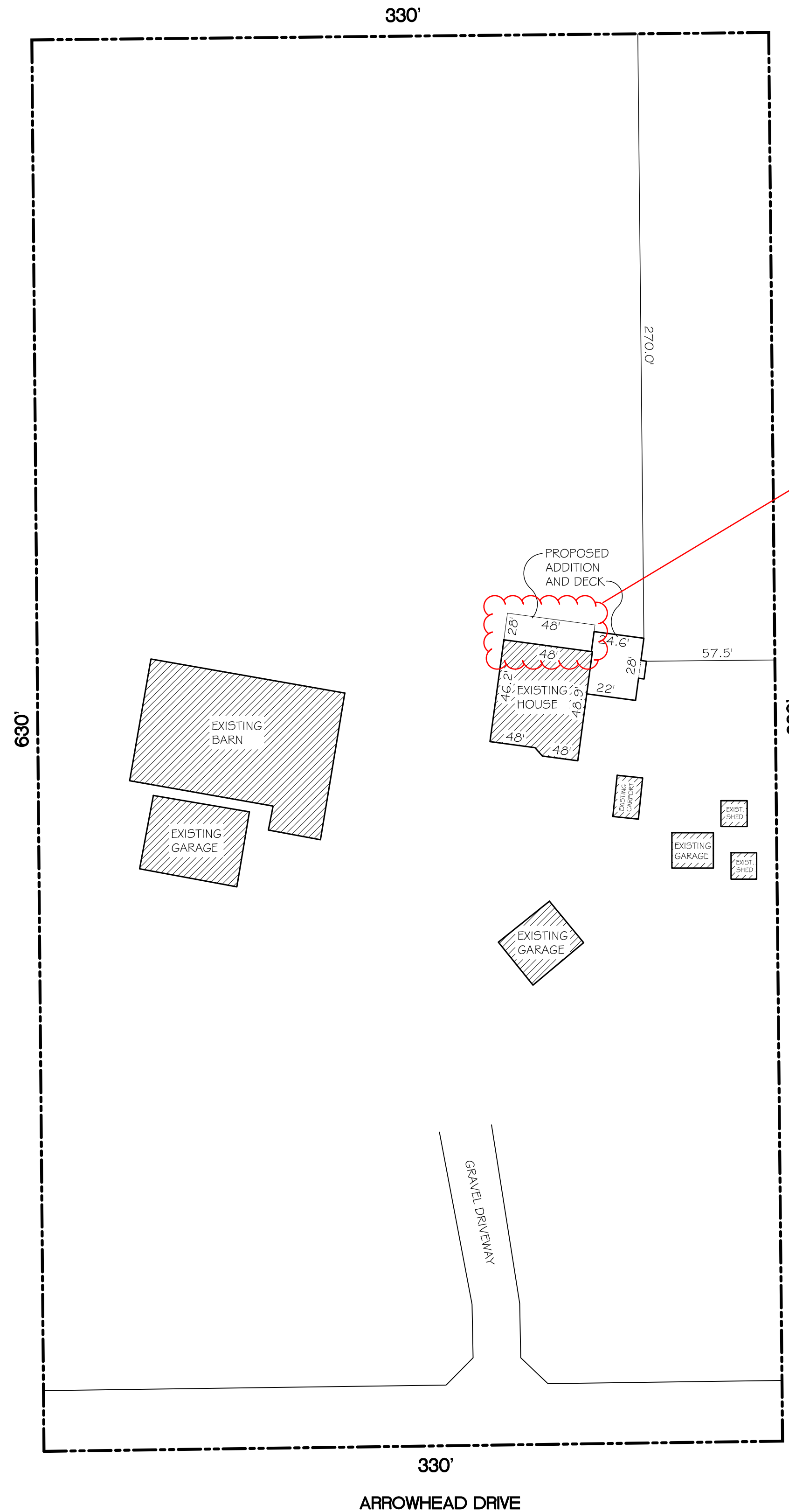
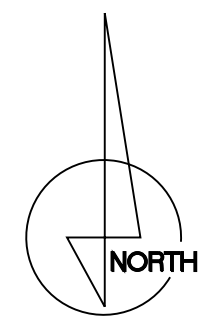


4330 ARROWHEAD DR COLORADO SPRINGS, CO. 80908



SITE PLAN

SCALE: 1" = 40'-0"



PROPERTY OWNER:  
STEVEN & KANDYCE TAYLOR

LEGAL DESCRIPTION:  
W25W45W4NE4 EX'S 30.0 FT TO  
COUNTY FOR RD SEC 23-1 2-66

ADDRESS:  
4330 ARROWHEAD DR.  
COLORADO SPRINGS CO,  
80908-3780

TAX SCHEDULE No.:  
6223000127

ZONE:  
RR-5

LOT SIZE:  
4.86 ACRE (211,701.6 S.F.)

TOTAL BUILDING FOOTPRINTS:  
10,692 S.F.

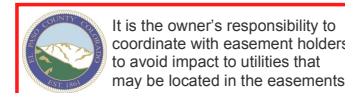
TOTAL LOT COVERAGE:  
LOT COVERAGE = 5%

BLUINDING HEIGHT:  
ESTIMATED HEIGHT = 28'-4 1/8"

ADD24687

Not Required  
BESQCP

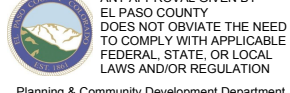
11/19/2024 10:38:54 AM  
Advoung  
EPC Planning & Community  
Development Department



It is the owner's responsibility to  
coordinate with easement holders  
to avoid impact to utilities that  
may be located in the easements.

APPROVED  
Plan Review

11/19/2024 16:39:01 AM  
Advoung  
EPC Planning & Community  
Development Department



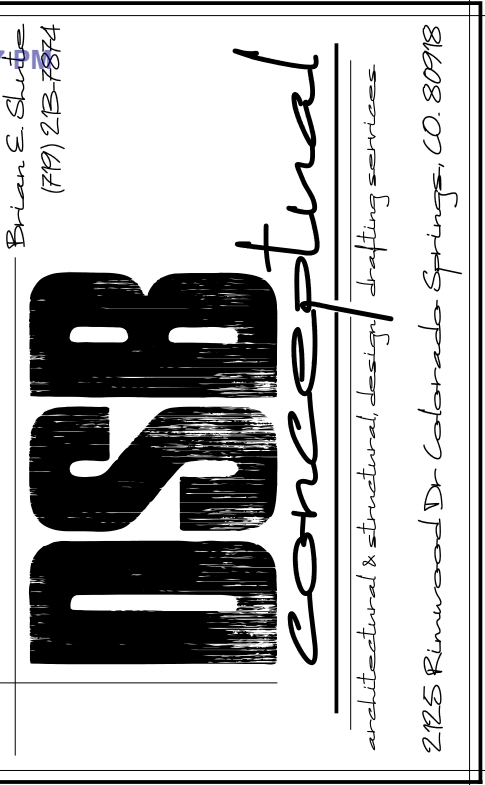
ANY APPROVAL GIVEN BY  
EL PASO COUNTY  
DOES NOT OBLATE THE NEED  
TO COMPLY WITH APPLICABLE  
FEDERAL, STATE, OR LOCAL  
LAWS AND/OR REGULATION

Planning & Community Development Department  
approval is contingent upon compliance with all  
applicable rules on the member list.

An access permit must be granted by the  
Planning & Community Development Department  
prior to the installation of any driveway onto a  
County road.

Division of Discharge of any drainage away  
is not permitted without approval of the  
Planning & Community Development Department

11/18/2024 3:28:07 PM  
Doug  
CONSTRUCTION



ALL PLANS, DESIGNS, AND CONCEPTS SHOWN IN THESE  
DRAWINGS ARE THE EXCLUSIVE PROPERTY OF DSB  
CONCEPTUAL AND SHALL NOT BE USED, DISCLOSED,  
OR REPRODUCED FOR ANY REASON WHATSOEVER  
WITHOUT WRITTEN PERMISSION FROM THE DESIGNER.  
COPYRIGHT © 2019

KIMBER CUSTOM HOMES  
4330 ARROWHEAD DR. CSCO 80908

THESE PLANS ARE COPYRIGHTED AND ARE SUBJECT TO  
COPYRIGHT PROTECTION AS AN ARCHITECTURAL WORK,  
UNDER SECTION 102 OF THE COPYRIGHT ACT 17,  
U.S.C., AS AMENDED DECEMBER 1, 1990, AND KNOWN  
AS ARCHITECTURAL WORKS COPYRIGHT PROTECTION  
ACT OF 1990. THE PROTECTION INCLUDES, BUT IS NOT  
LIMITED TO, THE OVERALL FORM, AS WELL AS, THE  
ARRANGEMENT AND COMPOSITION OF SPACES AND  
ELEMENTS OF THE DESIGN. UNDER SUCH PROTECTION,  
UNAUTHORIZED USE OF THESE PLANS, WORK OR  
FORMS REPRESENTED, CAN LEGALLY RESULT IN THE  
CESSATION OF SUCH CONSTRUCTION OR BUILDINGS  
BEING SEIZED AND/OR RAZED.

ISSUE	DATE

DRAWN BY  
B SHUTE

CHECKED BY  
B GOODMAN

SITE PLAN

SANDERSON

SP 1.1

# RESIDENTIAL



**2023 PPRBC**  
**2021 IECC Amended**

Parcel: 6223000127

**Address: 4330 ARROWHEAD DR, COLORADO SPRINGS**

**Plan Track #: 196023** 

**Received: 11-Nov-2024 (BRIANNAM)**

**Description:**

**ADDITION**

Contractor: KIMBER CONSTRUCTION, LLC.

Type of Unit:

## Required PPRBD Departments (5)

**Floodplain**

(N/A) **RBD GIS**

**N/A**

11/19/2024 9:03:53 AM



**Construction**

**Electrical**

**Mechanical**

**Plumbing**

**Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.**

Required Outside Departments (2)

County Zoning

APPROVED  
Plan Review

11/19/2024 10:41:17 AM  
dsdyounger

EPC Planning & Community  
Development Department

EPC Health Dept