

PIKES VISTA

LEGAL DESCRIPTION

A parcel of land being that portion of the Southeast One-Quarter of the Southwest One-Quarter of Section 07, Township 13 South, Range 65 West of the 6th P.M., situate in the City of Colorado Springs, El Paso County, Colorado, described as follows:
 Lot 15 A A Subdivision
 Containing 5.9 acres, more or less.

PROJECT STATEMENT:

Pikes Vista is a residential community of forty-five (45) homes on 5.89 acres. Landscaped common areas, and visitor parking is provided.

GENERAL NOTES:

- FEDERAL EMERGENCY MANAGEMENT AGENCY, Flood Insurance Rate Map Number 08041C0537 G, effective date December 7, 2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year flood plain).
- The tract adjacent to Vickie Lane at the south of the property is for drainage, landscaping and open space with ownership and maintenance of the surface and street improvements being vested in the Pikes Vista Owners Association.
- Unified Control Statement - All access driveways, drives, aisleways, maneuvering and parking areas, and easements that are not located on platted lots shall be for the common use and maintenance of all users, public or private, and owners of this development, as stipulated and created by separate document by the Declaration of Covenants, Conditions and Restrictions for:
 PIKES VISTA ("CC&Rs" - Reception No. _____)
 and/or the PIKES VISTA Owners Association (Reception No. _____).
- Parking will not be allowed on internal drives. Visitor parking is provided in designated parking areas only.
- Covered porches, decks and balconies may not extend or project into required front, rear or side setbacks. Uncovered structures not exceeding eighteen inches (18") in height, may project into front, rear & side setbacks. Please also note that any encroachments into the stated setbacks may require additional Planning entitlement applications like a non-use variance on a case-by-case basis.
- Proposed asphalt will tie into the existing asphalt.
- Light standard: all lighting shall be arranged to reflect away from adjoining properties and public rights-of-way, and shall be shielded to contain all direct rays of light on the site. Light levels from the project shall not exceed 1.5 foot-candles, as measured along the property line. Minimum light will exist after 10:00 p.m. All street lights or public lights are to be full cut off fixtures with no sag lens per city code.
- Financial assurances will be provided prior to platting as defined out in the fiscal impact analysis agreement. shall be shielded to contain all direct rays of light on the site. Light levels from the project shall not exceed 1.5
- Refer to civil plans for detailed information on grading, drainage, water quality ponds, and retaining walls.
- Refer to landscape plans for detailed information on planting, irrigation, and fencing.
- Public improvements and utilities to be included within Pikes Vista include new roadways, water lines and connections, wastewater services, landscaping, temporary water quality facilities, and sidewalks.
- The owner of record is responsible for maintenance of the common areas, landscaping, fencing and private street.
- The installation of all fencing shown shall be the responsibility of the developer.
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by the City of Colorado Springs does not assure compliance with the ADA or any other Federal or State accessibility laws or any regulations or guidelines enacted or promulgated under or with respect to such laws. Sole responsibility for compliance with Federal and State accessibility laws lies with the property owner.
- The avigation easement dedicated herein for public avigation purposes, shall be considered a public easement subject to those terms and conditions as specified on the instrument recorded at reception no. 217069667 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.

EASEMENTS / TRACT TABLE

On the north side of the property, there is a 20' Utility and Drainage easement which runs for 196' (plat book W-2, page 94). There is a 10' Utility and Drainage easement on the property's east side, adjacent to Lot 14 (plat book W-2, page 94). Adjacent to Vickie Lane on the southeast property line, there is a platted, 8' Equestrian Easement, 189' in length. Just north of this, there is a 10' Utility and Drainage easement (plat book W-2, page 94) that continues along the southwest of the property parallel to that property line. Parallel to Templeton Gap Road along the northwest property line, there is a 10' easement for road purposes (plat book W-2, page 94), 441' in length. Beyond that, into the property, there is an 8' Equestrian Easement, (plat book W-2, page 94), 441' in length.
 There is a 42' Utility Tract / Open Space at the southeast corner of the property, covering approx. 22,730 square feet.

SHEET INDEX

- DEVELOPMENT PLAN COVER
- PRELIMINARY SITE PLAN
- PRELIMINARY GRADING PLAN
- PRELIMINARY UTILITY PLAN
- PRELIMINARY ROADWAY PLAN & PROFILES
- PRELIMINARY LANDSCAPE PLAN
- LANDSCAPE DETAILS
- DUPLEX 3 1829/1500 ELEVATIONS
- DUPLEX 3 1829/1650 ELEVATIONS
- DUPLEX 3 1500/1650 ELEVATIONS

SHEET

- SHEET 1
- SHEET 2
- SHEET 3
- SHEET 4
- SHEET 5
- SHEET 6
- SHEET 7
- SHEET 8
- SHEET 9
- SHEET 10

SITE DATA

LOCATION: TEMPLETON GAP ROAD
TAX STATUS: TAXABLE
ZONING: PUD ("SMALL LOT" - 7.3.607 - STREET ORIENTED UNITS)
PLAT NO.: 3965
AREA: 5.89 ACRES
EXISTING USE: VACANT
PROPOSED USE: SINGLE-FAMILY DWELLINGS (AS SMALL LOT PUD)
PROPOSED DENSITY: 7.64 DU / ACRE (GROSS), 12.57 DU/AC (NET)
MINIMUM LOT AREA: 2,610 SQUARE FEET
MINIMUM WIDTH: 30 FEET
LOT COVERAGE (BUILDINGS): 51,182 SQUARE FEET (20%)
LOT COVERAGE (IMPERVIOUS): 141,638 SQUARE FEET (55%)
TAX SCHEDULE NUMBER: 5307002015
CULTURAL RESOURCES: No significant features located on this site.
SCHEDULE OF DEVELOPMENT: August 1, 2022
MAXIMUM ALLOWABLE BUILDING HEIGHT: 40'
PROPOSED BUILDING HEIGHT: 30'
SETBACKS FOR SMALL LOT PUD
 Maximum Lot Coverage: 70%
 Front yard: Twenty (20) feet
 Side yard: Five (5) feet
 Rear yard: Fifteen (15) feet
PARKING (REQUIRED) per City Code 7.4.203:
 2 per dwelling unit - 90
PARKING (PROPOSED):
 Garage - 45 Common Spaces - 13
 Guests - 45
 Total - 103
PARKING SPACE DIMENSIONS:
 9' x 18' (STANDARD)
OWNER NAME AND ADDRESS:
 GERHARD SWART
 4225 BASSWOOD DRIVE
 COLORADO SPRINGS, COLORADO 80920
DEVELOPER:
 CALCULUS STABILUS CORP
 4225 BASSWOOD DRIVE
 COLORADO SPRINGS, COLORADO 80920
 PHONE: (719) 492-7154
 EMAIL: gerhard@periculumgroup.com
APPLICANT/DESIGNER:
 WILLIAM GUMAN & ASSOC., LTD.
 731 N. WEBER STREET
 COLORADO SPRINGS, COLORADO 80903
 PHONE: (719) 633-9700
 EMAIL: bill@guman.net
ENGINEER:
 RESPEC
 121 S. TEJON STREET
 SUITE 1110
 COLORADO SPRINGS, COLORADO 80903
 PHONE: (719) 283-7672
 EMAIL: RICHARDGALLEGOS@RESPEC.COM

VICINITY MAP

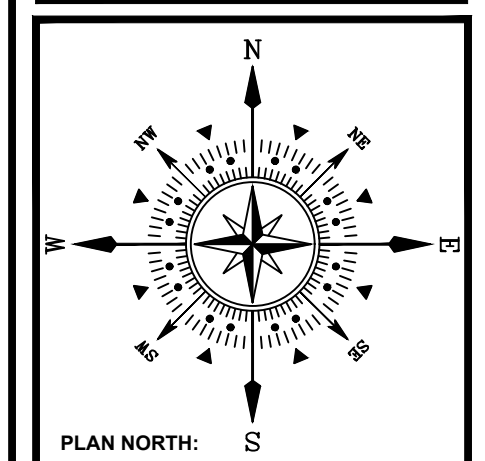


CITY APPROVAL



William Guman & Associates, Ltd.
 LANDSCAPE ARCHITECTURE
 731 North Weber Street
 Colorado Springs, CO 80903
 (719) 633-9700
 www.GumanLtd.com
 bill@guman.net

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PIKES VISTA
6685 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923
SMALL LOT PLANNED UNIT DEVELOPMENT DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE:	09/20/2021
DESIGNED:	WFG
CHECKED:	GEM

REVISIONS:	DATE:	BY:	DESCRIPTION:

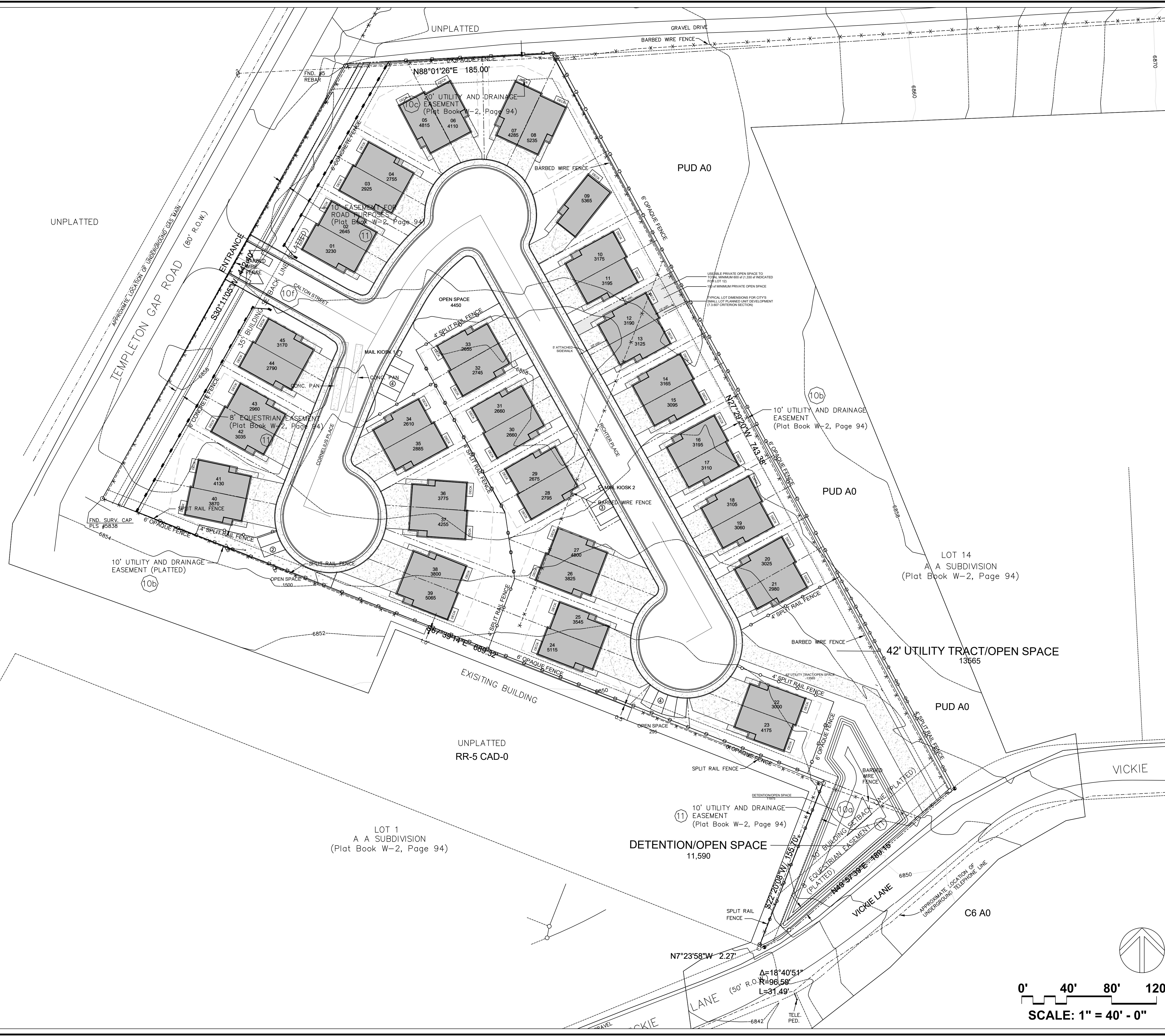
PLAN SCALE: 1" = 60' (OR AS NOTED ON PLAN)

SHEET TITLE:
DEVELOPMENT PLAN COVER

SHEET NO.
1
 1 of 10 SHEETS

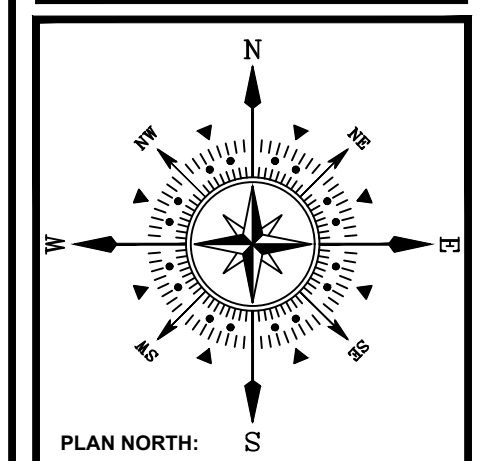
FILE NO.
 FILE#

PARCEL DATA (45 LOT YIELD)		
PARCEL ACREAGE:	5.89 AC	256,568 SF
GROSS DUA/AC:		7.64 DUA/AC
LOT AREA: (45 LOTS)	3.58AC	155,780 SF
NET DUA/AC:		12.57 DUA/AC
AVERAGE LOT SIZE:		3,462SF
OPEN SPACE/RETENTION:		31,490 SF
STREET R.O.W./PARKING:		69,298 SF
LOT DATA:		
LOT NO.:	LOT SIZE:	USEABLE PRIVATE O.S.
01	3230 sf	1265 sf
02	2645 sf	910 sf
03	2925 sf	990 sf
04	2755 sf	1040 sf
05	4815 sf	3075 sf
06	4110 sf	2270 sf
07	4285 sf	2510 sf
08	5235 sf	3425 sf
09	5365 sf	3005 sf
10	3175 sf	1335 sf
11	3195 sf	1425 sf
12	3190 sf	1330 sf
13	3125 sf	1390 sf
14	3165 sf	1375 sf
15	3095 sf	1365 sf
16	3195 sf	1410 sf
17	3110 sf	1355 sf
18	3105 sf	1265 sf
19	3060 sf	1275 sf
20	3025 sf	1250 sf
21	2980 sf	1215 sf
22	3000 sf	1110 sf
23	4175 sf	1995 sf
24	5115 sf	2840 sf
25	3545 sf	1675 sf
26	3825 sf	1375 sf
27	4800 sf	2415 sf
28	2795 sf	995 sf
29	2675 sf	955 sf
30	2660 sf	870 sf
31	2660 sf	965 sf
32	2745 sf	1110 sf
33	2655 sf	935 sf
34	2610 sf	790 sf
35	2885 sf	975 sf
36	3775 sf	2000 sf
37	4255 sf	2405 sf
38	3800 sf	1760 sf
39	5065 sf	2860 sf
40	3870 sf	1890 sf
41	4130 sf	2160 sf
42	3035 sf	1185 sf
43	2960 sf	1115 sf
44	2730 sf	895 sf
45	3170 sf	1370 sf



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 731 North Weber Street
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PIKES VISTA
6685 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923
SMALL LOT PLANNED UNIT DEVELOPMENT
DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE:	09/20/2021
DESIGNED:	WFG
CHECKED:	GEM

REVISIONS:	DATE:	BY:	DESCRIPTION:

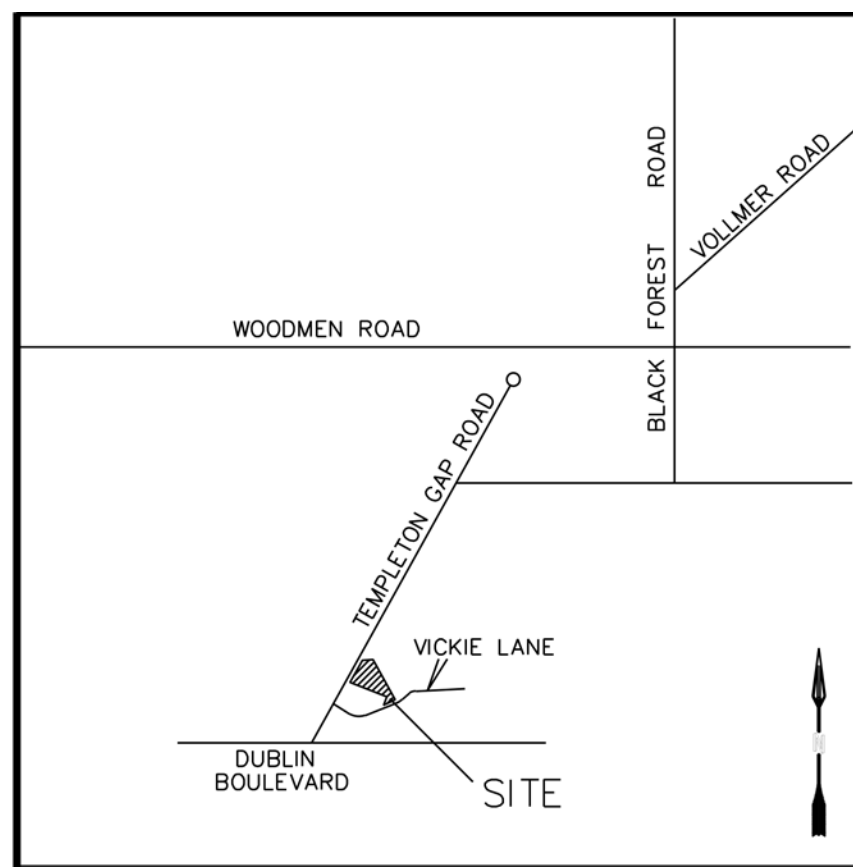
PLAN SCALE: 1" = 40' (OR AS NOTED ON PLAN)

SHEET TITLE:
PRELIMINARY SITE PLAN

SHEET NO.
2
 2 OF 10 SHEETS

FILE NO.
 FILE#

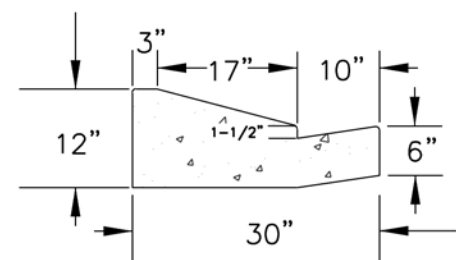
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 PLOT DATE: September 1, 2021 11:13 AM, BY: REBECCA MCCONNELL



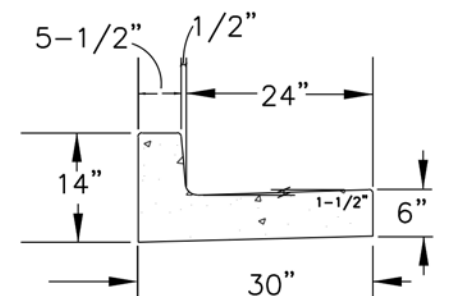
VICINITY MAP
NOT TO SCALE

SPOT ELEVATION SYMBOLS

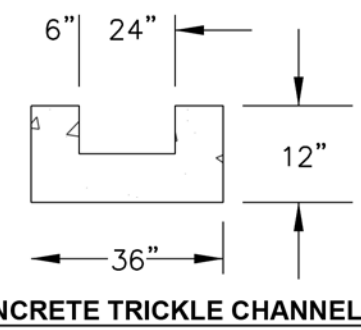
- ALL SPOT ELEVATIONS ARE AT FLOWLINE UNLESS OTHERWISE NOTED IN THE PLANS.
 - FF 24.95 FINISHED FLOOR ELEVATION
 - TW 24.24 TOP OF RETAINING WALL ELEVATION
 - BW 24.24 BOTTOM OF RETAINING WALL ELEVATION



TYP. TYPE 5 CURB AND GUTTER

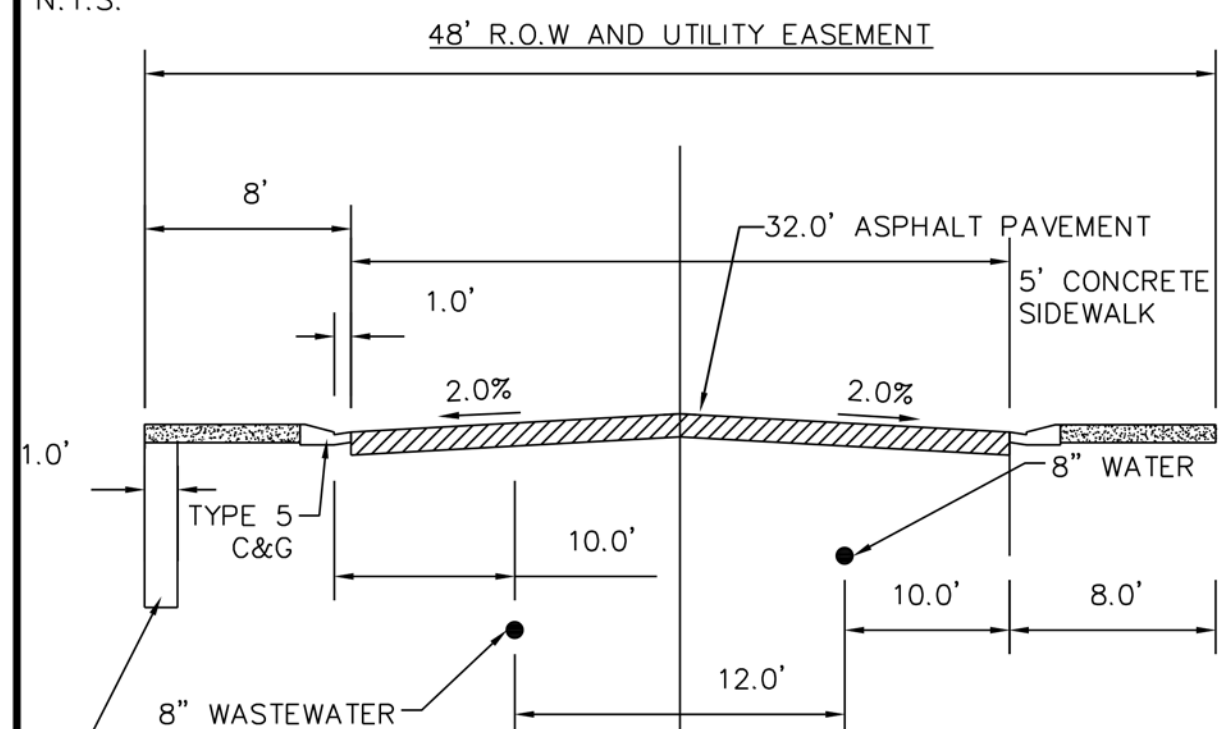


TYP. TYPE 1 CURB AND GUTTER

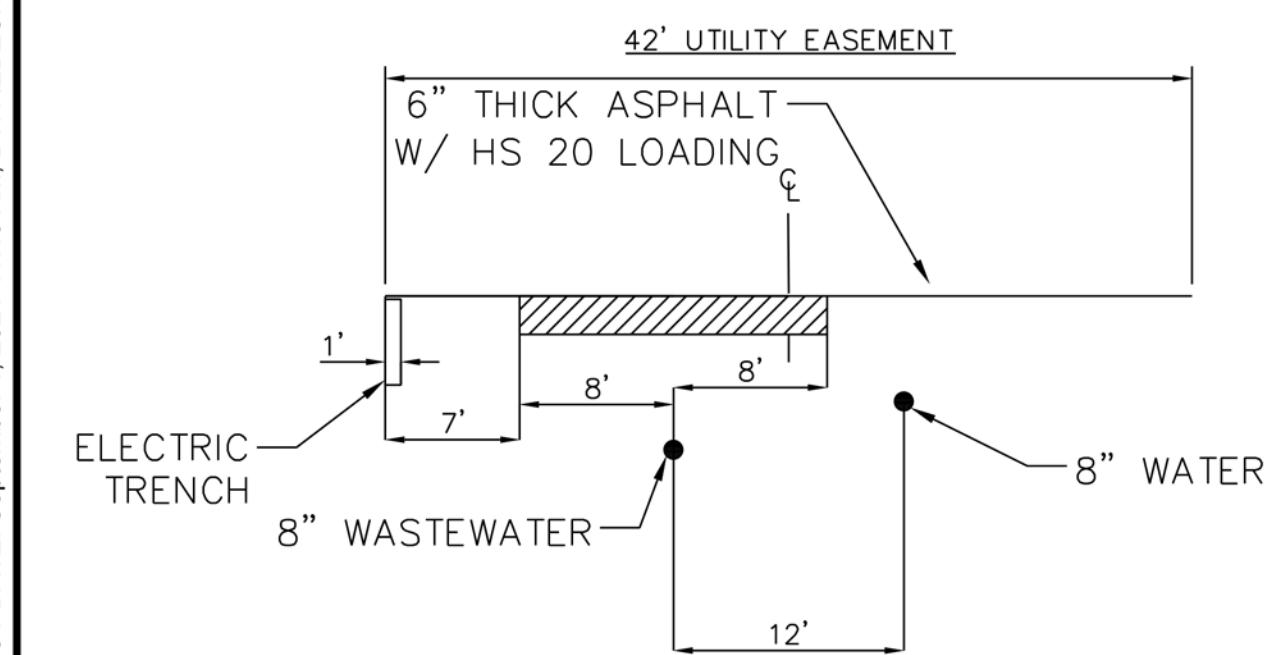


CONCRETE TRICKLE CHANNEL

TYPICAL 48' R.O.W AND UTILITY EASEMENT
N.T.S.



TYPICAL 42' UTILITY EASEMENT
N.T.S.



BENCHMARKS

XXXXXX

NOTES

- CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL EXISTING DRY AND WET UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY ISSUES. UTILITY RELOCATION MAY BE REQUIRED.
- FINISH GRADE OF SOIL EDGES ALONG PAVEMENT TO BE 1/2" BELOW EDGE OF PAVEMENT.
- STRIP AND STOCKPILE TOPSOIL FROM GRADING AREAS. USE STOCKPILED TOPSOIL AND IMPORTED TOPSOIL AS NECESSARY FOR SURFACE RESTORATION.
- GRADES SHOWN ARE FINAL SURFACE GRADES AFTER COMPLETION OF SURFACE IMPROVEMENTS AND PLACEMENT OF TOPSOIL.
- GRADE AREAS AT SITE PERIMETER TO MATCH GRADES OF ADJACENT PARCELS.
- REMOVE EXCESS SOIL FROM SITE AND DISPOSE OF PROPERLY IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- PROVIDE TEMPORARY GRADING FEATURES SUCH AS BERMS, SWALES, SUMPS AND BASINS TO MANAGE INTERIM STORM WATER RUNOFF DURING CONSTRUCTION PROCESS. STORM WATER RUNOFF LEAVING THE SITE SHALL MEET ALL FEDERAL, STATE AND LOCAL QUALITY REQUIREMENTS.
- ALL DISTURBED AREAS TO BE RE-SEEDDED OR LANDSCAPE PER LANDSCAPE PLAN PROVIDED BY OTHERS.

LEGEND

- 7290 PROPOSED MAJOR CONTOUR
- 7291 PROPOSED MINOR CONTOUR
- 7290 EXISTING MAJOR CONTOUR
- 7291 EXISTING MINOR CONTOUR
- 2.0% PROPOSED SLOPE ARROW
- EXISTING EASEMENT
- PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED WATER LINE
- PROPOSED SANITARY SEWER
- PROPOSED SWALE
- PROPOSED STORM SEWER
- EXISTING HYDRANT
- PROPOSED HYDRANT
- EXISTING COM. PEDISTAL
- EXISTING SIGN

DESIGNED	DRAWN	CHECKED	DATE
RESPEC (FORMERLY ADP)	121 S. TEJON ST	SUITE 1110	COLORADO SPRINGS, CO 80903
			PHONE (719) 266-5212

STAMP

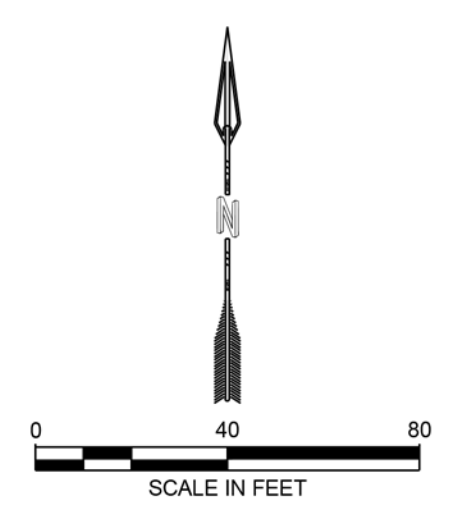
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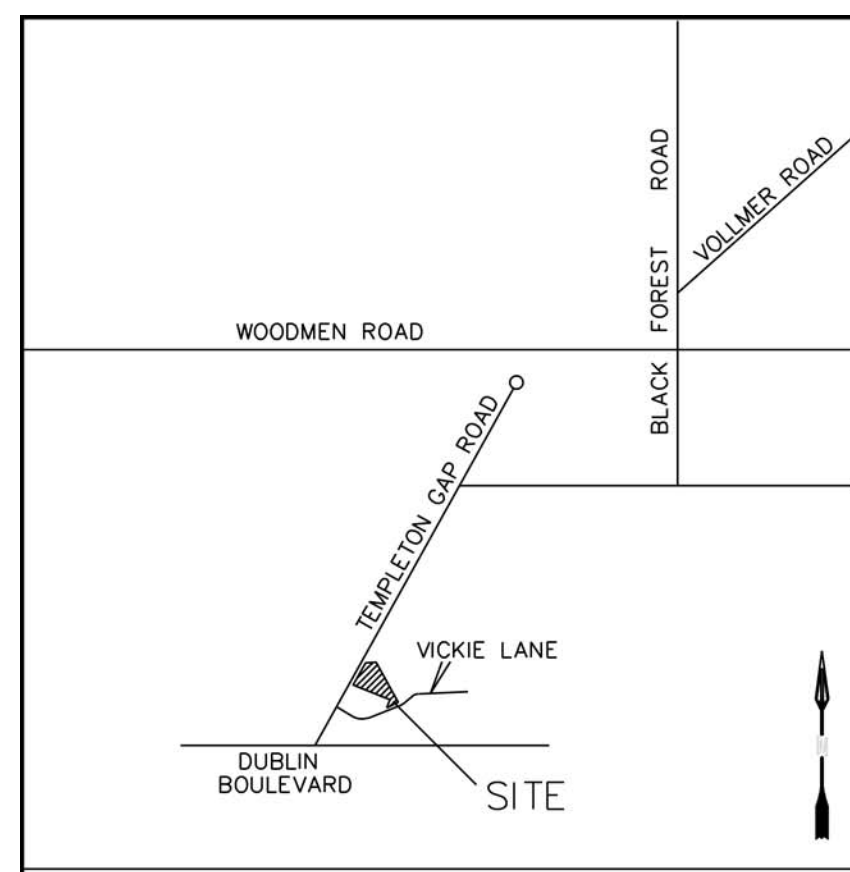
CALCULUS STABILIS CORP.
6685 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923

PIKES VISTA
SUBDIVISION

PRELIMINARY GRADING
PLAN

DRAWING NUMBER:
C
SHEET 3 OF 10





VICINITY MAP

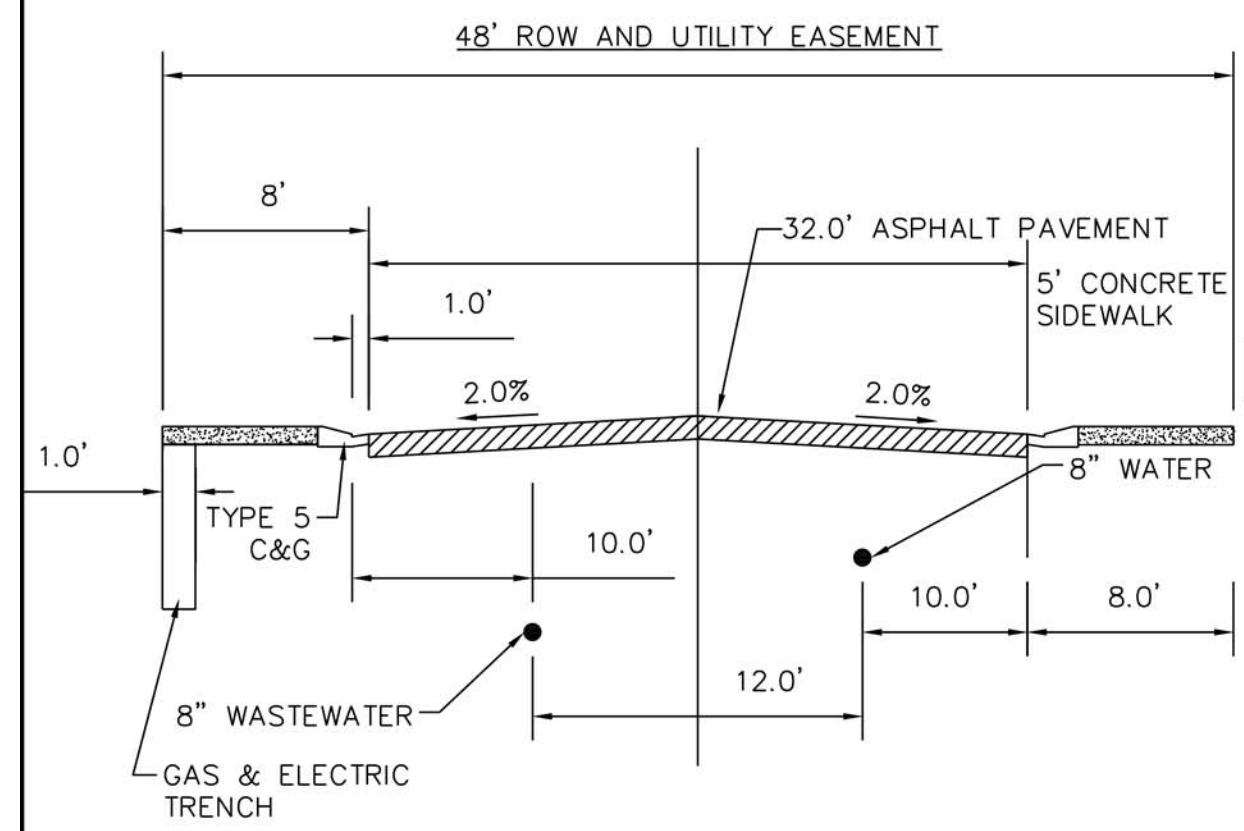
NOT TO SCALE

BUILDING DATA

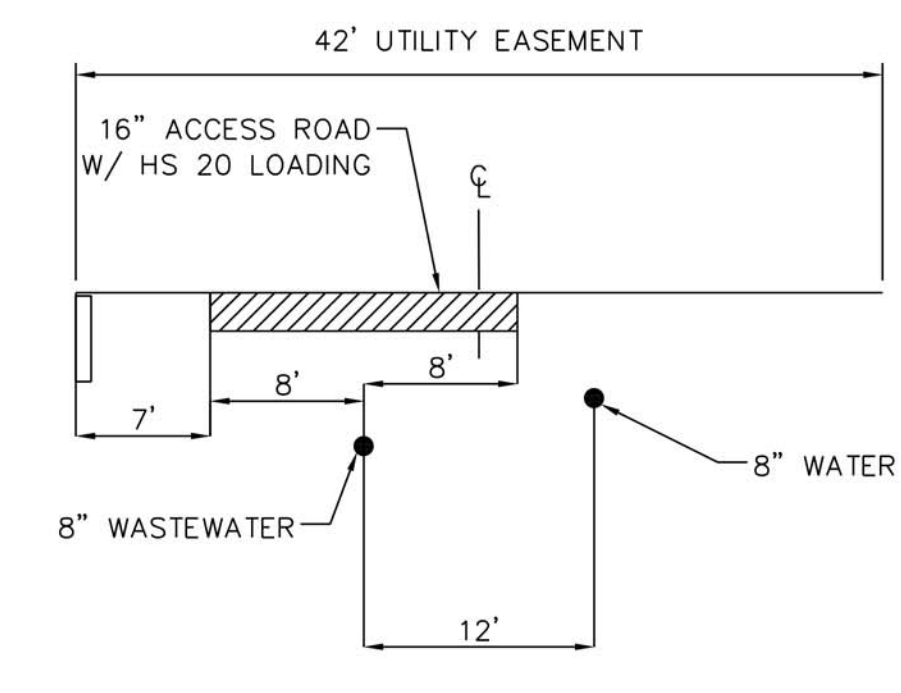
PIKES VISTA SUBDIVISION	
BUILDING TYPE	V-B
SQUARE FOOTAGE	3300
SPRINKLED	NO
FH REQ'D	1
FIRE FLOW REQ'D	1500
FIRE FLOW PROV'D	3
FLOW DURATION	2
FH SPACING	500
HOSE LAY	250
AREA SEPERATION WALL	NO

PROPERTY OWNER(S) ACKNOWLEDGE AND AGREE TO THE FOLLOWING UPON APPROVAL OF PRELIMINARY UTILITY PLAN:

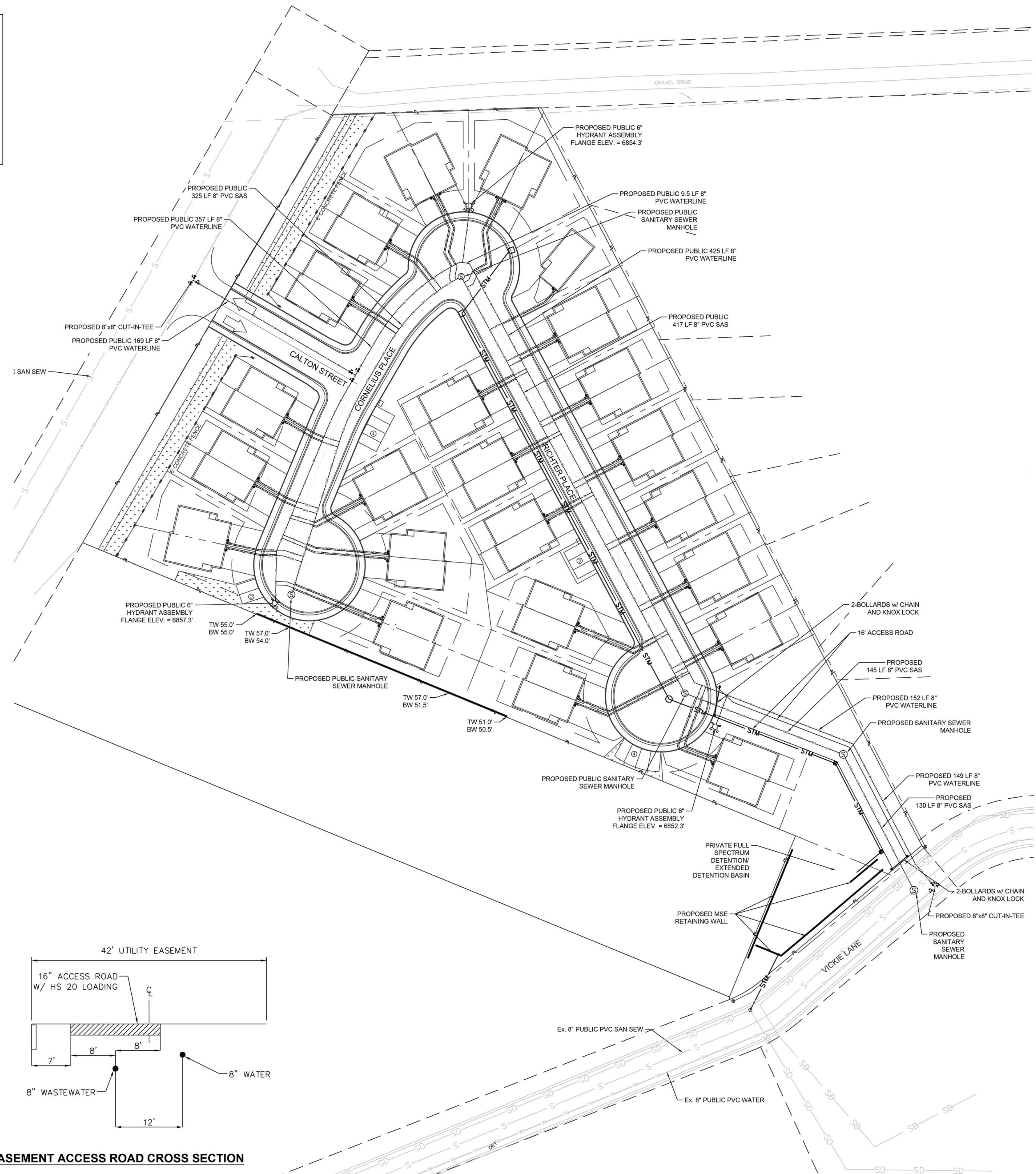
- COLORADO SPRINGS UTILITIES SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF ALL WATER, WASTEWATER, ELECTRIC AND GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THE PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ACKNOWLEDGE THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, COLORADO SPRINGS CITY CODE, RESOLUTIONS AND POLICIES AND PIKES PEAK REGIONAL BUILDING DEVELOPMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL WATER SYSTEMS, WASTEWATER COLLECTION SYSTEMS, AND ANY GAS OR ELECTRIC LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN THE UTILITIES RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATION OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATIONS REQUIRES NEW OR UPDATED EASEMENTS, THE OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENT THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- THE WATER SYSTEM FACILITIES MUST MEET SPRINGS UTILITIES CRITERIA FOR WATER QUALITY, RELIABILITY AND PRESSURE, INCLUDING LOOPING REQUIREMENTS (SEE SPRINGS UTILITIES LINE EXTENSION AND SERVICE STANDARDS).
- OWNER RECOGNIZES THAT THE EXTENSION OF WATER SYSTEM FACILITIES MAY AFFECT THE QUALITY OF WATER IN SPRINGS UTILITIES WATER SYSTEM. WHEN WATER QUALITY IS AFFECTED, OWNER ACKNOWLEDGES RESPONSIBILITY FOR ANY COSTS THAT SPRINGS UTILITIES DETERMINES NECESSARY IN ORDER TO MAINTAIN WATER QUALITY IN ITS SYSTEM AS A RESULT OF OWNER'S WATER SYSTEM EXTENSIONS. OWNER MAY NOT BE REQUIRED TO SUBMIT A WATER QUALITY PLAN FOR THE PROJECT.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS AND ELECTRIC METERS AND TRANSFORMERS AND TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS-OF-WAYS WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODES, THEN THE STANDARDS OR THE CITY CODES SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF COLORADO SPRINGS OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.



TYPICAL 48' STREET SECTION
N.T.S.



TYPICAL 42' EASEMENT ACCESS ROAD CROSS SECTION
N.T.S.



BENCHMARKS

- XXXX

LEGEND

- EXISTING EASEMENT
- - - - - PROPERTY LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- PROPOSED WATER LINE
- SAS-SAS-SAS PROPOSED SANITARY SEWER
- EXISTING FENCE
- LOT LINE
- G --- EXISTING GAS
- EXISTING TELEPHONE LINE
- PROPOSED WATER VALVE
- STM --- PROPOSED UTILITY MANHOLE
- EXISTING UTILITY MANHOLE
- EXISTING POLE ANCHOR
- PROPOSED HYDRANT
- PROPOSED DOUBLE CLEANOUT
- PROPOSED GAS & WATER METER
- LANDSCAPE

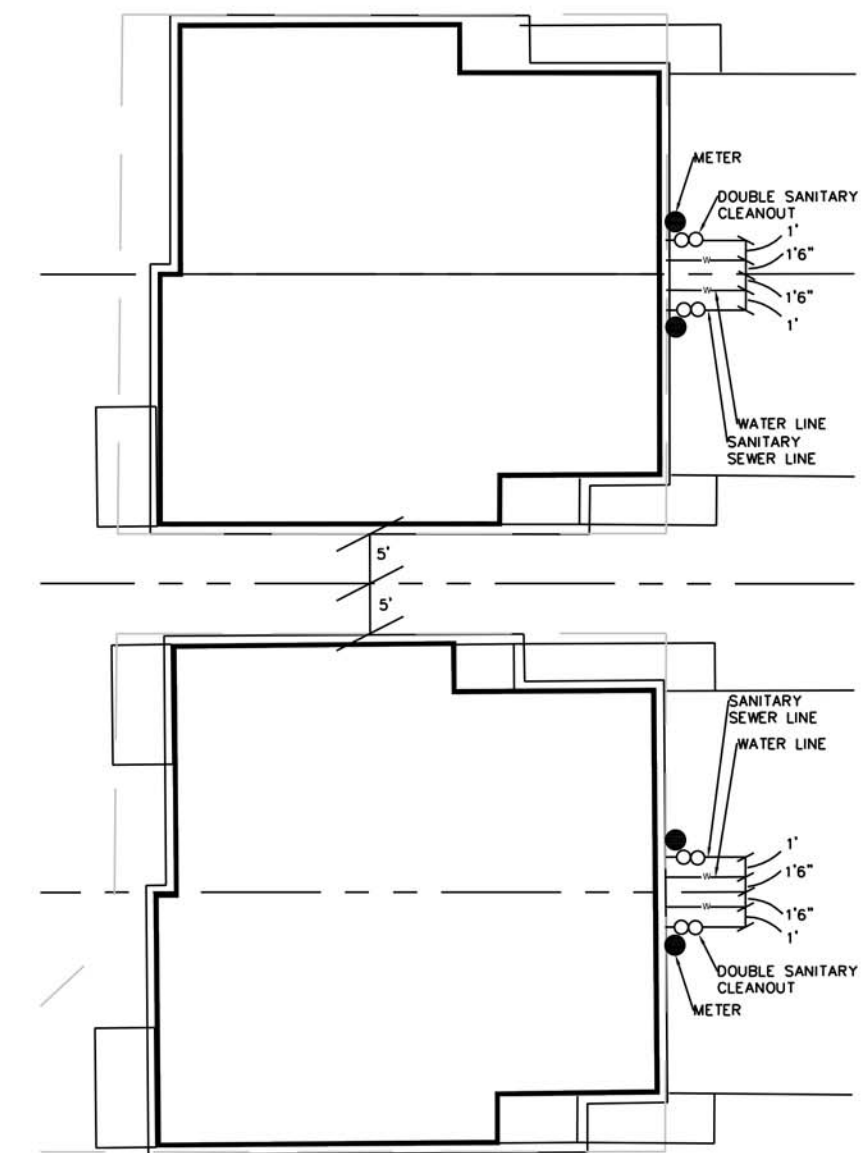
FIRE FLOW:

ACCORDING TO CALCULATIONS REVIEWED BY COLORADO SPRINGS UTILITIES, THE THEORETICAL AVAILABLE FIRE FLOW AT EACH FIRE HYDRANT NODE UNDER MAXIMUM DAY DEMAND CONDITIONS WITH A 20 PSI RESIDUAL IS AS FOLLOWS (ACTUAL FIRE FLOW MAY VARY DUE TO VARIOUS PARAMETERS):

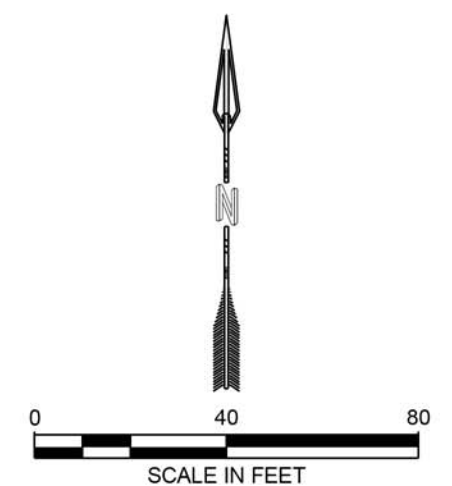
FIMS MAP NUMBER: - 0-22, 0-23, P-22, P-23
 TAX SCHEDULE NO.: - 5307002015
 PRESSURE ZONE: - REDUCED BRIARGATE
 MAX STATIC PRESSURE: -
 UTILITY DESIGN CAD FILE NO.:
 DEVELOPMENT PLAN NO.: AR DP
 APPROVAL DATE: - 2021
 PLAT REC. NO.: -

NOTES:

- ALL SANITARY SEWER SERVICES ARE 4" PVC @ 2.08%
- ALL WATERLINE SERVICES ARE 1" HDPE



TYPICAL DWELLING UNIT AND UTILITY SERVICE DETAIL
N.T.S.



REVISION	

STAMP

DESIGNED
 DRAWN
 CHECKED
 DATE

811
 Know what's below.
 Call before you dig.
 PROJ. NO. W0008.0003

CALCULUS STABILIS CORP.
 6685 TEMPLETON GAP ROAD
 COLORADO SPRINGS, CO 80923

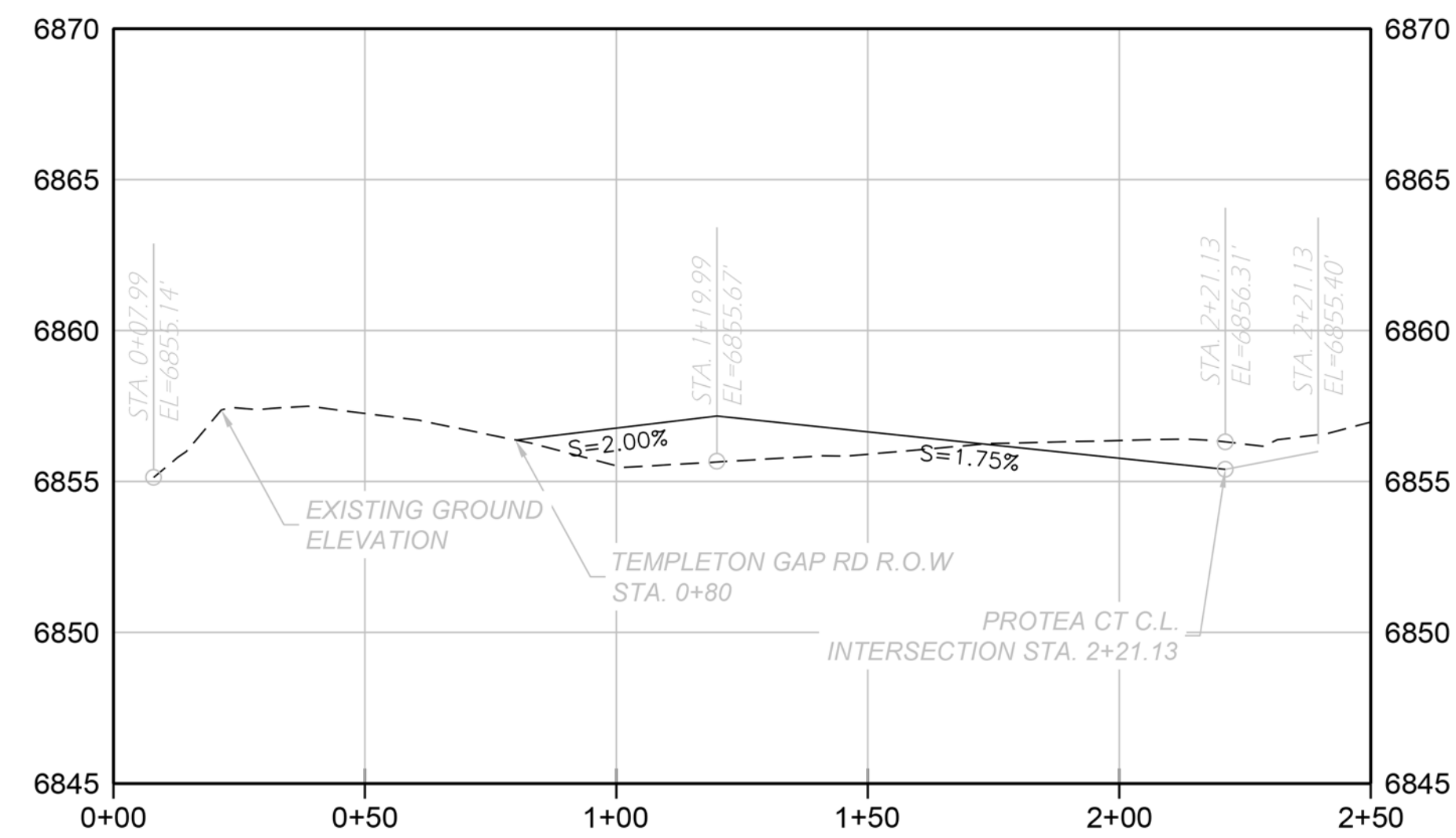
PIKES VISTA
 SUBDIVISION

PRELIMINARY UTILITY AND
 MASTER FACILITY PLAN

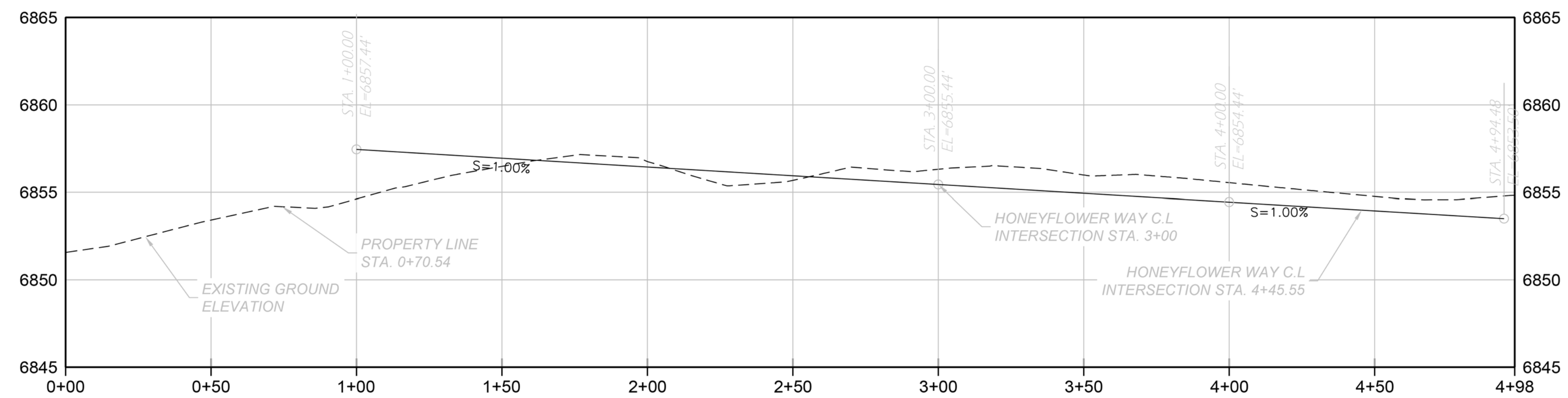
DRAWING NUMBER:
C
 SHEET 4 OF 10

NAME: N:\PROJECTS\W0008 - GUMAN & ASSOCIATES\W0008.0003 T GAP\3. DWG\5 - SHEETS\DEVELOPMENT PLANS\W0008.0003 - ROADWAY PROFILES.DWG
 PLOT DATE: September 1, 2021 11:15 AM, BY: REBECCA MCCONNELL

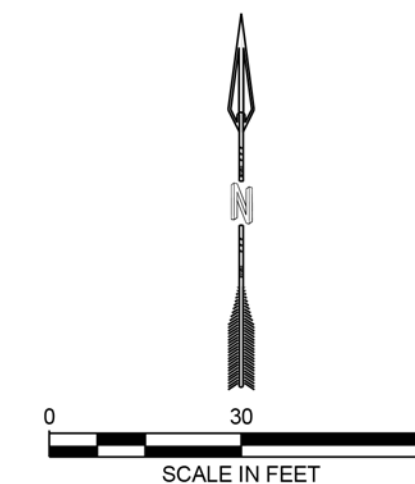
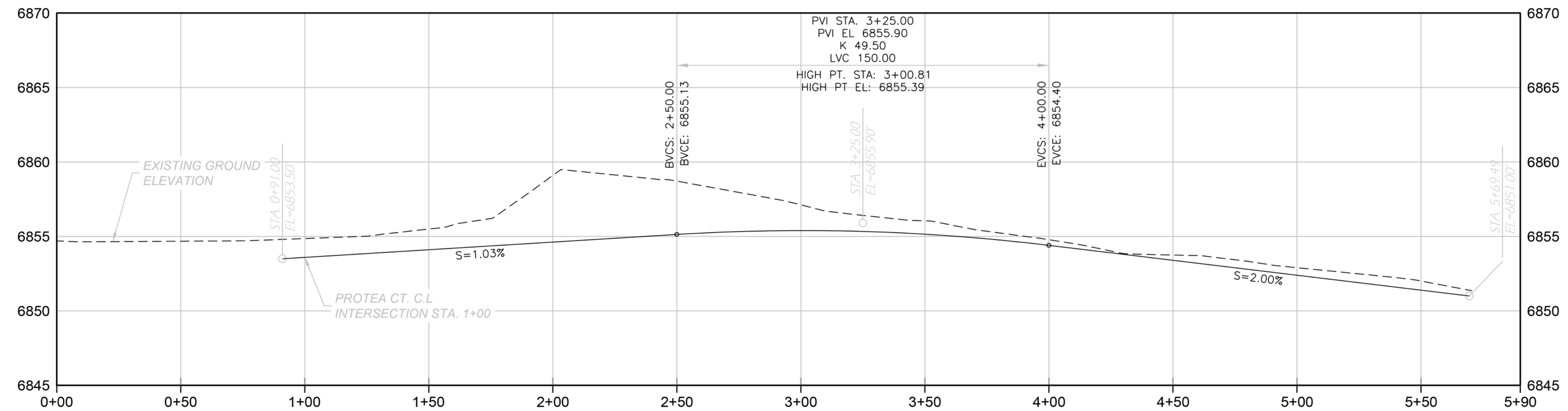
PV - CALTON STREET
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 5'



PV - CORNELIUS PLACE
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 5'



PV - RICHTER PLACE
 HORIZ. SCALE: 1" = 30'
 VERT. SCALE: 1" = 5'



DESIGNED		DRAWN		CHECKED		DATE	
RESPEC (FORMERLY ADP)	121 S. TEJON ST	SUITE 1110	COLORADO SPRINGS, CO 80903	PHONE (719) 266-5212			

STAMP



CALCULAS STABILIS CORP.
 6685 TEMPLETON GAP ROAD
 COLORADO SPRINGS, CO 80923

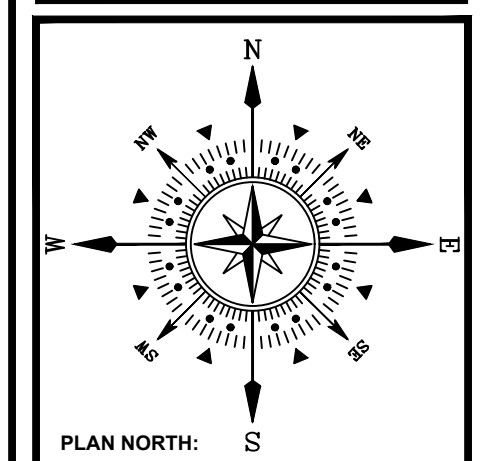
PIKES VISTA

ROADWAY PROFILE

DRAWING NUMBER:
C
 SHEET 5 OF 10



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PIKES VISTA
6685 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923
SMALL LOT PLANNED UNIT DEVELOPMENT DEVELOPMENT PLAN

PROJECT NAME:
 PROJECT ADDRESS:
 PROJECT DESCRIPTION:

DATE: 09/20/2021
 DESIGNED: WFG
 CHECKED: GEM

REVISIONS:	DATE:	BY:	DESCRIPTION:

NOTES:

PLAN SCALE: 1" = 40' (OR AS NOTED ON PLAN)

SHEET TITLE:
PRELIMINARY LANDSCAPE PLAN

SHEET NO.
6
 6 OF 10 SHEETS

FILE NO. FILE#

LANDSCAPE SCHEDULE (Outlying Areas):
Planting Schedule:

SYM.	QTY.	BOTANICAL/Common Name	MATURE HT./W.D.	PLANTING SIZE	NOTES
TREES					
9		CHIANTLEER BRADFOR PEAR (<i>Prunus caryocarpa</i> 'Chantleer')	20-30' 15-20'	2.0' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
18		WHITE FIR (<i>Abies concolor</i>)	40-60' 20-30'	8' ht.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
14		AUSTRIAN PINE (<i>Pinus nigra</i>)	40-60' 20-30'	8' ht.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
10		KENTUCKY COFFEETREE (<i>Gymnocladia dioica</i> 'Espresso')	50-60' 40-50'	2.0' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
3		BRISTLECONE PINE (<i>Pinus aristata</i>)	20-30' 15-20'	6' ht.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
14		WINTER KING HAWTHORN (<i>Crataegus viridis</i> 'Winter King')	20-30' 15-20'	2.0' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size
21		SKYLINE HONEYLOCUST (<i>Gleditsia triacanthos</i> 'Skyline')	40-50' 30-40'	2.0' cal.	B&B Nursery Grown. Size to meet or exceed AAN. min. size

Percent Signature Trees* Signature Trees: 75
(60% minimum- Policy 311.3.K) Total No. of Trees: 89 = 84% Signature Trees

SHRUBS

108		FEATHER REED GRASS (<i>Chloroglossis acutiflora</i> Karl Foerster)	3'-5" 2'-3"	#1	Container Grown. Size to meet or exceed AAN. min. size
43		RUSSIAN SAGE (<i>Phovelia arpatifolia</i>)	3'-4" 3'-4"	#5	Container Grown. Size to meet or exceed AAN. min. size

GRASSES, PERENNIALS, GROUNDCOVERS

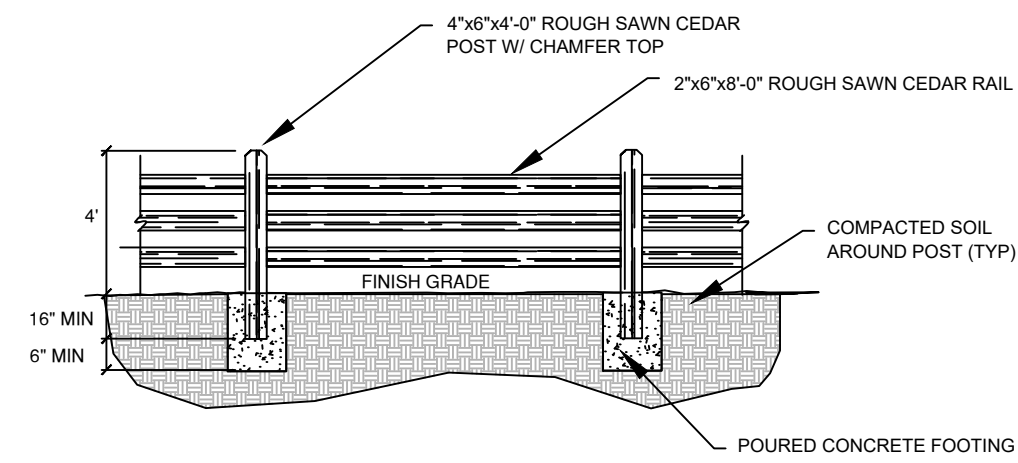
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SYMBOL KEY:

SYMBOL	DESCRIPTION/REMARKS
—	STEEL MAINTENANCE EDGE; 3/16" x 4" ROLL TOP STEEL, GREEN COLOR
NO SYMBOL	IDaho CEDAR WOOD MULCH; UNIFORMLY PLACED TO A 4" DEPTH AROUND ALL TREE ROOT BALLS IN TURF AREAS ONLY [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	TURF (SOD); FESCUE/HTN KENTUCKY BLUEGRASS 4-WAY BLEND ON PREPARED SOIL.
	SEEDED TURF (Temporary Irrigation); EL PASO COUNTY ALL-PURPOSE LOW GROW MIX FOR UPLAND AND TRANSITION AREAS; 25% BUFFALOGRASS, 20% BLUE GRAMA, 29% SIDEDATS GRAMA, 5% GREEN NEEDLEGRASS, 20% WESTERN WHEATGRASS, 1% SAND DROPSSEED.
	AGGREGATE: 4-6" SIZE WHOLE WASHED WHITE RIVER ROCK PLACED TO A UNIFORM DEPTH ON FABRIC UNDERLAYMENT. [Equal to that supplied by Pioneer Sand and Gravel, Colorado Springs, CO]
	6'0" HT. CONCRETE FENCE W/CONCRETE PILASTERS
	4'0" HT. POST & RAIL FENCE (2-RAIL)
	6'0" HT. OPAQUE CEDAR FENCE

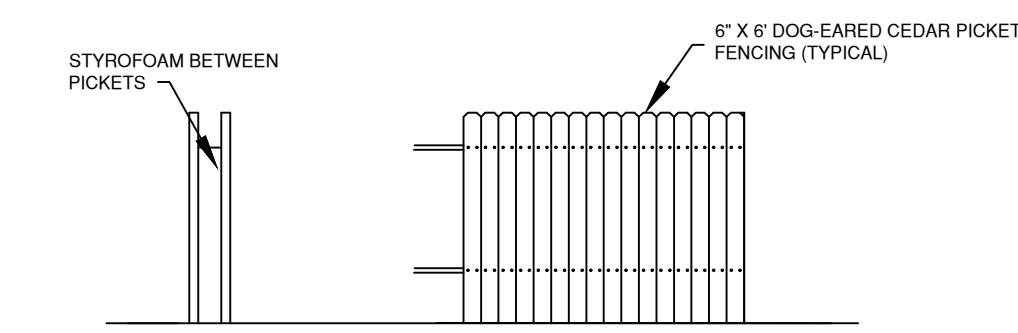
LANDSCAPE NOTES:

- REFER TO SPECIFICATION SECTION 32-94-00: LANDSCAPE ACCESSORIES FOR REQUIRED INSTALLATION AND WORKMANSHIP STANDARDS FOR NEW LANDSCAPING. IN THE EVENT OF A CONFLICT IN THE REQUIREMENTS THE MOST STRINGENT INTERPRETATION WILL PREVAIL.
- DRAWINGS ARE DIAGRAMMATIC; PRECISE PLACEMENT OF LANDSCAPE ACCESSORIES MAY NOT BE POSSIBLE AS INDICATED. CONSULT PROJECT LANDSCAPE ARCHITECT PRIOR TO MAKING RANDOM FIELD CHANGES WHICH MAY ALTER DESIGN INTENT.
- QUANTITIES ARE PROVIDED FOR REFERENCE ONLY. VERIFY ALL QUANTITIES PRIOR TO SUBMITTING COST PROPOSAL. IN THE EVENT OF A CONFLICT BETWEEN SCHEDULED, IMPLIED OR EXPRESSED QUANTITIES, QUANTITIES WHICH CAN BE DETERMINED GRAPHICALLY FROM THE DRAWINGS WILL PREVAIL IN ANY CASE.
- THE CONTRACTOR IS RESPONSIBLE FOR INSPECTION AND VERIFICATION OF ALL FIELD CONDITIONS AND RESOLVING CONFLICTS PERTAINING TO DIMENSIONS, LAYOUT, ETC., WHICH MAY AFFECT THE LANDSCAPE INSTALLATION. MOBILIZING SHALL BE CONSTRUED AS ACCEPTANCE OF CONDITIONS.
- COORDINATE ALL WORK INDICATED ON THESE DRAWINGS WITH WORK OF OTHER TRADES.
- THE PROJECT LANDSCAPE ARCHITECT RESERVES THE RIGHT TO CONSIDER AND APPROVE ALTERNATE INSTALLATIONS AT ANY TIME WHICH IN THE LANDSCAPE ARCHITECT'S OPINION MAXIMIZES THE CONSTRUCTION BUDGET AND MAINTAINS DESIGN INTENT.
- PROVIDE A 3 FOOT CLEAR SPACE AROUND THE CIRCUMFERENCE AROUND ALL FIRE HYDRANTS AND LIGHTING STANDARDS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS MAY BE AVAILABLE. IF THE AMOUNT OF TOPSOIL NEEDED TO COMPLETE FINAL GRADING IS NOT AVAILABLE, THE CONTRACTOR SHALL IMPORT THE AMOUNT OF SOIL NEEDED.
- CONTRACTOR SHALL ENSURE THAT PROPER IRRIGATION VIA THE IRRIGATION SYSTEM IS CAPABLE OF EXTENDING AMOUNTS OF WATER REQUIRED TO ESTABLISH AND SUSTAIN PLANT GROWTH AT THE TIME OF INSTALLATION.
- ALL LANDSCAPE AND IRRIGATION MAINTENANCE SHALL BE COMMENCED BY THE OWNER UPON COMPLETION AND FINAL ACCEPTANCE OF ALL LANDSCAPE AND IRRIGATION SYSTEM INSTALLATIONS.
- SOIL AMENDMENT AND FINAL GRADING FOR ALL SOD AND SEEDED TURF AREAS TO BE PROVIDED IN ACCORDANCE WITH SPECIFICATIONS.
- AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM IS TO BE PROVIDED AND INSTALLED IN ACCORDANCE WITH THE IRRIGATION SYSTEM DRAWING AND SPECIFICATIONS:
 - IN LANDSCAPE SETBACK AREAS ALONG ROAD FRONTAGES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES
 - NEW SEEDED TURF INTERIOR LANDSCAPE AREAS; 20' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
 - NEW SEEDED TURF AREAS; 30' ROTOR SPRINKLERS AND POP-UP SPRAY SPRINKLERS
- SHRUBS AND TREES; IN-LINE DRIP EMITTER RINGS FOR ALL TREES, EMITTERS FOR ALL SHRUBS
- 4"x14 GAUGE GALVANIZED STEEL MAINTENANCE EDGING TO BE INSTALLED TO SEPARATE ALL ORGANIC AND AGGREGATE MULCHES FROM ADJACENT SOD AND SEEDED TURF AREAS. PIN EDGING WITH 1/2" STEEL EDGING PINS AT 24" SPACING.
- ALL PLANT MATERIAL TO BE INSTALLED PER DETAILS AND SPECIFICATIONS. GUY AND STAKE ALL DECIDUOUS AND EVERGREEN TREES PER DETAILS. PROVIDE SHREDDED MULCH RINGS IN RETENTION BASINS AROUND ALL TREES PLANTED IN SOD AND SEEDED AREAS. MULCH RINGS ARE NOT REQUIRED FOR TREES PLANTED IN AGGREGATE MULCH AREAS.
- PLANT QUANTITIES AND SIZES INDICATED ARE THE MINIMUM TO SATISFY LANDSCAPE CODE REQUIREMENTS; NO SUBSTITUTIONS ARE PERMITTED WITHOUT PRIOR APPROVAL OF THE MUNICIPAL REVIEWING AGENCY.

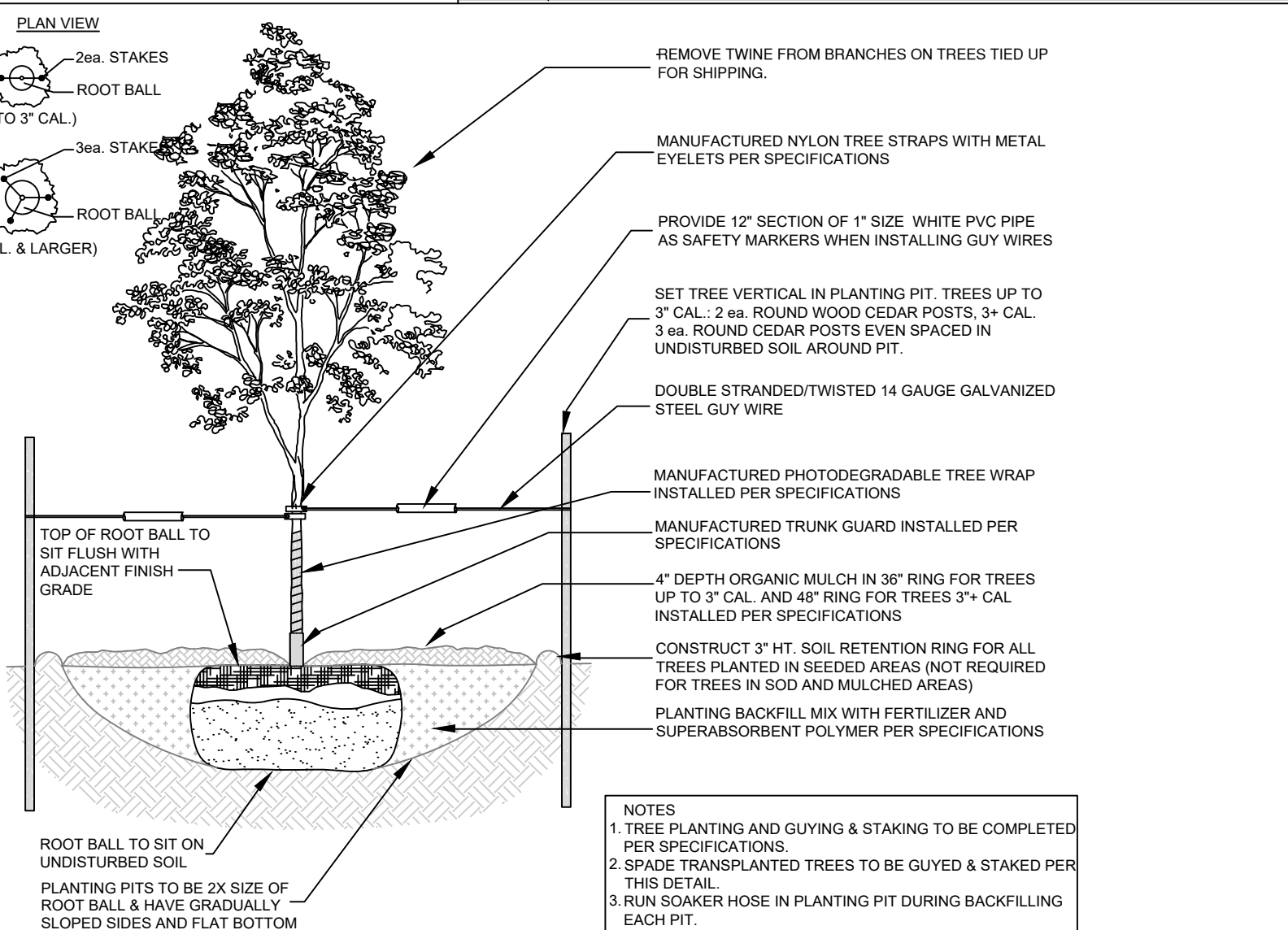


- NOTES:
1. ALL WOOD IS ROUGH SAWN CEDAR.
2. APPLY APPROVED SEALANT AND PROTECTANT TO WOOD AFTER INSTALLATION.

A 4' SPLIT RAIL FENCE
NOT TO SCALE

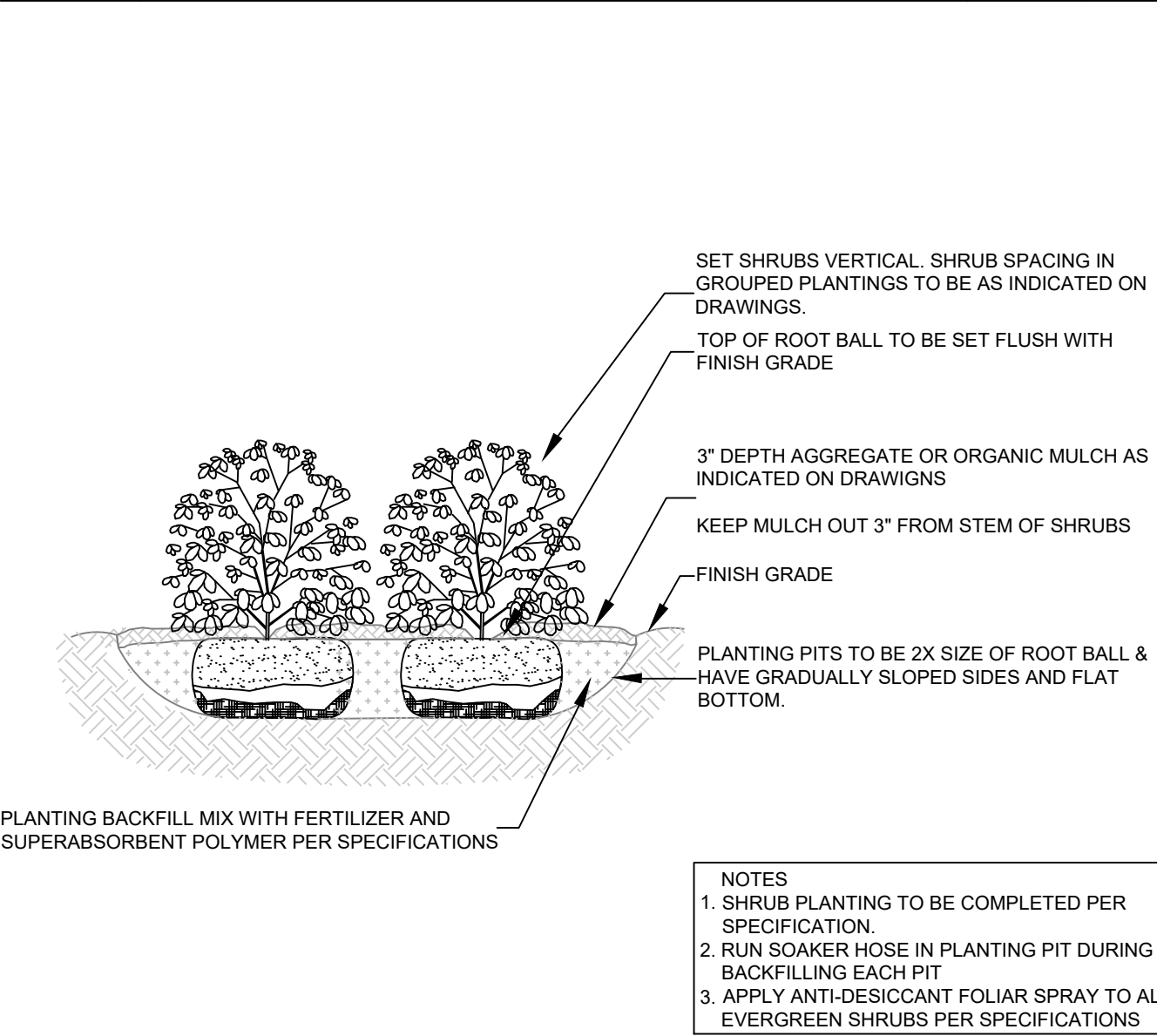


B 6' OPAQUE FENCE
NOT TO SCALE



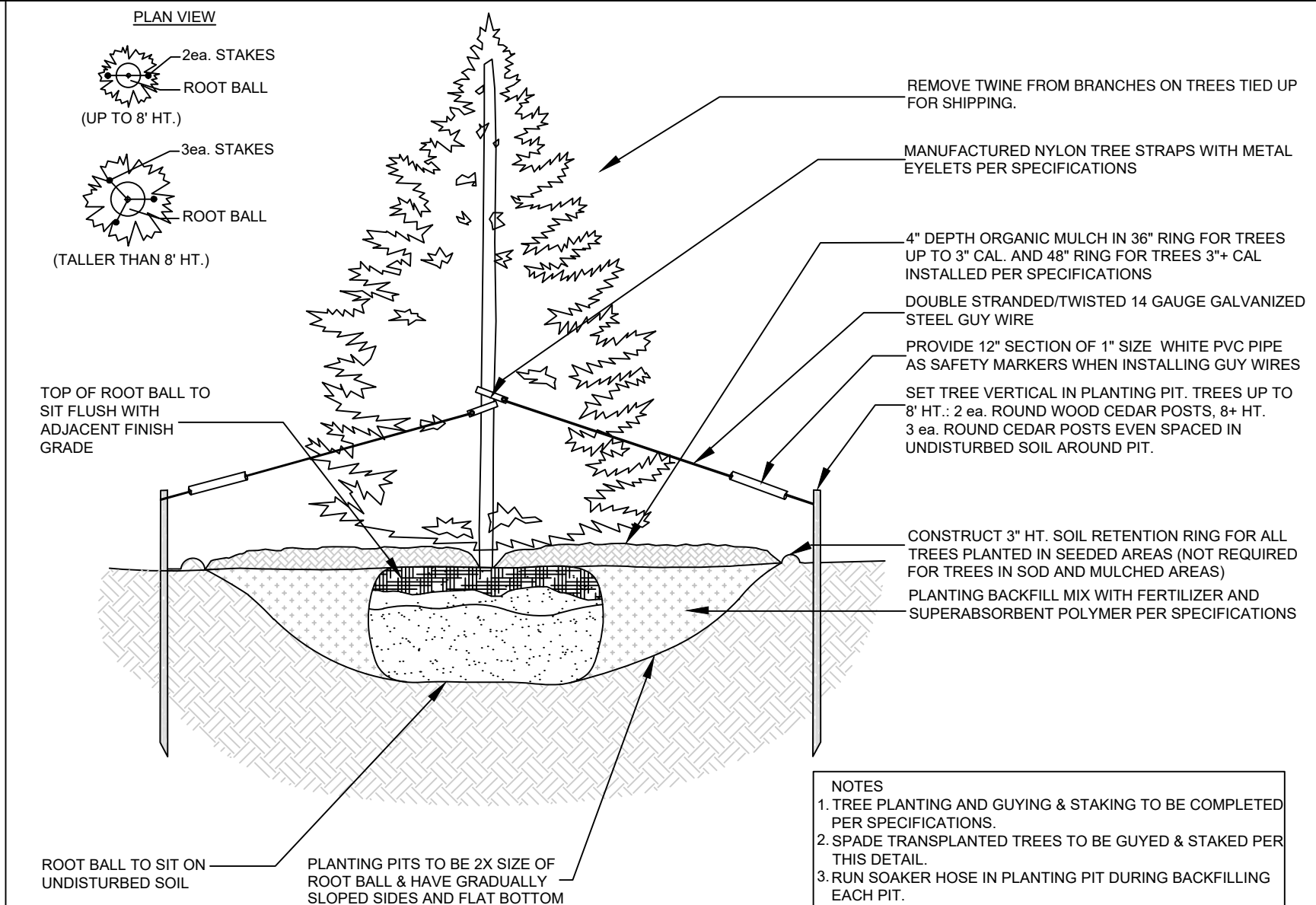
- NOTES:
1. TREE PLANTING AND GUYING & STAKING TO BE COMPLETED PER SPECIFICATIONS.
2. SPADE TRANSPLANTED TREES TO BE GUYED & STAKED PER THIS DETAIL.
3. RUN SOAKER HOSE IN PLANTING PIT DURING BACKFILLING EACH PIT.

C DECIDUOUS TREE PLANTING, GUYING & STAKING
NOT TO SCALE



- NOTES:
1. SHRUB PLANTING TO BE COMPLETED PER SPECIFICATION.
2. RUN SOAKER HOSE IN PLANTING PIT DURING BACKFILLING EACH PIT
3. APPLY ANTI-DESICCANT FOLIAR SPRAY TO ALL EVERGREEN SHRUBS PER SPECIFICATIONS

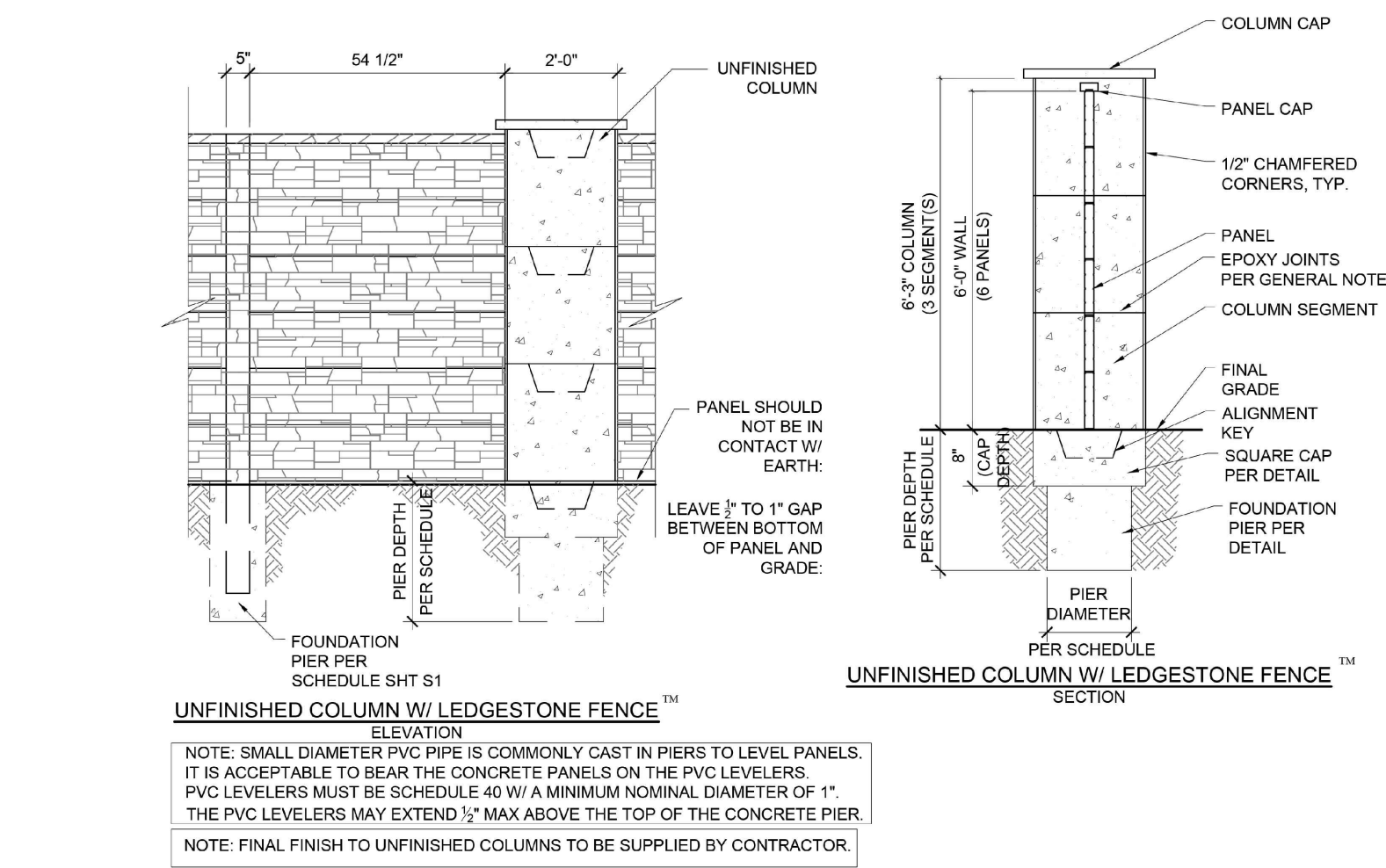
D SHRUB PLANTING DETAIL
NOT TO SCALE



- NOTES:
1. TREE PLANTING AND GUYING & STAKING TO BE COMPLETED PER SPECIFICATIONS.
2. SPADE TRANSPLANTED TREES TO BE GUYED & STAKED PER THIS DETAIL.
3. RUN SOAKER HOSE IN PLANTING PIT DURING BACKFILLING EACH PIT.

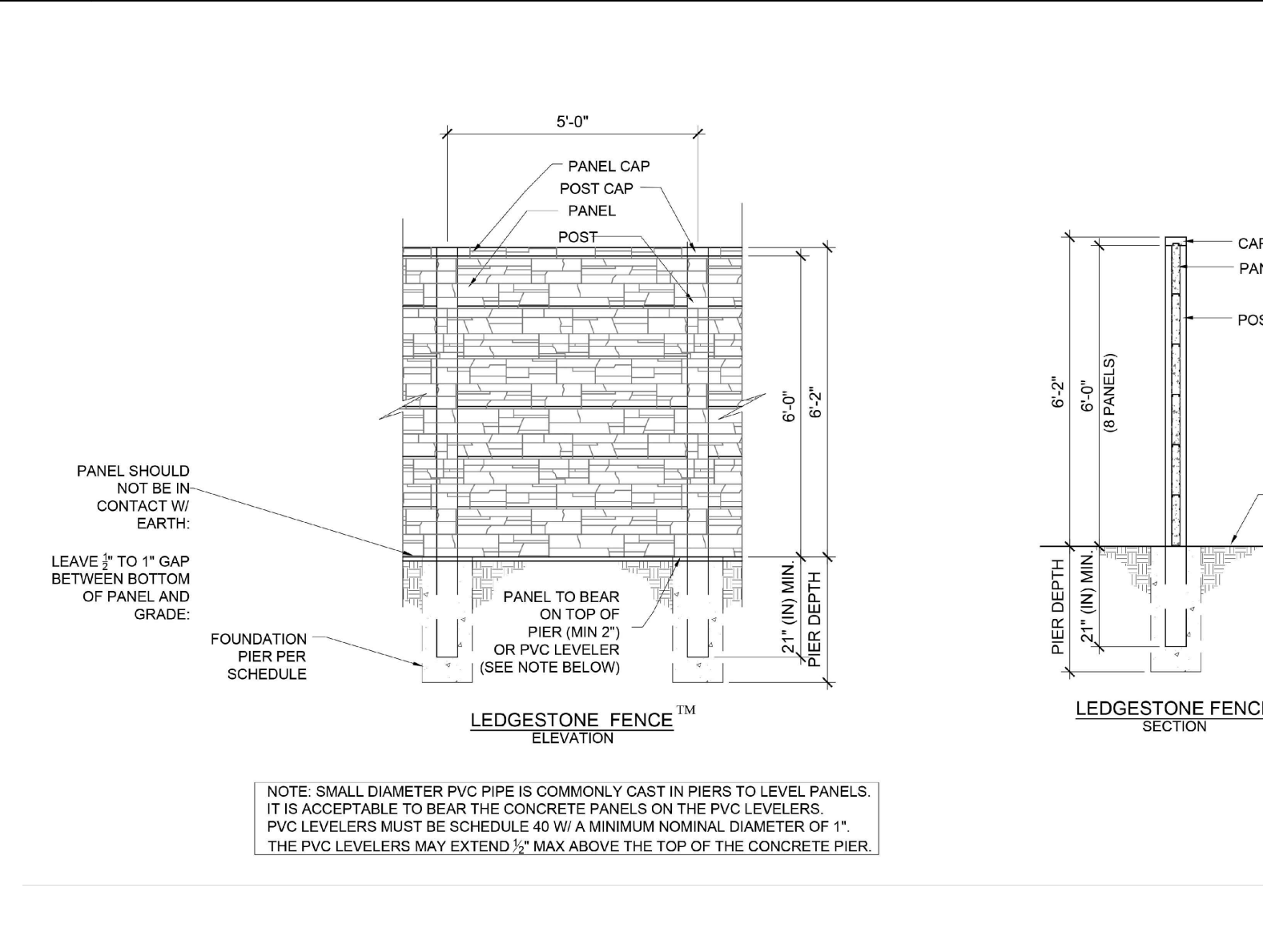
E EVERGREEN TREE PLANTING, GUYING & STAKING
NOT TO SCALE

F 6' CONCRETE COLUMN DETAIL
NOT TO SCALE



- NOTE: SMALL DIAMETER PVC PIPE IS COMMONLY CAST IN PIERS TO LEVEL PANELS. IT IS ACCEPTABLE TO BEAR THE CONCRETE PANELS ON THE PVC LEVELERS. PVC LEVELERS MUST BE SCHEDULE 40 W/ A MINIMUM NOMINAL DIAMETER OF 1". THE PVC LEVELERS MAY EXTEND 1/2" MAX ABOVE THE TOP OF THE CONCRETE PIER.
NOTE: FINAL FINISH TO UNFINISHED COLUMNS TO BE SUPPLIED BY CONTRACTOR.

G 6' CONCRETE FENCE
NOT TO SCALE

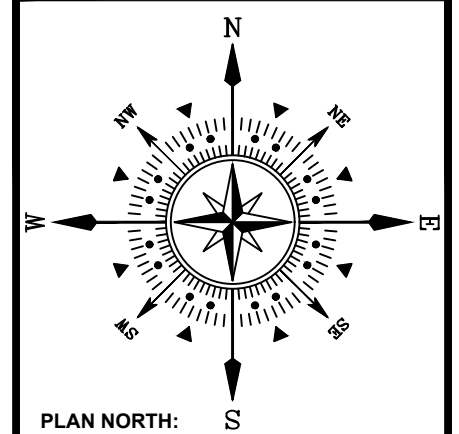


- NOTE: SMALL DIAMETER PVC PIPE IS COMMONLY CAST IN PIERS TO LEVEL PANELS. IT IS ACCEPTABLE TO BEAR THE CONCRETE PANELS ON THE PVC LEVELERS. PVC LEVELERS MUST BE SCHEDULE 40 W/ A MINIMUM NOMINAL DIAMETER OF 1". THE PVC LEVELERS MAY EXTEND 1/2" MAX ABOVE THE TOP OF THE CONCRETE PIER.

APPROVAL:

William Guman & Associates, Ltd.
LANDSCAPE ARCHITECTURE
731 North Weber Street
Colorado Springs, CO 80903
(719) 633-9700
www.GumanLtd.com
bill@guman.net

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ONLY DRAWINGS BEARING THE OFFICIAL STAMP OF THE LICENSED LANDSCAPE ARCHITECT IN THE STATE OF COLORADO ARE VALID FOR CONSTRUCTION PURPOSES.



PIKES VISTA
6685 TEMPLETON GAP ROAD
COLORADO SPRINGS, CO 80923
SMALL LOT PLANNED UNIT DEVELOPMENT
DEVELOPMENT PLAN

PROJECT NAME:
PROJECT ADDRESS:
PROJECT DESCRIPTION:

DATE: 09/20/2021
DESIGNED: WFG
CHECKED: GEM

REVISIONS:

DATE:	BY:	DESCRIPTION:

NOTES:

PLAN SCALE: 1" = 40' (OR AS NOTED ON PLAN)

SHEET TITLE:
LANDSCAPE
DETAILS

SHEET NO.
7
7 OF 10 SHEETS

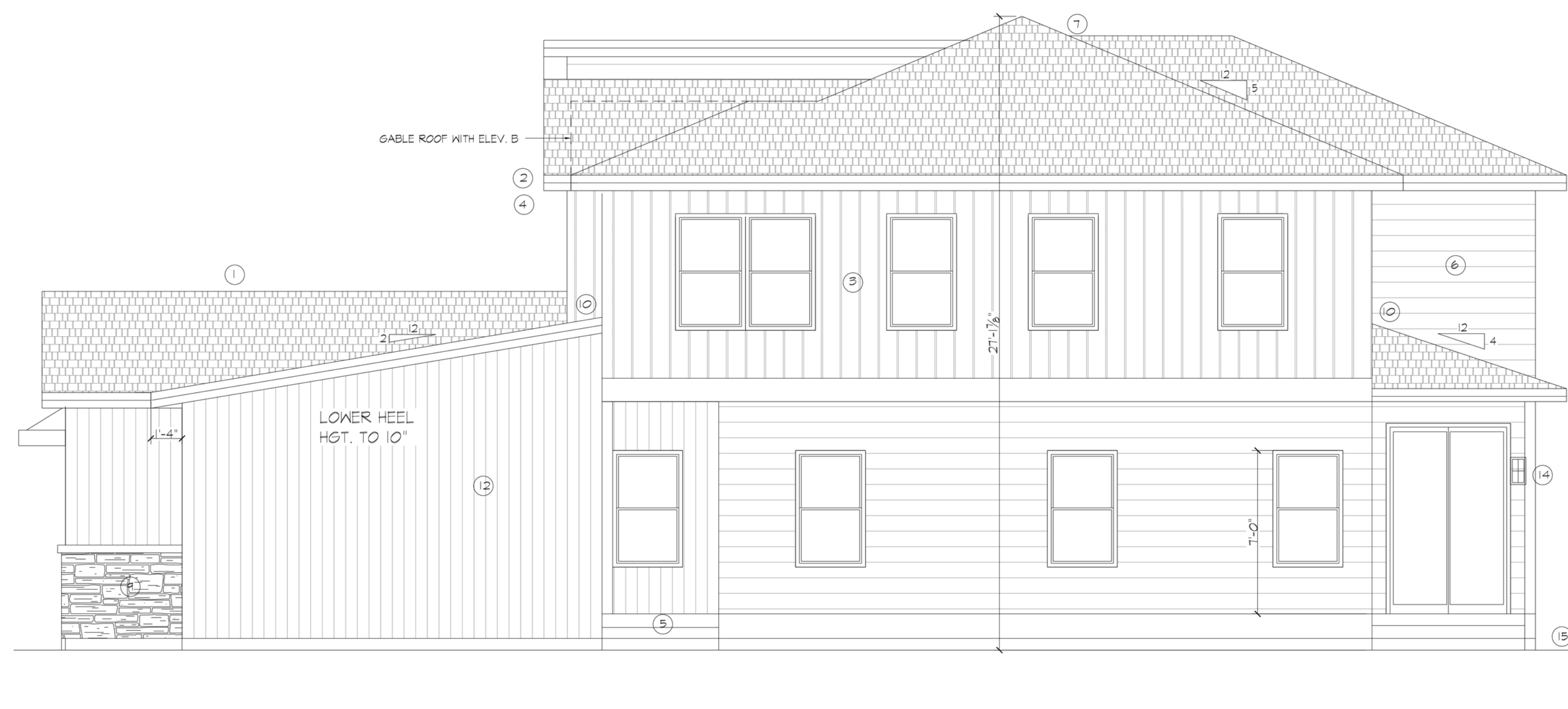
FILE NO. FILE#

DATE:	REV.	BY:



1829 **1500**

FRONT ELEVATION 1829/1500
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1829/1500
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION 1829/1500
SCALE: 1/4" = 1'-0"



REAR ELEVATION 1829/1500
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- ① ASPHALT SHINGLE ROOFING- CHARCOAL
 - ② 8" HARD FASCIA
 - ③ BOARD AND BATTEN SIDING
 - ④ GALV. IRON GUTTER AND DOWNSPOUT WITH TYP. DOTS OR CONC. SPLASH BLOCKS TO 5'-0" AWAY FROM FDN.
 - ⑤ CONC. STEPS AND STOOP
 - ⑥ 8" HORIZ. LAP SIDING
 - ⑦ PROVIDE ROOF VENTS AT 1800 SQ. FT. OF ROOF PLACE 1/2 OF VENTS IN UPPER 1/2 OF ROOF AND 1/2 OF VENTS IN SOFFITS
 - ⑧ CONC. PIER @ 6" ABOVE ± 30" BELOW GRADE
 - ⑨ CULTURED STONE
 - ⑩ FLASH AT ALL ROOF AND WALL INTERSECTIONS
 - ⑪ 5/16x4 TRIM ON SIDES, TOP & BTM. OF DOORS AND OPS. OPTIONAL
 - ⑫ 6" VERTICAL SIDING
 - ⑬ METAL AWNING - CHARCOAL
 - ⑭ LIGHT FIXTURE-SPECS PER BUILDER
 - ⑮ APPROX. GRADE

1829/1500

DAVID WOODY and CO.
CUSTOM HOME DESIGN AND DRAFTING
PO BOX 2391 MONUMENT CO. 80132
(719)531-9018

DUPLEX 3
1829/1500

CALTON HOMES LLC
REILLY FREDRICKSON
REILLY@CALTONHOMESLLC.COM
(480)216-0709

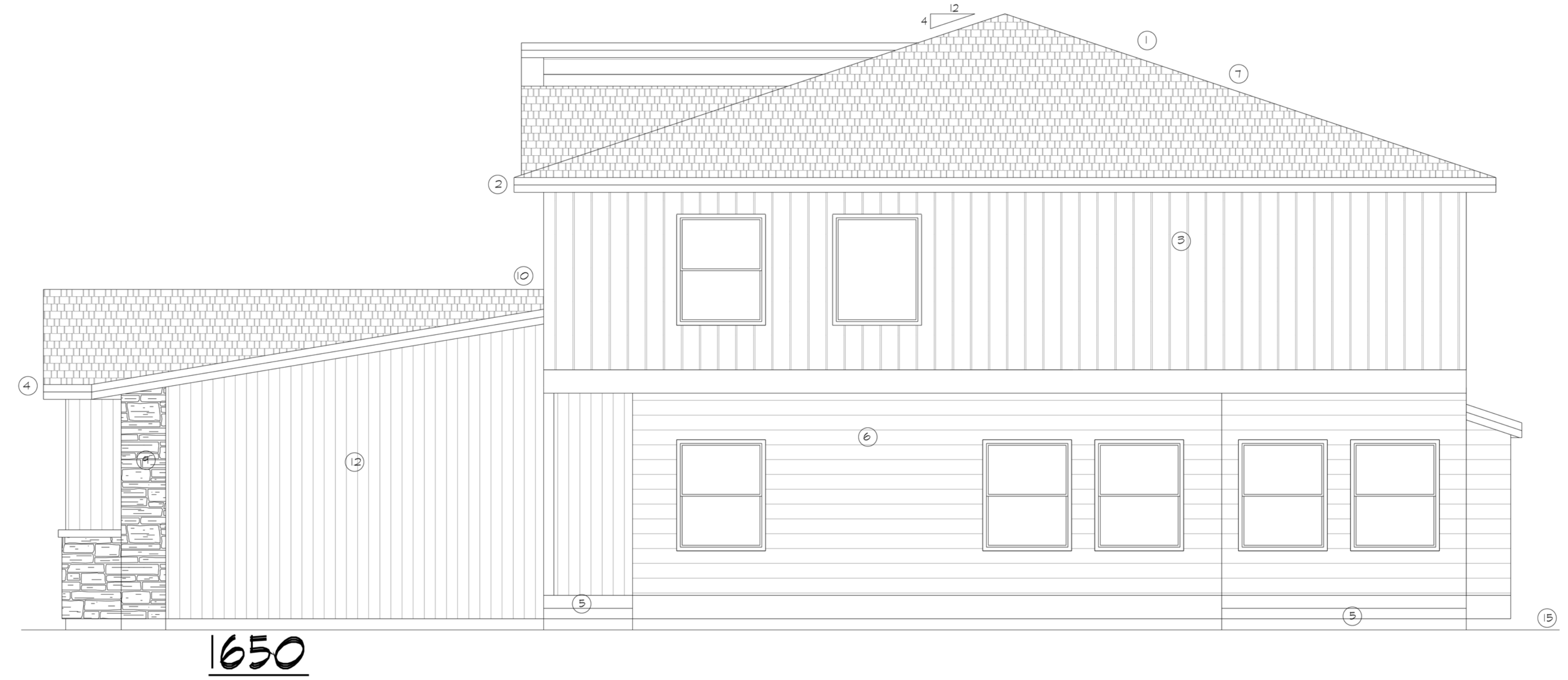
DATE: 10-6-21
DRAWN BY: D.W.

DATE:	REV.	BY:



1829 1650

FRONT ELEVATION 1829/1650
SCALE: 1/4" = 1'-0"



1650

RIGHT SIDE ELEVATION 1829/1650
SCALE: 1/4" = 1'-0"



1650 1829

REAR ELEVATION 1829/1650
SCALE: 1/4" = 1'-0"



1829

LEFT SIDE ELEVATION 1829/1650
SCALE: 1/4" = 1'-0"

- ELEVATION NOTES:**
- 1 ASPHALT SHINGLE ROOFING- CHARCOAL
 - 2 8" HARDI FASCIA
 - 3 BOARD AND BATTEN SIDING
 - 4 GALV. IRON GUTTER AND DOWNSPOUT WITH TIP CUTS OR CONC. SPLASH BLOCKS TO 5'-0" AWAY FROM FOOT.
 - 5 CONC. STEPS AND STOOP
 - 6 8" HORIZ. LAP SIDING
 - 7 PROVIDE ROOF VENTS AT 1500 SQ. FT. OF ROOF. PLACE 1/2 OF VENTS IN UPPER 1/2 OF ROOF AND 1/2 OF VENTS IN SOFFITS
 - 8 CONC. PIER @ 6" ABOVE & 30" BELOW GRADE
 - 9 CULTURED STONE
 - 10 FLASH AT ALL ROOF AND WALL INTERSECTIONS.
 - 11 S14x4 TRIM ON SIDES, TOP & BTM. OF DOORS AND DRS. OPTIONAL
 - 12 6" VERTICAL SIDING
 - 13 METAL ANNING - CHARCOAL
 - 14 LIGHT FIXTURE-SPEC'S PER BUILDER
 - 15 APPROX. GRADE

1829/1650

DAVID WOODY and CO.
CUSTOM HOME DESIGN AND DRAFTING
PO BOX 2391 MONUMENT CO. 80132
(719)531-9018

DUPLEX 3
1829/1650

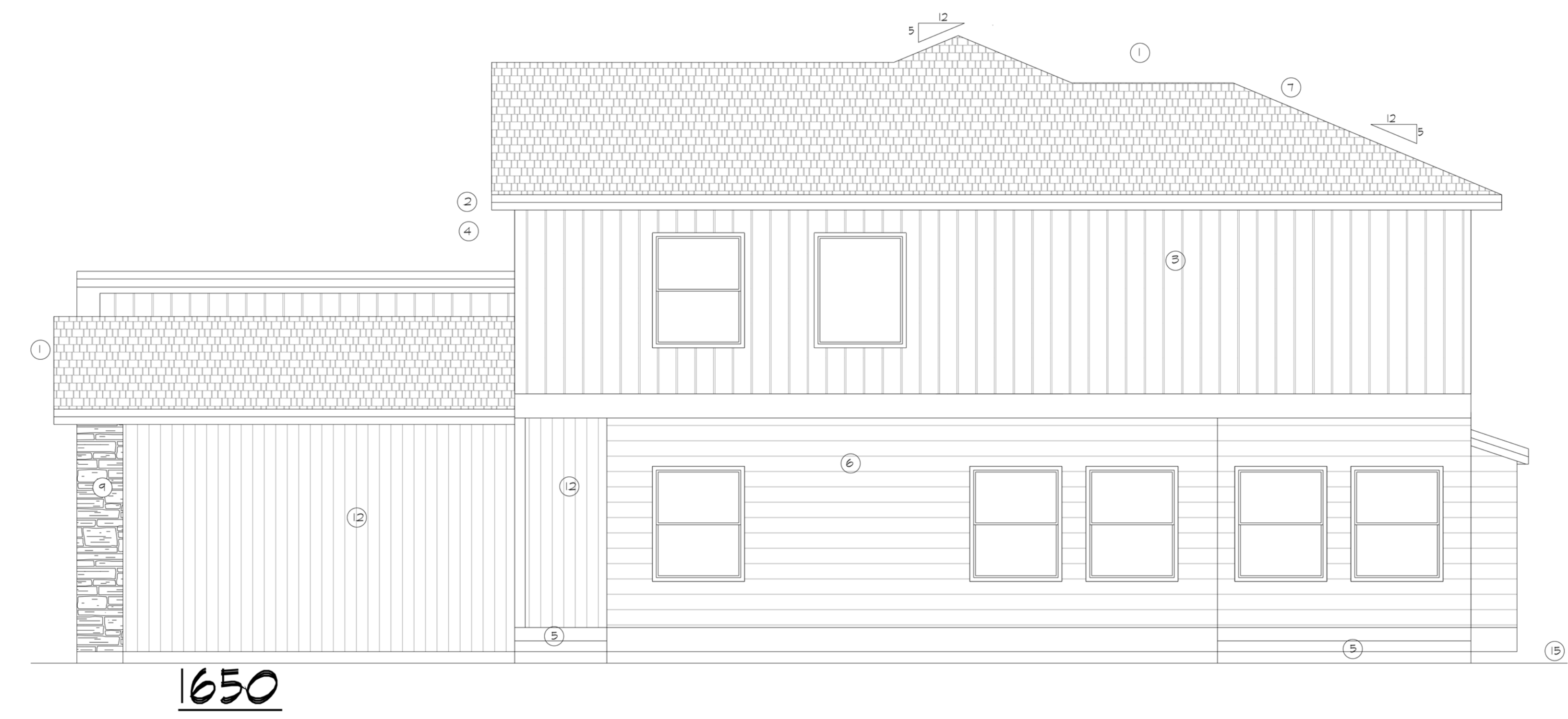
CALTON HOMES LLC
REILLY FREDRICKSON
REILLY@CALTONHOMESLLC.COM
(480)216-0704

DATE: 10-6-21
DRAWN BY: D.M.

DATE:	REV.	BY:



FRONT ELEVATION 1500/1650
SCALE: 1/4" = 1'-0"



RIGHT SIDE ELEVATION 1500/1650
SCALE: 1/4" = 1'-0"



REAR ELEVATION 1500/1650
SCALE: 1/4" = 1'-0"



LEFT SIDE ELEVATION 1500/1650
SCALE: 1/4" = 1'-0"

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 - 10 FLASH AT ALL ROOF AND WALL INTERSECTIONS.
 - 11 3/4x4 TRIM ON SIDES, TOP & BTM. OF WDS AND DRs. OPTIONAL
 - 12 6" VERTICAL SIDING
 - 13 METAL ANNING - CHARCOAL
 - 14 LIGHT FIXTURE-SPEC'S PER BUILDER
 - 15 APPROX. GRADE
 - 16 STUCCO

1500/1650

DAVID WOODY and CO.
CUSTOM HOME DESIGN AND DRAFTING
PO BOX 2391 MONUMENT CO. 80132
(719)531-9108

DUPLEX 3
1500/1650

CALTON HOMES LLC
REILLY FREDRICKSON
REILLY@CALTONHOMESLLC.COM
(480)216-0704

DATE: 10-6-21
DRAWN BY: D.M.