

OSCURO TRAIL 60' R.O.W.

S89 34'07" W  
200.08

**BOUNDARY OF DISTURBANCE AREA : 18,540 SQUARE FEET LESS THAN 1 ACRE**  
18,540 /109,335 sf SF x100 = 17.0%

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**LOT 9**  
**109,335 sf**  
**2.51 ac**  
1930

1" = 20'-0"

GARDEN LEVEL PUMP BASEMENT

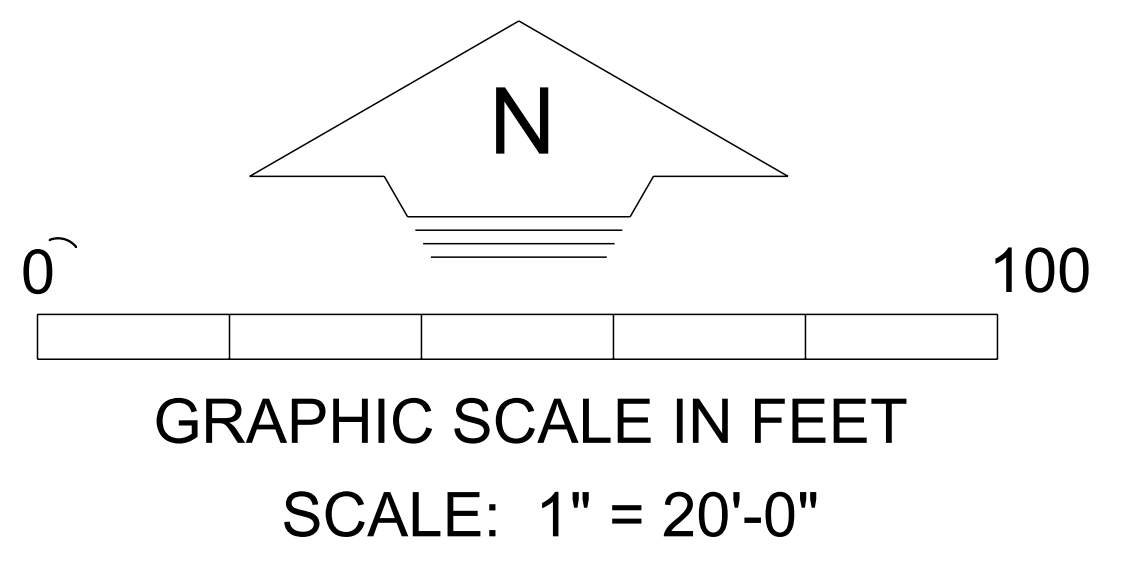
14961 OSCURO TRAIL

254.00'  
S89 34'07" W

**GENERAL CONDITIONS and LIMITED LIABILITY**

It is the intent of the drawings and specifications to be guidelines for construction. They have been prepared without the consultation of an architect or licensed Colorado engineer. The contractor is responsible for determining any questions and meanings in the working drawings and specifications, and the contractor shall notify the Designer in writing of any errors, omissions, or unresolvable detailing which may cause construction problems. The Designer's liability regarding errors and/or omissions will be limited to the correction of the original drawings; consultants liability is the same.

THE DRAWINGS AND DATA USED FOR THIS DRAWING IS TO BE USED FOR GUIDELINES OF CONSTRUCTION. THE OWNER, PURCHASER, GENERAL CONTRACTOR, and/or HEATING CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT ALL CONSTRUCTION DATA INPUTS AND DESIGN FACTORS ARE ALL CORRECT TO THE SPECIFICATIONS OF THE RESIDENCE BEING BUILT. BY PURCHASING THIS DESIGN IT IS AGREED THAT THE PROJECT HAS BEEN ACCEPTED AND THEREFORE LIMITS THE DESIGNER'S LIABILITY TO CORRECTION OF THE ORIGINAL DRAWINGS AND SUPPORT DATA ONLY. IN THE EVENT THAT MECHANICAL DESIGN ERRORS CAUSE CONSTRUCTION PROBLEMS DURING ANY PHASE OF THE BUILDING PROCESS, LATENT HOME DESIGN MUST BE NOTIFIED IMMEDIATELY TO TAKE APPROPRIATE ACTION. NO LIABILITY ASSUMED FOR DEVIATION FROM PRINT INCLUDING BUT NOT LIMITED TO: EQUIPMENT BRAND/TYPE, CFM, RATED STATIC PRESSURE, DUCT SIZE, LENGTH/TIE & MATERIAL.



**GRADE KEY**

	PROPOSED GRADES
	EXISTING GRADES

**IMPERVIOUS COVERAGE CALC**

STRUCTURE:	3,326 SQ.FT
DRIVEWAY AND SIDEWALK:	2,160 SQ.FT
<b>TOTAL IMPERVIOUS AREA:</b>	<b>5,486 SQ.FT</b>

LOT AREA: Area: 109,335 SQFT 2.510ac  
% OF IMPERVIOUS COVERAGE = 5,486/109,335 sf x 100 = 5.1%

**BOUNDARY OF DISTURBANCE AREA : 18,540 SQUARE FEET LESS THAN 1 ACRE**  
18,540 /109,335 sf SF x100 = 17.0%

14961 OSCURO TRAIL  
Legal: LOT 9 Saddlehorn Ranch Filing No.1  
Area: 109,335 sf 2.510 ac  
Schedule #: 4310001005  
Zoning: RR-2.5 Plat No: 14749

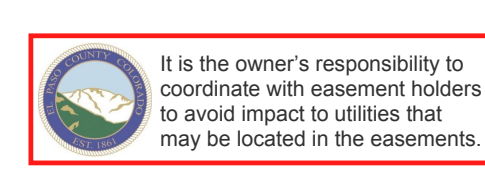
200' MIN. WIDTH AT FRONT  
FRONT SETBACK 25'  
SIDE SETBACK 15'  
REAR SETBACK 25'

30' MAX BUILDING HEIGHT

SFD221238

**APPROVED BESQCP**  
09/06/2022 2:12:39 PM  
dsdyounger  
EPC Planning & Community Development Department

**APPROVED Plan Review**  
09/06/2022 1:00:16 PM  
dsdyounger  
C Planning & Community development Department



ANY APPROVAL GIVEN BY EL PASO COUNTY DOES NOT CREATE THE NEED TO COMPLY WITH ANY STATE, FEDERAL, STATE, OR LOCAL LAWS AND/OR REGULATIONS. Planning & Community Development Department approval is contingent upon compliance with all applicable codes on the recorded plan.

An access permit must be granted by the Planning & Community Development Department prior to the establishment of any driveway onto a County road.

Division of blockage of any drainage way is not permitted without approval of the Planning & Community Development Department.

- GENERAL NOTES:**
- The contractor and homeowner shall review and verify all information on these drawings and be responsible for the same. Report all discrepancies to the designer for proper adjustment.
  - All smoke detectors (SD) must be interconnected (hardwired) and shall have battery back-up.
  - LP gas-burning appliances are not permitted in basement or crawl space areas.
  - A Colorado licensed architect or engineer shall design all footings and foundation walls. This report/design shall be incorporated with these drawings and shall be available at the building site at all times.
  - All foundations and piers (including deck supports) shall bear on undisturbed soil. All footings and piers shall be protected with a minimum earthen cover of 30" for frost protection.
  - All dimensions shown on these drawings are to face of framing members unless specifically indicated to the contrary. Member dimensions shall take precedence over scaled dimensions. PLEASE DO NOT SCALE DRAWINGS.
  - All structural hardware shown on these drawings shall be as manufactured by Simpson Strong-Tie Company of San Leandro, California. The home designer prior to installation shall approve any substitutions.
  - Roof ventilation shall equal 1/50 of the net attic area with 50% located at the eaves and 50% located at the upper portion of the area to be ventilated. A minimum of 1 inch of air space shall be provided between the insulation and the roof sheathing at eaves. (Compliance with 2009 IRC R806.2 is mandatory)
  - Dryer to vent to exterior > 36" from any openings.

- SPECIFICATIONS:**
- Typical exterior walls shall be 2x6 studs at 16" o/c with insulation as per Energy Calc. Studs shall be sheathed with 7/16" OSB typical. Exterior finish materials shall be as per elevation pages. See elevation pages for additional information.
  - Typical floor framing shall be 11-7/8" TJI 210 joists @ 16" o/c. Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
  - Typical headers are (2) 2x8 HF #2 & Better.
    - Use (1) trimmer and (1) kingstud at openings from 0" to 3'11".
    - Use (2) trimmers and (2) kingstuds at openings from 3'11" to 5'11".
    - Use (3) trimmers and (3) kingstuds at openings from 5'11" to 7'11".
 All others are noted. Beams and headers shown on the framing plan shall have precedence.
  - All interior walls shall be 2x4 studs at 16" o/c (typical); unless noted to the contrary.
  - Typical wall finish shall be textured 1/2" gypsum board. Use 5/8" type "X" gypsum board at all garage common walls, ceilings, & structural members.
  - All stairs or steps to grade shall have a maximum rise of 7 1/4" and a minimum run of 10". All stairs shall be a minimum of 3'-1" wide, to include landings.
  - Windows shall be to builder with double pane insulated low E glass. All windows must have a U-value as specified in the Energy Calc.
  - Fascia shall be 5/4" x 7" tapered Profim over 2x6 sub-fascia. Softm material shall be 7/16" masonry (typical).
  - The roof covering for this building shall be Class II asphalt shingles. Asphalt shingles weighing less than 2400/100 sq.ft. may only be installed between May and October. For elevations 7000' and greater, ice & water shield required starting at one end and continuing to a point 2' inside exterior wall line. All gutters shall be 3" (self-flashing) pre-primed with minimum 36" top-outs. (Solid flex pipe to daylight is highly recommended).
  - Exhaust duct up through attic space, minimum R-6 insulation & 25' max run.

- ROOF NOTES:**
- All roof trusses shall be placed at 24" o/c (max) unless noted to the contrary. The typical standard truss heels for this job shall be 6-6 (6/12). Please refer to roof framing plan which takes precedence.
  - Shaded areas indicate valleys. All valleys shall be framed with 2x6 HF #2 roof rafters at 24" o/c atop 2x valley stud while using 2x6 HF #2 ridge/pitch. All members longer than 6'0" shall be supported to structural roof members below with 2x4 supports at 48" o/c (max). At installed areas, use valley trusses at 24" o/c perpendicular to structural trusses below. Connect valley trusses with Simpson VCT2 clips at 24" o/c per Simpson instructions (page 149).
  - Individual truss drawings, as noted, shall be labeled to match this plan and be submitted to the home designer for review prior to submission to the building dept. The governing authority for this project is: PIKES PEAK REGIONAL BUILDING DEPARTMENT.
  - Typical headers are (2) 2x8 HF #2 & Better. (Unless noted to the contrary.)
    - Use (1) trimmer and (1) kingstud each end of all openings from 0" to 3'11".
    - Use (2) trimmers and (2) kingstuds at openings from 3'11" to 5'11".
    - Use (3) trimmers and (3) kingstuds at openings from 5'11" to 7'11".
 All others are noted. Beams and headers shown on the framing plan shall have precedence.
  - Simpson Strong-Tie Company of San Leandro shall manufacture all hardware shown on this plan. The home designer shall approve any substitutions prior to installation.
  - Structural roof members shall be secured to the building's top plates (or beams) with Simpson 192.5T truss anchors at each bearing location unless noted otherwise.

- FLOOR NOTES:**
- Framer shall plate up foundation to insure headroom of 8'-9" from the bottom of the floor joists to the concrete slab at the unfinished basement. The minimum headroom under the lowest beam shall be 7'-11".
  - Typical floor system shall be framed 11-7/8" TJI 210 joists @ 16" o/c. (Floor will be engineered to minimum of L/480 live load deflection.) Floor sheathing shall be 3/4" OSB (tongue and groove) glued and nailed to floor joists per American Plywood Association specifications and recommendations.
  - Typical headers are (2) 2x8 HF #2 & Better.
    - Use (1) trimmer and (1) kingstud at all openings from 0" to 3'-11".
    - Use (2) trimmers and (2) kingstuds at openings from 3'-11" to 5'-11".
    - Use (3) trimmers and (3) kingstuds at openings from 5'-11" to 7'-11".
 All others are noted. Beams and headers shown on the framing plan shall have precedence.
  - All decks shall be framed with 2x10 HF #2 floor joists at 16" o/c. Support beams shall be as shown on the framing plan. All joists shall be Simpson LUS210. All deck joists within 18" of grade shall be treated material.
  - Insulate all cantilevers and floor joists above unheated space with insulation as per Energy Calc.

**CODE INFORMATION:**

2017	Pikes Peak Regional Building Code (2017 PPRBC)
2015	International Residential Code (2015 IRC)*
2015	International Existing Building Code (IEBC)*
2015	International Energy Conservation Code* (IECC)
2015	International Mechanical Code*
2015	International Fuel Gas Code*
2018	International Plumbing Code**
2017	National Electric Code**
*	As amended by 2017 PPRBC
**	Or the latest edition adopted by the State of Colorado

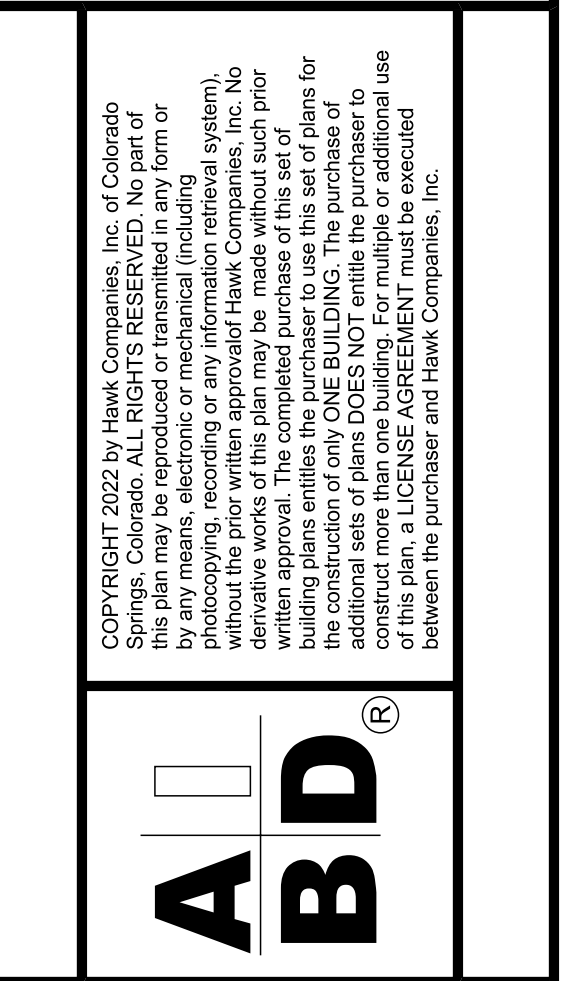
**STRUCTURAL DESIGN LOADS:**

	Live Load	Dead Load	Total Load
Floor	40 psf	16 psf	56 psf
Roof	40 psf	16 psf	56 psf
ENTRY/VAULT	60 psf	16 psf	76 psf
		Wind	130 mph - Vult

**AREA TABLE:**

LEVEL	Area
LOWER LEVEL (Finished)	1,760 Sq.Ft.
LOWER LEVEL (TOTAL)	1,820 Sq.Ft.
MAIN LEVEL	1,946 Sq.Ft.
2 Car Garage	641 Sq.Ft.
1 Car Garage	368 Sq.Ft.
TOTAL GARAGES	1,009 Sq.Ft.
COVERED FRONT PORCH	164 Sq.Ft.
COVERED REAR DECK	220 Sq.Ft.
GARAGE PATIO/DECK	80 Sq.Ft.
<b>TOTAL COVERED AREA</b>	<b>3,711 Sq.Ft.</b>

**Night Hawk Design**  
a Hawk Companies, Inc. Business  
2848 Country Club Drive, Colorado Springs, Colorado 80909-1019  
Dennis Asher Dave Tenace  
dasher@hawkcompanies.com dt@hawkcompanies.com  
719.477.9400 (office) 719.477.9441 (fax)



TBD  
Colorado Springs, Colorado  
719-649-9354  
Akeem Seriki:  
Builder

Sandra Lehmann, Realtor  
The Lehmann Team Leader  
RE/MAX Real Estate Group  
Office: 719-534-7900  
Cell: 719-629-6330



2022 ATMAN LEVEL  
5 CAR GARAGE  
BEST WINNING

"1930 sf GreenHom 3-Car Residence"  
14961 Oscuro Trail  
Elbert, CO 80831  
Legal: LOT 9 Saddlehorn Ranch Filing No.1  
Area: 2.51 Acres SQFT 1,930 Sq. Ft.  
Schedule #: 4310001005 Zoning: RR-2.5  
Owner: Saddlehorn Ranch LLC  
Napa, California 94556

09-28-2021

REVISION	DATE
BID SET	09-28-2021
REVISION	10-20-2021
REVISION	02-15-2022

# RESIDENTIAL



2017 PPRBC

Address: 14961 OSCURO TRL, PEYTON

Parcel: 4310001005

Plan Track #: 157476 

Received: 28-Jan-2022 (AUSTINK)

## Description:

### RESIDENCE

Contractor:

Type of Unit:

Garage	1009	
Lower Level 1	60	
Lower Level 2	1760	
Main Level	1946	
	4775	Total Square Feet

## Required PPRBD Departments (4)

**Enumeration**

Released for Permit

02/01/2022 10:14:06 AM



Becky A  
ENUMERATION

**Floodplain**

(N/A) RBD GIS

**Construction**

Released for Permit

02/18/2022 9:18:56 AM



CGieck  
CONSTRUCTION

**Mechanical**

Released for Permit

02/18/2022 11:13:20 AM




Justin C  
MECHANICAL

## Required Outside Departments (1)

**County Zoning**

APPROVED  
Plan Review

09/06/2022 2:13:50 PM



dsdyounger  
EPC Planning & Community  
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.