

DISCOUNT TIRE SITE DEVELOPMENT PLAN

FALCON MARKETPLACE, LOT 4 - 7585 FALCON MARKET PL

SITUATED IN A PORTION OF THE SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST
OF THE 6TH P.M., COUNTY OF EL PASO, STATE OF COLORADO

LAND AREA:

51,052 SQ. FT. OR 1.172 ACRES MORE OR LESS

BASIS OF BEARING:

BEARINGS ARE BASED UPON A LINE LYING 30' WESTERLY AND PARALLEL OF THE EAST LINE OF SOUTHEAST QUARTER OF SECTION 1, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH P.M. AS SHOWN OF THE PLAT OF FALCON MARKETPLACE, MONUMENTED AT THE NORTH END WITH A #5 REBAR AND YELLOW PLASTIC CAP STAMPED "PLS 31548", AND MONUMENTED AT THE SOUTH END WITH A MAG NAIL AND WASHER STAMPED "PLS 31548", AND IS ASSUMED TO BEAR N 00°29'40" W, A DISTANCE OF 1137.83'.

BENCHMARK:

ELEVATIONS ARE BASED UPON THE COLORADO SPRINGS UTILITIES FACILITIES INFORMATION MANAGEMENT SYSTEM (FIMS) MONUMENT BLT167 (ELEVATION = 6873.18 NVGD29)

LEGAL DESCRIPTION

PARCEL A, LOT 4, FALCON MARKETPLACE

GENERAL NOTES:

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.

FEMA CLASSIFICATION

THIS SITE IS NOT WITHIN A DESIGNATED F.E.M.A. FLOODPLAIN AS DETERMINED BY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 08041C0553G EFFECTIVE DATE DECEMBER 7, 2018 AND IS LABELED AS A ZONE "X" AREA, OR AREA OF MINIMAL FLOOD HAZARD.

NOTICE AND WARNING:

COMPLIANCE WITH THE AMERICANS FOR DISABILITIES ACT ("ADA") AND OTHER FEDERAL AND STATE ACCESSIBILITY LAWS IS THE SOLE RESPONSIBILITY OF THE PROPERTY OWNER. THEREFORE, COMPLIANCE WITH CITY CODES DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. EL PASO COUNTY IS NOT RESPONSIBLE FOR ENFORCEMENT OF THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS.

PROPERTY OWNER ACKNOWLEDGEMENT

HALLE PROPERTIES, LLC, BEING THE OWNER(S) OF THE LAND DESCRIBED HEREIN HAVE CAUSED SAID LAND TO BE SITE PLANNED UNDER THE NAME OF DISCOUNT TIRE - FALCON. ALL CONDITIONS, TERMS, AND SPECIFICATIONS DESIGNATED OR DESCRIBED ON THIS DOCUMENT SHALL BE BINDING ON THE OWNERS, THEIR HEIRS, SUCCESSORS AND ASSIGNS.

NO CHANGES MAY BE MADE TO THIS SITE DEVELOPMENT PLAN WITHOUT CITY APPROVAL. MINOR CHANGES TO THE SITE DEVELOPMENT PLAN MAY BE APPROVED ADMINISTRATIVELY BY THE CITY PLANNING DEPARTMENT. MAJOR CHANGES TO THIS SITE DEVELOPMENT PLAN, ESPECIALLY DELETIONS OF APPROVED ITEMS OR SUBSTANTIAL CHANGES IN BUILDING LOCATION SHALL BE SUBJECT TO THE SAME APPLICATION, REVIEW AND APPEAL PROCESSES APPLICABLE TO THE ORIGINAL SITE DEVELOPMENT PLAN. ENGINEERING, GRADING, AND CONSTRUCTION PLANS ARE NOT PART OF THIS APPROVAL.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS AND SEALS THIS 8th DAY OF July, 2021


[PROPERTY OWNER] Matthew Johnson, Agent

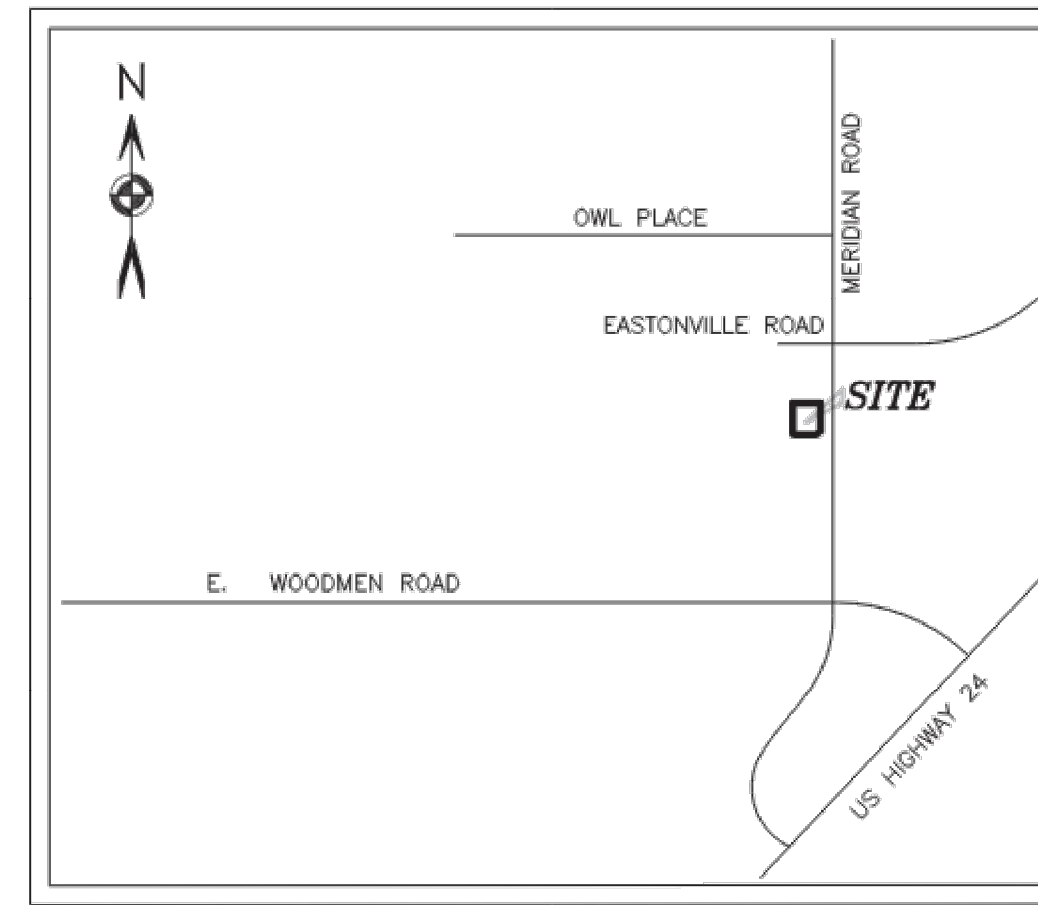
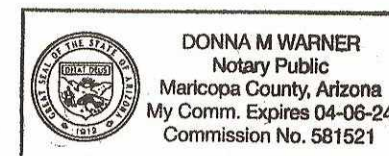
NOTARY CERTIFICATE
(STATE OF ARIZONA)
(COUNTY OF MARICOPA)

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS 8th DAY OF July, 2021,
BY Matthew Johnson, Agent (NAME AND TITLE)

MY COMMISSION EXPIRES: 4/6/2024

ADDRESS OF NOTARY: 20225 N Scottsdale Road, Scottsdale, AZ 85255


NOTARY PUBLIC Donna M Warner



VICINITY MAP
(NOT TO SCALE)

SITE DEVELOPMENT PLAN	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	SITE PLAN
3	UTILITY PLAN
4	GRADING PLAN
5	DETAILS

*L.1	*LANDSCAPE PLAN
*L.2	*LANDSCAPE DETAILS
*L.3	*LANDSCAPE NOTES

*A.1	*BUILDING FLOOR PLAN
*A.2	*BUILDING ELEVATIONS
*A.3	*BUILDING ELEVATIONS

*ES.1	*PHOTOMETRIC PLAN
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*SHEETS PROVIDED AS SEPARATE DOCUMENTS

CONTACTS:

DEVELOPER:
HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255
TEL: (480) 606-6845
CONTACT: LESLIE GERMAN
EMAIL: LESLIE.GERMAN@DISCOUNTTIRE.COM

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: MITCHELL HESS, P.E.
EMAIL: MITCHELL.HESS@KIMLEY-HORN.COM

LANDSCAPE ARCHITECT:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 300
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JEREMY POWELL, P.L.A.
EMAIL: JEREMY.POWELL@KIMLEY-HORN.COM

ARCHITECT:
PLUMP ENGINEERING, INC
914 E. KATELLA AVE.
ANAHEIM, CA 92805
TEL: (714) 385-1835
CONTACT: ERIC KAELEBLE
EMAIL: EKAELEBLE@PEICA.COM

SURVEYOR:
BARRON LAND SURVEYING
2790 N. ACADEMY BOULEVARD, SUITE 311
COLORADO SPRINGS, CO 80917
TEL: (719) 360-6827
CONTACT: SPENCER BARRON P.L.S.
EMAIL: SPENCER@BARRONLAND.COM

OWNER:
HALLE PROPERTIES, LLC
20225 N. SCOTTSDALE ROAD
SCOTTSDALE, AZ 85255
TEL: (480) 606-6845
CONTACT: LESLIE GERMAN
EMAIL: LESLIE.GERMAN@DISCOUNTTIRE.COM

SITE DATA

SITE AREA:	1.172± AC (51,052 SF)
AREA OF DISTURBANCE	1.13± AC
ZONING CLASSIFICATION:	COMMERCIAL REGIONAL (CR)
LAND USE:	AUTO REPAIR
JURISDICTION:	EL PASO COUNTY
SITE ADDRESS:	7585 FALCON MARKETPLACE
TAX SCHEDULE NO.:	5301402002
BUILDING SETBACKS:	50' FRONT SETBACK 25' SIDE SETBACK 25' REAR SETBACK
MAXIMUM LOT COVERAGE:	N/A
PROPOSED EASEMENTS:	NONE
LANDSCAPE:	5% OF INTERIOR LOT (NOT INCLUDING LANDSCAPE BUFFER)
SITE COVERAGE:	BUILDING - 7,488 SF 14.7%± DRIVEWAY AND PARKING - 27,168 SF 53.2%± SIDEWALKS AND HARDSCAPE - 3,224 SF 6.31%± LANDSCAPING - 13,152 SF 25.8%±

BUILDING DATA


TOTAL GROSS BUILDING AREA:	7,488 S.F.
BUILDING HEIGHT:	PROPOSED: 28.00' MAXIMUM BY CODE: 45.0'
PROPOSED LOT COVERAGE:	14.7%±
CONSTRUCTION TYPE:	II-B (FULLY SPRINKLED)
OCCUPANCY CLASSIFICATION:	M AND S-1

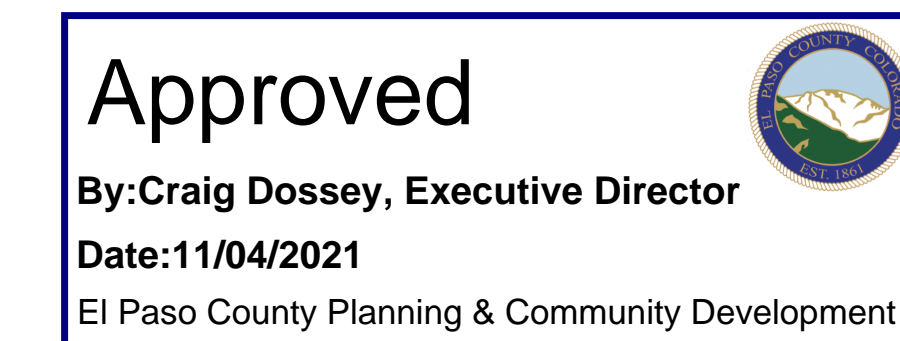
PARKING COUNTS

	PARKING REQUIRED	PARKING PROVIDED
OFF-STREET PARKING	3/BAY = 15	33
	1/EMPLOYEE = 18	
ADA	1/25 SPACES = 2	2
BICYCLE PARKING	3	3

OWNER/DEVELOPER STATEMENT

I, THE OWNER/DEVELOPER ACCEPT THE CONDITIONS AND RESTRICTIONS AS SET FORTH ON THE FINAL DEVELOPMENT PLAN.


HALLE PROPERTIES, LLC
BY: Matthew Johnson
TITLE: Agent
ADDRESS: 20225 N Scottsdale Road, Scottsdale, AZ 85255



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COVER SHEET
SHEET 1 OF 5

LEGEND

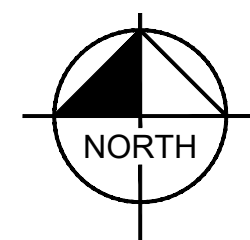
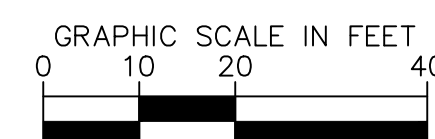
- PROPERTY LINE
- BUILDING SETBACK LINE
- EASEMENT LINE
- ACCESSIBLE ROUTE
- PROPOSED FIRE LANE STRIPING
- LANDSCAPE
- PROPOSED HEAVY DUTY CONCRETE PAVEMENT
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT
- PROPOSED STANDARD DUTY ASPHALT PAVEMENT
- PROPOSED CONCRETE SIDEWALK
- PROPOSED SITE LIGHT
- PROPOSED STORM SEWER MANHOLE
- EXISTING STORM SEWER MANHOLE
- PROPOSED AREA INLET

KEYNOTE LEGEND

- 1 PROPOSED TYPE A CURB AND GUTTER PER EL PASO COUNTY STD SD_2-20
- 2 PROPOSED CONCRETE SIDEWALK PER CDOT STANDARD DRAWING M-609-1 (WIDTH PER PLAN)
- 3 PROPOSED ADA STRIPING, VAN SPACE AS NOTED ON SITE PLAN. REFER TO SHEET 5 FOR MORE INFORMATION
- 4 PROPOSED ADA SIGN. REFER TO SHEET 5 FOR MORE INFORMATION, SIGN INSTALLATION PER PLAN.
- 5 PROPOSED TYPE 1 (PERPENDICULAR) CURB RAMP PER CDOT STANDARD DRAWING M-608-1 WITH DETECTABLE WARNING PER EL PASO COUNTY STANDARD SD_2-42
- 6 PROPOSED BOLLARD, REFER TO SHEET 5 FOR MORE DETAILS
- 7 PROPOSED DELIVERY PARKING, STRIPING PER KEYNOTE 9
- 8 PROPOSED 4" WIDE PARKING STRIPE
- 9 PROPOSED 4" WIDE DIAGONAL PAVEMENT MARKINGS AT 36" ON CENTER
- 10 PROPOSED LANDSCAPING, REFER TO LANDSCAPE PLANS FOR MORE DETAILS
- 11 PROPOSED TRASH ENCLOSURE, REFER TO ARCHITECTURAL PLANS FOR MORE DETAILS
- 12 PROPOSED 5-FT WIDE CROSSWALK STRIPING
- 13 PROPOSED FIRE LANE STRIPING PER
- 14 PROPOSED BIKE RACK (3 SPACES), REFER TO SHEET 5 FOR MORE INFORMATION
- 15 PROPOSED MONUMENT SIGN, REFER TO SIGN PACKAGE FOR MORE DETAILS
- 16 PROPOSED DIRECTIONAL ARROW. REFER TO SHEET 5 FOR MORE DETAILS

GENERAL NOTES

- 1. ALL PAVEMENT TO BE STANDARD DUTY ASPHALT PER GEOTECHNICAL RECOMMENDATIONS UNLESS OTHERWISE NOTED.

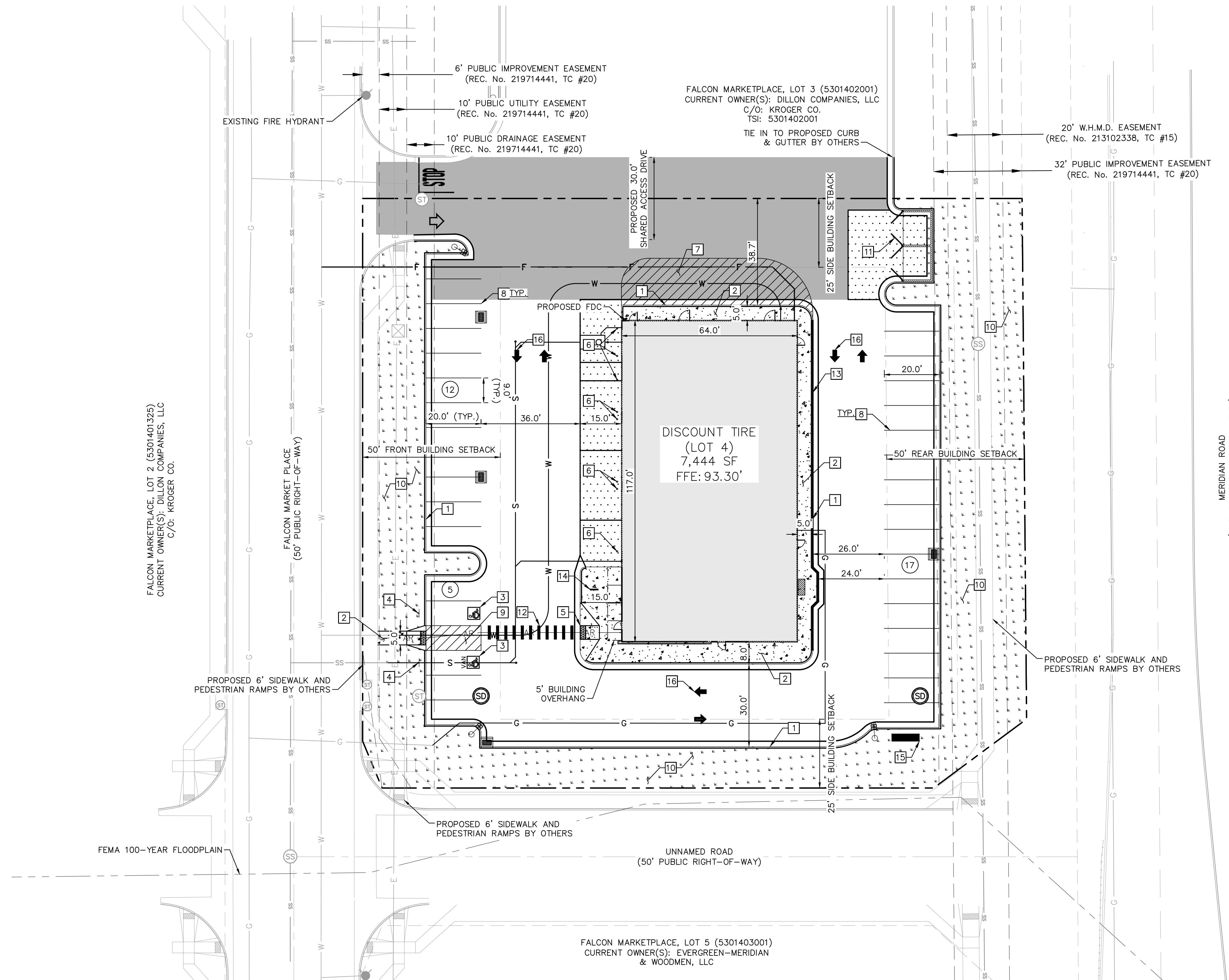


DISCOUNT TIRE

SITE DEVELOPMENT PLAN

FALCON MARKETPLACE, LOT 4 - 7585 FALCON MARKET PL

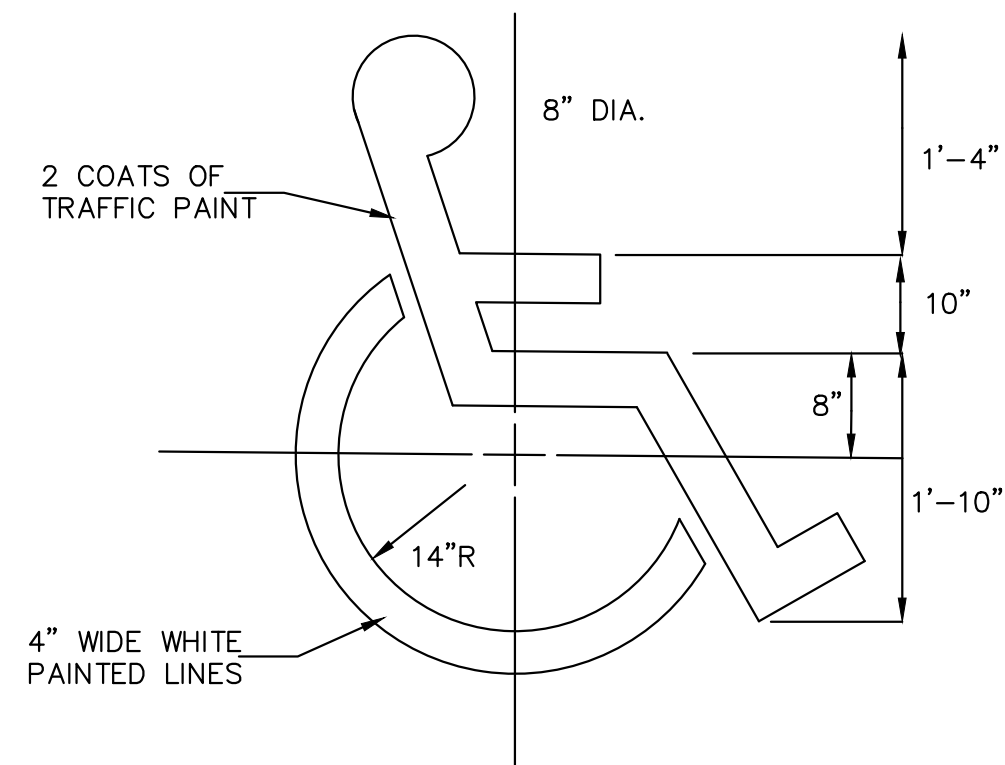
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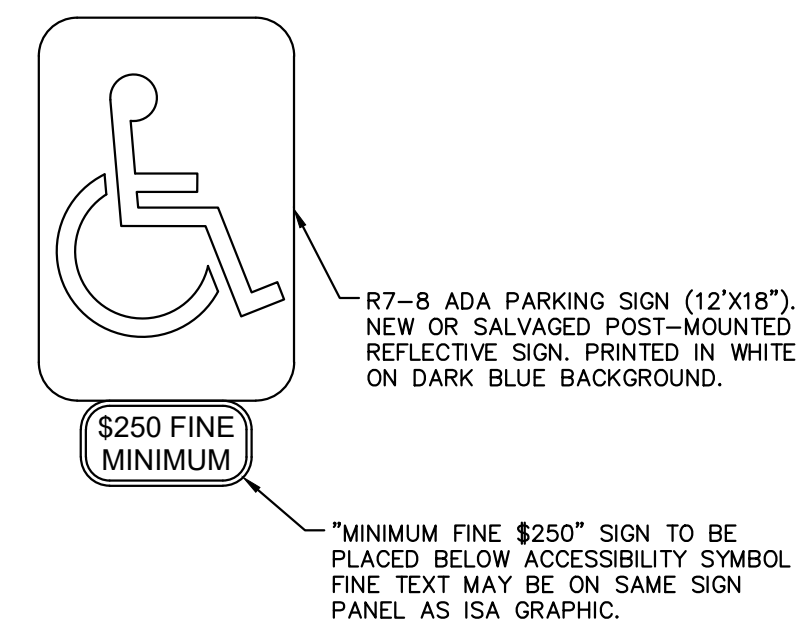
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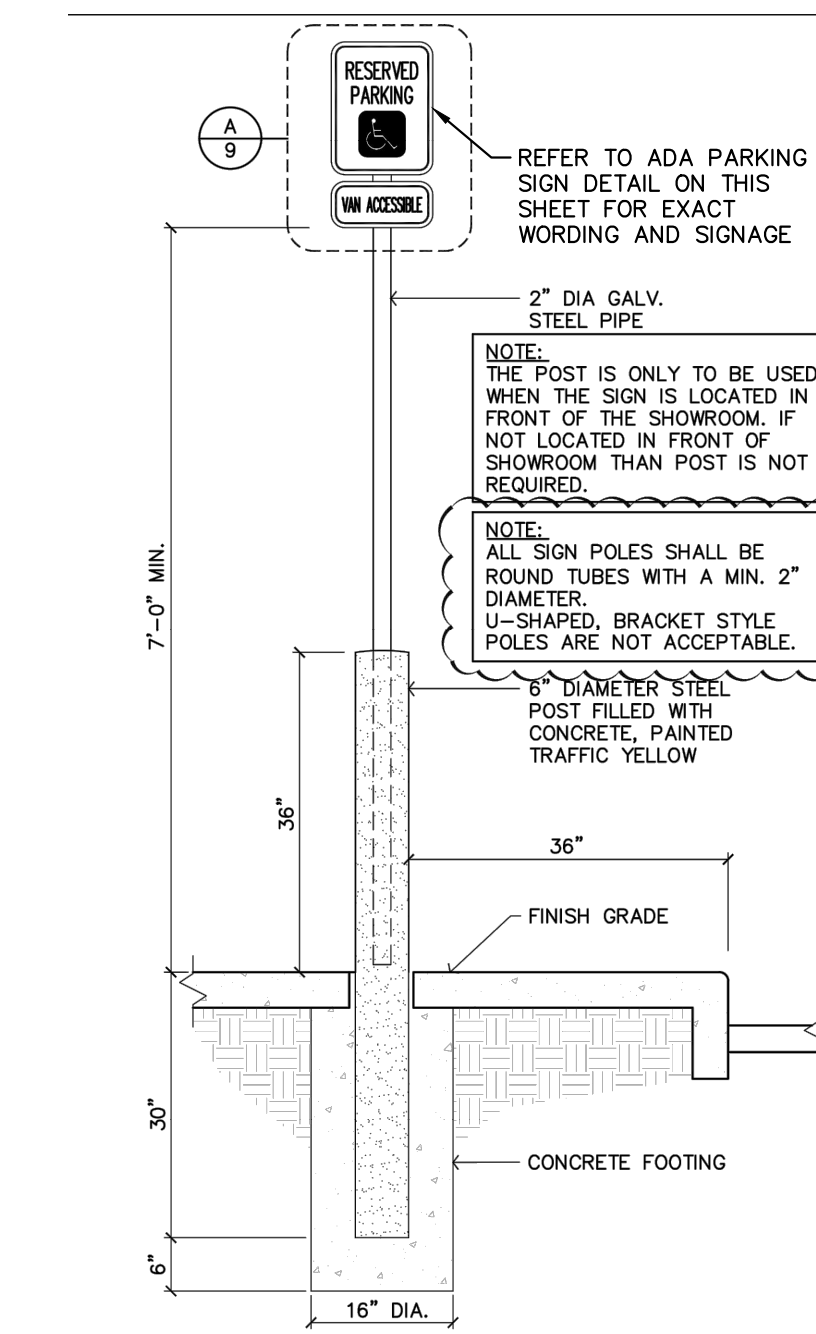
HANDICAP SYMBOL

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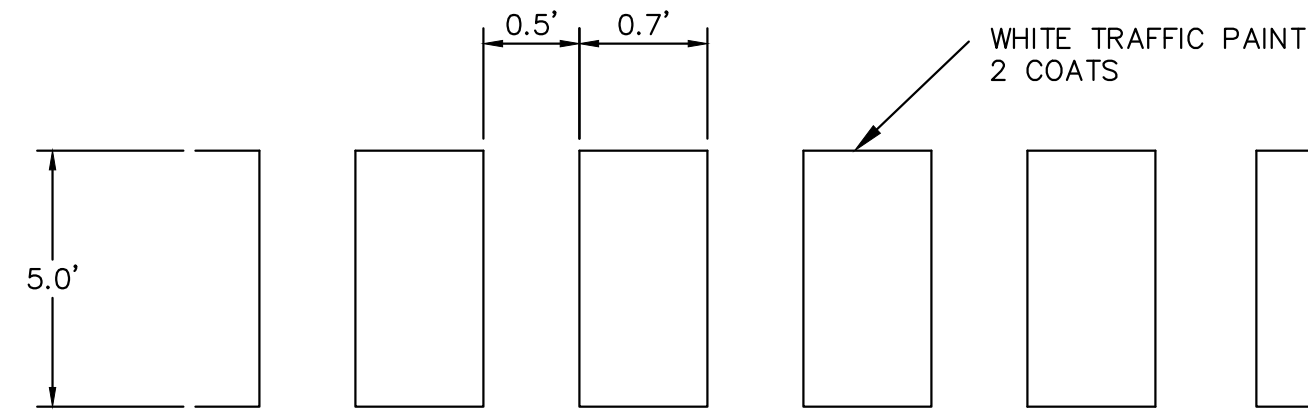
ADA PARKING SIGN DETAILS

NOT TO SCALE



ACCESSIBLE SIGN POST DETAIL

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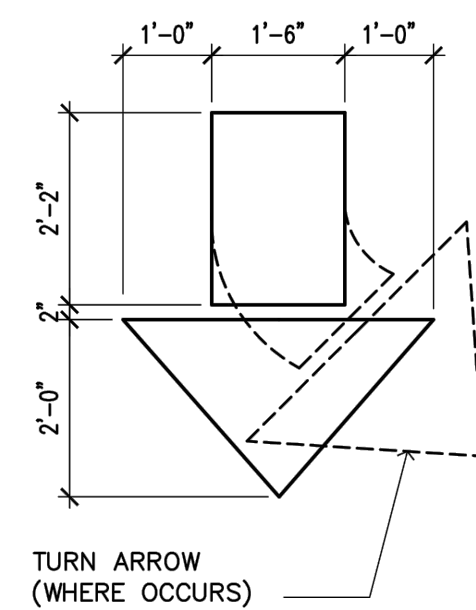


TYPICAL CROSSWALK DETAIL

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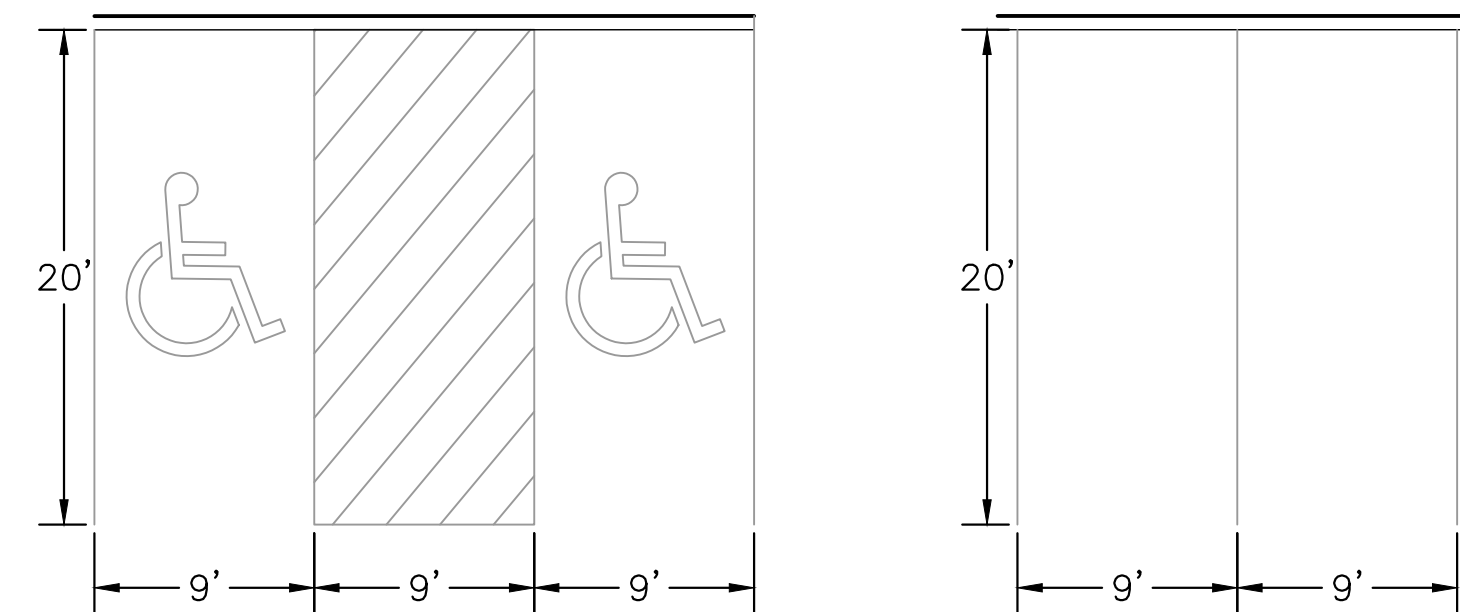
NOTES:

1. PLACE ARROW IN CENTER OF TRAFFIC LANE, SEE SITE PLAN.
2. PAINT ARROW WITH WHITE BEADED REFLECTIVE PAINT. SEE SPECS. FOR ADDITIONAL INFORMATION.
3. PAINT TWO (2) COATS MINIMUM. LET DRY BETWEEN COATS.



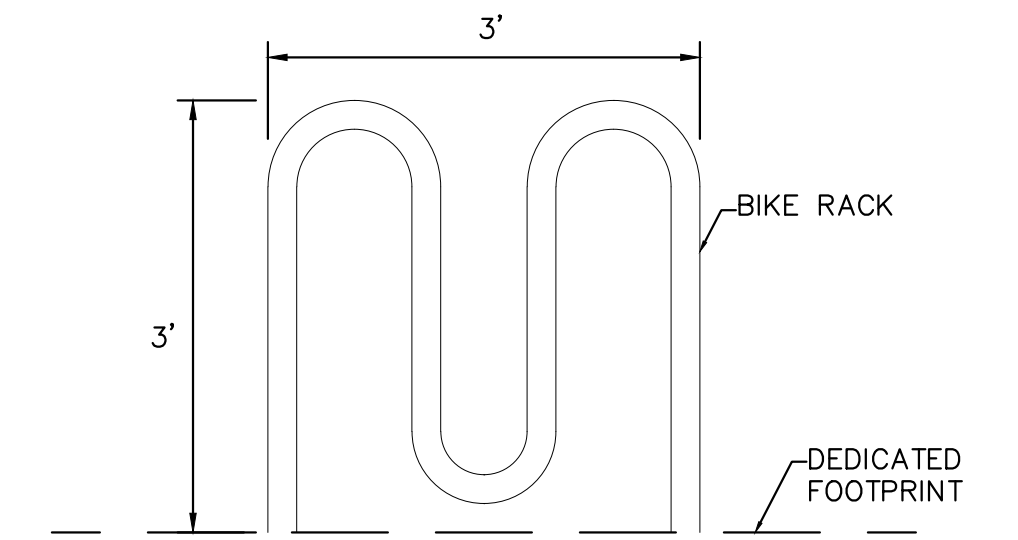
DIRECTIONAL ARROW STRIPING DETAIL

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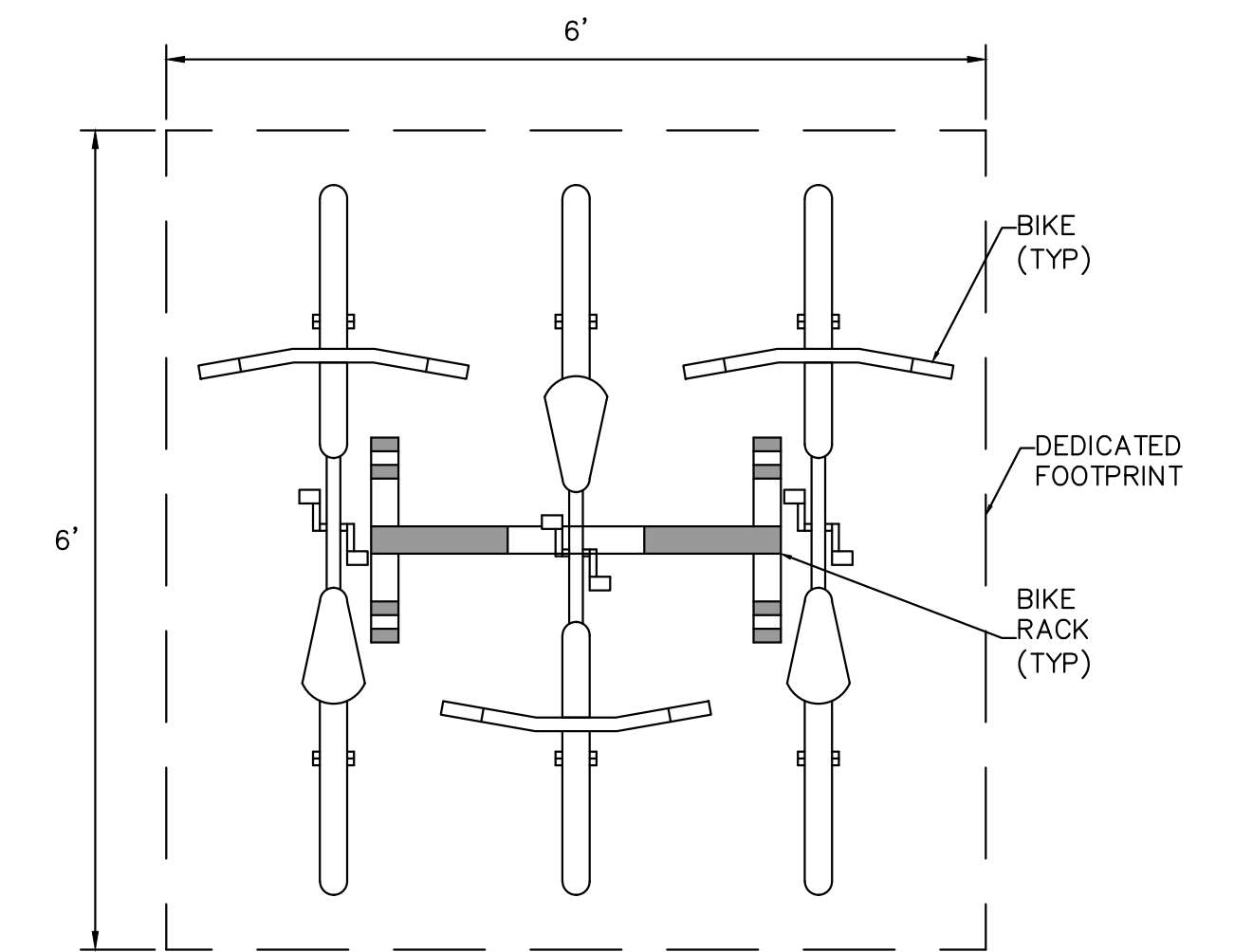


TYPICAL PARKING DETAILS

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FRONT ELEVATION



PLAN VIEW

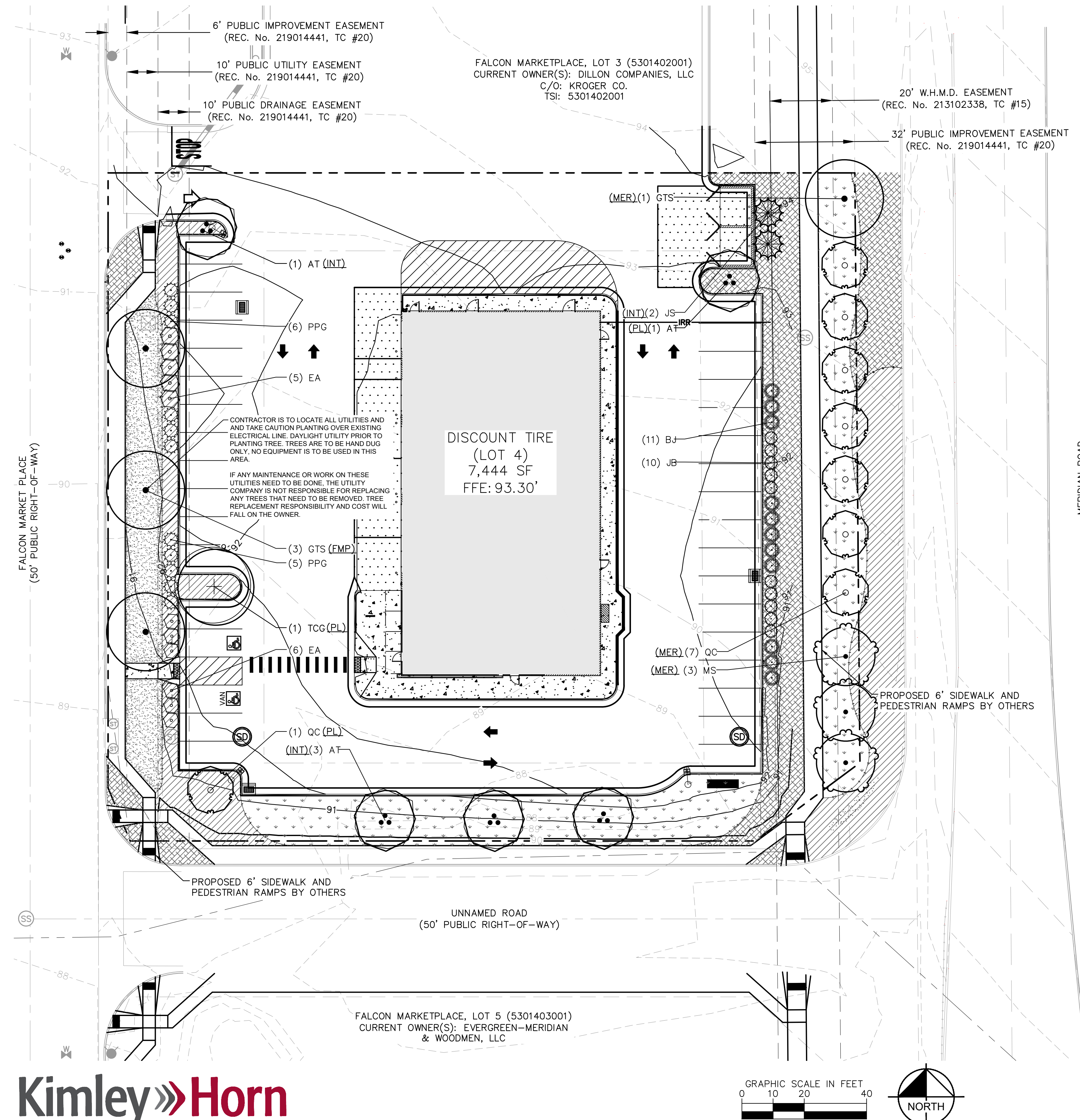
DEDICATED FOOTPRINT FOR 3 BIKE RACK

NOT TO SCALE

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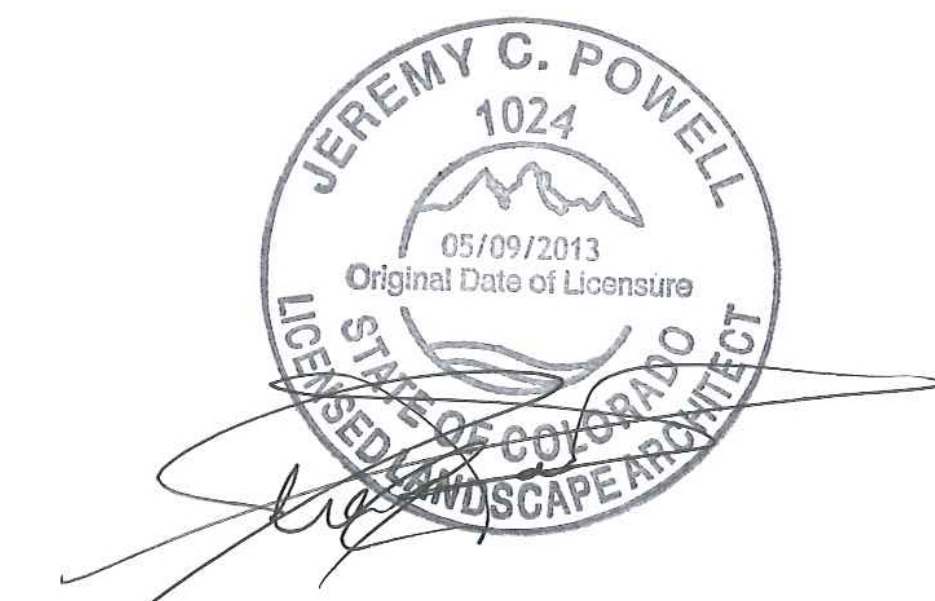
PLANT SCHEDULE

DECIDUOUS TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
	AT	Acer tataricum 'GarAnn'™	Hot Wings Tatarian Maple	2' Ht.	B&B	5			
	GTS	Gleditsia triacanthos inermis 'Sunburst'	Sunburst Thornless Honey Locust	2' Ht.	B&B	4			
	MS	Malus x 'Spring Snow'	Spring Snow Crabapple	2' Cal.	B&B	3			
	QC	Quercus x 'Crimschmidt'	Crimson Spire Oak	2' Cal.	B&B	8			
	TCG	Tilia cordata 'Greenspire'	Greenspire Linden	2' Cal.	B&B	1			
EVERGREEN TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
	JS	Juniperus scopulorum	Rocky Mountain Juniper	---		2			
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS	
	JB	Berberis thunbergii 'Atropurpurea'	Red Leaf Japanese Barberry	5 gal.	Cont.	10			
	EA	Euonymus alatus 'Compactus'	Compact Burning Bush	5 gal.	Cont.	11			
	BJ	Juniperus sabina 'Buffalo'	Buffalo Juniper	5 gal.	Cont.	11			
	PPG	Picea pungens 'Globosa'	Dwarf Globe Blue Spruce	5 gal.	Cont.	11			
GROUND COVERS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	SPACING	QTY	DETAIL	REMARKS
	COBBLE	Arkansas Tan Cobble		2-4" Diameter			4,472 sf		from C&C Sand and Stone
	ROCK	Arkansas Tan Rock		1.5" Diameter			4,047 sf		From C&C Sand and Stone
	SEED	Low Grow Native Seed Mix	SEED	---			5,056 sf		By Arkansas Valley seed
	SOD	RTF Water Saver Sod	SOD	---			1,729 sf		by Green valley Turf

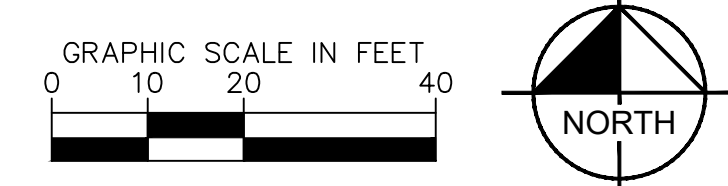
DEVELOPMENT PLAN DATA:

STREET NAME OR ZONE BOUNDARY:	STREET FRONTAGES	CODE	INTERNAL	CODE	PARKING	CODE
FALCON MARKET PLACE - 50' PUBLIC RIGHT-OF-WAY						
UNNAMED ROAD (50' PUBLIC RIGHT-OF-WAY)						
STREET FRONTAGE REQUIREMENTS FALCON MARKETPLACE MASTER LANDSCAPE REQUIREMENTS						
MERIDIAN RD - 11 TREES	TREES (11 REQ / 11 PROVIDED)	MER				
FALCON MARKET PLACE - 3 TREES	TREES (3 REQ / * 0 PROVIDED)	FMP				
PARKING LANDSCAPE, 1 TREE PER 15 PARKING SPACES. SCREENING 2/3 OF PARKING TO ADJACENT PROPERTIES AND ROADS.					3 TREES REQUIRED 3 TREES PROVIDED	PL
35 PARKING STALLS / 15 = 2.3 (3 TREES) P. LOT SCREENING TOTAL PARKING FRONTAGE 324 LF 305 x (.667) = 204 LF OF SCREENING AREA REQUIRED					204 FT SCREEN REQ. 208 FT SCREEN PROV. (MIN. 50% EVERGREEN)	
INTERNAL REQUIREMENTS- LANDSCAPE SF TO BE MINIMUM OF 5% OF SITE 51033 SF x .05 = 2552 SF REQUIRED			2552 SF (5%) REQ. 15392 SF (30%) PROV.			
1 TREE PER 500 SF OF INTERNAL SPACE REQ. 2552 / 500 = 5.104 (6 TREES)			6 TREES REQUIRED *6 TREES PROVIDED	INT		

* (INTERIOR TREES ARE LOCATED AROUND THE PERIMETER DUE TO INSUFFICIENT LANDSCAPE AREA ADJACENT TO BUILDING.)



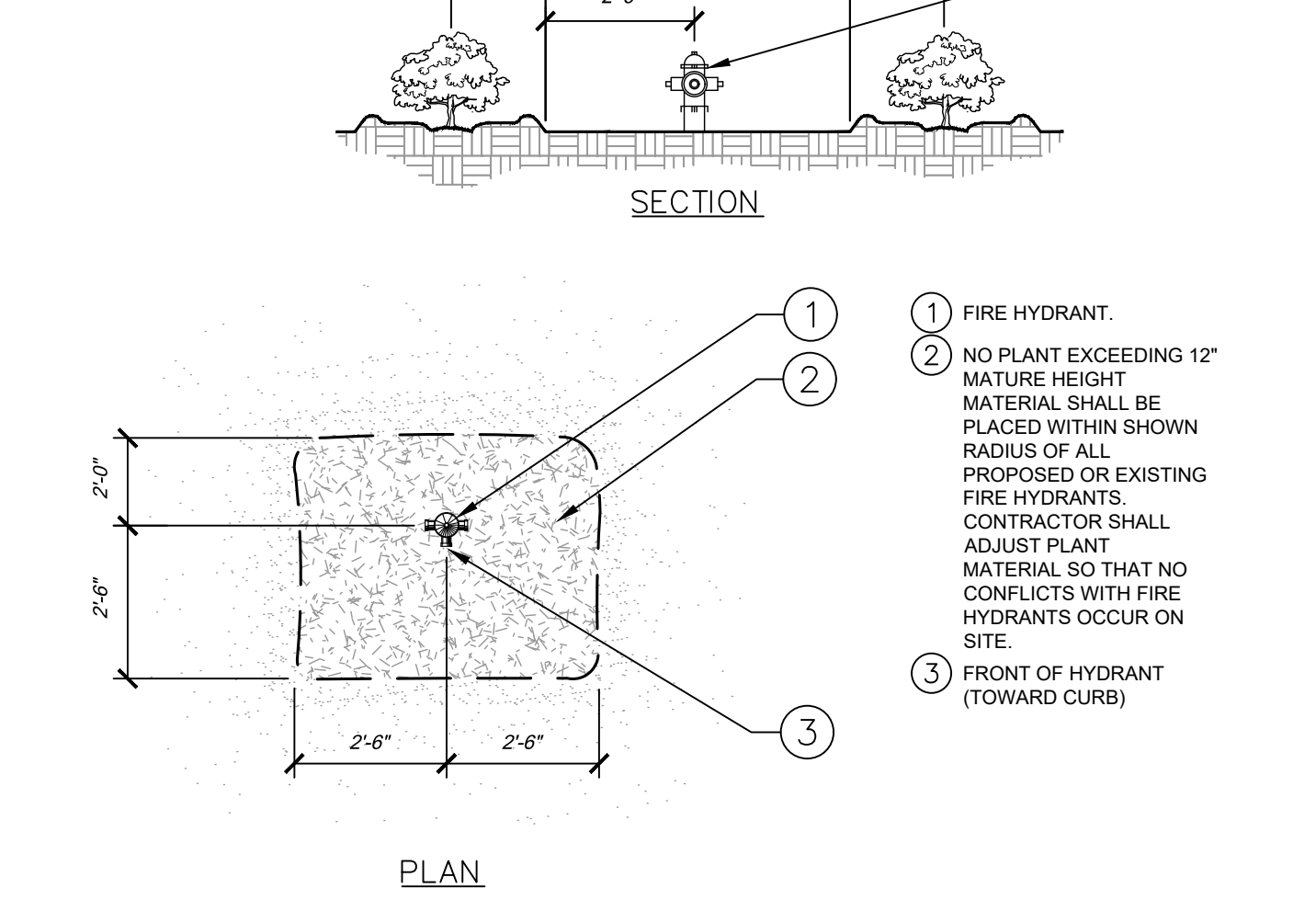
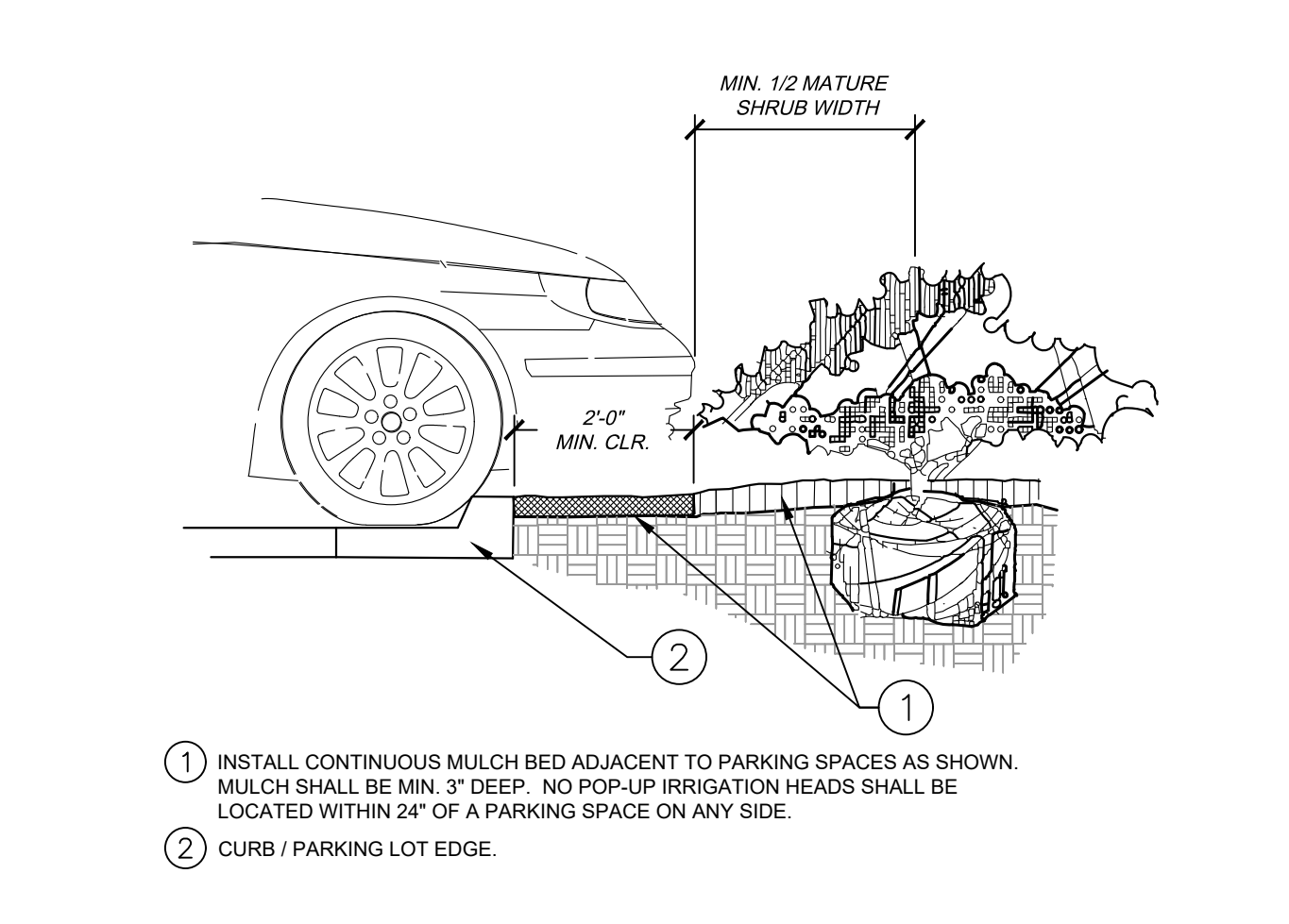
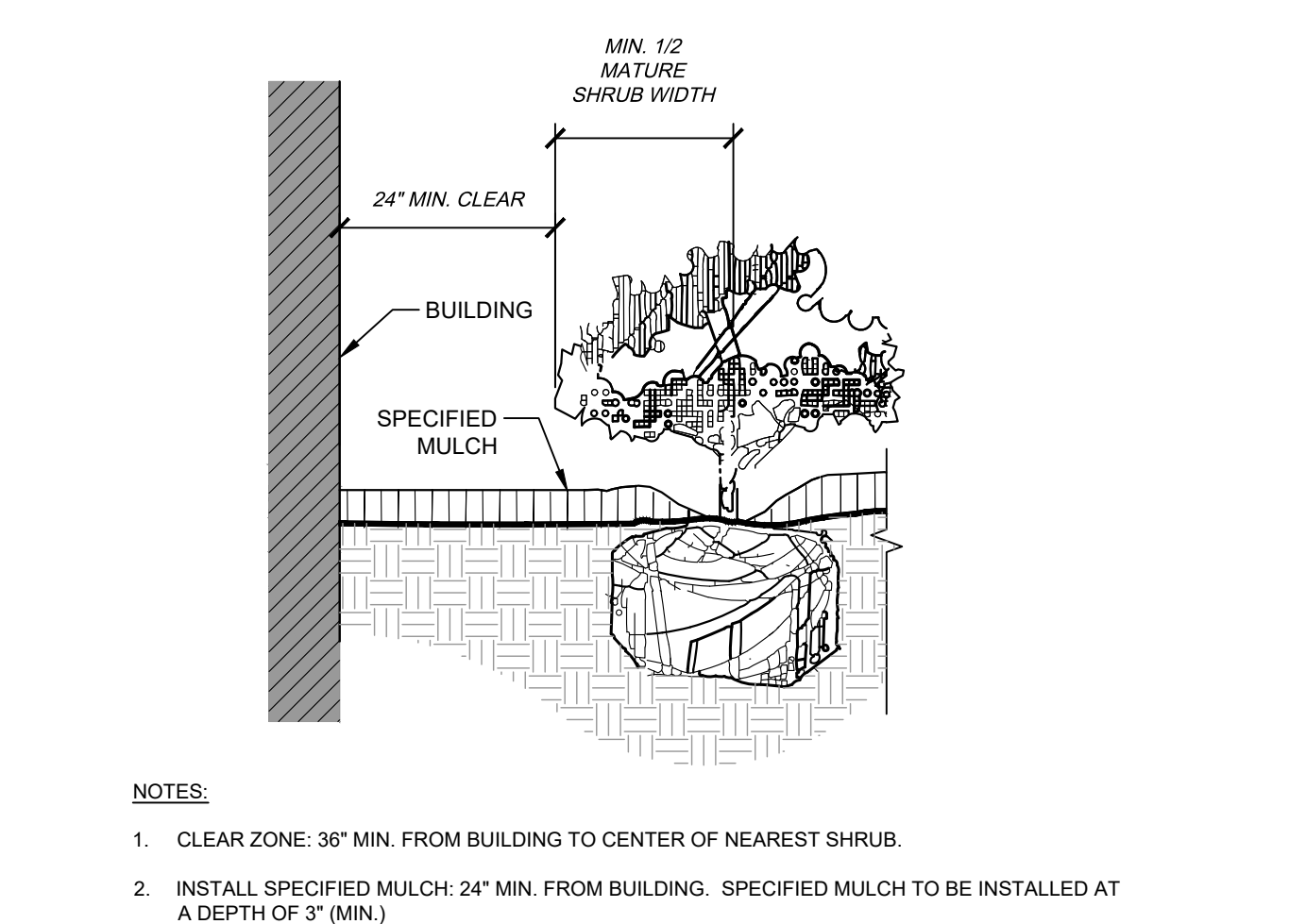
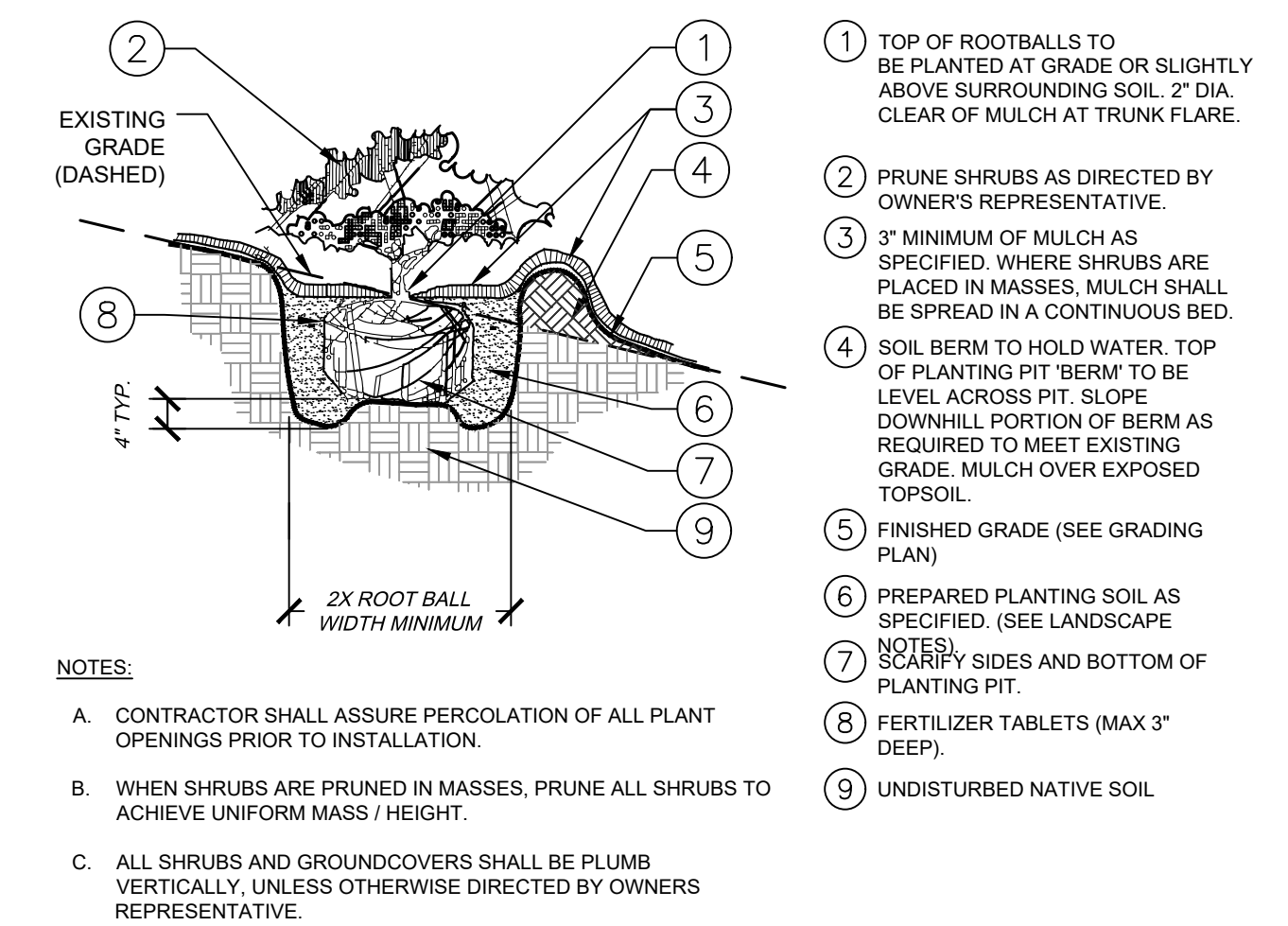
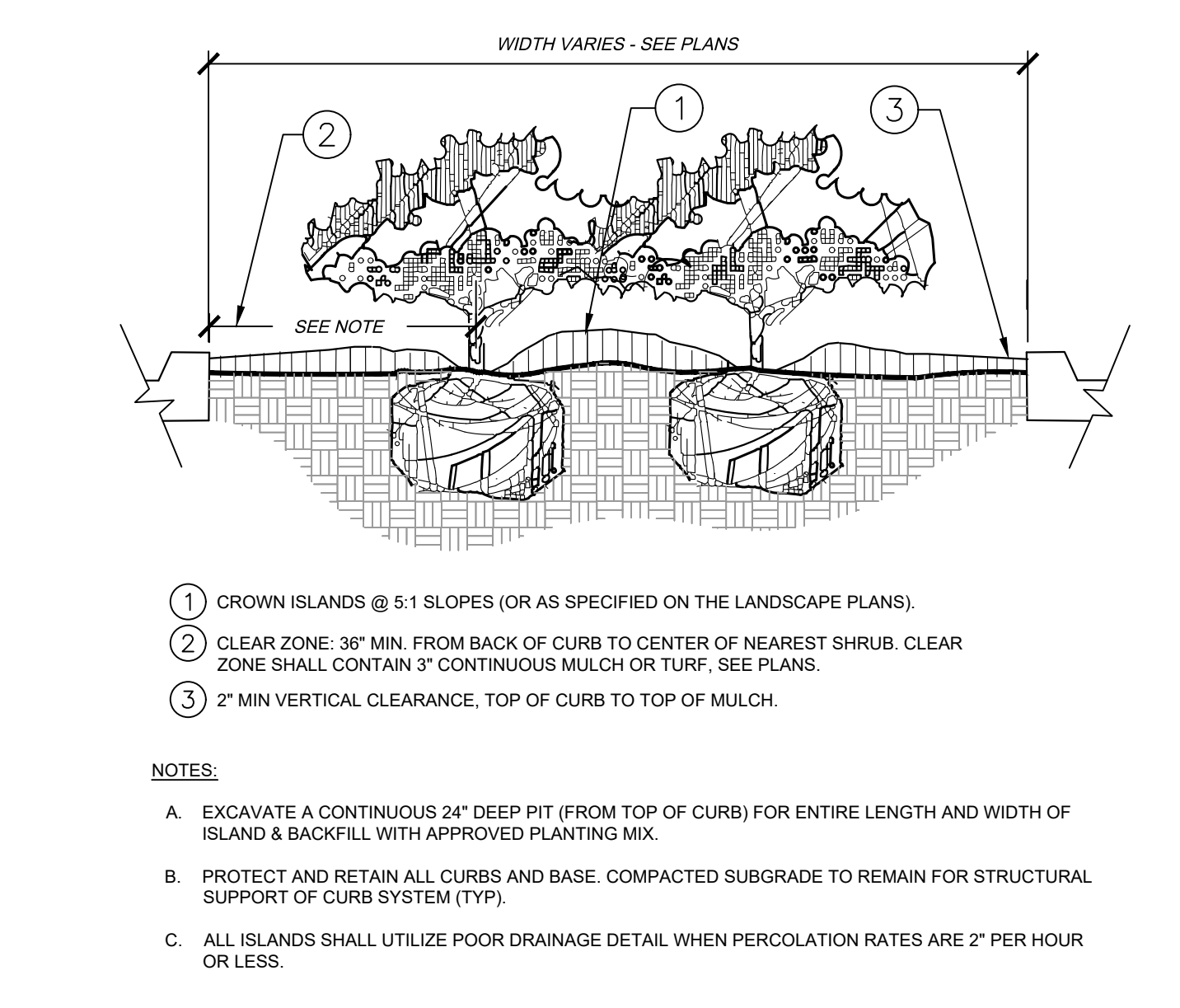
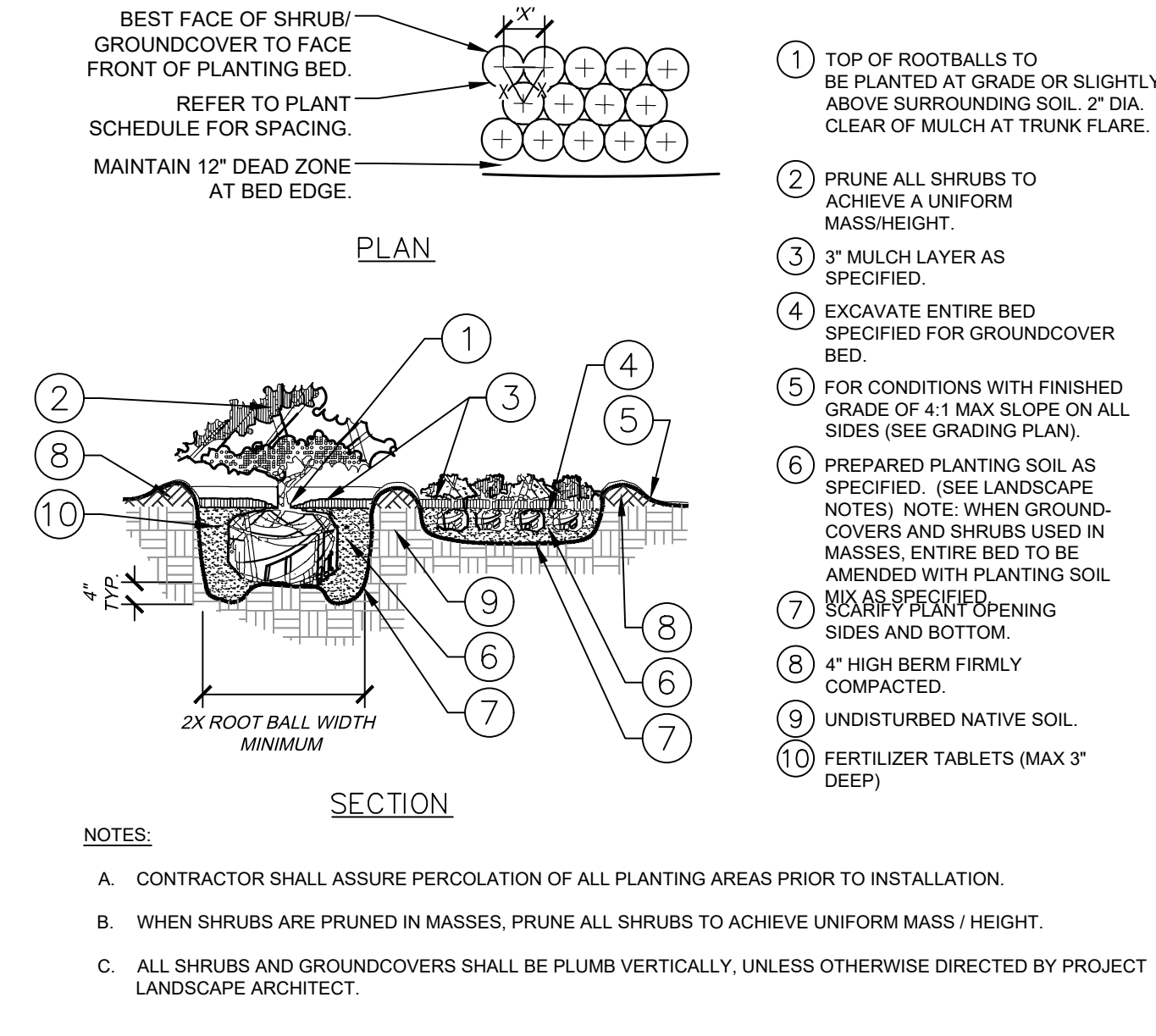
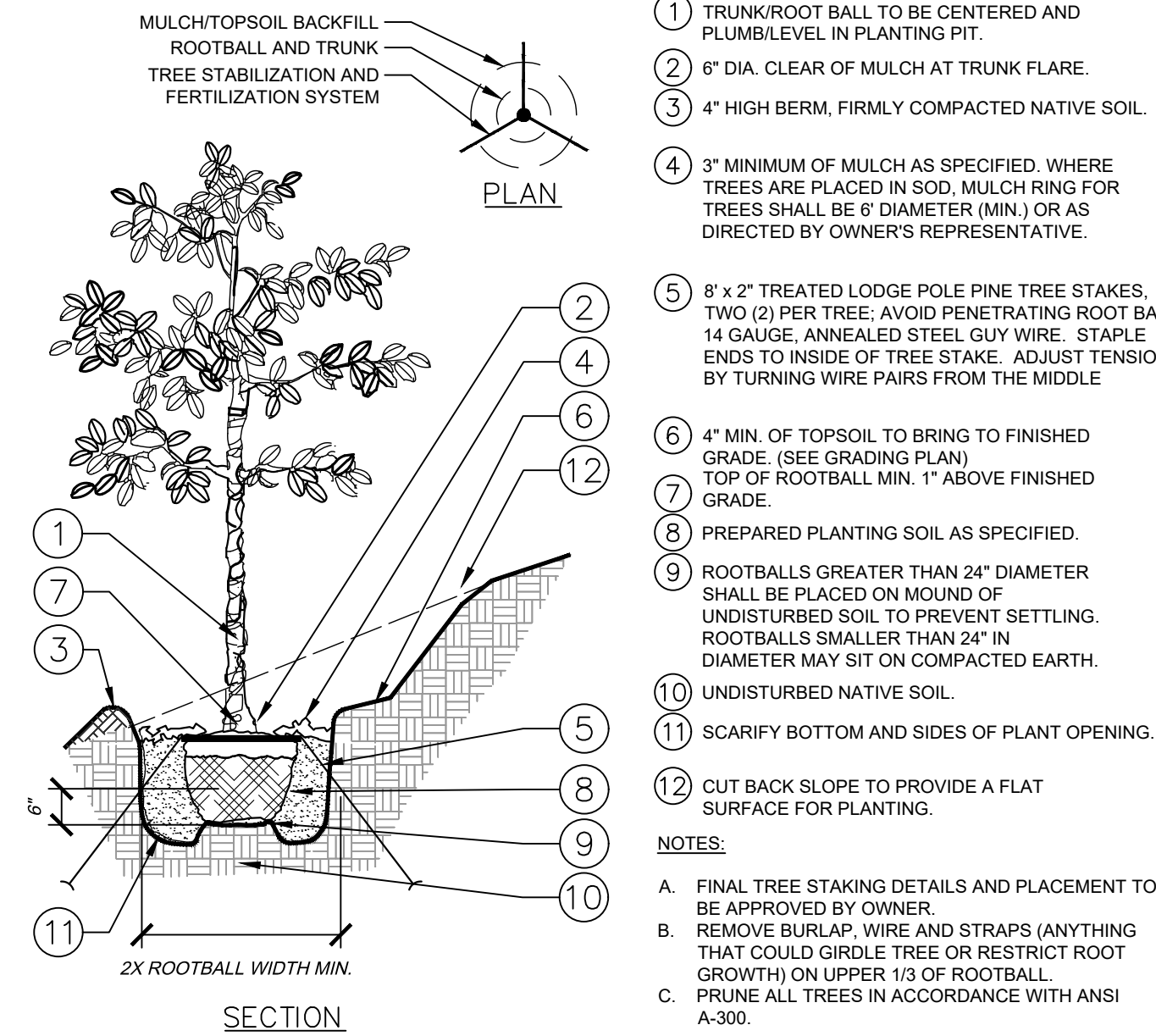
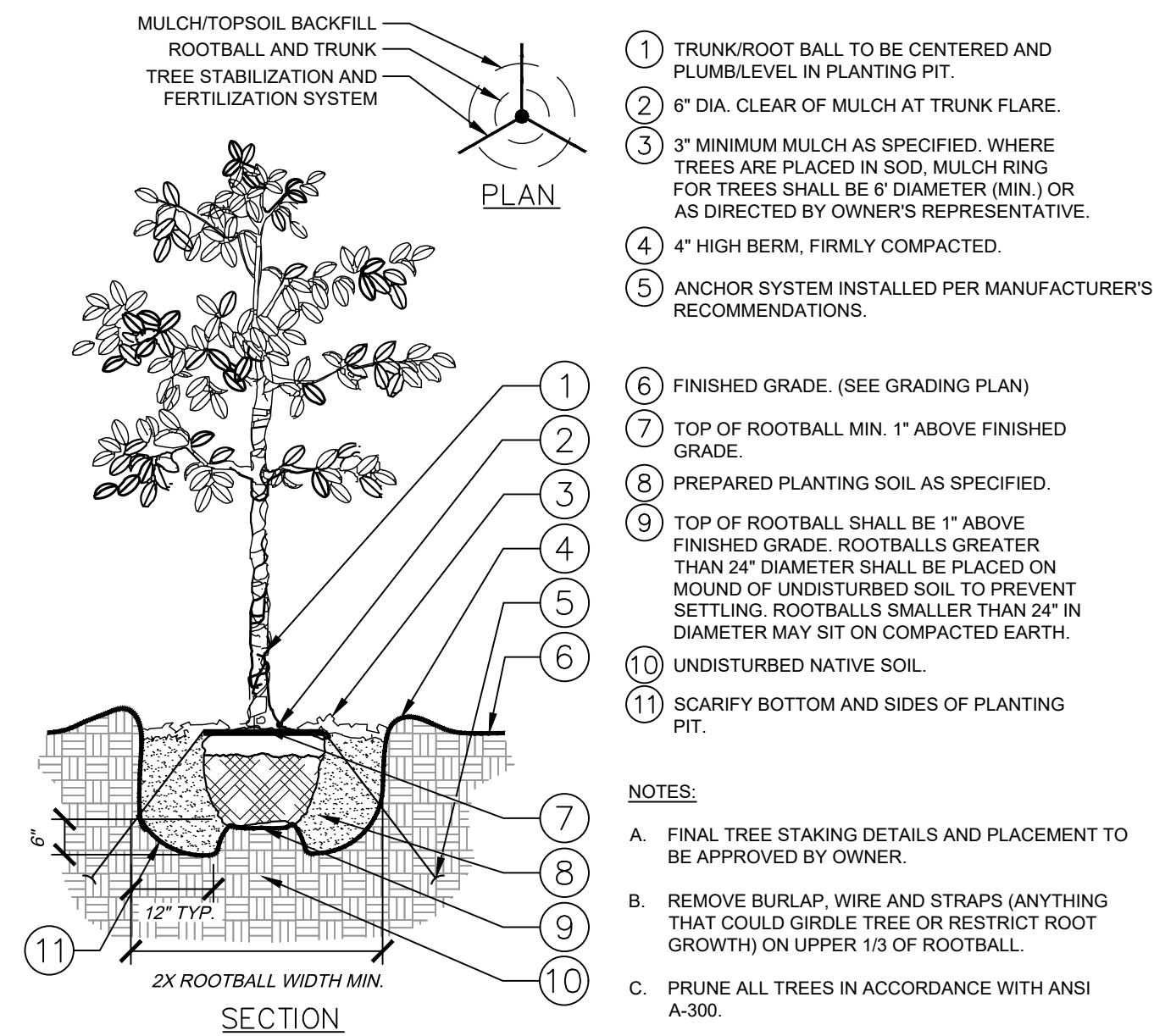
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GENERAL LANDSCAPE SPECIFICATIONS

- A. SCOPE OF WORK**
- THE WORK CONSISTS OF: FURNISHING ALL LABOR, MATERIALS, EQUIPMENT, TOOLS, TRANSPORTATION, AND ANY OTHER APPURTENANCES NECESSARY FOR THE COMPLETION OF THIS PROJECT AS SHOWN ON THE DRAWINGS AND AS SPECIFIED HEREIN.
 - WORK SHALL INCLUDE MAINTENANCE AND WATERING OF ALL CONTRACT PLANTING AREAS UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER.
- B. PROTECTION OF EXISTING STRUCTURES**
- ALL EXISTING BUILDINGS, WALKS, WALLS, PAVING, PIPING, OTHER SITE CONSTRUCTION ITEMS, AND PLANTING ALREADY COMPLETED OR ESTABLISHED AND DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE BY THE CONTRACTOR UNLESS OTHERWISE SPECIFIED. ALL DAMAGE RESULTING FROM NEGLIGENCE SHALL BE REPAIRED OR REPLACED TO THE SATISFACTION OF THE OWNER, AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL NECESSARY BEST MANAGEMENT PRACTICES (BMP) DEVICES ACCORDING TO ALL REGULATORY AGENCY'S STANDARDS THROUGH THE DURATION OF ALL CONSTRUCTION ACTIVITIES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY MAINTENANCE OF TRAFFIC (MOT) THAT MAY BE REQUIRED FOR THE PROJECT.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UTILITIES, WHETHER PUBLIC OR PRIVATE. PRIOR TO EXCAVATION, THE OWNER AND DESIGN PROFESSIONAL SHALL NOT BE RESPONSIBLE FOR THE ACCURACY AND COMPLETENESS OF ANY SUCH INFORMATION OR DATA. THE CONTRACTOR SHALL HAVE FULL RESPONSIBILITY FOR: REVIEWING AND CHECKING ALL SUCH INFORMATION AND DATA; LOCATING ALL UNDERGROUND FACILITIES DURING CONSTRUCTION; THE SAFETY AND PROTECTION THEREOF; REPAIRING ANY DAMAGE THERE TO RESULTING FROM THE WORK. THE COST OF ALL WILL BE CONSIDERED AS HAVING BEEN INCLUDED IN THE CONTRACT PRICE. THE CONTRACTOR SHALL NOTIFY ANY AFFECTED UTILITY COMPANIES OR AGENCIES IN WRITING AT LEAST 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- C. PROTECTION OF EXISTING PLANT MATERIALS**
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL UNAUTHORIZED CUTTING OR DAMAGE TO TREES AND SHRUBS EXISTING OR OTHERWISE CAUSED BY CARELESS EQUIPMENT OPERATION, MATERIAL STOCKPILING, ETC... THIS SHALL INCLUDE COMPACTION BY DRIVING OR PARKING INSIDE THE DRIP-LINE AND SPILLING OIL, GASOLINE, OR OTHER DELETERIOUS MATERIALS WITHIN THE DRIP-LINE. NO MATERIALS SHALL BE BURNED ON SITE. EXISTING TREES KILLED OR DAMAGED SO THAT THEY ARE MISSHAPEN AND/OR UNSIGHTLY SHALL BE REPLACED AT THE COST TO THE CONTRACTOR OF FOUR HUNDRED DOLLARS (\$400) PER CALIPER INCH ON AN ESCALATING SCALE WHICH ADDS AN ADDITIONAL TWENTY (20) PERCENT PER INCH OVER FOUR (4) INCHES CALIPER AS FIXED AND AGREED LIQUIDATED DAMAGES. CALIPER SHALL BE MEASURED SIX (6) INCHES ABOVE GROUND LEVEL FOR TREES UP TO AND INCLUDING FOUR (4) INCHES IN CALIPER AND TWELVE (12) INCHES ABOVE GROUND LEVEL FOR TREES OVER FOUR (4) INCHES IN CALIPER.
 - SEE TREE MITIGATION PLAN AND NOTES, IF APPLICABLE.
- D. MATERIALS**
- GENERAL
 - MATERIAL SAMPLES LISTED BELOW SHALL BE SUBMITTED FOR APPROVAL, ON SITE OR AS DETERMINED BY THE OWNER. UPON APPROVAL, DELIVERY OF MATERIALS MAY COMMENCE.

MATERIAL	SAMPLE SIZE
MULCH	ONE (1) CUBIC FOOT
TOPSOIL MIX	ONE (1) CUBIC FOOT
PLANTS	ONE (1) OF EACH VARIETY (OR TAGGED IN NURSERY)
 - PLANT MATERIALS
 - FURNISH NURSERY-GROWN PLANTS TRUE TO GENUS, SPECIES, VARIETY, CULTIVAR, STEM FORM, SHEARING, J. AND OTHER FEATURES INDICATED IN PLANT SCHEDULE SHOWN ON DRAWINGS AND COMPLYING WITH ANSI Z60.1 AND THE COLORADO NURSERY ACT; AND WITH HEALTHY ROOT SYSTEMS DEVELOPED BY TRANSPLANTING OR ROOT PRUNING. PROVIDE WELL-SHAPED, FULLY BRANCHED, HEALTHY, VIGOROUS STOCK, DENSELY FOLIATED WHEN IN LEAF AND FREE OF DISEASE, PESTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN SCALD, INJURIES, ABRASIONS, AND DISFIGUREMENT.
 - TREES FOR PLANTING IN ROWS SHALL BE UNIFORM IN SIZE AND SHAPE.
 - NO SUBSTITUTIONS SHALL BE MADE WITHOUT WRITTEN PERMISSION FROM THE PROJECT LANDSCAPE ARCHITECT. ANY ROW TREES MUST BE APPROVED BY OFFICE OF THE CITY FORESTER.
 - PROVIDE PLANTS OF SIZES, GRADES, AND BALL OR CONTAINER SIZES COMPLYING WITH ANSI Z60.1 AND COLORADO NURSERY ACT FOR TYPES AND FORM OF PLANTS REQUIRED. PLANTS OF A LARGER SIZE MAY BE USED IF ACCEPTABLE TO PROJECT LANDSCAPE ARCHITECT WITH A PROPORTIONATE INCREASE IN SIZE OF ROOTS OR BALLS.
 - PLANTS SHALL BE SUBJECT TO INSPECTION AND APPROVAL AT THE PLACE OF GROWTH, OR UPON DELIVERY TO THE SITE, AS DETERMINED BY THE OWNER. FOR QUALITY, SIZE, AND VARIETY. SUCH APPROVAL SHALL NOT IMPAIR THE RIGHT OF INSPECTION AND REJECTION AT THE SITE DURING PROGRESS OF THE WORK OR AFTER COMPLETION FOR SIZE AND CONDITION OF ROOT BALLS OR ROOTS, LATENT DEFECTS OR INJURIES. REJECTED PLANTS SHALL BE REMOVED IMMEDIATELY FROM THE SITE. NOTICE REQUESTING INSPECTION SHALL BE SUBMITTED IN WRITING BY THE CONTRACTOR AT LEAST ONE (1) WEEK PRIOR TO ANTICIPATED DATE.
 - TREES WITH DAMAGED, CROOKED, OR MULTIPLE LEADERS; TIGHT VERTICAL BRANCHES WHERE BARK IS SQUEEZED BETWEEN TWO BRANCHES OR TRUNK ("INCLUDED BARK"); CROSSING TRUNKS; CUT-OFF LIMBS MORE THAN ¼ INCH (19 MM) IN DIAMETER; OR WITH STEM GIRDLING ROOTS WILL BE REJECTED.
 - FURNISH TREES AND SHRUBS WITH ROOTS BALLS MEASURED FROM TOP OF ROOT BALL, WHICH SHALL BEGIN AT ROOT FLARE ACCORDING TO ANSI Z60.1 AND COLORADO NURSERY ACT. ROOT FLARE SHALL BE VISIBLE BEFORE PLANTING.
 - LABEL AT LEAST ONE PLANT OF EACH VARIETY, SIZE, AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING LEGIBLE DESIGNATION OF COMMON NAME AND FULL SCIENTIFIC NAME, INCLUDING GENUS AND SPECIES. INCLUDE NOMENCLATURE FOR HYBRID, VARIETY, OR CULTIVAR, IF APPLICABLE FOR THE PLANT AS SHOWN ON DRAWINGS.
 - IF FORMAL ARRANGEMENTS OR CONSECUTIVE ORDER OF PLANTS IS SHOWN ON DRAWINGS, SELECT STOCK FOR UNIFORM HEIGHT AND SPREAD, AND NUMBER THE LABELS TO ASSURE SYMMETRY IN PLANTING.
- E. SOIL MIXTURE**
- CONTRACTOR SHALL TEST EXISTING SOIL AND AMEND AS NECESSARY IN ACCORDANCE WITH THE GUIDELINES BELOW.
 - SOIL MIXTURE SHALL CONSIST OF TWO PARTS OF TOPSOIL AND ONE PART SAND, AS DESCRIBED BELOW. CONTRACTOR TO SUBMIT SAMPLES AND PH TESTING RESULTS OF SOIL MIXTURE FOR OWNER'S REPRESENTATIVE APPROVAL PRIOR TO PLANT INSTALLATION OPERATIONS COMMENCE.
- F. WATER**
- WATER NECESSARY FOR PLANTING AND MAINTENANCE SHALL BE OF SATISFACTORY QUALITY TO SUSTAIN ADEQUATE PLANT GROWTH AND SHALL NOT CONTAIN HARMFUL, NATURAL OR MAN-MADE ELEMENTS DETRIMENTAL TO PLANTS. WATER MEETING THE ABOVE STANDARD SHALL BE OBTAINED ON THE SITE FROM THE OWNER, IF AVAILABLE, AND THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE ARRANGEMENTS FOR ITS USE BY HIS TANKS, HOSES, SPRINKLERS, ETC... IF SUCH WATER IS NOT AVAILABLE AT THE SITE, THE CONTRACTOR SHALL PROVIDE SATISFACTORY WATER FROM SOURCES OFF THE SITE AT NO ADDITIONAL COST TO THE OWNER.
- * WATERING/IRRIGATION RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- G. FERTILIZER**
- CONTRACTOR SHALL PROVIDE FERTILIZER APPLICATION SCHEDULE TO OWNER, AS APPLICABLE TO SOIL TYPE, PLANT INSTALLATION TYPE, AND SITE'S PROPOSED USE. SUGGESTED FERTILIZER TYPES SHALL BE ORGANIC OR OTHERWISE NATURALLY-DERIVED.
- * FERTILIZER RESTRICTIONS MAY APPLY - REFER TO PROPERTY'S JURISDICTIONAL AUTHORITY.
- H. MULCH**
- MULCH MATERIAL SHALL BE MOISTENED AT THE TIME OF APPLICATION TO PREVENT WIND DISPLACEMENT, AND APPLIED AT A DEPTH OF THREE (3) INCHES CLEAR MULCH FROM EACH PLANT'S CROWN (BASE) OR AS SHOWN IN PLANTING DETAILS. MULCH SHALL BE DOUBLE SHREDDED HARDWOOD MULCH. DYED MULCH IS NOT ACCEPTABLE. SUBMIT SAMPLES TO PROJECT LANDSCAPE ARCHITECT FOR APPROVAL. MULCH SHALL BE PROVIDED OVER THE ENTIRE AREA OF EACH SHRUB BED, GROUND COVER, VINE BED, AND TREE RING (6" MINIMUM) PLANTED UNDER THIS CONTRACT, AS WELL AS FOR ANY EXISTING LANDSCAPE AREAS AS SHOWN ON PLANS.
- I. DIGGING AND HANDLING**
- ALL TREES SPECIFIED SHALL BE BALLED AND BURLAPPED (B&B) UNLESS OTHERWISE APPROVED BY PROJECT LANDSCAPE ARCHITECT.
 - PROTECT ROOTS OR ROOT BALLS OF PLANTS AT ALL TIMES FROM SUN, DRYING WINDS, WATER AND FREEZING, AS NECESSARY UNTIL PLANTING. PLANT MATERIALS SHALL BE ADEQUATELY PACKED TO PREVENT DAMAGE DURING TRANSIT. TREES TRANSPORTED MORE THAN TEN (10) MILES OR WHICH ARE NOT PLANTED WITHIN THREE (3) DAYS OF DELIVERY TO THE SITE SHALL BE SPRAYED WITH AN ANTITRANSPIRANT PRODUCT ("WILTPRUF" OR EQUAL) TO MINIMIZE TRANSPIRATIONAL WATER LOSS.
 - B&B AND FIELD GROWN (FG) PLANTS SHALL BE DUG WITH FIRM, NATURAL BALLS OF SOIL OF SUFFICIENT SIZE TO ENCOMPASS THE FIBROUS AND FEEDING ROOTS OF THE PLANTS. NO PLANTS MOVED WITH A ROOT BALL SHALL BE PLANTED IF THE BALL IS CRACKED OR BROKEN. PLANTS SHALL NOT BE HANDLED BY STEMS.
- CONTAINER GROWN STOCK**
- ALL CONTAINER GROWN MATERIAL SHALL BE HEALTHY, VIGOROUS, WELL-ROOTED PLANTS ESTABLISHED IN THE CONTAINER IN WHICH THEY ARE SOLD. THE PLANTS SHALL HAVE TOPS WHICH ARE OF GOOD QUALITY AND ARE IN A HEALTHY GROWING CONDITION.
 - AN ESTABLISHED CONTAINER GROWN PLANT SHALL BE TRANSPLANTED INTO A CONTAINER AND GROWN IN THAT CONTAINER SUFFICIENTLY LONG ENOUGH FOR THE NEW FIBROUS ROOTS TO HAVE DEVELOPED SO THAT THE ROOT MASS WILL RETAIN ITS SHAPE AND HOLD TOGETHER WHEN REMOVED FROM THE CONTAINER. CONTAINER GROWN STOCK SHALL NOT BE HANDLED BY THEIR STEMS.
 - ROOT BOUND PLANTS ARE NOT ACCEPTABLE AND WILL BE REJECTED.
- K. MATERIALS LIST**
- QUANTITIES NECESSARY TO COMPLETE THE WORK ON THE DRAWINGS SHALL BE FURNISHED BY THE CONTRACTOR. QUANTITY ESTIMATES HAVE BEEN MADE CAREFULLY, BUT THE LANDSCAPE ARCHITECT OR OWNER ASSUMES NO LIABILITY FOR OMISSIONS OR ERRORS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS AND THE PLANT LIST QUANTITY, THE PLANS SHALL GOVERN. ALL DIMENSIONS AND/OR SIZES SPECIFIED SHALL BE THE MINIMUM ACCEPTABLE SIZE.
- L. FINE GRADING**
- FINE GRADING UNDER THIS CONTRACT SHALL CONSIST OF FINAL FINISHED GRADING OF LAWN AND PLANTING AREAS THAT HAVE BEEN DISTURBED DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL FINE GRADE THE LAWN AND PLANTING AREAS TO BRING THE ROUGH GRADE UP TO FINAL FINISHED GRADE ALLOWING FOR THICKNESS OF SOD AND/OR MULCH DEPTH.
 - ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED FOR POSITIVE DRAINAGE TO SURFACE/SUBSURFACE STORM DRAIN SYSTEMS. AREAS ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDINGS. REFER TO CIVIL ENGINEER'S PLANS FOR FINAL GRADES, IF APPLICABLE.
- M. PLANTING PROCEDURES**
- THE CONTRACTOR SHALL CLEAN WORK AND SURROUNDING AREAS OF ALL RUBBISH OR OBJECTIONABLE MATTER DAILY. ALL MORTAR, CEMENT, BUILDING MATERIALS, AND TOXIC MATERIAL SHALL BE COMPLETELY REMOVED FROM PLANTING AREAS. THESE MATERIALS SHALL NOT BE MIXED WITH THE SOIL. SHOULD THE CONTRACTOR FIND SUCH SOIL CONDITIONS IN PLANTING AREAS WHICH WILL ADVERSELY AFFECT THE PLANT GROWTH, THE CONTRACTOR SHALL IMMEDIATELY CALL IT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE. FAILURE TO DO SO BEFORE PLANTING SHALL MAKE THE CORRECTIVE MEASURES THE RESPONSIBILITY OF THE CONTRACTOR.
 - VERIFY LOCATIONS OF ALL UTILITIES, CONDUITS, SUPPLY LINES AND CABLES, INCLUDING BUT NOT LIMITED TO: ELECTRIC, GAS (LINES AND TANKS), WATER, SANITARY SEWER, STORMWATER SYSTEMS, CABLE, AND TELEPHONE. PROPERLY MAINTAIN AND PROTECT EXISTING UTILITIES. CALL COLORADO (811) TO LOCATE UTILITIES AT LEAST 48 HOURS PRIOR TO CONSTRUCTION.
 - CONTRACTOR IS RESPONSIBLE TO REMOVE ALL EXISTING AND IMPORTED LIMEROCK AND LIMEROCK SUB-BASE FROM ALL PLANTING AREAS TO A MINIMUM DEPTH OF 36" OR TO NATIVE SOIL. CONTRACTOR IS RESPONSIBLE TO BACKFILL THESE PLANTING AREAS TO ROUGH FINISHED GRADE WITH CLEAN TOPSOIL FROM AN ON-SITE SOURCE OR AN IMPORTED SOURCE. IF LIMEROCK OR OTHER ADVERSE CONDITIONS OCCUR IN PLANTED AREAS AFTER 36" DEEP EXCAVATION BY THE CONTRACTOR, AND POSITIVE DRAINAGE CAN NOT BE ACHIEVED, CONTRACTOR SHALL UTILIZE POOR DRAINAGE CONDITION PLANTING DETAIL.
 - FURNISH NURSERY'S CERTIFICATE OF COMPLIANCE WITH ALL REQUIREMENTS AS SPECIFIED HEREIN. INSPECT AND SELECT PLANT MATERIALS BEFORE PLANTS ARE DUG AT NURSERY OR GROWING SITE.
 - COMPLY WITH APPLICABLE FEDERAL, STATE, COUNTY, AND LOCAL REGULATIONS GOVERNING LANDSCAPE MATERIALS AND WORK. UPON ARRIVAL AT THE SITE, PLANTS SHALL BE THOROUGHLY WATERED AND PROPERLY MAINTAINED UNTIL PLANTED. PLANTS STORED ON-SITE SHALL NOT REMAIN UNPLANTED OR
- N. LAWN SODDING**
- THE WORK CONSISTS OF LAWN BED PREPARATION, SOIL PREPARATION, AND SODDING COMPLETE, IN STRICT ACCORDANCE WITH THE SPECIFICATIONS AND THE APPLICABLE DRAWINGS TO PRODUCE A TURF GRASS LAWN ACCEPTABLE TO THE OWNER.
 - ALL AREAS THAT ARE TO BE SODDED SHALL BE CLEARED OF ANY ROUGH GRASS, WEEDS, AND DEBRIS BY MEANS OF A SOD CUTTER TO A DEPTH OF THREE (3) INCHES, AND THE GROUND BROUGHT TO AN EVEN GRADE. THE ENTIRE SURFACE SHALL BE ROLLED WITH A ROLLER WEIGHING NOT MORE THAN ONE-HUNDRED (100) POUNDS PER FOOT OF WIDTH. DURING THE ROLLING, ALL DEPRESSIONS CAUSED BY SETTLEMENT SHALL BE FILLED WITH ADDITIONAL SOIL, AND THE SURFACE SHALL BE REGRADED AND ROLLED UNTIL PRESENTING A SMOOTH AND EVEN FINISH TO THE REQUIRED GRADE.
 - PREPARE LOOSE BED FOUR (4) INCHES DEEP. HAND RAKE UNTIL ALL BUMPS AND DEPRESSIONS ARE REMOVED. WET PREPARED AREA THOROUGHLY.
 - SODDING
 - THE CONTRACTOR SHALL SOD ALL AREAS THAT ARE NOT PAVED OR PLANTED AS DESIGNATED ON THE DRAWINGS WITHIN THE CONTRACT LIMITS, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - SOD PANELS SHALL BE LAID TIGHTLY TOGETHER SO AS TO MAKE A SOLID SODDED LAWN AREA. SOD SHALL BE LAID UNIFORMLY AGAINST THE EDGES OF ALL CURBS AND OTHER HARDSCAPE ELEMENTS. PAVED AND PLANTED AREAS ADJACENT TO BUILDINGS, A 24 INCH STONE MULCH STRIP SHALL BE PROVIDED IMMEDIATELY FOLLOWING SOD LAYING. THE LAWN AREAS SHALL BE ROLLED WITH A LAWN ROLLER CUSTOMARILY USED FOR SUCH PURPOSES, AND THEN THOROUGHLY IRRIGATED. IF, IN THE OPINION OF THE OWNER, TOP-DRESSING IS NECESSARY AFTER ROLLING TO FILL THE VOIDS BETWEEN THE SOD PANELS AND TO EVEN OUT INCONSISTENCIES IN THE SOD, CLEAN SAND, AS APPROVED BY THE OWNER'S REPRESENTATIVE, SHALL BE UNIFORMLY SPREAD OVER THE ENTIRE SURFACE OF THE SOD AND THOROUGHLY WATERED IN. FERTILIZE INSTALLED SOD AS ALLOWED BY PROPERTY'S JURISDICTIONAL AUTHORITY.
 - DURING DELIVERY, PRIOR TO, AND DURING THE PLANTING OF THE LAWN AREAS, THE SOD PANELS SHALL AT ALL TIMES BE PROTECTED FROM EXCESSIVE DRYING AND UNNECESSARY EXPOSURE OF THE ROOTS TO THE SUN. ALL SOD SHALL BE STACKED SO AS NOT TO BE DAMAGED BY SWEATING OR EXCESSIVE HEAT AND MOISTURE.
 - LAWN MAINTENANCE
 - WITHIN THE CONTRACT LIMITS, THE CONTRACTOR SHALL PRODUCE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE
- OPPORTUNITIES FOR THE CONTRACTOR TO PROVIDE A DENSE, WELL ESTABLISHED LAWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR AND RE-SODDING OF ALL ERODED, SUNKEN OR BARE**
- SPOTS (LARGER THAN 12"x12") UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. REPAIRED SODDING SHALL BE ACCOMPLISHED AS IN THE ORIGINAL WORK, INCLUDING REGRADED IF NECESSARY.**
- CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND MAINTAINING SOD/LAWN UNTIL ACCEPTANCE BY THE OWNER'S REPRESENTATIVE. PRIOR TO AND UPON ACCEPTANCE, CONTRACTOR TO PROVIDE WATERING/IRRIGATION SCHEDULE TO OWNER. OBSERVE ALL APPLICABLE WATERING RESTRICTIONS AS SET FORTH BY THE PROPERTY'S JURISDICTIONAL AUTHORITY.**
- EDGING**
- CONTRACTOR SHALL INSTALL 4"x4" ROLLED TOP STEEL EDGING BETWEEN ALL SOD/SEED AREAS AND PLANTING BEDS.
- CLEANUP**
- UPON COMPLETION OF ALL PLANTING WORK AND BEFORE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL MATERIAL, EQUIPMENT, AND DEBRIS RESULTING FROM CONTRACTORS WORK. ALL PAVED AREAS SHALL BE CLEANED AND THE SITE LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER'S REPRESENTATIVE.
- PLANT MATERIAL MAINTENANCE**
- ALL PLANTS AND PLANTING INCLUDED UNDER THIS CONTRACT SHALL BE MAINTAINED BY WATERING, CULTIVATING, SPRAYING, PRUNING, AND ALL OTHER OPERATIONS (SUCH AS RE-STAKING OR REPAIRING GUY SUPPORTS) NECESSARY TO INSURE A HEALTHY PLANT CONDITION BY THE CONTRACTOR UNTIL CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
- FINAL INSPECTION AND ACCEPTANCE OF WORK**
- FINAL INSPECTION AT THE END OF THE WARRANTY PERIOD SHALL BE ON PLANTING, CONSTRUCTION AND ALL OTHER INCIDENTAL WORK PERTAINING TO THIS CONTRACT. ANY REPLACEMENT AT THIS TIME SHALL BE SUBJECT TO THE SAME ONE (1) YEAR WARRANTY (OR AS SPECIFIED BY THE LANDSCAPE ARCHITECT OR OWNER IN WRITING) BEGINNING WITH THE TIME OF REPLACEMENT AND ENDING WITH THE SAME INSPECTION AND ACCEPTANCE HEREIN DESCRIBED.
- WARRANTY**
- THE LIFE AND SATISFACTORY CONDITION OF ALL PLANT MATERIAL INSTALLED (INCLUDING SOD) BY THE LANDSCAPE CONTRACTOR SHALL BE WARRANTED BY THE CONTRACTOR FOR A MINIMUM OF ONE (1) CALENDAR YEAR COMMENCING AT THE TIME OF CERTIFICATION OF ACCEPTANCE BY THE OWNER'S REPRESENTATIVE.
 - ANY PLANT NOT FOUND IN A HEALTHY GROWING CONDITION AT THE END OF THE WARRANTY PERIOD SHALL BE REMOVED FROM THE SITE AND REPLACED AS SOON AS WEATHER CONDITIONS PERMIT. ALL REPLACEMENTS SHALL BE PLANTS OF THE SAME KIND AND SIZE AS SPECIFIED IN THE PLANT LIST. THEY SHALL BE FURNISHED PLANTED AND MULCHED AS SPECIFIED AT NO ADDITIONAL COST TO THE OWNER.
 - IN THE EVENT THE OWNER DOES NOT CONTRACT WITH THE CONTRACTOR FOR LANDSCAPE AND IRRIGATION MAINTENANCE, THE CONTRACTOR SHOULD VISIT THE PROJECT SITE PERIODICALLY DURING THE ONE (1) YEAR WARRANTY PERIOD TO EVALUATE MAINTENANCE PROCEDURES BEING PERFORMED BY THE OWNER. CONTRACTOR SHALL NOTIFY THE OWNER IN WRITING OF MAINTENANCE PROCEDURES OR CONDITIONS WHICH THREATEN VIGOROUS AND HEALTHY PLANT GROWTH.
- MAINTENANCE NOTES:**
- ALL LANDSCAPE SHALL BE REASONABLY MAINTAINED, AND ANY PLANT MATERIAL SHALL BE REPLACED WITHIN THIRTY (30) DAY OF ITS DEMISE OR BY AN AGREED UPON DATE IF SEASONAL CONDITIONS PROHIBIT REPLACEMENT WITHIN THE THIRTY (30) DAY TIME REQUIREMENT
 - STREET TREES, STREETSCAPE IMPROVEMENTS AND VEGETATION WITHIN THE CITY ROW SHALL BE MAINTAINED BY THE ABUTTING PROPERTY OWNER.
 - LANDSCAPE IMPROVEMENTS AND MAINTENANCE SHALL BE THE RESPONSIBILITY OF OWNER AND/OR THEIR ASSIGNS.
 - AN IRRIGATION PLAN SHALL BE SUBMITTED AND REVIEWED CONCURRENT WITH BUILDING PERMIT SUBMITTAL AND APPROVED PRIOR TO ISSUANCE OF A BUILDING PERMIT AND BEFORE ANY IRRIGATION CONSTRUCTION
 - TOPSOIL SHOULD BE STRIPPED TO A DEPTH OF 6 INCHES AND ALL STOCKPILES SHOULD HAVE SIDE SLOPES NO STEEPER THAN 3:1 AND SEEDED. ALL DISTURBED AREAS SHOULD BE SEEDED AND MULCHED WITH WEED FREE HAY MULCH AT 4,000 LBS. ACRE. ALL DISTURBED AREAS SHOULD BE RESEED BETWEEN THE PLANTING DATES OF NOV. 1-APRIL 30TH. GRASS SEED SHOULD BE DRILLED AT A DEPTH OF ¼ TO ½ INCH DEEP AND IF BROADCASTED, DOUBLE THE RATE.
 - THE CONTRACTOR IS TO PROVIDE AN INTEGRATED NOXIOUS WEED CONTROL PLAN THAT IS TO BE SUBMITTED TO THE EL PASO COUNTY WEED INSPECTOR PRIOR TO ANY CONSTRUCTION OR EARTHWORK TAKING PLACE.

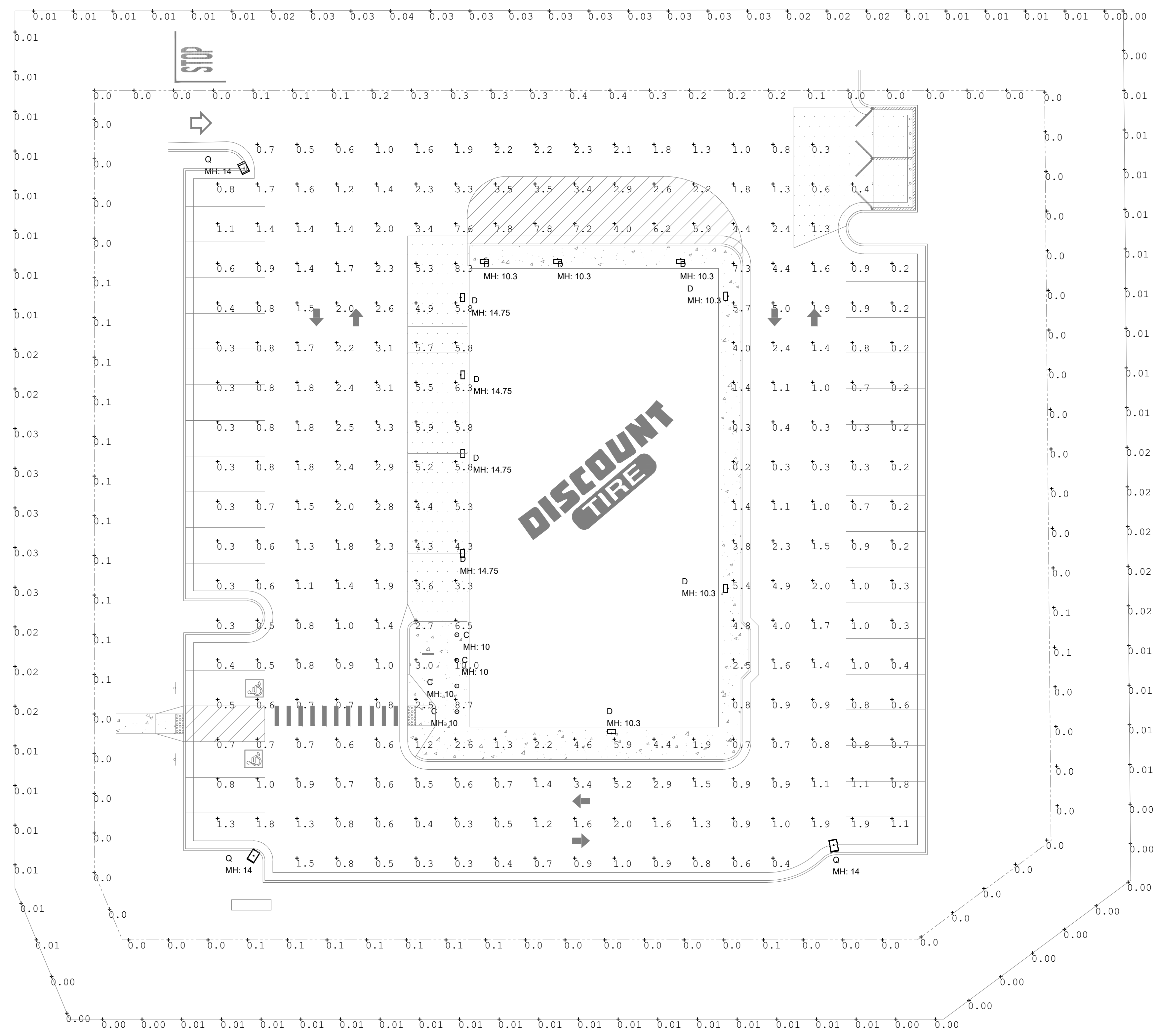


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COLORADO SPRINGS, COLORADO 80903 (719) 453-0180

LANDSCAPE NOTES
SHEET L.3 OF L.3

LUMINAIRE SCHEDULE						
TAG	MANUFACTURER & MODEL NO.	LAMP	VA SYSTEMS WATTS	VOLTS	GENERAL DESCRIPTION	NOTES
D	MCGRAW EDISON IST AF 1000 LED E1 T4FT BZ 7030	LED 5000K	55.1	120	WALL PACK, 5720 LUMENS	MOUNTING HEIGHTS: 10.3 FT & 14.75 FT. REFER TO ARCHITECTURAL PLANS
C	ELITE RL641-1100L-DIM10-MVOLT-40K	LED 5000K	14.8	120	RECESSED CAN LIGHT, 1150 LUMENS	MOUNTING HEIGHT: 10 FT
Q	LITHONIA LIGHTING DSX0 LED P1 30K TTFM MVOLT HS	LED 3000K	38	120	AREA LUMINAIRE, 4,373 LUMENS WITH HOUSE SIDE SHIELD FORWARD THROW MEDIUM DISTRIBUTION	MOUNTING HEIGHT: 14 FT

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
20-ft from PL	Illuminance	Fc	0.01	0.04	0.00	N.A.	N.A.
Property Line	Illuminance	Fc	0.06	0.4	0.0	N.A.	N.A.
Site	Illuminance	Fc	1.96	10.0	0.2	9.80	50.00




EL PASO COUNTY LAND DEVELOPMENT CODE CRITERIA:

- Light levels measured at the property line of the development site shall not exceed 0.5 foot candles EXCEPT for light levels measured at the property line of the development site adjacent to residential or public right of way shall not exceed 0.1 foot candles as a direct result of the on-site lighting.
- Maximum on-site lighting levels shall not exceed 10 foot candles except for loading and unloading platforms where the maximum lighting level shall be 20 foot candles.
- No freestanding light fixtures shall be mounted higher than 15 feet, except parking lot fixtures which shall be mounted no higher than 20 feet.
- Upward lighting for architectural, landscape or decorative purposes shall have at least 90% of the total distribution pattern within the profile of the illuminated structure or feature.

IESNA RECOMMENDED FOOT CANDLES

- Parking Lot lighting level shall be 0.2 foot candle minimum.



D-Series Size 0 LED Area Luminaire

Specifications

EPA: 0.95 ft² (0.09 m²)

Length: 26" (663.0 mm)

Width: 13" (330.0 mm)

Height: 3" (76.2 mm)

Weight: 16 lbs (7.3 kg)

Ordering Information

EXAMPLE: DSX0 LED P6 40K T3M MVOLT SPA NLTAIR2 PIRHN DDBXD

Series	LEDs	Color temperature	Distribution	Voltage	Mounting
DSX0 LED	P1	30K	T35 Type II short	MVOLT (120V-277V)	Shipped included SFA Square pole mounting SFA Round pole mounting SFA Wall bracket SFAWA Square pole universal mounting adapter SFAWA Round pole universal mounting adapter
	P2	40K	T35 Type II short	MVOLT (277V-480V)	
	P3	50K	T35 Type II short	MVOLT (277V-480V)	
Retained optics	P4	30K	T35 Type II medium	240V	Shipped separately KXAB DDBXD Reg. air mounting bracket adapter (sold separately)
	P5	40K	T35 Type II medium	240V	
	P6	50K	T35 Type II medium	240V	

DESCRIPTION

The Impact Elite family of wall luminaires is the ideal complement to site design. Incorporating modular LightSquares technology, the Impact Elite luminaire provides outstanding uniformity and energy-conscious illumination. Combined with a rugged construction, the Impact Elite luminaire is the ideal facade and security luminaire for zones surrounding schools, office complexes, apartments and recreational facilities. ULULC listed for wet locations.

SPECIFICATION FEATURES

Construction
Heavy-well, die-cast aluminum housing and removable hinged door frame for precise tolerance control and repeatability. Hinged door inlaid for clean mating with housing surface and secured via two captive fasteners. Optional tamper-resistant Tarex™ head fasteners offer vandal resistant access to the electrical chamber.

Optics
Choice of 10 patented, high-efficiency AccuLED Optics™ distributions. Optics are precisely designed to shape the light output, maximizing efficiency and application spacing. AccuLED Optics technology creates consistent illuminations with the stability to meet customized application requirements. Offered Standard in 4000K (ac: 7500 CCT and minimum 70 CRI. Optional 3000K, 5000K and 5700K CCT.

Electrical
LED drivers mount to die-cast aluminum back housing for optimal heat sinking, operation efficiency, and prolonged life. Standard drivers feature electronic universal voltage (100-277V, 50/60Hz), 347V 60Hz or 480V 60Hz operation, greater than 0.9 power factor, less than 20% harmonic distortion, and are suitable for operation in -40°C to 40°C ambient environments. All fixtures are shipped standard with 100V/100A common - and differential - mode surge protection. LightSquares feature an IP66 enclosure rating and maintain greater than 90% lumen maintenance at 60,000 hours per IESNA TM-21. Emergency egress options for 20°C ambient environments and occupancy sensor available.

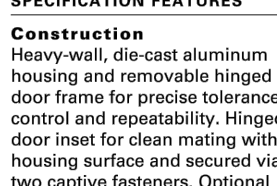
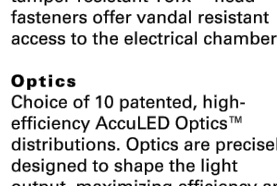
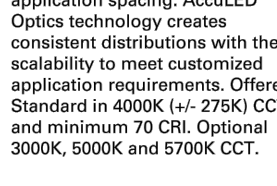
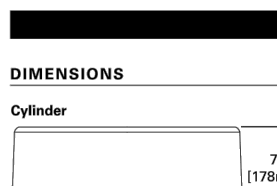
Mounting
Cast and zinc plated rigid steel mounting attachment fits directly to 4" box or wall with the Impact Elite "Hook-N-Lock" mechanism for quick installation. Secured with two captive corrosion resistant black oxide coated allen head set screws concealed but accessible from bottom of fixture.

Finish
Cast components finished in a five-stage super TDC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors Brochure for the complete selection.

Warranty
Five-year warranty.

McGraw-Edison

Catalog #	Type
Project	Date
Comments	
Prepared by	

1 LightSquare Solid Steel LED WALL MOUNT LUMINAIRE

CERTIFICATION DATA

UL Listed
LM79 / LM80 Compliant
FIM LightSquares
DeepLight Consortium™ Qualified
500 800

ENERGY DATA

Energy LED Driver
Full Power Factor
->90% Total Harmonic Distortion
120-277V/50 & 60Hz, 347V/60Hz, 480V/60Hz
-40°C Minimum Temperature
40°C Ambient Temperature Rating

SHIPPING DATA

Approximate Net Weight:
18 lbs (8.2 kg)

COOPER Lighting Solutions


DLC **IESNA** **ETL**

*www.designlights.org

TS014005EN October 19, 2019 11:52 AM

RL641

6" LED RETROFIT BAFFLE LIGHTING MODULE WITH JUNCTION BOX






Cut hole in ceiling and snap fixture in opening with attached spring clips.

Example: **RL641-1150L-DIM10-MVOLT-35K-90-WH**


TYPE	PERFORMANCE	CCT	CRI	FINISH	REFLECTOR TRIM (RT)	HOUSING OPTION
RL641 (Baffle)	1150L-DIM10-MVOLT	35K 35K 40K 50K	90+	W-WH	RL641-RT-CL-WH RL641-RT-SH-WH	BHRRPFL

AVAILABLE TRIM OPTION INSERTS

REFLECTOR

FRAME FOR NEW CONSTRUCTION



RL641-1150L-DIM10-MVOLT

NET WATTS: 14.8 LUMENS: 1128 CRI: 90+ EFFICACY: 76 CCT: 3000K TEST NO.: EL-113916 SPACING CRITERIA: 1:16

Zone	Lumens	Wattage	lm/Watt	Zone	Lumens	Wattage	lm/Watt
0-10'	101.90	10.19	10.00	10-20'	203.80	20.38	10.00
10-20'	203.80	20.38	10.00	20-30'	305.70	30.57	10.00
20-30'	305.70	30.57	10.00	30-40'	407.60	40.76	10.00
30-40'	407.60	40.76	10.00	40-50'	509.50	50.95	10.00
40-50'	509.50	50.95	10.00	50-60'	611.40	61.14	10.00
50-60'	611.40	61.14	10.00	60-70'	713.30	71.33	10.00
60-70'	713.30	71.33	10.00	70-80'	815.20	81.52	10.00
70-80'	815.20	81.52	10.00	80-90'	917.10	91.71	10.00
80-90'	917.10	91.71	10.00	90-100'	1019.00	101.90	10.00

COEFFICIENTS OF UTILIZATION - ZONAL CAVITY METHOD

Effective Room Cavity Reflectance (RC)

RC	75%	80%	85%	90%	95%	100%
0.10	0.10	0.10	0.10	0.10	0.10	0.10
0.20	0.20	0.20	0.20	0.20	0.20	0.20
0.30	0.30	0.30	0.30	0.30	0.30	0.30
0.40	0.40	0.40	0.40	0.40	0.40	0.40
0.50	0.50	0.50	0.50	0.50	0.50	0.50
0.60	0.60	0.60	0.60	0.60	0.60	0.60
0.70	0.70	0.70	0.70	0.70	0.70	0.70
0.80	0.80	0.80	0.80	0.80	0.80	0.80
0.90	0.90	0.90	0.90	0.90	0.90	0.90
1.00	1.00	1.00	1.00	1.00	1.00	1.00

COMMERICAL OUTDOOR

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (3788) • www.lithonia.com

DSX0 LED Rev. 01/14/21 Page 1 of 8



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SITE PHOTOMETRICS

7585 FALCON MARKETPLACE COLORADO



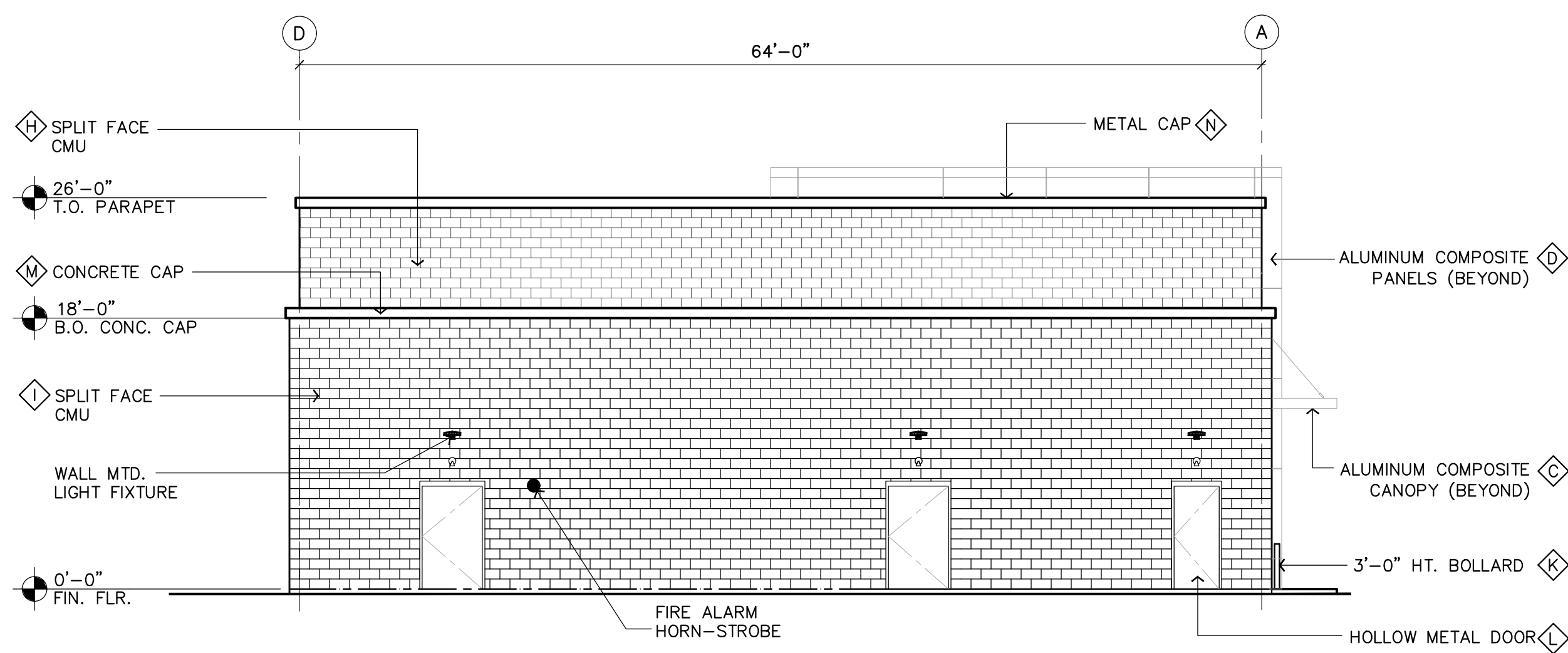
Kinetic Design
20381 Lake Forest Dr.,
Suite B16
Lake Forest, CA 92630
951-710-6334 (T)

BUILDING MODEL	NEW FRAME
REVISION	-
DATE	02.11.2021
SCALE	AS NOTED
PROJECT NUMBER	KSK -

Sheet No.

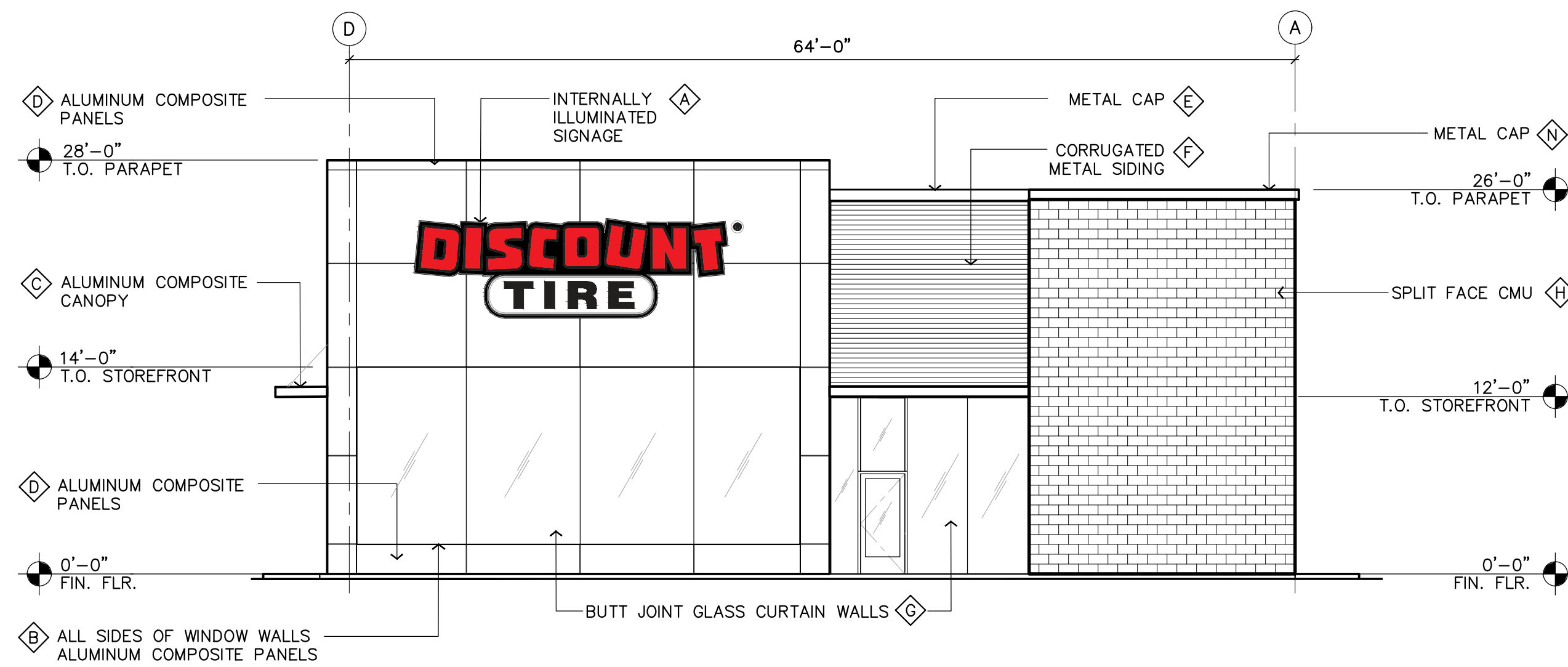
ES.1

DISCOUNT TIRE (FALCON MARKETPLACE) - PCD FILE NO. AL214 & PPR2112



NORTH ELEVATION

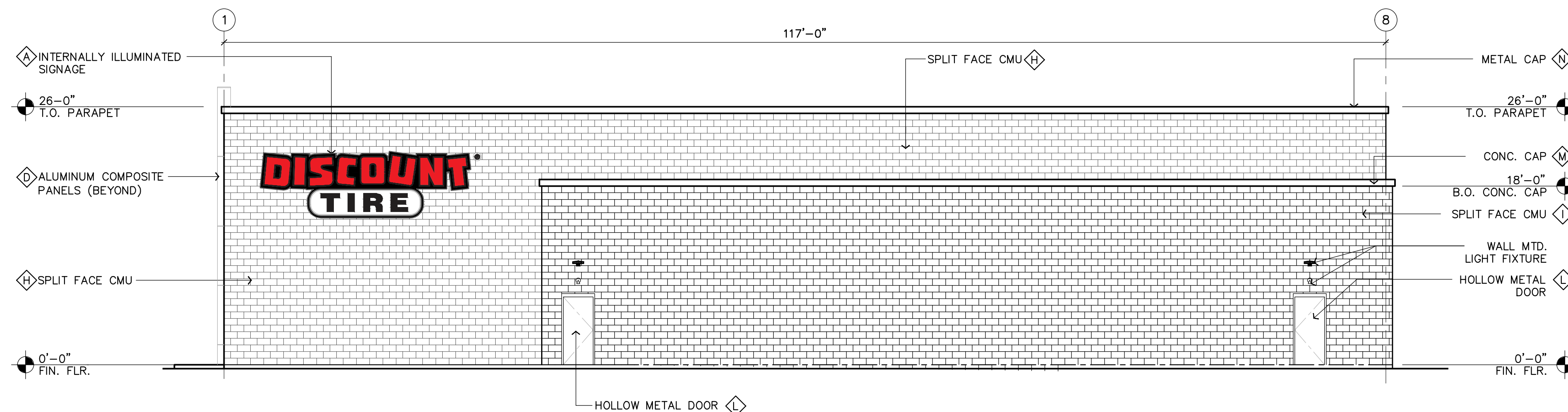
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SOUTH ELEVATION

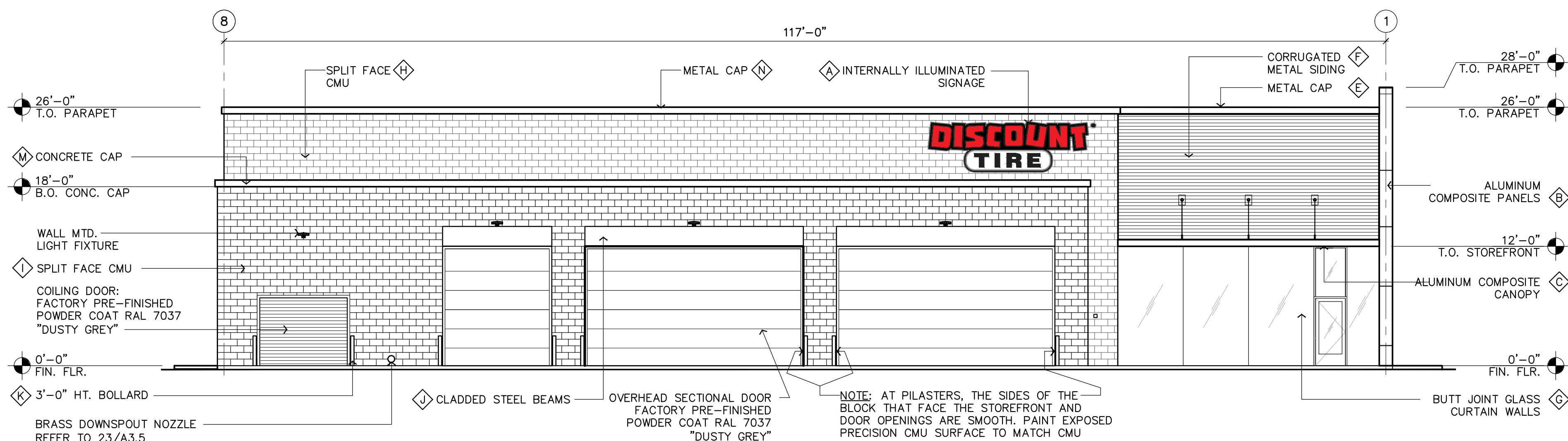
SCALE: 1/8" = 1'-0"

FINISH LEGEND	
Ⓐ	3-DIMENSIONAL INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT)
Ⓑ	ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE PATRIOT RED"
Ⓒ	ALUMINUM CLADDED CANOPY: ALUCOBOND "MATTE BRUSHED STAINLESS"
Ⓓ	ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE BONE WHITE"
Ⓔ	8" METAL CAP BY ATAS INTERNATIONAL INC. COATED: "BLACK"
Ⓕ	CORRUGATED METAL PANEL BY ATAS INTERNATIONAL INC. COATED: "BLACK"
Ⓖ	ANODIZED ALUMINUM STOREFRONT/CURTAIN WALL - CLEAR ANODIZED FINISH ARCADIA AFG601T
Ⓗ	INTEGRAL COLOR SPLIT FACE CMU TO MATCH BASALITE 720WR.
Ⓙ	INTEGRAL COLOR SPLIT FACE CMU TO MATCH BASALITE 800WR.
Ⓝ	CLADDED STEEL BEAMS - COLOR TO MATCH POWDER COAT SW 7019 "GAUNTLET GREY".
Ⓞ	STEEL BOLLARDS - COLOR TO MATCH POWDER COAT SW 7019 "GAUNTLET GREY".
Ⓛ	HOLLOW METAL DOORS-PAINTED TO MATCH BASALITE 800WR.
Ⓜ	CONCRETE CAP-COLOR TO MATCH BASALITE 800WR.
Ⓝ	METAL CAP - COLOR TO MATCH BASALITE 720WR.



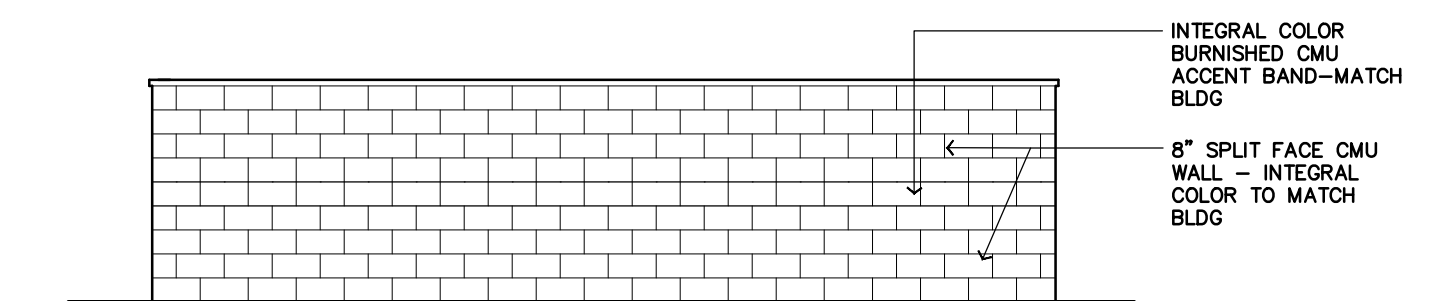
EAST ELEVATION (Meridian Rd.)

SCALE: 1/8" = 1'-0"

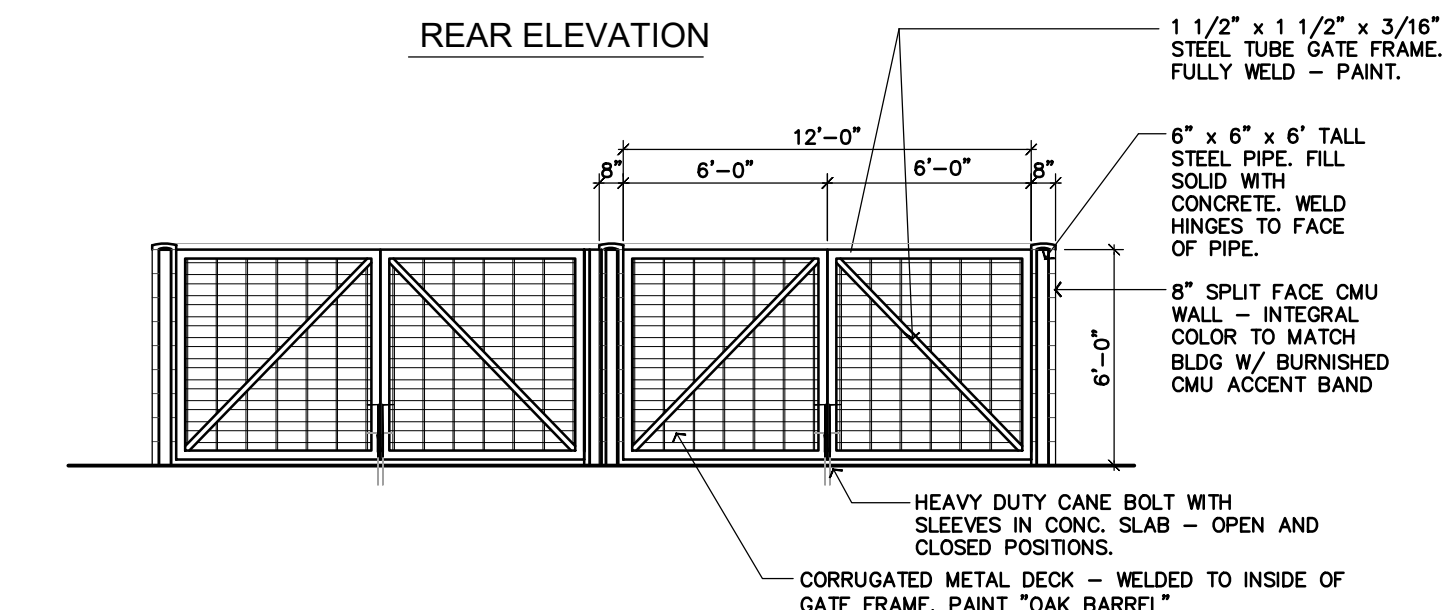


WEST ELEVATION

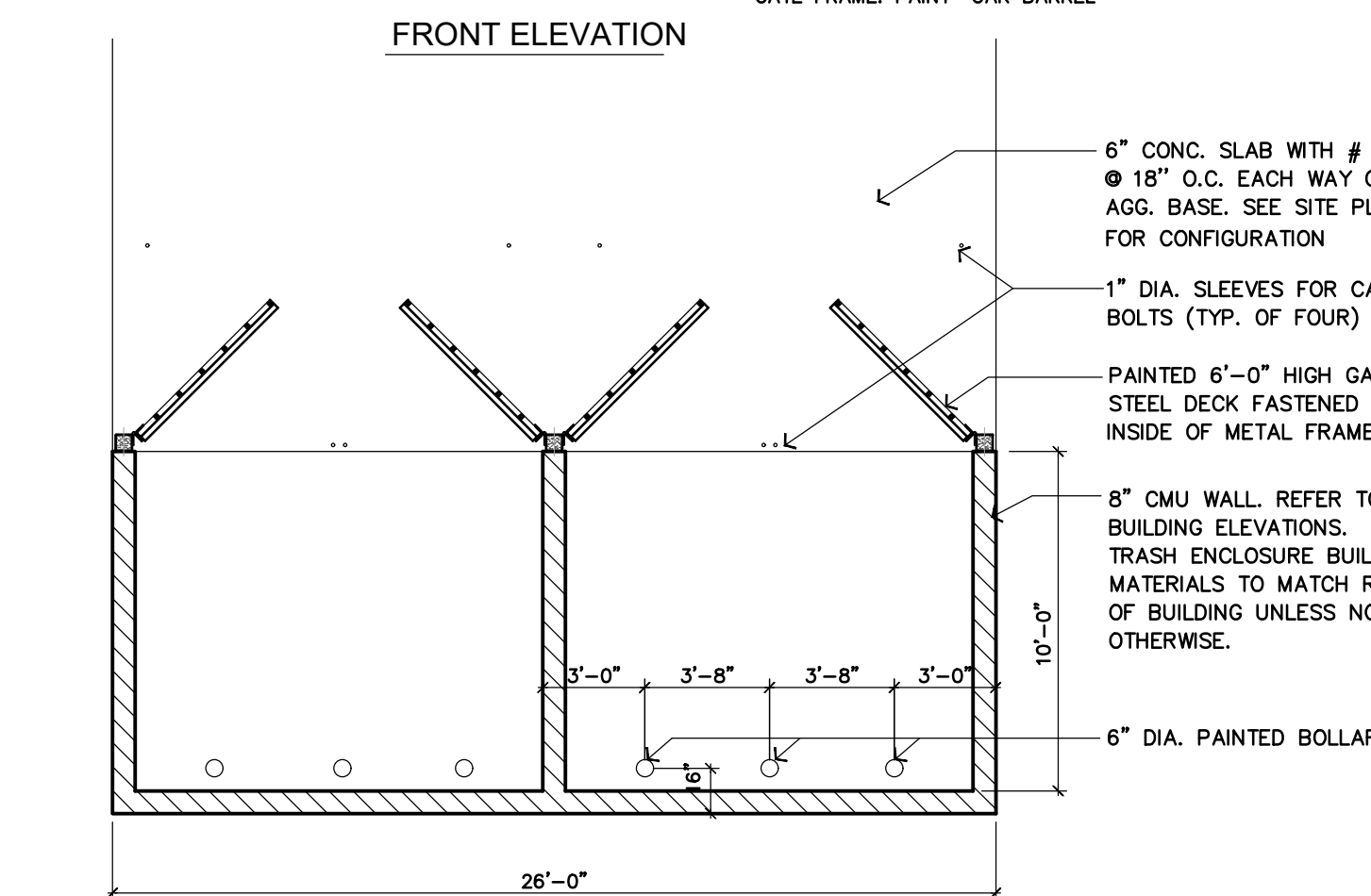
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REAR ELEVATION



FRONT ELEVATION



TRASH ENCLOSURE PLAN / ELEVATIONS

SCALE: 3/16" = 1'-0"



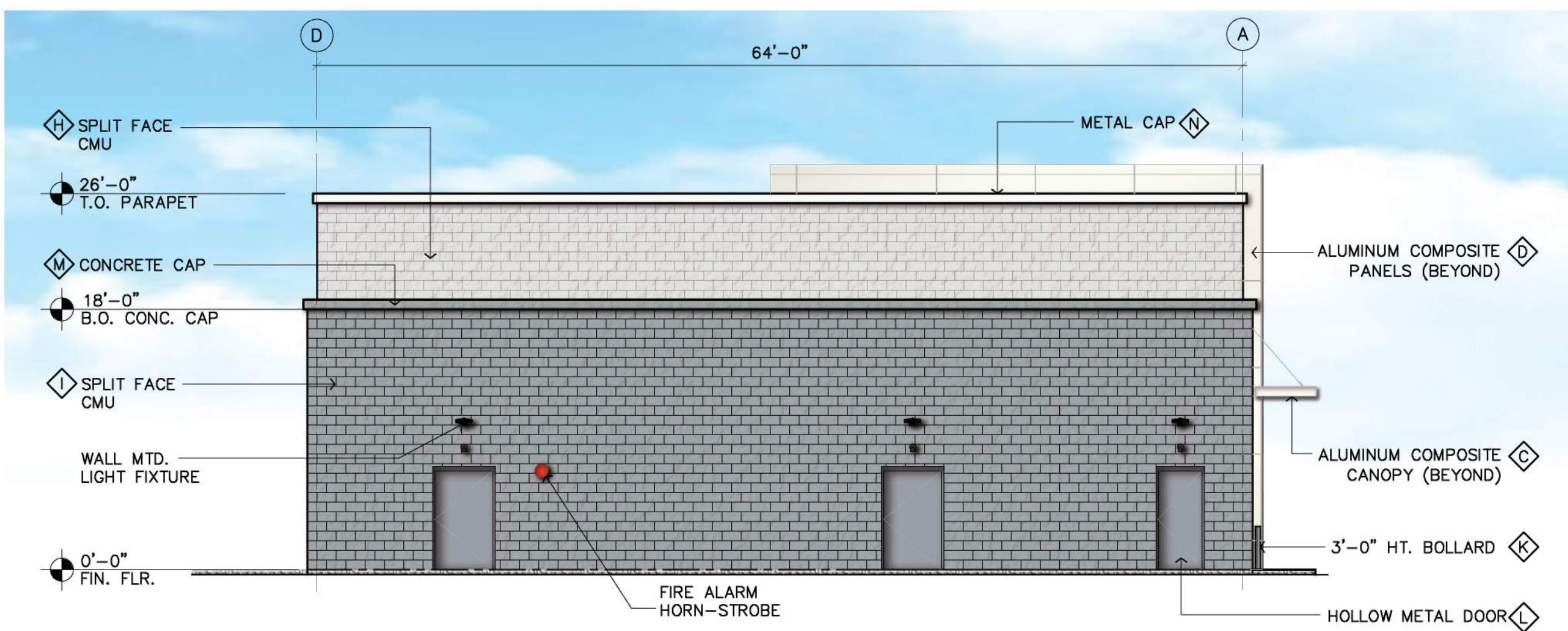
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CONCEPTUAL ELEVATIONS
LOT 4 / FALCON MARKETPLACE
E. WOODMEN RD. & MERIDIAN RD.
FALCON, CO 80831



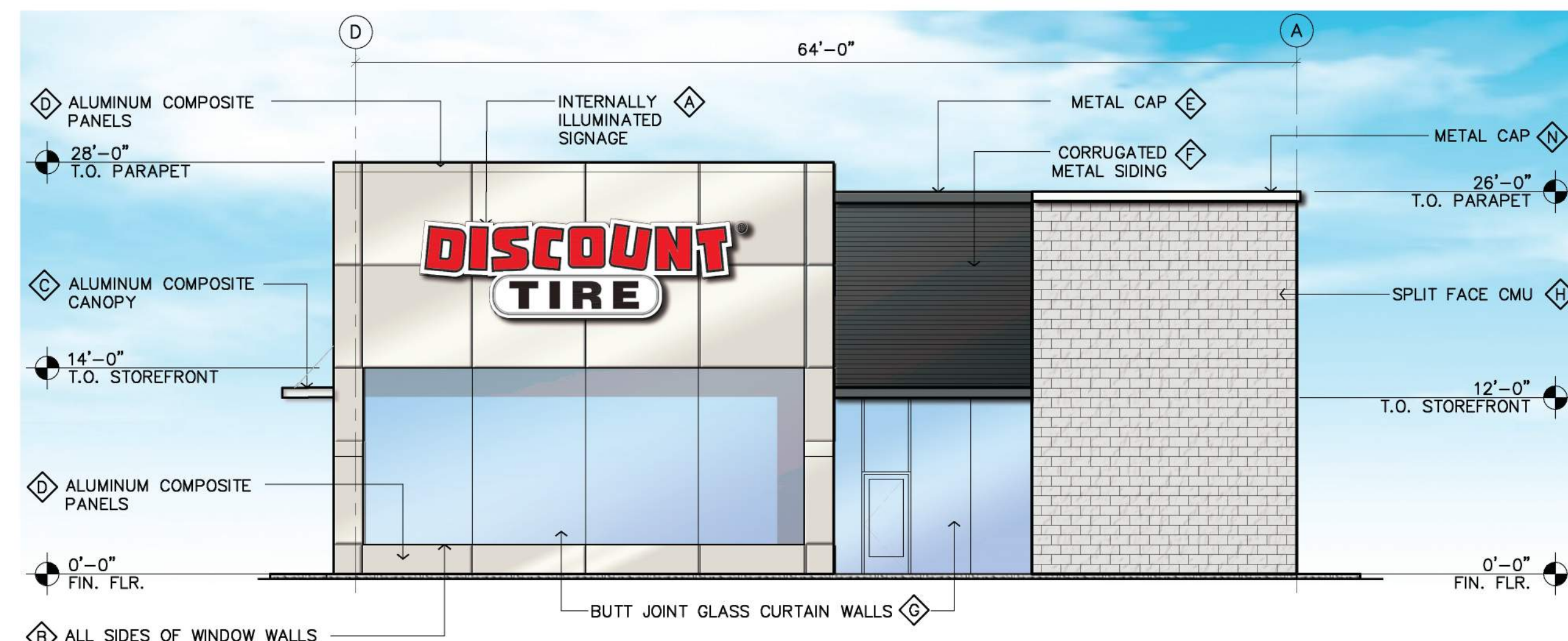
BUILDING MODEL	
FRAME DESIGN	
REVISION	REV #1
DATE	02.09.2021
SCALE	AS NOTED
PROJECT NUMBER	COS 12371

Sheet No.
A.2



NORTH ELEVATION

SCALE: 1/8" = 1'-0"

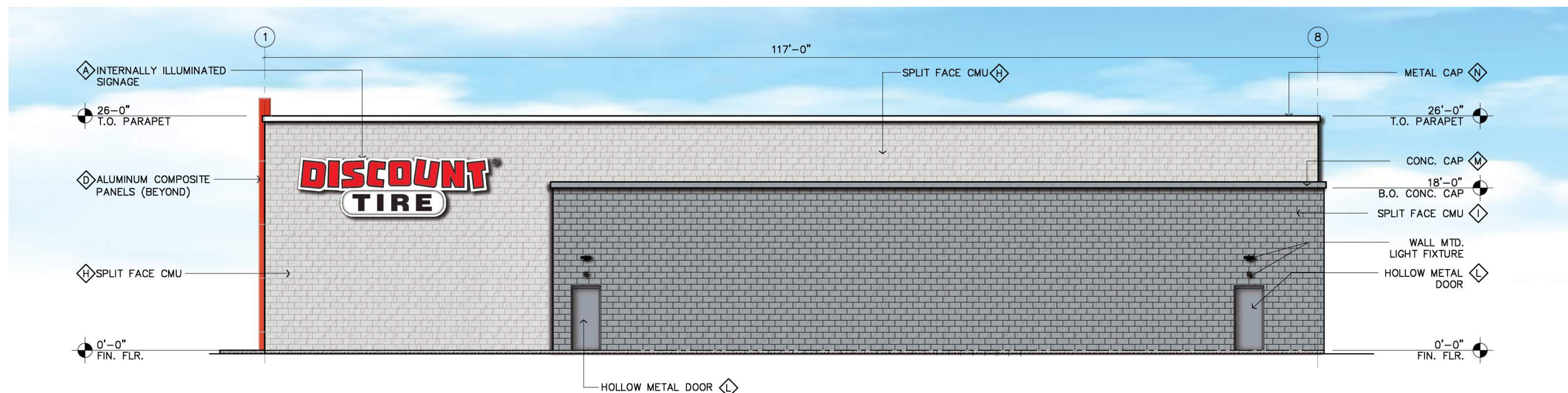


SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

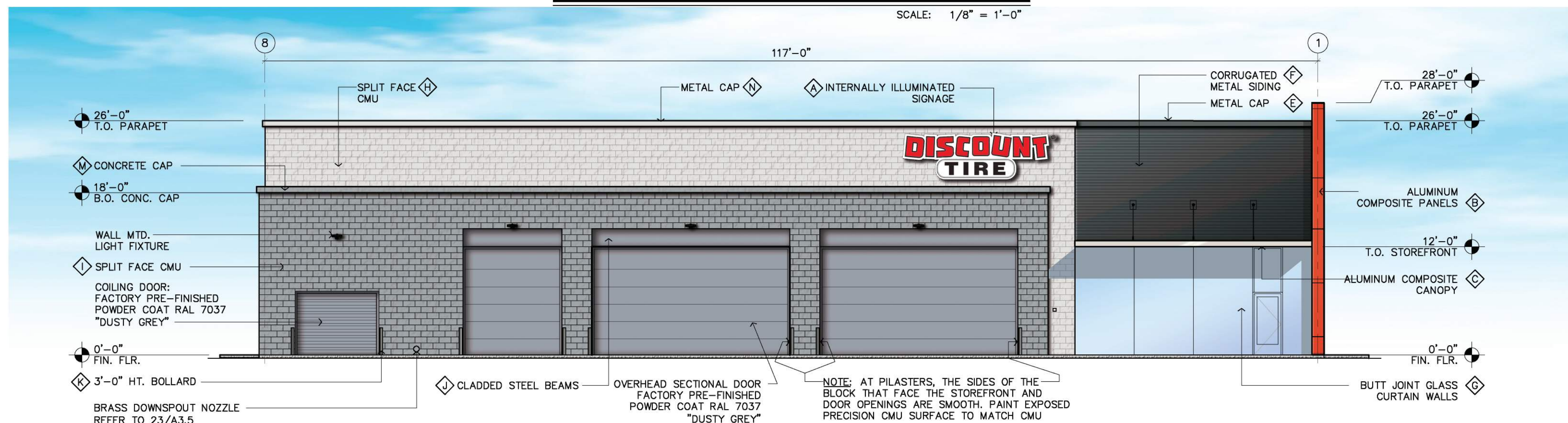
FINISH LEGEND

- Ⓐ 3-DIMENSIONAL INTERNALLY ILLUMINATED SIGNAGE (UNDER SEPARATE PERMIT)
- Ⓑ ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE PATRIOT RED"
- Ⓒ ALUMINUM CLADDED CANOPY: ALUCOBOND "MATTE BRUSHED STAINLESS"
- Ⓓ ALUMINUM COMPOSITE PANELS: ALUCOBOND "MATTE BONE WHITE"
- Ⓔ 8" METAL CAP BY ATAS INTERNATIONAL INC. COATED: "BLACK"
- Ⓕ CORRUGATED METAL PANEL BY ATAS INTERNATIONAL INC. COATED: "BLACK"
- Ⓖ ANODIZED ALUMINUM STOREFRONT/CURTAIN WALL - CLEAR ANODIZED FINISH ARCADIA AFG601T
- Ⓗ INTEGRAL COLOR SPLIT FACE CMU TO MATCH BASALITE 720WR.
- Ⓙ INTEGRAL COLOR SPLIT FACE CMU TO MATCH BASALITE 800WR.
- Ⓚ CLADDED STEEL BEAMS - COLOR TO MATCH POWDER COAT SW 7019 "GAUNTLET GREY".
- Ⓛ STEEL BOLLARDS - COLOR TO MATCH POWDER COAT SW 7019 "GAUNTLET GREY".
- Ⓜ HOLLOW METAL DOORS-PAINTED TO MATCH BASALITE 800WR.
- Ⓝ CONCRETE CAP-COLOR TO MATCH BASALITE 800WR.
- Ⓞ METAL CAP - COLOR TO MATCH BASALITE 720WR.



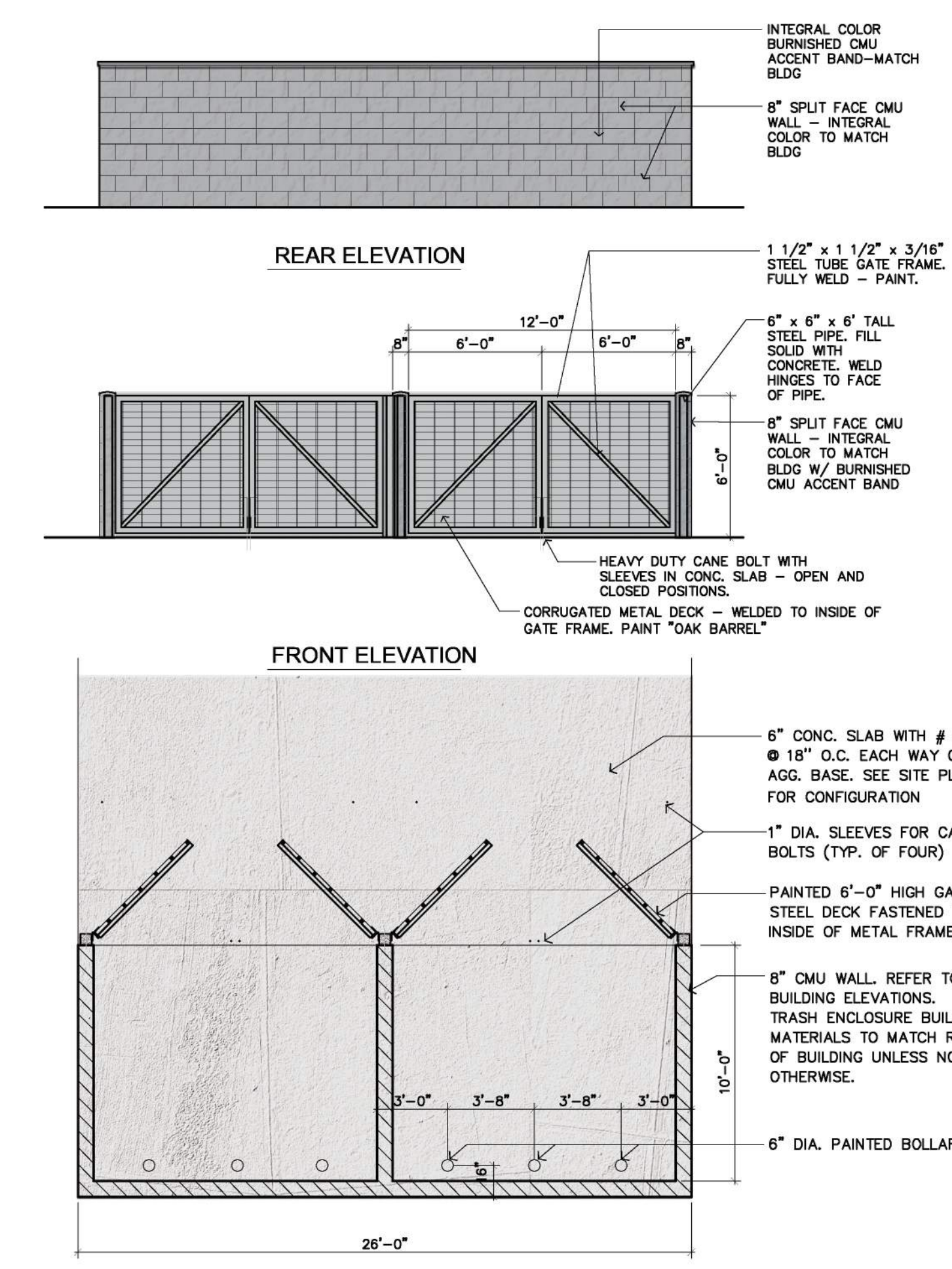
EAST ELEVATION (Meridian Rd.)

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"



TRASH ENCLOSURE PLAN / ELEVATIONS

SCALE: 3/16" = 1'-0"



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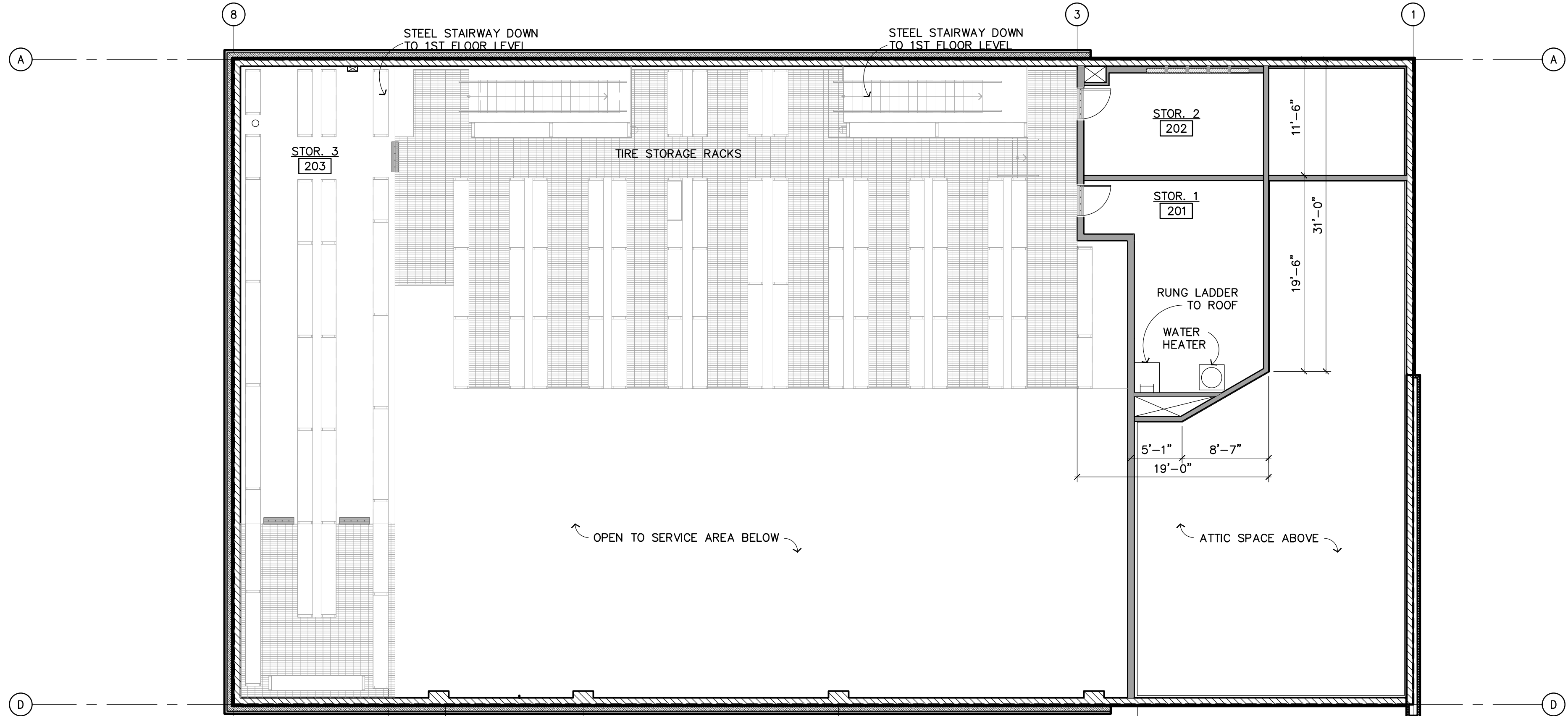
CONCEPTUAL ELEVATIONS
LOT 4 / FALCON MARKETPLACE
E. WOODMEN RD. & MERIDIAN RD.
FALCON, CO 80831

KD
Kinetic Design
 20381 Lake Forest Dr., Suite B16
 Lake Forest, CA 92630
 951-710-6334 (T)

BUILDING MODEL

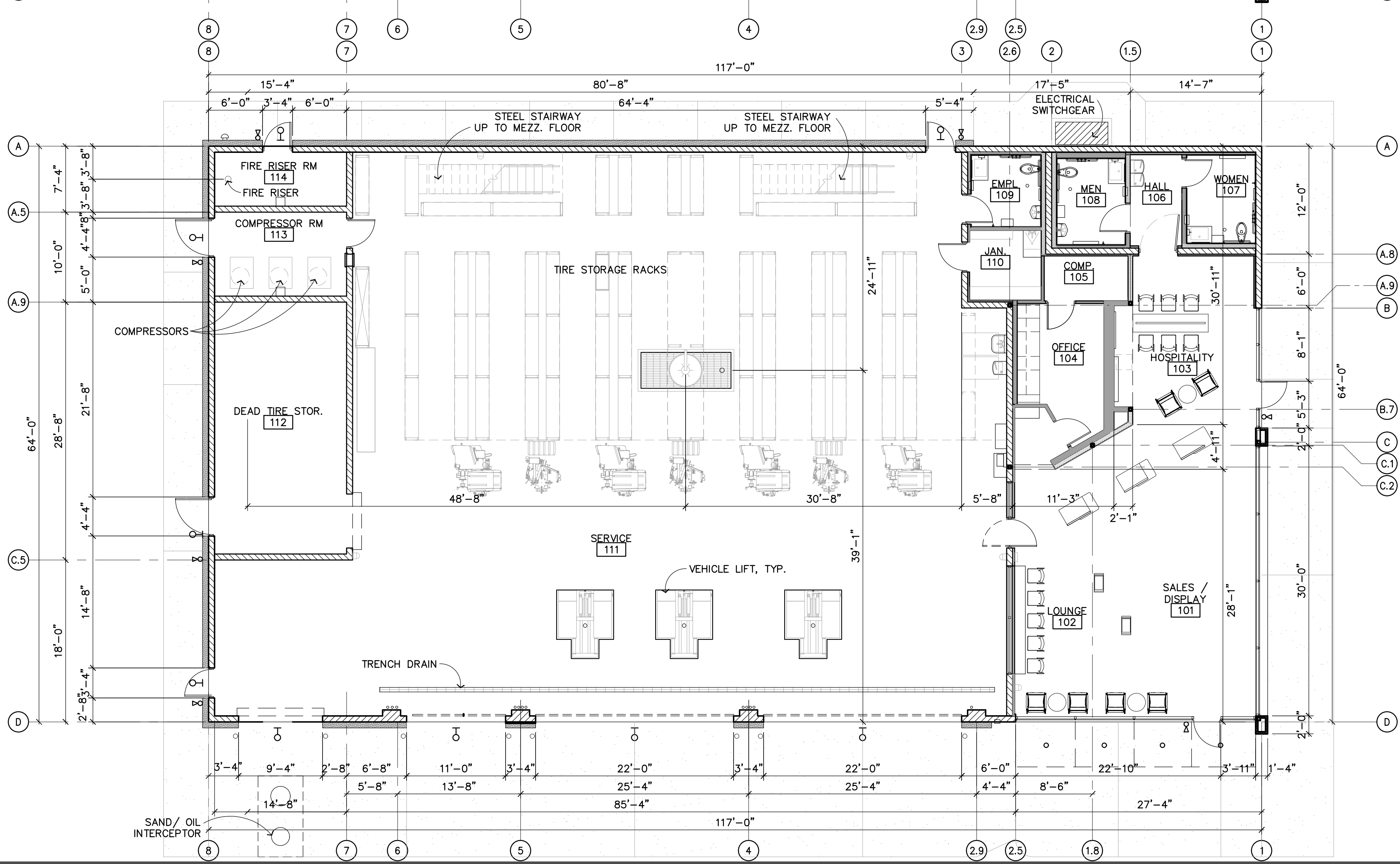
FRAME DESIGN	
REVISION	REV #1
DATE	02.09.2021
SCALE	AS NOTED
PROJECT NUMBER	COS 12371

Sheet No.
A.3



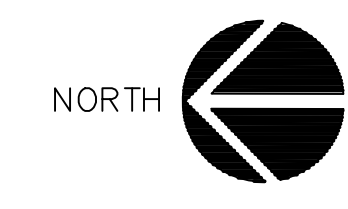
Building Area Breakdown

GROUND FLOOR AREA	
'M' OCCUPANCY:	
SALES / DISPLAY	671.42 SQ. FT.
LOUNGE / DISPLAY	177.82 SQ. FT.
HOSPITALITY	262.51 SQ. FT.
OFFICE	128.95 SQ. FT.
COMPUTER	46.65 SQ. FT.
HALL	58.21 SQ. FT.
MEN	71.39 SQ. FT.
WOMEN	73.11 SQ. FT.
EMPLOYEE	60.36 SQ. FT.
JANITOR ROOM:	61.87 SQ. FT.
'S-1' OCCUPANCY:	
SERVICE	4727.57 SQ. FT.
DEAD TIRE STORAGE	410.67 SQ. FT.
COMPRESSOR ROOM	136.89 SQ. FT.
FIRE RISER ROOM	88.00 SQ. FT.
(NET AREA/USABLE) 6,975.42 SQ. FT.	
TOTAL GROUND FLOOR AREA: 7,488 SQ. FT. (BLDG. FOOTPRINT)	
MEZZANINE LEVEL AREA:	
'S-1' OCCUPANCY:	
STORAGE # 1:	292.03 SQ. FT.
STORAGE # 2:	178.15 SQ. FT.
STORAGE # 3:	655.13 SQ. FT.
WALKING GRATE:	1177.55 SQ. FT.
(NET AREA/USABLE) 2,302.86 S.F.	



CONCEPTUAL MEZZ. FLOOR PLAN

SCALE: 1/8" = 1'-0"



CONCEPTUAL 1ST FLOOR PLAN

SCALE: 1/8" = 1'-0"



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CONCEPTUAL FLOOR PLANS

LOT 4 / FALCON MARKETPLACE

E. WOODMEN RD. & MERIDIAN RD.

FALCON, CO 80831

Kinetic Design
 20381 Lake Forest Dr.,
 Suite B16
 Lake Forest, CA 92630
 951-710-6334 (T)

BUILDING MODEL	
FRAME DESIGN	
REVISION	REV #1
DATE	01.19.2021
SCALE	AS NOTED
PROJECT NUMBER	COS 12371

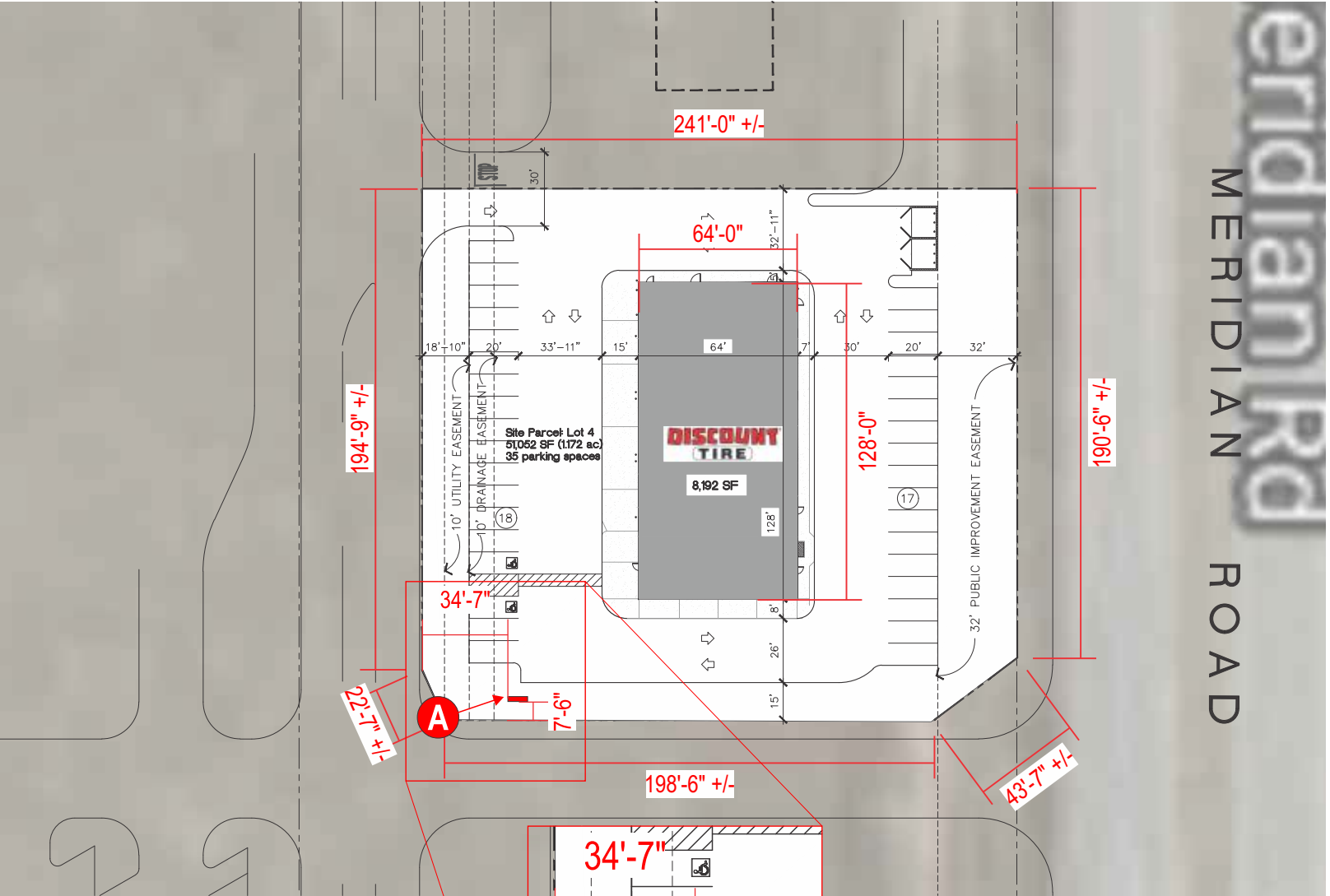
Sheet No.
A.1

DISCOUNT[®] TIRE

PROJECT SITE:

DISCOUNT TIRE COS 12371
 LOT 4/E WOODMEN & MERIDIAN RD
 FALCON CO 80831

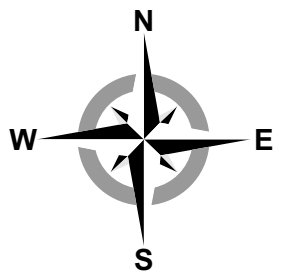
=====**SIGN PACKAGE**=====



SITE PLAN
Scale: 1/64" = 1'-0"



AERIAL VIEW
Scale: Not to Scale



WALTON
10101 Reunion Place
Suite 500
San Antonio, TX 78216
P 210. 886. 0644
waltonsignage.com
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Client: **DISCOUNT TIRE COS 12371**
Address: **LOT 4/E WOODMEN & MERIDIAN RD**
City/State: **FALCON CO 80831**
Sales: **HOUSE** Designer: **IP**
Date: **12.08.20** PM **TG**

This is an original drawing created by Walton. It is submitted for your personal use, however, it shall at all times remain the property of Walton. It may be used in connection with the project being planned for you by Walton, but not otherwise. You are not authorized to show these drawings to anyone outside your organization, nor is it to be reproduced, used, copied or exhibited in any fashion.

Revision:
R1) 01/21/21 Revision to monument placement - IP
R2) 02/10/21 Revision to monument placement - IP

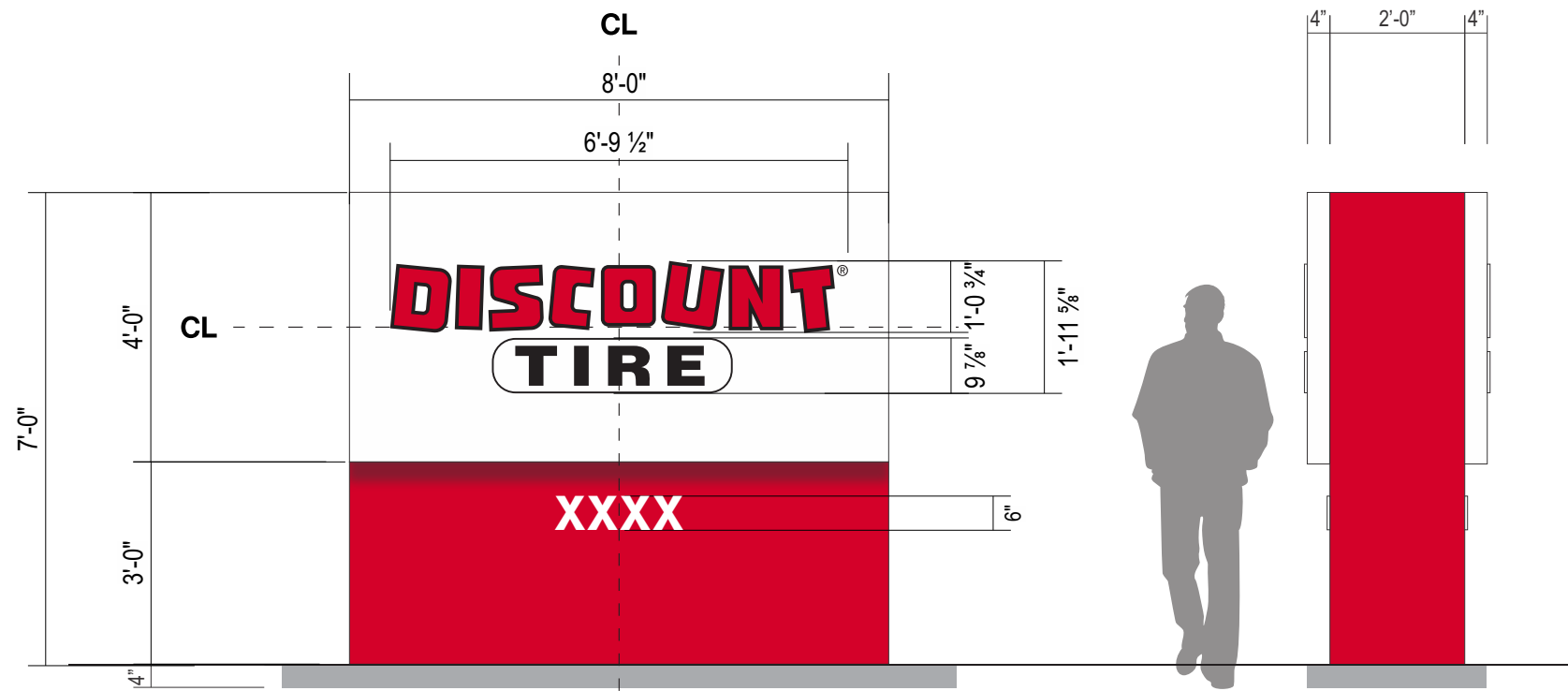
Signs will be manufactured with 120 or 277 Volts A/C. All Primary electrical service to the sign, and final connection thereof, is the responsibility of the buyer. All work is to be done in accordance with the purchase agreement attached hereto. In case of variance between the specifications of the purchase agreement and this drawing, the drawing shall prevail.

This sign is intended to be installed in accordance with the requirements of Article 600 of the National Electrical Code and/or other applicable local codes. This includes proper grounding and bonding of the sign.

PAGE SIZE: 11" x 17"

Approvals:
Sales: _____ Date: _____
P.M.: _____ Date: _____
Design: _____ Date: _____
Client: _____ Date: _____

CID315665-GND



A D/F EXTERIOR MONUMENT SIGN
Scale: 3/8" = 1'-0"

FOOTING, SUPPORT PIPE & BASE,
SUPPORT PIPE : STEEL SUPPORT PIPE, FOUNDATION PER ENGINEERING

MAIN CABINET : 1 1/2" x 3/16" ALUM ANGLE FRAME WITH ROUTED FACES FOR PUSH THRU GRAPHICS.
SIDES AND TOP TO BE .125" ALUM. REMOVABLE FOR INSTALLATION & SERVICE ACCESS.
PAINT : WHITE , SATIN FINISH
ILLUMINATION : LED LIGHTING SYSTEM AS REQUIRED FOR PROPER ILLUMINATION

DISCOUNT LETTERS,
PUSH THRU ACRYLIC : 3/4" CLEAR ACRYLIC PUSHED THRU FACE 1/2", ACRYLIC TO HAVE 1ST SURFACE VINYL
VINYL : 3M 3630-33 RED VINYL / 3M #3630-22 BLACK VINYL
ACRYLIC BACK UP : .177" #2447 DIFFUSER PLEX

TIRE,
PUSH THRU ACRYLIC : 3/4" CLEAR ACRYLIC PUSHED THRU FACE 1/2", ACRYLIC TO HAVE 1ST SURFACE VINYL
VINYL : 3M #3630-22 BLACK VINYL
ACRYLIC BACK UP : .177" #2447 DIFFUSER PLEX

OUTLINE,
PUSH THRU ACRYLIC : 3/4" CLEAR ACRYLIC PUSHED THRU FACE 1/2", ACRYLIC TO HAVE 1ST SURFACE VINYL
VINYL : 3M #3630-22 BLACK VINYL
ACRYLIC BACK UP : .177" #2447 DIFFUSER PLEX

BASE STRUCTURE : 1" x .125" ALUM ANGLE FRAME ATTACHED TO STRUCTURE
SKIN : .125" ALUM SKIN.
PAINT : PMS 186 RED, SATIN FINISH
ATTACHMENT : SLIP CABINET OVER SUPPORT TUBES AND WELD PLATE INSIDE

REG. MARK : 1ST SURFACE 3630-22 BLACK VINYL

ADDRESS NUMERALS: 1/2" THICK ACRYLIC PAINTED WHITE

ADDRESS NUMBERS TO BE DETERMINED.

ELECTRICAL NOTE: IT IS THE CUSTOMERS RESPONSIBILITY TO PROVIDE 120 VOLT PRIMARY ELECTRICAL SERVICE WITH DEDICATED CIRCUIT(S). INCLUDING GROUND WIRING DIRECTLY FROM PANEL BOX WITHIN SIX (6) FEET OF SIGNAGE. INSTALLATION TO MEET N.E.C., UL & LOCAL CODES

MOUNTING NOTE: INSTALLER IS REQUIRED TO VERIFY ACTUAL FIELD CONDITIONS & PROVIDE NECESSARY MOUNTING HARDWARE & METHOD OF ATTACHMENT TO ENSURE SAFE INSTALLATION. INSTALLATION TO MEET N.E.C., UL & LOCAL CODES.

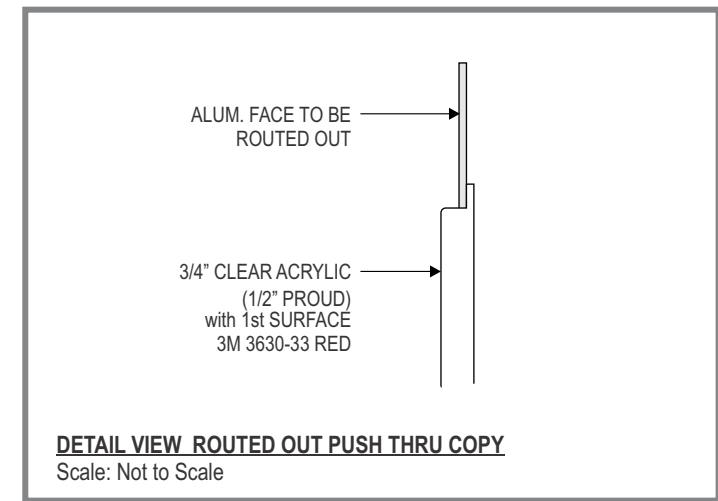
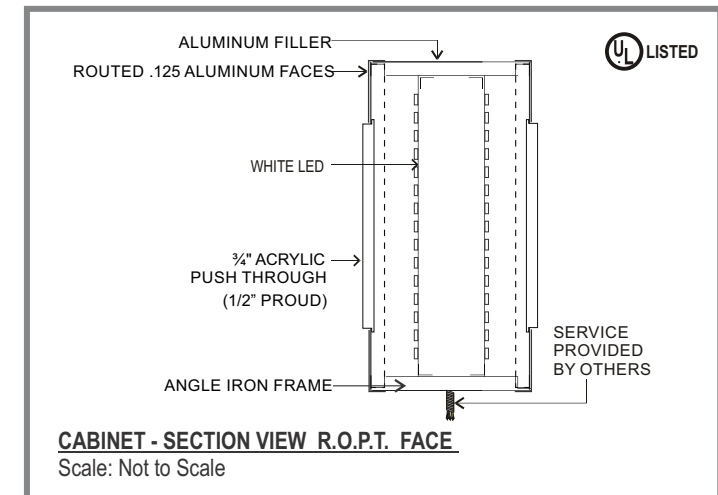
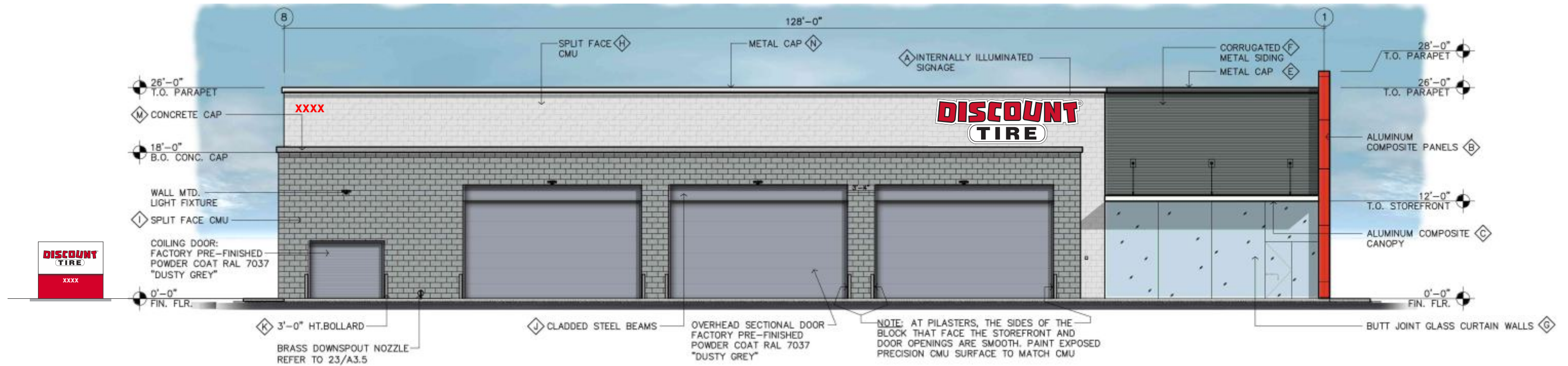


ILLUSTRATION IS FOR COLOR MATCHING PURPOSES. REFER TO SITE PLAN FOR MONUMENT LOCATION.



ADDRESS NUMBERS TO BE DETERMINED.

FINISH LEGEND	
A	3-DIMENSIONAL ILLUMINATED SIGN
B	ALUMINUM COMPOSITE PANELS: ALUCOBOND "PATRIOT RED"
C	ALUMINUM CLADDED CANOPY: ALUCOBOND "MATTE/BRUSHED STAINLESS STEEL"
D	ALUMINUM COMPOSITE PANELS: ALUCOBOND "BONE WHITE"
E	8" METAL CAP BY ATAS INTERNATIONAL INC. COATED: "CHARCOAL GREY" REF # 62 SRI:29
F	CORRUGATED METAL PANEL BY ATAS INTERNATIONAL INC. COATED: "CHARCOAL GREY" REF # 62 SRI:29
G	STOREFRONT & CLEAR CURTAIN WALL BY C.R. LAURENCE "3250 SERIES"
H	INTEGRAL COLOR SPLIT-FACE C.M.U. BY GRAND BLANC ARCHITECTURAL MASONRY "WHITE"
I	INTEGRAL COLOR SPLIT-FACE C.M.U. BY GRAND BLANC ARCHITECTURAL MASONRY "UNICORN"
J	CLADDED STEEL BEAMS: COLOR TO MATCH POWDERCOAT RAL 7037 "DUSTY GREY"
K	STEEL BOLLARDS COLOR TO MATCH POWDER COAT RAL 7037 "DUSTY GREY"
L	HOLLOW METAL DOORS -PAINTED SHERWIN WILLIAMS SW 7067 "CITY SCAPE"
M	CONCRETE CAP: COLOR TO MATCH GRAND BLANC ARCHITECTURAL MASONRY "UNICORN"
N	METAL CAP: COLOR TO MATCH GRAND BLANC ARCHITECTURAL MASONRY "WHITE"

