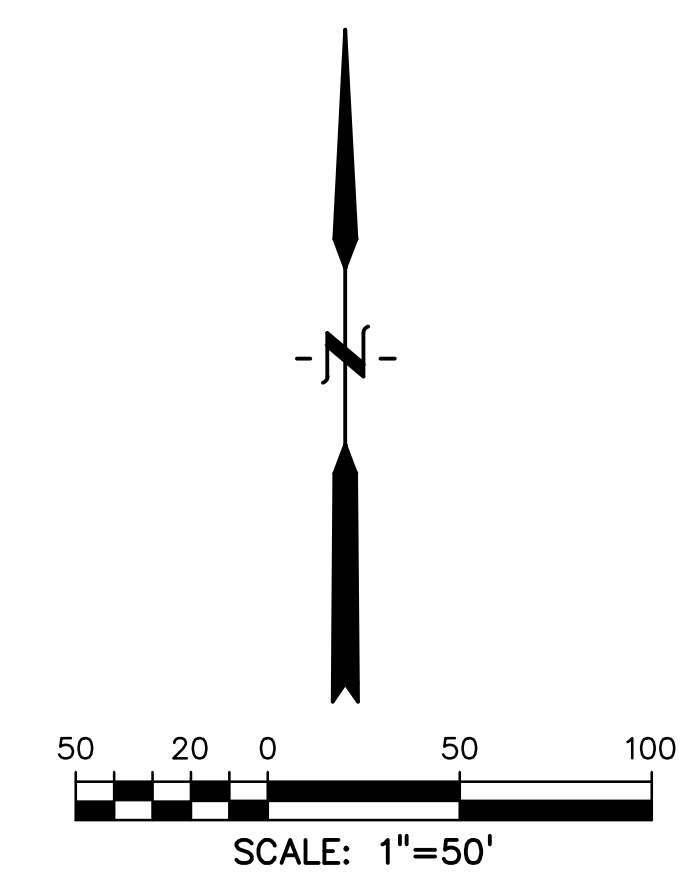
HORIZONTAL  
CONTROL PLAN  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**HC01**



Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

- LEGEND**
- STORM DRAIN
  - CURB FLOWLINE
  - R.O.W.
  - EXIST. FENCE
  - EXIST. STORM SEWER
  - EXIST. MINOR CONTOUR
  - EXIST. MAJOR CONTOUR
  - PROP. MINOR CONTOUR
  - PROP. MAJOR CONTOUR



PREPARED BY:  
  
DREXEL, BARRELL & CO.  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
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COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

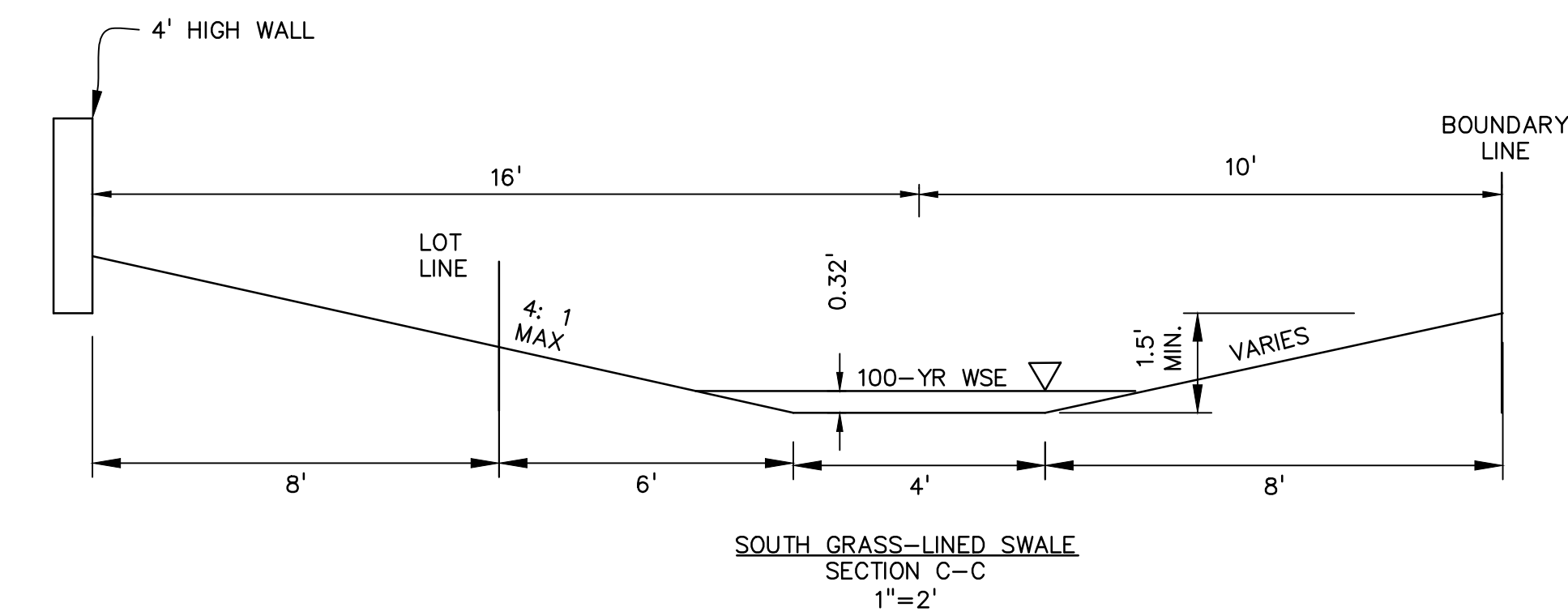
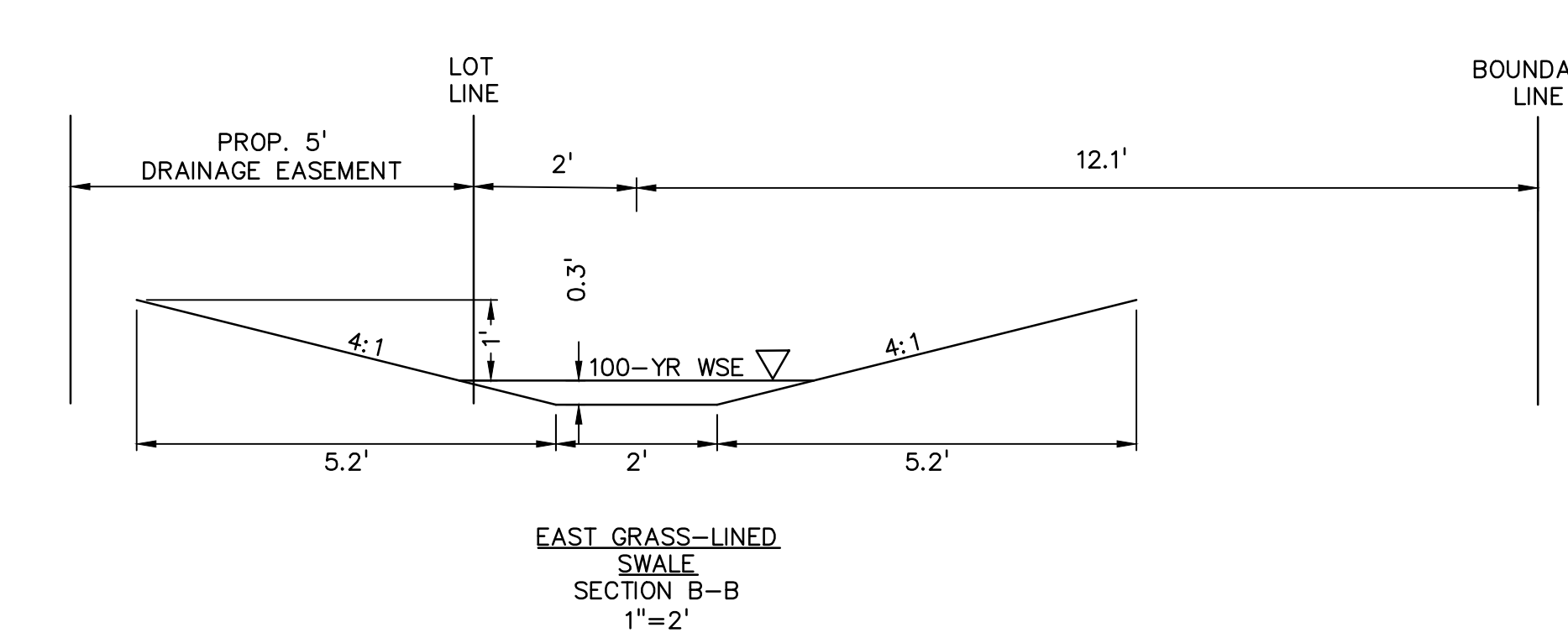
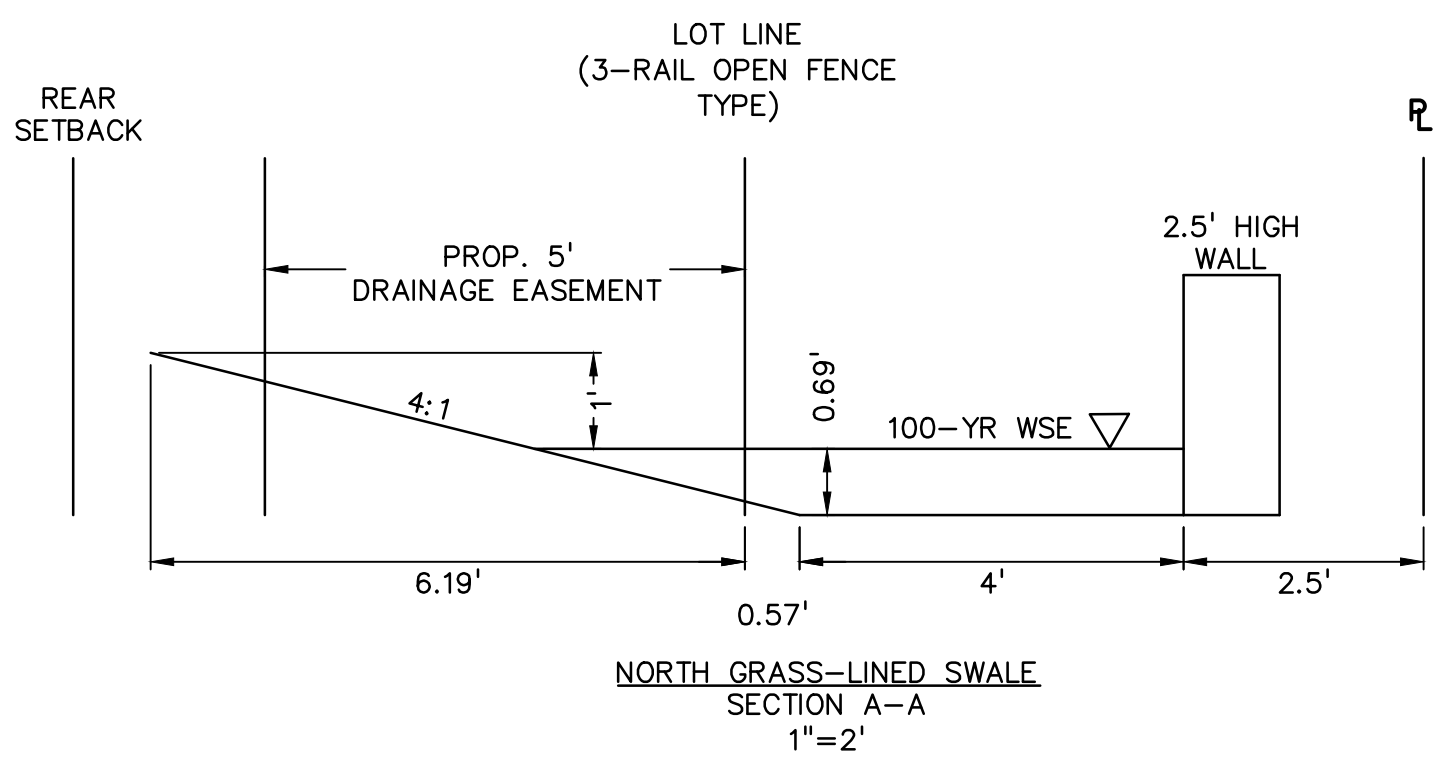
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03GP02



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 50'  
VERTICAL: N/A

GRADING PLAN  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**GP01**  
SHEET: 8 OF 52





PREPARED BY:



CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03GP03



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: N/A

**DETAILED GRADING PLAN**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**GP02**

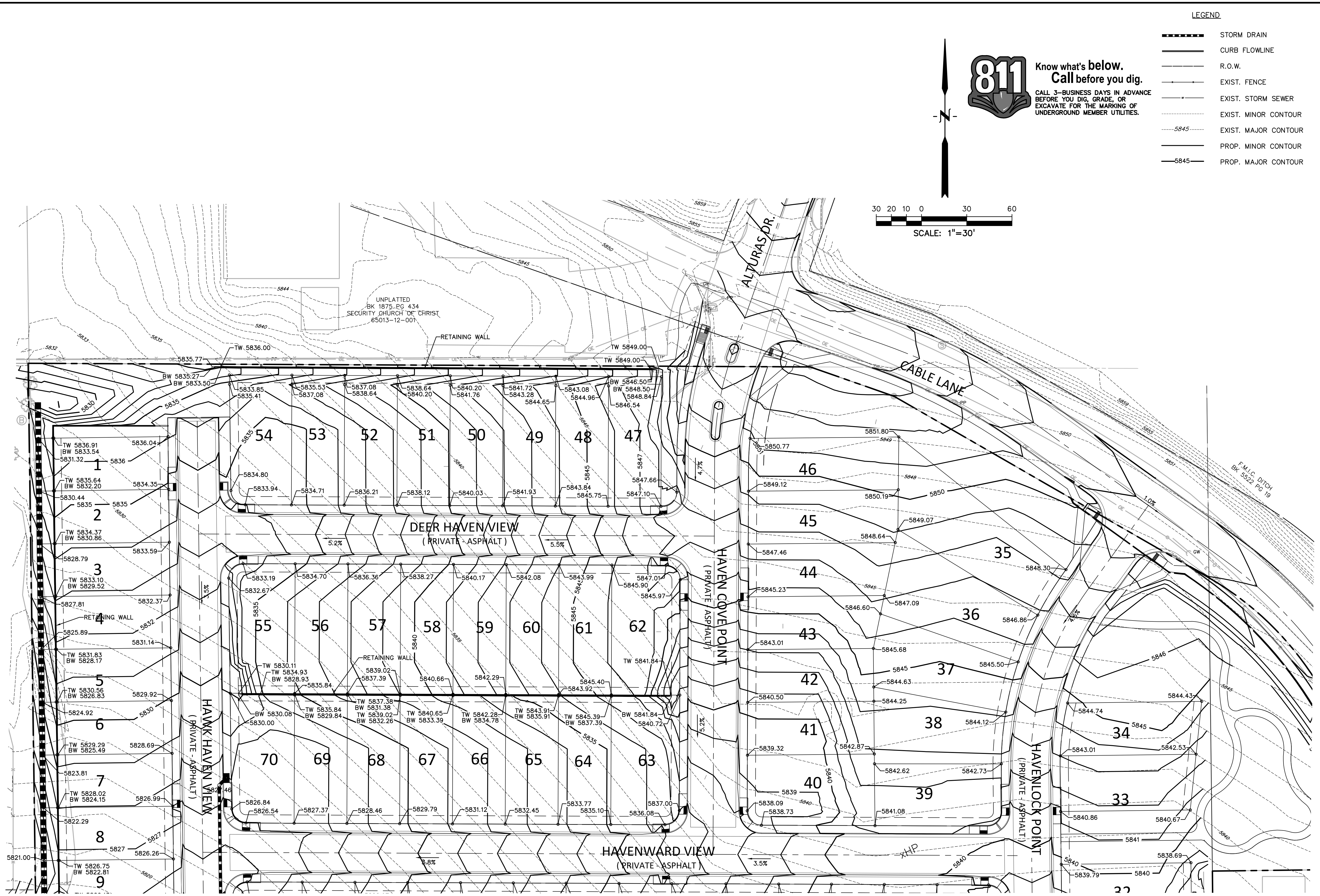
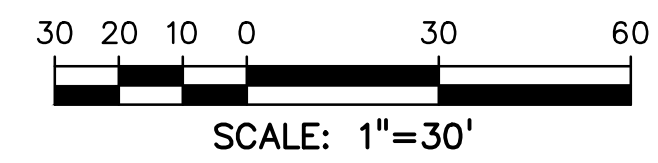
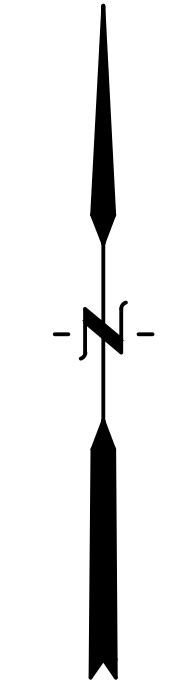
SHEET: 9 OF 52

LEGEND

- STORM DRAIN
- CURB FLOWLINE
- R.O.W.
- EXIST. FENCE
- EXIST. STORM SEWER
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. MAJOR CONTOUR



Know what's below.  
**Call before you dig.**  
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



SEE SHEET 10

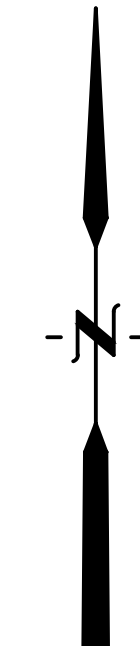


Know what's below.  
Call before you dig.

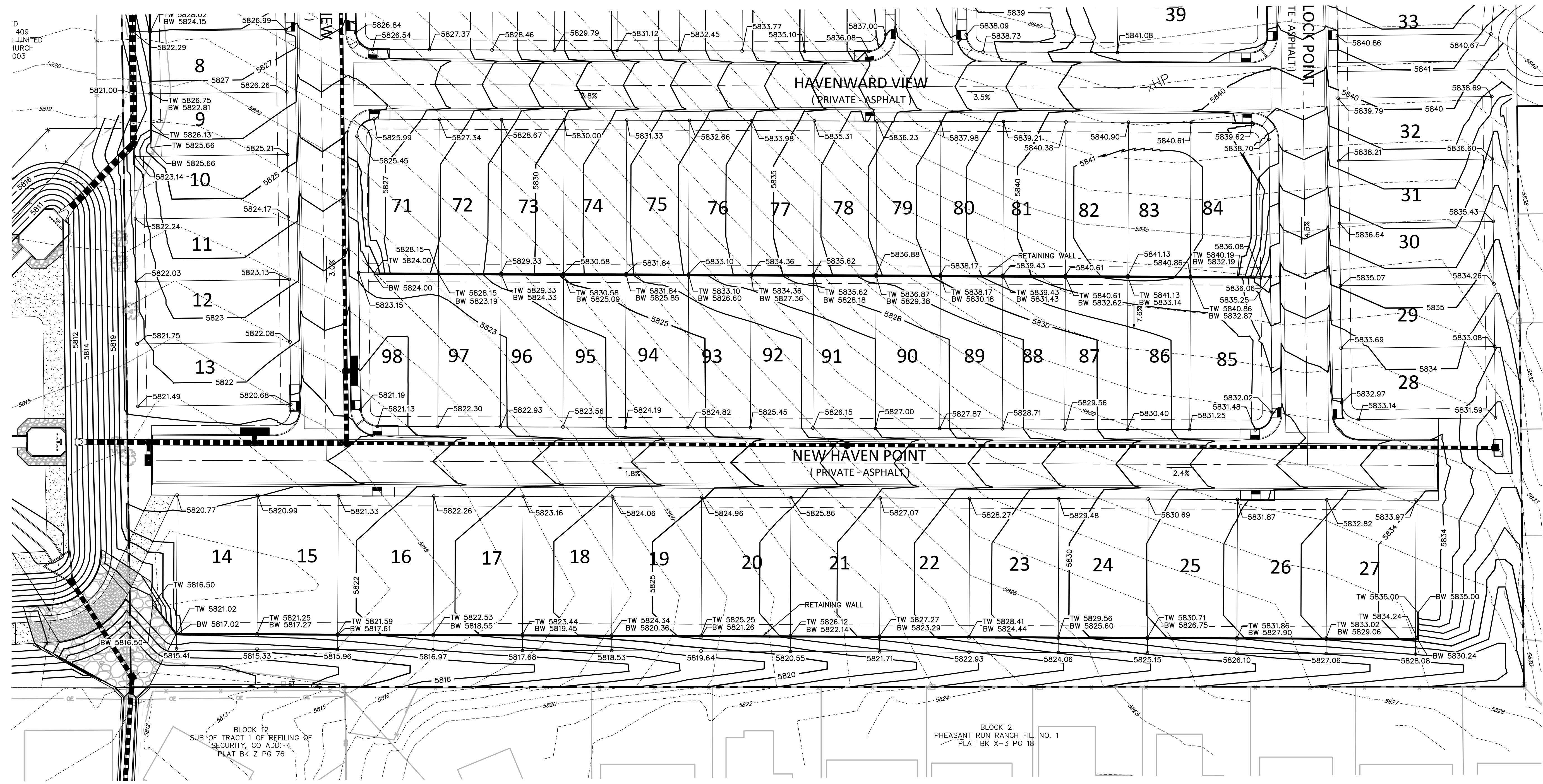
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

LEGEND

- STORM DRAIN
- CURB FLOWLINE
- R.O.W.
- EXIST. FENCE
- EXIST. STORM SEWER
- EXIST. MINOR CONTOUR
- EXIST. MAJOR CONTOUR
- PROP. MINOR CONTOUR
- PROP. MAJOR CONTOUR



SEE SHEET 9



PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03GP03



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: N/A

**DETAILED GRADING PLAN**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**GP03**

SHEET: 10 OF 52

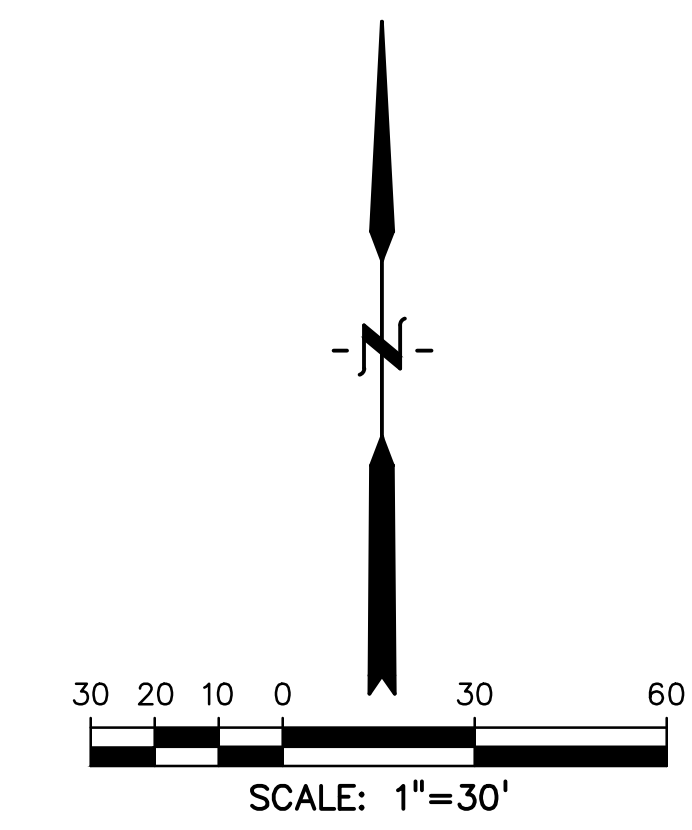
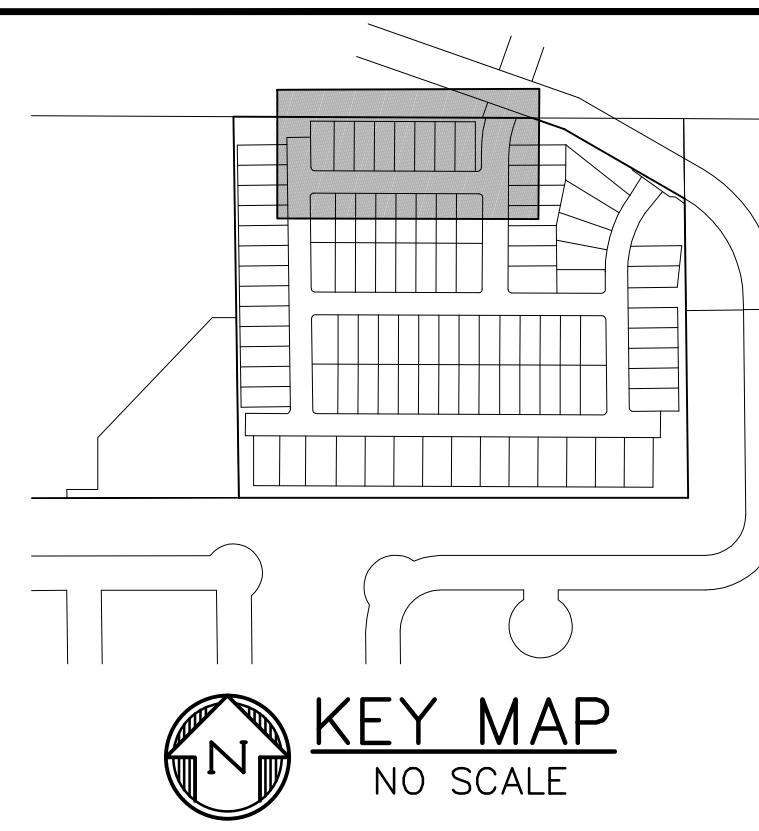
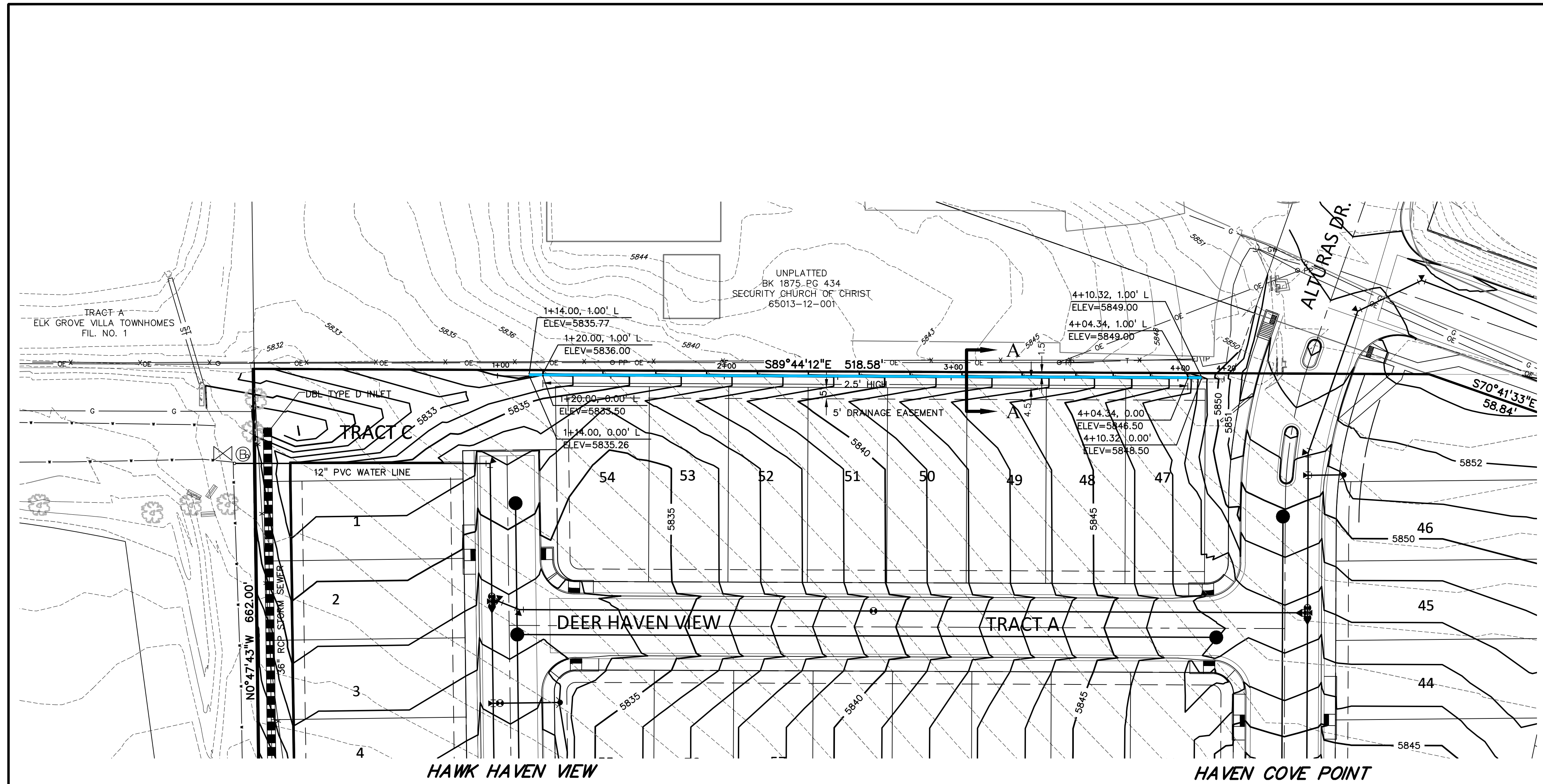
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UNLIMITED  
MURCH  
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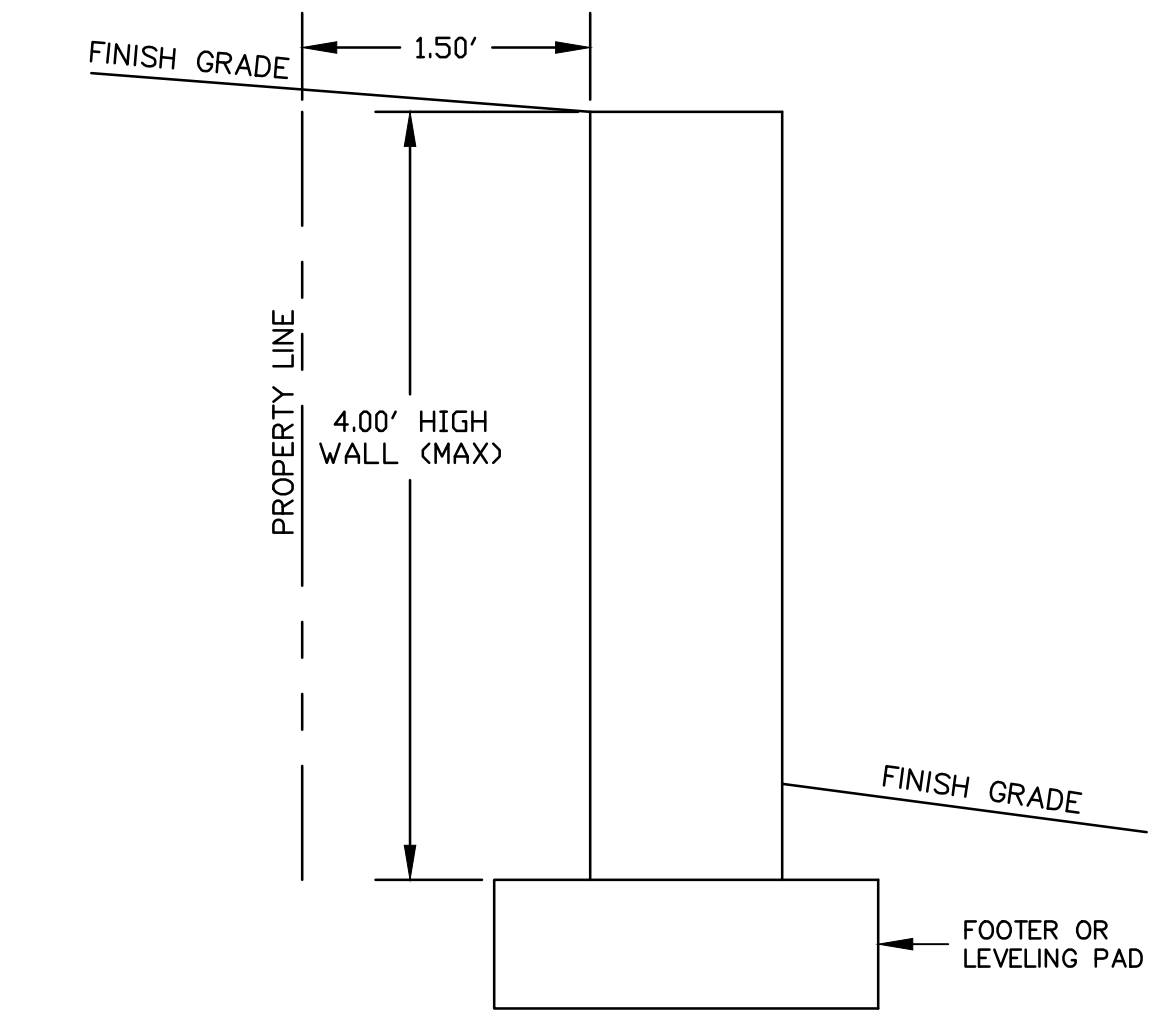
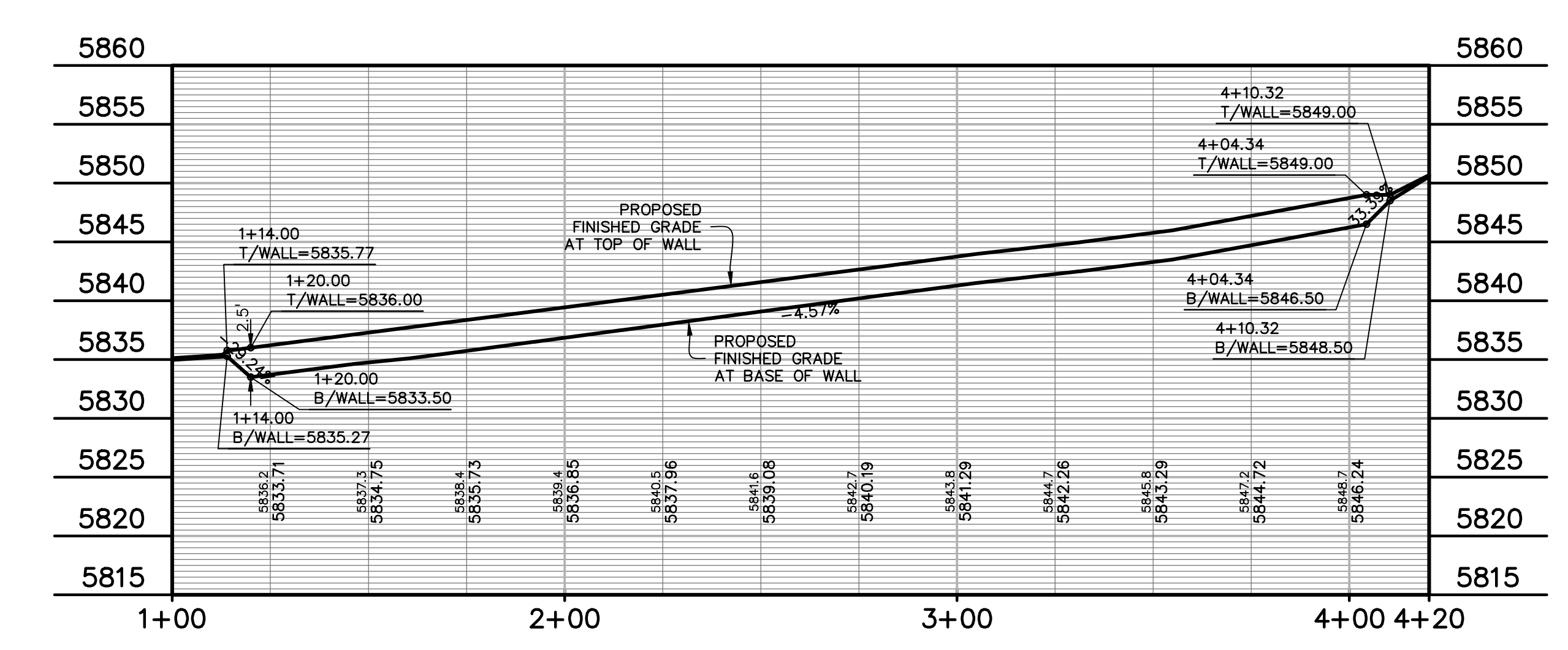
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5801  
5800

BLOCK 12  
SUB OF TRACT 1 OF REFILED OF  
SECURITY, CO ADD-4  
PLAT BK Z PG 76

BLOCK 2  
PHEASANT RUN RANCH FIL NO. 1  
PLAT BK X-3 PG 18



NOTES:  
FOR REFERENCE ONLY. DETAILED WALL DESIGN TO BE COMPLETED BY WALL DESIGN ENGINEER.



RETAINING WALL CROSS SECTION A-A  
INTERIOR LOTS  
SCALE: 1"=1'

PREPARED BY:  
  
DREXEL, BARRELL & CO.  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
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CONTACT: ROBERT C. IRWIN  
(719) 475-7474

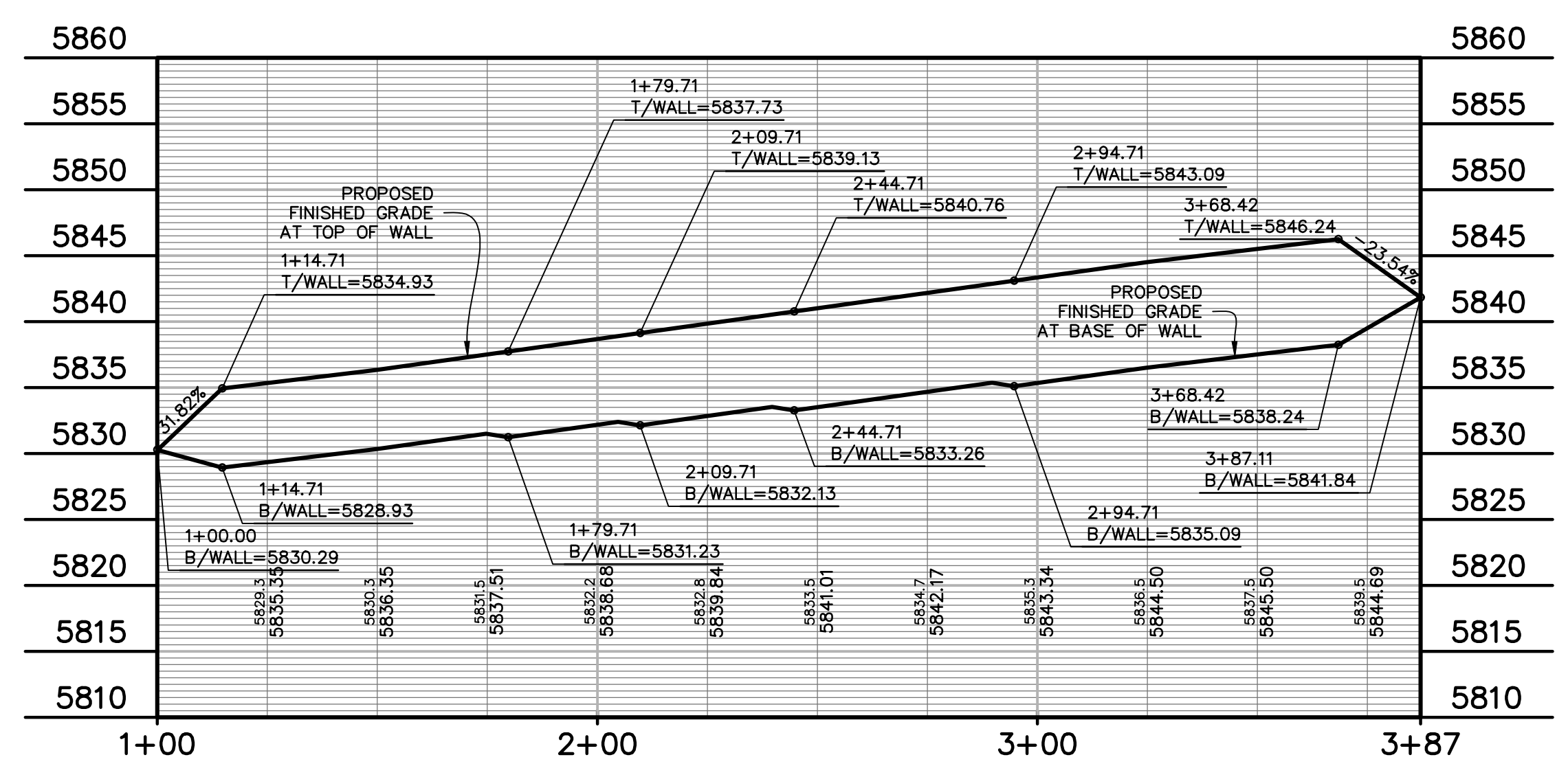
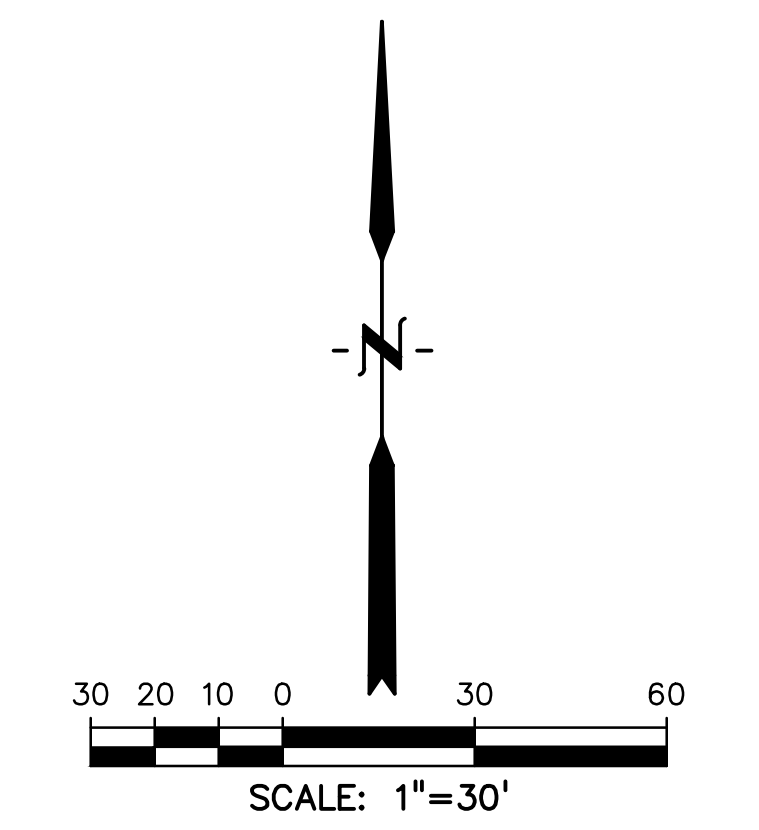
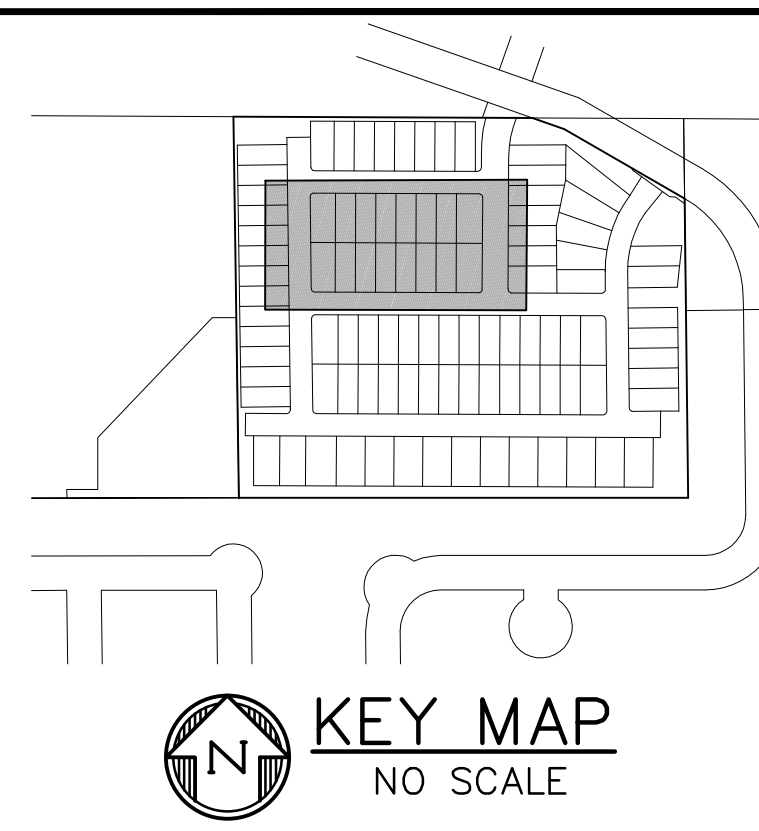
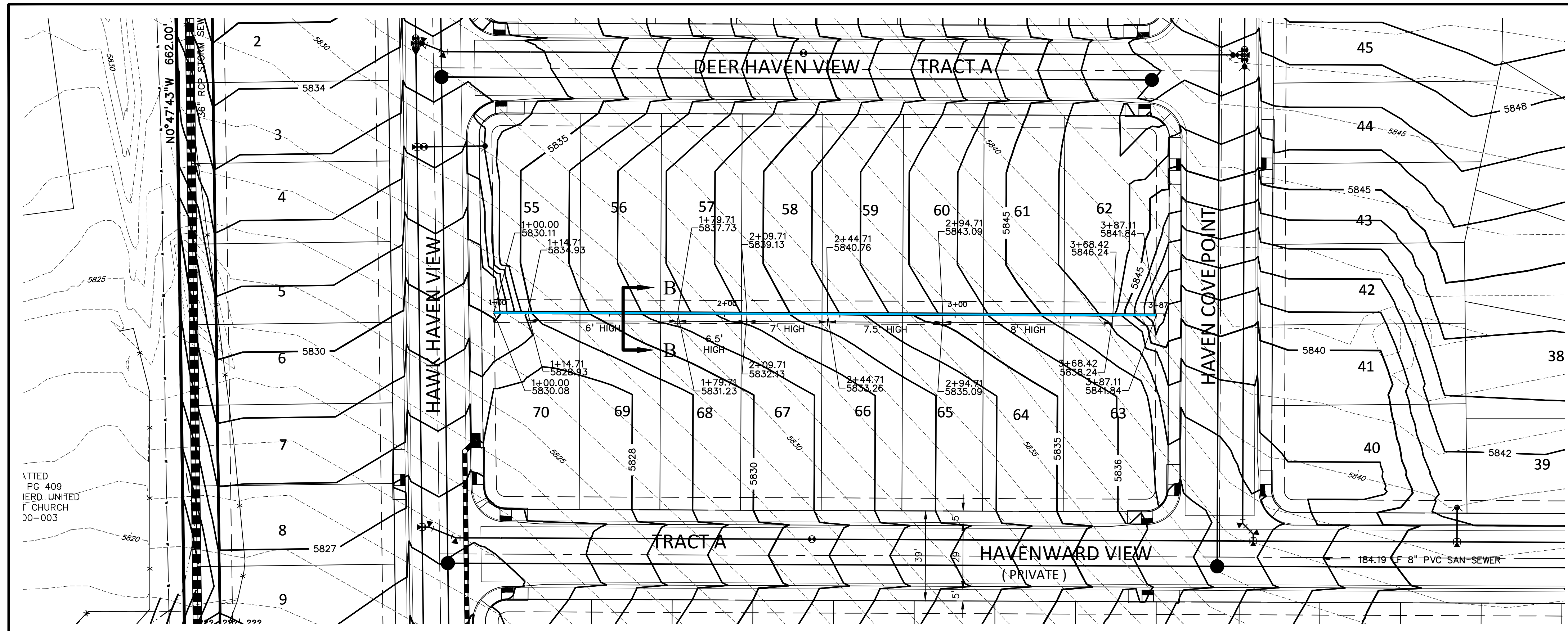
CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03RW01

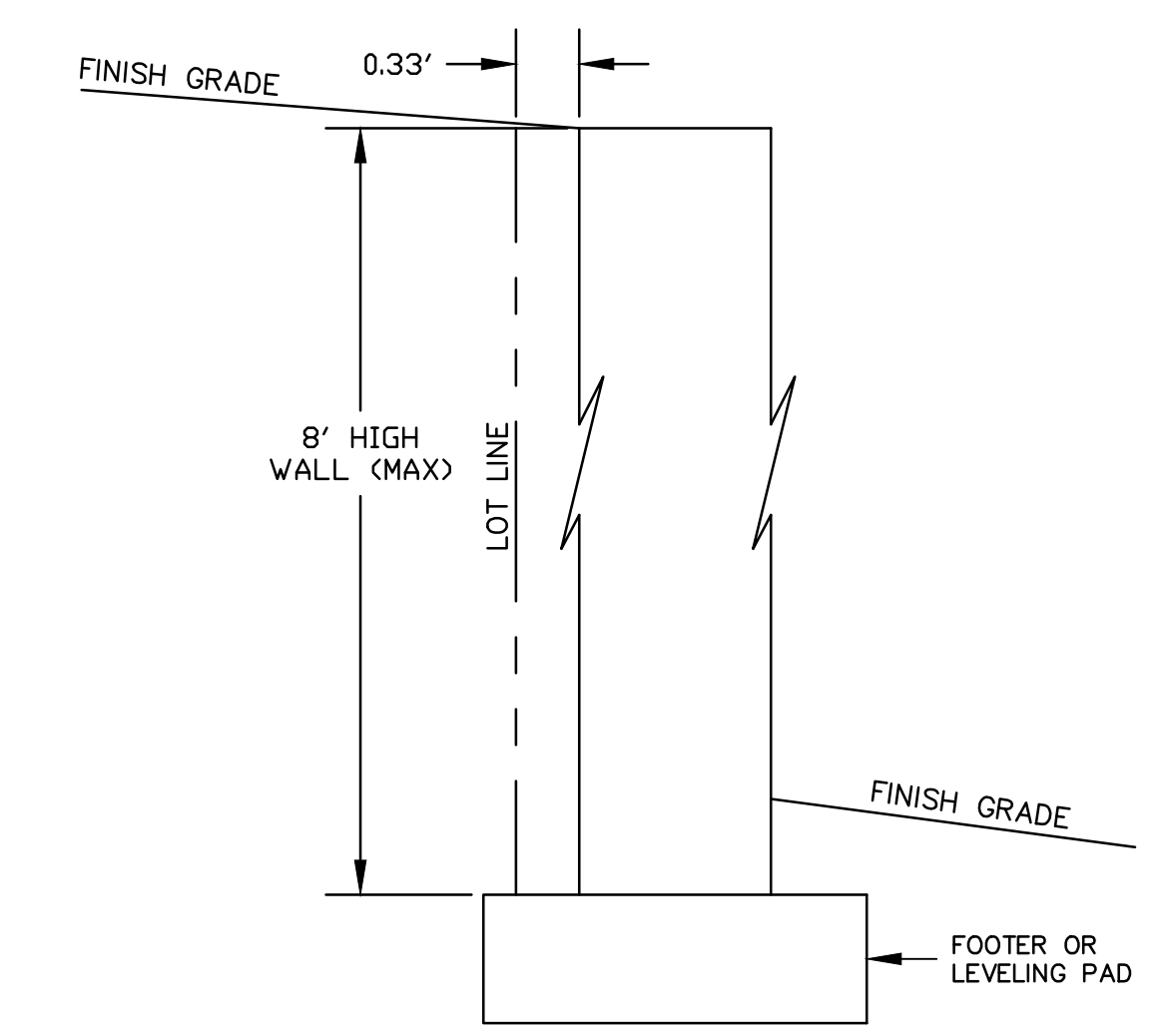
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 10'

RETAINING WALL  
PLAN & PROFILE  
PROJECT NO. 21085-03CSCV  
DRAWING NO.  
**RW01**  
SHEET: 11 OF 52





**NOTE:**  
RETAINING WALLS OVER 4 FEET TALL  
REQUIRE A BUILDING PERMIT AND ADDRESS



**RETAINING WALL CROSS SECTION B-B**  
**INTERIOR LOTS**  
SCALE: 1"=1'

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03RW02

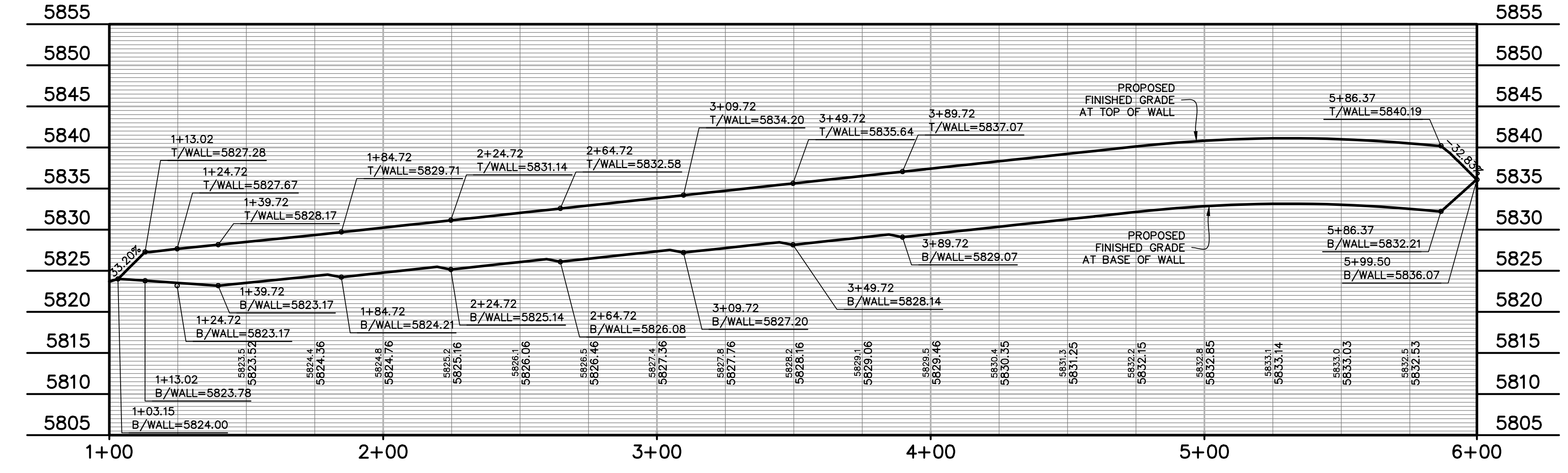
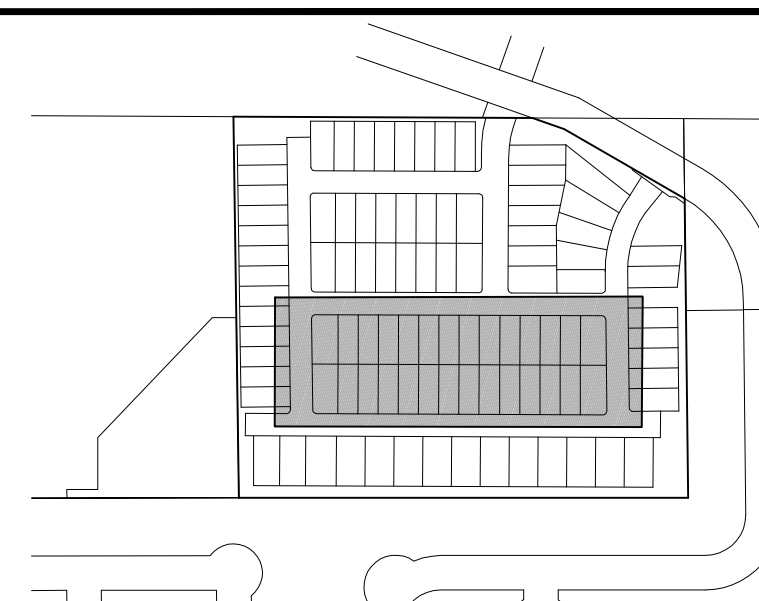
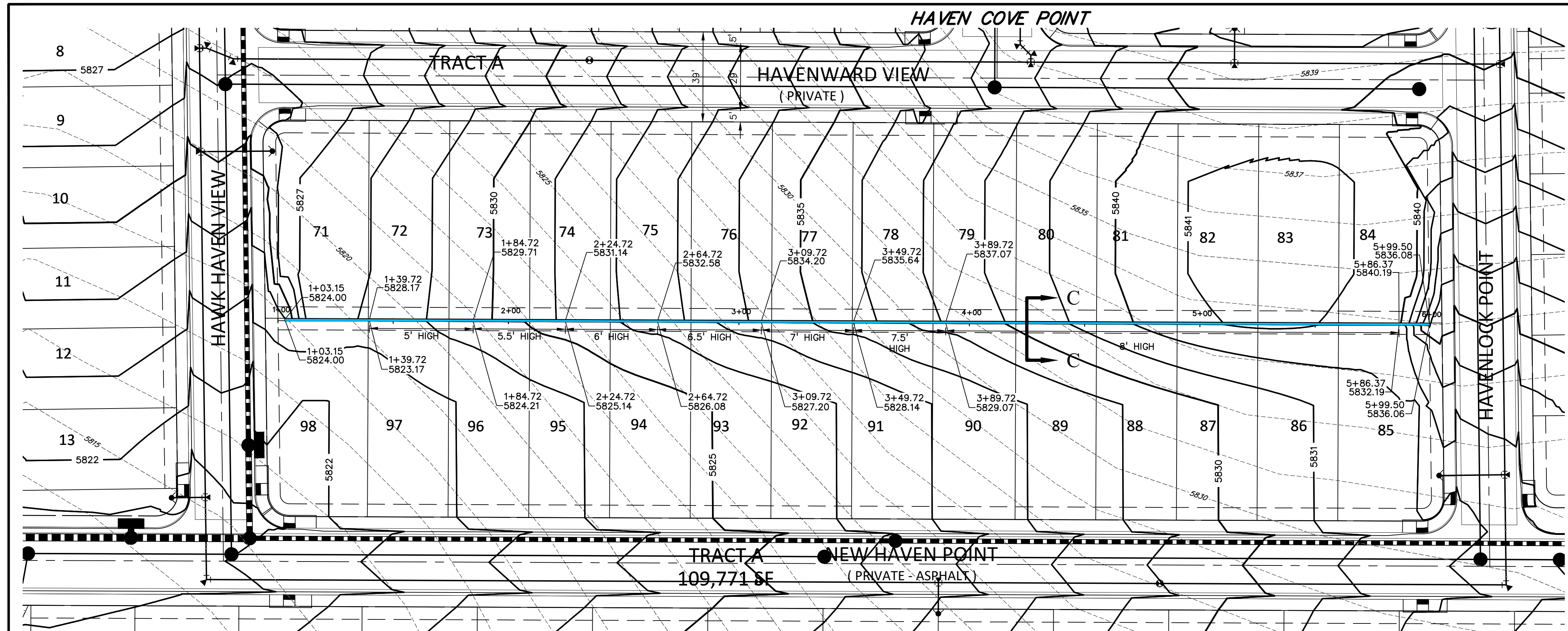


PREPARED UNDER MY DIRECT  
SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.  
**DRAWING SCALE:**  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 10'

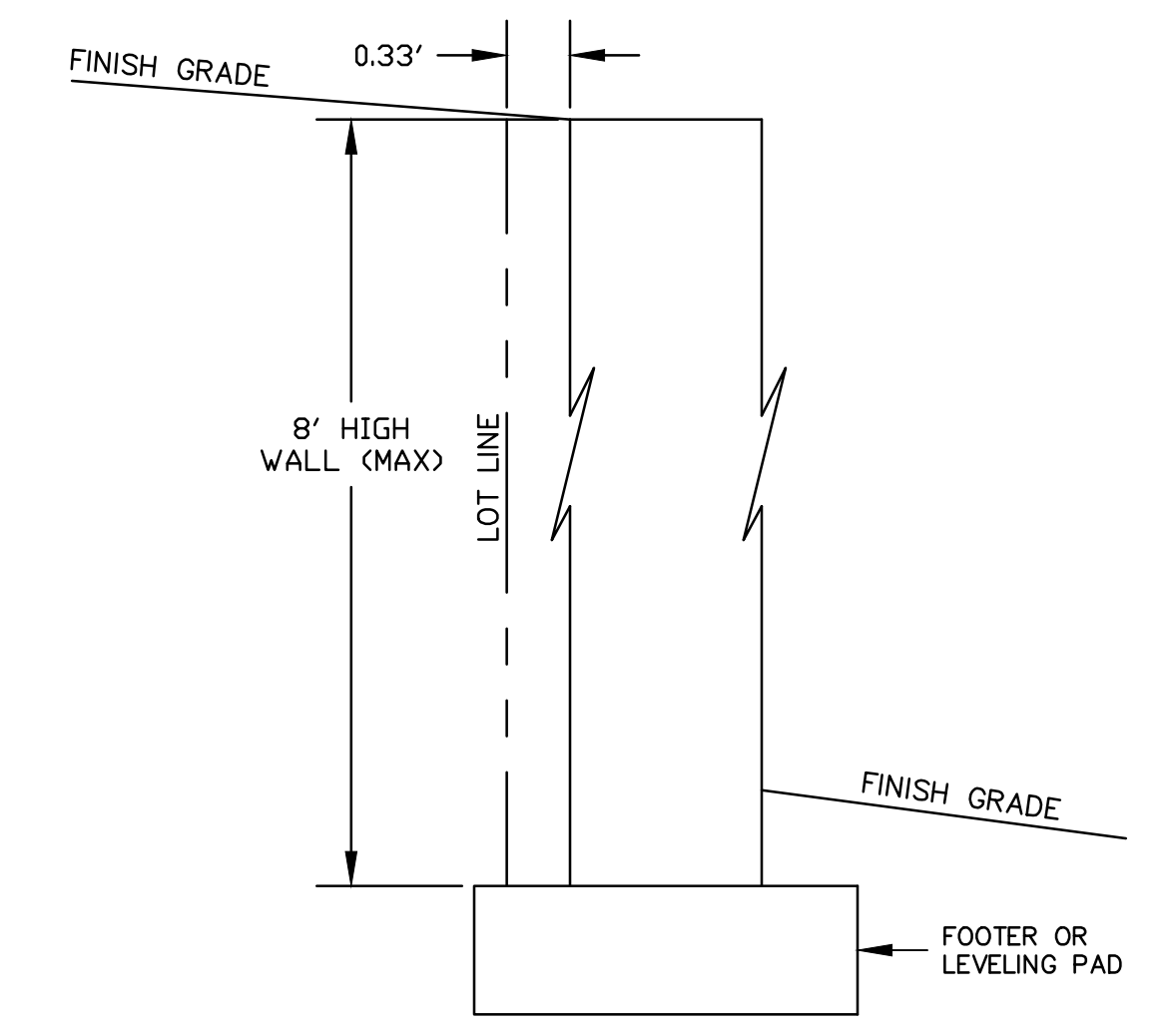
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**PLAN & PROFILE**  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RW02**





**NOTE:**  
RETAINING WALLS OVER 4 FEET TALL  
REQUIRE A BUILDING PERMIT AND ADDRESS



**RETAINING WALL CROSS SECTION C-C**  
**INTERIOR LOTS**  
SCALE: 1"=1'

PREPARED BY:

**DREXEL, BARRELL & CO.**  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
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CHECKED BY:	TDM
FILE NAME:	21085-03RW03



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DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 10'

**RETAINING WALL PLAN & PROFILE**

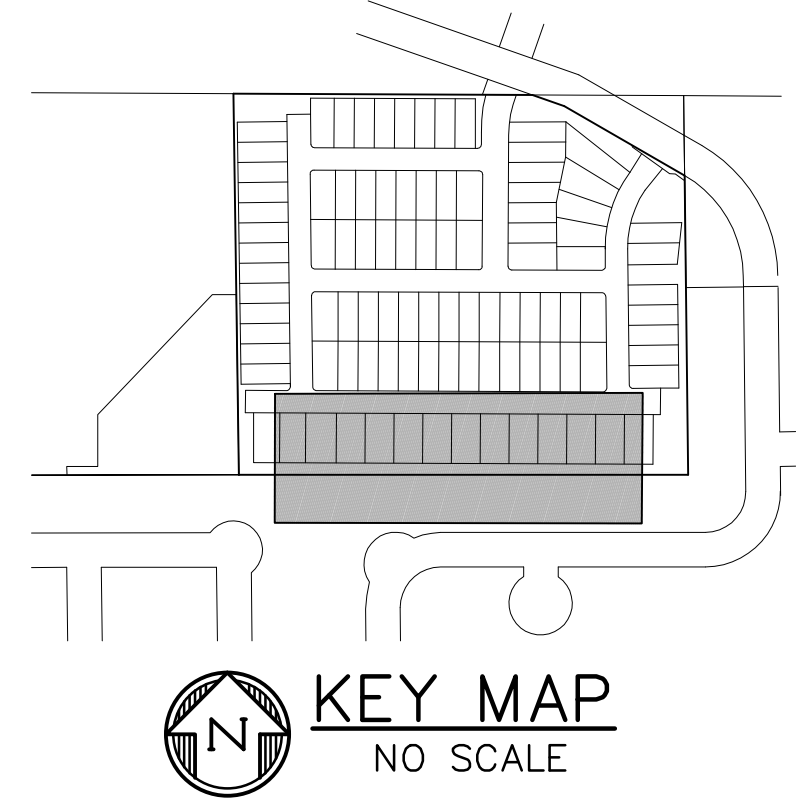
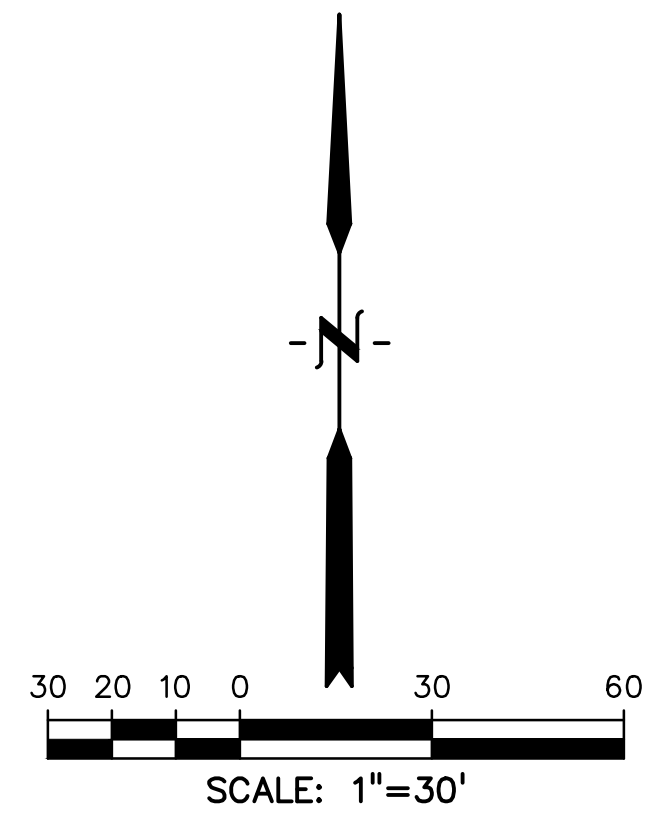
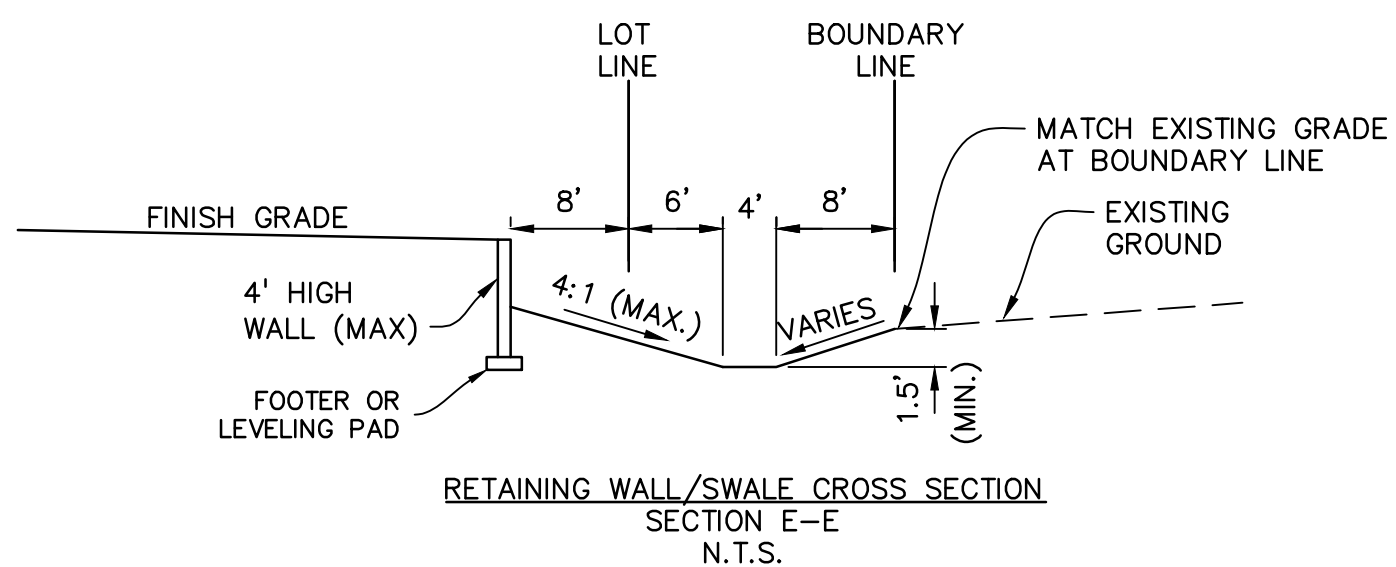
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RW03**

SHEET: 13 OF 52



**Know what's below.  
Call before you dig.**  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03RW04

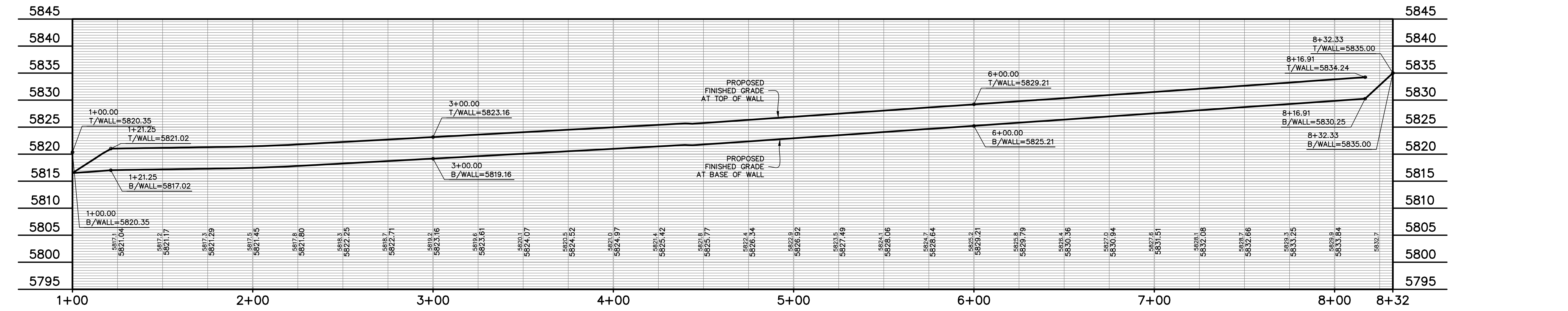
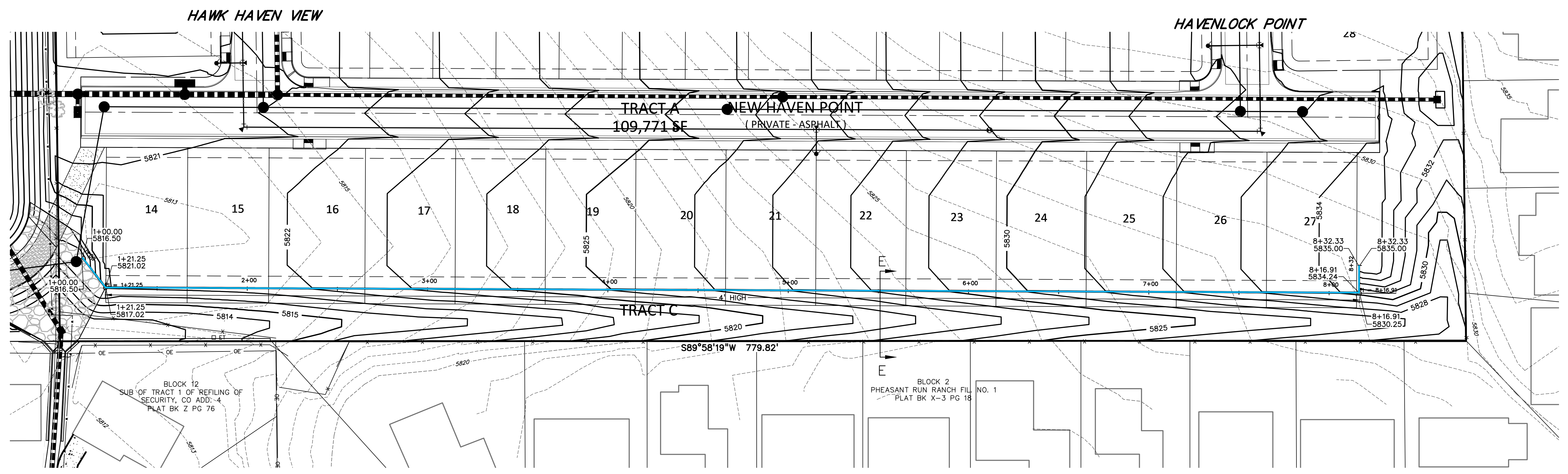


PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 10'

**RETAINING WALL  
PLAN & PROFILE**  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RW04**

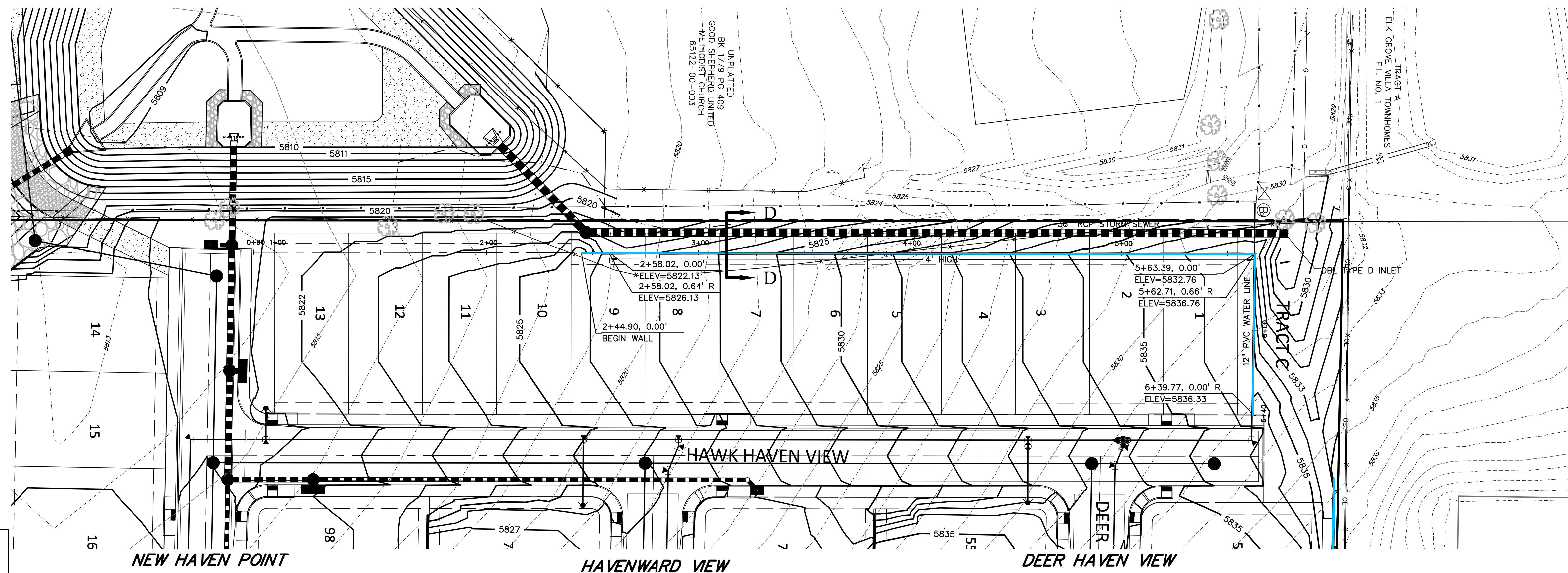
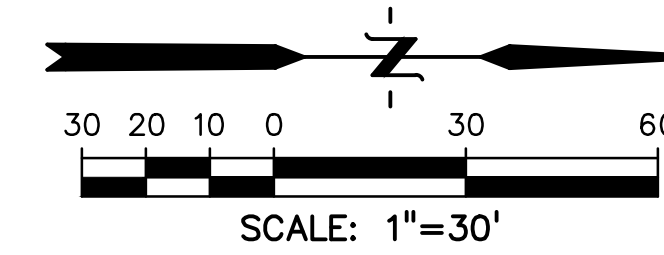
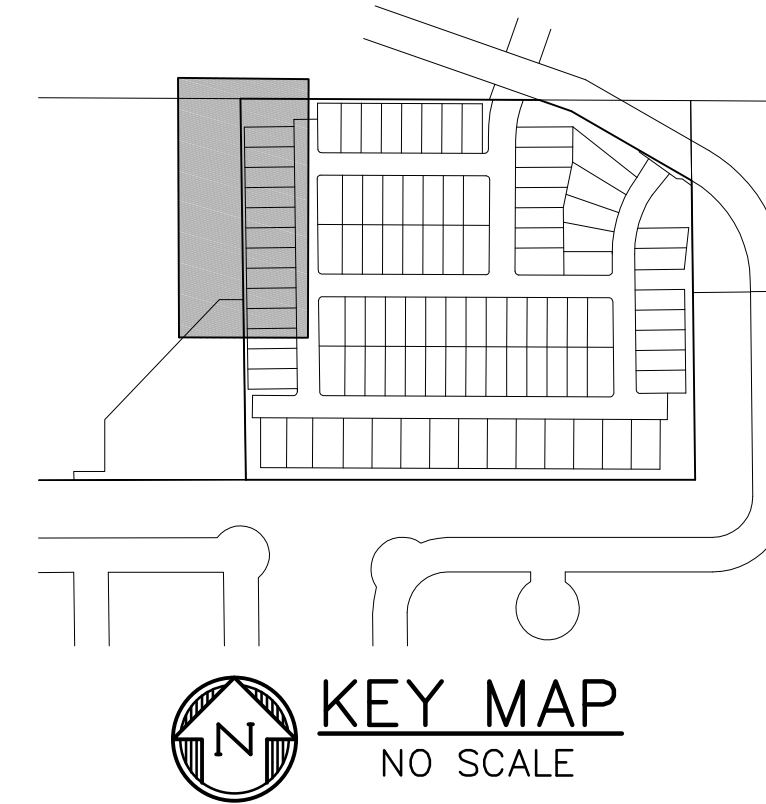
SHEET: 14 OF 52



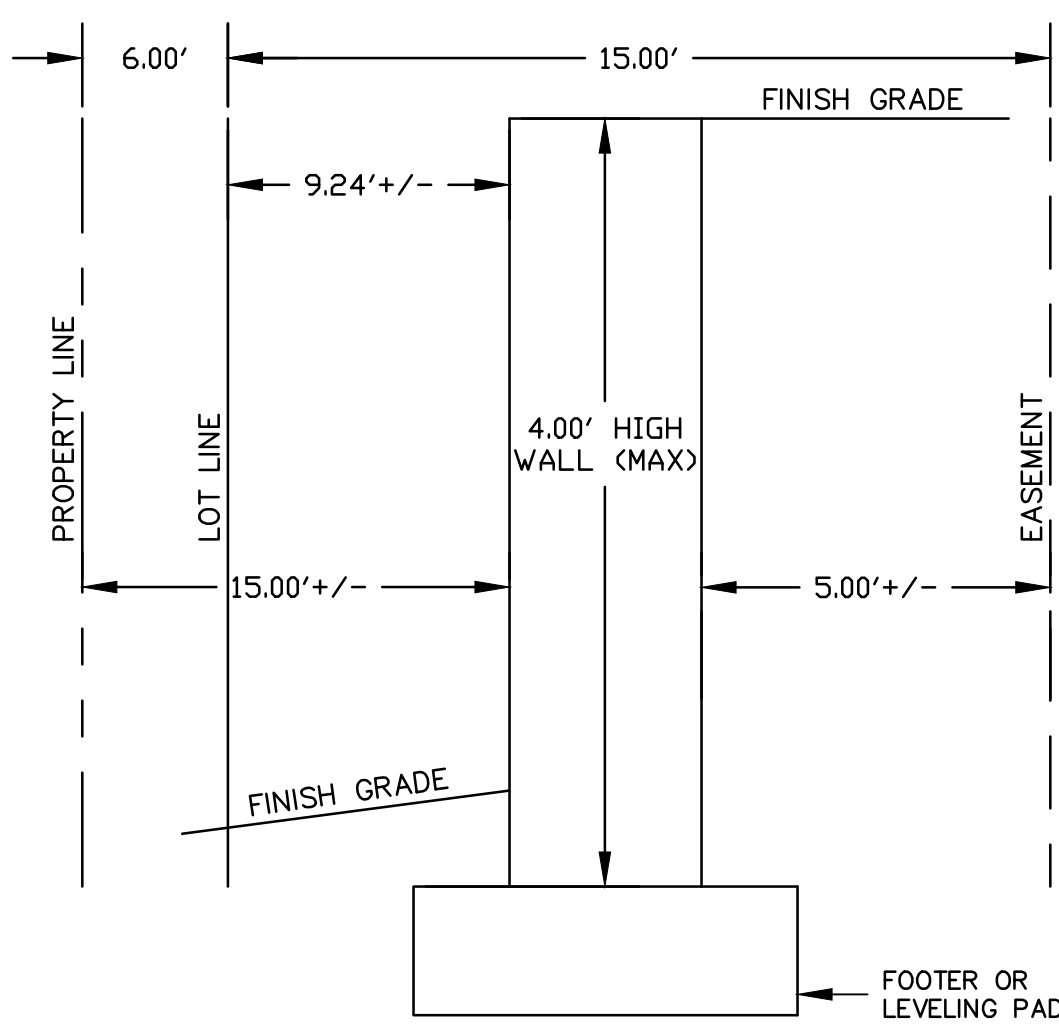


**Know what's below.  
Call before you dig.**

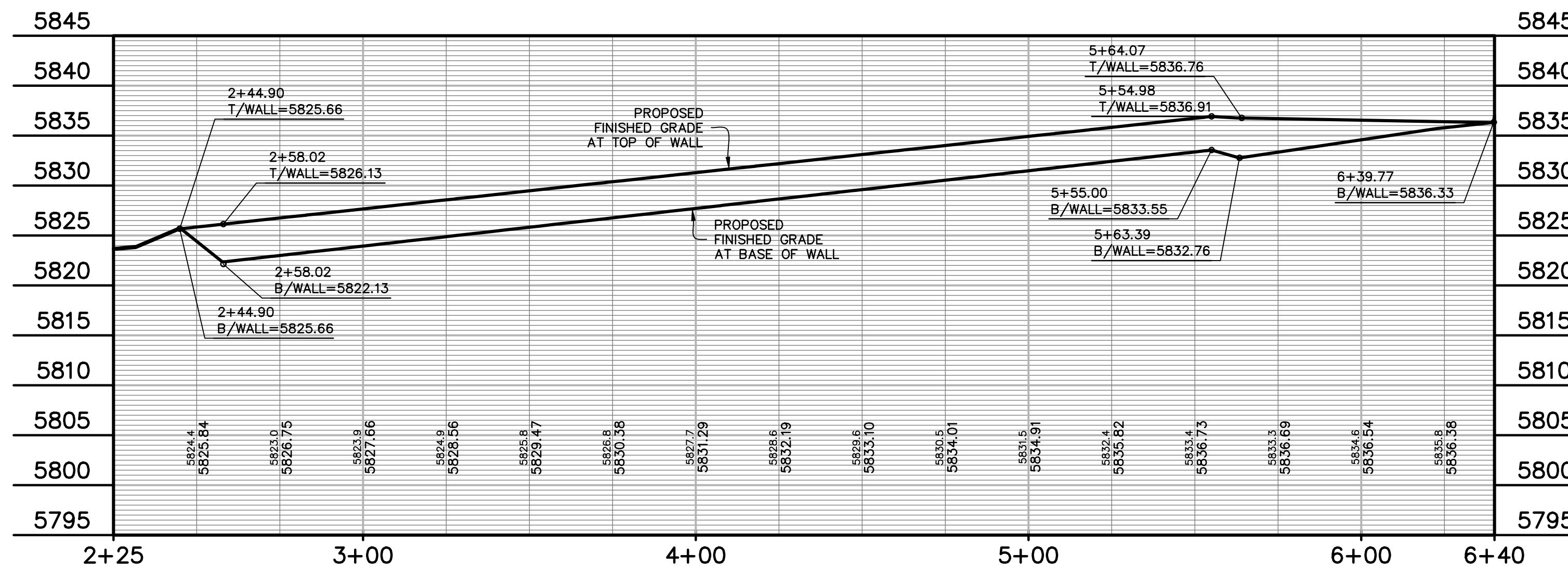
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



**NOTES:**  
FOR REFERENCE ONLY, DETAILED WALL DESIGN TO BE COMPLETED BY WALL DESIGN ENGINEER.



**RETAINING WALL CROSS SECTION D-D**  
**INTERIOR LOTS**  
SCALE: NTS



**PREPARED BY:**  
  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

**CLIENT:**  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

**CONSTRUCTION DOCUMENTS FOR:**  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
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LATEST ISSUE	7/29/24

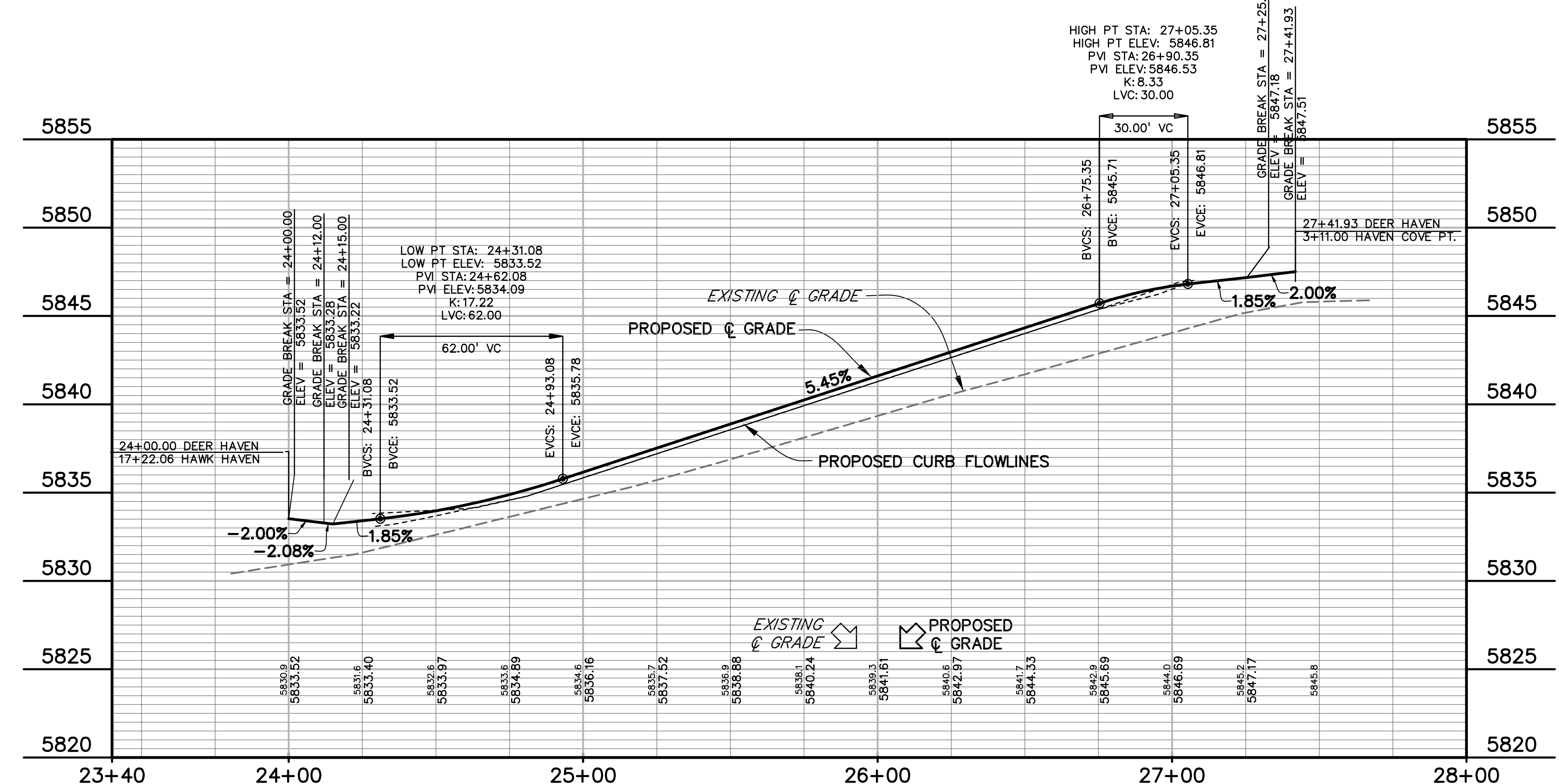
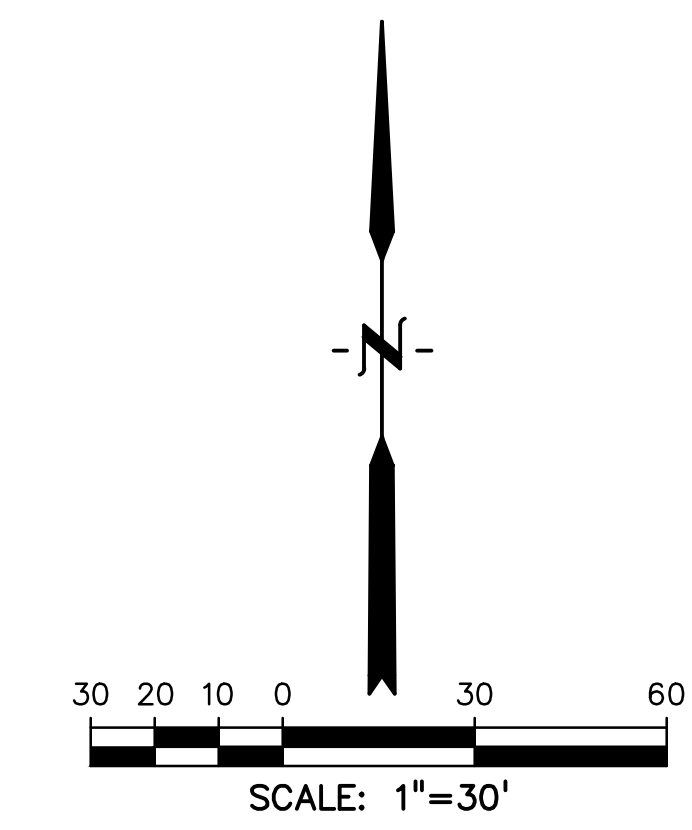
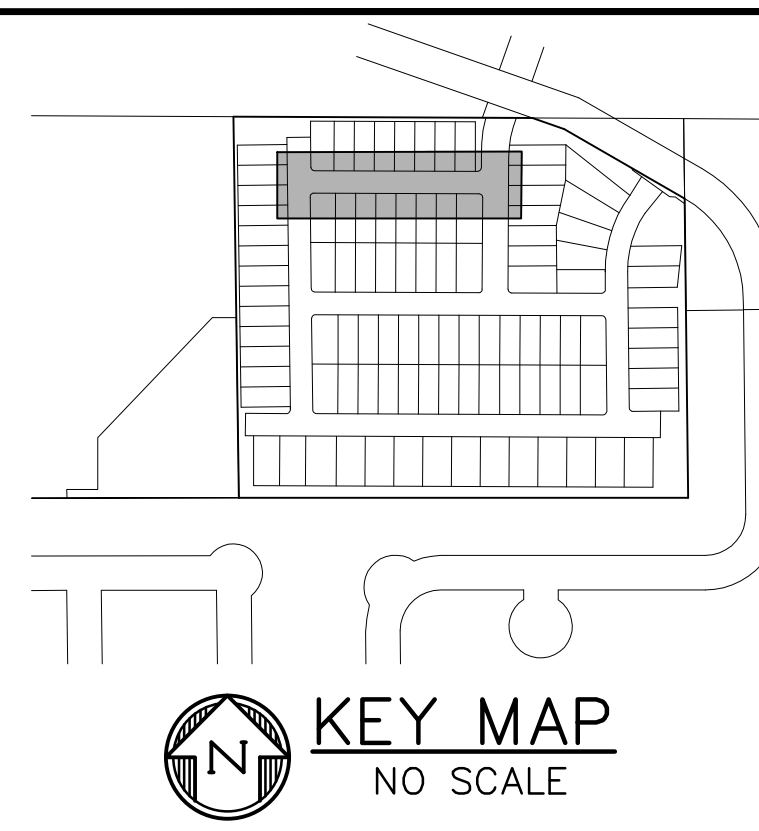
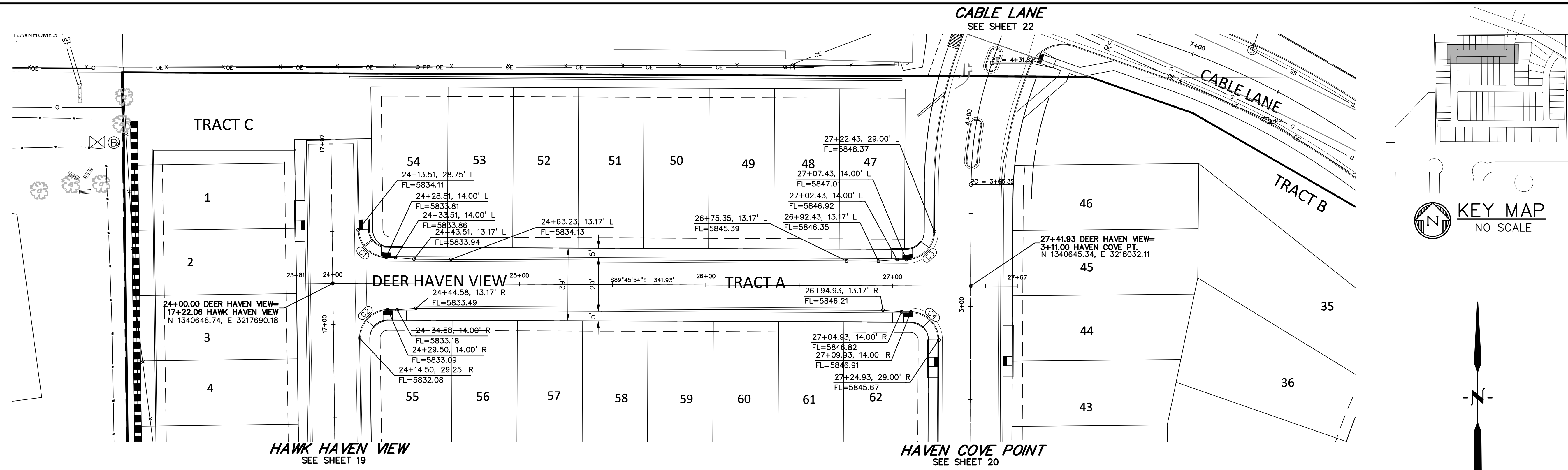
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**DRAWN BY:** GES  
**CHECKED BY:** TDM  
**FILE NAME:** 21085-03RW05



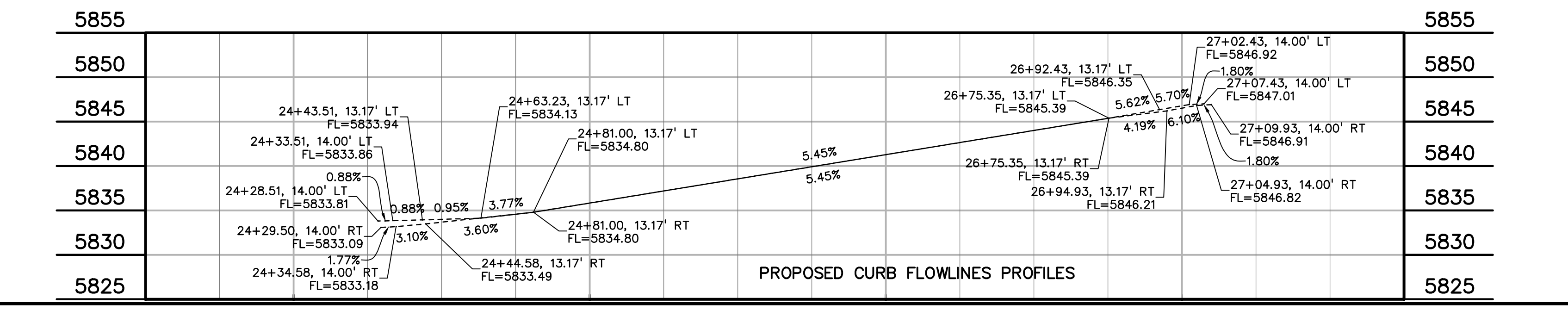
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
**DRAWING SCALE:**  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 10'

**RETAINING WALL PLAN & PROFILE**  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RW05**  
SHEET: 15 OF 52



FLOWLINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	23.31'	15.00'	89°01'23"	S45°15'12"E	21.03'
C2	23.82'	15.00'	90°58'37"	S44°44'48"W	21.39'
C3	23.56'	15.00'	90°00'00"	N45°14'08"E	21.21'
C4	23.56'	15.00'	90°00'00"	N44°45'54"W	21.21'



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 MIDCO INVESTMENTS, LLC  
 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

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 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03RD01



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DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

DEERHAVEN VIEW  
 PLAN & PROFILE

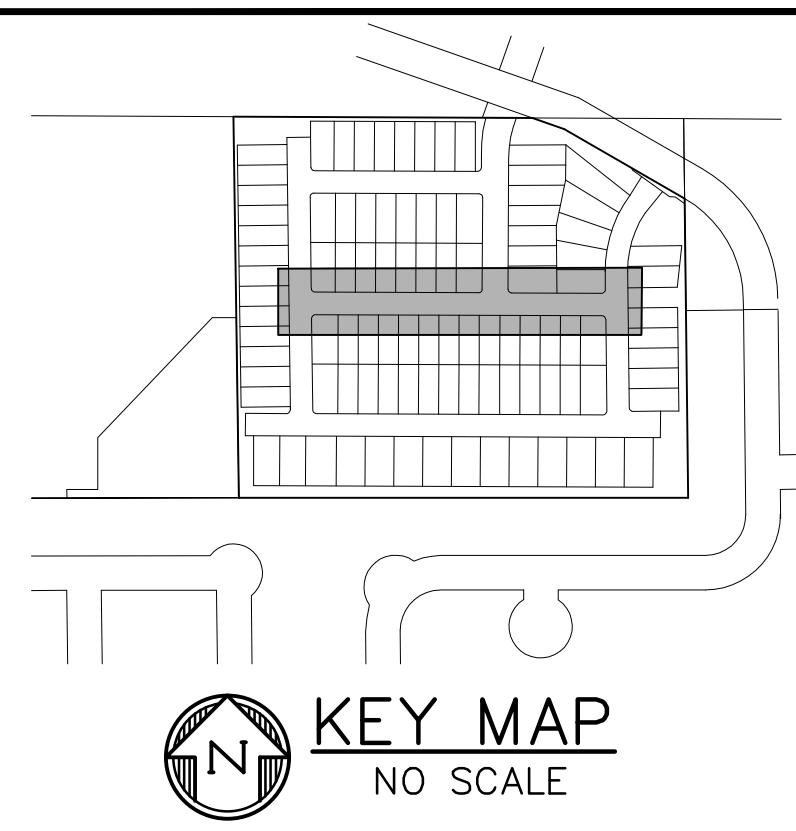
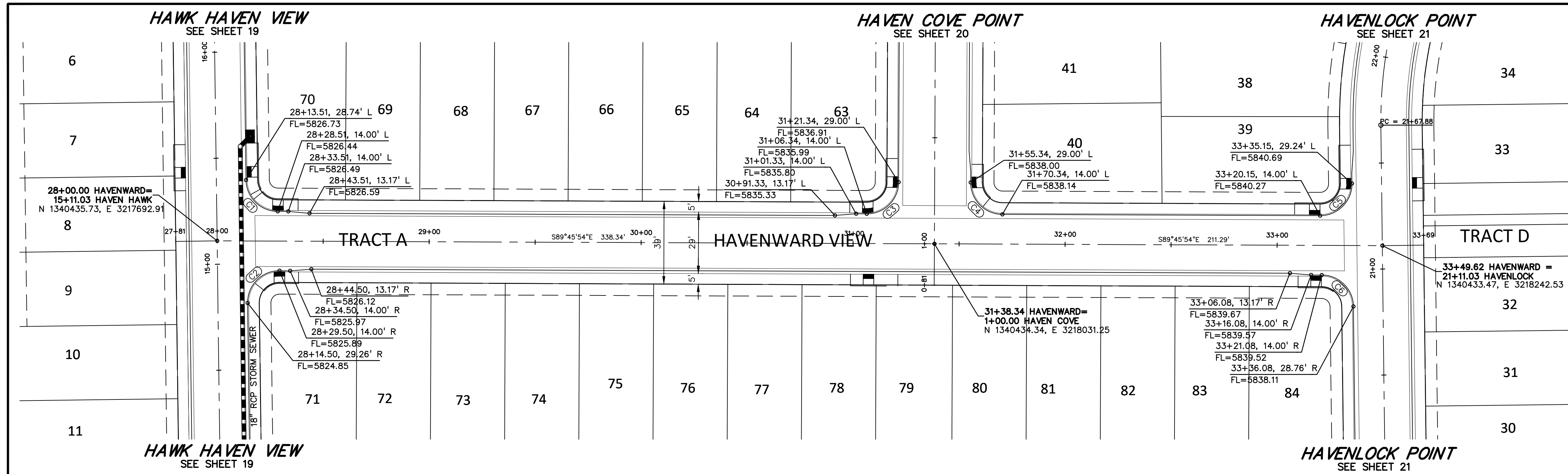
PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**RD01**

SHEET: 16 OF 52







PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers-Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 MIDCO INVESTMENTS, LLC  
 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03RD02

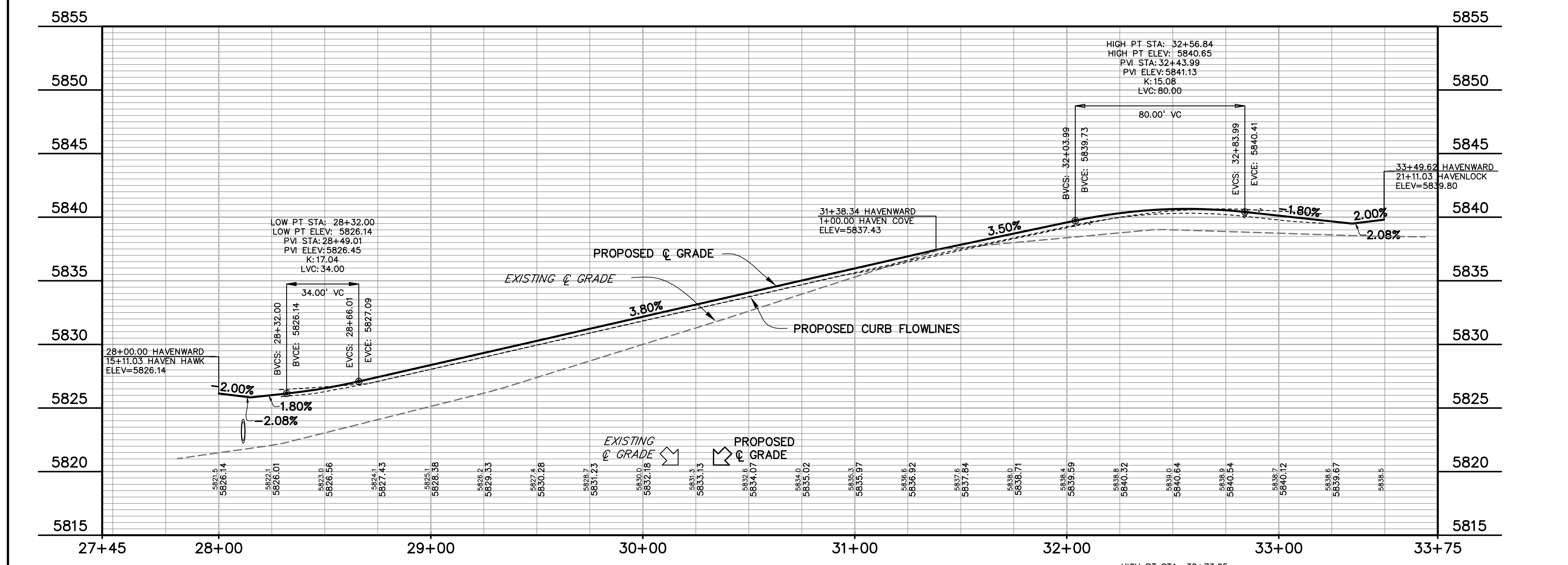
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

**HAVENWARD VIEW**  
**PLAN & PROFILE**  
 PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**RD02**

SHEET: 17 OF 52

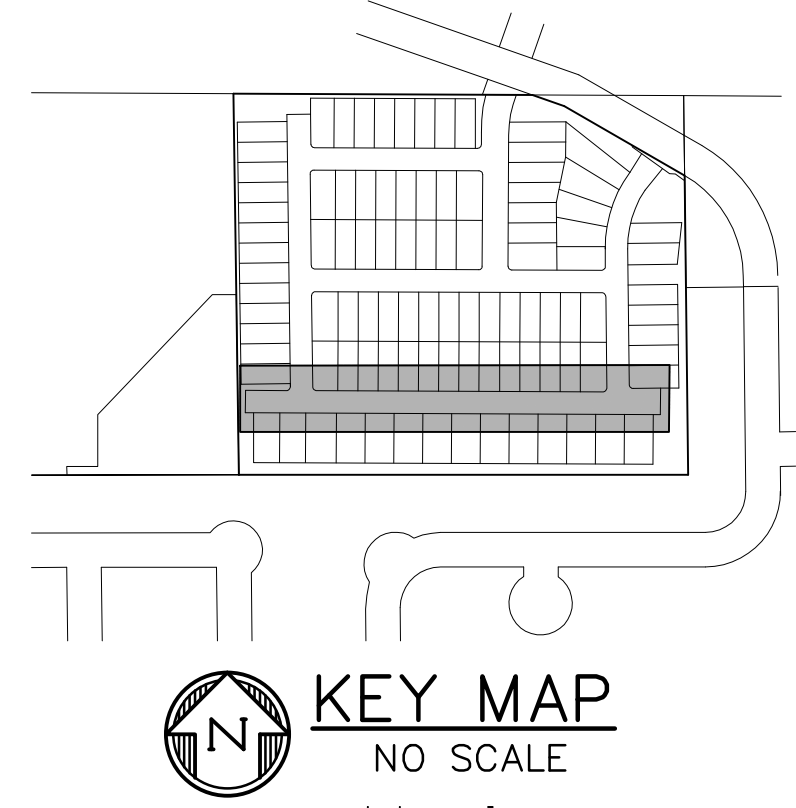
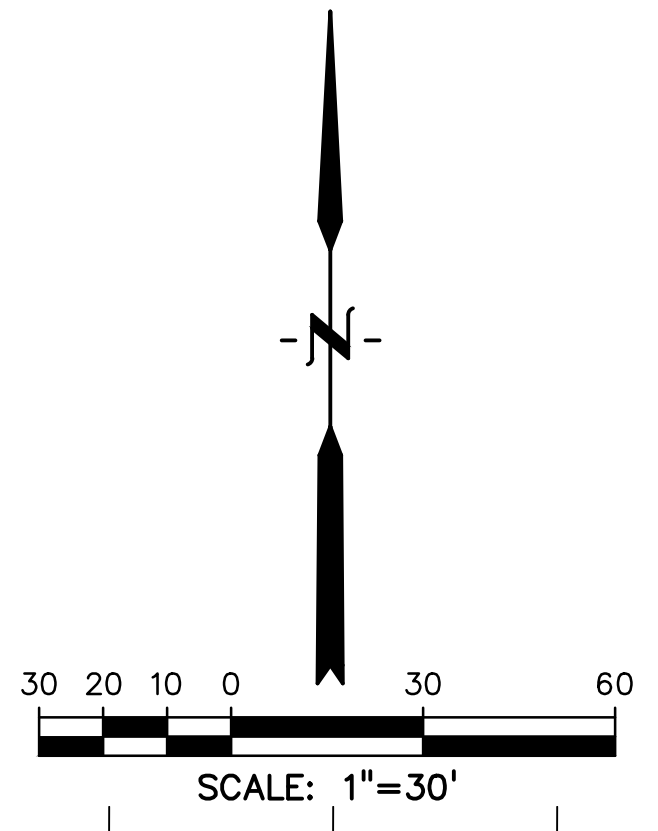


CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	23.23'	15.00'	88°42'53"	S45°05'59"E	20.97'
C2	23.82'	15.00'	90°58'37"	S44°44'48"W	21.39'
C3	23.56'	15.00'	90°00'00"	N45°14'06"E	21.21'
C4	23.56'	15.00'	90°00'00"	S44°45'54"E	21.21'
C5	23.80'	15.00'	90°55'01"	N44°46'36"E	21.38'
C6	23.32'	15.00'	89°04'59"	N45°13'24"W	21.04'



**811** Know what's below.  
Call before you dig.  
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EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

FLOWLINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	23.82'	15.00'	90°58'37"	N44°44'48"E	21.39'
C2	23.31'	15.00'	89°01'23"	S45°15'12"E	21.03'
C3	23.80'	15.00'	90°55'01"	N44°46'36"E	21.38'
C4	23.32'	15.00'	89°04'59"	S45°13'24"E	21.04'



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
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COLORADO SPRINGS • LAFAYETTE

CLIENT:  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
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CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

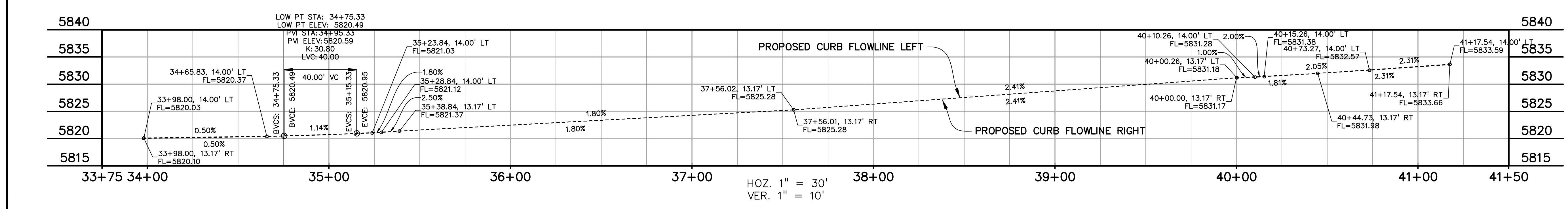
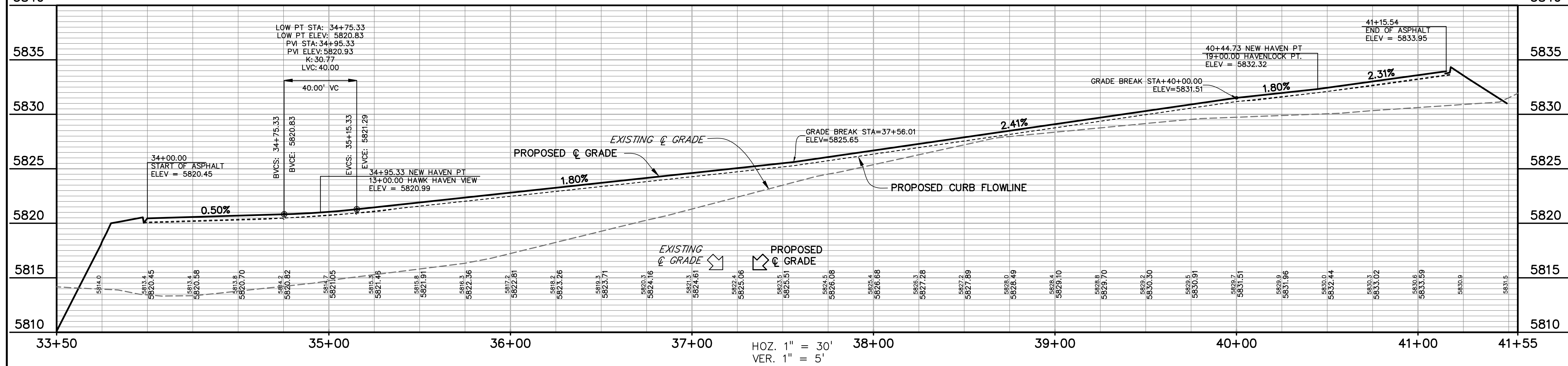
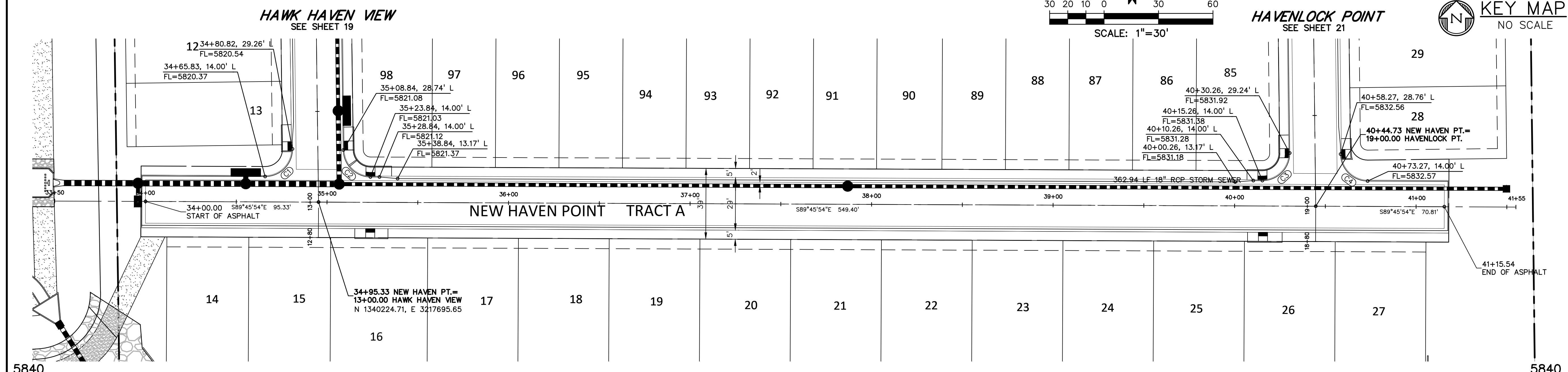
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03RD03

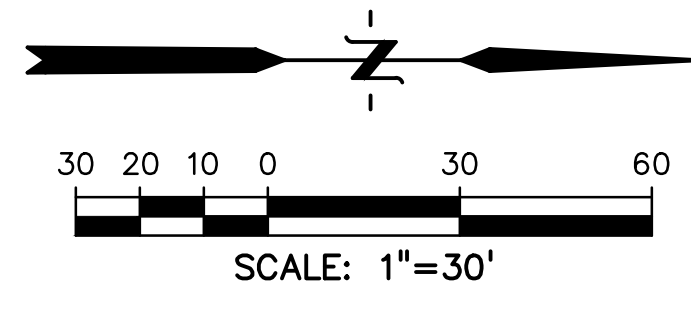
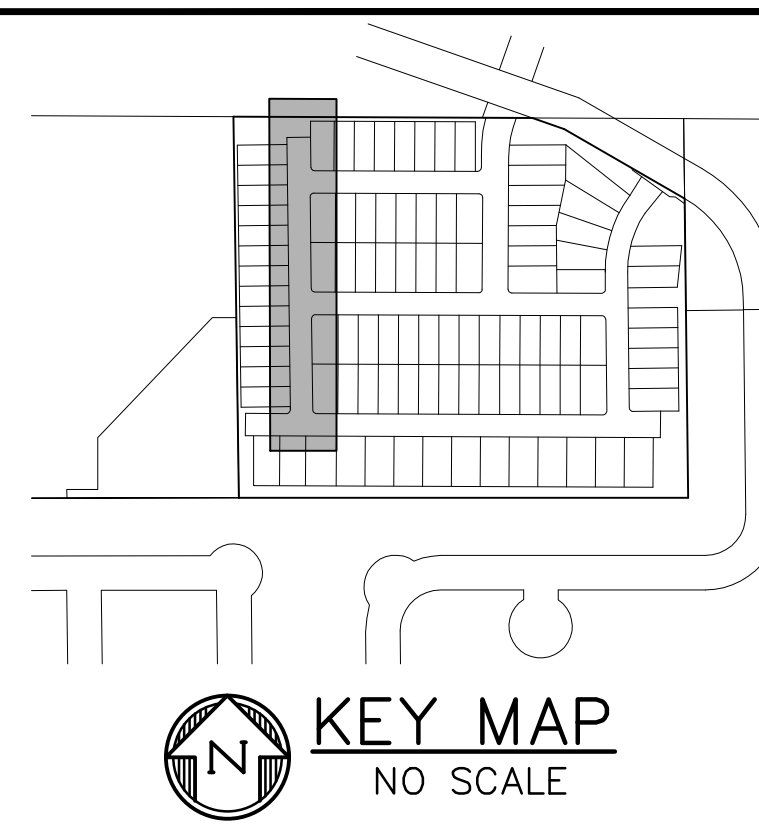
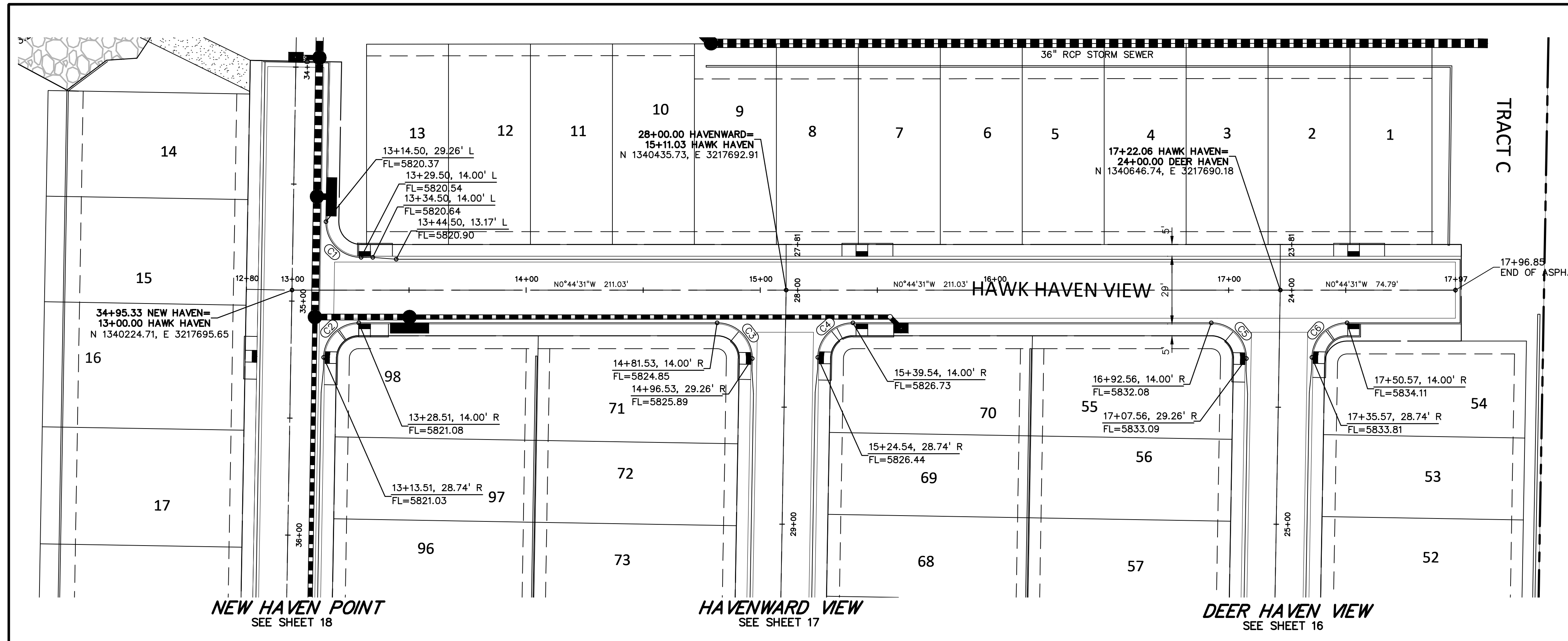


PREPARED UNDER MY DIRECT  
SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.  
  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**NEW HAVEN PT  
ROAD & STORM  
PLAN & PROFILE**  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RD03**  
SHEET: 18 OF 52



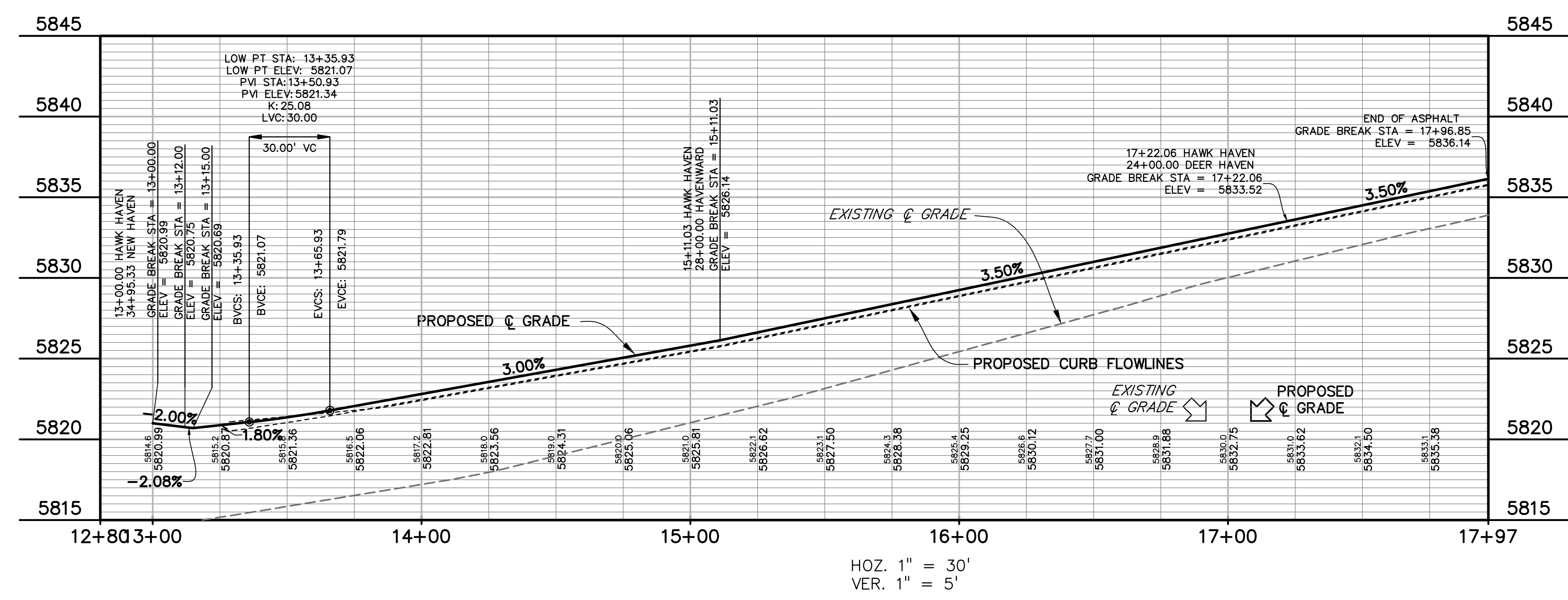


PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 MIDCO INVESTMENTS, LLC

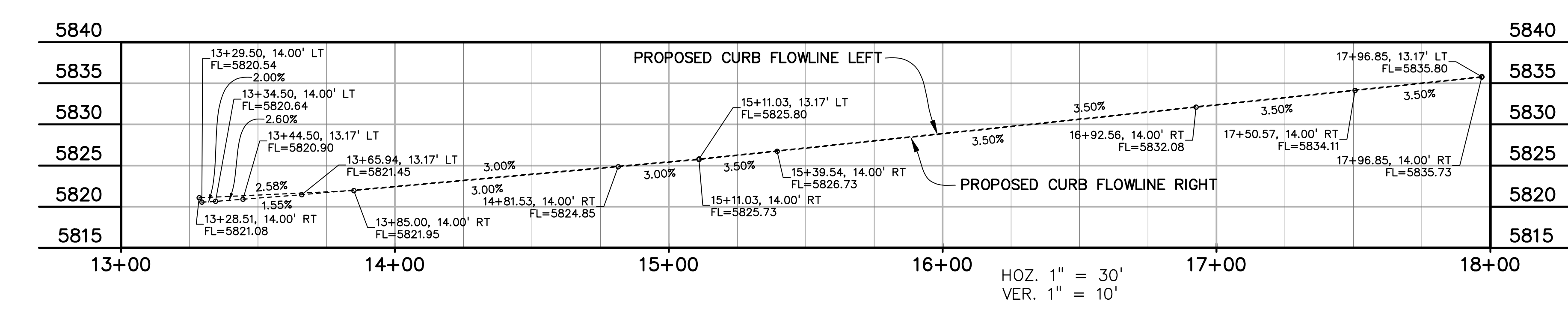
P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO



**811** Know what's below.  
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 UNDERGROUND MEMBER UTILITIES.

FLOWLINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	23.82'	15.00'	90°58'37"	N44°44'48"E	21.39'
C2	23.31'	15.00'	89°01'23"	S45°15'12"E	21.03'
C3	23.82'	15.00'	90°58'37"	S44°44'48"W	21.39'
C4	23.31'	15.00'	89°01'23"	S45°15'12"E	21.03'
C5	23.82'	15.00'	90°58'37"	S44°44'48"W	21.39'
C6	23.31'	15.00'	89°01'23"	S45°15'12"E	21.03'



ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03RD04

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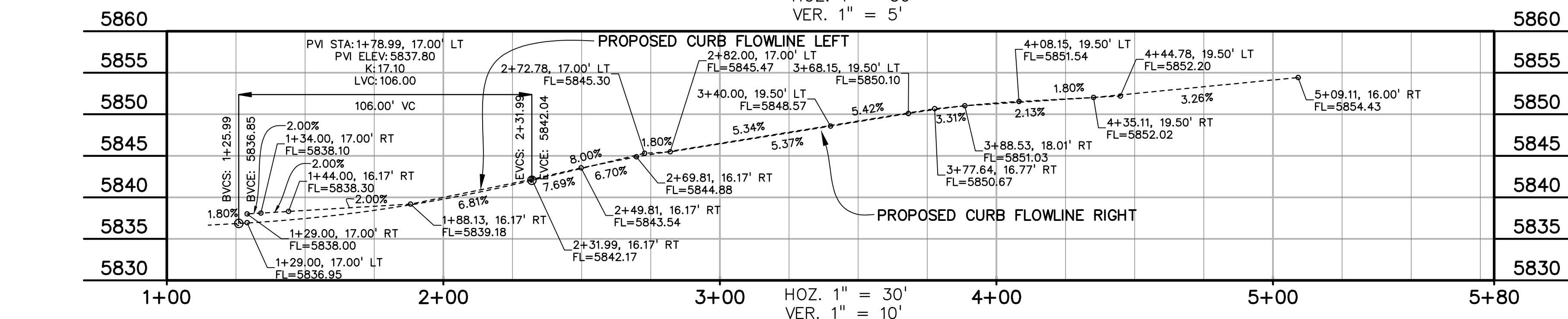
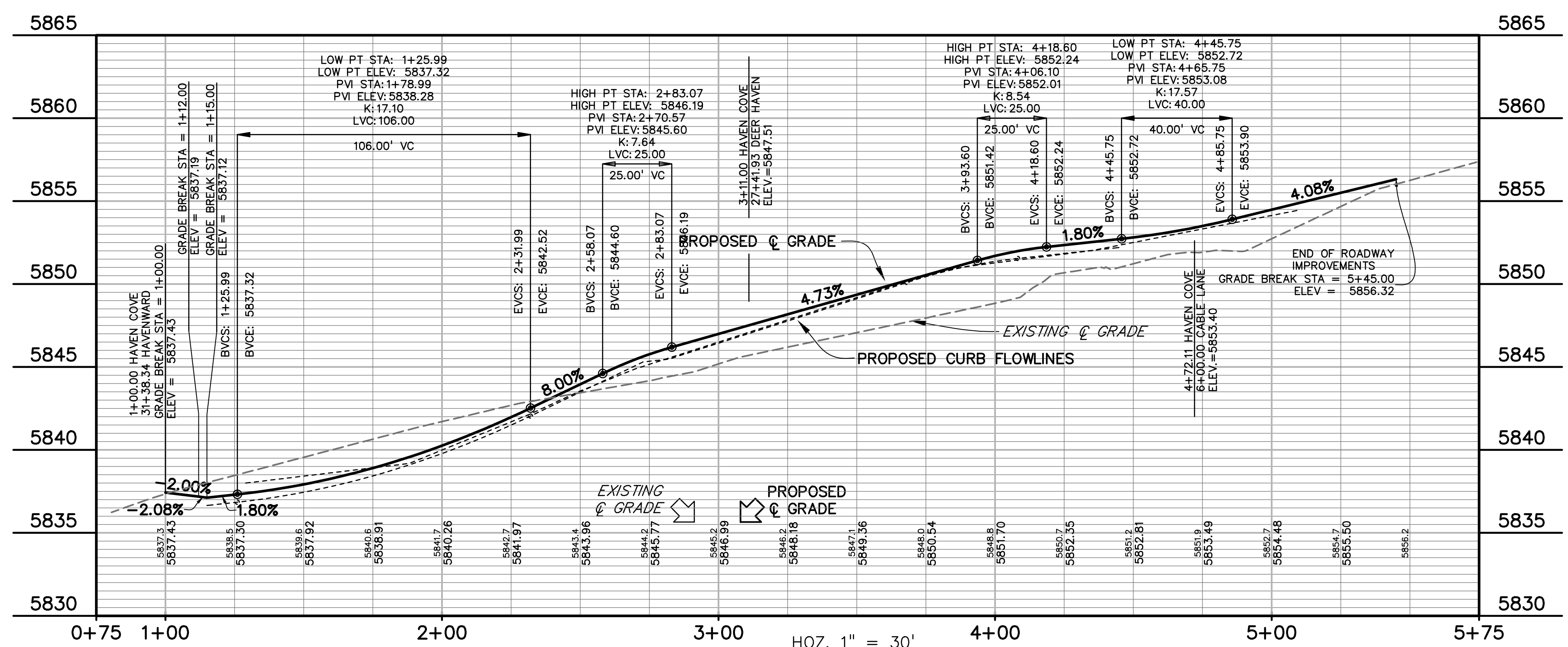
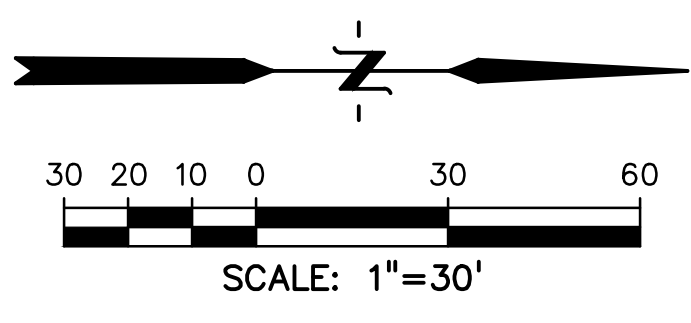
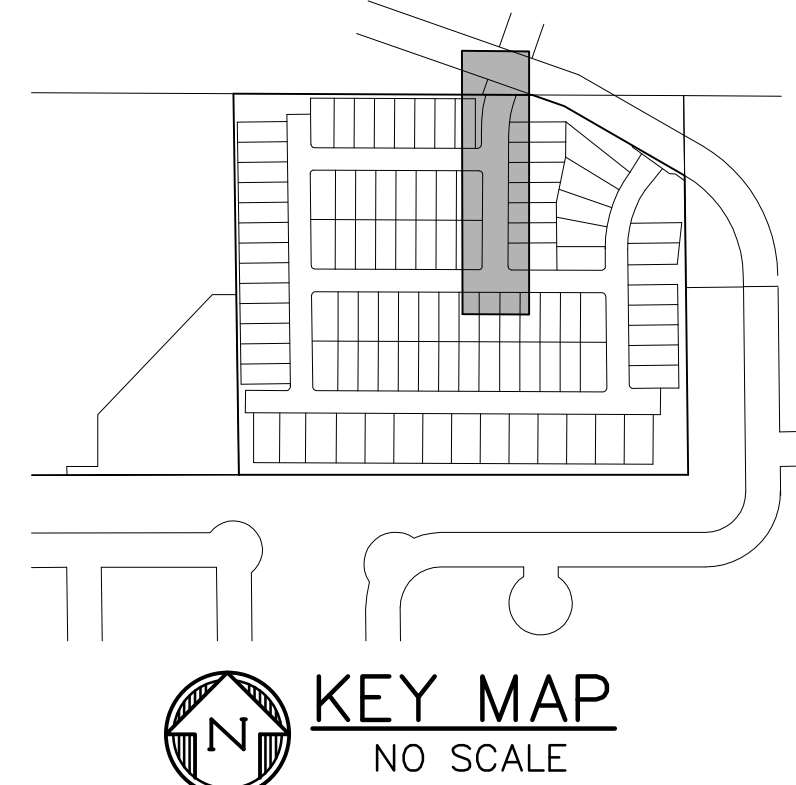
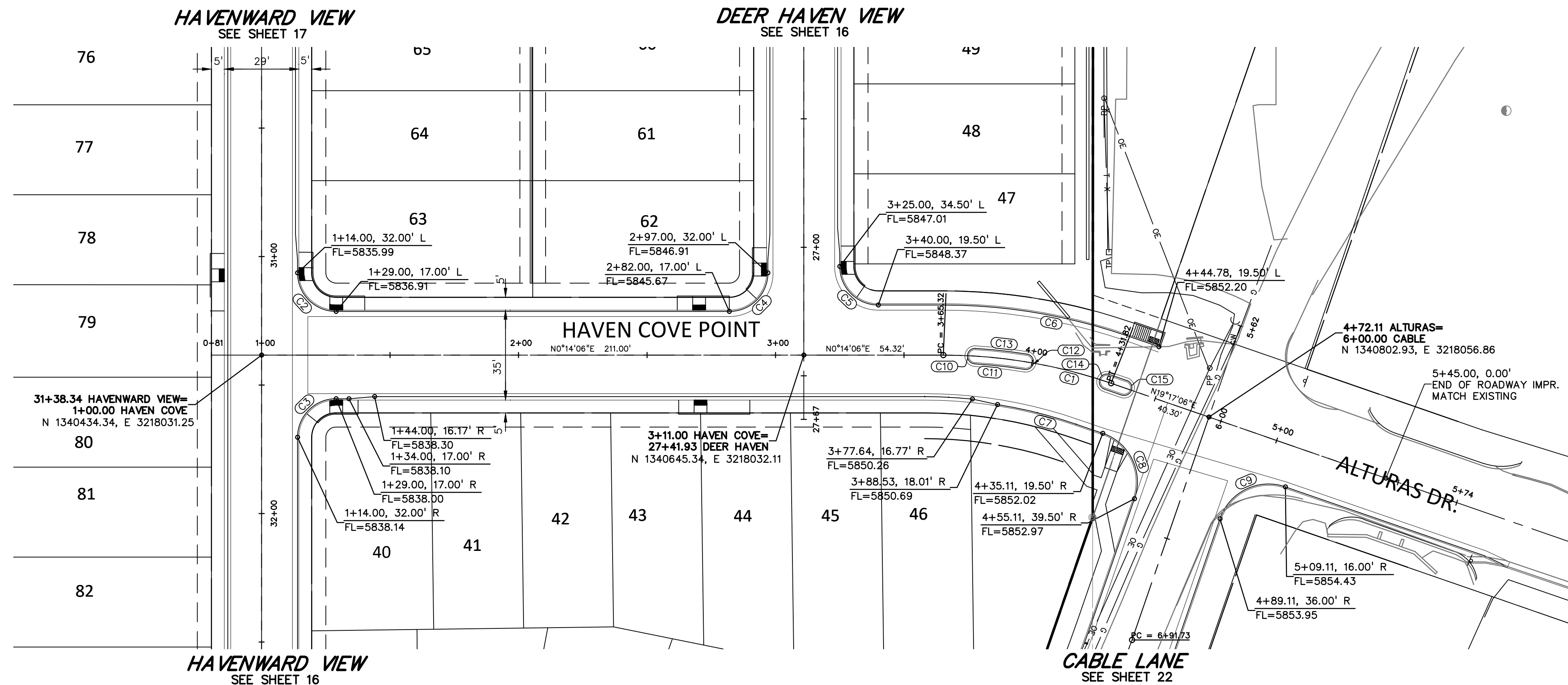
DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

**HAWK HAVEN ROAD & STORM PLAN & PROFILE**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**RD04**

SHEET: 19 OF 52



**811** Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

CENTERLINE AND FLOWLINE CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	66.50'	200.00'	19°03'00"	S09°45'36"W	66.19'
C2	23.56'	15.00'	90°00'00"	N45°14'06"E	21.21'
C3	23.56'	15.00'	90°00'00"	S44°45'54"E	21.21'
C4	23.56'	15.00'	90°00'00"	N44°45'54"W	21.21'
C5	23.56'	15.00'	90°00'00"	N45°14'06"E	21.21'
C6	72.98'	219.50'	19°03'00"	S09°45'36"W	72.64'
C7	31.59'	180.50'	10°01'39"	S14°16'16"W	31.55'
C8	31.42'	20.00'	90°00'29"	S64°17'20"W	28.29'
C9	31.41'	20.00'	89°59'31"	S25°42'40"E	28.28'
C10	9.42'	3.00'	180°00'00"	S88°12'53"E	6.00'
C11	19.46'	197.00'	5°39'32"	N06°36'53"E	19.45'
C12	9.42'	3.00'	180°00'00"	N80°33'21"W	6.00'
C13	20.05'	203.00'	5°39'32"	S06°36'53"W	20.04'
C14	9.42'	3.00'	180°00'00"	S70°42'54"E	6.00'
C15	9.42'	3.00'	180°00'00"	N70°42'54"W	6.00'

PREPARED BY:  
  
DREXEL, BARRELL & CO.  
Engineers-Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

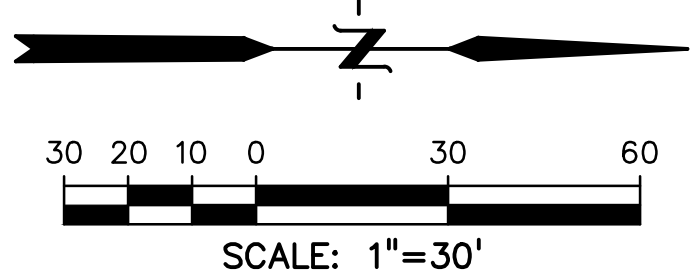
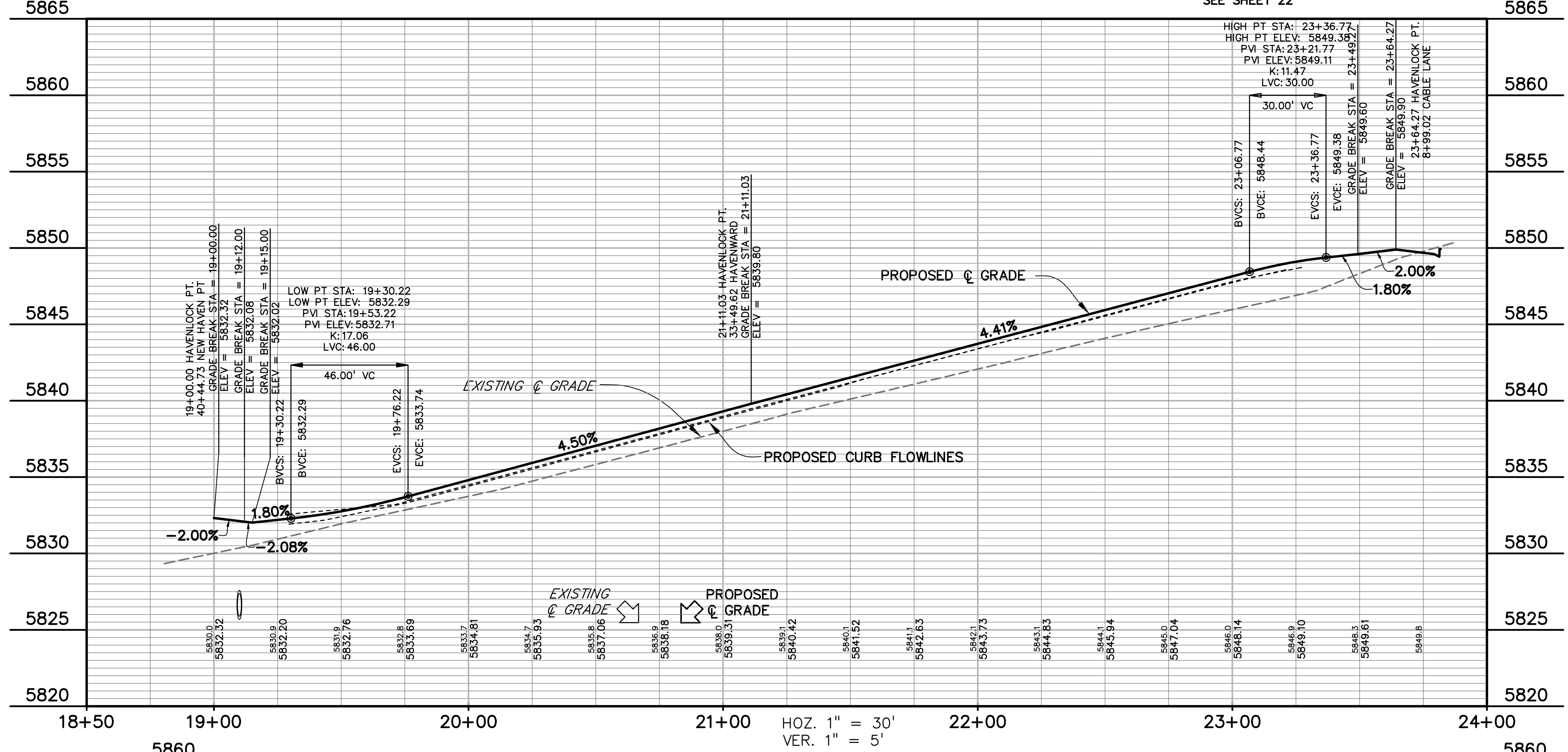
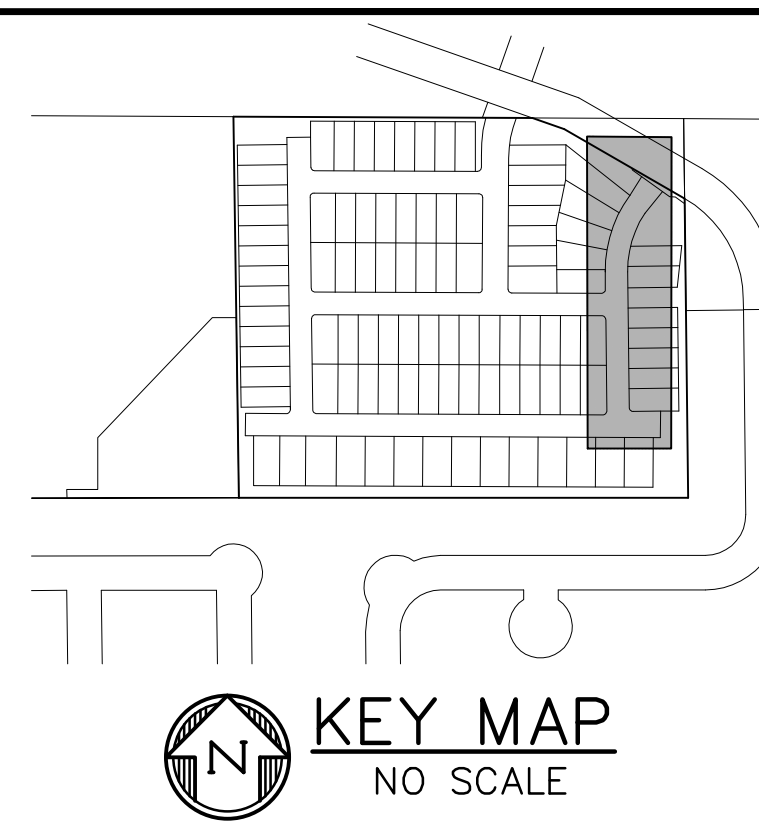
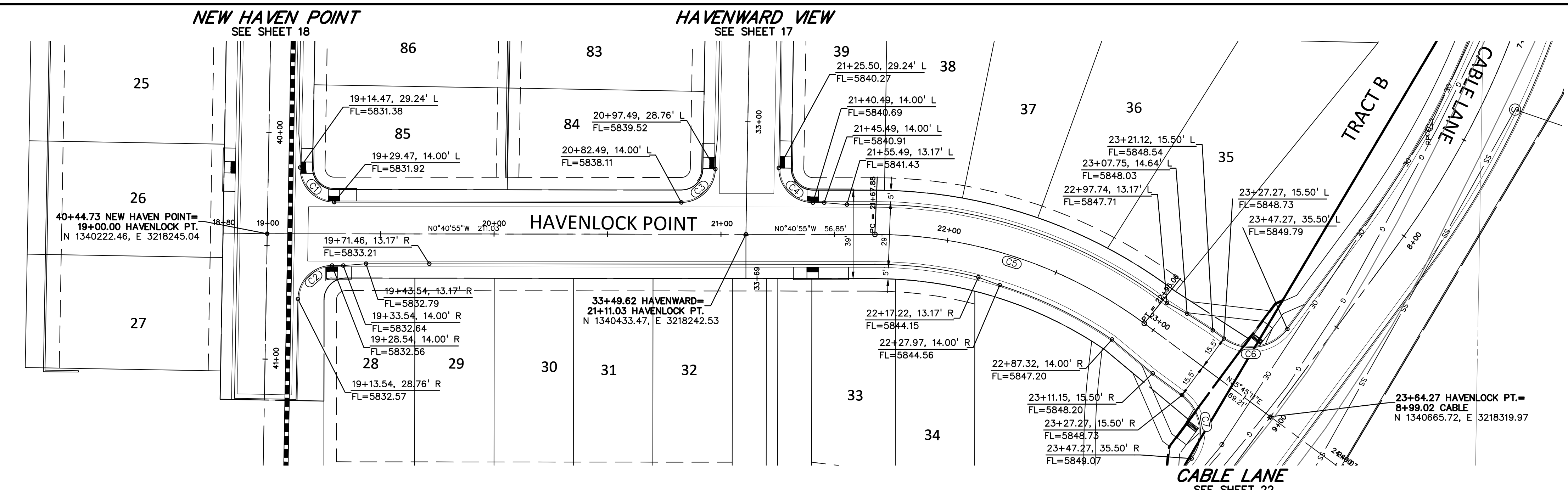
DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03RD05



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

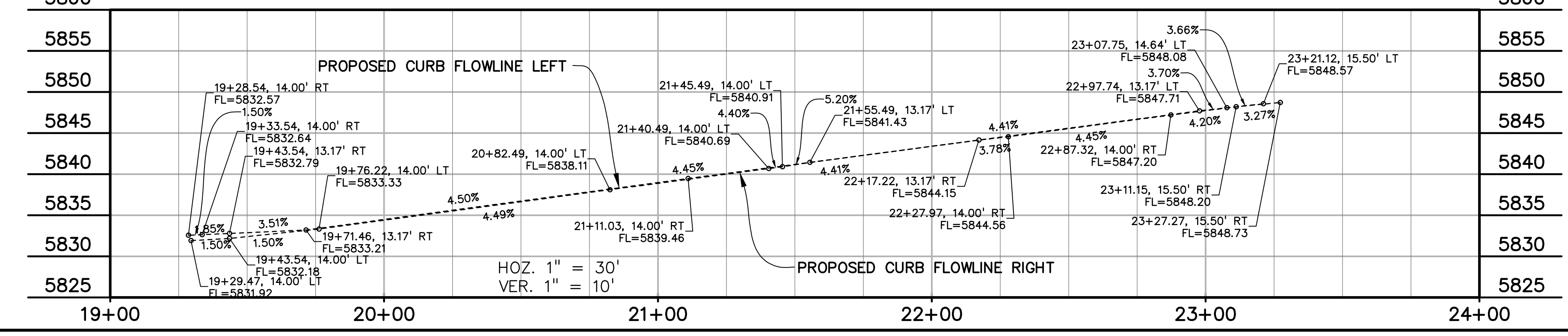
HAVEN COVE POINT  
PLAN & PROFILE  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**RD05**  
SHEET: 20 OF 52



**811** Know what's below. Call before you dig.  
 CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	23.80'	15.00'	90°55'01"	N44°46'36"E	21.38'
C2	23.32'	15.00'	89°04'59"	S45°13'24"E	21.04'
C3	23.32'	15.00'	89°04'59"	N45°13'24"W	21.04'
C4	23.80'	15.00'	90°55'01"	N44°46'36"E	21.38'
C5	127.18'	200.00'	36°26'06"	S17°32'08"W	125.05'
C6	31.42'	20.00'	90°00'00"	N09°14'49"W	28.28'
C7	31.42'	20.00'	90°00'00"	S80°45'11"W	28.28'



PREPARED BY:  
  
 DREXEL, BARRELL & CO.  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
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CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03RD06

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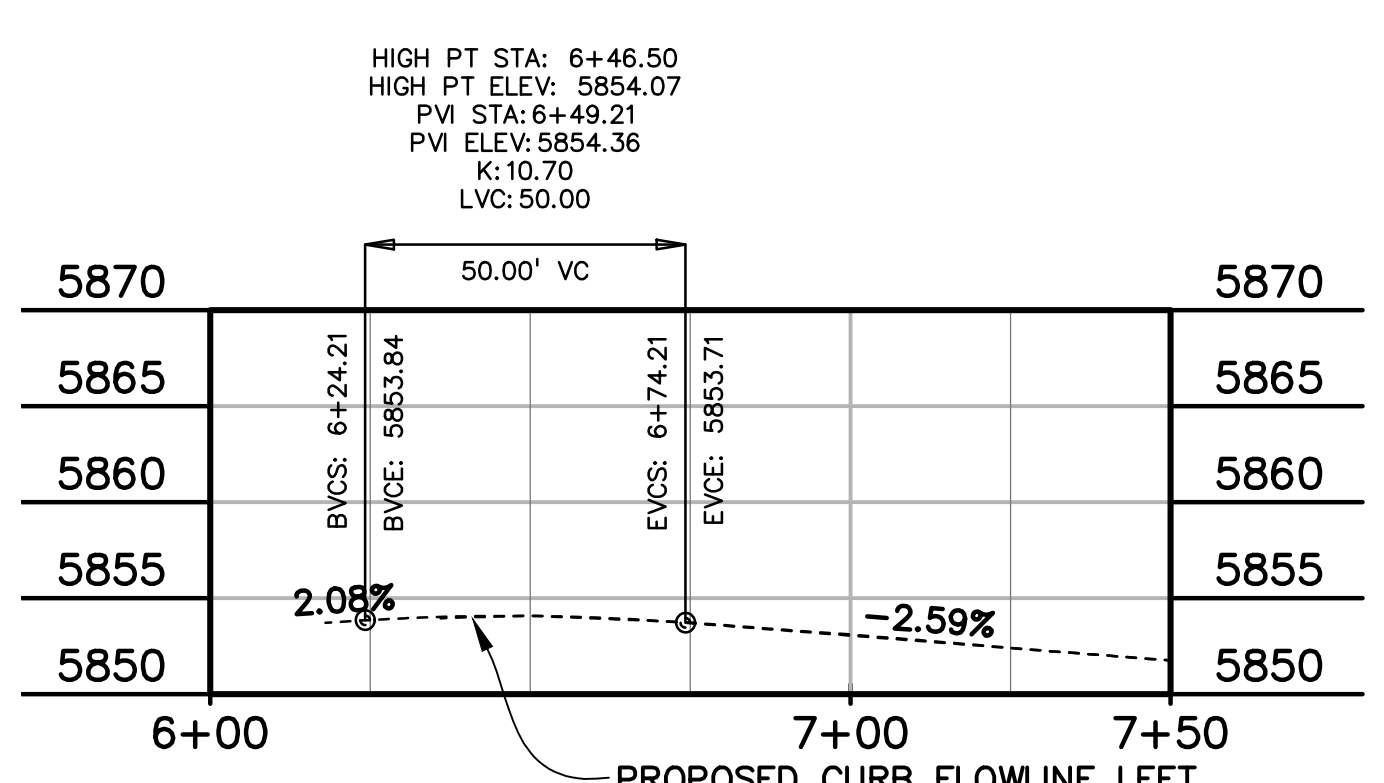
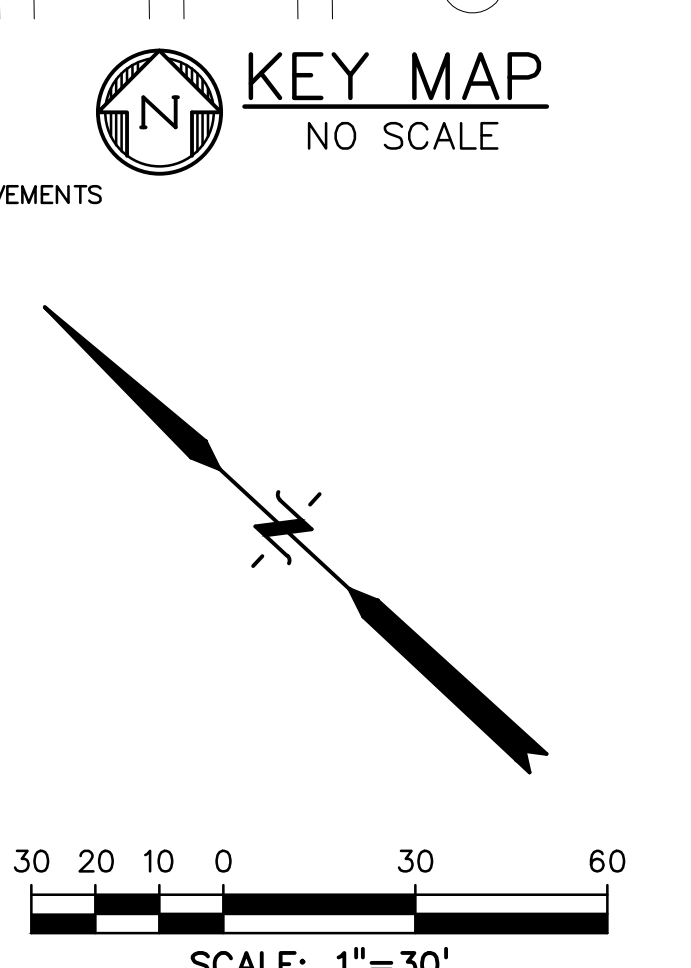
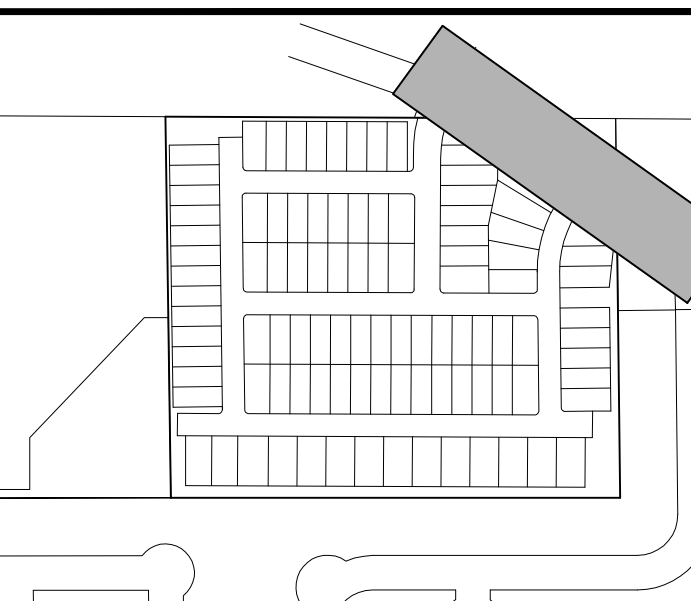
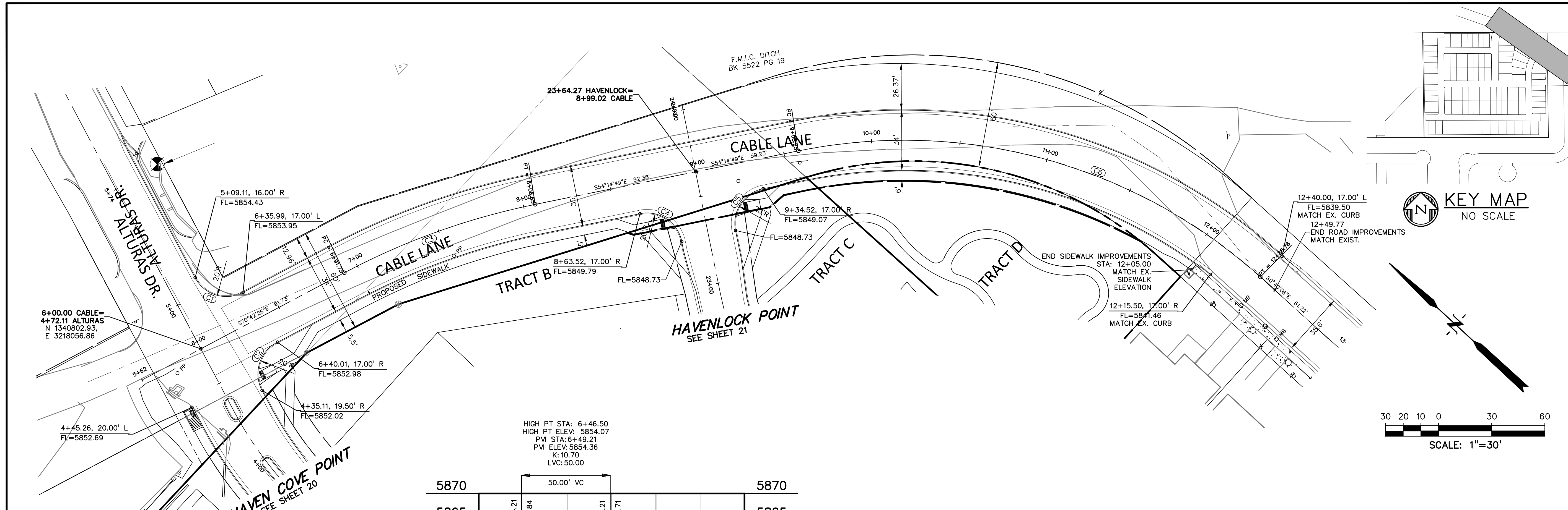
DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

**HAVENLOCK POINT**  
**PLAN & PROFILE**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**RD06**

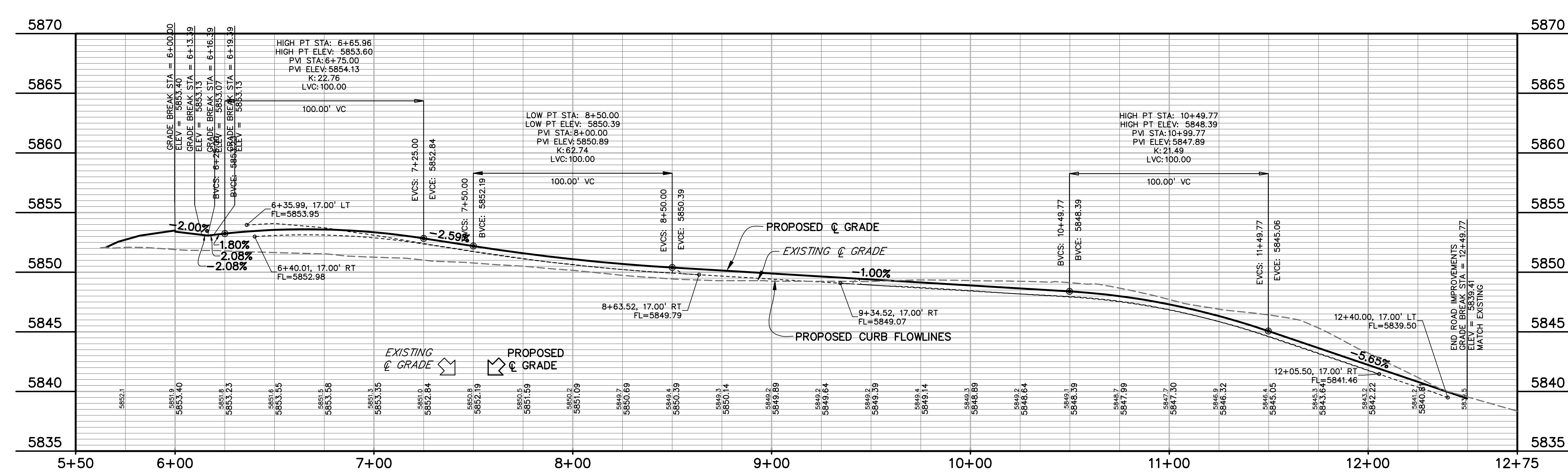
SHEET: 21 OF 52



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	31.41'	20.00'	89°59'31"	S25°42'40"E	28.28'
C2	31.92'	20.00'	91°23'53"	S64°59'47"W	28.64'
C3	114.91'	400.00'	16°27'37"	N62°28'37"W	114.52'
C4	31.42'	20.00'	90°00'00"	N09°14'49"W	28.28'
C5	31.42'	20.00'	90°00'00"	S80°45'11"W	28.28'
C6	280.54'	300.00'	53°34'42"	N27°27'27"W	270.43'

HOZ. 1" = 30'  
VER. 1" = 10'

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UNDERGROUND MEMBER UTILITIES.



HOZ. 1" = 30'  
VER. 1" = 5'

PREPARED BY:  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
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CONSTRUCTION DOCUMENTS FOR:  
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(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

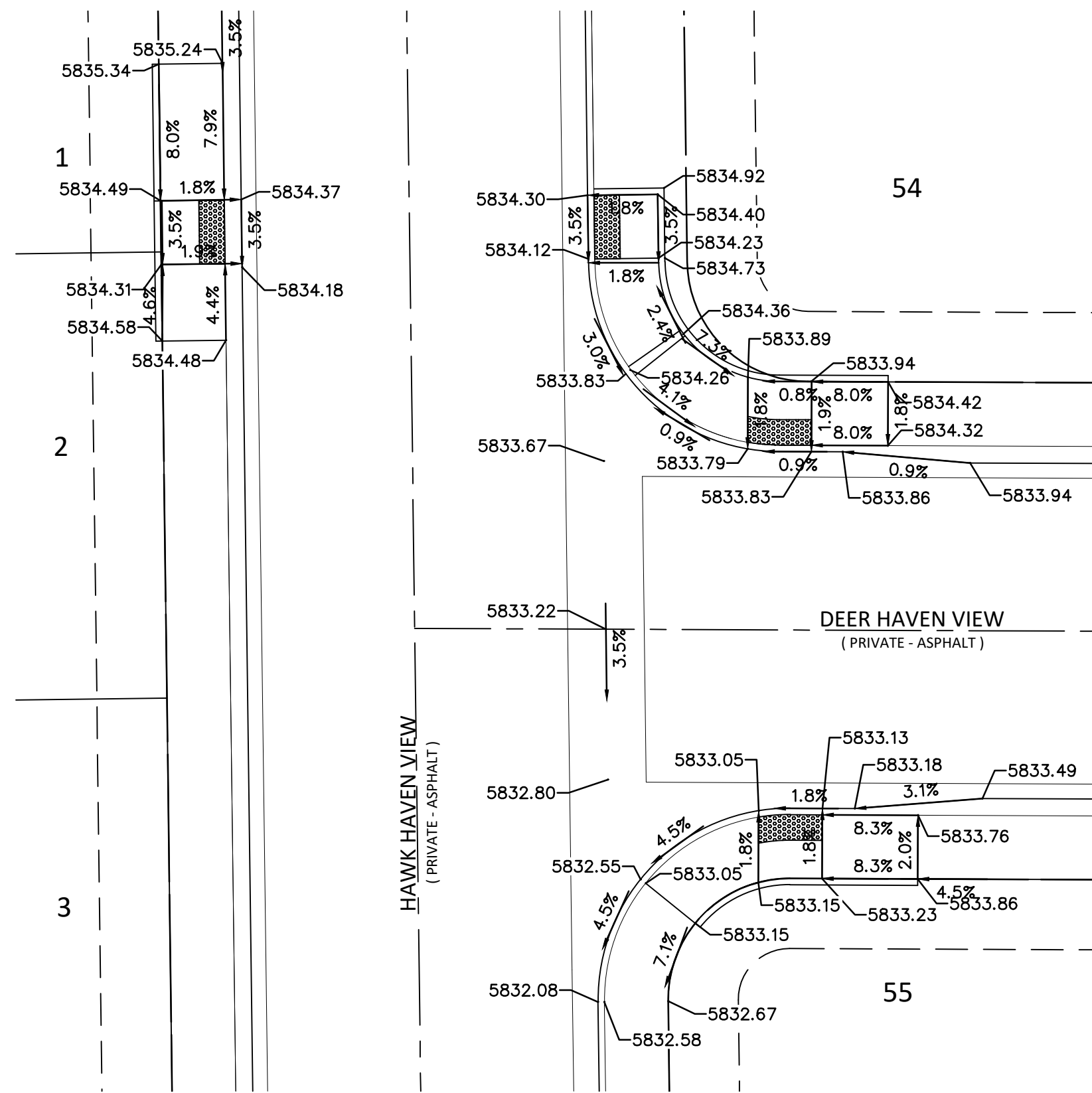
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03RD07

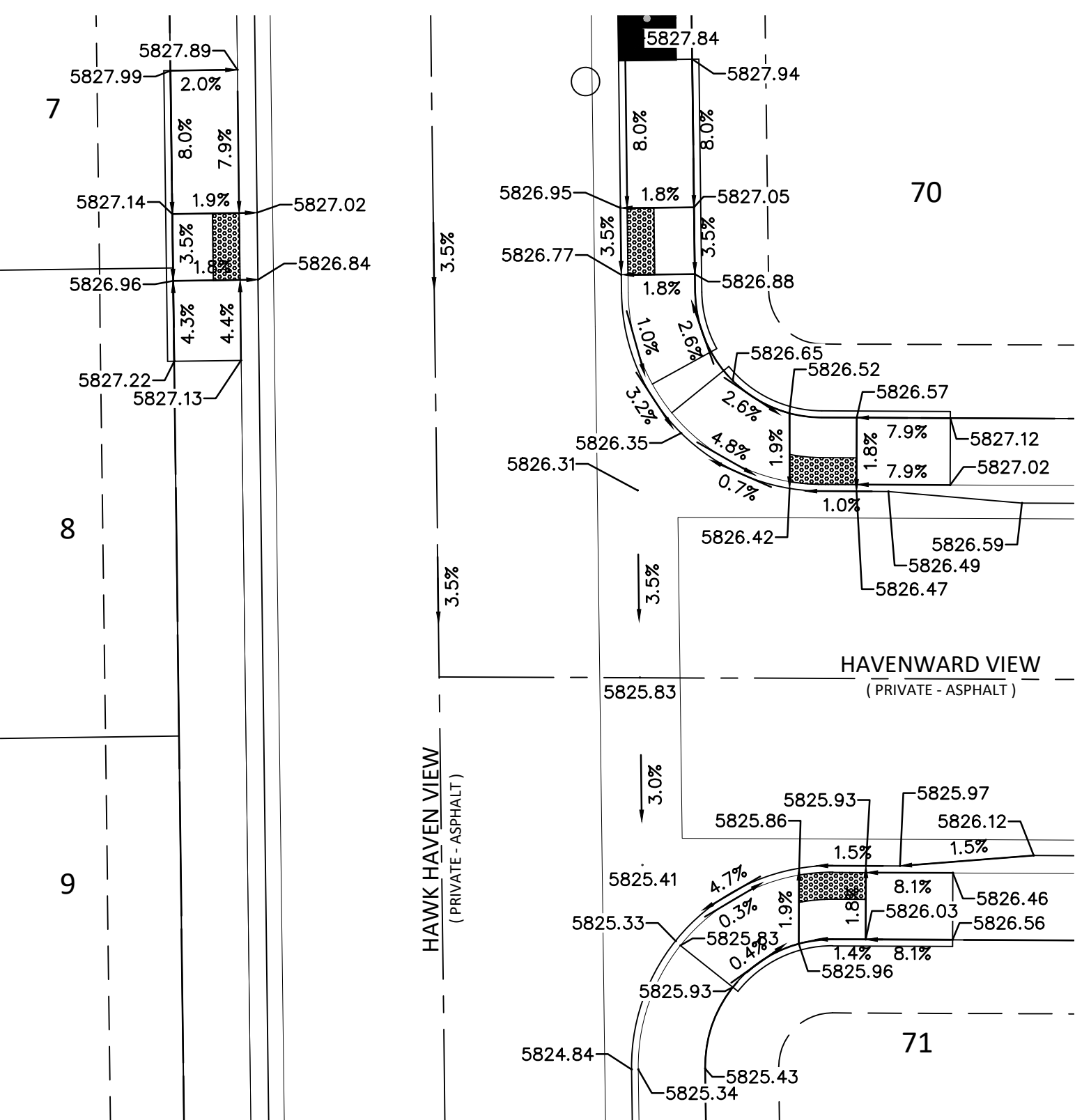
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**CABLE LANE  
PLAN & PROFILE**

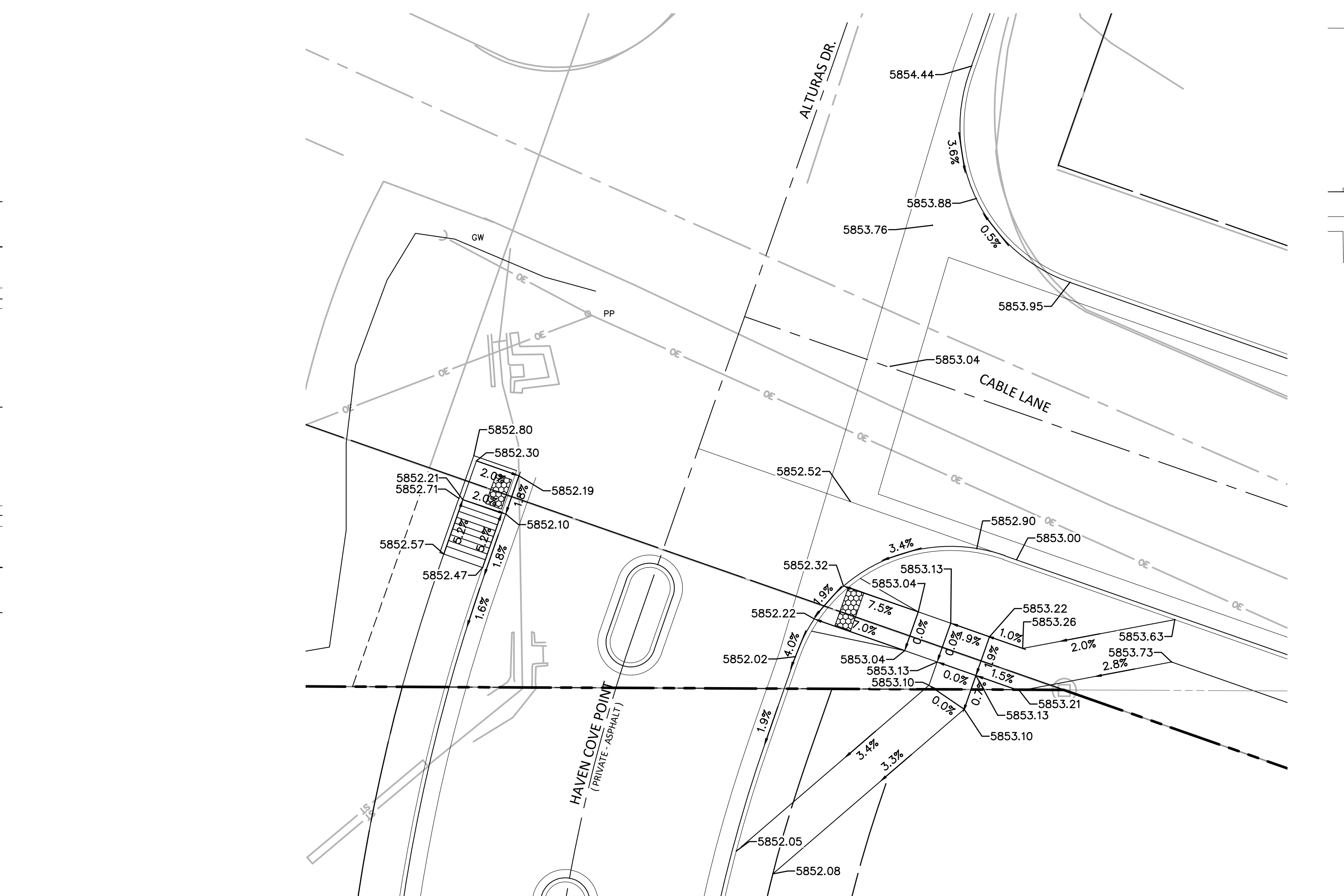
PROJECT NO. 21085-03CSCV  
DRAWING NO.  
**RD07**  
SHEET: 22 OF 52



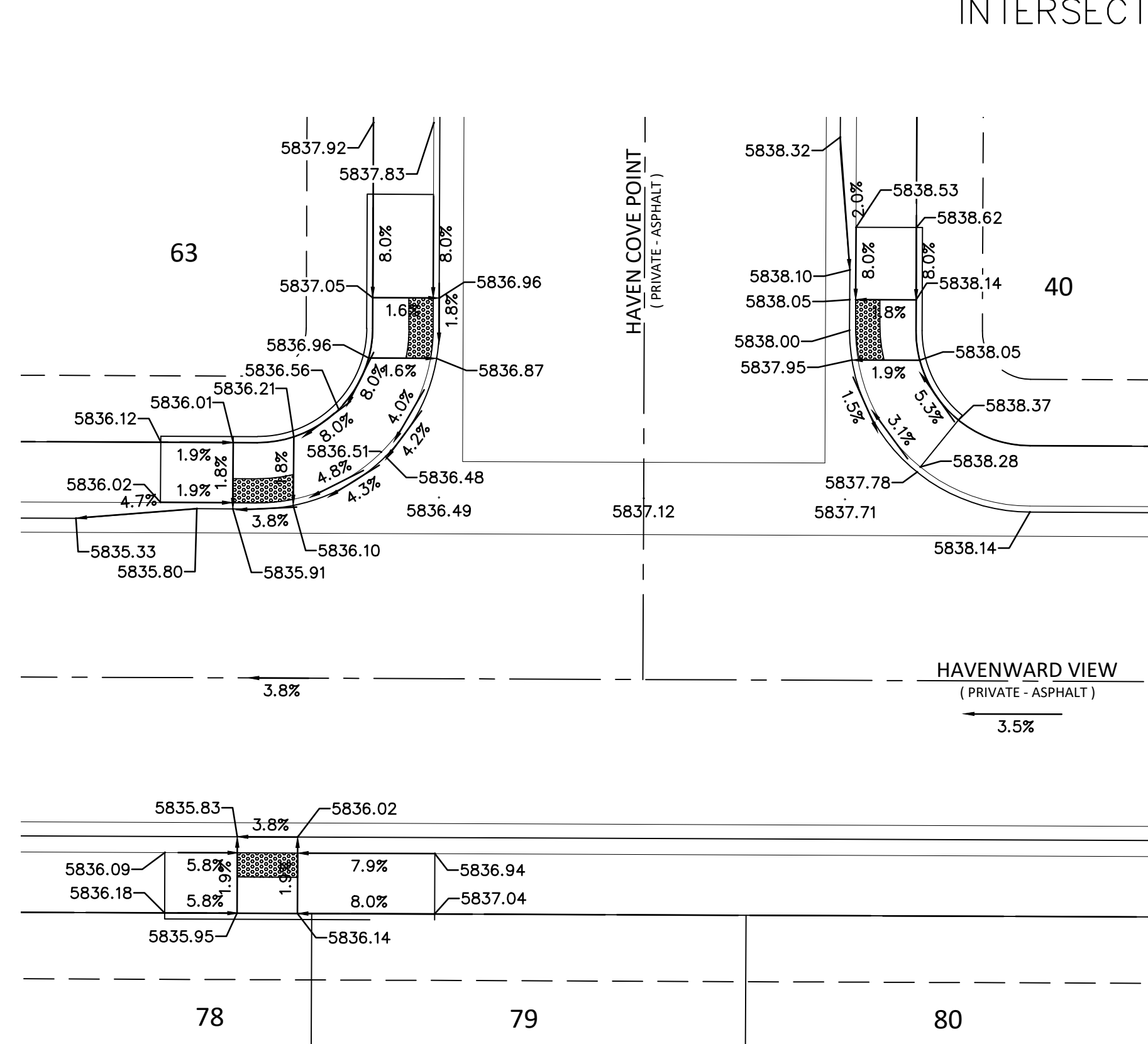
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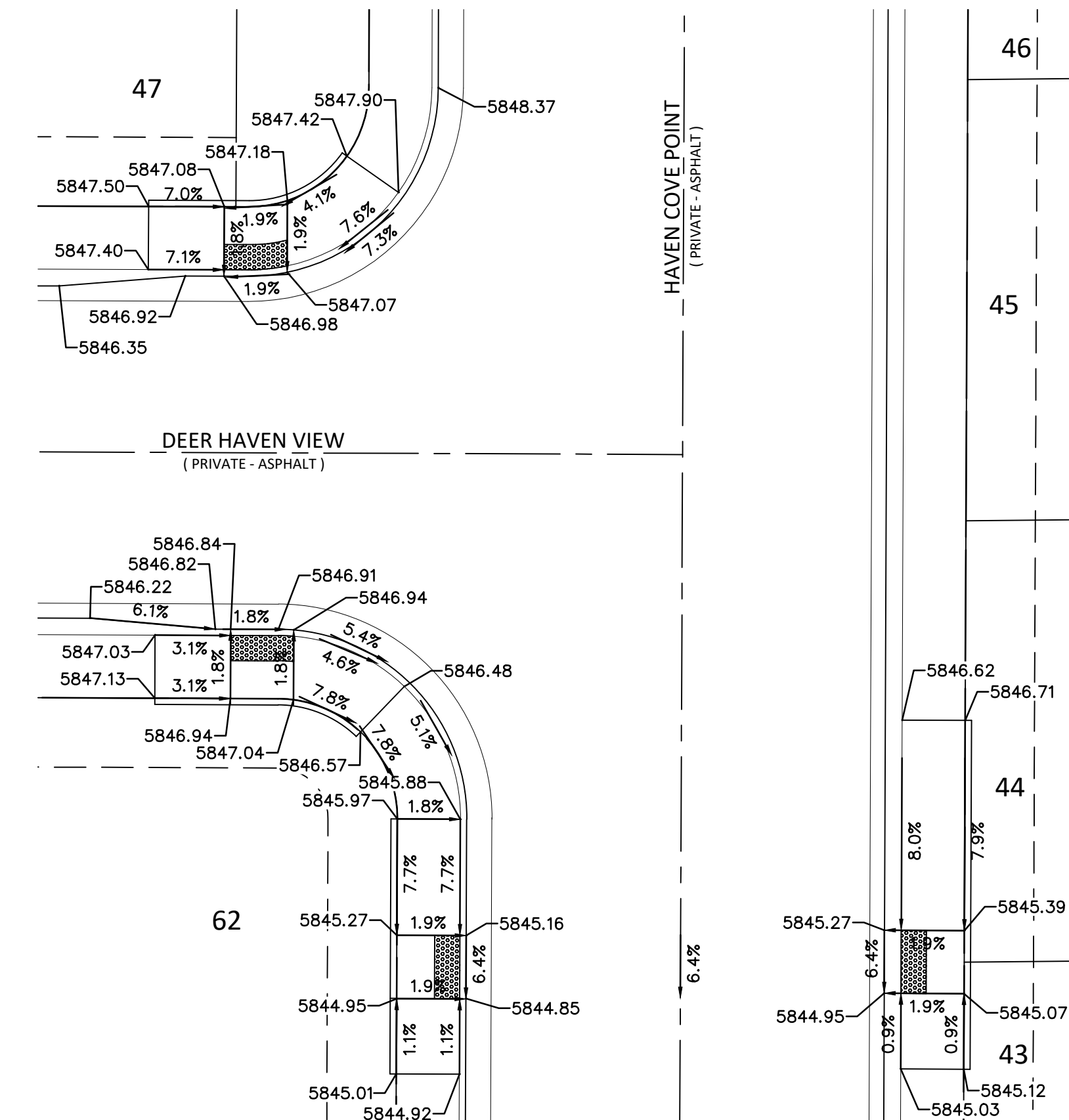
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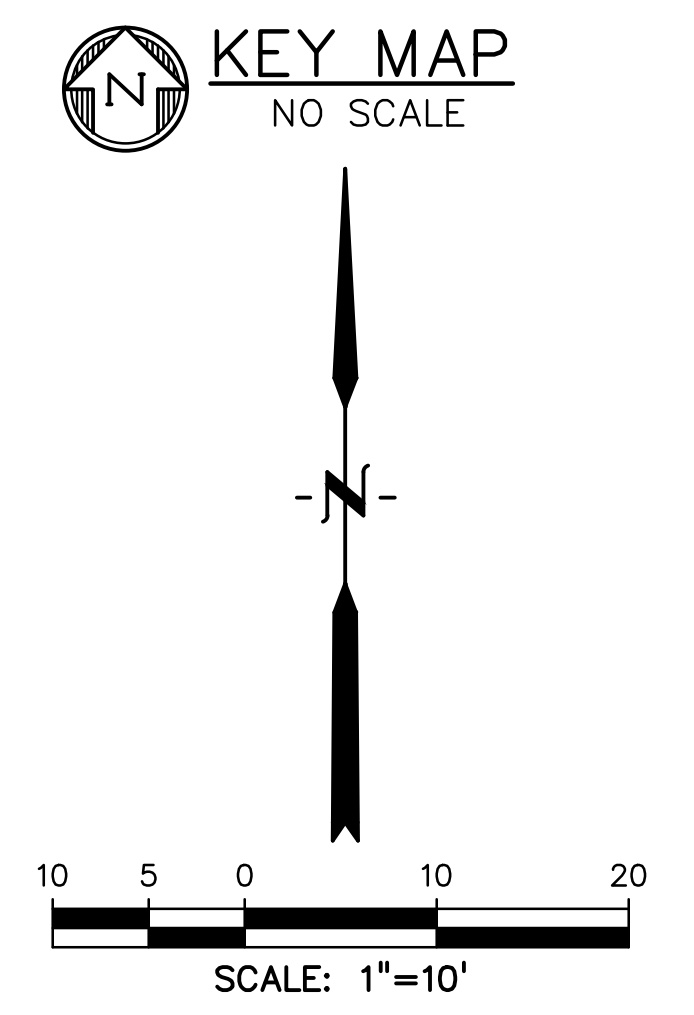
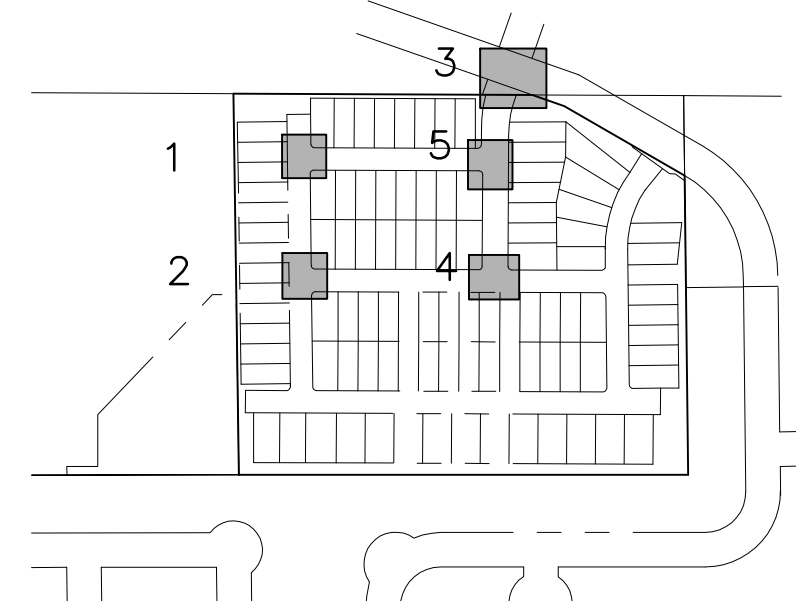
INTERSECTION 3



INTERSECTION 4



INTERSECTION 5



**811** Know what's below.  
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PREPARED BY:

DREXEL, BARRELL & CO.  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03IN01



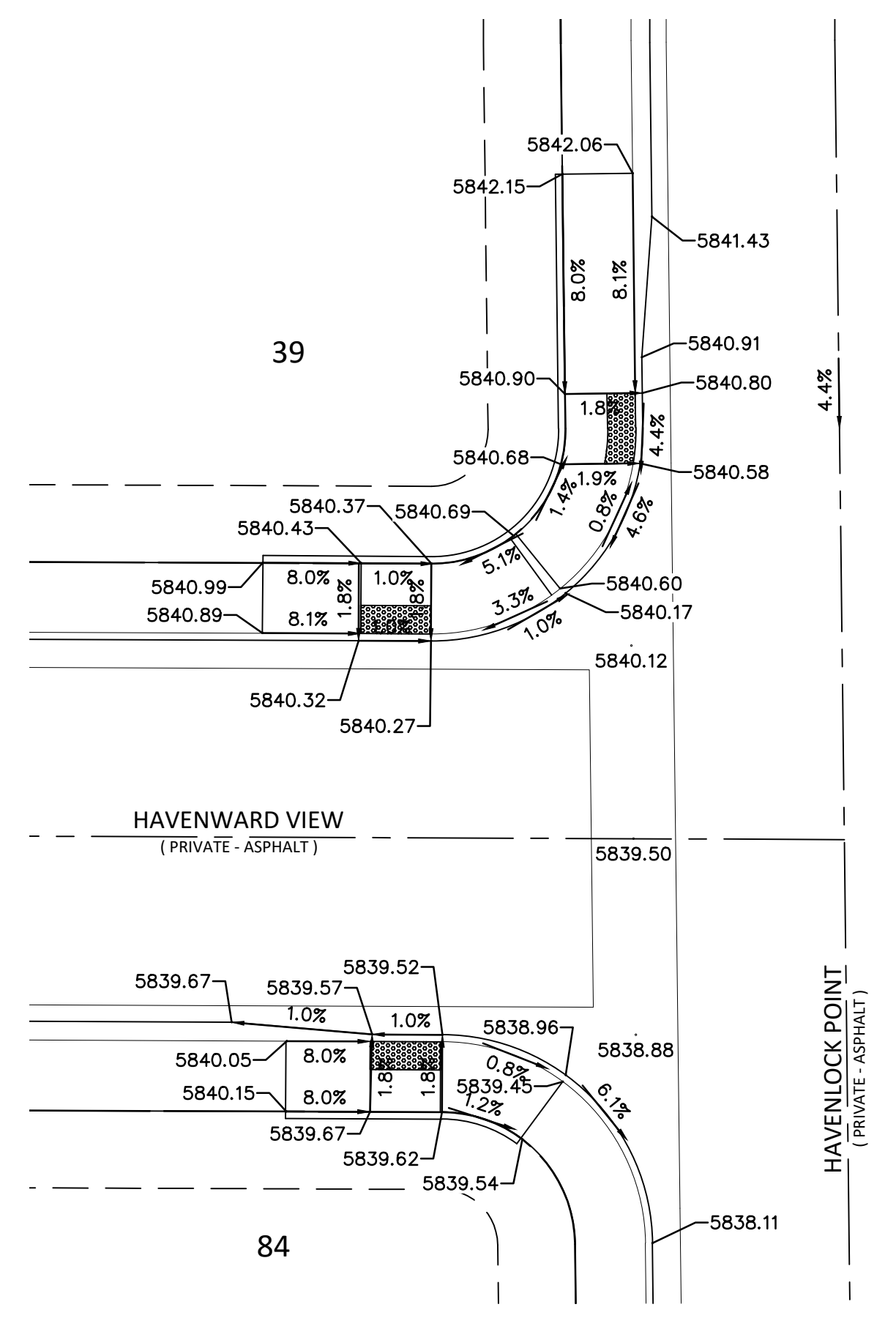
PREPARED UNDER MY DIRECT  
SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.  
  
DRAWING SCALE:  
HORIZONTAL: 1" = 10'  
VERTICAL: N/A

**DETAILED  
INTERSECTION  
GRADING PLANS**

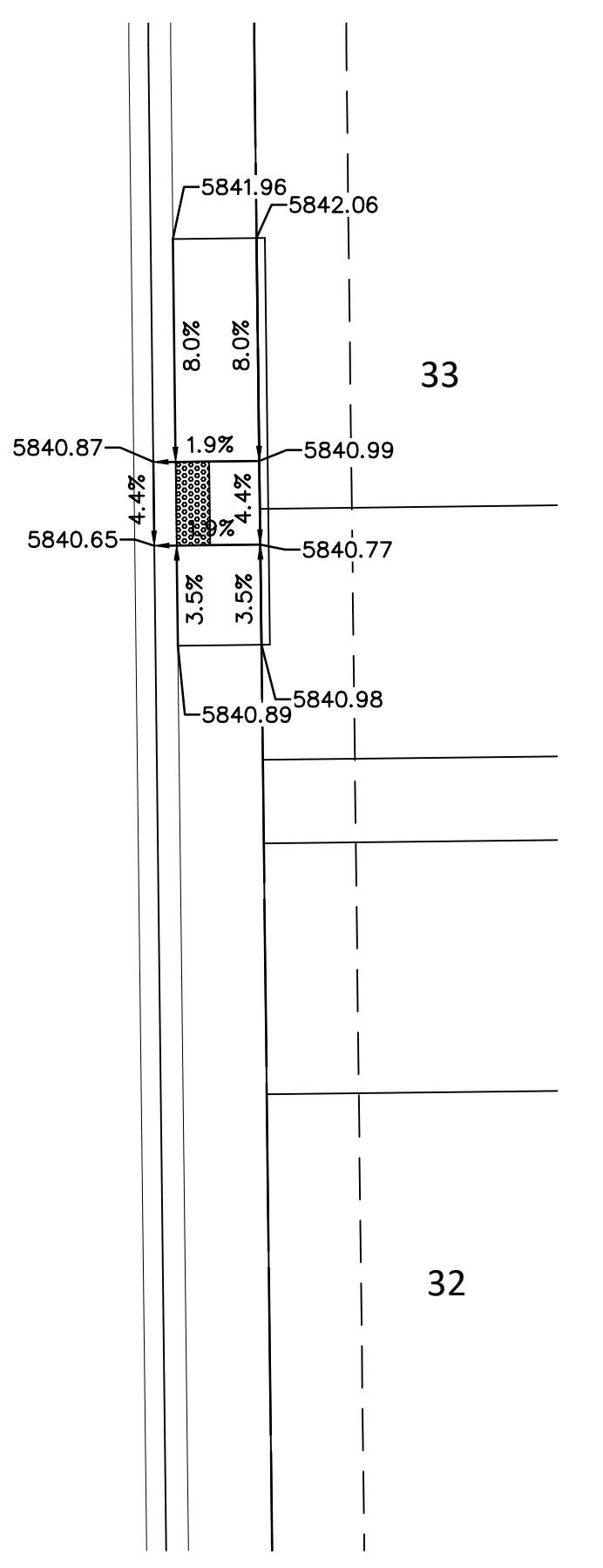
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**IN01**

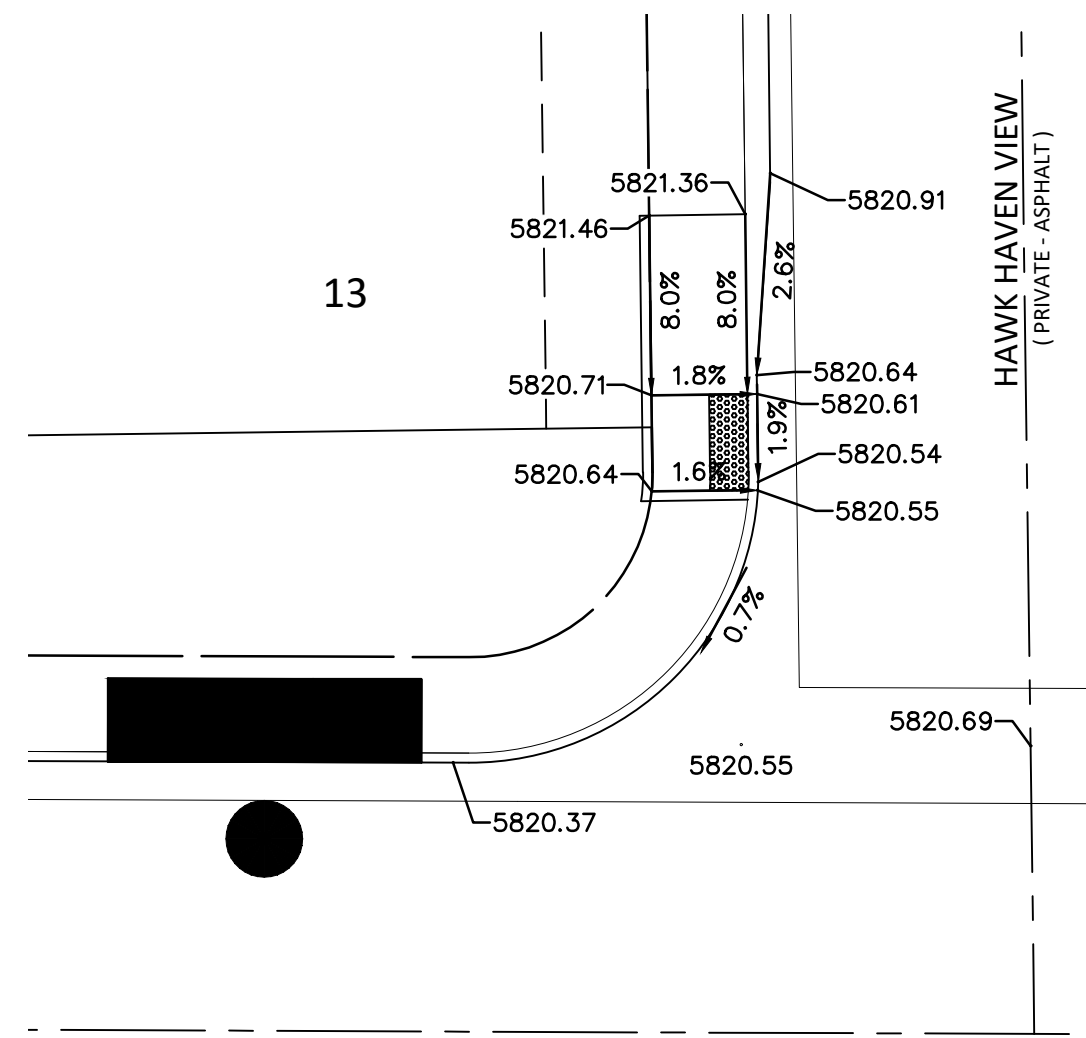
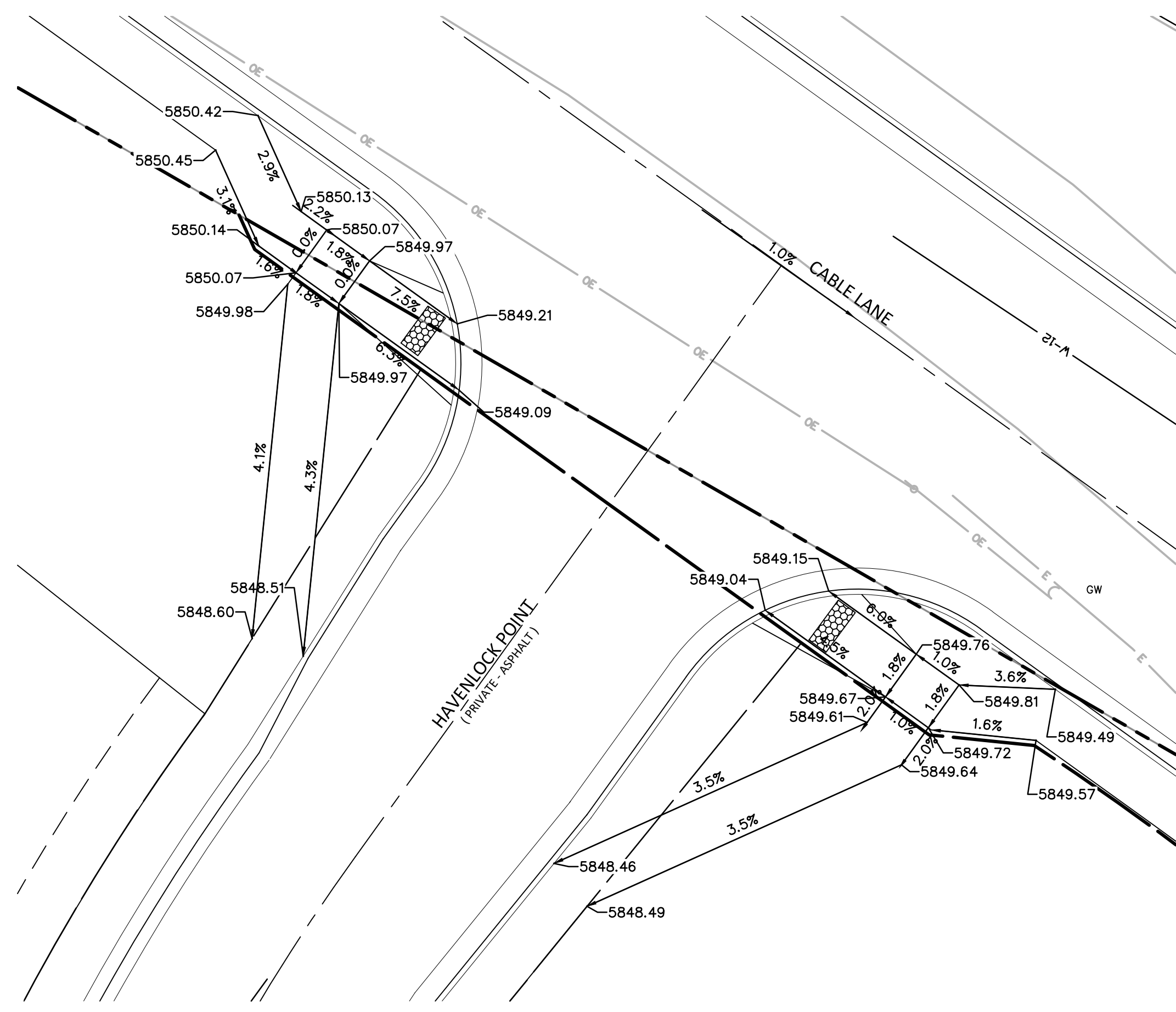
SHEET: 23 OF 52



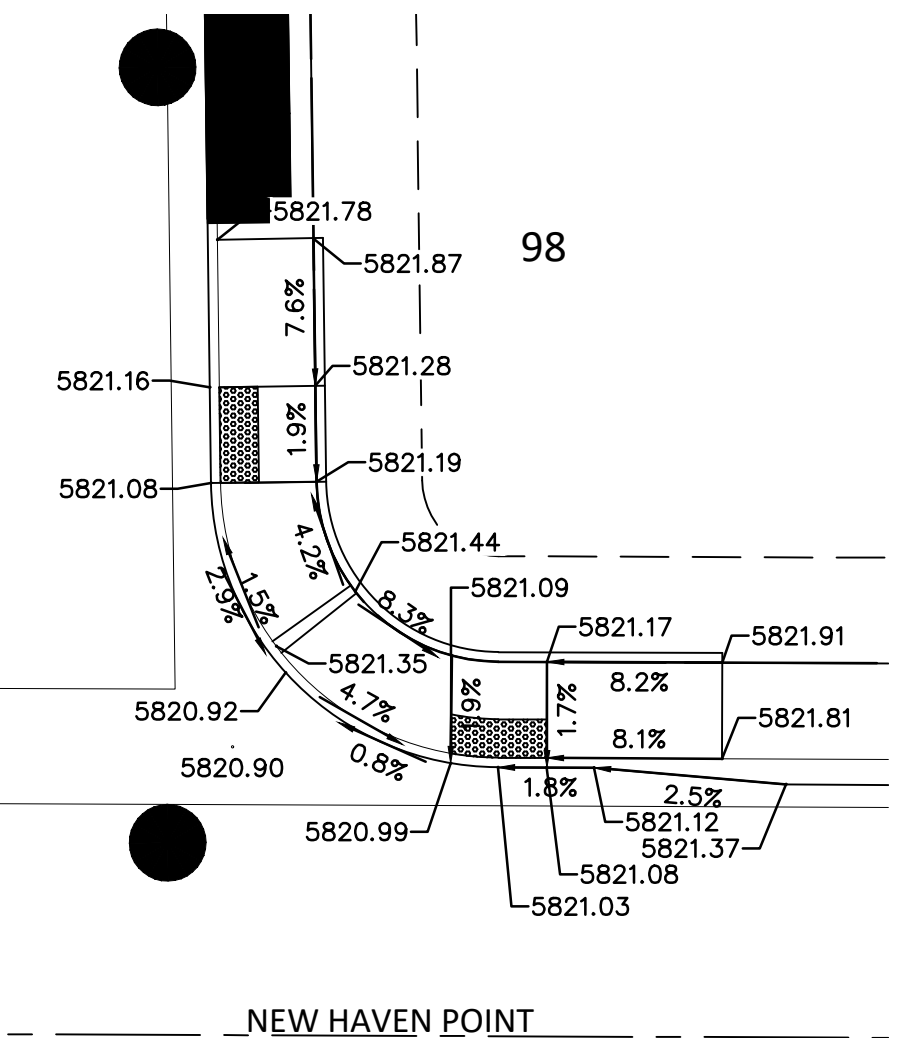
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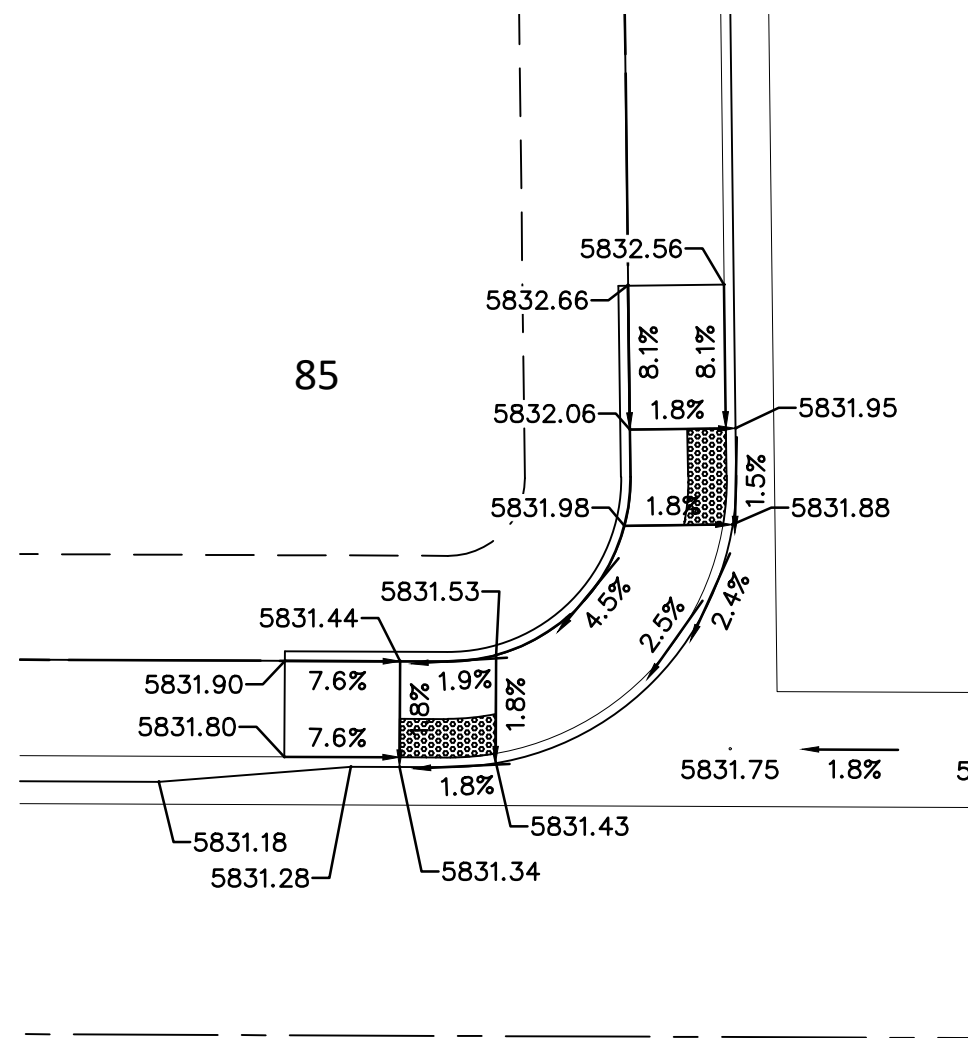
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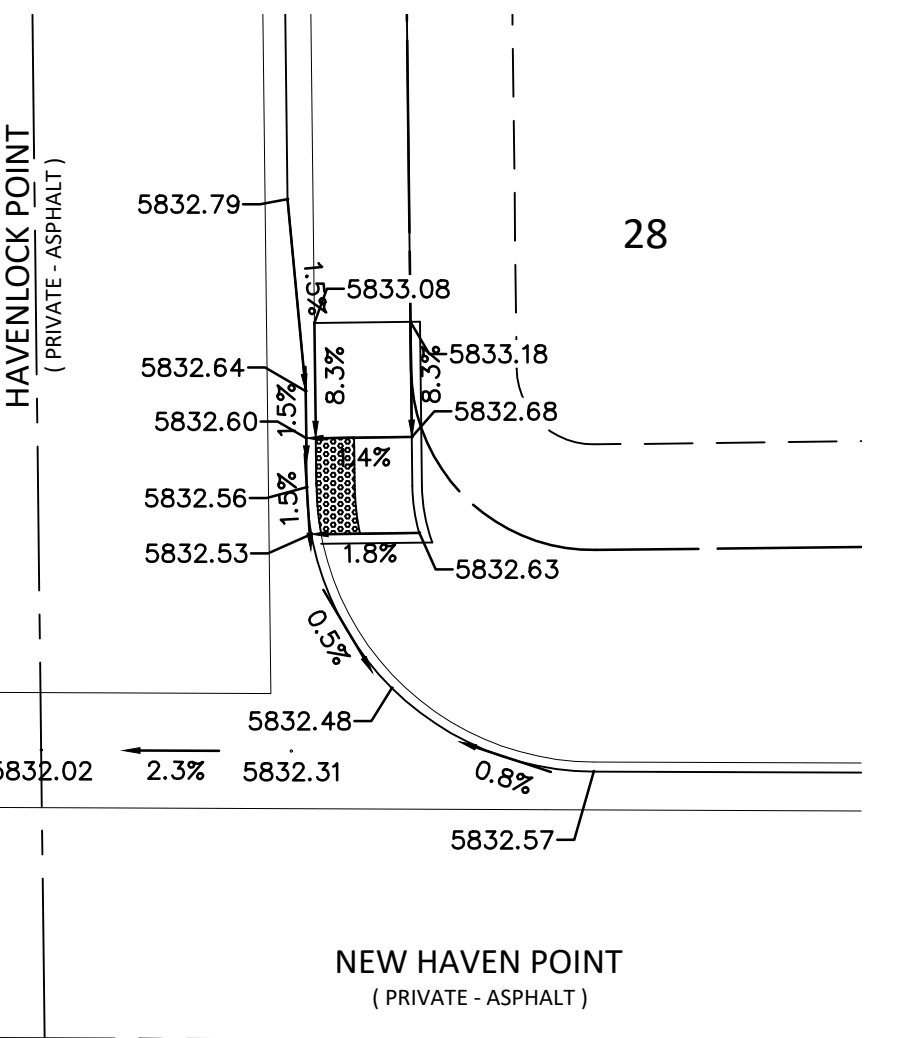
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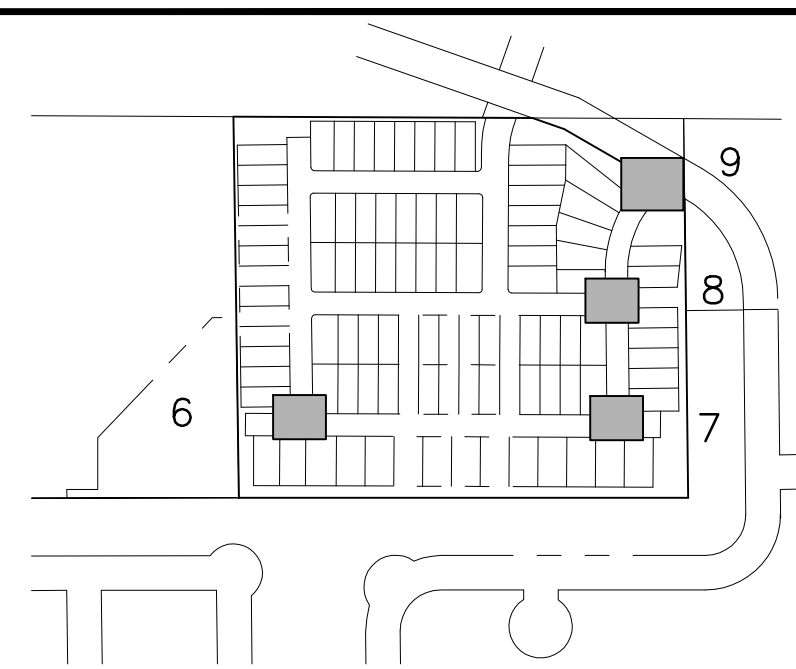
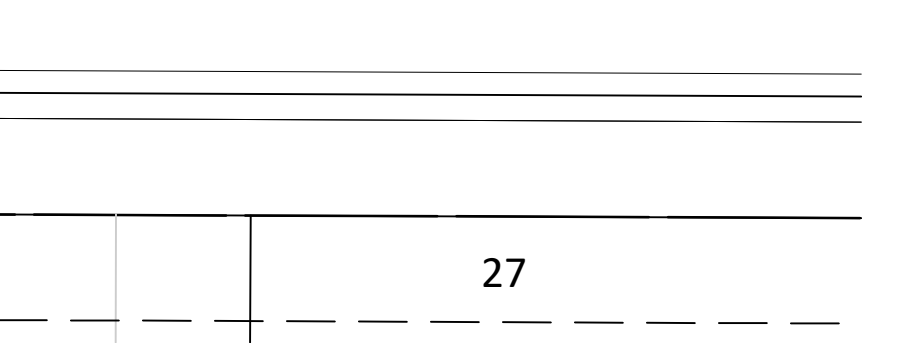
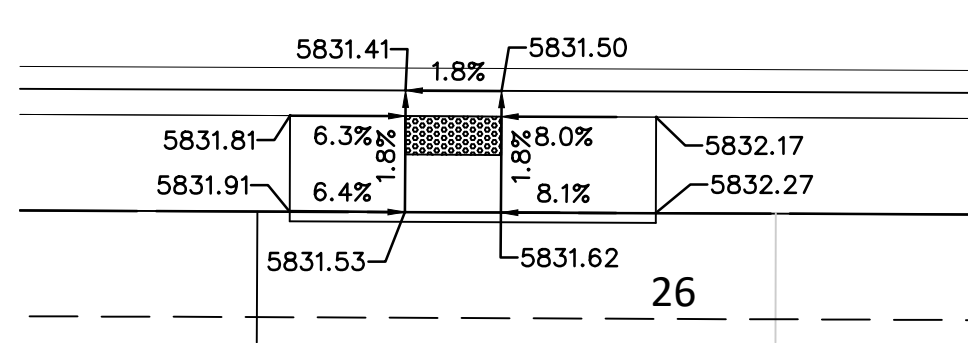
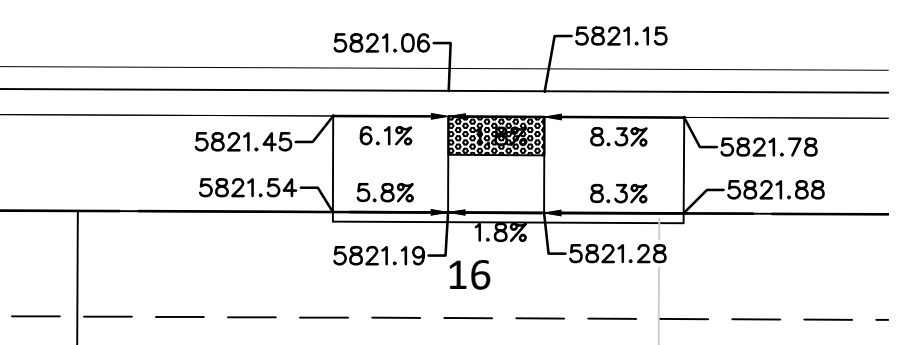
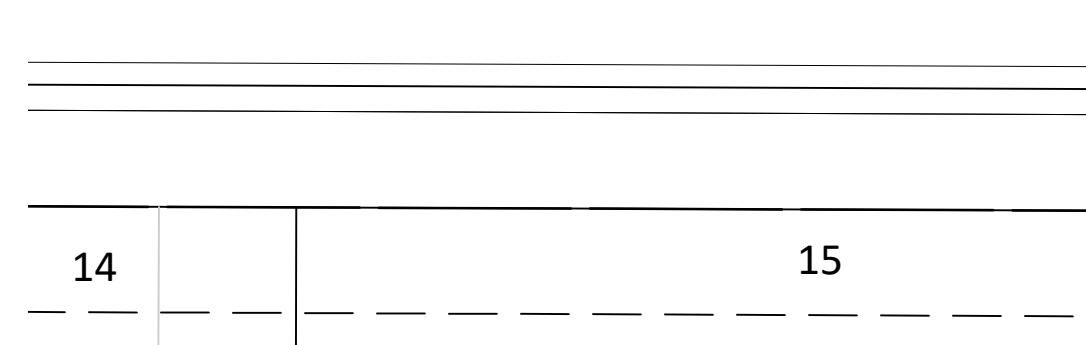
NEW HAVEN POINT  
(PRIVATE - ASPHALT)



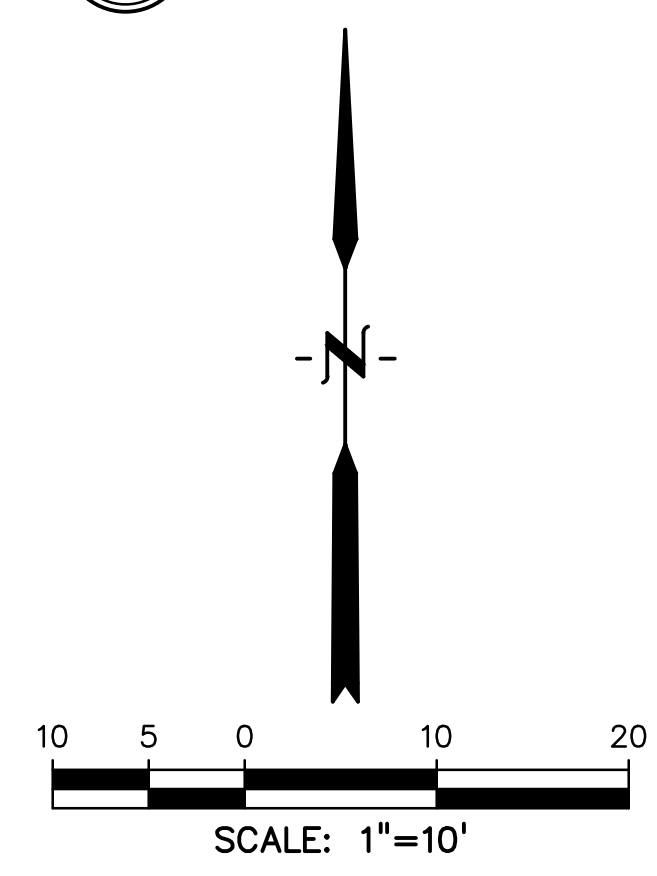
INTERSECTION 7



NEW HAVEN POINT  
(PRIVATE - ASPHALT)



KEY MAP  
NO SCALE



PREPARED BY:



CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03IN01



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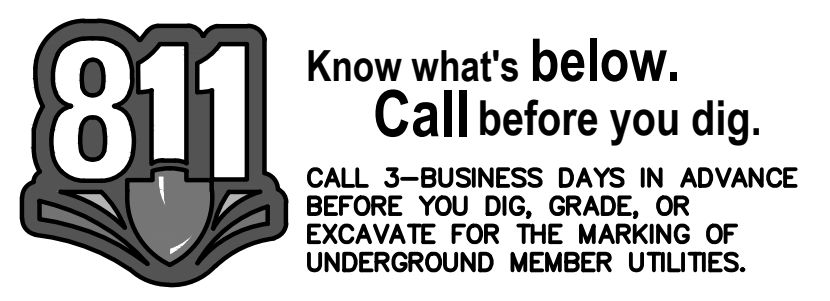
DRAWING SCALE:  
HORIZONTAL: 1" = 10'  
VERTICAL: N/A

DETAILED INTERSECTION GRADING PLAS

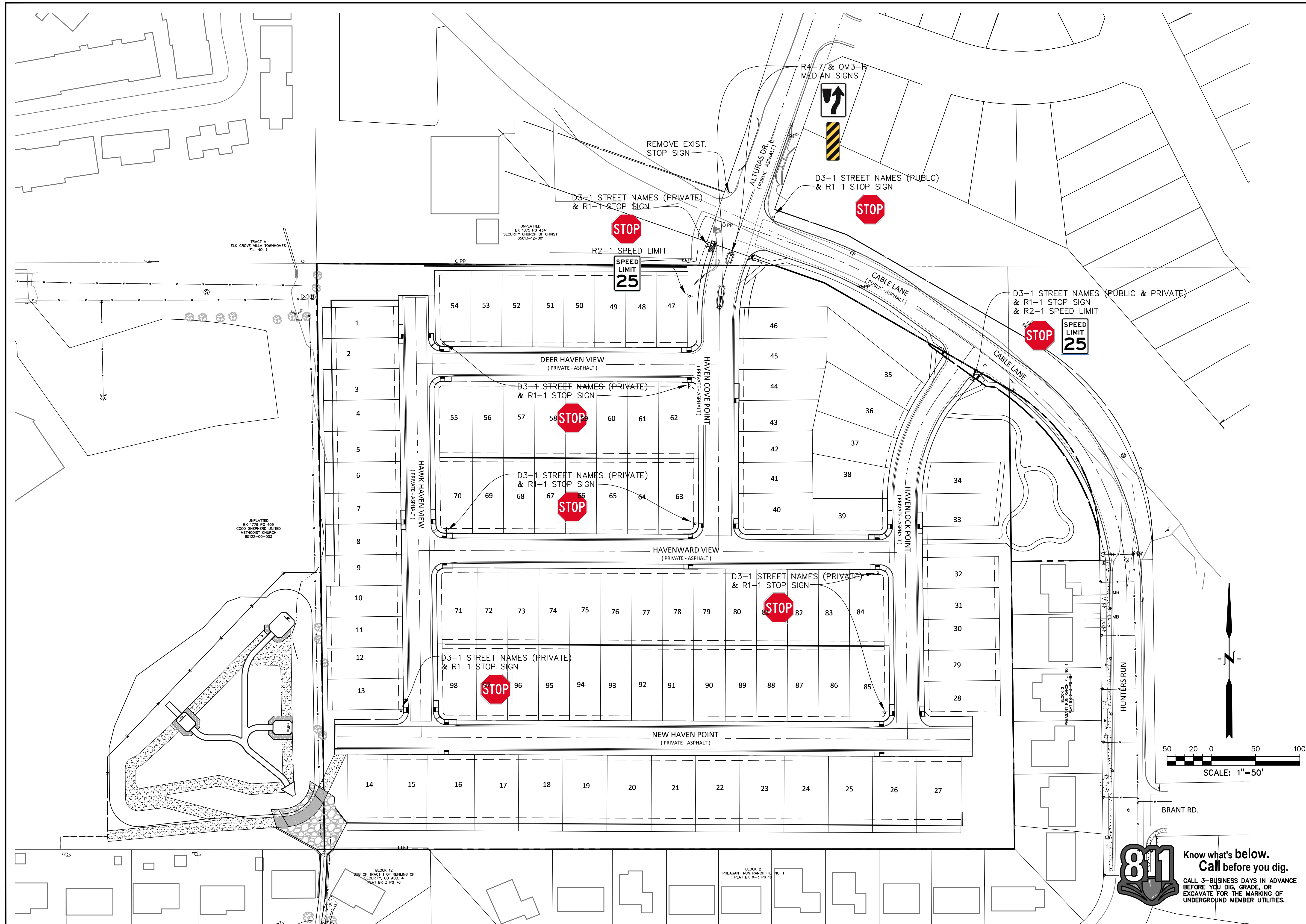
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**IN02**

SHEET:24 OF 52







PREPARED BY:

DREXEL, BARRELL & CO.  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. McCONNELL, P.E.  
 (719)260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC  
 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
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CONSTRUCTION DOCUMENTS FOR:

# HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY:	TDM
DRAWN BY:	SBN
CHECKED BY:	TDM
FILE NAME:	21085-03SI01



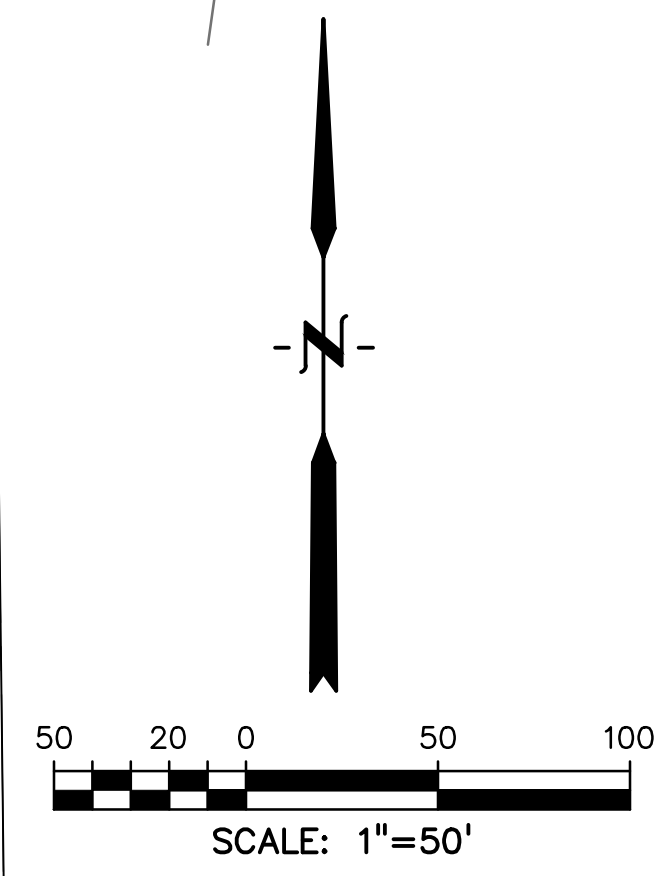
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

## SIGNAGE PLAN

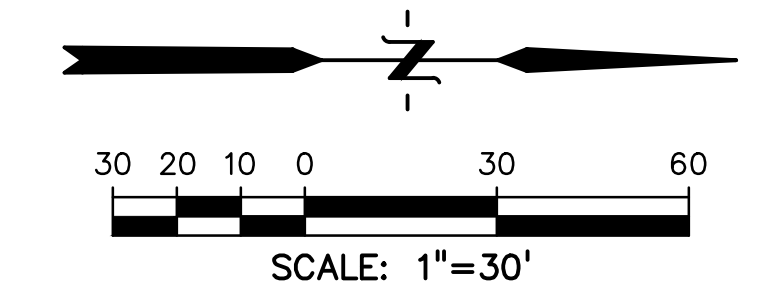
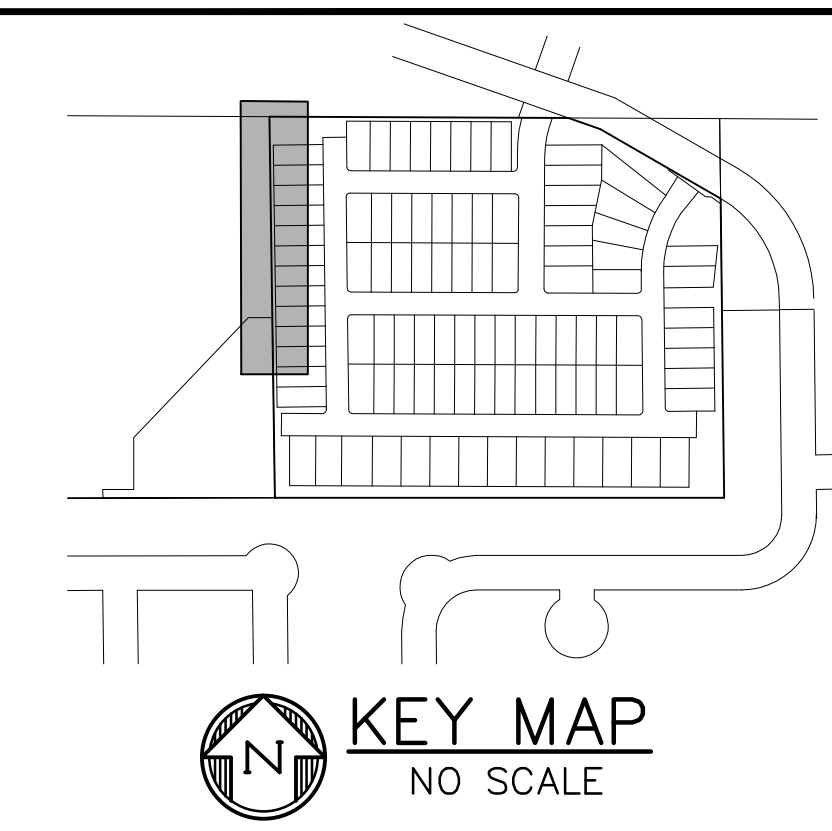
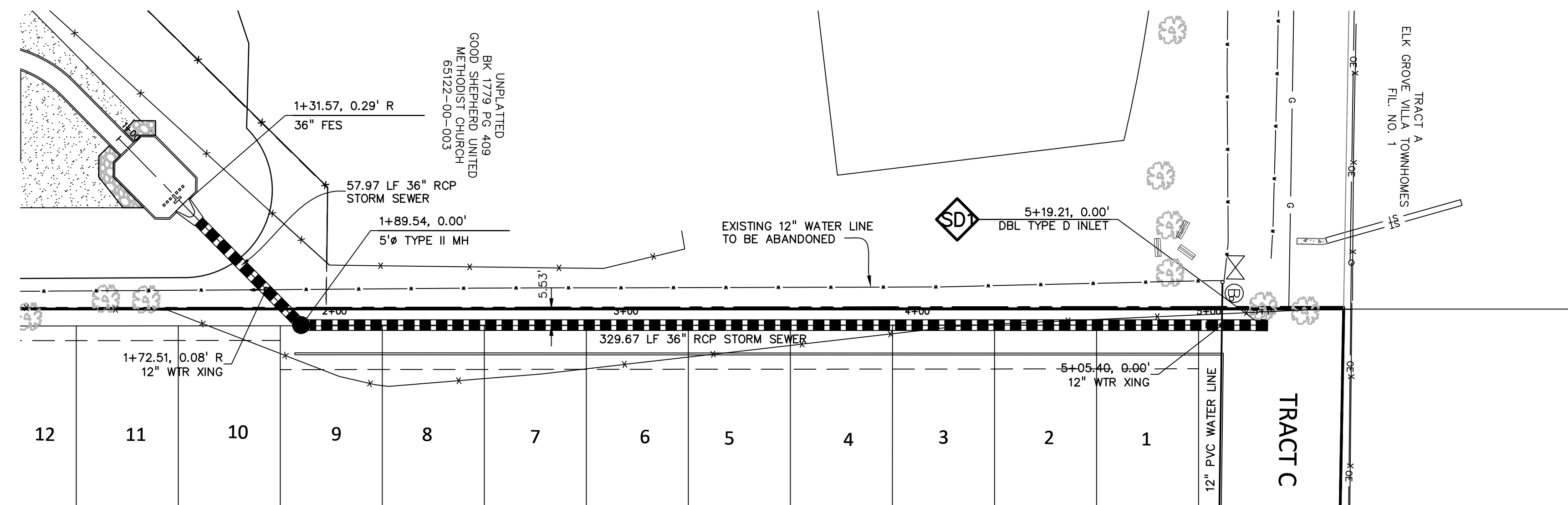
PROJECT NO. 21085-03CSCV  
 DRAWING NO.

# SI01

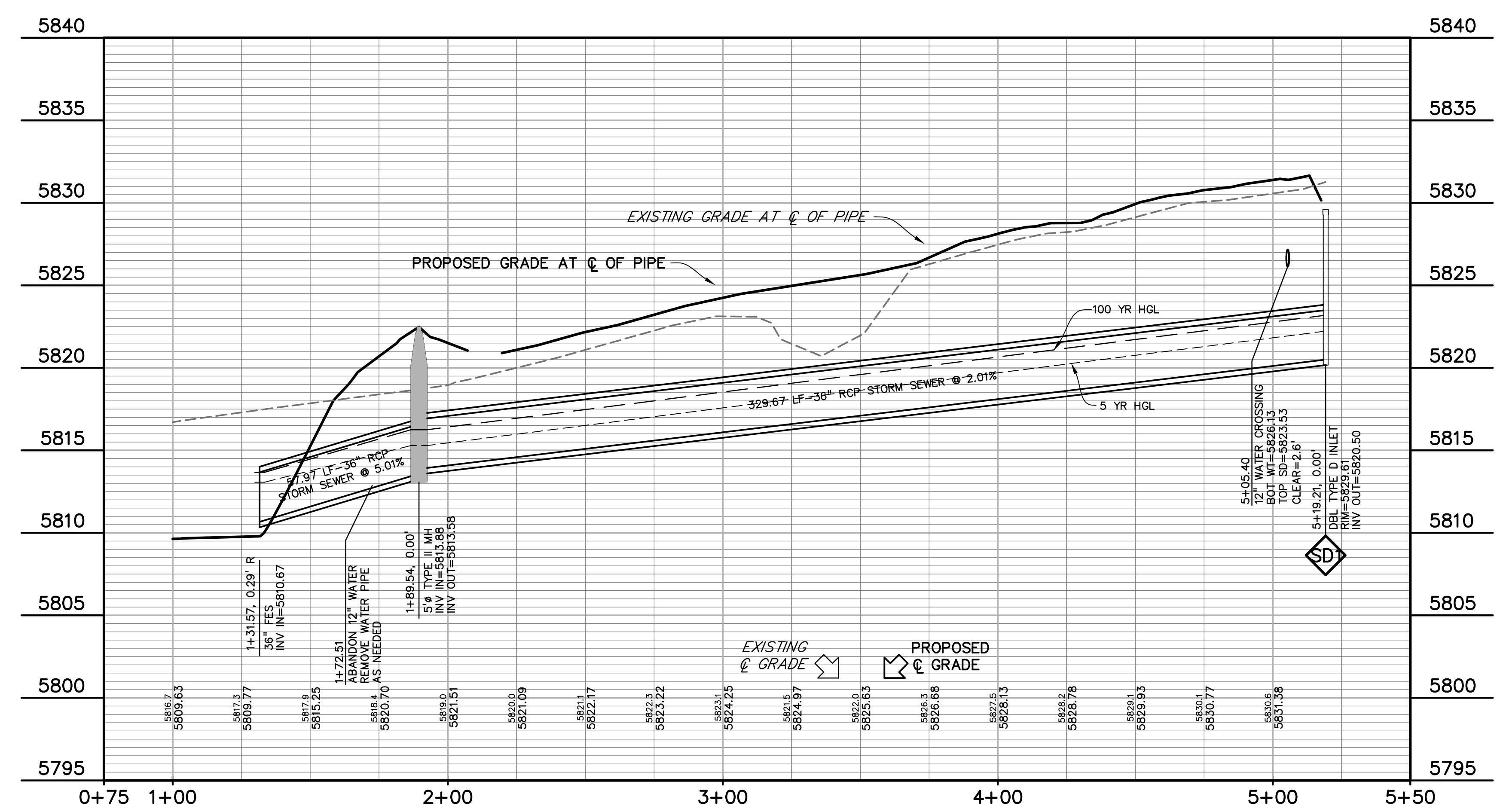
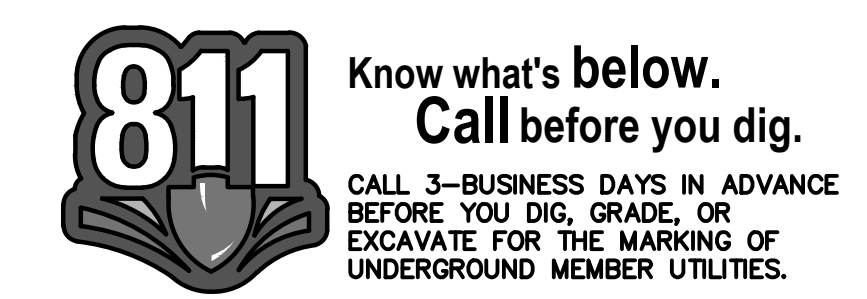
SHEET: 25 OF 52



Know what's below.  
 Call before you dig.  
 CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



NOTE:  
ALL STORM SEWER TO BE PRIVATE CLASS III RCP  
UNLESS OTHERWISE NOTED.



PREPARED BY:

**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03SD01



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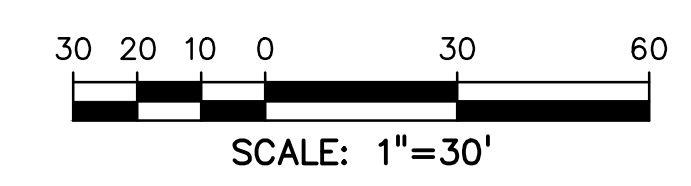
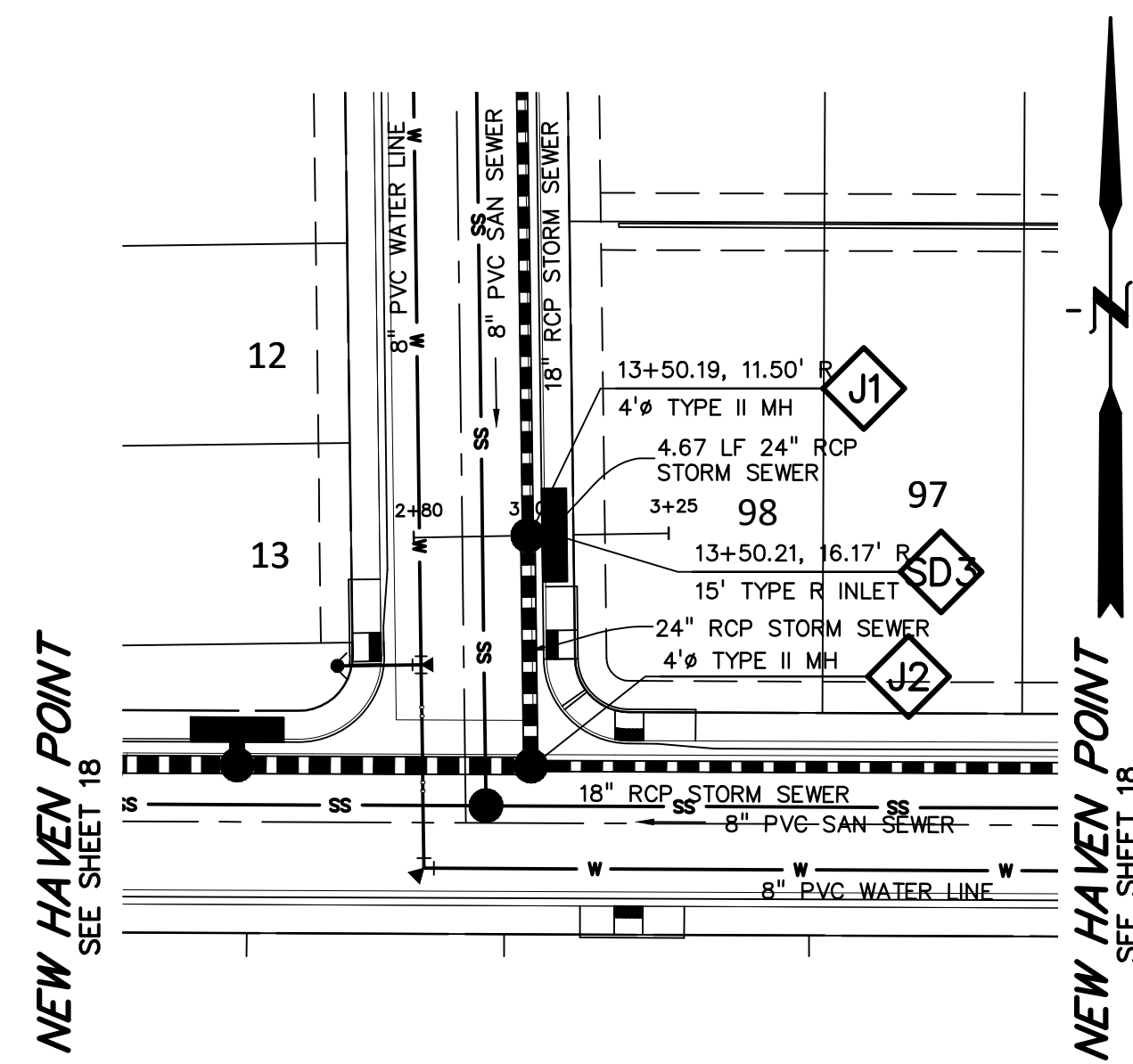
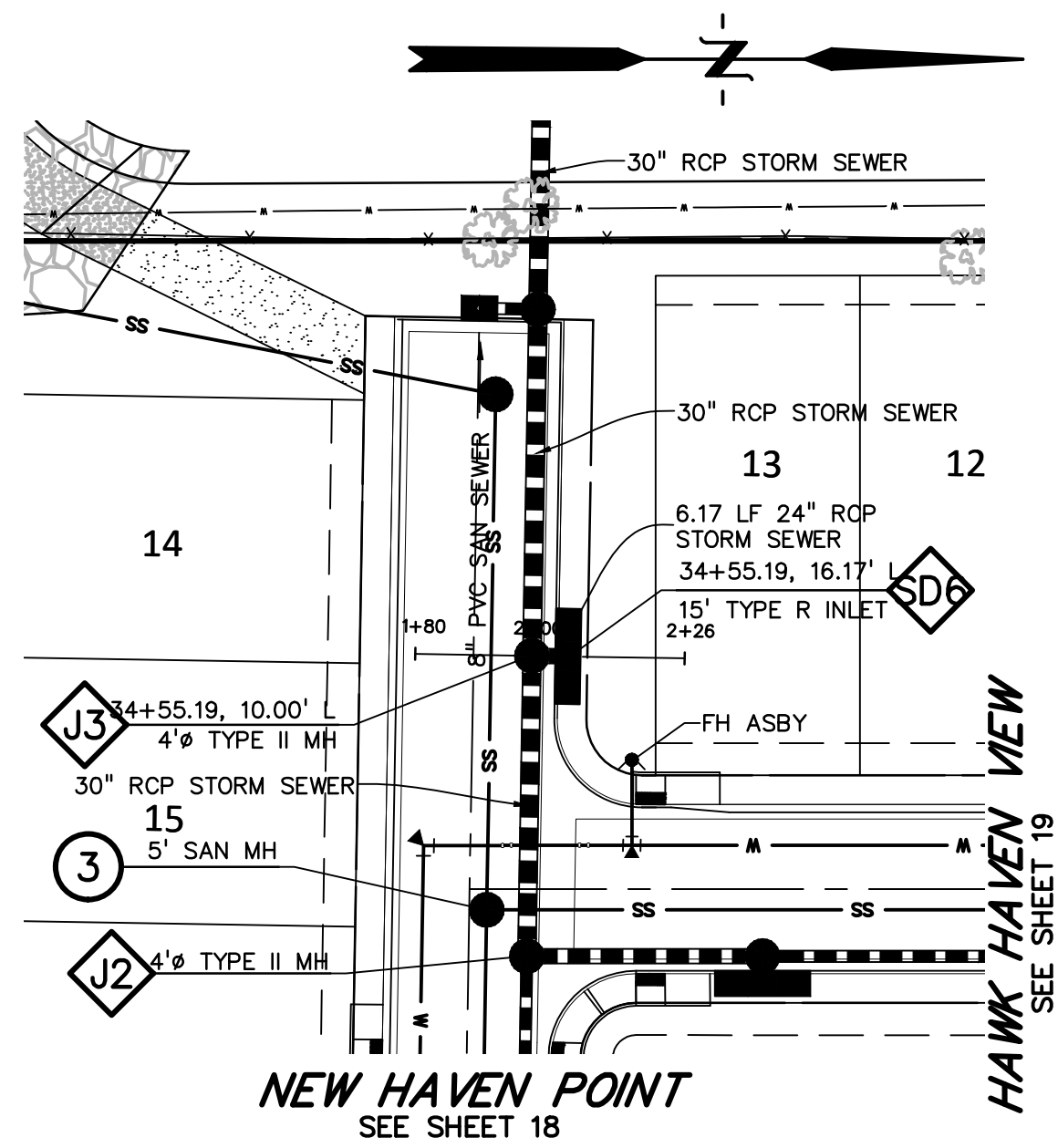
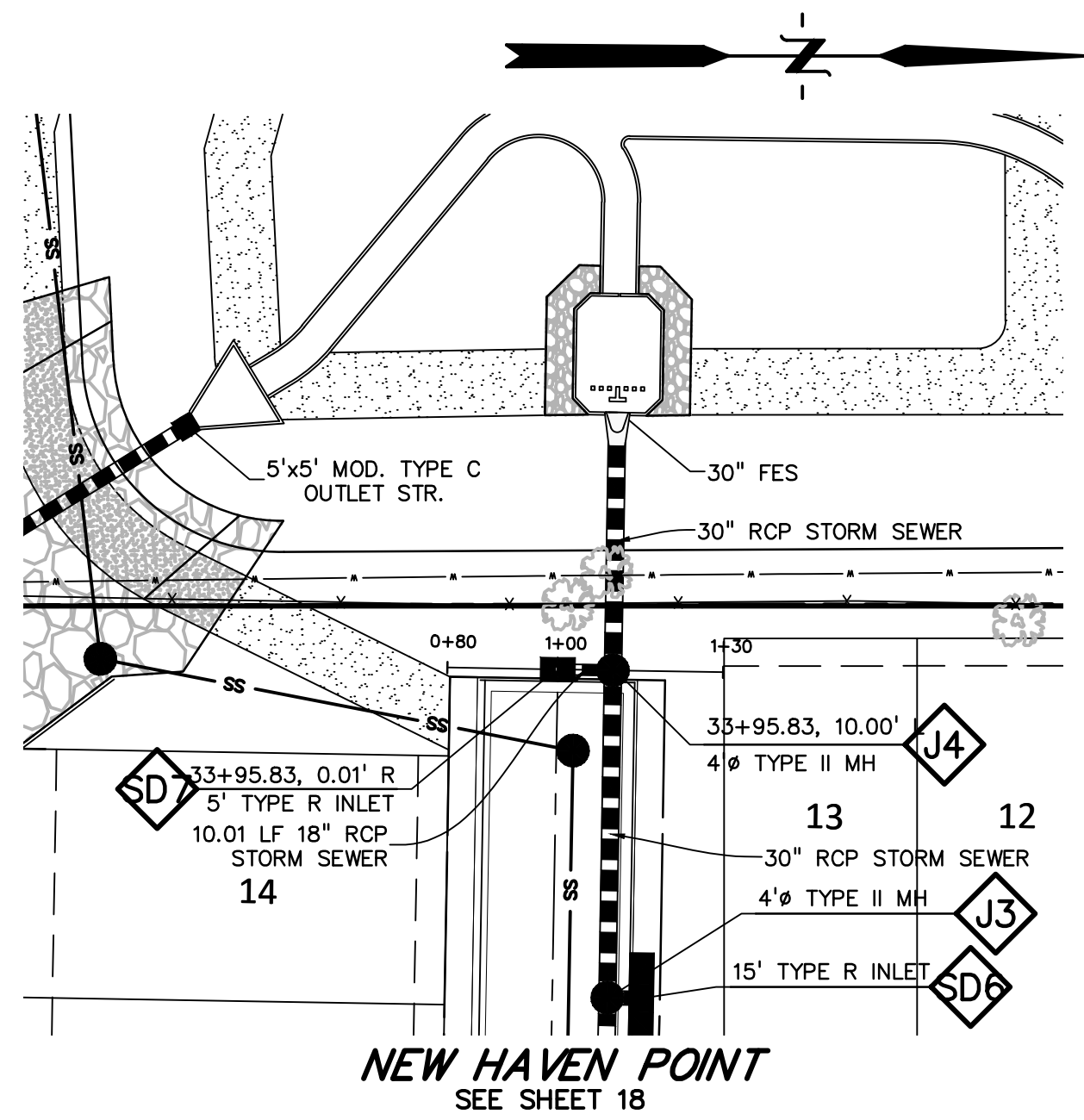
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**WEST STORM SEWER PLAN & PROFILE**

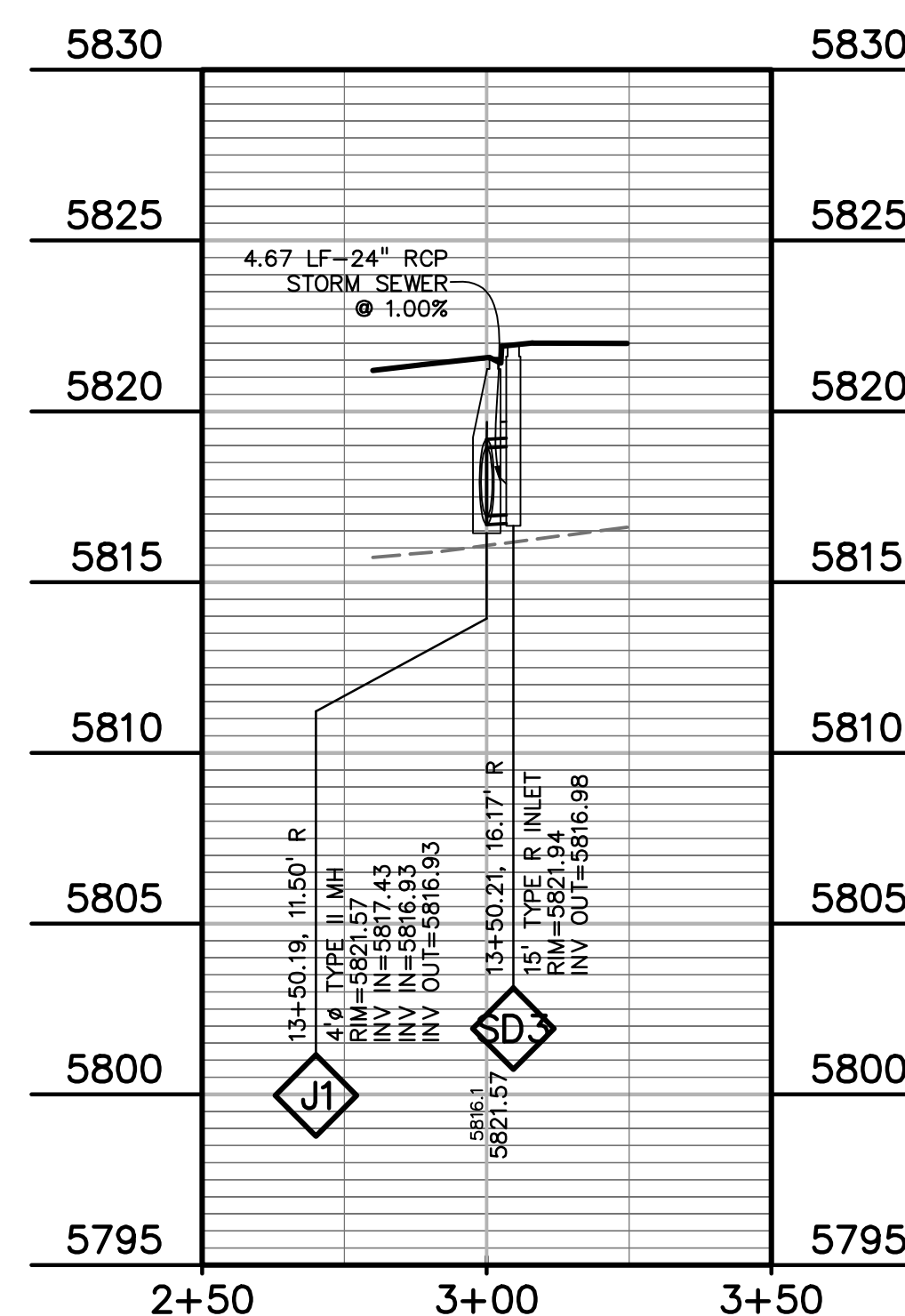
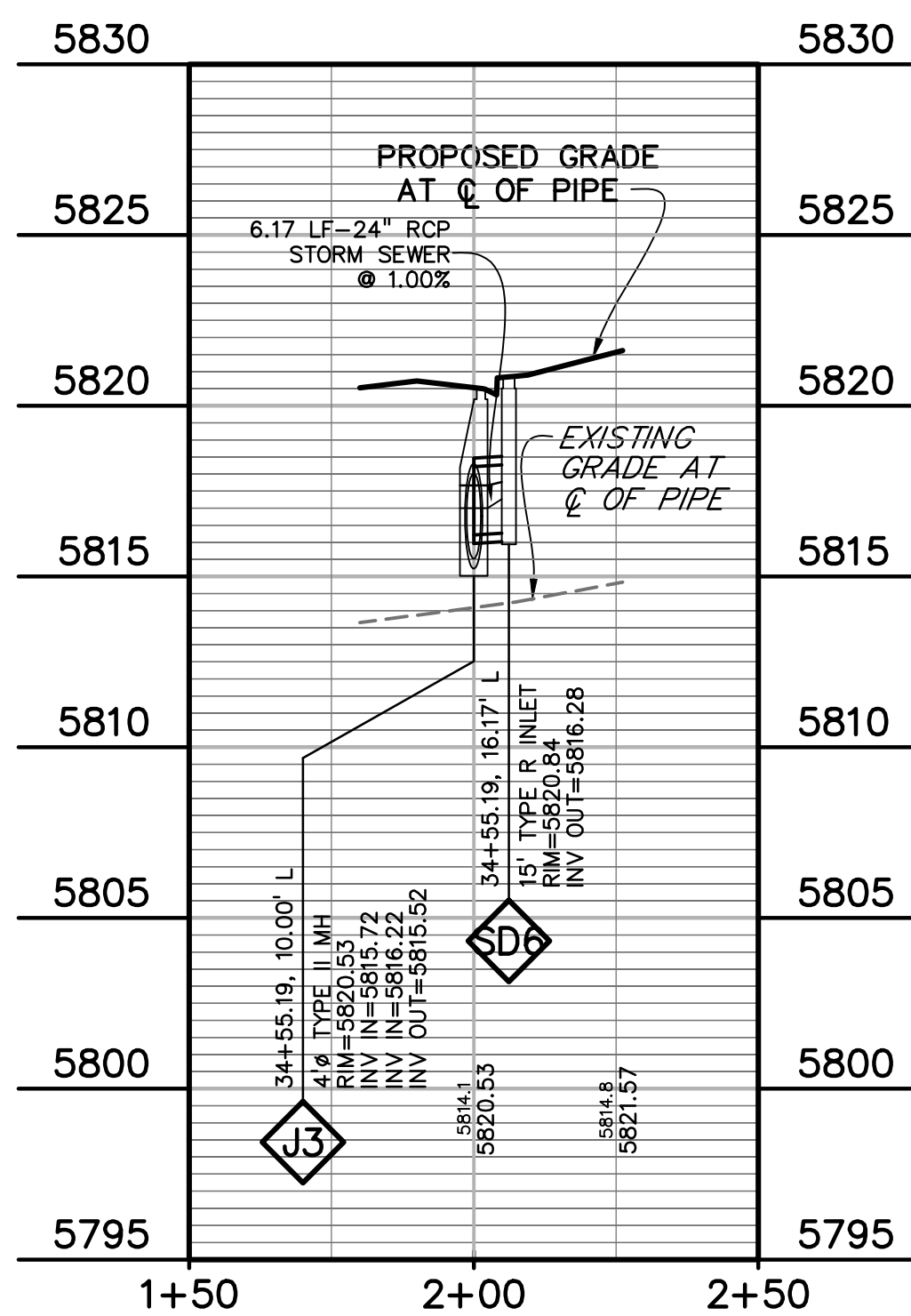
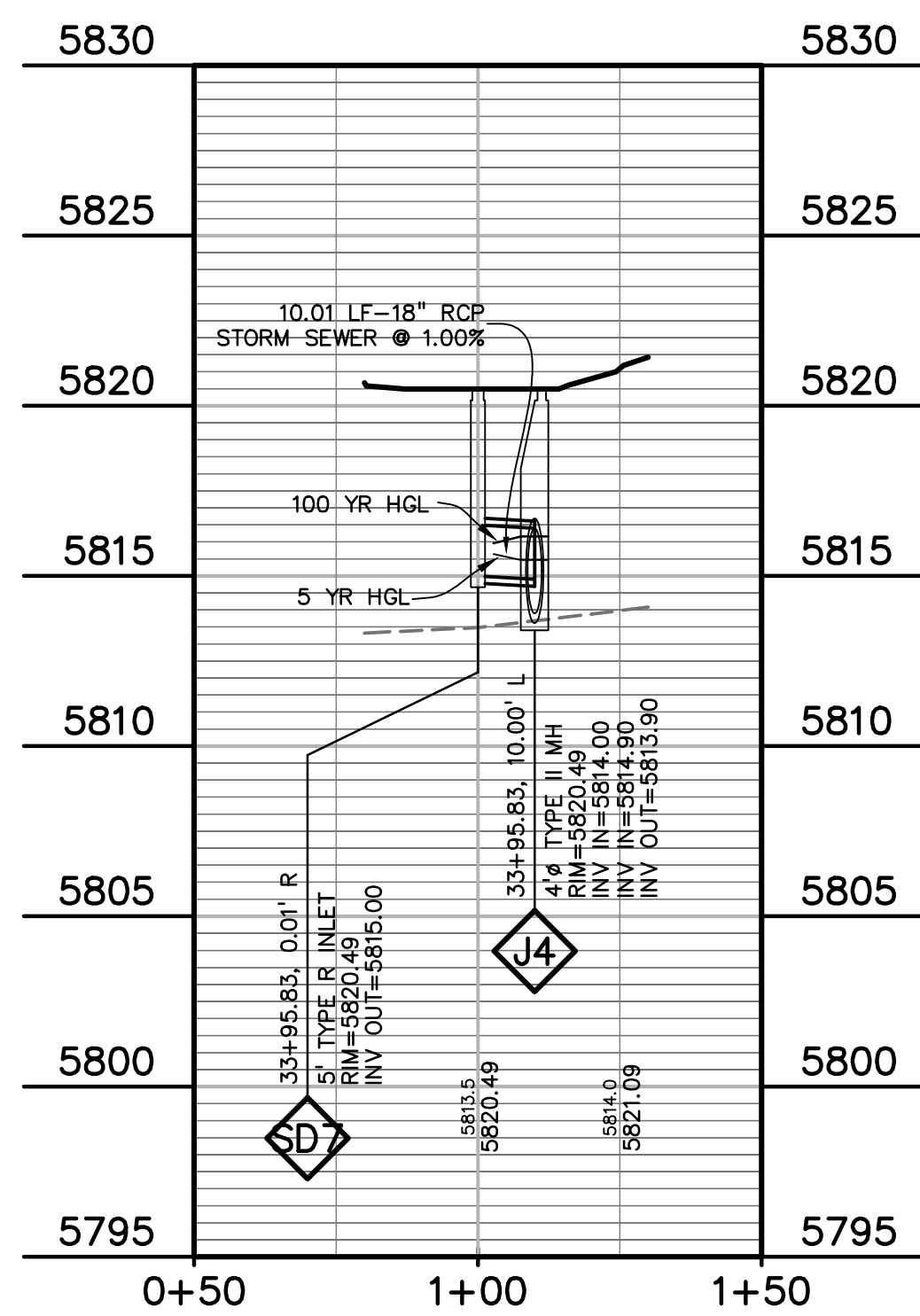
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**SD01**

SHEET: 26 OF 52



**811** Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



NOTE:  
ALL STORM SEWER TO BE PRIVATE CLASS III RCP UNLESS OTHERWISE NOTED.

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03SD02



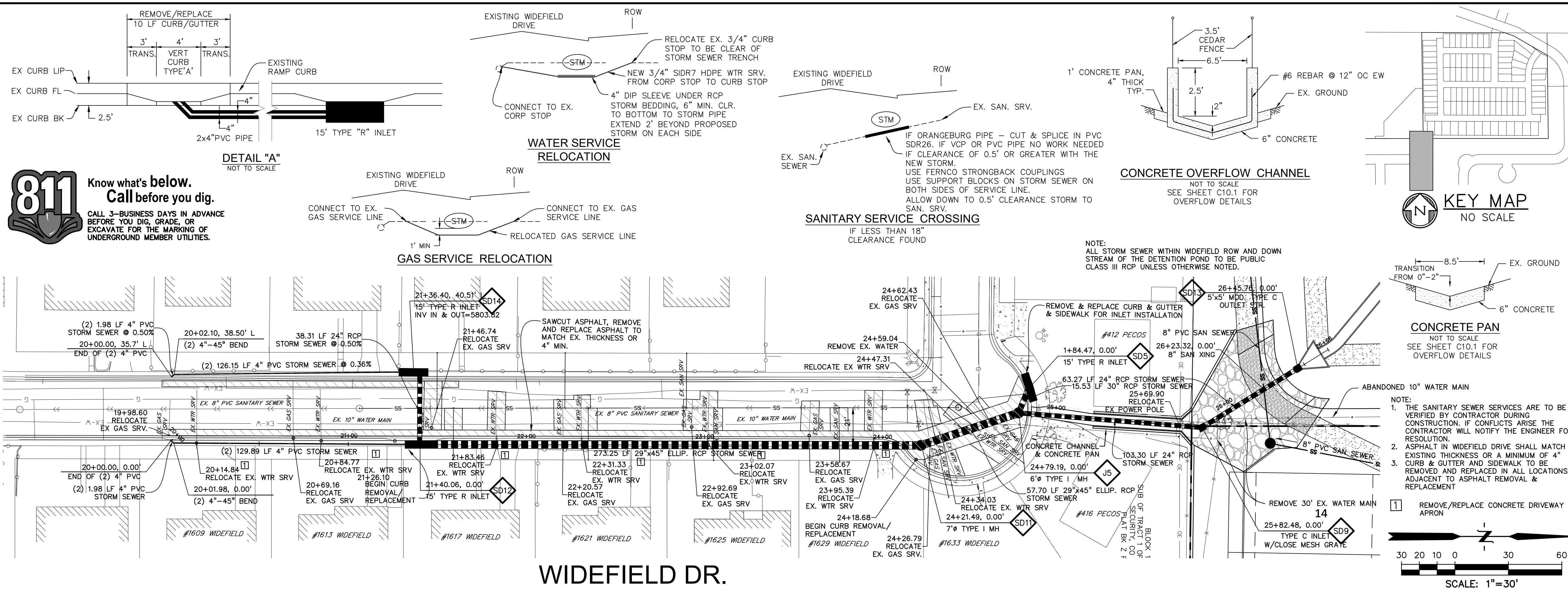
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

LATERALS  
STORM SEWER  
PLAN & PROFILE

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**SD02**

SHEET: 27 OF 52



**811** Know what's below.  
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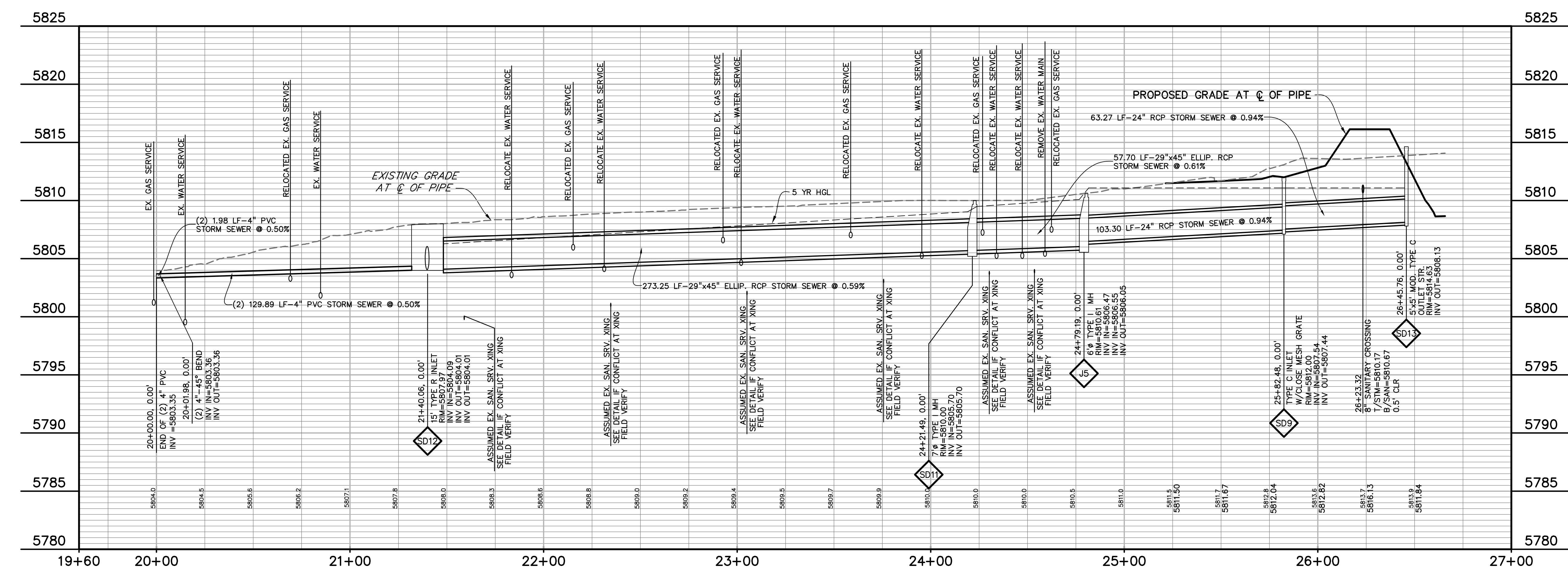
PREPARED BY:  
**DREXEL, BARRELL & CO.**  
Engineers & Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719) 260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:  
MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

- NOTE:
1. THE SANITARY SEWER SERVICES ARE TO BE VERIFIED BY CONTRACTOR DURING CONSTRUCTION. IF CONFLICTS ARISE THE CONTRACTOR WILL NOTIFY THE ENGINEER FOR RESOLUTION.
  2. ASPHALT IN WIDEFIELD DRIVE SHALL MATCH EXISTING THICKNESS OR A MINIMUM OF 4" CURB & GUTTER AND SIDEWALK TO BE REMOVED AND REPLACED IN ALL LOCATIONS ADJACENT TO ASPHALT REMOVAL & REPLACEMENT
  3. REMOVE/REPLACE CONCRETE DRIVEWAY APRON
- SCALE: 1" = 30'



ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03SD03

PROFESSORIAL SEAL  
TIM D. MCCONNELL  
7/29/24  
PROFESSIONAL ENGINEER

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

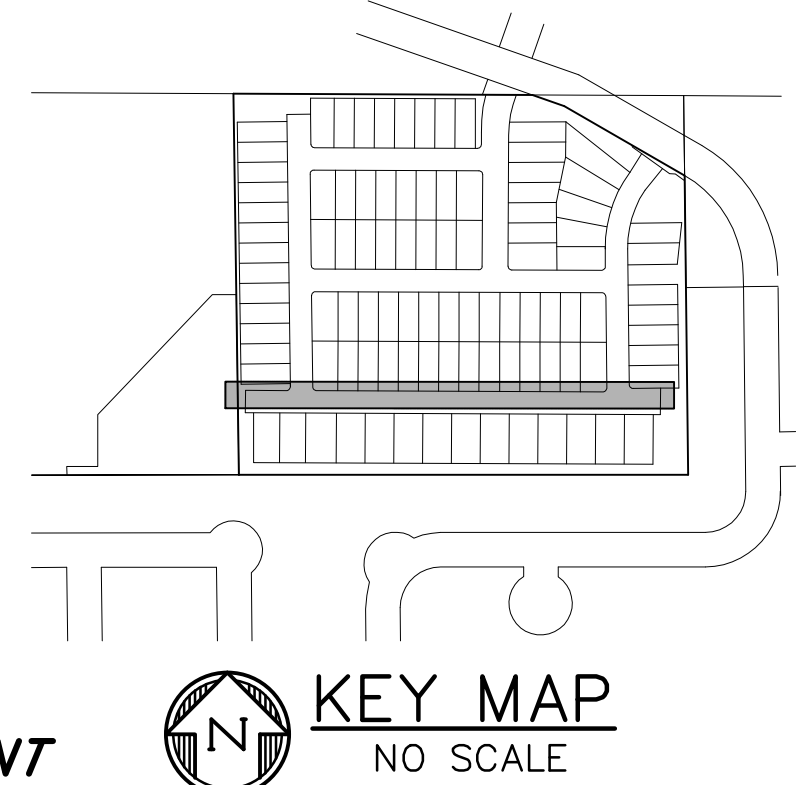
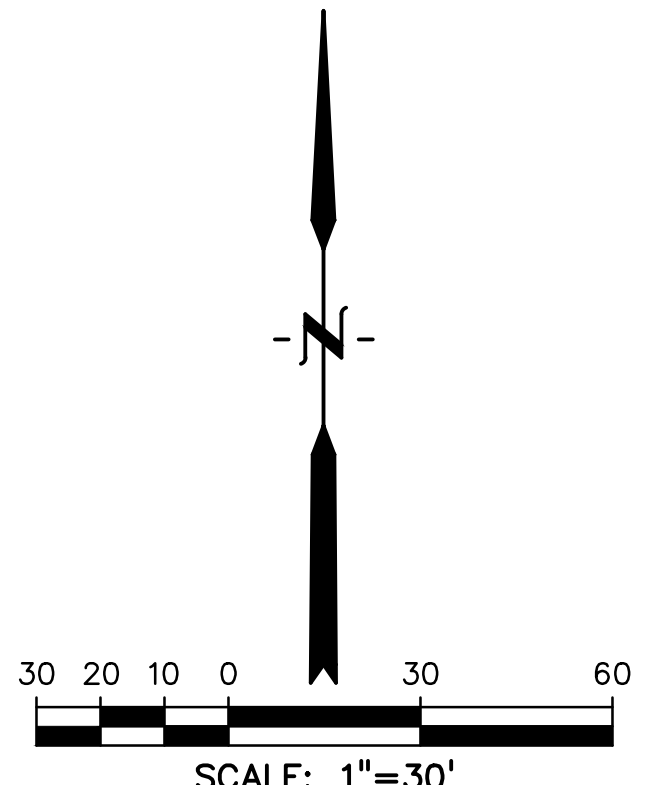
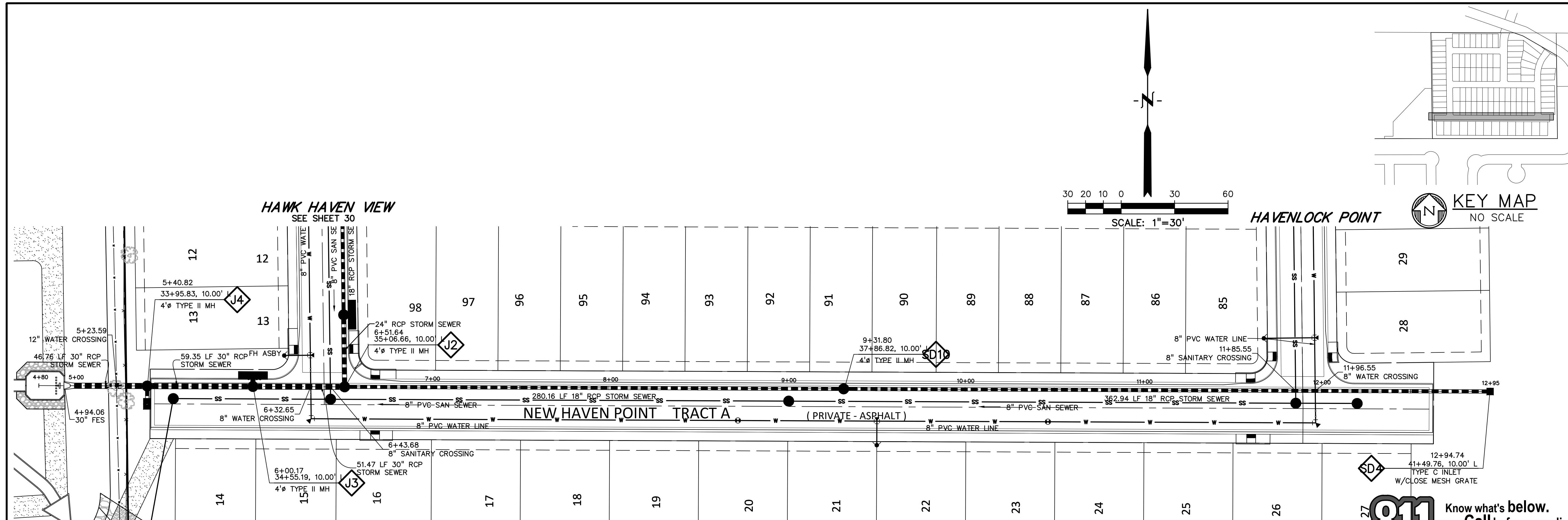
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**STORM SEWER OUTFALL PLAN & PROFILE**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**SD03**

SHEET: 28 OF 52



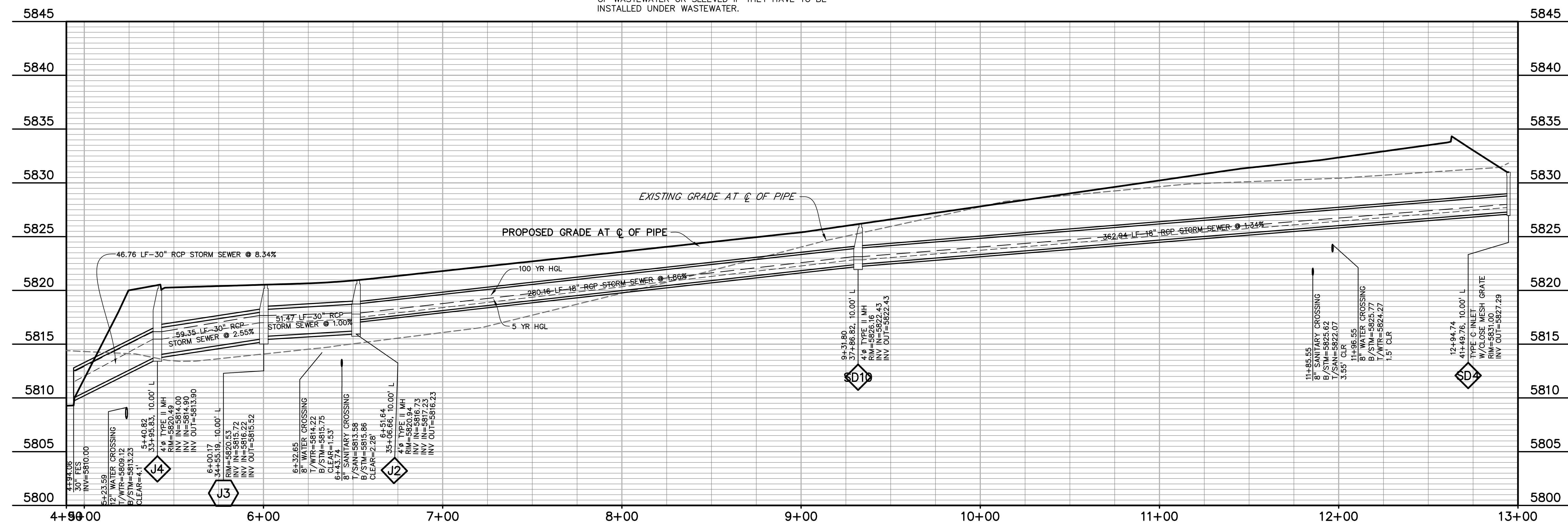
**NOTES:**

1. ALL WATER AND WASTEWATER SERVICES ARE TO BE INSTALLED UNDER THE STORM SEWER.
2. WATER SERVICES ARE TO BE INSTALLED OVER THE TOP OF WASTEWATER OR SLEEVED IF THEY HAVE TO BE INSTALLED UNDER WASTEWATER.

NOTE:  
ALL STORM SEWER TO BE PRIVATE CLASS III RCP UNLESS OTHERWISE NOTED.



**Know what's below. Call before you dig.**  
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PREPARED BY:  
  
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Engineers • Surveyors  
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CONTACT: TIM D. MCCONNELL, P.E.  
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CLIENT:  
  
MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
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CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

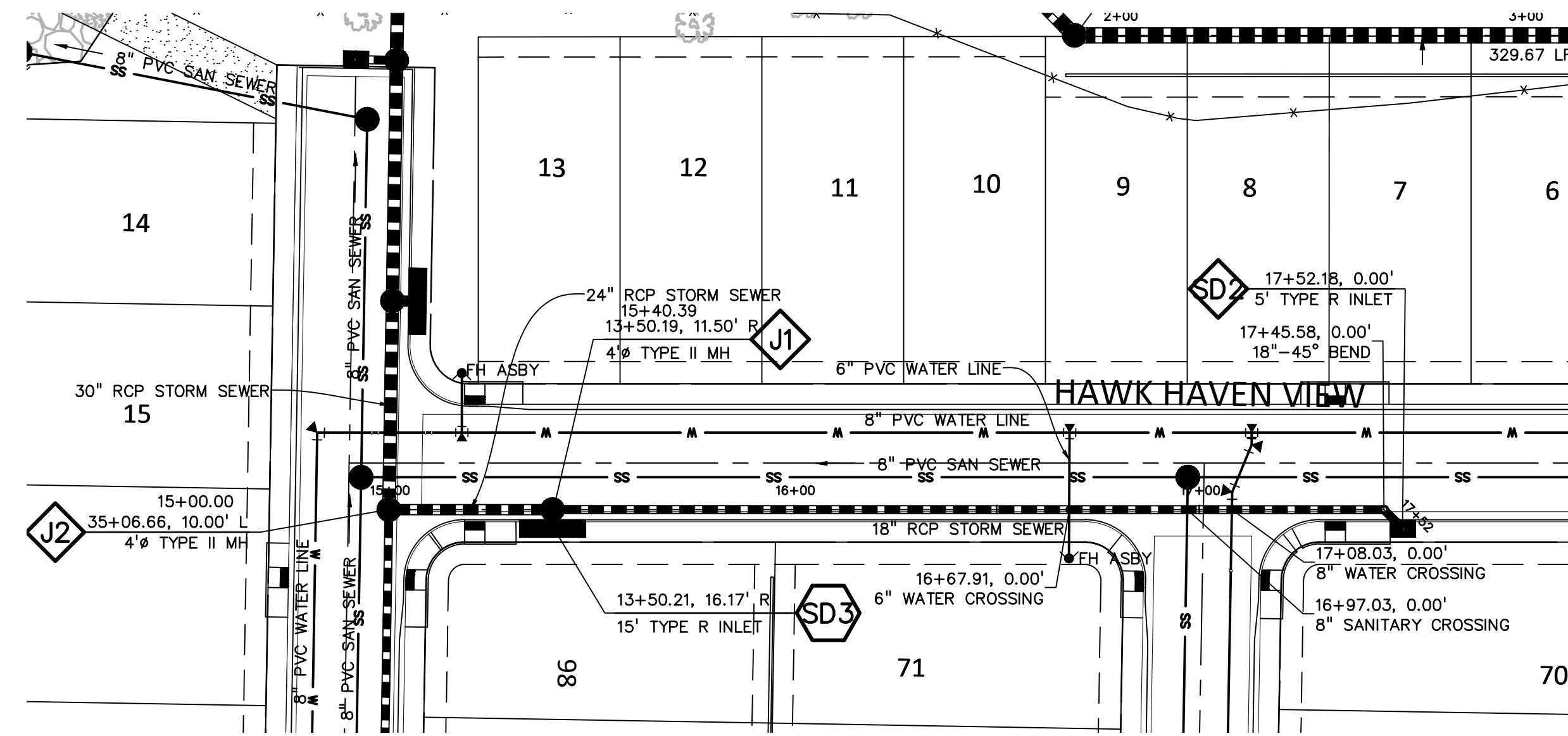
DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03SD04



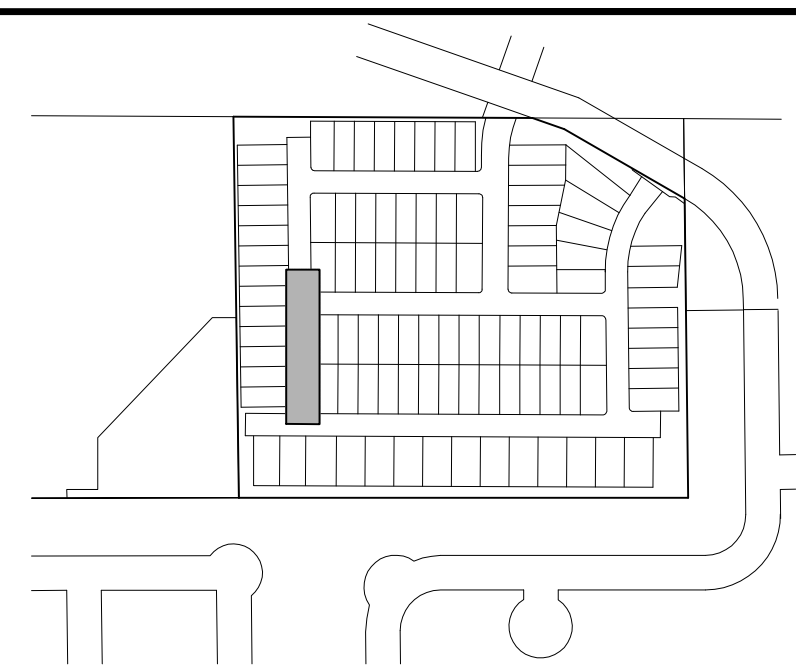
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DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**STORM SEWER PLAN & PROFILE**  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

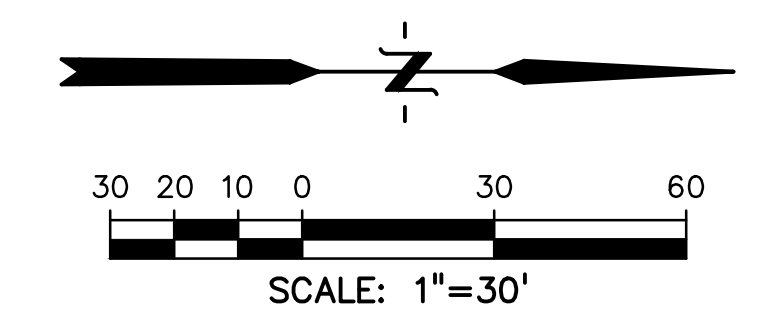
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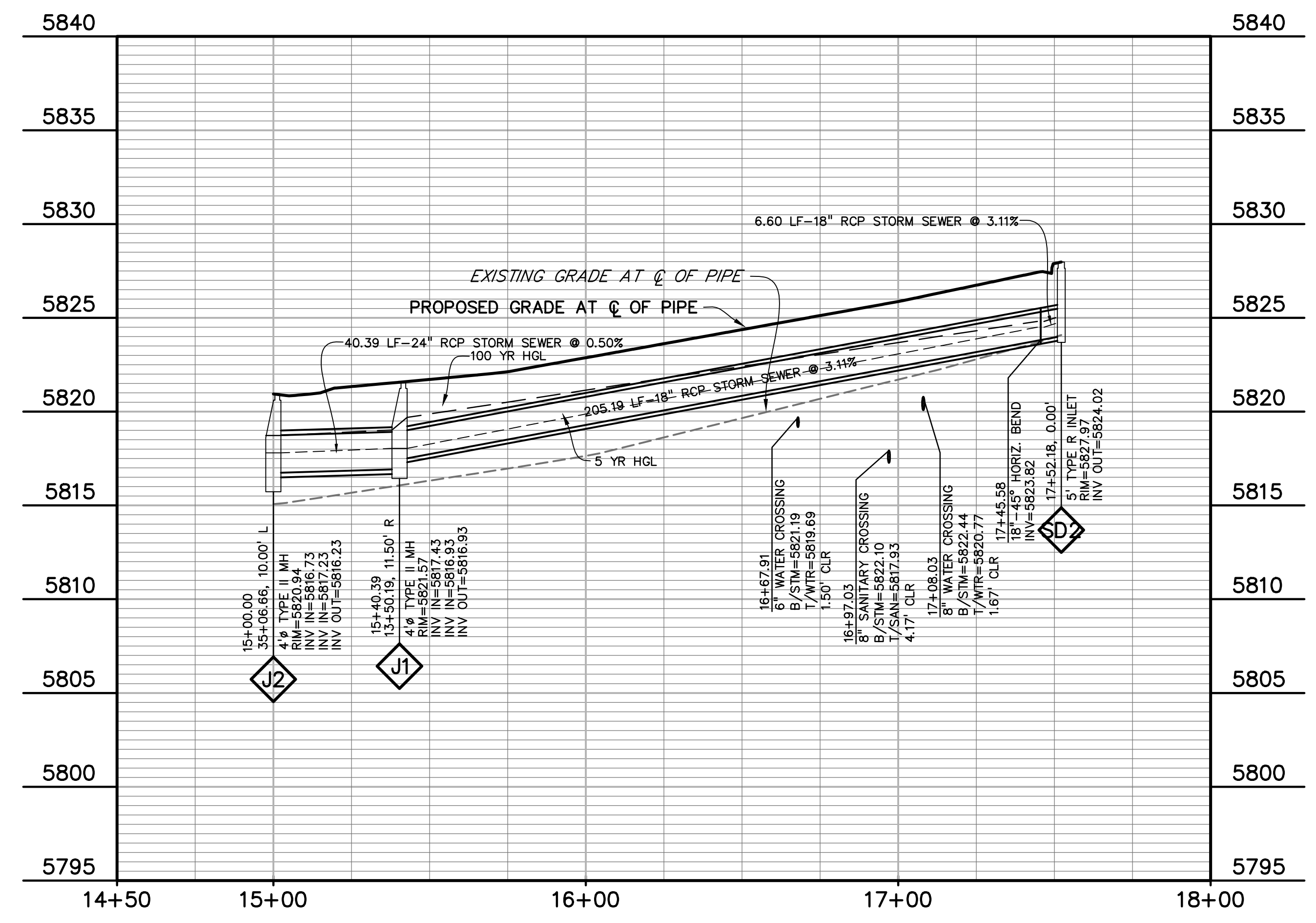
NOTE:  
ALL STORM SEWER TO BE PRIVATE CLASS III RCP  
UNLESS OTHERWISE NOTED.



KEY MAP  
NO SCALE



**811** Know what's below.  
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CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.



PREPARED BY:

**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPRGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
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P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
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CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03SD05



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DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

STORM SEWER  
PLAN & PROFILE

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**SD05**

SHEET: 30 OF 52

# HAVEN VALLEY SUBDIVISION

## BRADLEY ROAD/ALTURAS DRIVE

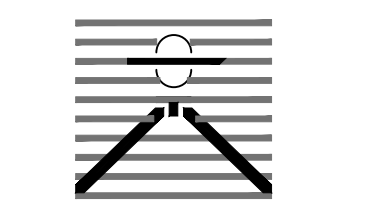
### SECURITY, COLORADO

# UTILITY CONSTRUCTION PLANS



Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.

PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

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DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03C02



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DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

UTILITY PLANS  
COVER SHEET

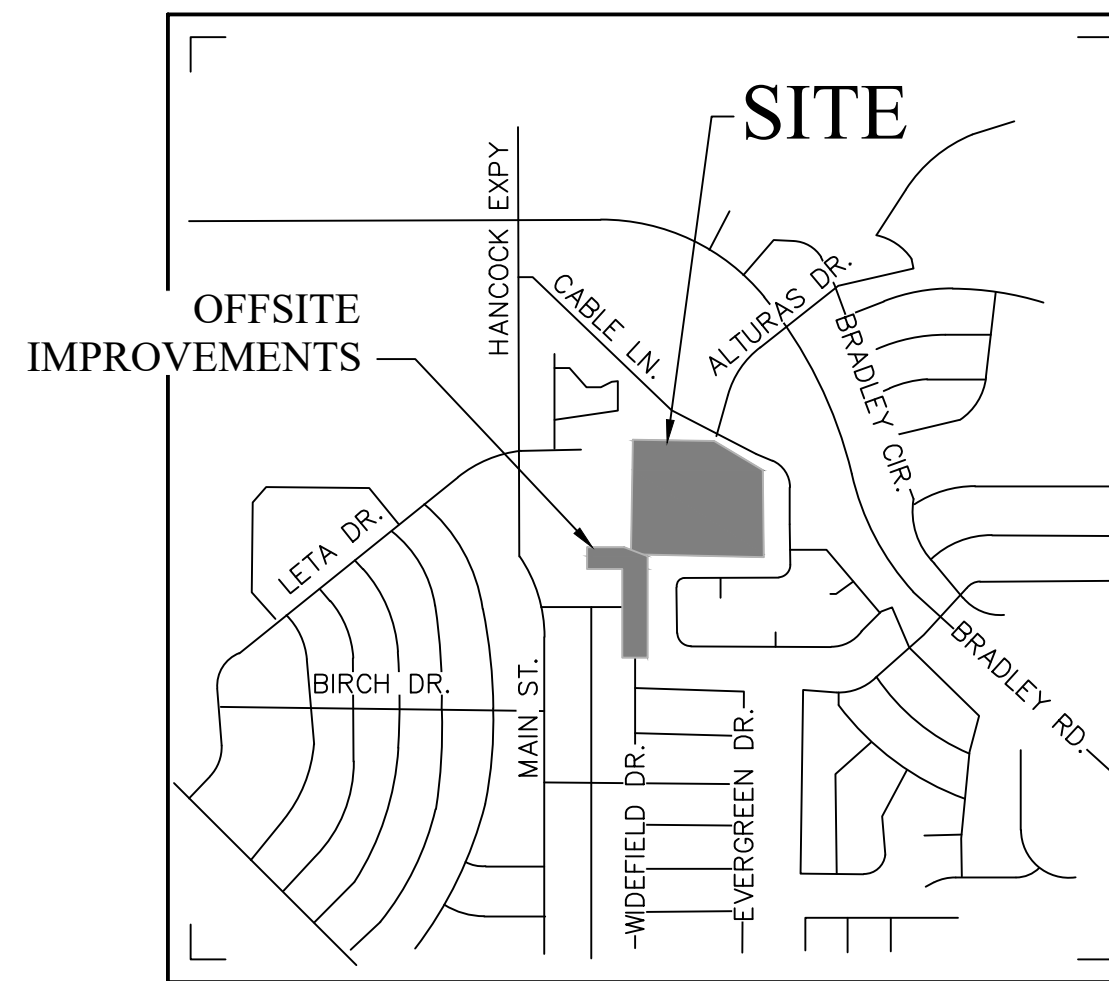
PROJECT NO. 21085-03CSCV  
DRAWING NO.

UCV1

SHEET: 31 OF 52

### WATER AND SEWER MAIN EXTENSIONS GENERAL NOTES

- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.
- ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED "NOT VALID."
- ALL STATIONING IS CENTERLINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTERLINE UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- ALL OVER-LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.
- ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
- DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES, AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT, AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
- ALL DUCTILE IRON PIPE LESS THAN TWELVE INCHES (12") AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 400 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING. ALL DUCTILE IRON PIPE TWELVE INCHES (12") AND GREATER AND FITTINGS SHALL HAVE CATHODIC PROTECTION USING TWO (2) NO. 6 WIRES WITH 17 LB. MAGNESIUM ANODES EVERY 300 FEET AND 9 LB. MAGNESIUM ANODES AT EACH FITTING.
- ALL PIPE MATERIAL, BACKFILL, AND INSTALLATION SHALL CONFORM TO THE APPLICABLE SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS, COLORADO DEPARTMENT OF TRANSPORTATION, EL PASO COUNTY DEPARTMENT OF TRANSPORTATION, COLORADO SPRINGS UTILITIES, AND THE GEOTECHNICAL ENGINEER.
- COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES, AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
- THE LOCATION OF ALL EXISTING UTILITIES SHOWN ON THE DRAWINGS ARE APPROXIMATE ONLY. THE LOCATION OF ALL UTILITIES SHALL BE FIELD VERIFIED PRIOR TO COMMENCING CONSTRUCTION ACTIVITIES. THE DISTRICT SHALL BE NOTIFIED OF ANY DEVIATIONS TO THE LINE AND/OR GRADE AS DEPICTED ON THE PLANS. CONTRACTOR SHALL SUBMIT TO THE DISTRICT AND THE ENGINEER OF RECORD A REPORT OF THE FIELD-VERIFIED INFORMATION PRIOR TO THE START OF CONSTRUCTION.
- ALL BENDS SHALL BE FIELD STAKED PRIOR TO THE START OF CONSTRUCTION.
- BENDS, DEFLECTION, AND CUT PIPE LENGTHS SHALL BE USED TO HOLD HORIZONTAL ALIGNMENT OF SEWER AND WATER LINES TO NO MORE THAN 0.5' FROM THE DESIGNED ALIGNMENT. CONSTRUCTION STAKES TO BE AT TWENTY-FIVE FEET (25') INTERVALS ALONG CURVES TO ENSURE LOCATION OF PIPELINE CONSTRUCTION.
- AT ALL LOCATIONS WHERE CAP AND STUB IS NOTED ON DRAWINGS, PROVIDE A PLUG AT THE END OF THE PIPE JOINT NEAREST THE SPECIFIED STATION. PROVIDE A REVERSE ANCHOR AT ALL WATER LINE PLUGS.
- ALL UNUSED, SALVAGED WATER UTILITY MATERIAL SHALL BE RETURNED TO THE METROPOLITAN DISTRICT AS REQUESTED.
- AT THE CONTRACTOR'S EXPENSE, ALL UTILITY MAINS SHALL BE SUPPORTED AND PROTECTED SUCH THAT THEY SHALL FUNCTION CONTINUOUSLY DURING CONSTRUCTION OPERATIONS. SHOULD A UTILITY MAIN FAIL AS A RESULT OF THE CONTRACTOR'S OPERATION, IT SHALL BE REPLACED IMMEDIATELY BY THE CONTRACTOR OR BY THE DISTRICT AT FULL COST OF LABOR AND MATERIALS TO THE CONTRACTOR/DEVELOPER.
- PUMPING OR BYPASS OPERATIONS SHALL BE REVIEWED AND APPROVED BY BOTH THE DISTRICT AND THE DISTRICT ENGINEER PRIOR TO EXECUTION.
- THE CONTRACTOR SHALL REPLACE OR REPAIR DAMAGE TO ALL SURFACE IMPROVEMENTS, INCLUDING BUT NOT LIMITED TO FENCES, LANDSCAPING, CURB AND GUTTER, AND/OR ASPHALT THAT MAY BE CAUSED DURING CONSTRUCTION.
- ALL CONTRACTORS WORKING ON OR NEAR A WATER OR SEWER FACILITY (TO INCLUDE SERVICE LINES) SHALL HAVE LIABILITY INSURANCE NAMING THE DISTRICT AS AN ADDITIONAL INSURED AND SHALL PROVIDE A CURRENT COPY OF WORKERS COMPENSATION INSURANCE ON FILE WITH THE DISTRICT. NO WORK CAN PROCEED WITHOUT CURRENT CERTIFICATES ON FILE AT THE DISTRICTS OFFICE.
- THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
- COMMENCEMENT OF CONSTRUCTION OF WATER/SEWER SYSTEMS WITHIN METROPOLITAN DISTRICT:
  - PRIOR TO THE START OF CONSTRUCTION, A PRECONSTRUCTION MEETING IS REQUIRED A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK, A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR, AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRECONSTRUCTION MEETING. NO PRECONSTRUCTION MEETING CAN BE SCHEDULED BEFORE FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.
  - THE CONTRACTOR IS REQUIRED TO NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 2 WEEKS PRIOR TO THE START OF CONSTRUCTION. THE CONTRACTOR SHALL ALSO NOTIFY AFFECTED UTILITY COMPANIES AT LEAST 48 HOURS PRIOR TO THE START OF CONSTRUCTION ADJACENT TO THE KNOWN UTILITY LINES.
- TESTING OF FACILITIES:
  - THE CONTRACTOR SHALL NOTIFY THE DISTRICT A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF ANY TESTING.
  - ALL SECTIONS OF WATER LINE ARE TO MEET THE FOLLOWING PRESSURE TESTING REQUIREMENTS
    - TEST 100% OF ALL LINES.
    - MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).
  - ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS:
    - ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING.
    - ALL MANHOLES SHALL BE VACUUM TESTED WITH DISTRICT STAFF PRESENT PRIOR TO CCTV INSPECTION.
    - SEWER MAINS TO BE PRESSURE TESTED PRIOR TO CCTV INSPECTION.
    - ALL LINES SHALL BE CCTV INSPECTED AND VIDEO SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
- PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY EJECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTOR'S COST.
- FINAL ACCEPTANCE BY THE DISTRICT OF ANY LINE OR SYSTEM SHALL NOT OCCUR UNTIL COMPLETION OF FINAL ASPHALT LAYERS AND/OR FINAL COMPLETION AND/OR RESTORATION OF ALL SURFACE IMPROVEMENTS. THE WARRANTY PERIOD FOR ALL FACILITIES PRIOR TO FINAL ACCEPTANCE SHALL BE 24 MONTHS COMMENCING AFTER PRELIMINARY ACCEPTANCE.
- ACCEPTANCE
  - THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THROUGH HAS OCCURRED.
  - A SECOND ACCEPTANCE MAY OCCUR ONCE THE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THROUGH OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
- ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
- ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT-INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARBONITE MARKER ALONG WITH TRACER WIRE.
- AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES, AND/OR SERVICES, CONSTRUCTION MUST HAVE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
- INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.



### VICINITY MAP

NOT TO SCALE



N.T.S.

### WATER SYSTEM INSTALLATION NOTES

- ALL WATER AND FORCE MAIN PIPE SHALL BE AWMA C900 PVC, OR APPROVED EQUAL, PRESSURE CLASS 200. ALL WATER AND FORCE MAIN FITTINGS SHALL HAVE MECHANICAL RESTRAINTS AND THRUST BLOCKS. ALL WATER AND FORCE MAIN PIPE SHALL HAVE A MINIMUM COVER DEPTH OF FIVE-AND-ONE-HALF (5.5) FEET.
- ALL WATER VALVES ASSOCIATED WITH THE POTABLE WATER SYSTEM SHALL BE OPEN CLOCKWISE. ALL VALVES INSTALLED IN LANDSCAPED AREAS AND/OR NOT WITHIN PAVED STREETS SHALL BE MARKED WITH CARBONITE MARKERS. ALL VALVES ASSOCIATED WITH THE RAW WATER SYSTEM SHALL BE OPEN COUNTERCLOCKWISE AND MARKED WITH CARBONITE MARKERS AS APPLICABLE.
- THE DEVELOPER OR HIS ENGINEER SHALL LOCATE ALL FIRE HYDRANTS AND SERVICE STUB-OUTS FOR FUTURE DEVELOPMENT. ANY REQUIRED REALIGNMENT, HORIZONTAL OR VERTICAL, SHALL BE AT THE EXPENSE OF THE DEVELOPER. FIRE HYDRANT LOCATION SHALL BE REVIEWED AND APPROVED BY THE APPLICABLE FIRE AUTHORITY.
- FIRE HYDRANTS SHALL BE OPEN RIGHT WITH 7/8" X 7/8" SQUARE TAPERED ALONG WITH SERVICE CAPS. LUBRICATION TYPE: GREASE. ACCEPTABLE BRAND IS KENNEDY GUARDIAN (K81D, K81A, AND K81AM). EACH FIRE HYDRANT LOCATION SHALL ALSO BE USED AS TEST STATION.
- ALL MAIN LINES (PVC & DUCTILE IRON) SHALL BE INSTALLED WITH COATED #12 TRACER WIRE WITH TEST STATIONS AT INTERVALS NO GREATER THAN FIVE HUNDRED FEET (500') (VALVE BOXES CAN BE USED AT INTERSECTIONS AND SERVICE STUBS).
- CONTRACTOR SHALL MAKE CONNECTIONS TO EXISTING WATER LINE WITHOUT SHUTDOWN, OR ELSE NOTIFY THE DISTRICT OF ANY SERVICE SHUTDOWNS NECESSARY TO CONNECT TO EXISTING LINES.
- IRRIGATION SERVICES SHALL HAVE A STOP-AND-WASTE CURB STOP VALVE INSTALLED ALONG WITH TRACER WIRE EXTENDING BACK TO THE MAIN LINE.
- COMMENCEMENT OF USE OF WATER LINES AND/OR SYSTEMS:
  - NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL AFTER THE COMPLETION OF ALL PRESSURE TESTING, FLUSHING, BAC-T TESTING, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
  - NO WATER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
  - ALL EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.

### WASTEWATER SYSTEM INSTALLATION NOTES

- SANITARY SEWER LENGTHS ARE MH CENTER - MH CENTER. ALL SANITARY SEWER PIPES SHALL BE SDR 35 PVC OR APPROVED EQUAL. SEWER LINES MAY NOT EXCEED 7% GRADE FOR ANY SIZE WITHOUT PRIOR APPROVAL OF THE DISTRICT. ALL NEWLY CONSTRUCTED RESIDENTIAL SANITARY SEWER TAPS SHALL USE PRE-MANUFACTURED, INLINE PVC PUSH-ON WYES. TAPPING SADDLES MAY ONLY BE USED FOR TAPPING PREEXISTING MAINS.
- ALL SANITARY SEWER MANHOLES SHALL BE WRAPPED WITH RU116 - RUBR-NEK JOINT WRAP, OR APPROVED EQUAL, AND COATED.
- COMMENCEMENT OF USE OF SEWER LINES AND/OR SYSTEMS:
  - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL THE COMPLETION OF ALL JET CLEANING, PRESSURE TESTING, VACUUM TESTING, CCTV INSPECTION, AND COMPACTION TESTING, AND AS-BUILT DRAWINGS ARE SUBMITTED AND APPROVED BY THE DISTRICT.
  - NO SANITARY SEWER FACILITY SHALL BE PLACED IN SERVICE UNTIL ALL SERVICE LINES ARE COMPLETED AND THE FIRST LIFT OF ASPHALT IS COMPLETED OVER THE LINE. IN THE CASE WHERE NO ASPHALT IS TO BE PLACED OVER THE LINE, ANY REQUIRED SURFACE IMPROVEMENTS SHALL BE COMPLETED PRIOR TO USE OF THE FACILITY.
  - ALL NECESSARY EASEMENTS (PLATTED OR DEEDED) ARE DEDICATED, EXECUTED BY THE DISTRICT, AND RECORDED.
  - DOWNSTREAM PLUG CAN BE REMOVED ONCE THE FIRST LIFT OF ASPHALT IS DOWN AND THE ABOVE REQUIREMENTS ARE MET.

### SHEET INDEX

- UCV1 UTILITY PLANS COVER SHEET  
 UT1-UT8 WATER & SANITARY PLAN & PROFILES  
 SS01 OFFSITE SANITARY PLAN & PROFILE

### WATER AND SEWER MAIN EXTENSIONS

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCES SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

OWNER/DEVELOPER DATE 7/29/2024

### FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE FIRE DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

SECURITY FIRE PROTECTION DISTRICT DATE

### DISTRICT APPROVALS

THE SECURITY WATER & SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

SECURITY WATER & SANITATION DISTRICT  
 WATER DESIGN APPROVAL

DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

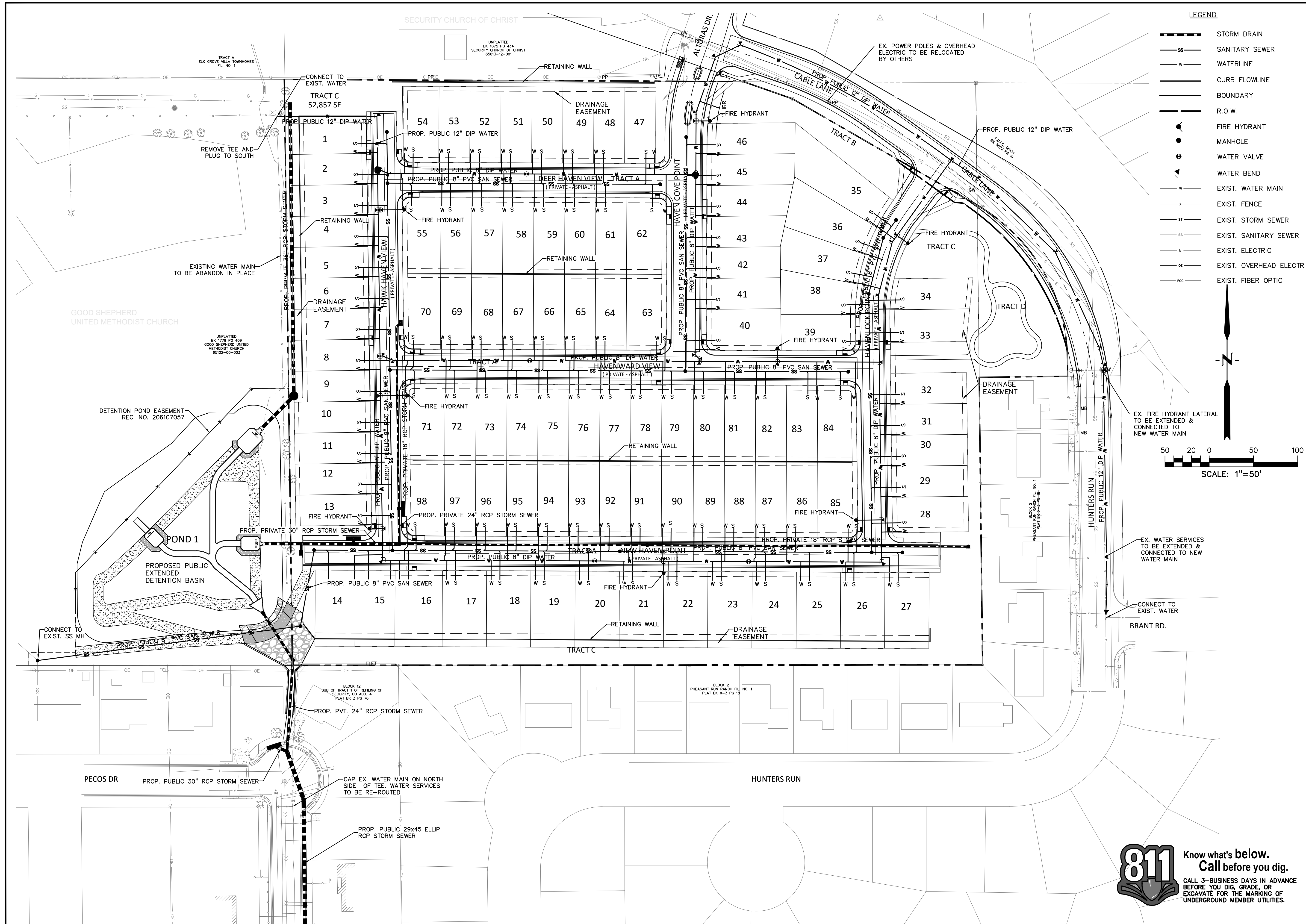
THE SECURITY WATER & SANITATION DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

SECURITY WATER & SANITATION DISTRICT  
 WASTEWATER DESIGN APPROVAL

DATE: \_\_\_\_\_ BY: \_\_\_\_\_  
 PROJECT NO. \_\_\_\_\_

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.



PREPARED BY:

**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC  
 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03UP01



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

**OVERALL UTILITY PLAN**

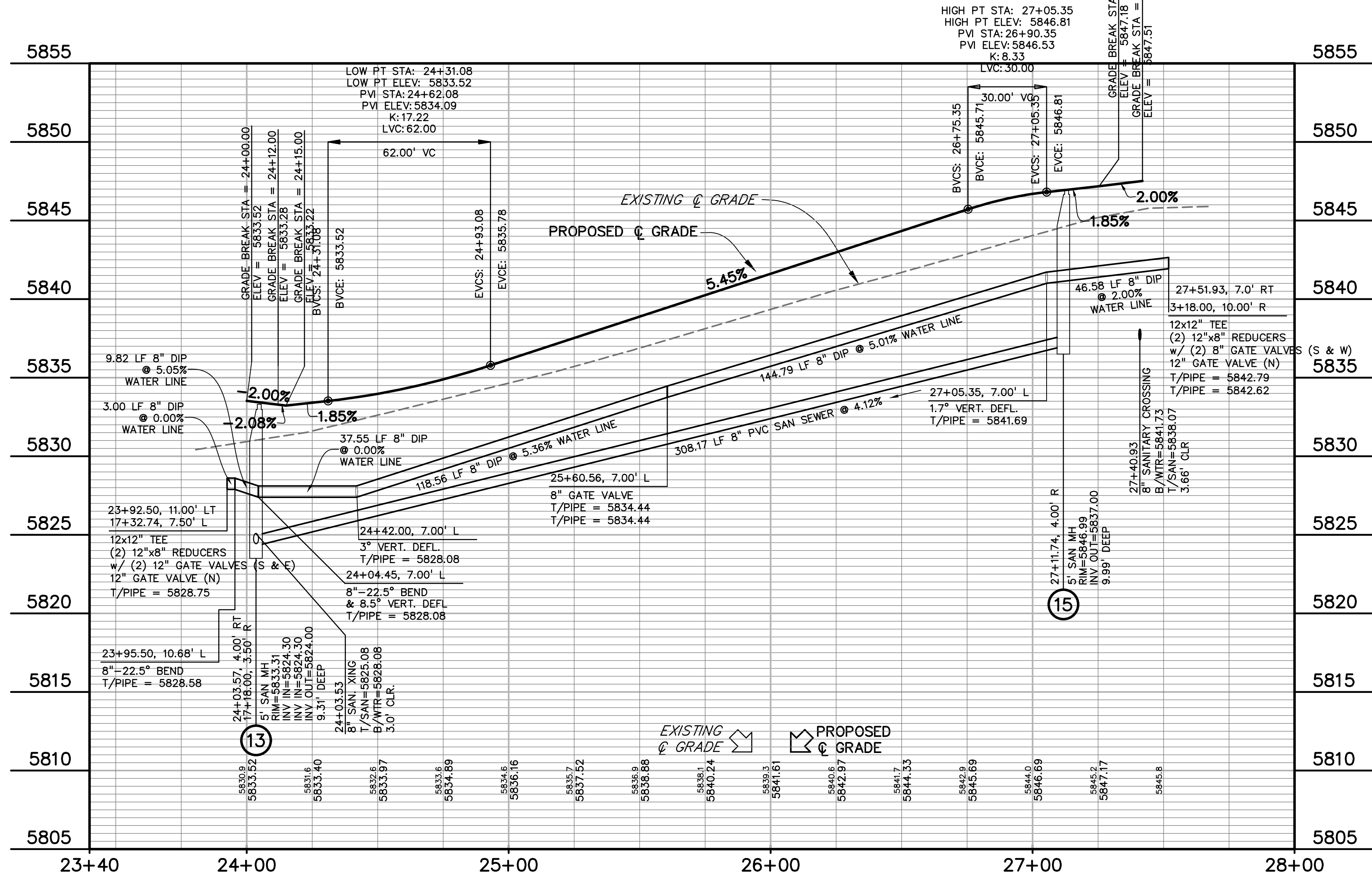
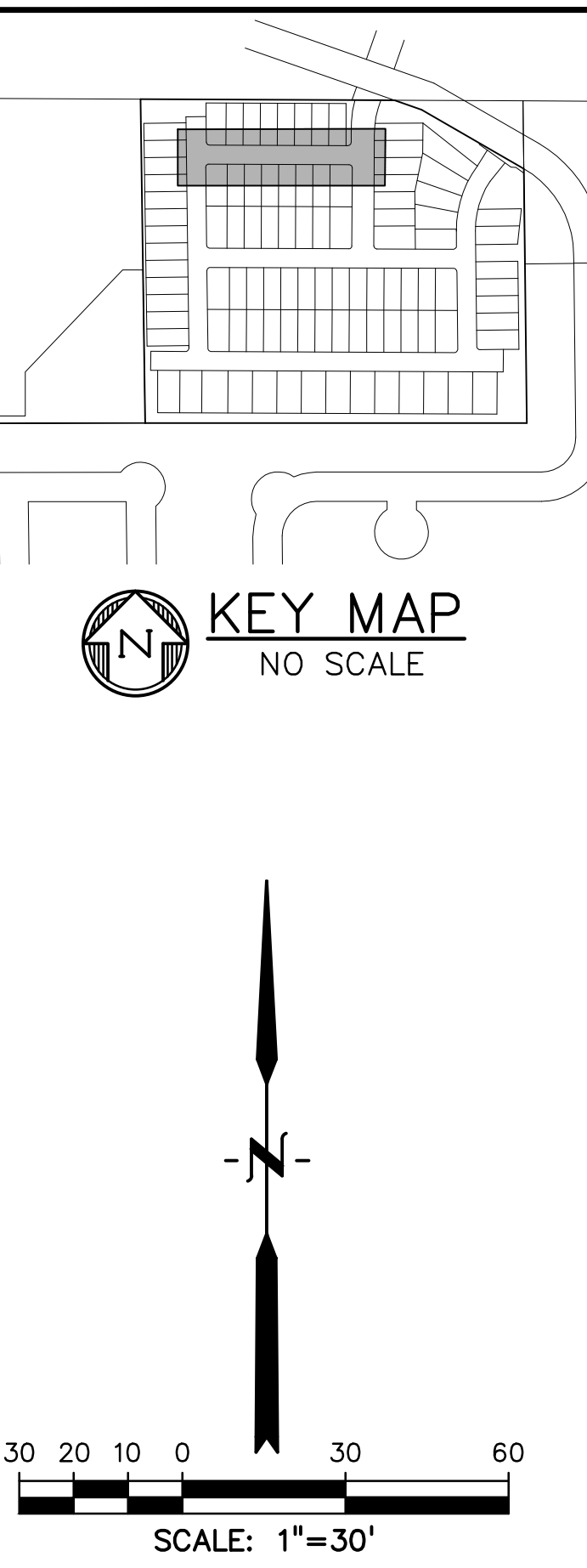
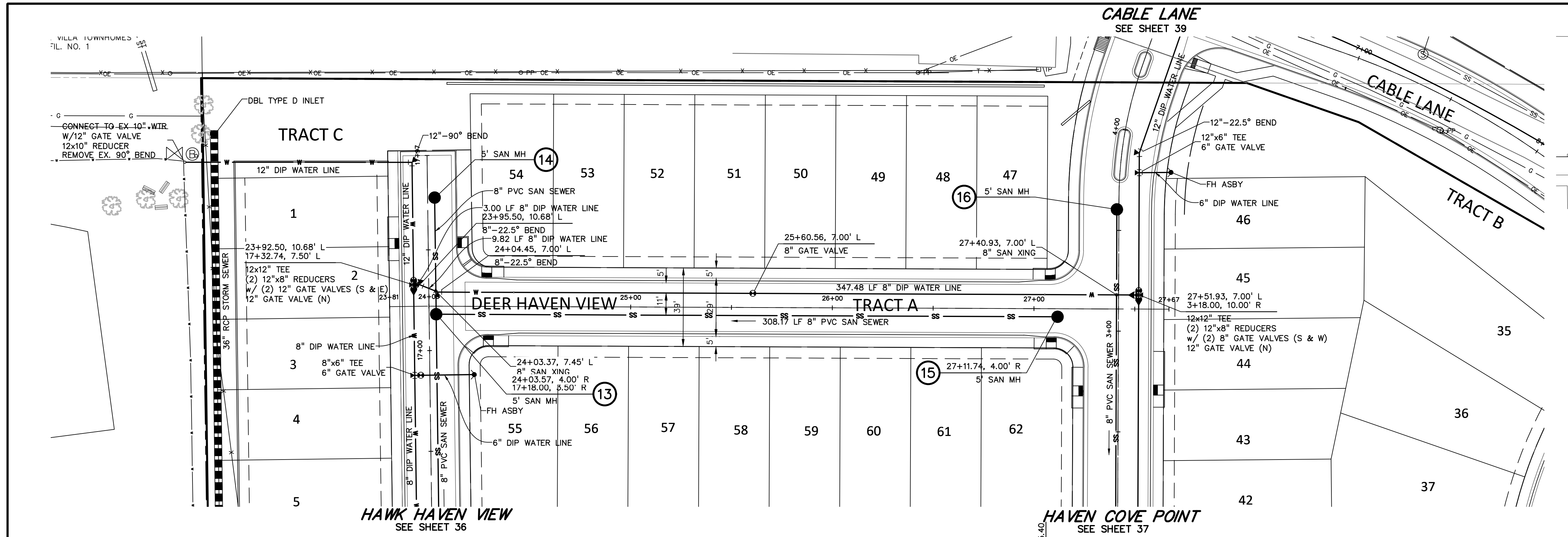
PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**UP01**

SHEET: 32 OF 52

**811** Know what's below.  
 Call before you dig.  
 CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.





PREPARED BY:  
  
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 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
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CONSTRUCTION DOCUMENTS FOR:  
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 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03UT01



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 DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

**DEERHAVEN VIEW WATER & SAN. PLAN & PROFILE**  
 PROJECT NO. 21085-03CSCV  
 DRAWING NO.

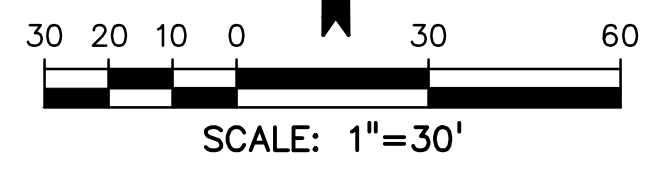
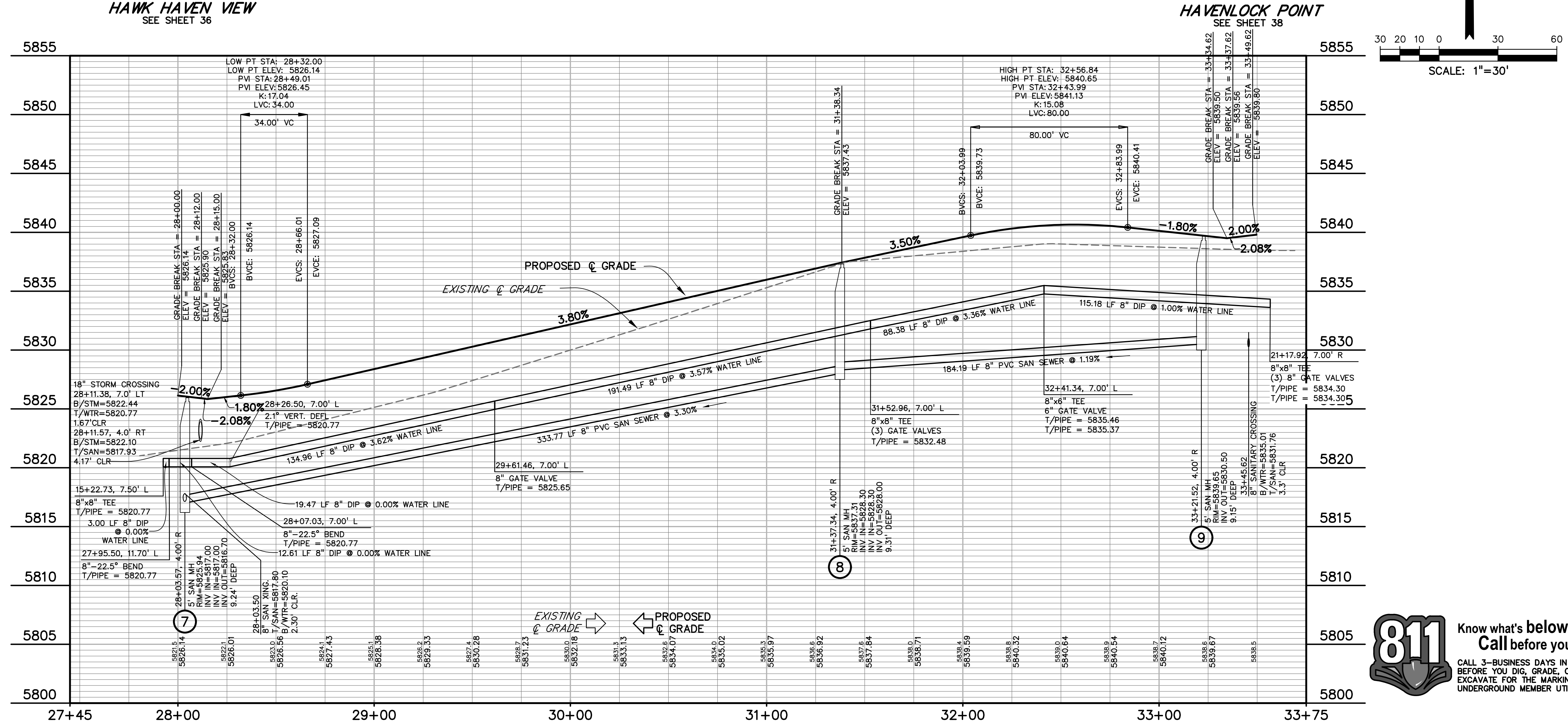
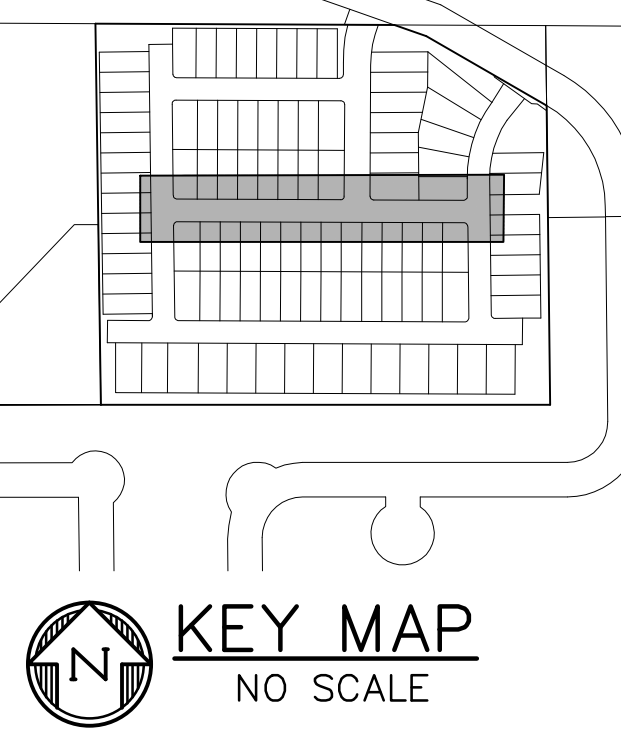
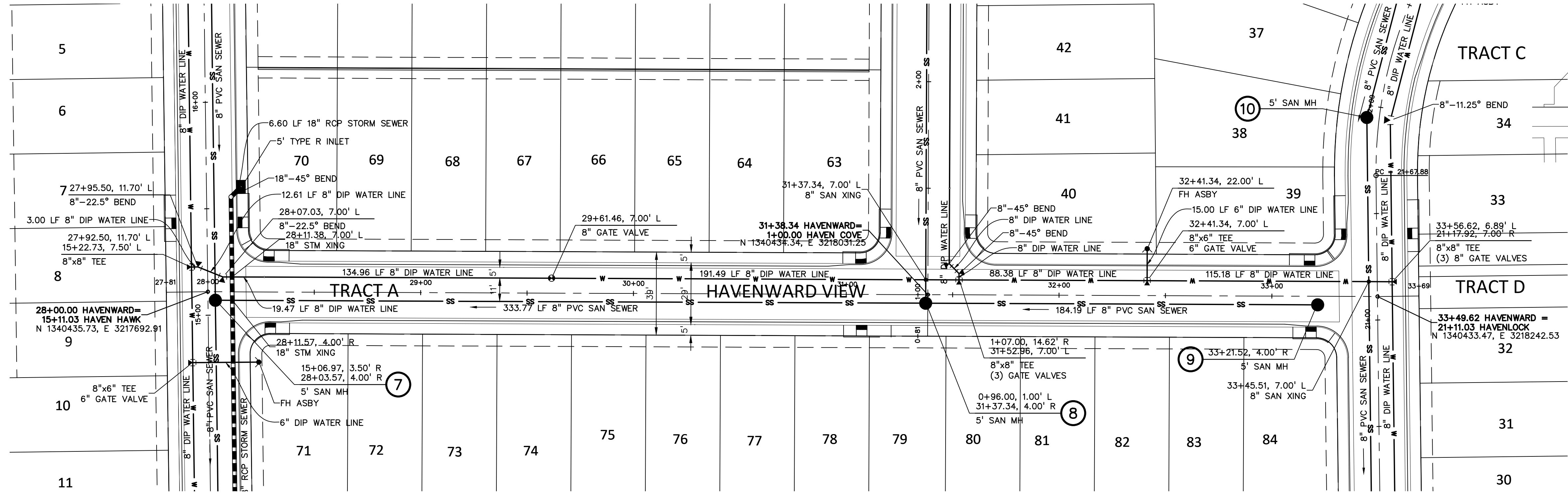
**UT01**  
 SHEET: 33 OF 52



HAWK HAVEN VIEW  
SEE SHEET 36

HAVEN COVE POINT  
SEE SHEET 37

HAVENLOCK POINT  
SEE SHEET 38



PREPARED BY:



CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**

(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM

FILE NAME: 21085-03UT02



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

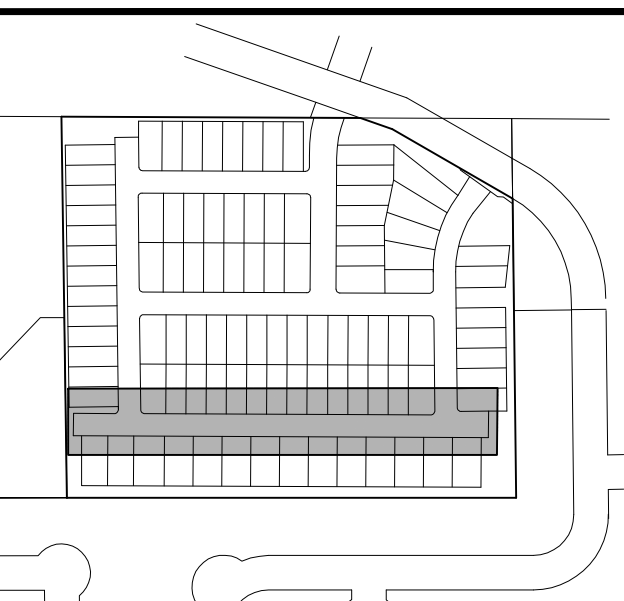
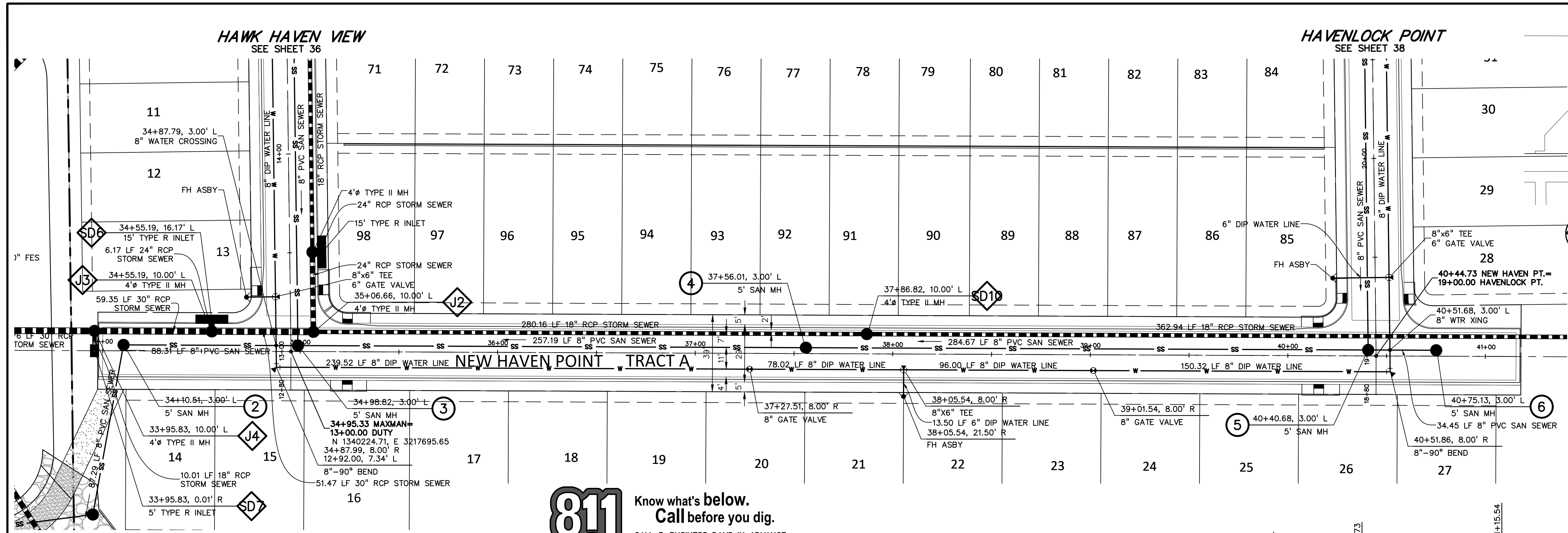
HAVENWARD VIEW  
WATER & SAN.  
PLAN & PROFILE

PROJECT NO. 21085-03CSCV  
DRAWING NO.

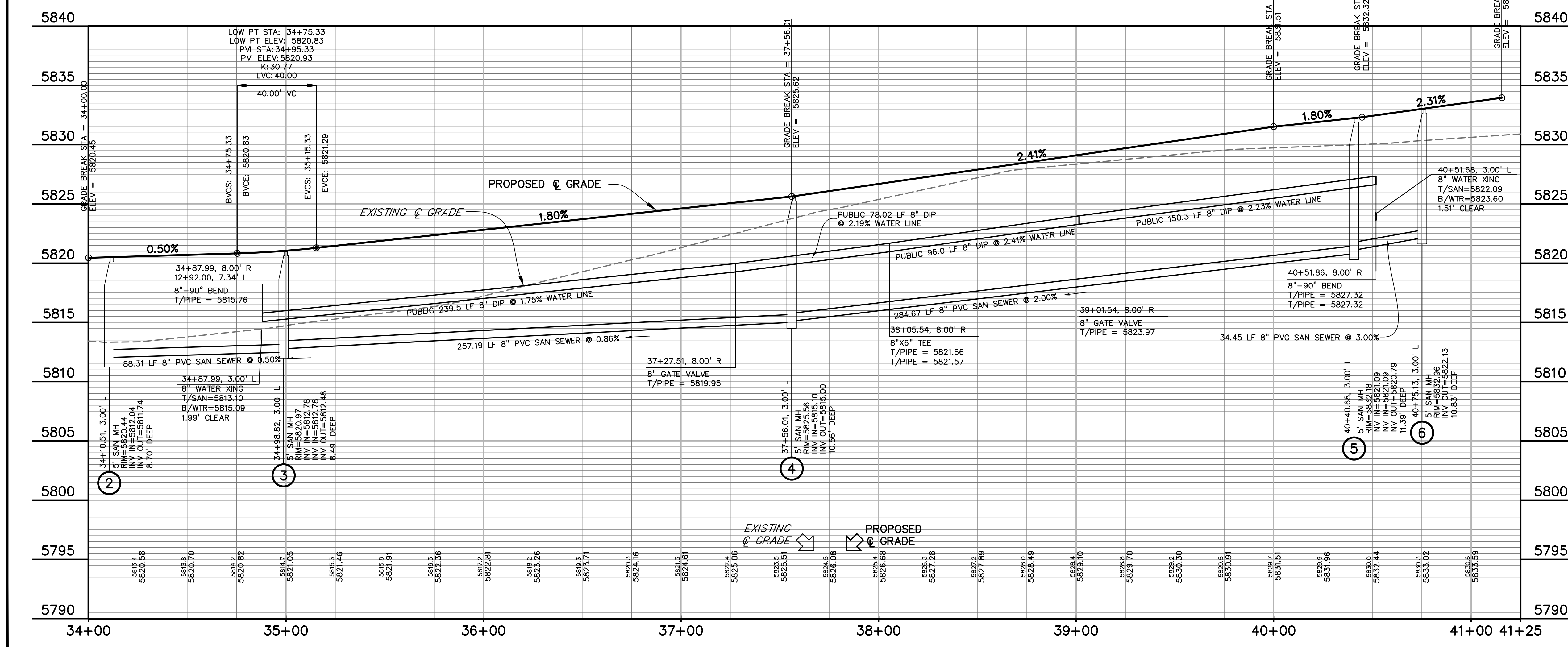
**UT02**

SHEET: 34 OF 52





**811** Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, GRADE, OR  
EXCAVATE FOR THE MARKING OF  
UNDERGROUND MEMBER UTILITIES.



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
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101 SAWATCH STREET, #100  
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CONSTRUCTION DOCUMENTS FOR:  
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(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03U103



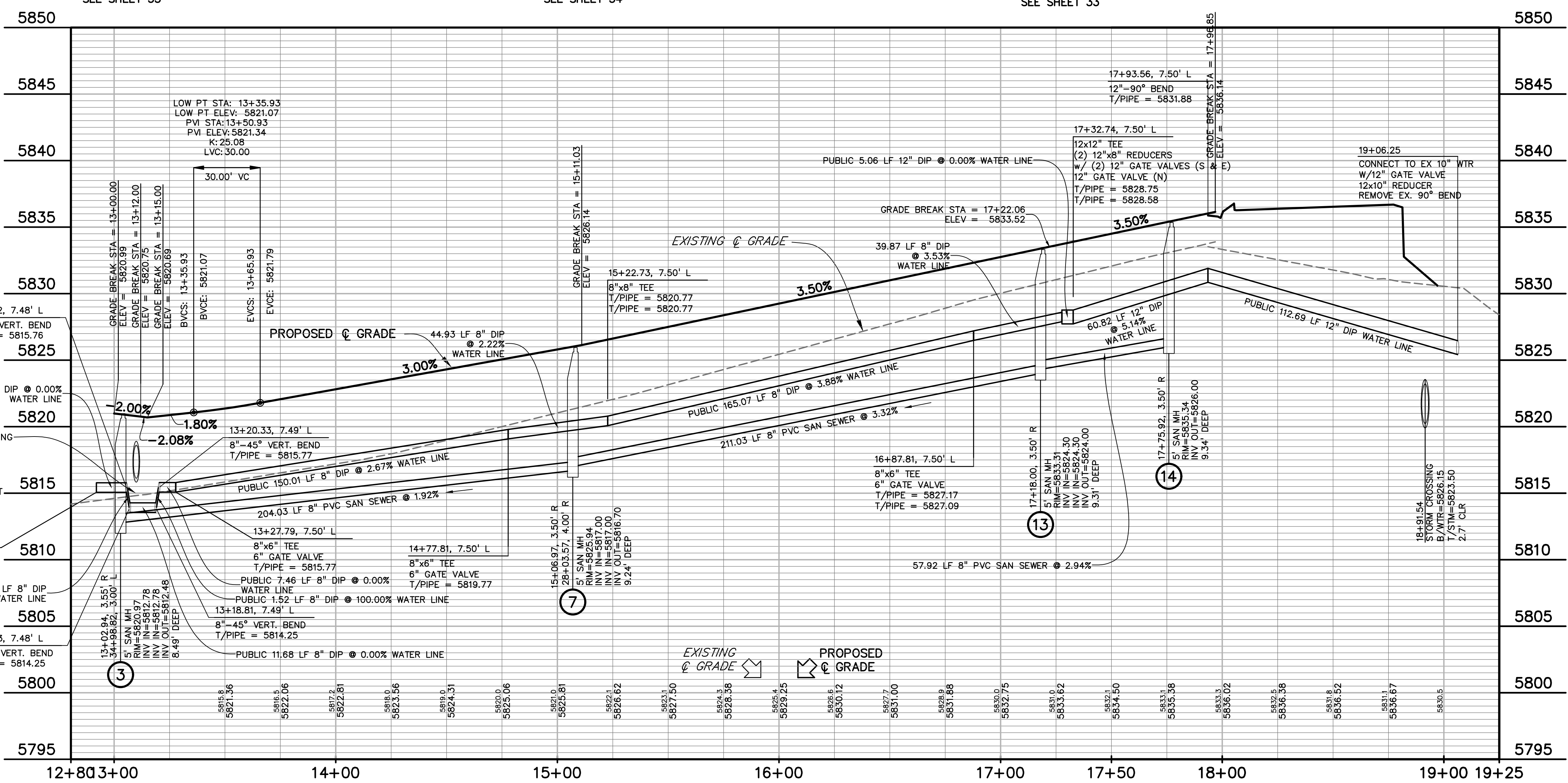
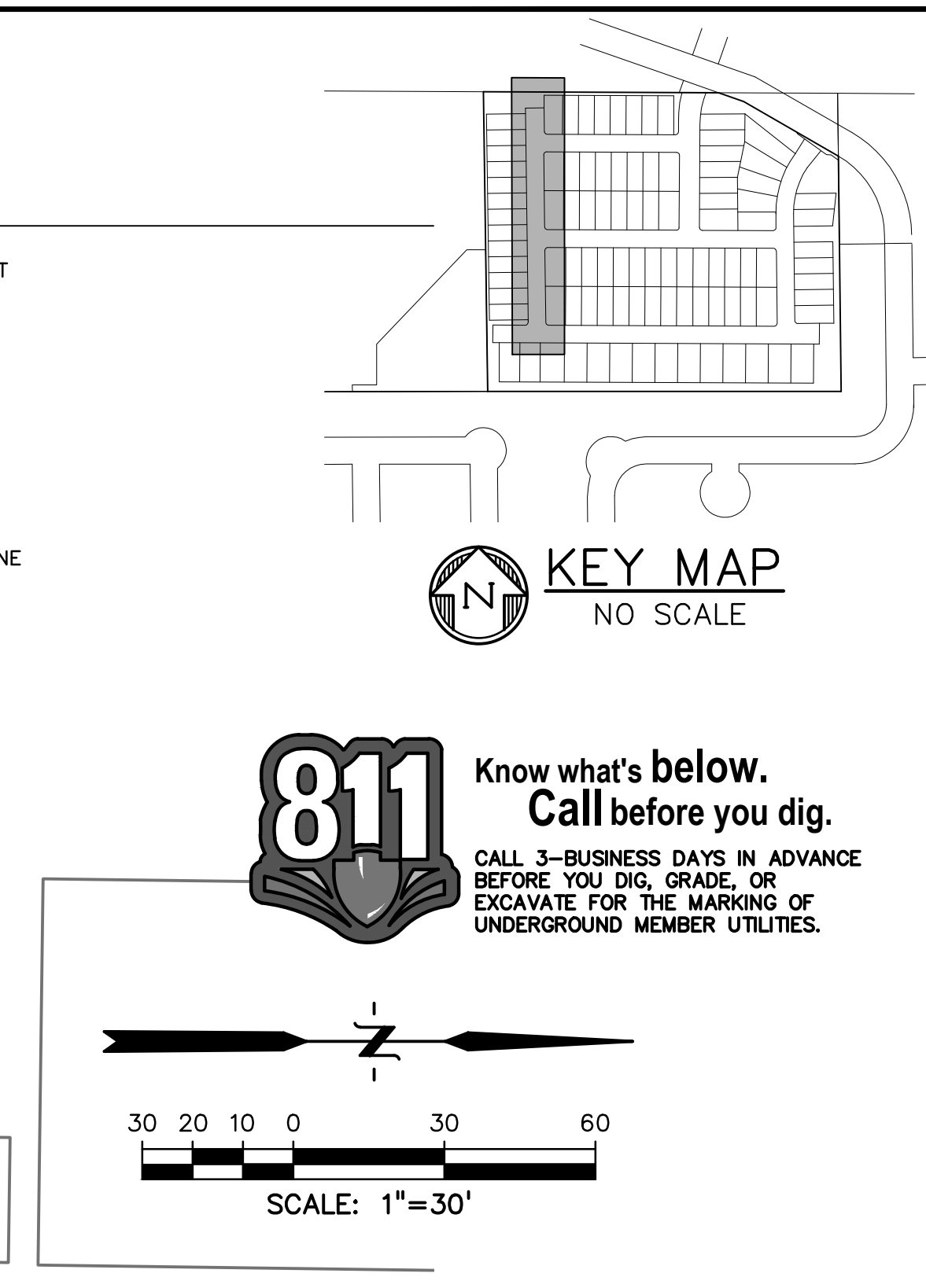
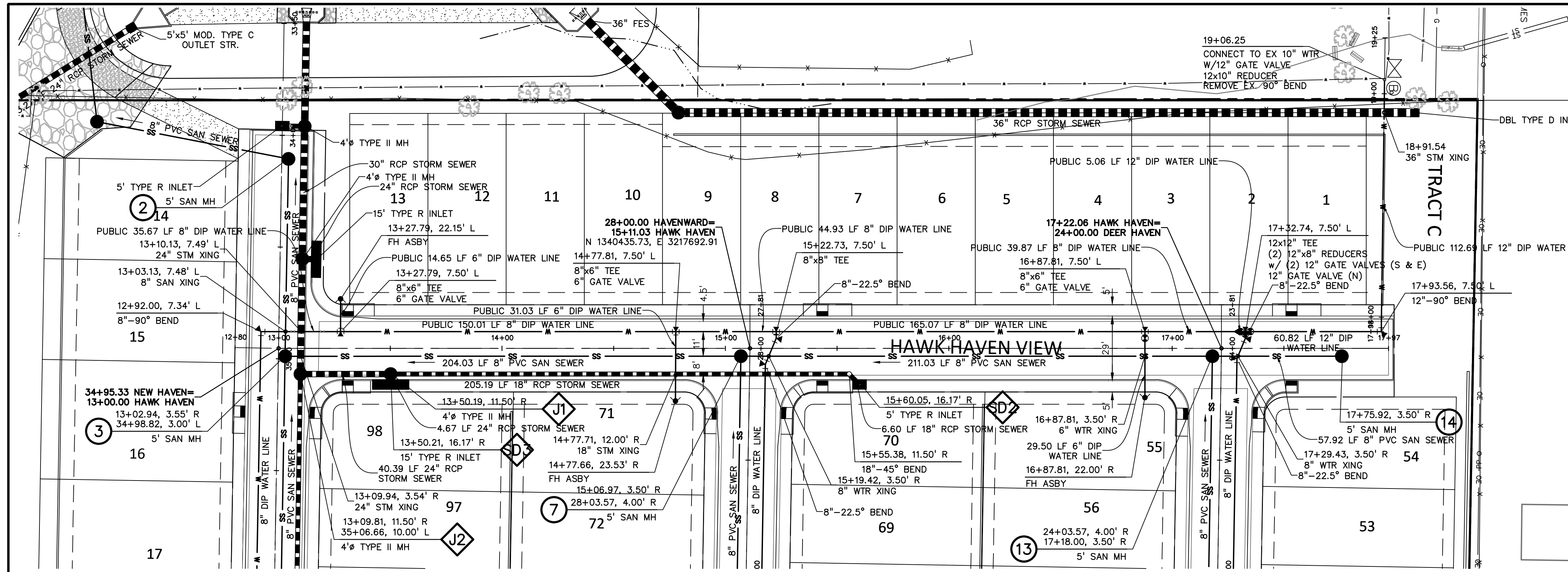
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**NEW HAVEN PT  
WATER & SAN.  
PLAN & PROFILE**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**UT03**

SHEET: 35 OF 52



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
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 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03UT04



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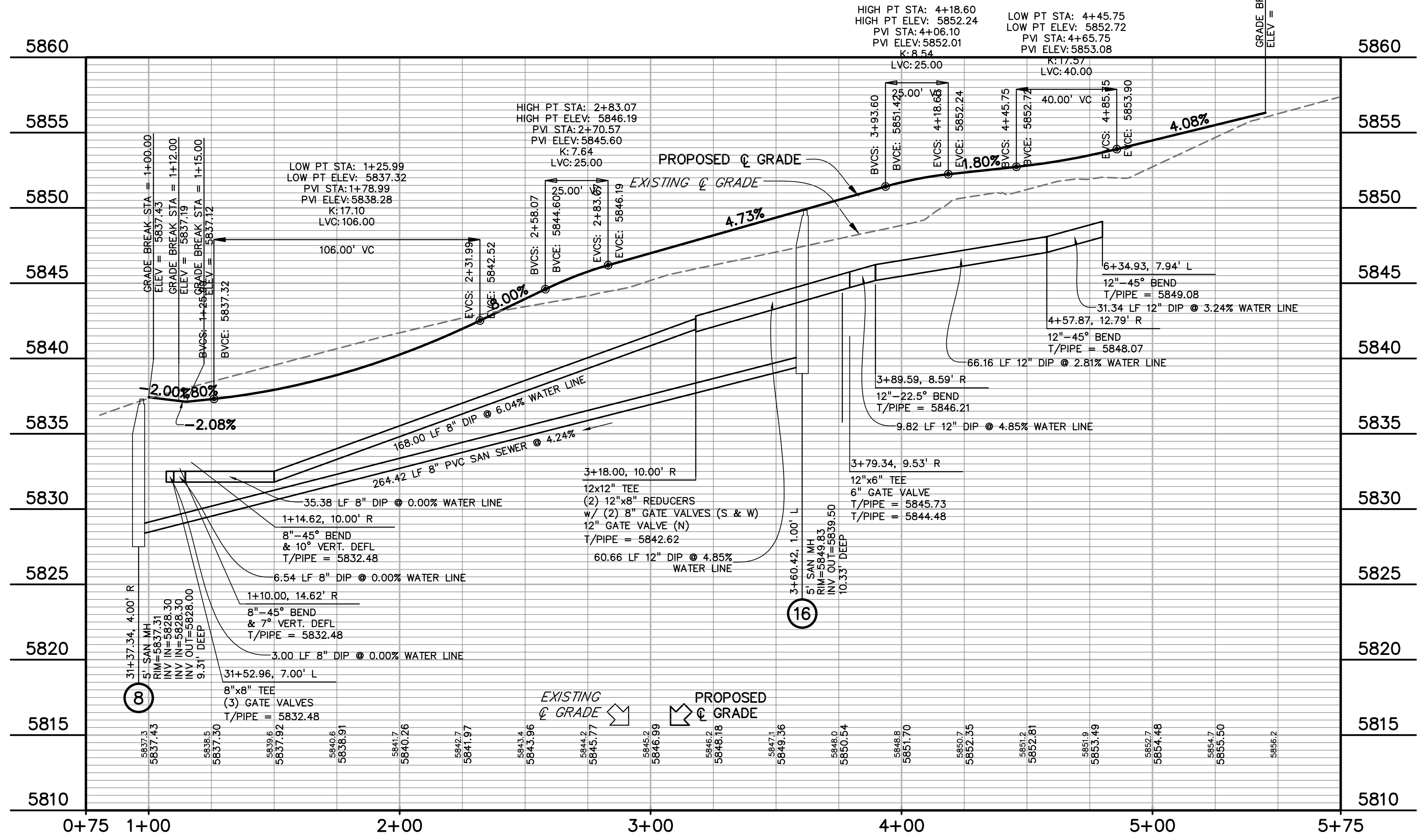
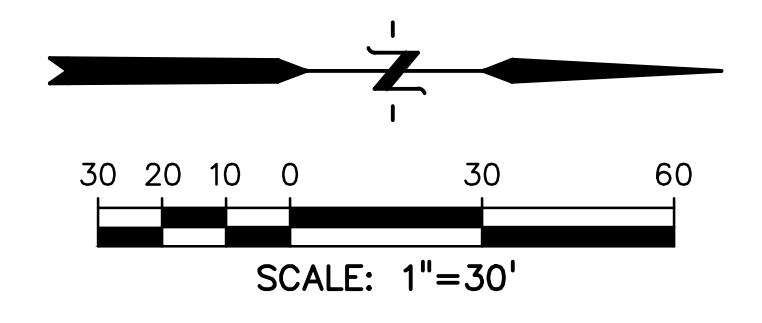
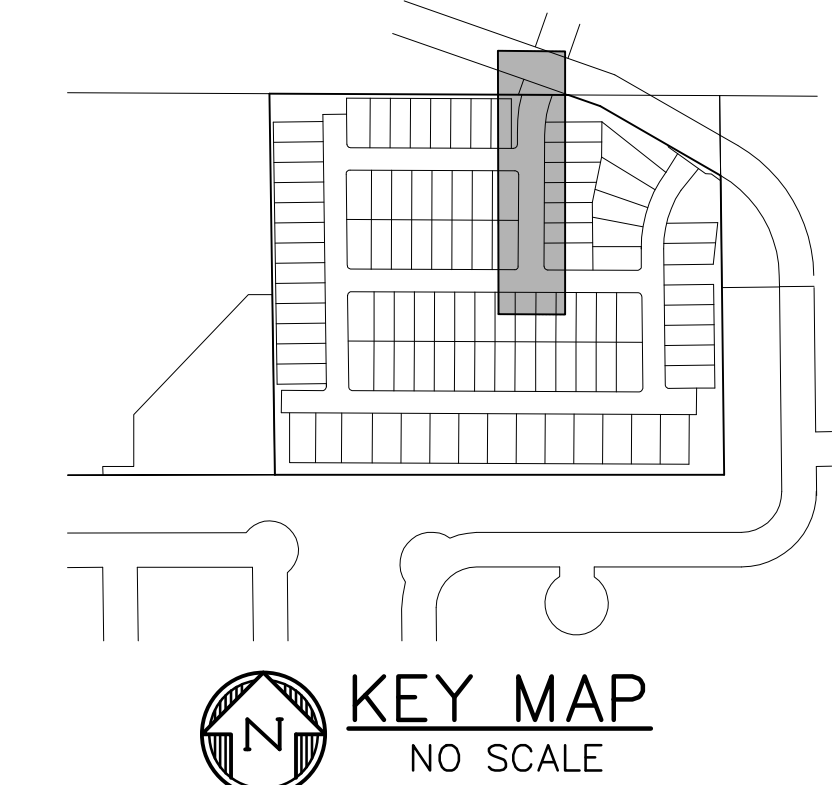
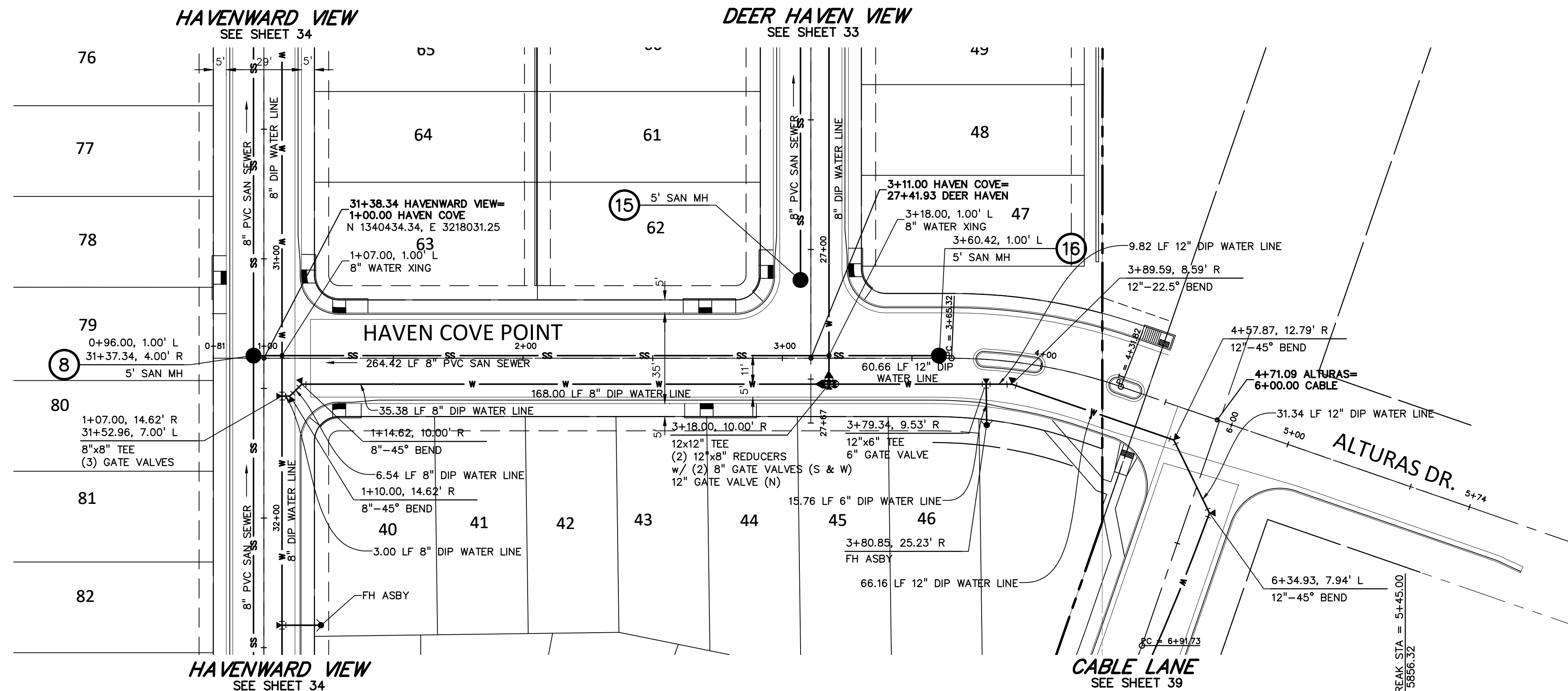
DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

**HAWK HAVEN VIEW  
 WATER & SAN.  
 PLAN & PROFILE**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**UT04**

SHEET: 36 OF 52



HIGH PT STA: 4+18.60 HIGH PT ELEV: 5852.24  
 LOW PT STA: 4+45.75 LOW PT ELEV: 5852.72  
 PVI STA: 4+06.10 PVI ELEV: 5852.01  
 K: 8.54

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PREPARED BY:



**DREXEL, BARRELL & CO.**  
 Engineers & Surveyors  
 101 SAWATCH STREET, #100  
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 COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**

(LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
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 CHECKED BY: TDM  
 FILE NAME: 21085-03UT05



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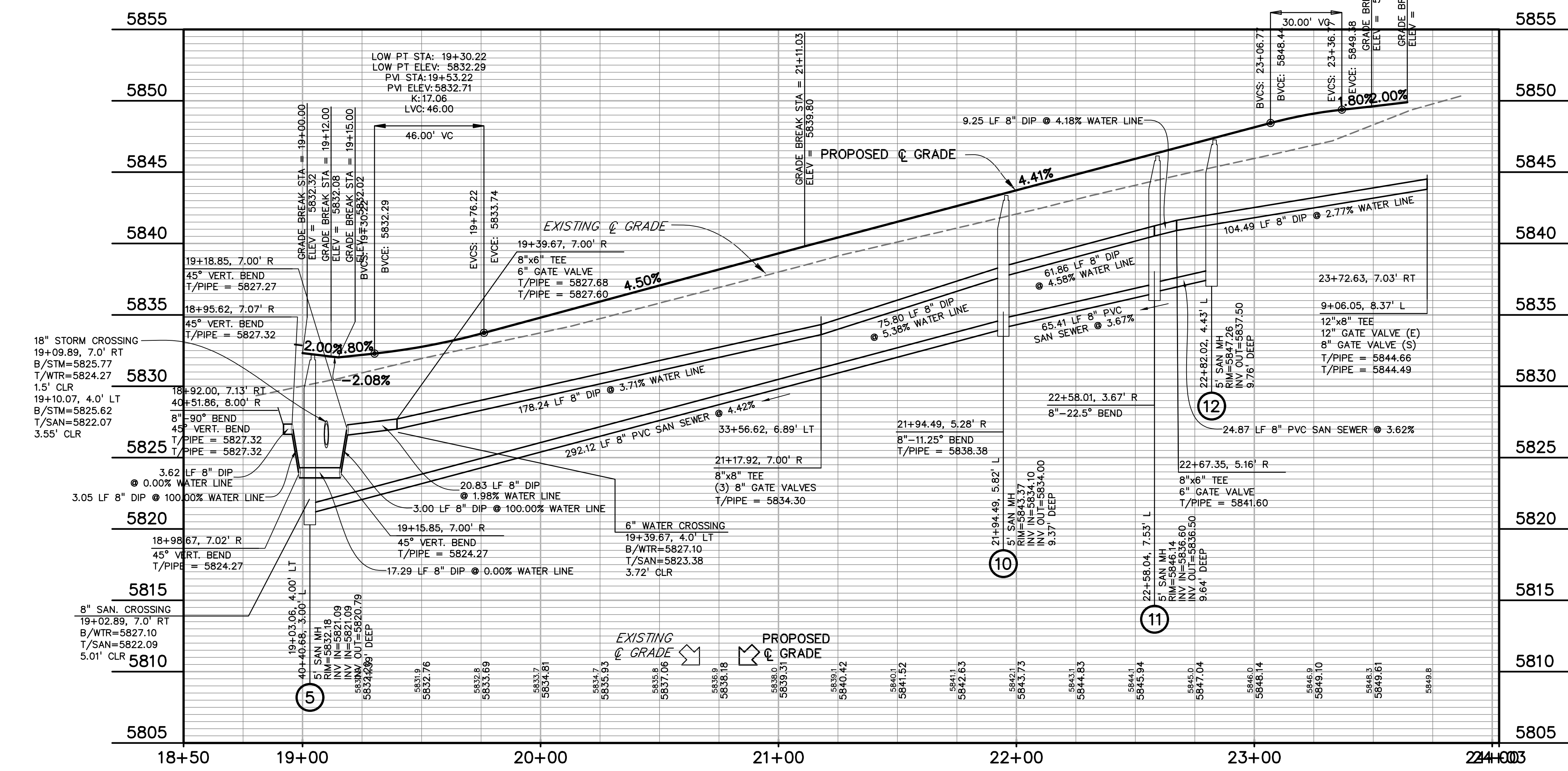
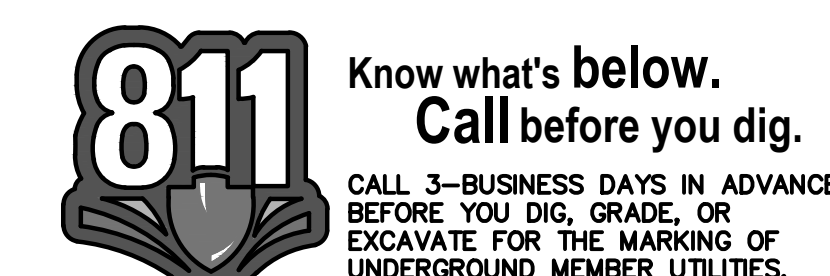
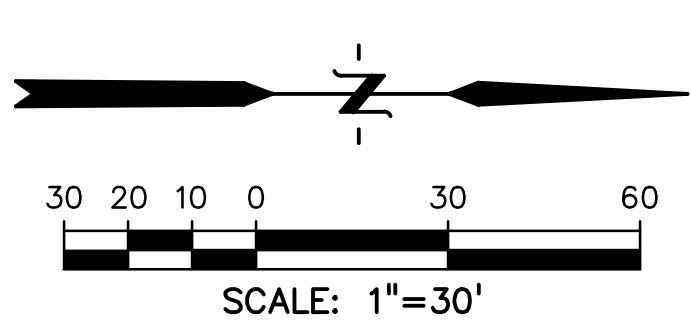
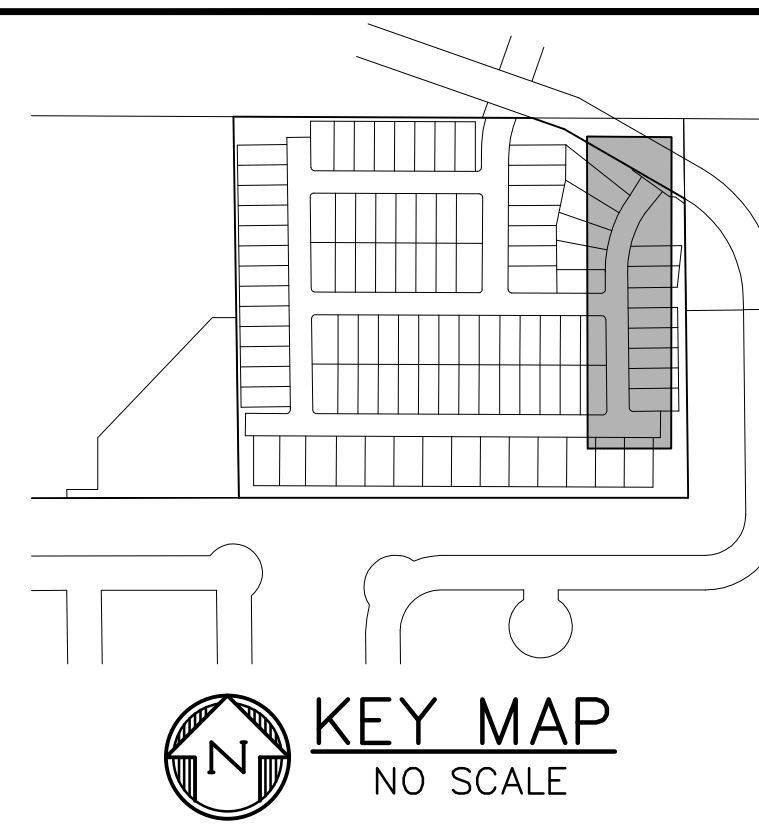
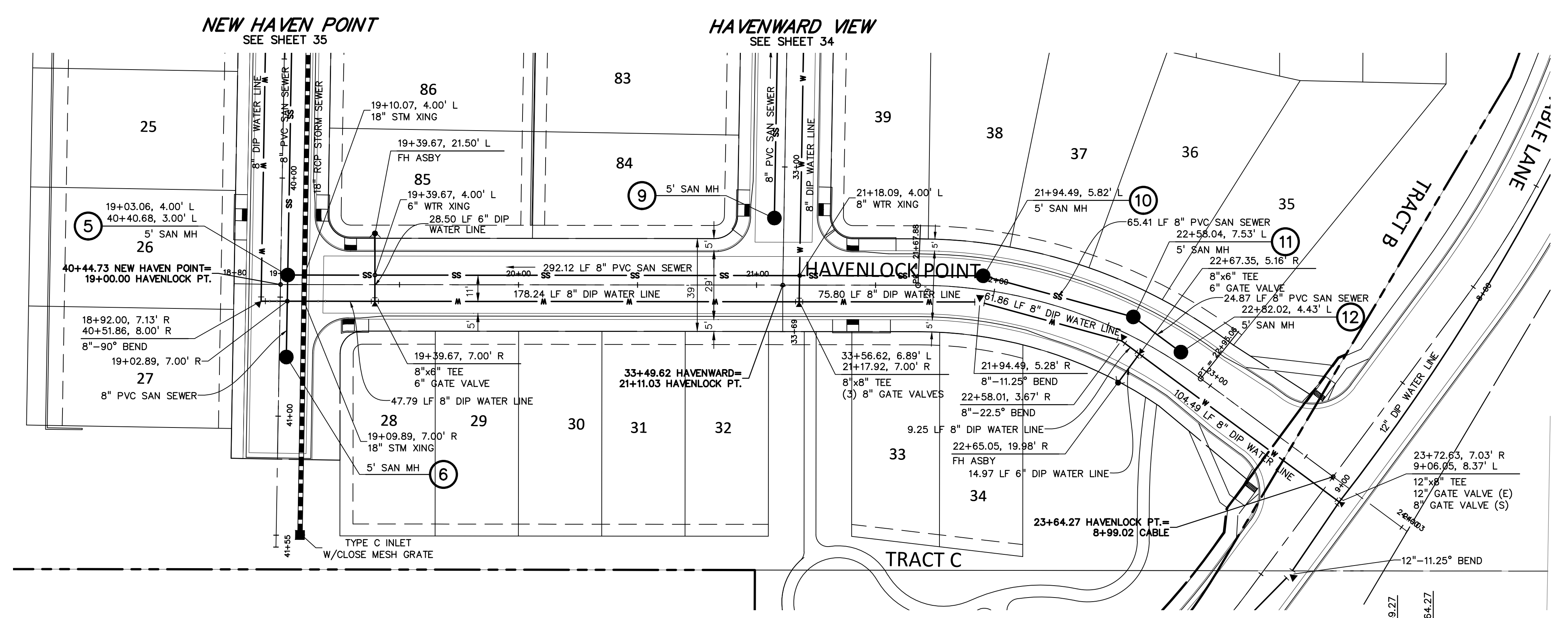
DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

WTR & SAN  
 HAVEN COVE PT  
 PLAN & PROFILE

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**UT05**

SHEET: 37 OF 52



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
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 (719) 260-0887  
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CLIENT:  
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 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

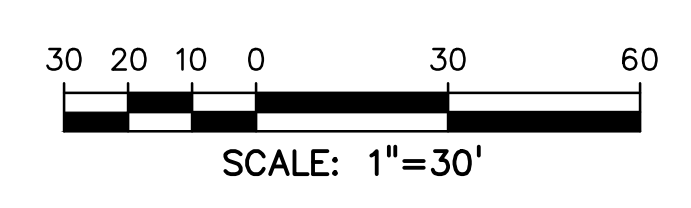
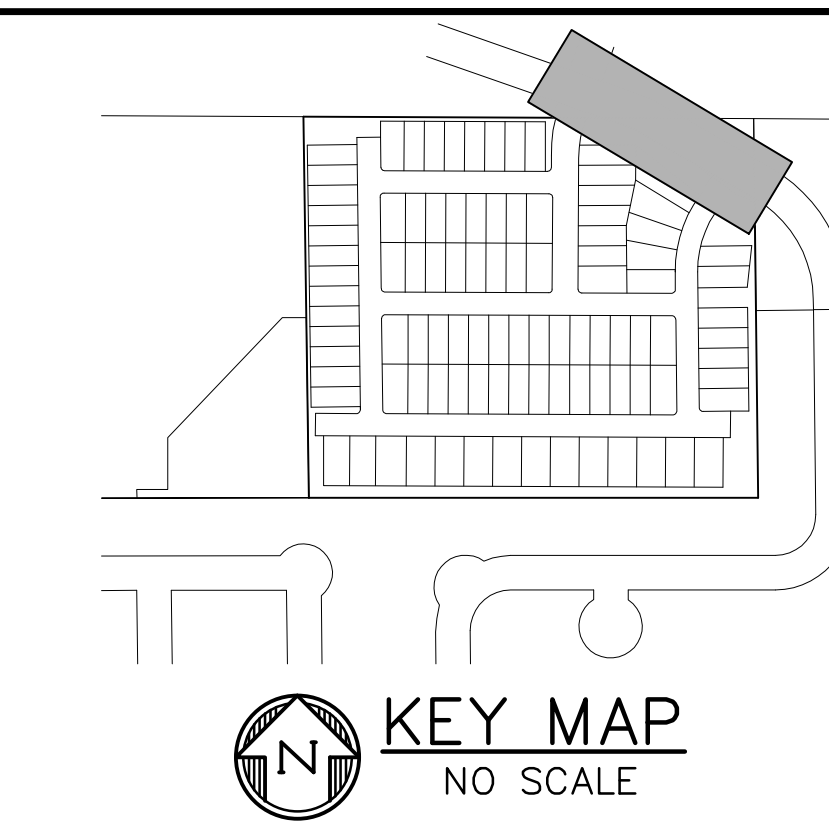
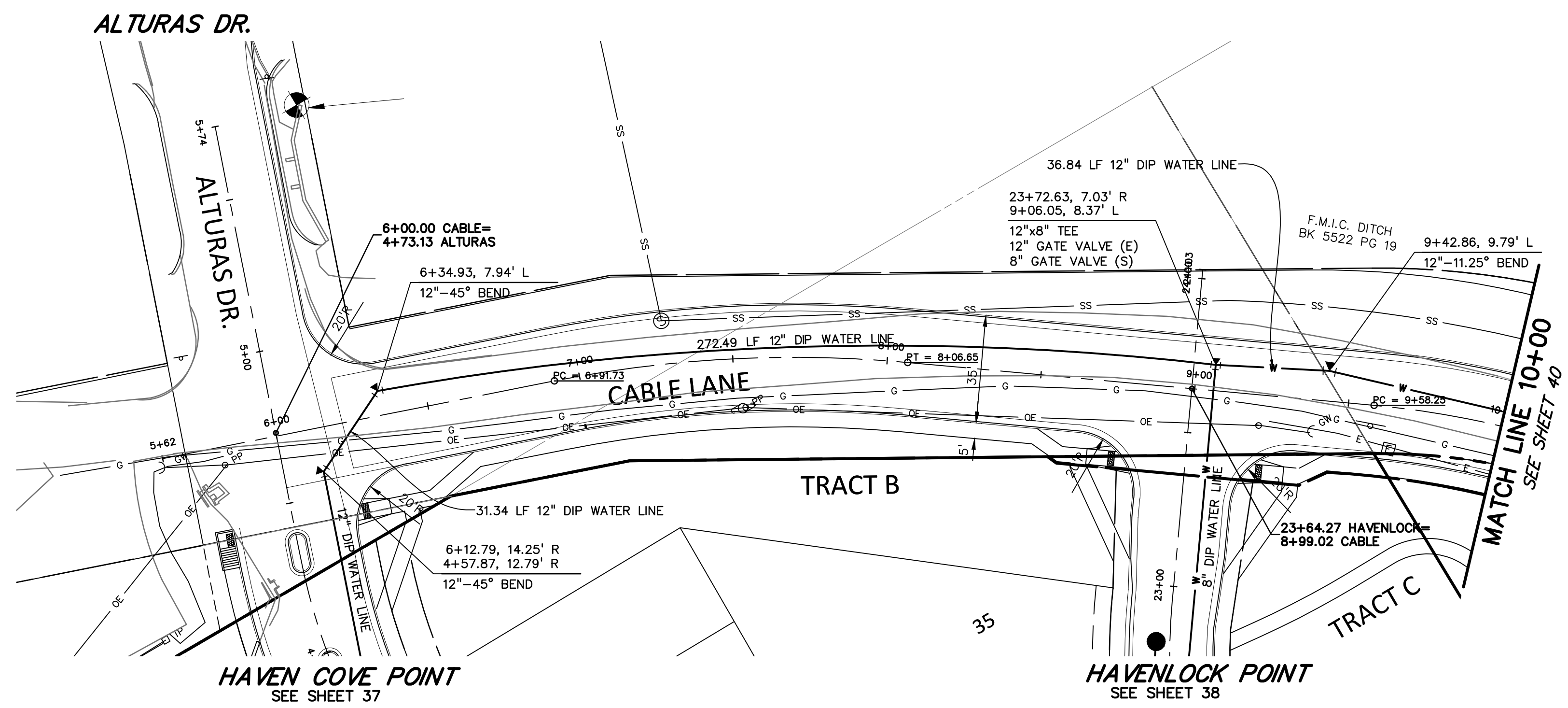
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03UT06



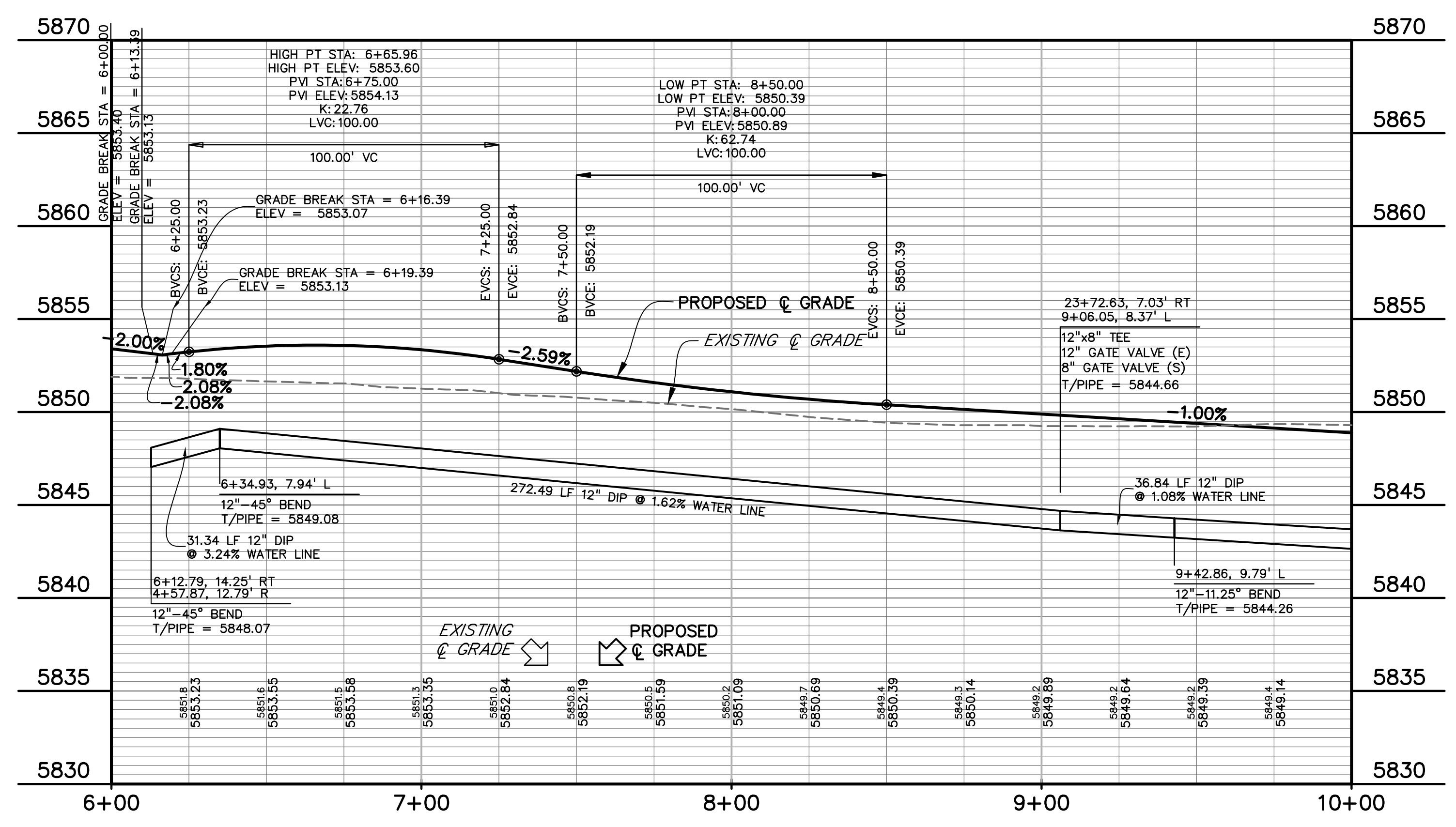
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: 1" = 5'

WTR & SAN  
 HAVENLOCK PT  
 PLAN & PROFILE  
 PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**UT06**  
 SHEET: 38 OF 52



**811** Know what's below.  
Call before you dig.  
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PREPARED BY:  
  
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CONSTRUCTION DOCUMENTS FOR:  
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(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

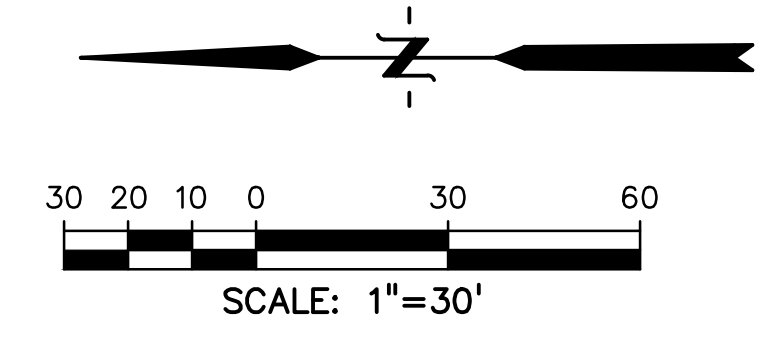
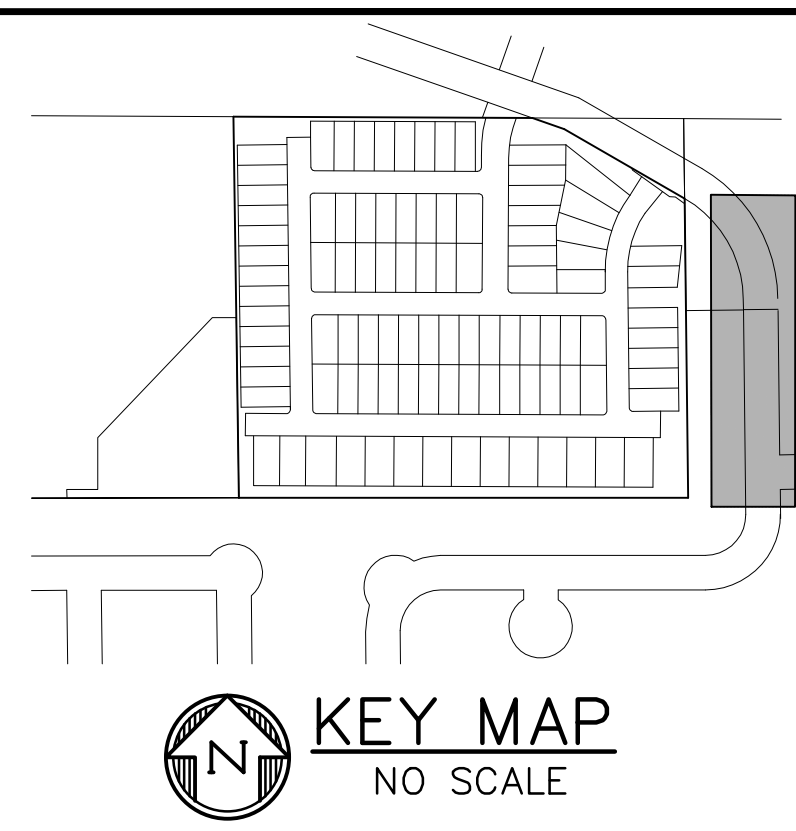
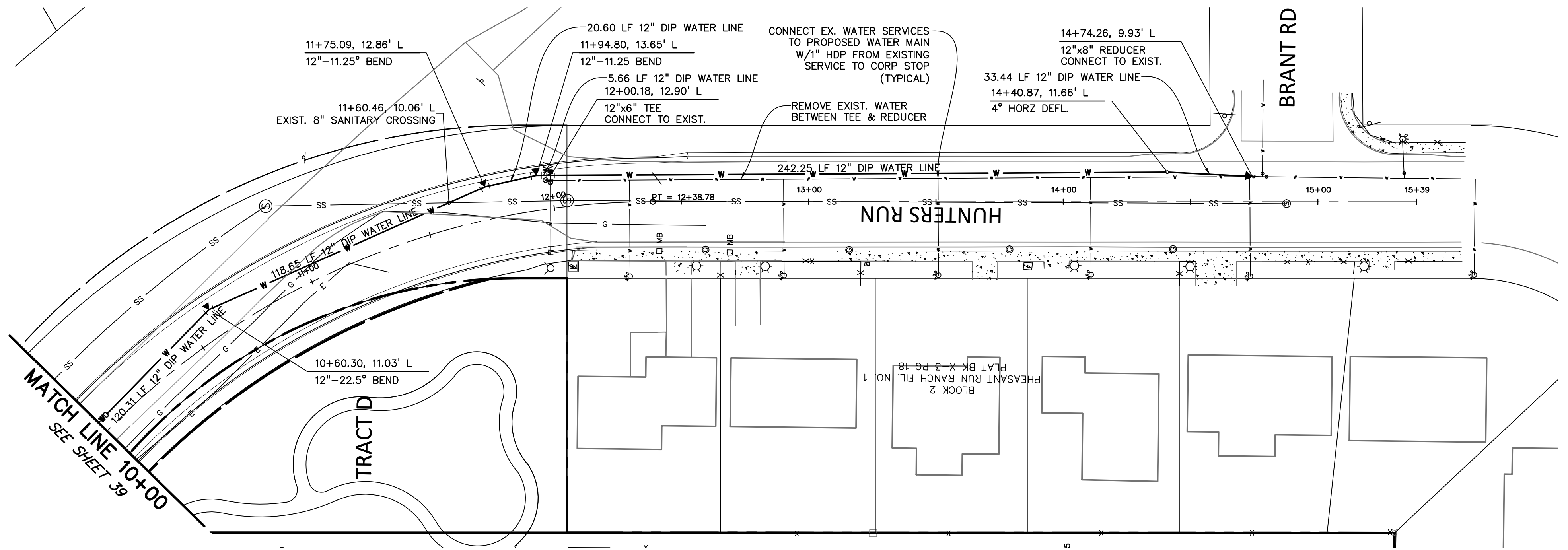
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	GES
CHECKED BY:	TDM
FILE NAME:	21085-03UT07



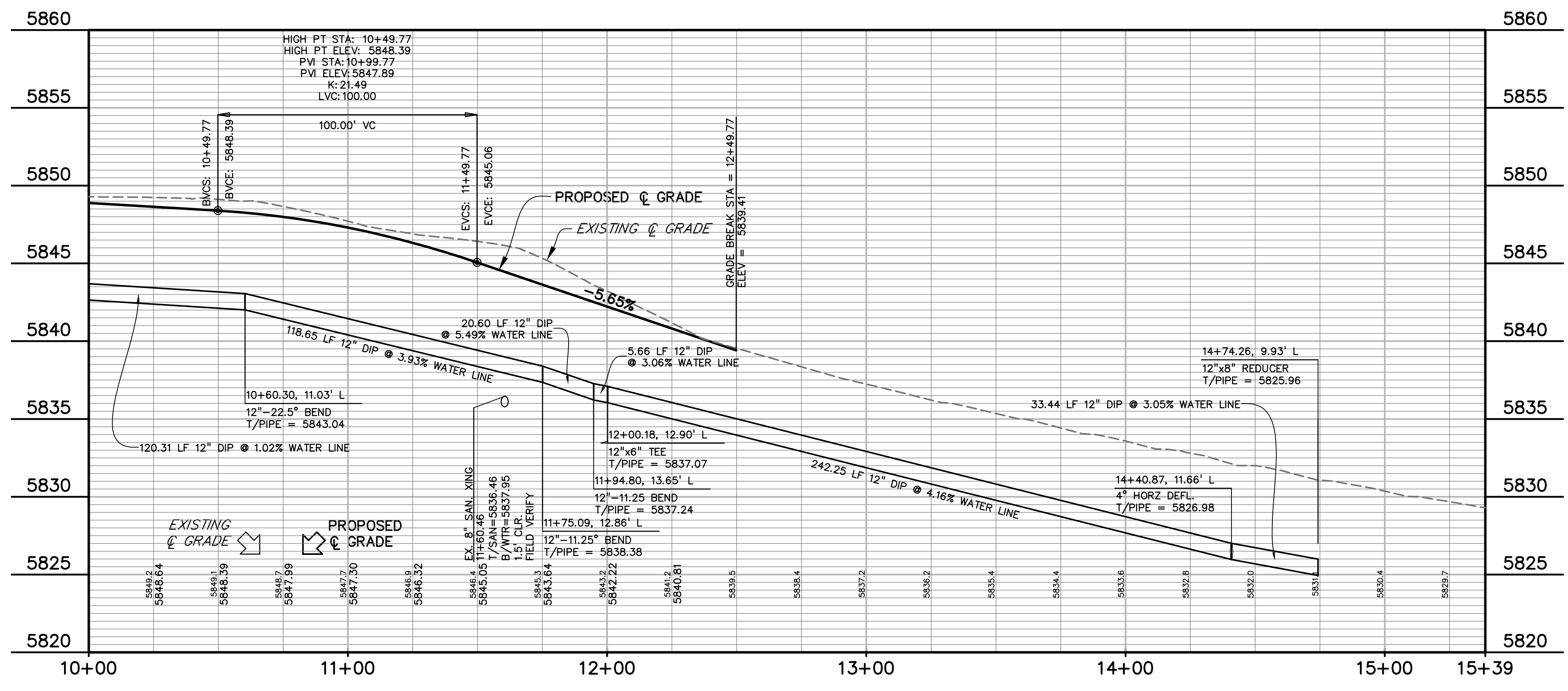
PREPARED UNDER MY DIRECT  
SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.  
  
DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**WATER  
CABLE LANE  
PLAN & PROFILE**  
  
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**UT07**  
SHEET: 39 OF 52



**811** Know what's below.  
Call before you dig.  
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



PREPARED BY:

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Engineers-Surveyors  
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COLORADO SPGS, COLORADO 80903  
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CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
DRAWN BY: GES  
CHECKED BY: TDM  
FILE NAME: 21085-03UT07



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DRAWING SCALE:  
HORIZONTAL: 1" = 30'  
VERTICAL: 1" = 5'

**WATER CABLE LANE PLAN & PROFILE**

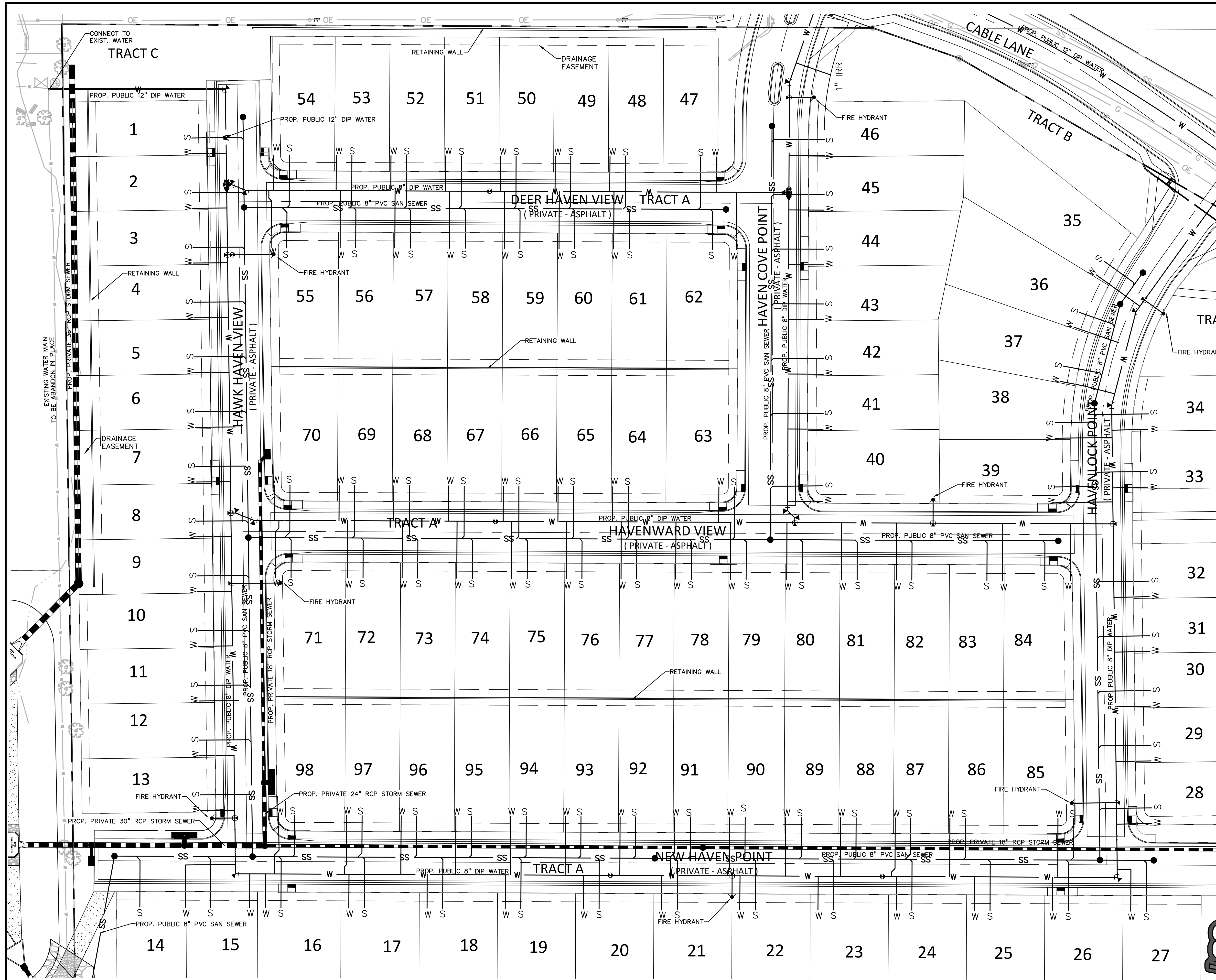
PROJECT NO. 21085-03CSCV  
DRAWING NO.

**UT08**

SHEET: 40 OF 52







- LEGEND**
- STORM DRAIN
  - SANITARY SEWER
  - WATERLINE
  - CURB FLOWLINE
  - BOUNDARY
  - R.O.W.
  - FIRE HYDRANT
  - MANHOLE
  - WATER VALVE
  - WATER BEND
  - EXIST. WATER MAIN
  - EXIST. FENCE
  - EXIST. STORM SEWER
  - EXIST. SANITARY SEWER
  - EXIST. ELECTRIC
  - EXIST. OVERHEAD ELECTRIC
  - EXIST. FIBER OPTIC

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
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CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: TDM  
 DRAWN BY: GES  
 CHECKED BY: TDM  
 FILE NAME: 21085-03US01



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 30'  
 VERTICAL: N/A

UTILITY SERVICE PLAN

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**US01**  
 SHEET: 42 OF 52

**811** Know what's below.  
 Call before you dig.  
 CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

- NOTES:**
- ALL WATER AND WASTEWATER SERVICES ARE TO BE INSTALLED UNDER THE STORM SEWER.
  - WATER SERVICES ARE TO BE INSTALLED OVER THE TOP OF WASTEWATER OR SLEEVED IF THEY HAVE TO BE INSTALLED UNDER WASTEWATER.

# HAVEN VALLEY

## EL PASO COUNTY, COLORADO

### GRADING AND EROSION CONTROL DOCUMENTS

PREPARED BY:

  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

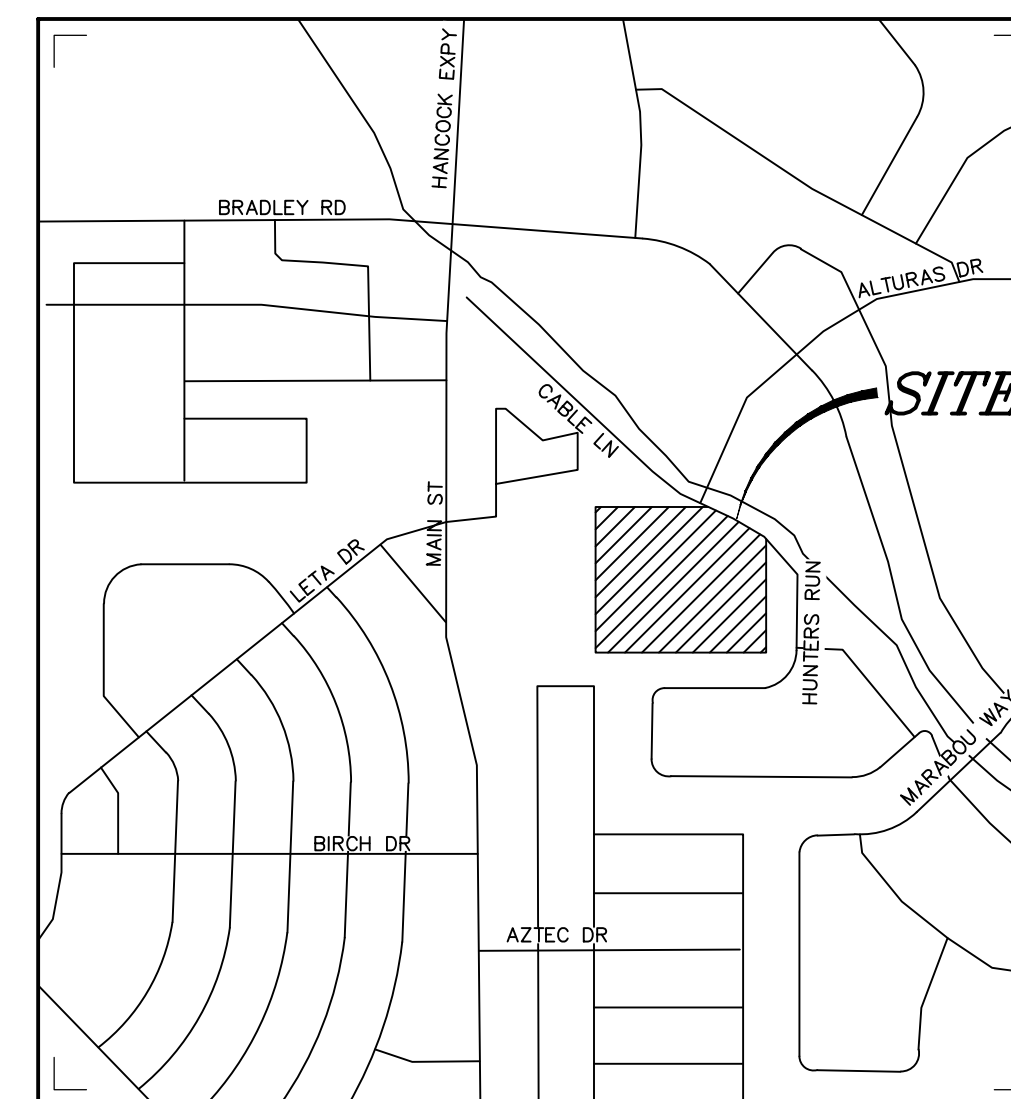
CLIENT:

MIDCO INVESTMENTS, LLC

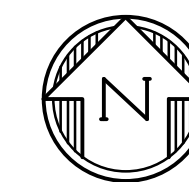
P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO



**VICINITY MAP**  
 NOT TO SCALE



**SHEET INDEX**

ECCV	EROSION CONTROL COVER SHEET
ECNT	NOTES
EC01	INITIAL GRADING AND EROSION CONTROL PLAN
EC02	INTERIM GEC PLAN
EC03	FINAL/VERTICAL GEC PLAN
ECDT	EROSION CONTROL DETAILS
ECDT	EROSION CONTROL DETAILS
PD01	DETENTION POND DETAILS
PD02	CONCRETE FOREBAY DETAILS
PD03	POND OUTLET STRUCTURE DEETAILS

**AGENCY CONTACTS**

**ENGINEERING** EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT  
 JOSHUA PALMER, COUNTY ENGINEER  
 3275 AKERS DRIVE  
 COLORADO SPRINGS, CO 80922  
 (719) 520-6460

**PLANNING** EL PASO COUNTY PLANNING & COMMUNITY DEVELOPMENT  
 KARI PARSONS, PROJECT MANAGER/PLANNER II  
 2880 INTERNATIONAL CIRCLE, SUITE 110  
 COLORADO SPRINGS, CO 80910  
 (719) 520-6300

**FIRE** SECURITY FIRE PROTECTION DISTRICT  
 DAVID GIRARDIN, FIRE CHIEF  
 400 SECURITY BLVD  
 COLORADO SPRINGS, CO 80911  
 (719) 392-7121

**WATER** SECURITY WATER & SANITATION DISTRICT  
 ROY HEALD, DISTRICT MANAGER  
 231 SECURITY BLVD  
 COLORADO SPRINGS, CO 80911  
 (719) 392-3475

**WASTEWATER** SECURITY WATER & SANITATION DISTRICT  
 ROY HEALD, DISTRICT MANAGER  
 231 SECURITY BLVD  
 COLORADO SPRINGS, CO 80911  
 (719) 392-3475

**ELECTRIC** C.S.U. ELECTRIC DEPT. SYSTEM PLANNING  
 MARY HOADLAND  
 1521 HANCOCK EXPY.  
 COLORADO SPRINGS, CO 80903  
 (719) 668-5557

**GAS** COLORADO SPRINGS UTILITIES  
 TODD STURTEVANT  
 1521 HANCOCK EXPRESSWAY  
 COLORADO SPRINGS, CO 80947  
 (719) 668-3556

**TELEPHONE** CENTURY LINK  
 PATTY MOORE  
 (719) 636-6096  
 (LOCATORS) (719) 597-8418  
 AT&T  
 (LOCATORS) (719) 635-3674

**CABLE** COMCAST  
 RICKEY NELSON  
 213 N. UNION BLVD  
 COLORADO SPRINGS, CO 80909  
 RICKEY\_NELSON@CABLE.COMCAST.COM

**ESTIMATED COST OF TEMPORARY + PERMANENT BMPs INCLUDING INSTALLATION AND MAINTENANCE UNTIL FINAL STABILIZATION (FINAL + INTERIM STAGE)**

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)	
					% Complete	Remaining
<b>SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)</b>						
Earthwork						
less than 1,000; \$5,300 min		CY	\$ 8.00	= \$ -		\$ -
1,000-5,000; \$8,000 min		CY	\$ 6.00	= \$ -		\$ -
5,001-20,000; \$30,000 min		CY	\$ 5.00	= \$ -		\$ -
20,001-50,000; \$100,000 min		CY	\$ 3.50	= \$ -		\$ -
50,001-200,000; \$175,000 min	57680	CY	\$ 2.50	= \$ 175,000.00		\$ 175,000.00
greater than 200,000; \$500,000 min		CY	\$ 2.00	= \$ -		\$ -
Permanent Erosion Control Blanket	1978	SY	\$ 9.00	= \$ 17,802.00		\$ 17,802.00
Permanent Seeding (inc. noxious weed mgmnt.) & Mulchin	10.5	AC	\$ 2,018.00	= \$ 21,189.00		\$ 21,189.00
Permanent Pond/BMP (provide engineer's estimate)	1	EA	\$ 250,000.00	= \$ 250,000.00		\$ 250,000.00
Concrete Washout Basin	1	EA	\$ 1,172.00	= \$ 1,172.00		\$ 1,172.00
Inlet Protection	9	EA	\$ 217.00	= \$ 1,953.00		\$ 1,953.00
Rock Check Dam	21	EA	\$ 651.00	= \$ 13,671.00		\$ 13,671.00
Safety Fence		LF	\$ 3.00	= \$ -		\$ -
Sediment Basin	1	EA	\$ 2,294.00	= \$ 2,294.00		\$ 2,294.00
Sediment Trap		EA	\$ 538.00	= \$ -		\$ -
Silt Fence	615	LF	\$ 3.00	= \$ 1,845.00		\$ 1,845.00
Slope Drain		LF	\$ 43.00	= \$ -		\$ -
Straw Bale		EA	\$ 33.00	= \$ -		\$ -
Straw Wattle/Rock Sock	36	LF	\$ 8.00	= \$ 288.00		\$ 288.00
Surface Roughening		AC	\$ 269.00	= \$ -		\$ -
Temporary Erosion Control Blanket		SY	\$ 3.00	= \$ -		\$ -
Temporary Seeding and Mulching		AC	\$ 1,793.00	= \$ -		\$ -
Vehicle Tracking Control	1	EA	\$ 3,085.00	= \$ 3,085.00		\$ 3,085.00
[insert items not listed but part of construction plans]				= \$ -		\$ -
<b>MAINTENANCE (35% of Construction BMPs)</b>				= \$ 8,097.60		\$ 8,097.60
<b>Section 1 Subtotal</b>				<b>= \$ 496,396.60</b>		<b>\$ 496,396.60</b>

\* Subject to defect warranty financial assurance. A minimum of 20% shall be retained until final acceptance (MAXIMUM OF 60% COMPLETE ALLOWED)

**STRUCTURAL FILL**

DURING EARTHWORK BALANCING ACROSS THE SITE, AREAS TO RECEIVE STRUCTURAL FILL SHOULD HAVE TOPSOIL, ORGANIC MATERIAL, OR DEBRIS REMOVED. LOOSE, WET SOILS, ESPECIALLY THOSE FROM NOTED DRAINAGE AREAS, SHOULD BE EXCAVATED TO DRY SOLID MATERIAL, STOCKPILED AND EVALUATED FOR SUITABILITY OF RE-USE AS STRUCTURAL FILL. IF SOIL IS FOUND TO BE UNSUITABLE AS STRUCTURAL FILL, IT MAY STILL BE SUITABLE AS BACKFILL IN NON-STRUCTURAL APPLICATIONS.

STRUCTURAL FILL COMPOSED OF ON-SITE SOILS SHOULD CONSIST OF GRANULAR, NIL TO LOW-EXPANSIVE MATERIAL. IF CLAYSTONE IS ELECTED TO BE RE-USED IT SHOULD BE THOROUGHLY PROCESSED, MOISTURE CONDITIONED AND BLENDED WITH SAND SOIL. FILL SHOULD BE SPREAD ACROSS THE SITE AND PLACED IN EVEN LOOSE LIFTS NOT EXCEEDING 10-INCHES. MOISTURE CONDITIONED TO FACILITATE COMPACTION (USUALLY WITHIN 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT), AND COMPACTED TO A MINIMUM OF 95 PERCENT OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE STANDARD PROTOR TEST, ASTM D-698. THE MATERIALS SHOULD BE SPREAD AND COMPACTED BY MECHANICAL MEANS.

STRUCTURAL FILL PLACED ON SLOPES SHOULD BE BENCHMARKED INTO THE SLOPE. MAXIMUM BENCH HEIGHTS SHOULD NOT EXCEED 4 FEET, AND BENCH WIDTHS SHOULD BE WIDE ENOUGH TO ACCOMMODATE COMPACTION EQUIPMENT. MATERIALS USED FOR STRUCTURAL FILL SHOULD BE APPROVED BY RMG PRIOR TO USE. STRUCTURAL FILL SHOULD NOT BE PLACED ON FROZEN SUBGRADE OR ALLOWED TO FREEZE DURING MOISTURE CONDITIONING AND PLACEMENT.

**BENCHMARK**

CHISELED "X" IN WING WALL ELEVATION 5859.54 (FIMS DATUM), NORTH EAST CORNER OF FMIC SUPERDITCH AND ALTURAS DR.

**LEGAL DESCRIPTION**

THE NORTH HALF OF THE NORTHWEST QUARTER OF SECTION 12, TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE SIXTH PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

**FLOODPLAIN STATEMENT**

ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) PANEL #08041C0763G (DECEMBER 7, 2018) THE PROJECT SITE IS NOT WITHIN A DESIGNATED 100-YR FLOODPLAIN.

**TIMING**

ANTICIPATED STARTING AND COMPLETION TIME PERIOD OF SITE GRADING: FALL/WINTER 2023-SPRING/SUMMER 2024

**AREAS**

TOTAL AREA OF THE SITE TO BE CLEARED, EXCAVATED OR GRADED: APPROXIMATELY 13.6 ACRES

**RECEIVING WATERS**

FOUNTAIN CREEK

**SOILS**


HYDROLOGIC TYPE A: BLAKELAND LOAMY SAND

**VEGETATION**

EXISTING SITE IS UNDEVELOPED AND COVERED WITH NATIVE GRASSES


**DESIGN ENGINEER'S STATEMENT**

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.

 7/29/24  
 TIM D. MCCONNELL DATE  
 P.E.# 33797

**OWNER'S STATEMENT**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN

 7/29/24  
 ROBERT C. IRWIN DATE  
 OWNER

**EL PASO COUNTY**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

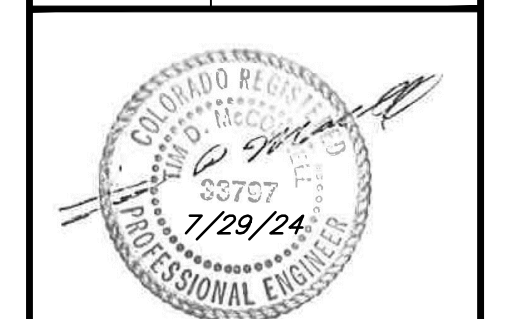
FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 112, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

JOSHUA PALMER, P.E. DATE  
 COUNTY ENGINEER

ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24

DESIGNED BY: SBN  
 DRAWN BY: SBN  
 CHECKED BY: TDM  
 FILE NAME: 21085-03ECCV



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A

**EROSION CONTROL COVER SHEET**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**ECCV**

SHEET: 43 OF 52

**STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS**

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON-SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF-SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
14. DURING DEWATERING OPERATIONS, UNCONTAMINATED GROUNDWATER MAY BE DISCHARGED ON-SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.

21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ON-SITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ON-SITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON-SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY CTL THOMPSON, DATED AUGUST 5, 2021 AND SHALL BE CONSIDERED A PART OF THESE PLANS.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1)ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN(SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:  
  
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WOOD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
ATTN: PERMITS UNIT

PREPARED BY:



**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
101 SAWATCH STREET, #100  
COLORADO SPGS, COLORADO 80903  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
COLORADO SPRINGS • LAFAYETTE

CLIENT:

MIDCO INVESTMENTS, LLC  
  
P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
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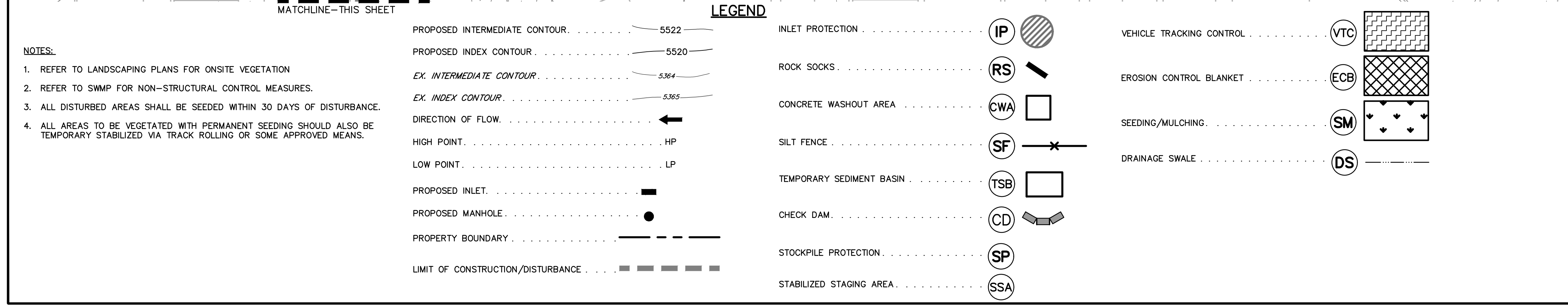
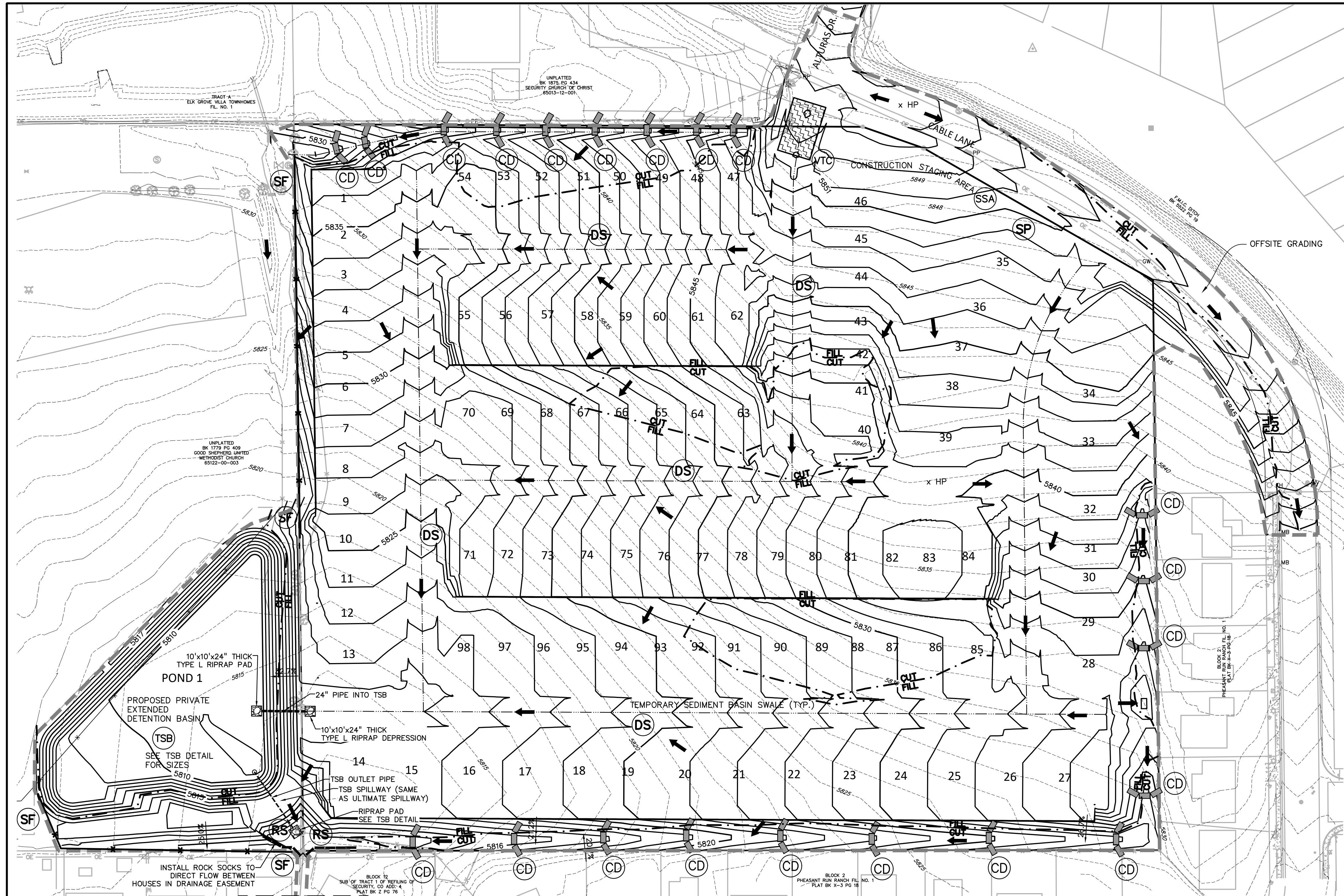


PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
  
DRAWING SCALE:  
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VERTICAL: N/A

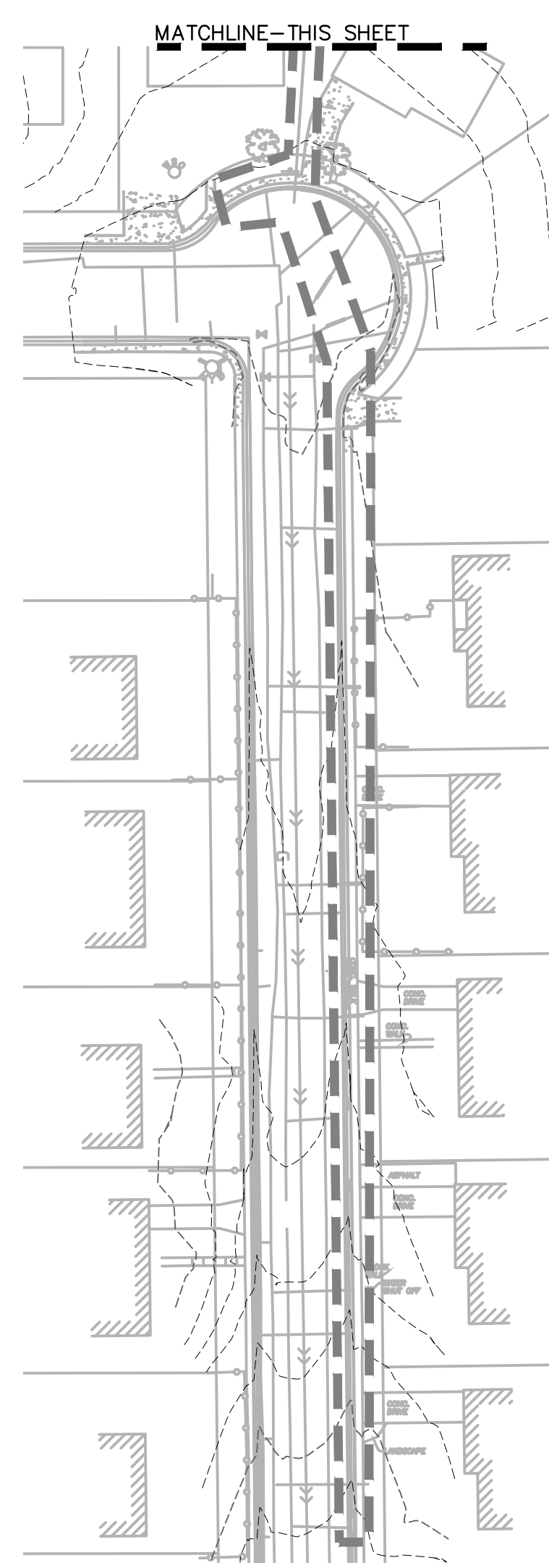
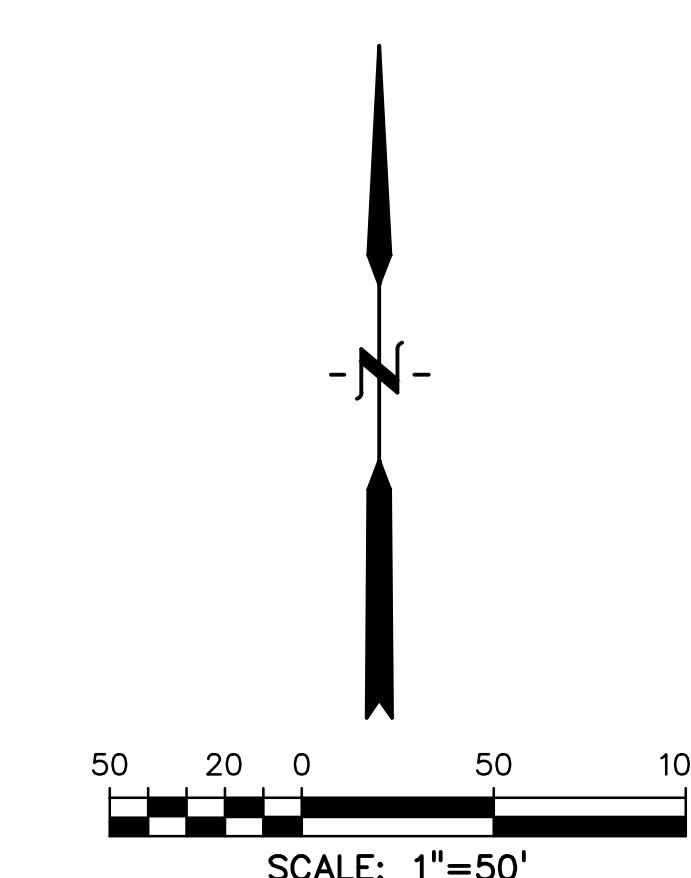
**EROSION CONTROL NOTES**

PROJECT NO. 21085-03CSCV  
DRAWING NO.





- NOTES:**
- REFER TO LANDSCAPING PLANS FOR ONSITE VEGETATION
  - REFER TO SWMP FOR NON-STRUCTURAL CONTROL MEASURES.
  - ALL DISTURBED AREAS SHALL BE SEEDED WITHIN 30 DAYS OF DISTURBANCE.
  - ALL AREAS TO BE VEGETATED WITH PERMANENT SEEDED SHOULD ALSO BE TEMPORARILY STABILIZED VIA TRACK ROLLING OR SOME APPROVED MEANS.



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 Engineers • Surveyors  
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 COLORADO SPGS, COLORADO 80903  
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CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

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DRAWN BY:	SNB
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 DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

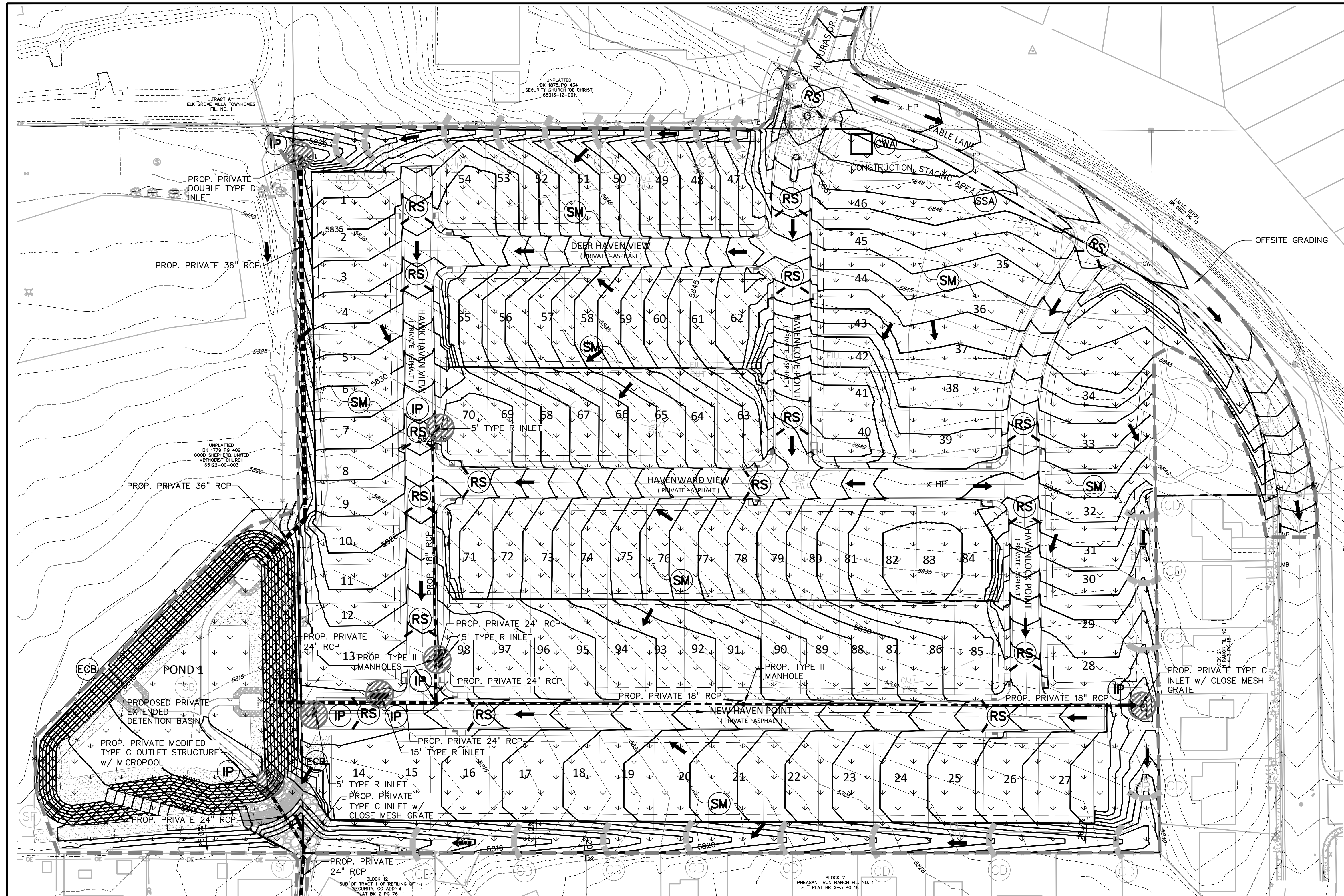
**INITIAL GRADING AND EROSION CONTROL PLAN**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**EC01**

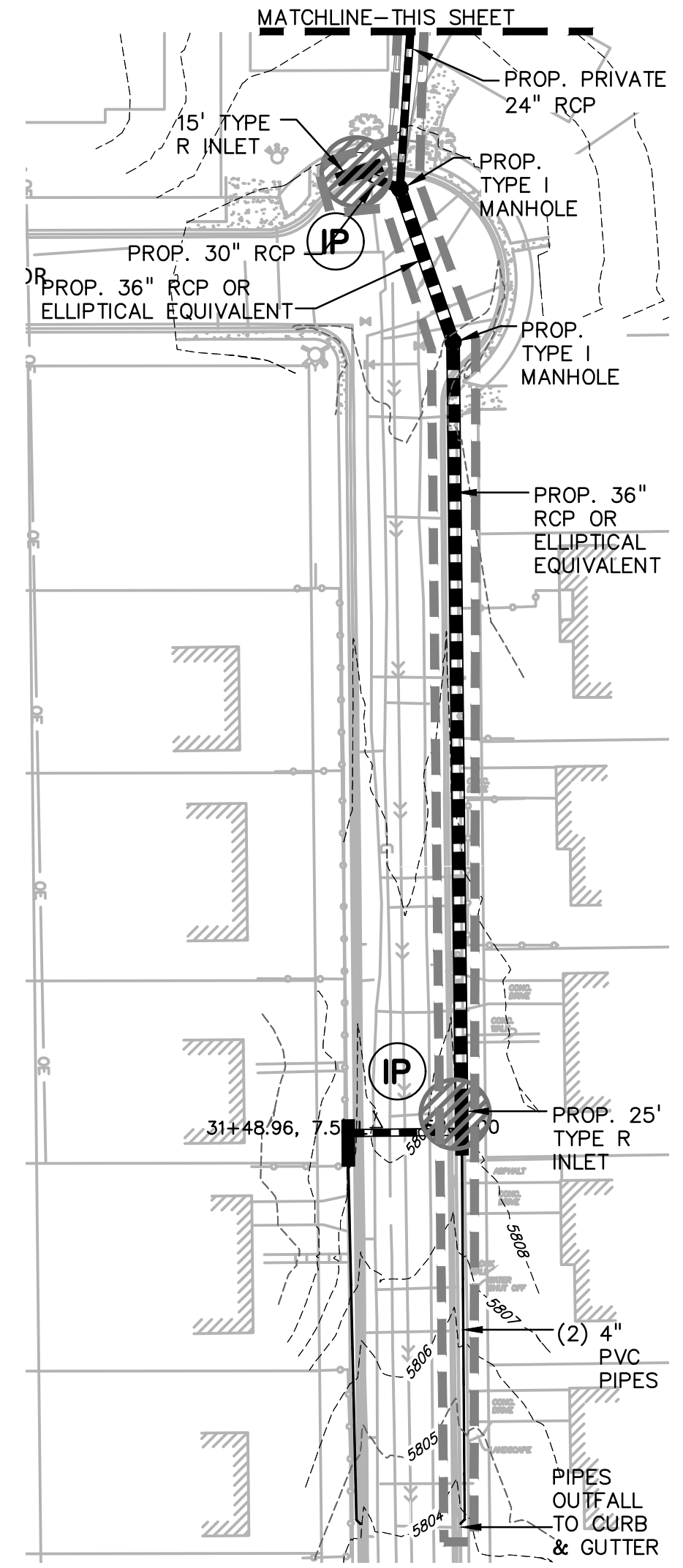
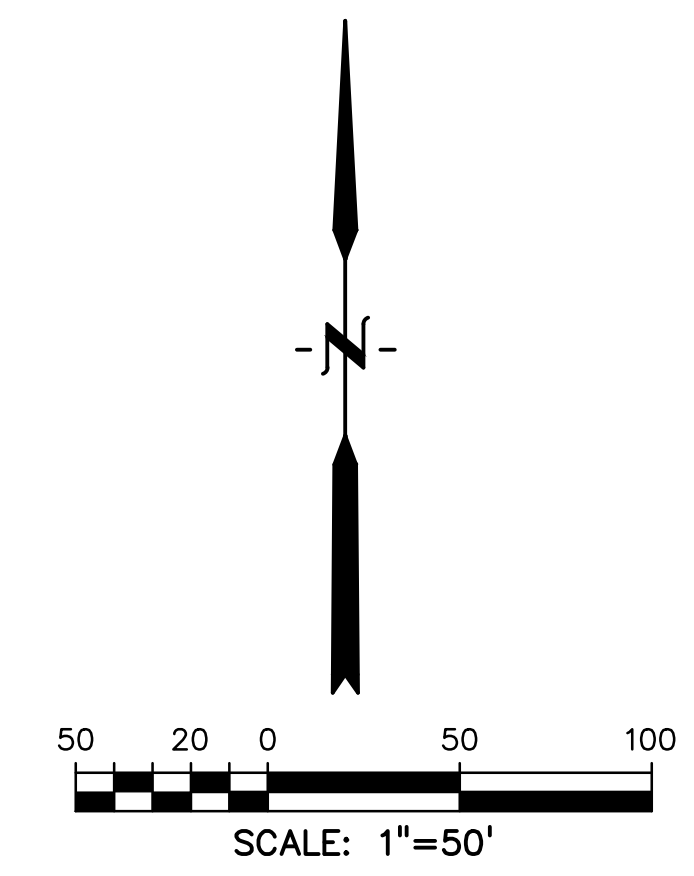
SHEET: 45 OF 52





- NOTES:**
- REFER TO LANDSCAPING PLANS FOR ONSITE VEGETATION
  - REFER TO SWMP FOR NON-STRUCTURAL CONTROL MEASURES.
  - ALL DISTURBED AREAS SHALL BE SEEDED WITHIN 30 DAYS OF DISTURBANCE.
  - ALL AREAS TO BE VEGETATED WITH PERMANENT SEEDING SHOULD ALSO BE TEMPORARILY STABILIZED VIA TRACK ROLLING OR SOME OTHER APPROVED MEANS.

LEGEND	
PROPOSED INTERMEDIATE CONTOUR . . . . . 5522	INLET PROTECTION . . . . . IP
PROPOSED INDEX CONTOUR . . . . . 5520	ROCK SOCKS . . . . . RS
EX. INTERMEDIATE CONTOUR . . . . . 5364	CONCRETE WASHOUT AREA . . . . . CWA
EX. INDEX CONTOUR . . . . . 5365	SILT FENCE . . . . . SF
DIRECTION OF FLOW . . . . . ←	TEMPORARY SEDIMENT BASIN . . . . . TSB
HIGH POINT . . . . . HP	CHECK DAM . . . . . CD
LOW POINT . . . . . LP	STOCKPILE PROTECTION . . . . . SP
PROPOSED INLET . . . . . —	STABILIZED STAGING AREA . . . . . SSA
PROPOSED MANHOLE . . . . . ●	
PROPERTY BOUNDARY . . . . . - - - - -	
LIMIT OF CONSTRUCTION/DISTURBANCE . . . . . - - - - -	
	VEHICLE TRACKING CONTROL . . . . . VTC
	EROSION CONTROL BLANKET . . . . . ECB
	SEEDING/MULCHING . . . . . SM



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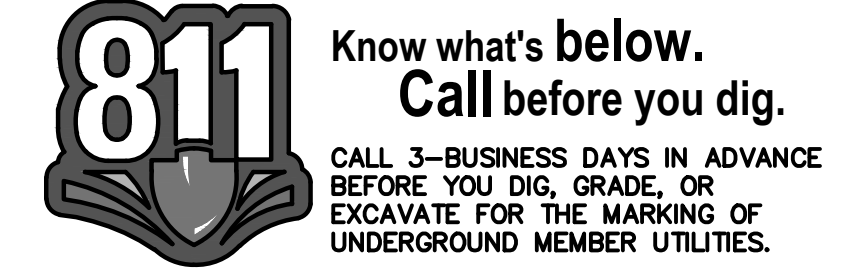
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

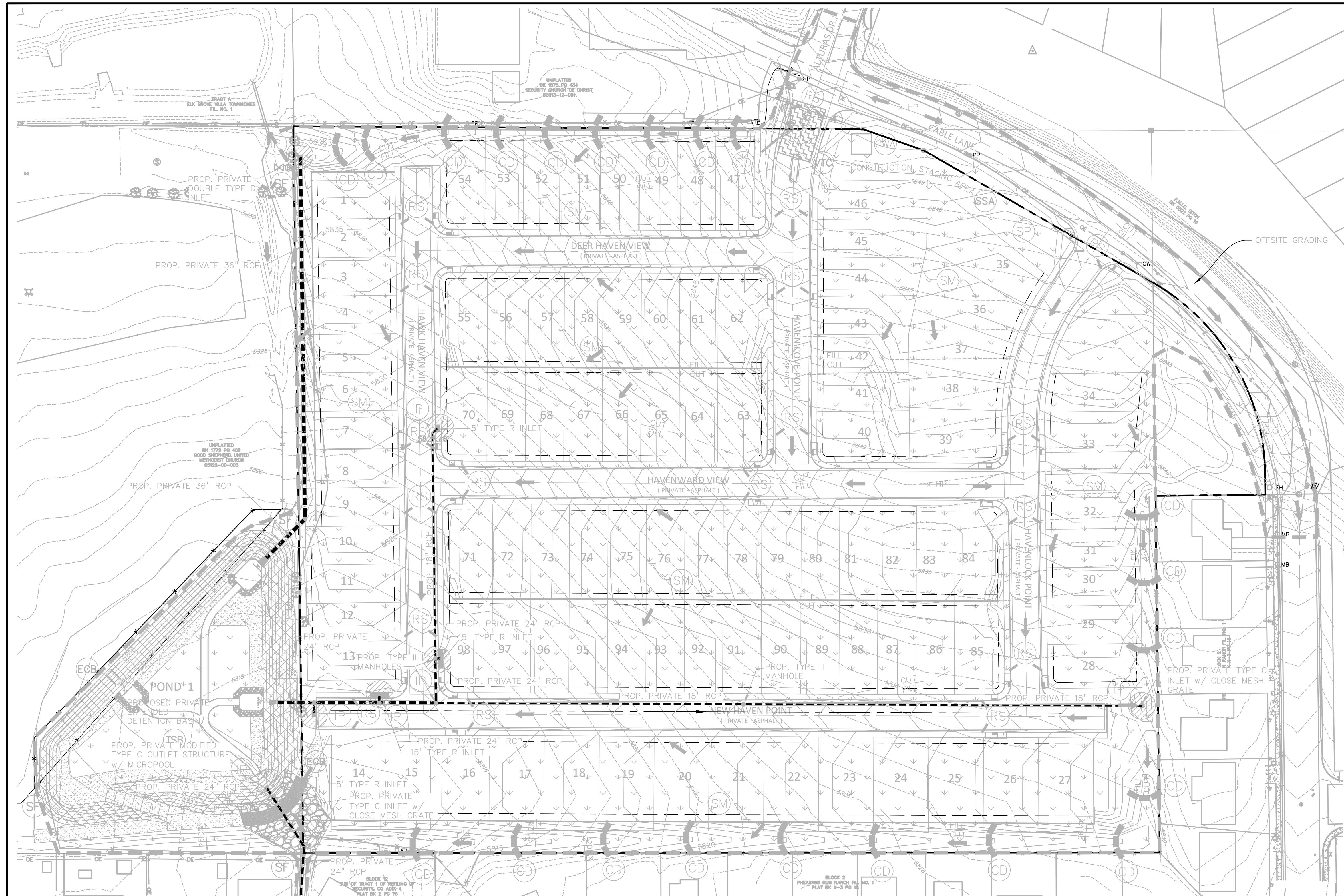
**INTERIM GEC PLAN**

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

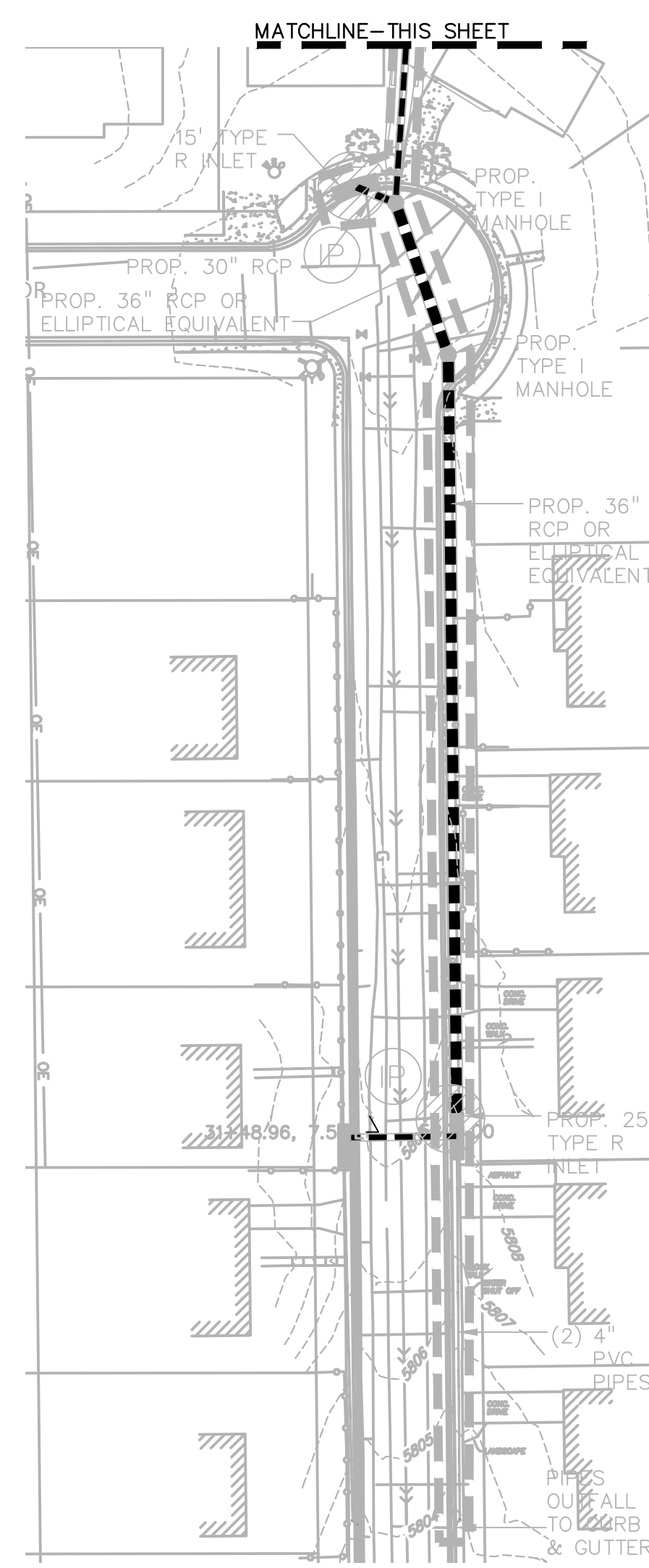
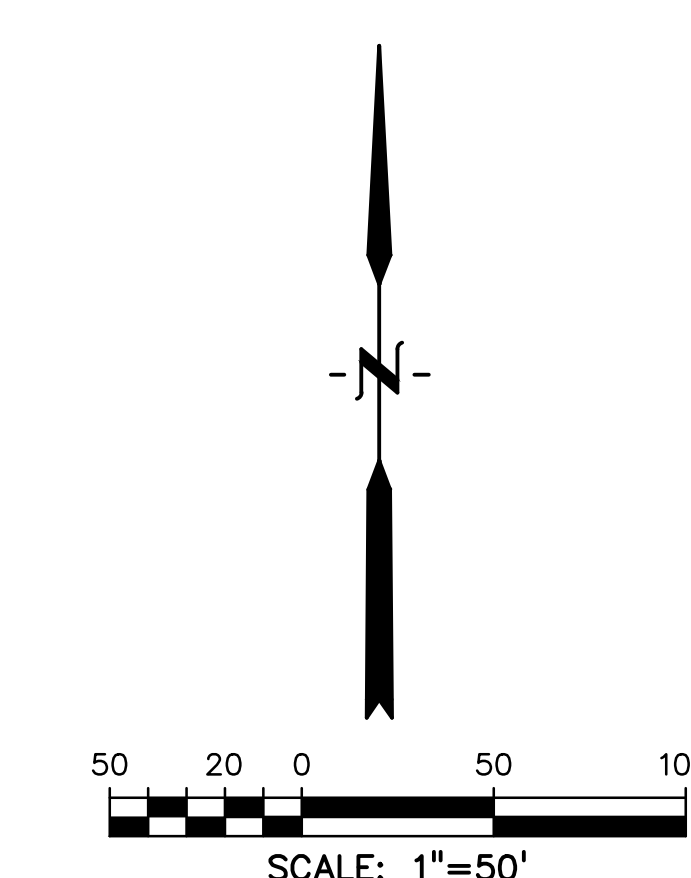
**EC02**

SHEET: 46 OF 52





- NOTES:**
- REFER TO LANDSCAPING PLANS FOR ONSITE VEGETATION
  - REFER TO SWMP FOR NON-STRUCTURAL CONTROL MEASURES.
  - ALL DISTURBED AREAS SHALL BE SEEDED WITHIN 30 DAYS OF DISTURBANCE.
  - ALL AREAS TO BE VEGETATED WITH PERMANENT SEEDING SHOULD ALSO BE TEMPORARILY STABILIZED VIA TRACK ROLLING OR SOME OTHER APPROVED MEANS.
- LEGEND**
- PROPOSED INTERMEDIATE CONTOUR . . . . . 5522
  - PROPOSED INDEX CONTOUR . . . . . 5520
  - EX. INTERMEDIATE CONTOUR . . . . . 5364
  - EX. INDEX CONTOUR . . . . . 5365
  - DIRECTION OF FLOW . . . . . ←
  - HIGH POINT . . . . . HP
  - LOW POINT . . . . . LP
  - PROPOSED INLET . . . . . —
  - PROPOSED MANHOLE . . . . . ●
  - PROPERTY BOUNDARY . . . . . - - - - -
  - LIMIT OF CONSTRUCTION/DISTURBANCE . . . . . - - - - -
  - INLET PROTECTION . . . . . IP
  - ROCK SOCKS . . . . . RS
  - CONCRETE WASHOUT AREA . . . . . CWA
  - SILT FENCE . . . . . SF
  - TEMPORARY SEDIMENT BASIN . . . . . TSB
  - CHECK DAM . . . . . CD
  - STOCKPILE PROTECTION . . . . . SP
  - STABILIZED STAGING AREA . . . . . SSA
  - VEHICLE TRACKING CONTROL . . . . . VTC
  - EROSION CONTROL BLANKET . . . . . ECB
  - SEEDING/MULCHING . . . . . SM



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CONSTRUCTION DOCUMENTS FOR:

# HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

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DRAWING SCALE:  
HORIZONTAL: 1" = 50'  
VERTICAL: N/A

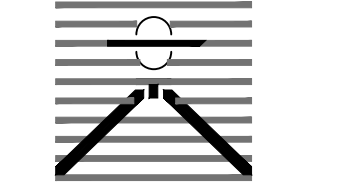
FINAL/VERTICAL GEC PLAN

PROJECT NO. 21085-03CSCV  
DRAWING NO.

# EC03

SHEET: 47 OF 52

PREPARED BY:



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CONSTRUCTION DOCUMENTS FOR:

HAVEN VALLEY

(LETA DR.) BRADLEY RD/ALTURAS DR.
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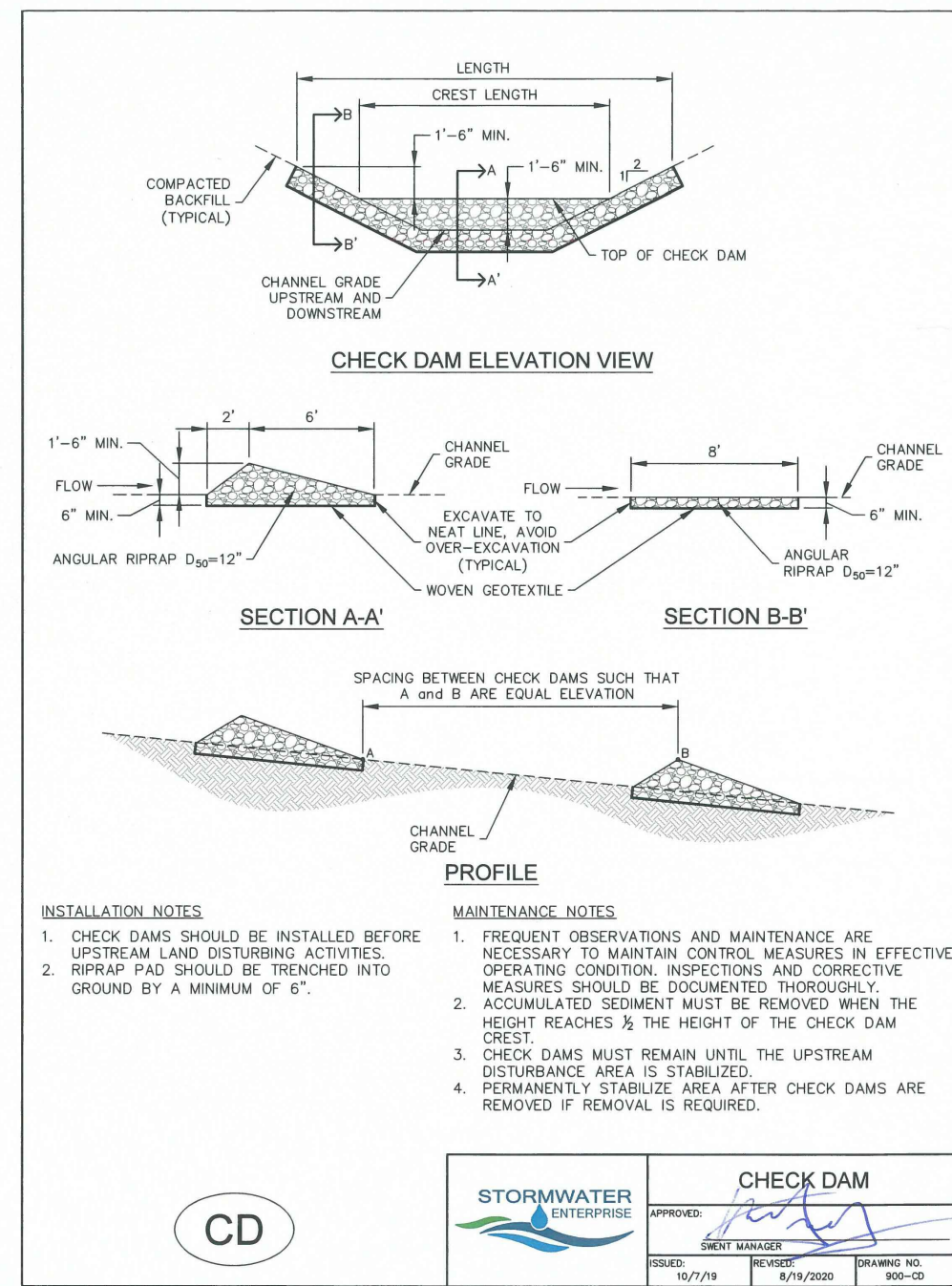
DRAWING SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

EROSION CONTROL DETAILS

PROJECT NO. 21085-03CSCV
DRAWING NO.

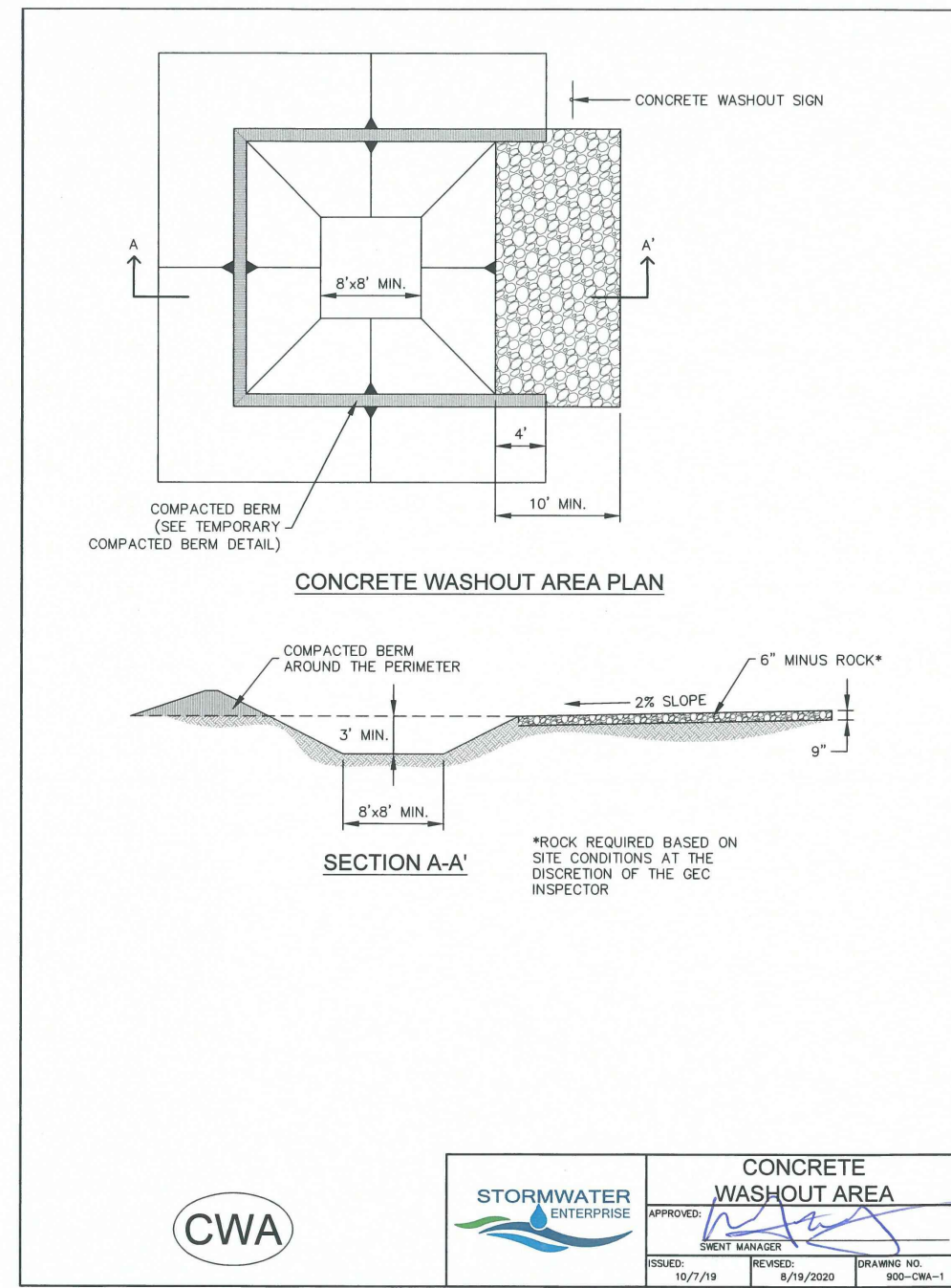
ECDT

SHEET: 48 OF 52



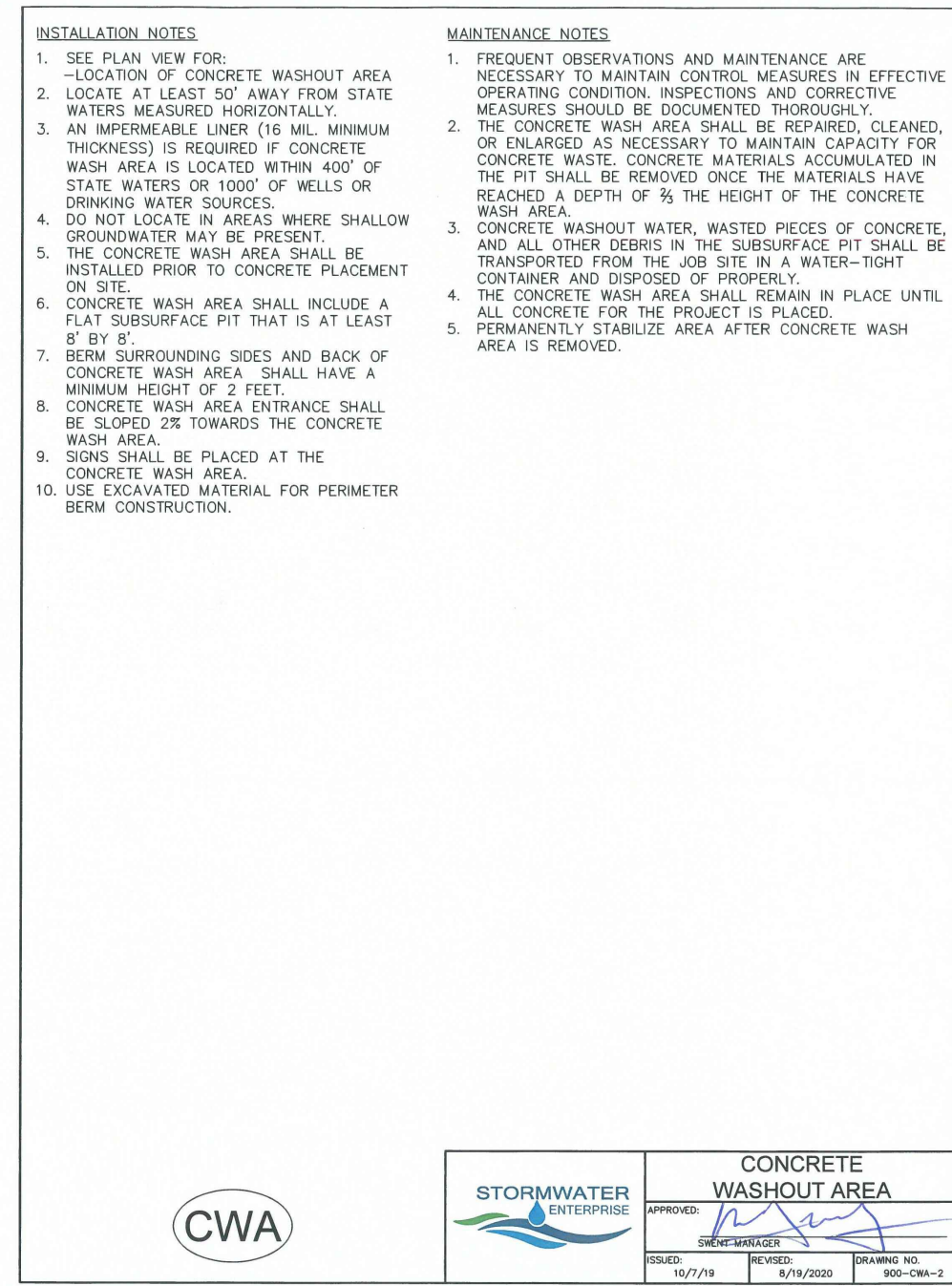
CD

STORMWATER ENTERPRISE logo and signature block for Check Dam.



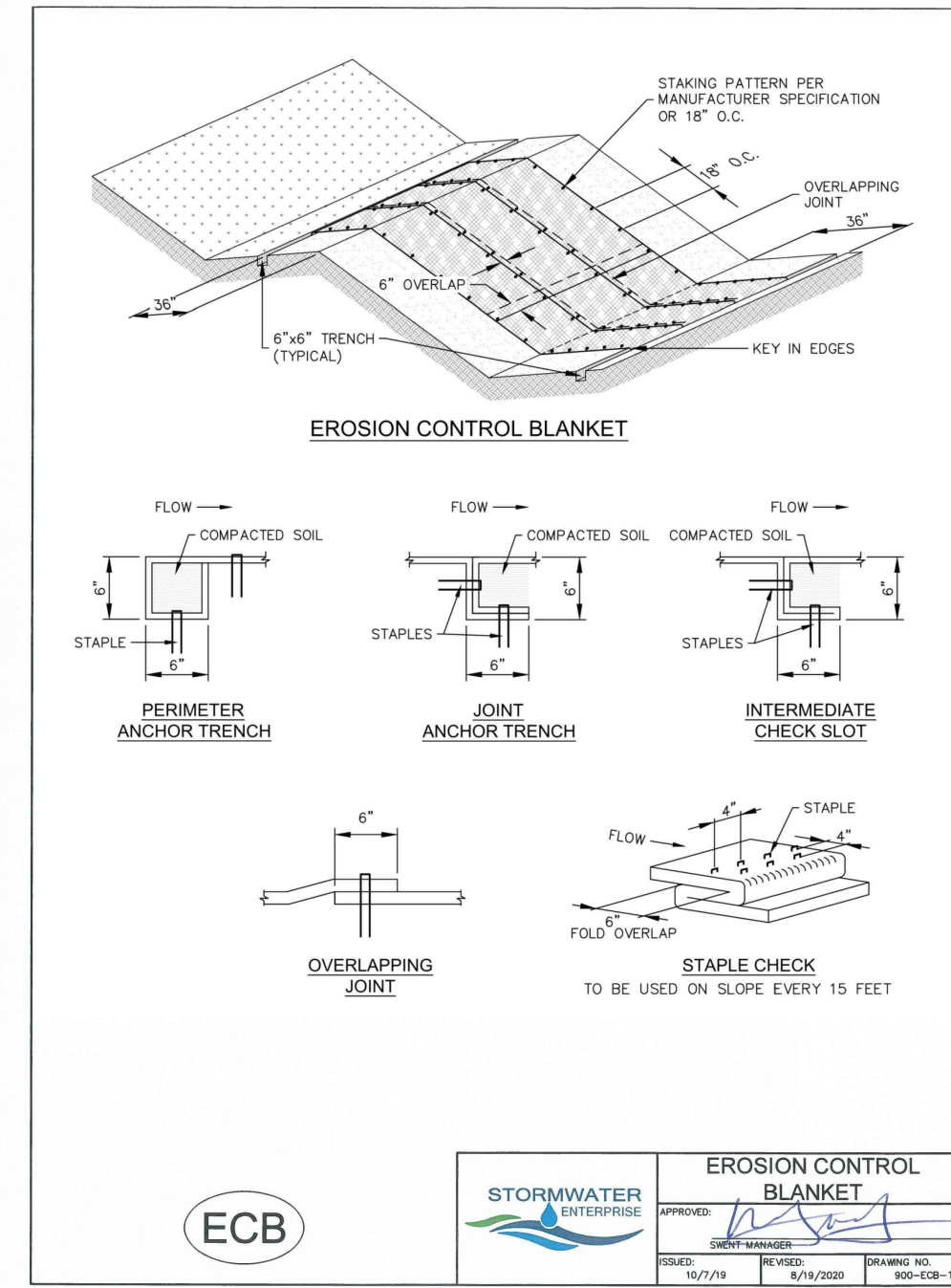
CWA

STORMWATER ENTERPRISE logo and signature block for Concrete Washout Area.



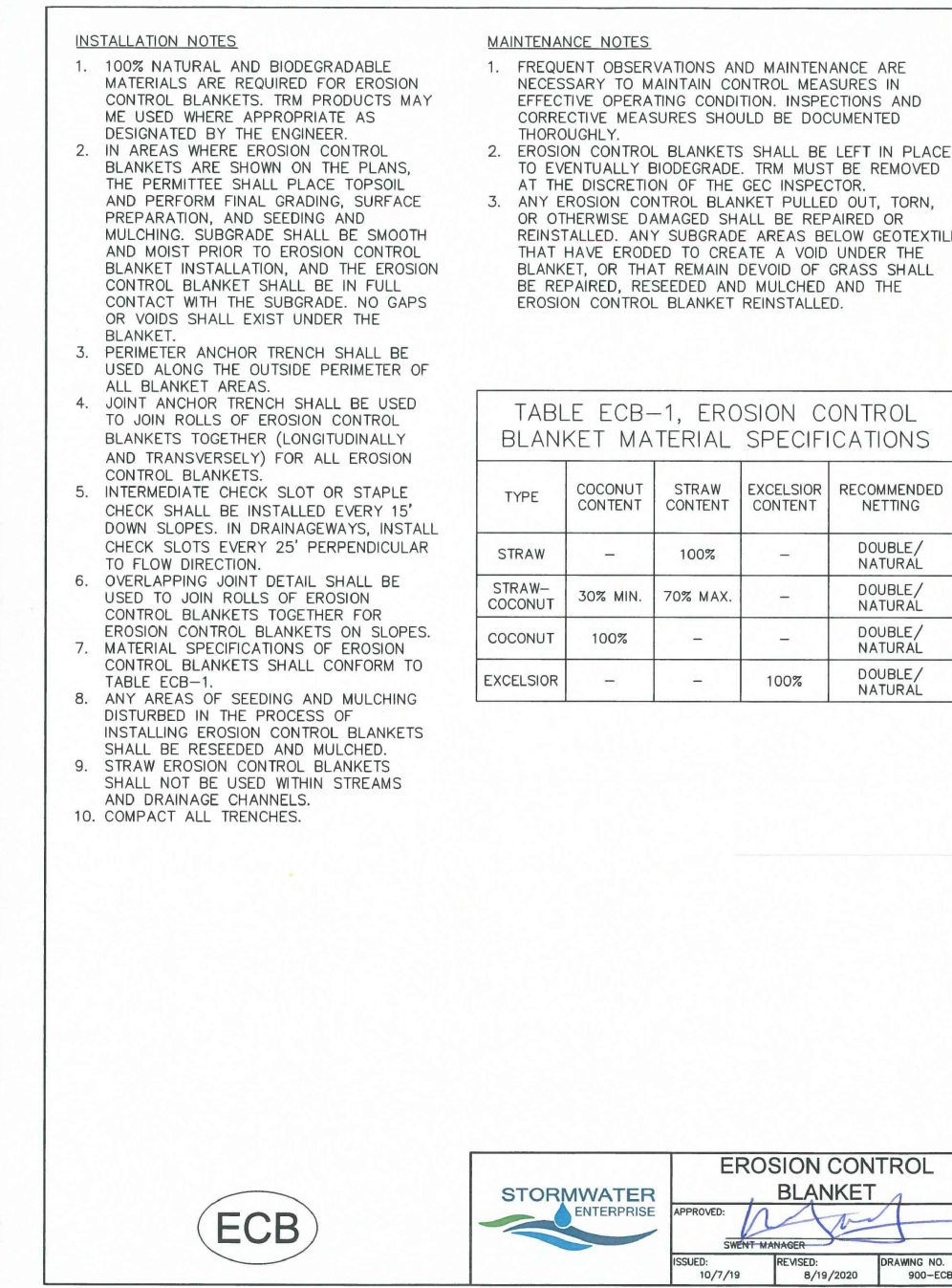
CWA

STORMWATER ENTERPRISE logo and signature block for Concrete Washout Area.



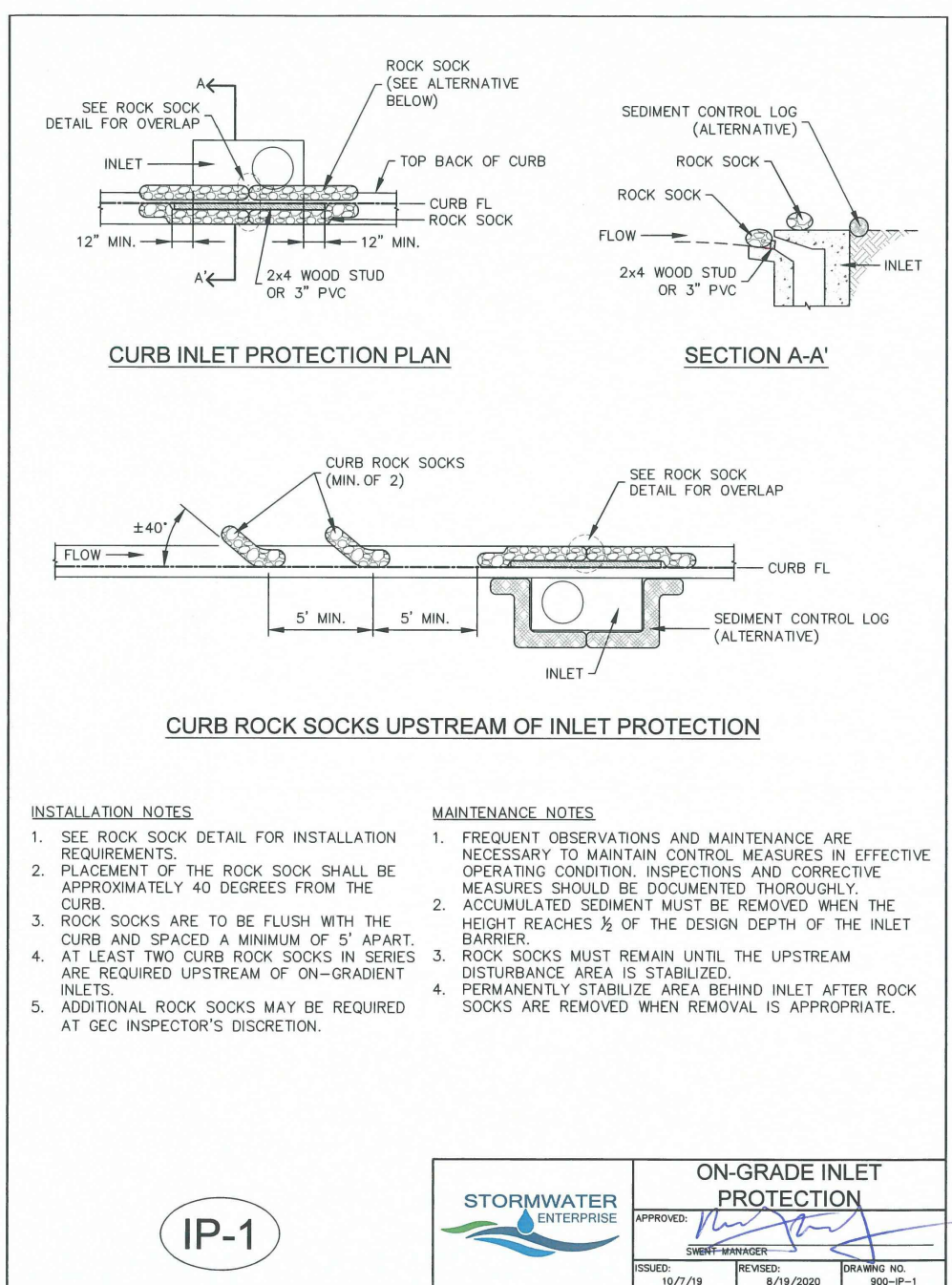
ECB

STORMWATER ENTERPRISE logo and signature block for Erosion Control Blanket.



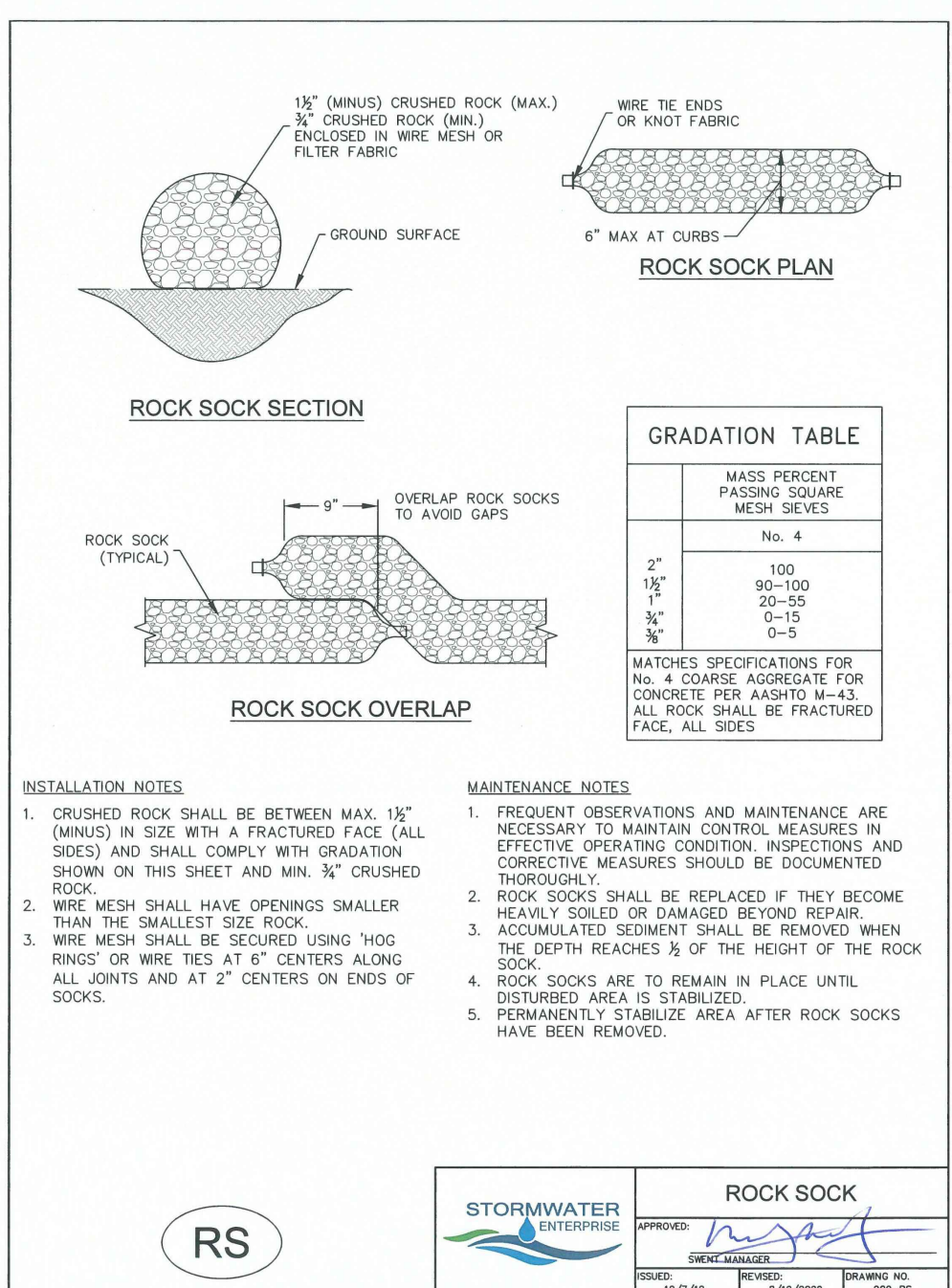
ECB

STORMWATER ENTERPRISE logo and signature block for Erosion Control Blanket.



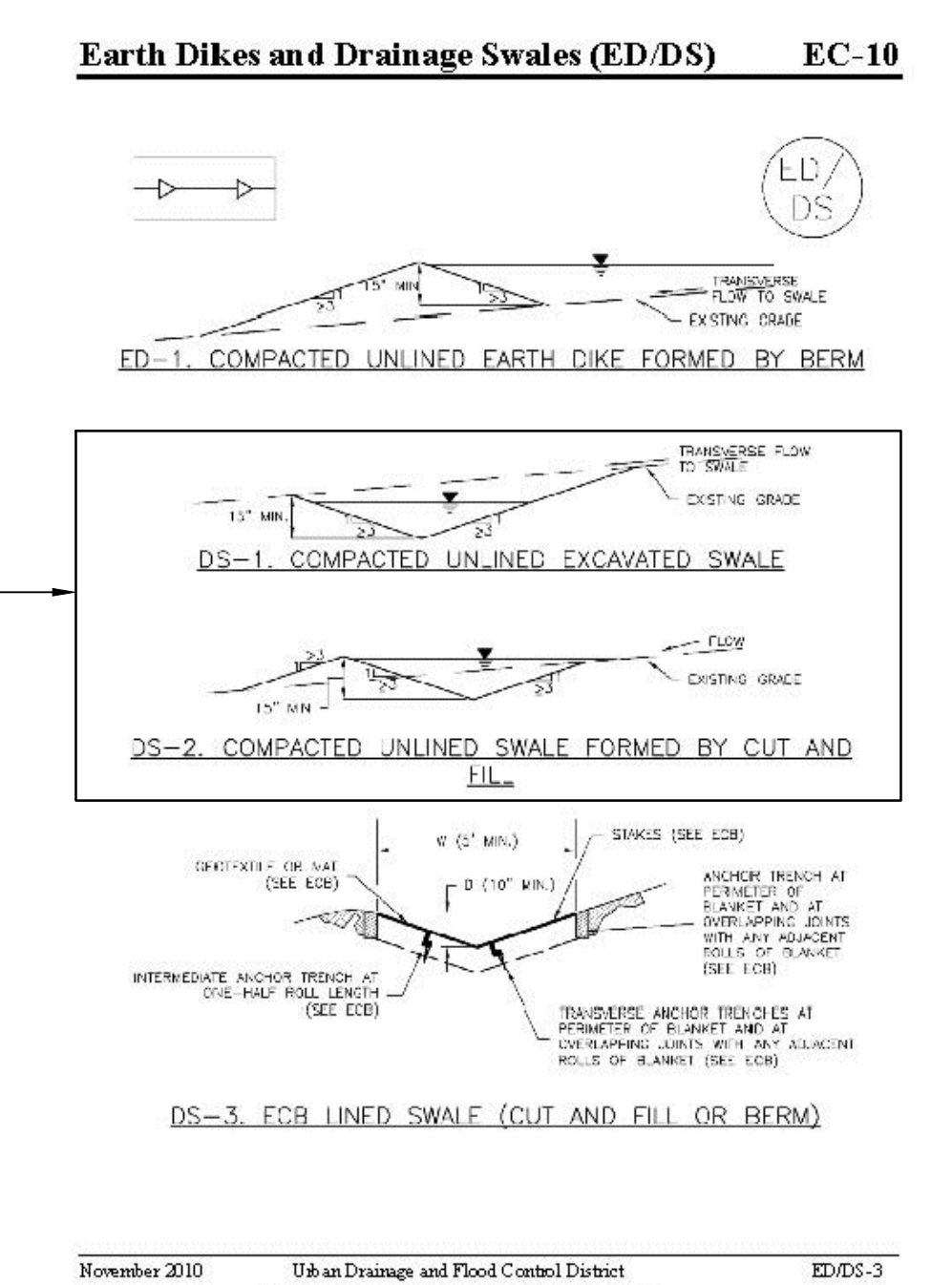
IP-1

STORMWATER ENTERPRISE logo and signature block for On-Grade Inlet Protection.

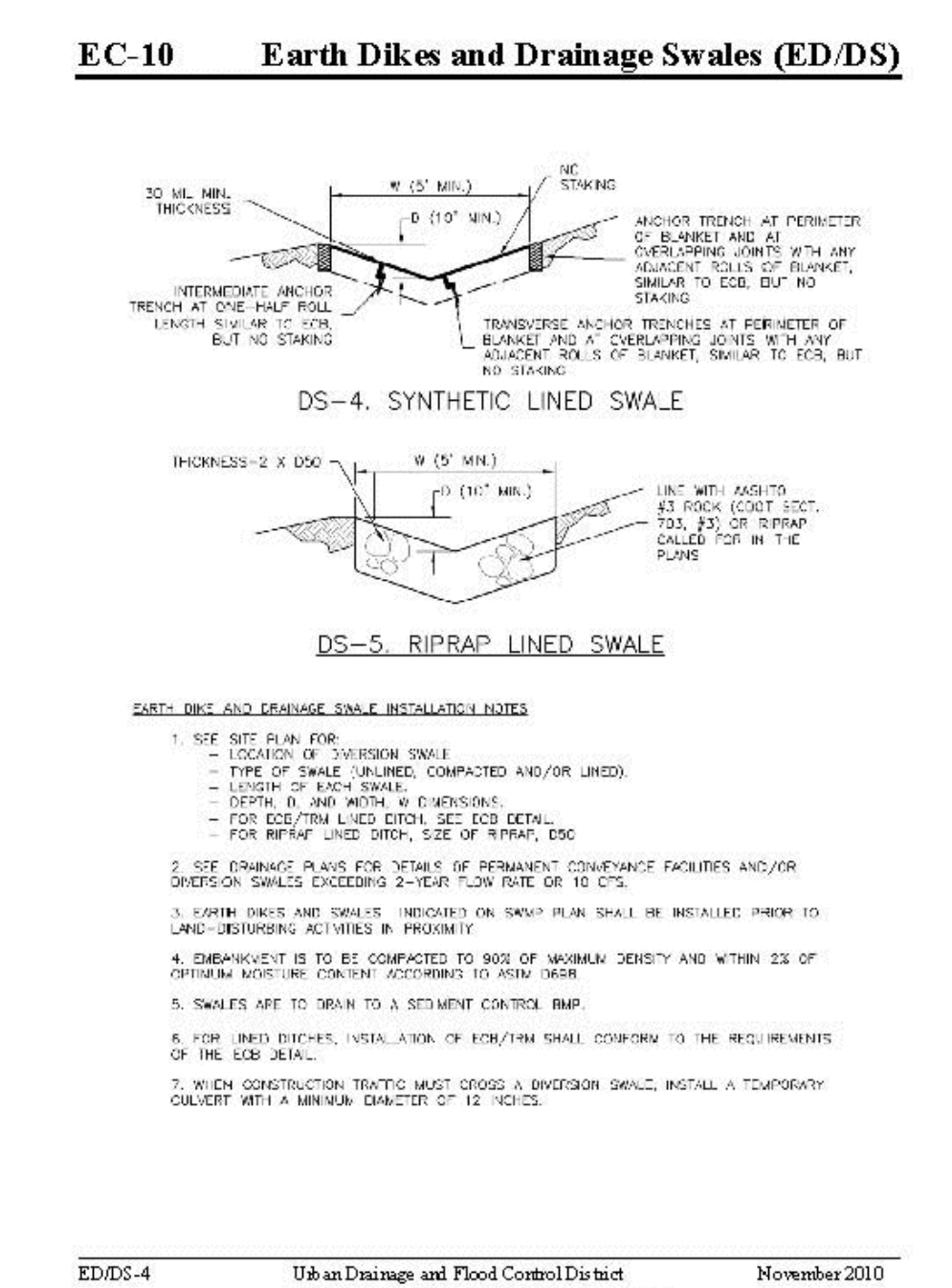


RS

STORMWATER ENTERPRISE logo and signature block for Rock Sock.



November 2010 Utah Drainage and Flood Control District
Utah Storm Drainage Criteria Manual Volume 3 ED/DS-3



November 2010 Utah Drainage and Flood Control District
Utah Storm Drainage Criteria Manual Volume 3 ED/DS-4



November 2010 Utah Drainage and Flood Control District
Utah Storm Drainage Criteria Manual Volume 3 ED/DS-5



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DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A

EROSION CONTROL DETAILS

PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**ECDT**

SHEET: 49 OF 52

**TABLE SB-1, SIZING INFORMATION FOR STANDARD SEDIMENT BASIN**

UPSTREAM DRAINAGE AREA (ROUNDED TO NEAREST ACRES) (A <sub>u</sub> )	BASEIN BOTTOM WIDTH (W) (FT)	SPILLWAY CREST LENGTH (L) (FT)	SOLE DIAMETER (D) (IN)
1	197	2	3/4
2	21	3	3/4
3	28	4	3/4
4	335	5	3/4
5	389	6	3/4
6	43	7	3/4
7	474	11	3/4
8	50	12	3/4
9	55	13	3/4
10	605	15	3/4
11	64	16	3/4
12	64	18	3/4
13	676	21	3/4
14	705	22	3/4
15	736	22	3/4

**INSTALLATION NOTES:**

- FOR STANDARD BASIN, BOTTOM DIMENSION MAY BE MODIFIED AS LONG AS BOTTOM AREA IS NOT REDUCED.
- EMBANKMENT MATERIAL SHALL CONSIST OF SOIL FREE OF DEBRIS, ORGANIC MATERIAL, AND ROCKS OR CONCRETE GREATER THAN 3 INCHES, AND SHALL HAVE A MINIMUM OF 15 PERCENT BY WEIGHT PASSING THE No. 200 SIEVE. EMBANKMENT MATERIAL SHALL BE COMPACTED TO AT LEAST 95 PERCENT OF MAXIMUM DENSITY IN ACCORDANCE WITH ASTM D-698-00. FIRE SCHEDULE 40 OR GREATER SHALL BE USED.
- THE DETAILS SHOWN ON THESE SHEETS PERTAIN TO STANDARD SEDIMENT BASIN(S) FOR DRAINAGE AREAS LESS THAN 15 ACRES. SEE CONSTRUCTION DRAWING FOR EMBANKMENT, STORAGE VOLUME, SPILLWAY, OUTLET, AND OUTLET PROTECTION DETAILS FOR ANY SEDIMENT BASIN(S) THAT HAVE BEEN INDIVIDUALLY DESIGNED FOR DRAINAGE AREAS LARGER THAN 15 ACRES. DESIGN CALCULATIONS MUST BE APPROVED PRIOR TO IMPLEMENTATION.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN CONTROL MEASURE EFFECTIVENESS. TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E. TWO FEET BELOW SPILLWAY CREST).
- SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED.
- PERMANENTLY STABILIZE AREA AFTER SEDIMENT BASIN REMOVAL.

**USE:** TSB

**TEMPORARY SEDIMENT BASIN**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**SEDIMENT BASIN PLAN**

**SECTION A-A'**

**SECTION B-B'**

**INSTALLATION NOTES:**

- INSTALL PERIMETER CONTROL AROUND STOCKPILE ON DOWNGRADIENT SIDE. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.
- FOR STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS INCLUDING PERIMETER CONTROL ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- IF PERIMETER CONTROLS MUST BE MOVED TO ACCESS STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORK DAY.
- ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

**MAINTENANCE NOTES:**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
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- ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

**USE:** TSB

**TEMPORARY SEDIMENT BASIN**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**STOCKPILE PROTECTION PLAN**

**STOCKPILE PROTECTION ELEVATION**

**INSTALLATION NOTES:**

- INSTALL PERIMETER CONTROL AROUND STOCKPILE ON DOWNGRADIENT SIDE. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.
- FOR STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS INCLUDING PERIMETER CONTROL ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.
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- ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

**USE:** SP

**TEMPORARY SEDIMENT BASIN**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**SEEDING & MULCHING**

ALL SOIL TESTING, SOIL AMENDMENT AND FERTILIZER DOCUMENTATION, AND SEED LOAD AND BAG TICKETS MUST BE ADDED TO THE COMP.

**SOIL PREPARATION:**

- IN AREAS TO BE SEEDDED, THE UPPER 6 INCHES OF THE SOIL MUST NOT BE HEAVILY COMPACTED, AND SHOULD BE IN FRABLE CONDITION. LESS THAN 80% STANDARD PROCTOR DENSITY IS ACCEPTABLE. AREAS OF COMPACTION OR GENERAL CONSTRUCTION ACTIVITY MUST BE SCARIFIED TO A DEPTH OF 6 TO 12 INCHES PRIOR TO SPREADING TOPSOIL TO BREAK UP COMPACTED LAYERS AND PROVIDE A BLENDING ZONE BETWEEN DIFFERENT SOIL LAYERS.
- AREAS TO BE PLANTED SHALL HAVE AT LEAST 4 INCHES OF TOPSOIL SUITABLE TO SUPPORT PLANT GROWTH.
- THE CITY RECOMMENDS THAT EXISTING AND/OR IMPORTED TOPSOIL BE TESTED TO IDENTIFY SOIL DEFICIENCIES AND ANY SOIL AMENDMENTS NECESSARY TO ADDRESS THESE DEFICIENCIES. SOIL AMENDMENTS AND/OR FERTILIZERS SHOULD BE ADDED TO CORRECT TOPSOIL DEFICIENCIES BASED ON SOIL TESTING RESULTS.
- TOPSOIL SHALL BE PROTECTED DURING THE CONSTRUCTION PERIOD TO RETAIN ITS STRUCTURE AND VOID COMPACTION, AND TO PREVENT EROSION AND CONTAMINATION. STRIPPED TOPSOIL MUST BE STORED IN AN AREA AWAY FROM MACHINERY AND CONSTRUCTION OPERATIONS, AND CARE MUST BE TAKEN TO PROTECT THE TOPSOIL AS A VALUABLE COMMODITY. TOPSOIL MUST NOT BE STRIPPED DURING UNDESIRABLE WORKING CONDITIONS (E.G. DURING WET WEATHER OR WHEN SOILS ARE SATURATED). TOPSOIL SHALL NOT BE STORED IN SWALES OR IN AREAS WITH POOR DRAINAGE.

**SEEDING:**

- ALLOWABLE SEED MIXES ARE INCLUDED IN THE CITY OF COLORADO SPRINGS STORMWATER CONSTRUCTION MANUAL. ALTERNATIVE SEED MIXES ARE ACCEPTABLE IF INCLUDED IN AN APPROVED LANDSCAPING PLAN.
- SEED SHOULD BE DRILL-SEEDED WHENEVER POSSIBLE.
- SEED DEPTH MUST BE 3/8 TO 3/4 INCHES WHEN DRILL-SEEDED IS USED.
- BROADCAST SEEDING OR HYDRO-SEEDED WITH TACKLER MAY BE SUBSTITUTED ON SLOPES STEEPER THAN 3:1 OR ON OTHER AREAS NOT PRACTICAL TO DRILL SEED.
- SEEDING RATES MUST BE DOUBLED FOR BROADCAST SEEDING OR INCREASED BY 50% IF USING A BRILLON DRILL OR HYDRO-SEEDED.
- BROADCAST SEEDING MUST BE LIGHTLY HAND-RAKED INTO THE SOIL.

**MULCHING:**

- MULCHING SHOULD BE COMPLETED AS SOON AS PRACTICABLE AFTER SEEDING, HOWEVER PLANTED AREAS MUST BE MULCHED NO LATER THAN 14 DAYS AFTER PLANTING.
- MULCHING REQUIREMENTS INCLUDE:
  - HAY OR STRAW MULCH
  - ONLY CERTIFIED WEED-FREE AND CERTIFIED SEED-FREE MULCH MAY BE USED. MULCH MUST BE APPLIED AT 2 TONS/ACRE AND ADEQUATELY SECURED BY DRIVING AND/OR TACKLER.
  - CRIMPING MUST NOT BE USED ON SLOPES GREATER THAN 3:1 AND MULCH FIBERS MUST BE TUCKED INTO THE SOIL TO A DEPTH OF 2 TO 4 INCHES.
  - TACKLER MUST BE USED IN PLACE OF CRIMPING ON SLOPES STEEPER THAN 3:1.
- HYDRAULIC MULCHING
  - HYDRAULIC MULCHING IS AN OPTION ON STEEP SLOPES OR WHERE ACCESS IS LIMITED.
  - IF HYDRO-SEEDED IS USED, MULCHING MUST BE APPLIED AS A SEPARATE SECOND OPERATION.
  - WOOD CELLULOSE FIBERS MIXED WITH WATER MUST BE APPLIED AT A RATE OF 2,000 TO 2,500 POUNDS/ACRE, AND TACKLER MUST BE APPLIED AT A RATE OF 100 POUNDS/ACRE.
  - EROSION CONTROL BLANKET MAY BE USED IN PLACE OF TRADITIONAL MULCHING METHODS.

**USE:** SM

**SEEDING & MULCHING**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**SILT FENCE**

**J-HOOK INSTALLATION**

**SECTION A-A'**

**INSTALLATION NOTES:**

- SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-5' AWAY FROM TOE OF THE SLOPE TO ALLOW FOR PONDING AND DEPOSITION.
- COMPACT THE TRENCH USING A JAMPING JACK OR WHEEL ROLLING TO THE POINT THAT THE FENCE RESISTS BEING PULLED OUT OF THE GROUND BY HAND.
- SILT FENCE SHALL BE TAUT WITH NO SAGS AFTER IT HAS BEEN ANCHORED.
- FABRIC SHALL BE ATTACHED TO POSTS WITH 1" HEAVY DUTY STAPLES OR 1" NAILS. THESE SHOULD BE PLACED VERTICALLY DOWN THE POSTS 3" APART.
- USE A TRENCHER OR SILT FENCE INSTALLATION DEVICE.
- INSTALL SILT FENCE ALONG THE CONTOUR OF THE SLOPES OR IN A MANNER TO AVOID CREATING CONCENTRATED FLOW (SUCH AS A "J-HOOK" INSTALLATION).

**MAINTENANCE NOTES:**

- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- SEDIMENT ACCUMULATED IN BASIN SHALL BE REMOVED AS NEEDED TO MAINTAIN CONTROL MEASURE EFFECTIVENESS. TYPICALLY WHEN SEDIMENT DEPTH REACHES ONE FOOT (I.E. TWO FEET BELOW SPILLWAY CREST).
- SEDIMENT BASINS ARE TO REMAIN IN PLACE UNTIL THE UPSTREAM DISTURBED AREA IS PERMANENTLY STABILIZED.
- PERMANENTLY STABILIZE AREA AFTER SILT FENCE IS REMOVED.

**USE:** SF

**SILT FENCE**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**VEHICLE TRACKING**

**VEHICLE TRACKING NOTES**

**INSTALLATION REQUIREMENTS:**

- ALL ENTRANCES TO THE CONSTRUCTION SITE ARE TO BE STABILIZED PRIOR TO CONSTRUCTION EVENTS.
- CONSTRUCTION ENTRANCES ARE TO BE BUILT WITH AN APRON TO ALLOW FOR TURNING TRAFFIC, BUT SHOULD NOT BE BUILT OVER EXISTING PAVEMENT.
- AREAS TO BE STABILIZED ARE TO BE PROPERLY GRADED AND COMPACTED PRIOR TO LAYING DOWN GEOTEXTILE AND STONE.
- CONSTRUCTION ROADS, PARKING AREAS, LOADING/UNLOADING ZONES, STORAGE AREAS, AND STAGING AREAS ARE TO BE STABILIZED.
- CONSTRUCTION ROADS ARE TO BE BUILT TO CONFORM TO SITE GRADINGS, BUT SHOULD NOT HAVE SIDE SLOPES OR ROAD GRADES THAT ARE EXCESSIVELY STEEP.

**MAINTENANCE REQUIREMENTS:**

- REGULAR INSPECTIONS ARE TO BE MADE OF ALL STABILIZED AREAS, ESPECIALLY AFTER STORM EVENTS.
- STONES ARE TO BE REPLACED PERIODICALLY AND WHEN REPAIR IS NECESSARY.
- SEDIMENT TRACKED ONTO PAVED ROADS IS TO BE REMOVED ONLY BY BRUSHING OR BEEPING. SEDIMENT IS NOT TO BE WASHED DOWN STORM SEWER DRAINS.
- STORM SEWER INLET PROTECTION IS TO BE IN PLACE, INSPECTED, AND CLEANED IF NECESSARY.
- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO INSURE GOOD WORKING CONDITION.

**USE:** TSB

**TEMPORARY SEDIMENT BASIN**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**VEHICLE TRACKING**

**VEHICLE TRACKING NOTES**

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- OTHER ASSOCIATED SEDIMENT CONTROL MEASURES ARE TO BE INSPECTED TO INSURE GOOD WORKING CONDITION.

**USE:** SP

**TEMPORARY SEDIMENT BASIN**

City of Colorado Springs Stormwater Quality

APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354

**SHOTGUN NATIVE GRASS SEED MIX**

Mixture/Variety

- 20% Western Wheatgrass, Arriba
- 20% Big Bluestem, Kaw
- 10% Switchgrass, Blackwell
- 10% Green Needlegrass, Lodorn
- 10% Sidecoats Grama, El Reno
- 10% Little Bluestem, Camper
- 10% Prairie Sandreed, Goshen
- 10% Yellow Indiangrass, Cheyenne

City of Colorado Springs Stormwater Quality

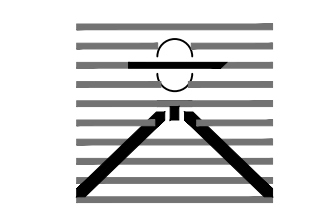
APPROVED: [Signature] DATE: 10/7/19

DESIGNED BY: SBN

FIGURE NO. 354



Know what's below.  
 Call before you dig.  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 101 SAWATCH STREET, #100  
 COLORADO SPGS, COLORADO 80903  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719) 260-0887  
 COLORADO SPRINGS • LAFAYETTE

CLIENT:  
 MIDCO INVESTMENTS, LLC  
 P.O. BOX 60069  
 COLORADO SPRINGS, CO 80960  
 CONTACT: ROBERT C. IRWIN  
 (719) 475-7474

CONSTRUCTION DOCUMENTS FOR:  
**HAVEN VALLEY**  
 (LETA DR.) BRADLEY RD/ALTURAS DR.  
 SECURITY, EL PASO COUNTY, COLORADO

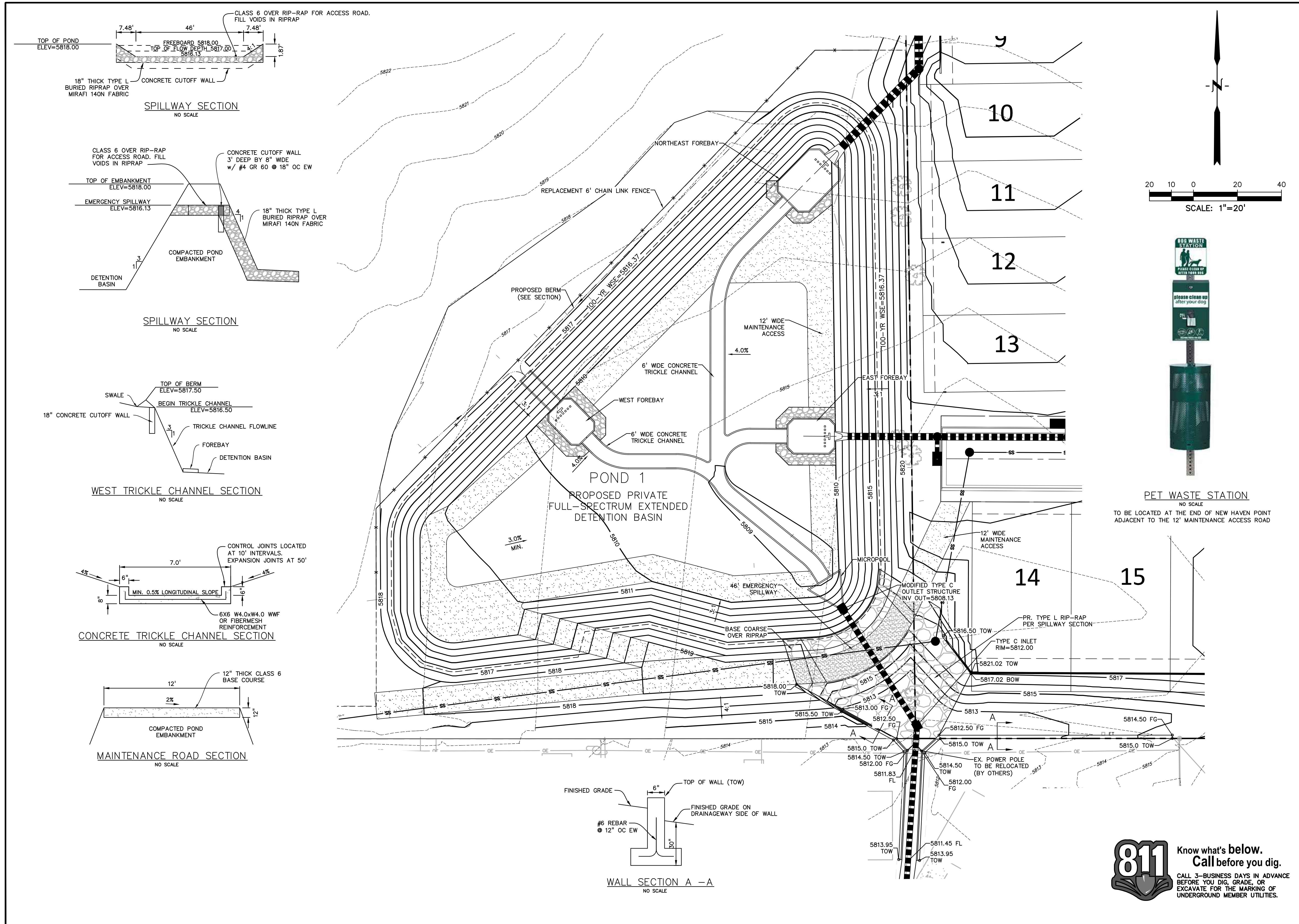
ISSUE	DATE
INITIAL ISSUE	3/15/22
LATEST ISSUE	7/29/24
DESIGNED BY:	TDM
DRAWN BY:	SNB
CHECKED BY:	TDM
FILE NAME:	21085-03PD01

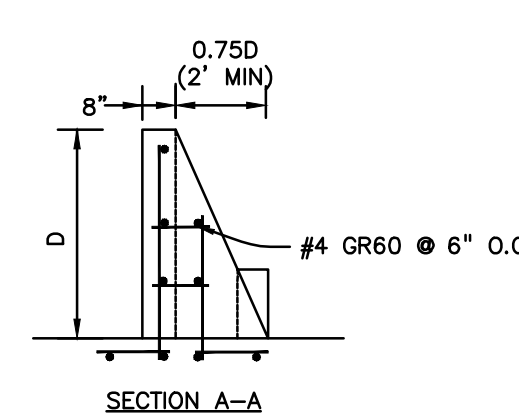
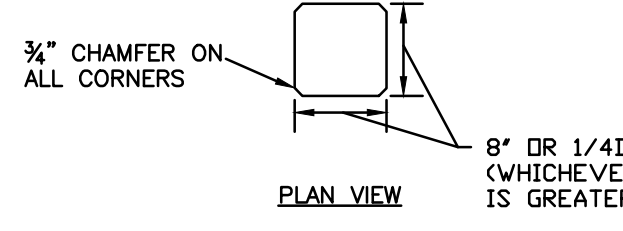
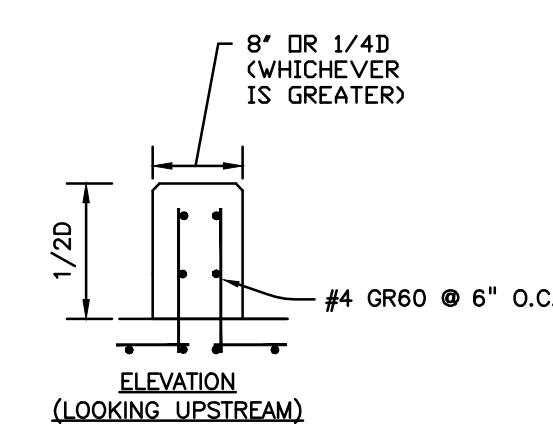
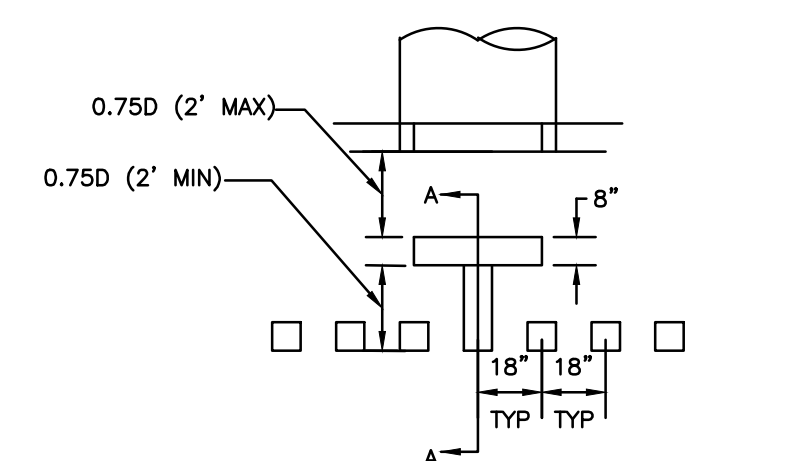


PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 50'  
 VERTICAL: N/A

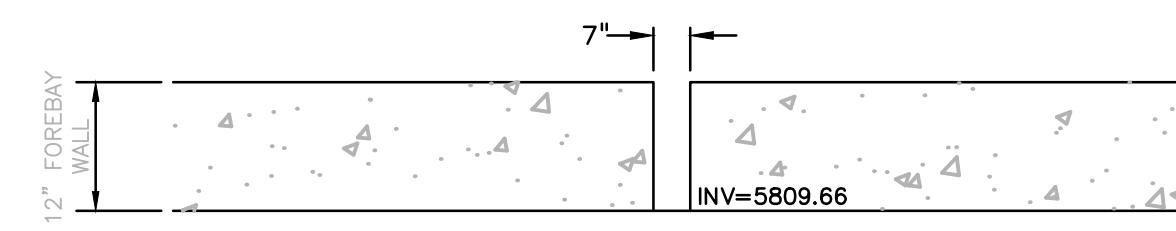
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 PROJECT NO. 21085-03CSCV  
 DRAWING NO.

**PD01**  
 SHEET: 50 OF 52

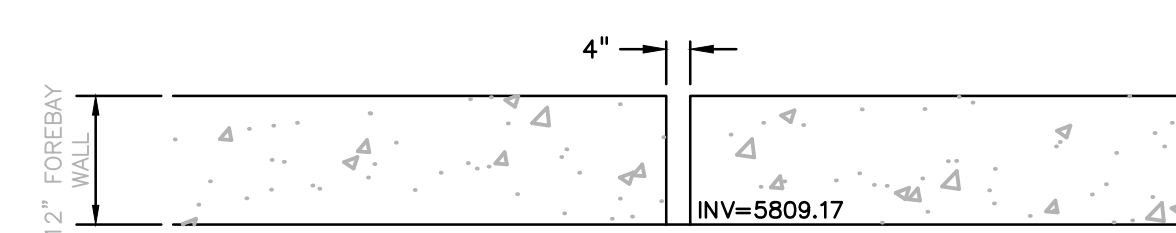




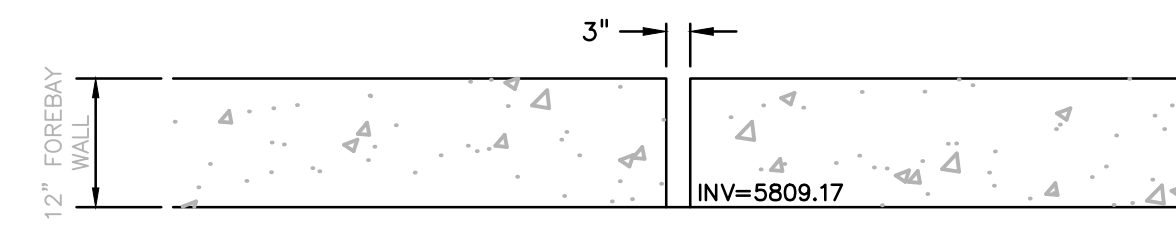
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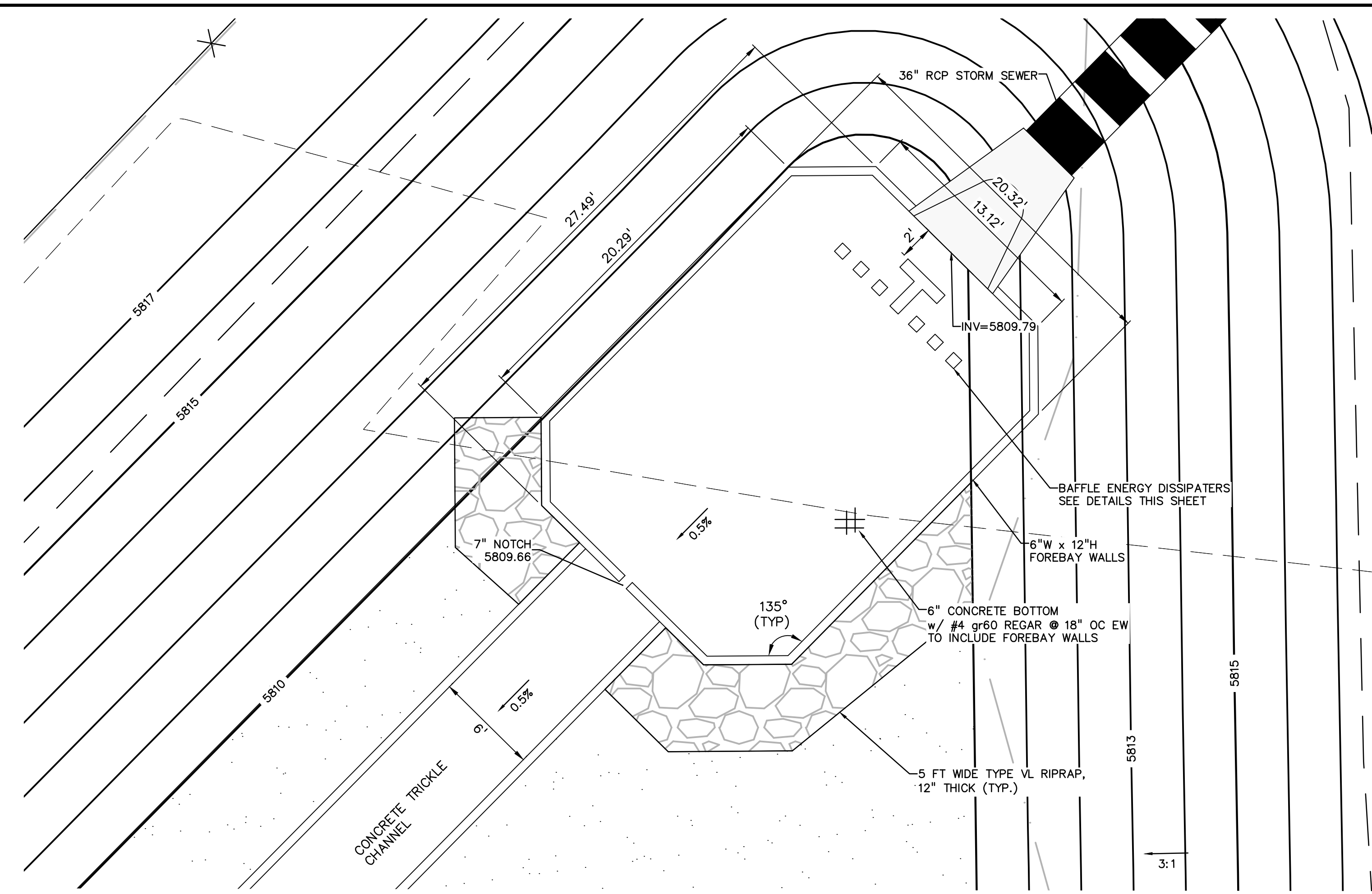
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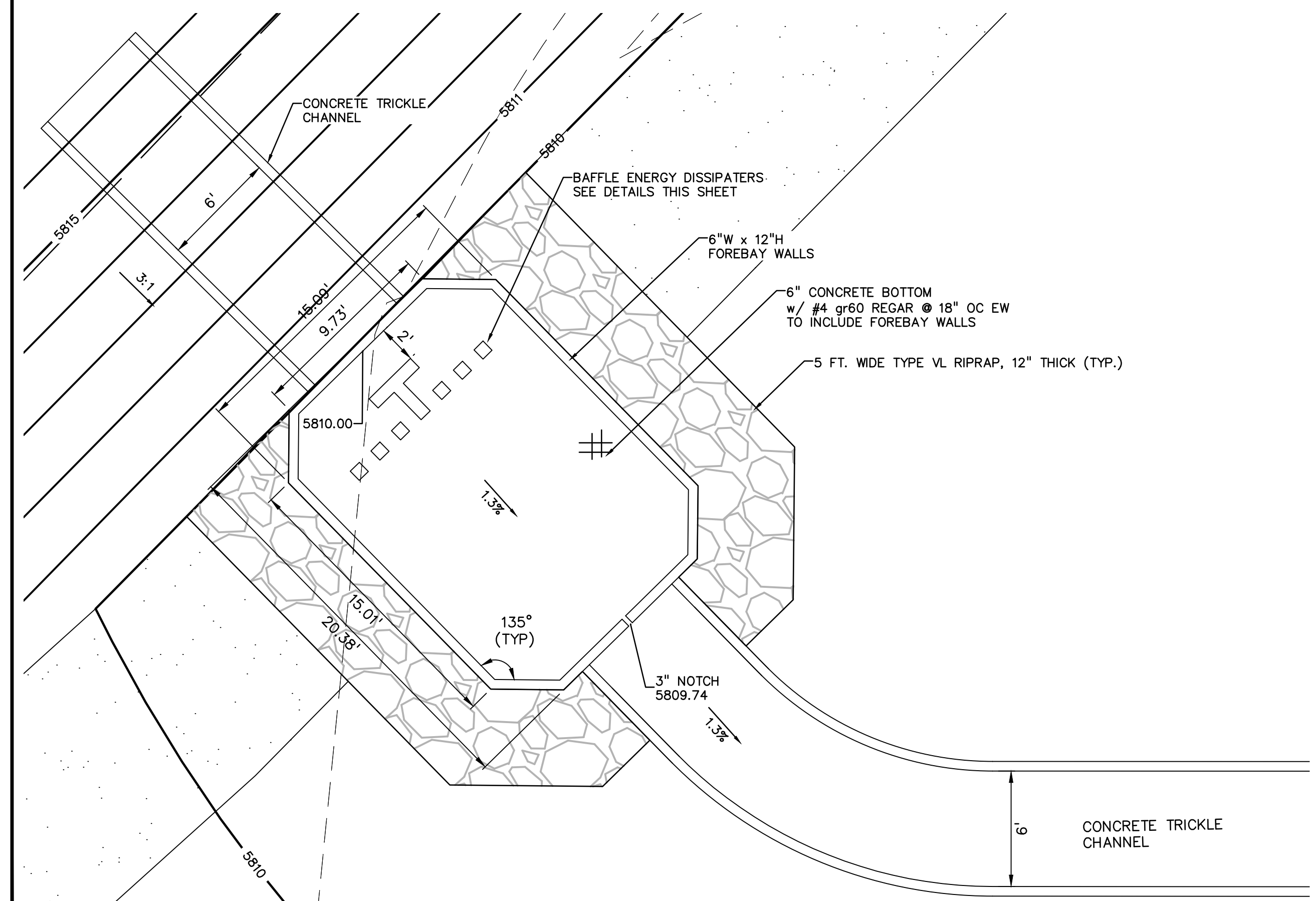
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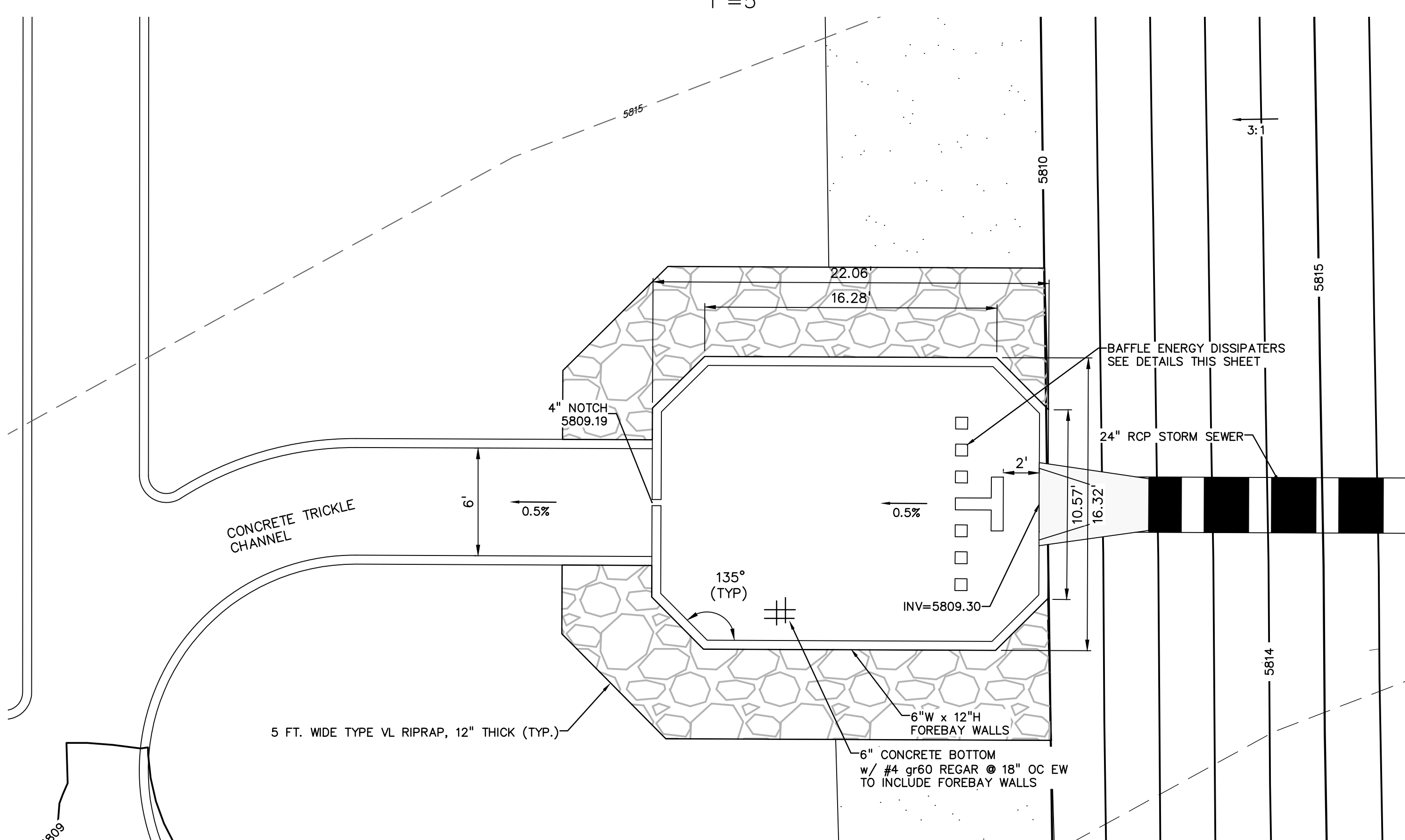
**WEST FOREBAY NOTCH**  
NO SCALE



**NORTHEAST FOREBAY**  
1"=5'



**WEST FOREBAY**  
1"=5'



**EAST FOREBAY**  
1"=5'

PREPARED BY:



CLIENT:

MIDCO INVESTMENTS, LLC

P.O. BOX 60069  
COLORADO SPRINGS, CO 80960  
CONTACT: ROBERT C. IRWIN  
(719) 475-7474

CONSTRUCTION DOCUMENTS FOR:

**HAVEN VALLEY**  
(LETA DR.) BRADLEY RD/ALTURAS DR.  
SECURITY, EL PASO COUNTY, COLORADO

ISSUE	DATE
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DRAWN BY: SBN  
CHECKED BY: TDM  
FILE NAME: 21085-03PD02



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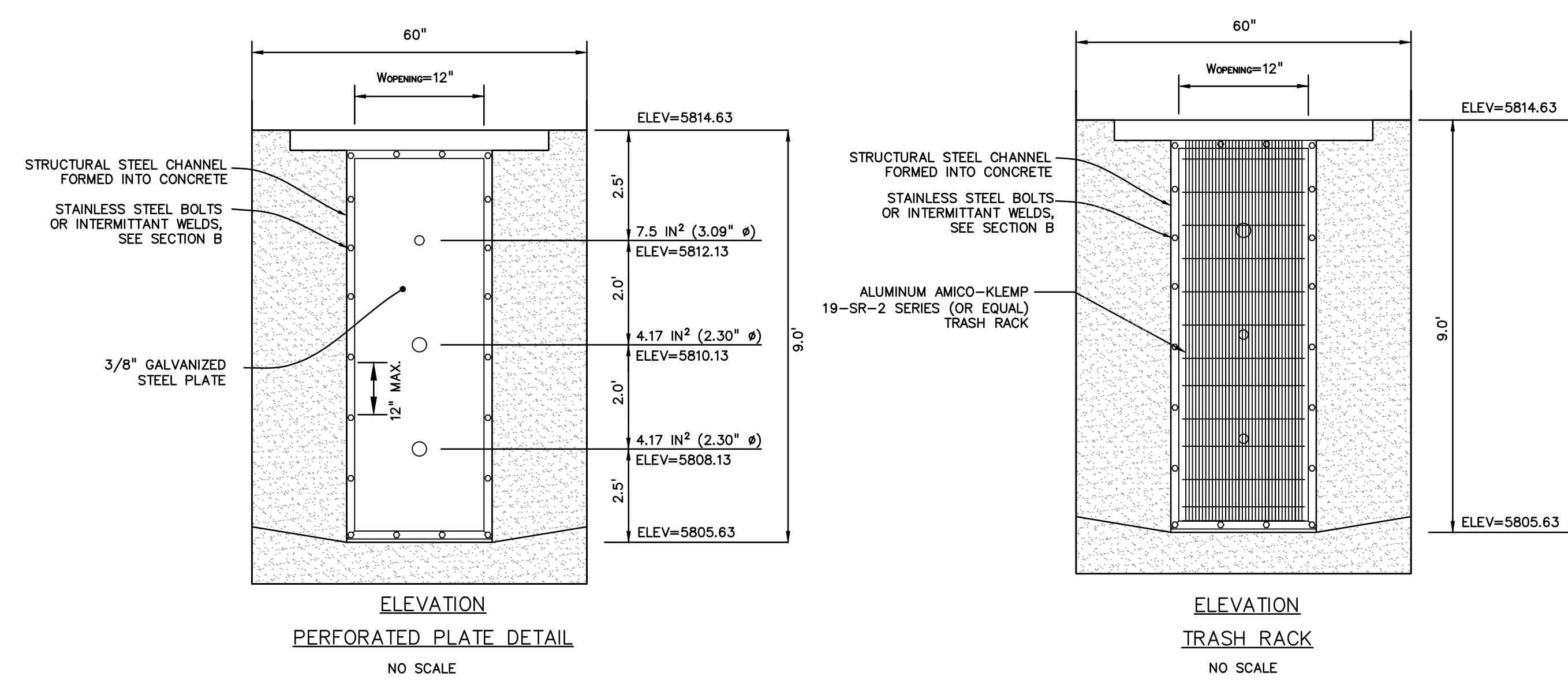
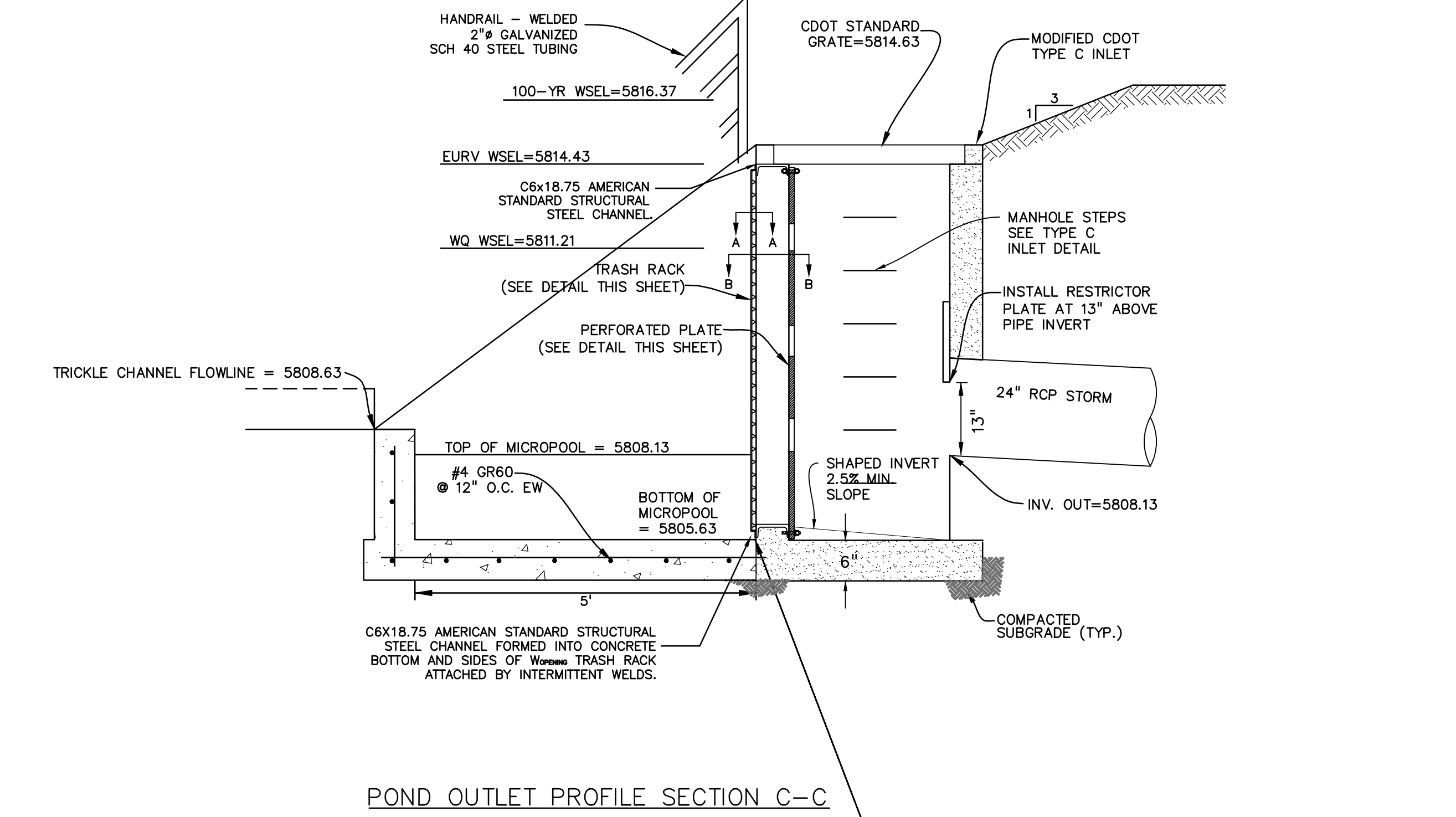
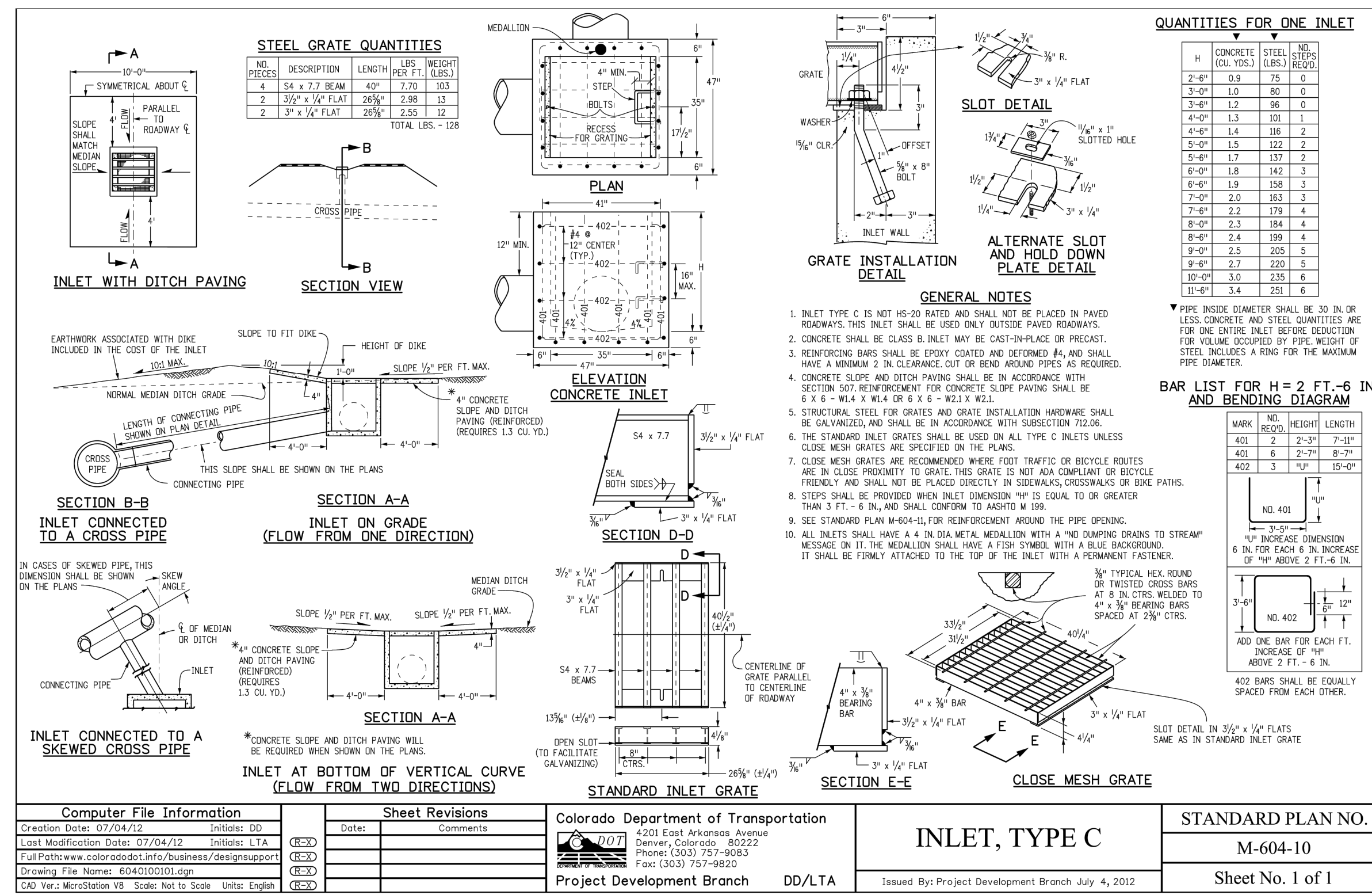
DRAWING SCALE:  
HORIZONTAL: 1" = 5'  
VERTICAL: N/A

**CONCRETE FOREBAY DETAILS**

PROJECT NO. 21085-03CSCV  
DRAWING NO.

**PD02**

SHEET: 51 OF 52



**PERFORATED PLATE NOTES:**

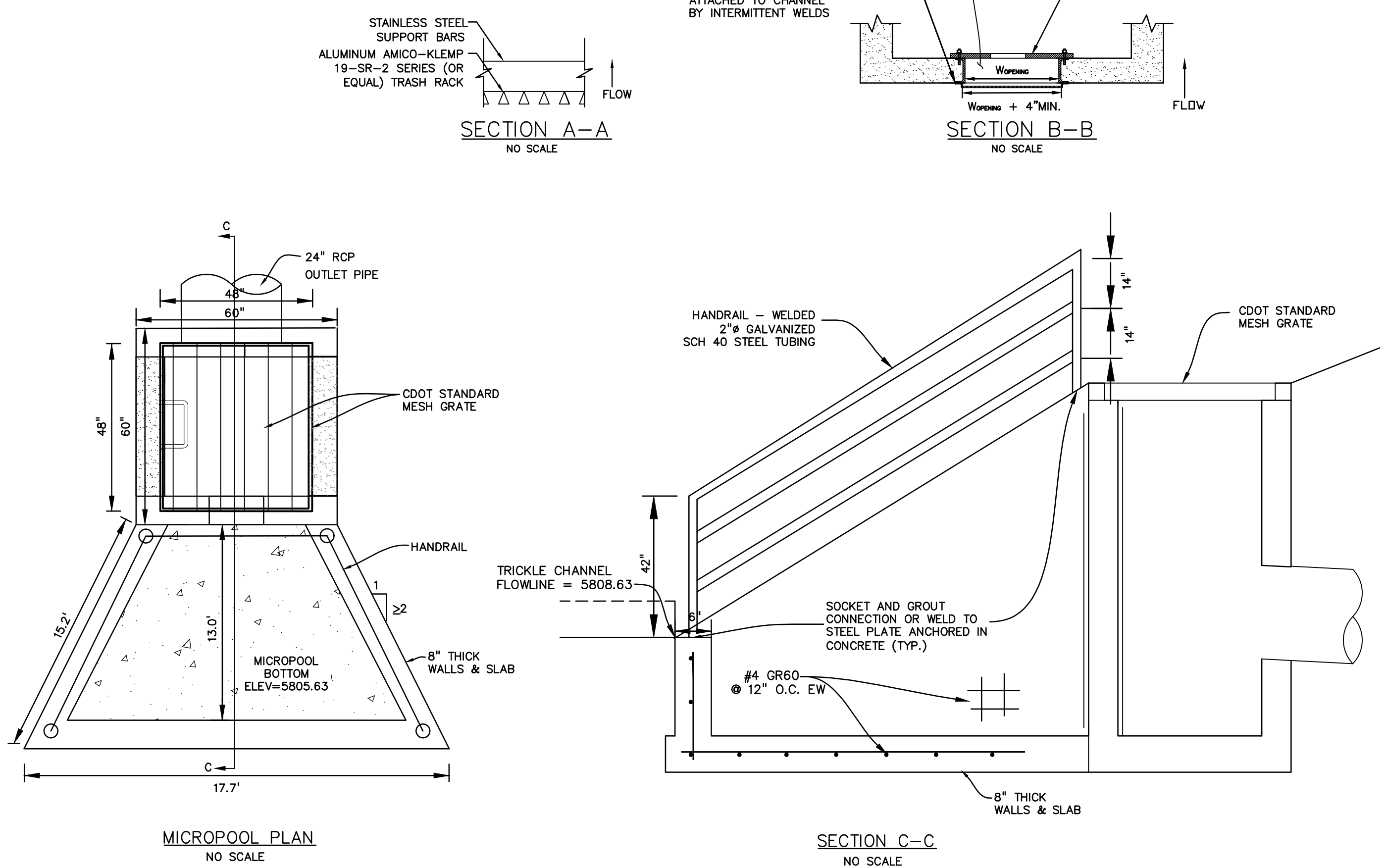
1. PROVIDE GASKET MATERIAL OR GROUT BETWEEN THE ORIFICE PLATE AND CONCRETE.
2. BOLT PLATE TO CONCRETE 12" MAX. ON CENTER. ORIFICE PLATE IS TO BE REMOVABLE.
3. ALL STEEL SURFACES ARE TO BE COATED WITH ZRC COLD GALVANIZING COMPOUND.

**WOCV TRASH RACKS:**

1. TRASH RACKS SHALL BE STAINLESS STEEL OR ALUMINUM AND SHALL BE ATTACHED BY INTERMITTENT WELDS ALONG THE EDGE OF THE MOUNTING FRAME.

**GENERAL NOTES:**

1. ALL EXTERIOR STEEL SHALL BE EITHER STAINLESS OR HOT DIPPED GALVANIZED



**PREPARED BY:**  
  
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ISSUE	DATE
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 DRAWN BY: SBN  
 CHECKED BY: TDM  
 FILE NAME: 21085-03P003

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A  
**POND OUTLET STRUCTURE DETAILS**  
 PROJECT NO. 21085-03CSCV  
 DRAWING NO.