

BURGERWORKS MONUMENT JUNCTION

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD PLAN

OWNERSHIP CERTIFICATION:

KNOW ALL MEN BY THESE PRESENTS, THAT PATRICIA'S TABLE LLC BEING THE OWNER(S), OF THE FOLLOWING DESCRIBED TRACT OF LAND PER LEGAL DESCRIPTION ON THIS SHEET.

THE UNDERSIGNED ARE ALL OF THE OWNERS OF CERTAIN LANDS KNOWN AS LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 IN THE TOWN OF MONUMENT.

OWNER(S) SIGNATURE(S) (NOTARIZED):

STATE OF COLORADO)
) ss:
COUNTY OF EL PASO)

SIGNED THIS ___DAY OF ____, 20 __, COUNTY __, STATE __

NOTARY SIGNATURE _____

MY COMMISSION EXPIRES _____

LIENHOLDER SUBORDINATION CERTIFICATE

THE UNDERSIGNED ARE ALL THE MORTGAGEES AND LIENHOLDERS OF CERTAIN LANDS KNOWN HEREIN AS THE LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 IN THE TOWN OF MONUMENT.

THE UNDERSIGNED BENEFICIARY OF THE LIEN CREATED BY INSTRUMENT RECORDED ON JANUARY 22, 20201 RECEPTION NUMBER 221013443 EL PASO COUNTY, COLORADO, SUBORDINATE THE SUBJECT LIEN TO THE TERMS, CONDITIONS AND RESTRICTIONS OF THIS DOCUMENT:

MORTGAGEE/LIENHOLDER (NOTARIZED SIGNATURE) SIGNED THIS ___DAY OF ____, 20 __

STATE OF COLORADO)
) ss:
COUNTY OF EL PASO)

TITLE CERTIFICATION:

I, _____ AN AUTHORIZED REPRESENTATIVE OF _____ A TITLE INSURANCE COMPANY LICENSED TO DO BUSINESS IN THE STATE OF COLORADO, HAVE MADE AN EXAMINATION OF THE PUBLIC RECORDS AND STATE THAT ALL OWNERS, MORTGAGEES, AND LIENHOLDERS OF THE PROPERTY ARE LISTED IN THE CERTIFICATE OF OWNERSHIP AND LIENHOLDER SUBORDINATION CERTIFICATE.

AUTHORIZED SIGNATURE (NOTARIZED SIGNATURE)

SIGNED THIS ___DAY OF ____, 20 __

STATE OF COLORADO)
) ss:
COUNTY OF EL PASO)

SIGNED THIS ___DAY OF ____, 20 __, COUNTY __, STATE __

NOTARY SIGNATURE _____

MY COMMISSION EXPIRES _____

TOWN CERTIFICATION:

THE PRELIMINARY/FINAL PUD PLAN FOR THE LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 PLANNED UNIT DEVELOPMENT IS APPROVED BY THE BOARD OF TRUSTEES OF THE TOWN OF MONUMENT, COLORADO, ON THIS ___DAY OF ____, 20 __.

MAYOR _____ DATE _____

ATTEST:

TOWN CLERK _____ DATE _____

SURVEYOR'S CERTIFICATE:

I, _____, A PROFESSIONAL LAND SURVEYOR IN THE STATE OF COLORADO, DO HEREBY CERTIFY THAT THE SURVEY AND LEGAL DESCRIPTION REPRESENTED BY THE LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 PUD PLAN WAS MADE UNDER MY SUPERVISION AND THE MONUMENTS SHOWN HEREON ACTUALLY EXIST AND THIS PUD ACCURATELY REPRESENTS THAT SURVEY.

PROFESSIONAL LAND SURVEY _____

PLANNING DEPARTMENT CERTIFICATION:

THE PRELIMINARY/FINAL PUD PLAN AND ZONING REGULATIONS FOR MONUMENT JUNCTION PHASE 1 PUD WERE REVIEWED BY THE TOWN OF MONUMENT PLANNING DEPARTMENT THIS ___DAY OF ____, 20 __.

PLANNING DIRECTOR _____ DATE _____

WOODMOR WATER AND SANITATION DISTRICT:

BY: _____ DATE _____

THESE PLANS HAVE BEEN REVIEWED ONLY FOR GENERAL CONFORMANCE WITH THE RULES, REGULATIONS, AND POLICIES OF THE WOODMOR WATER AND SANITATION DISTRICT. APPROVAL OF THIS PLANNING DOCUMENT DOES NOT CONSTITUTE AS AN APPROVAL FOR ALTERATION, EXTENSION, OR CONNECTION TO ANY WOODMOR WATER AND SANITATION DISTRICT WATER OR SEWER INFRASTRUCTURE.

GENERAL NOTES

- ALL LIGHTING FIXTURES SHALL HAVE FULL CUT-OFF SHIELDING OR FIXTURES TO REDUCE OFF-SITE LIGHTING IMPACTS.
- ALL SIDEWALKS SHOWN ON DEVELOPMENT PLAN ARE TO BE 5" CONCRETE UNLESS OTHERWISE SPECIFIED.
- FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP NUMBER 08041C0278G, EFFECTIVE DATE, DECEMBER 7, 2018, INDICATES THE AREA IN THE VICINITY OF THIS PARCEL OF LAND TO BE A ZONE X (AREA DETERMINED TO BE OUT OF THE 500 YEAR FLOODPLAIN).
- NOTICE: THIS PROPERTY MAY BE IMPACTED BY NOISE AND OTHER SIMILAR SENSORY EFFECTS OF FLIGHT CAUSED BY AIRCRAFT USED IN BOTH THE UNITED STATES AIR FORCE ACADEMY'S AIRMANSHIP PROGRAM AND DURING SPECIAL EVENTS. THIS NOTICE SHALL REMAIN IN EFFECT UNTIL THE AIR FORCE ACADEMY SHALL CEASE TO BE USED FOR FLIGHT TRAINING PURPOSES, OR UNTIL ALL AIRPORTS ON THE AIR FORCE ACADEMY SHALL CEASE TO BE ACTIVELY USED. THIS NOTICE SHALL RUN IN PERPETUITY WITH THE LAND.
- ALL LOTS WITHIN MONUMENT JUNCTION WEST FILING NO. 1 ARE SUBJECT TO AN AVIGATION EASEMENT TO THE UNITED STATES AIR FORCE ACADEMY AS RECORDED UNDER RECEPTION NO. 221224941 IN THE OFFICE OF THE CLERK AND RECORDER OF EL PASO COUNTY, COLORADO.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY THE CITY OF COLORADO SPRINGS DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.
- THERE SHALL BE NO ACCESS FROM ANY LOT OR TRACT TO INTERSTATE - 25.

spell out

REVISED

and meet current ADA requirements

REVISED

please revise, this is Colorado Springs

REVISED

REVISED

or Jackson Creek Parkway

SIGN LOCATION AND HEIGHT HAS BEEN INCLUDED IN THE REVISED PUD ZONING REGULATIONS.

WE WILL BE PROVIDING JUST ONE MONUMENT SIGN ON-SITE WITH THIS PUD PLAN AND IT IS LOCATED ON THE REVISED SITE PLAN SHEET IN THE NORTHEAST CORNER OF THE SITE.

include information regarding the size, height, location, etc

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 PUD ZONING REGULATIONS

A. GENERAL PROVISIONS

- Applicability: Lot 4 Monument Junction West Filing No. 1 Preliminary/Final PUD Plan and zoning regulations shall run with the land and bind all landowners of record, their successors, heirs, or assigns of the land as approved by the Monument Board of Trustees.
- Relationship to Town Regulations: The provisions of this Preliminary/Final PUD Plan and these zoning regulations shall prevail and govern the development of Lot 4, Monument Junction West Filing No. 1 PUD, and supersede the provisions of the zoning ordinance of the Town, as amended.
- Severability of Provisions: In the event that any provision hereof shall be determined to be illegal or void by the final order of any court of competent jurisdiction, the remaining provisions shall be in full force and effect.
- Overall Project Standards: The standard zoning requirements of the Town zoning ordinance including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

B. DEVELOPMENT GUIDELINES

- Uses: The following are permitted uses on Lot 4 of Monument Junction West Filing No. 1: Commercial
- Accessory Uses & Structures: Patio seating, outdoor storage, trash enclosure, as shown on this Prelim/Final PUD Plan.
- Signs: Entry signs are located at both access points to the Lot 4 commercial development. These signs identify the user by use of logos and named identity. One entry monument sign is permitted at each public road entry point into the commercial development. Entry monumentation signage may be located in public rights of way or in tracts, as long as sight visibility and safety standards of the Town of Monument are met. A revocable permit is required if signage is located within a right of way. Entry monumentation signs may consist of sign walls, mail kiosks or other structures designed to serve commercial functions, landscape walls, or architectural elements that reinforce the design theme of Monument Junction. A separate sign permit is required to be submitted to Town of Monument for approval.
- Definitions:

BUILDING HEIGHT: The vertical distance above a reference datum measured to the highest point of a flat roof or deck line of a mansard roof or the midpoint of the highest gable of a pitched or hipped roof.
LOT COVERAGE: The percentage of the lot area that may be covered by all of the footprints of the buildings and structures on a lot. Surface parking and other impervious surfaces are not included.

C. DEVELOPMENT STANDARDS

- Lot Standards:
 - Proposed Building Size: 3,800 SF
 - Proposed Lot Coverage: 6%
 - Proposed Building Height: 21'-8"

include maximum lot coverage and maximum height.

2. Building Setbacks:

- Jackson Creek Parkway: 25'
- Fat Tire Drive: 10'
- Laughing Lab Way: 10'

please revise to be a ratio of 1 parking space per X square feet in place of the 15 parking spaces per 1000 square feet.

3. Landscape Setbacks:

- Jackson Creek Parkway: 25'
- Fat Tire Drive: 10'
- Laughing Lab Way: 10'

please clarify if these standards vary depending upon the selected use.

4. Parking: 15 spaces per 1000 SF

- Required: 57
- Provided: 50
- ADA Required: 3
- ADA Provided: 3

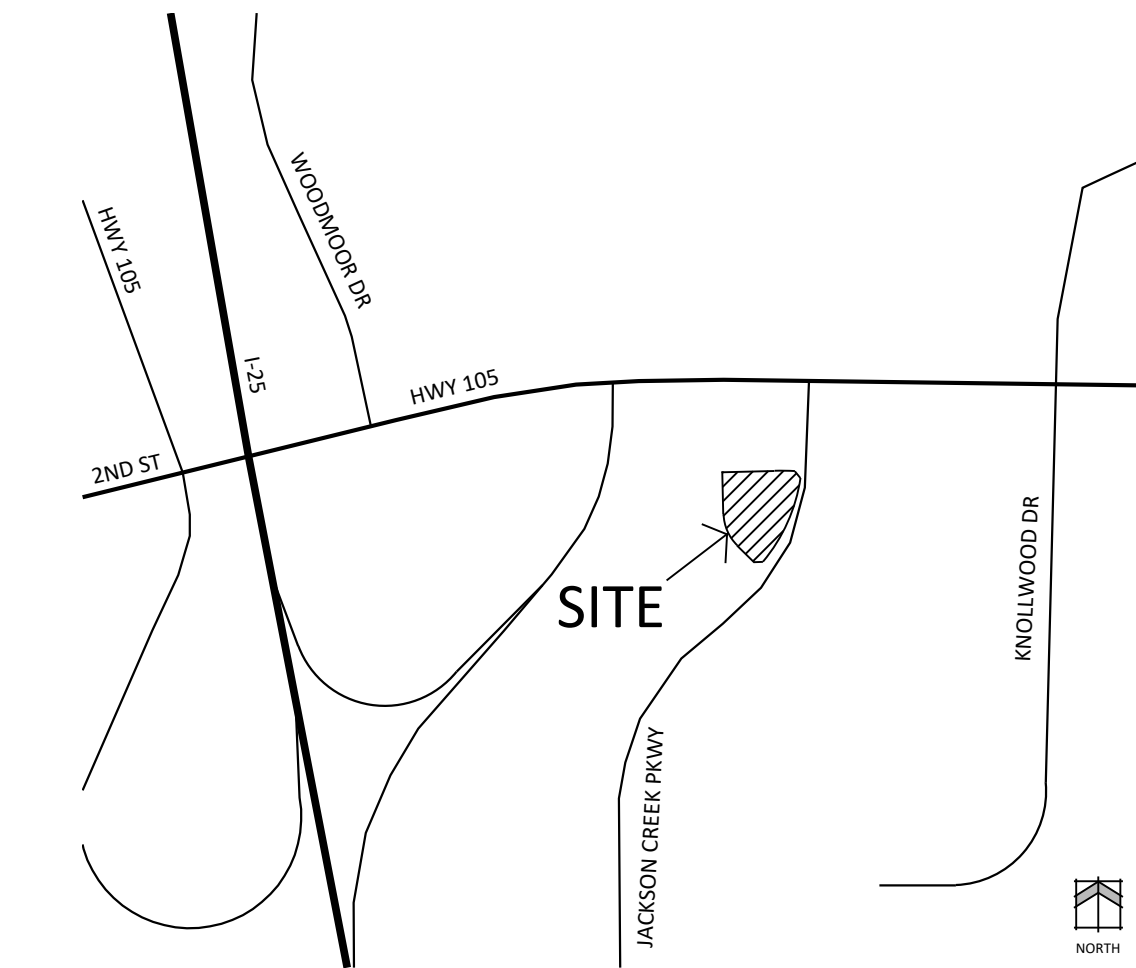
D. ARCHITECTURAL STANDARDS

- The Monument Junction Architectural Control Committee (ACC) will review and approve the architectural design of the development for compliance with the design guidelines established for Monument Junction.

this is not specific enough, please add specific uses that are permitted on the lot, please add uses that would allow for re purpose of the building in the event that "burgerworks" is no longer in business. If you determine that you desire to follow conventional zoning, you may choose to withdraw this application and replace it with a rezoning for conventional zoning.

REVISED, EVERYTHING NOW IN THE ZONING REGULATIONS ALLOWS FOR NUMEROUS DIFFERENT USES ON SITE IN CASE THE WHATBURGER GOES AWAY IN THE FUTURE.

VICINITY MAP



SITE DATA

Tax ID Number: 7114400008
Total Area: 1.79 AC
Sketch Plan: The Village
Drainage Basin: Dirty Woman Creek
Current Zoning: PUD
Proposed Use: Vacant
Fast-Food Restaurant

this will not allow for re purposing the building

REVISED, EVERYTHING NOW IN THE SITE DATA IS WHAT WE ARE PROPOSING FOR THE CURRENT USE.

PROJECT TEAM

OWNER: Patricia's Table LLC
908 N. John Redditt
Lufkin, Tx 75904

DEVELOPER: BurgerWorks Monument LLC
908 N. John Redditt
Lufkin, Tx 75904

CIVIL ENGINEER: Classic Consulting, Engineering & Surveying
619 N. Cascade Ave., Suite 201
Colorado Springs, CO 80903

APPLICANT: N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903

EROSION CONTROL HAS NOW BEEN INCORPORATED INTO THE GRADING SHEETS WITH THIS RESUBMITTAL. NOTES HAVE ALSO BEEN INCLUDED ON THE REVISED CIVIL SHEETS CALLING OUT TOWN OF MONUMENT DETAILS FOR CURB AND GUTTER. REFERENCE GENERAL NOTE #8 FOR PAVING SECTION.

SHEET INDEX

- Sheet 1 of 13: Cover Sheet
- Sheet 2 of 13: Prelim/Final PUD Plan
- Sheet 3 of 13: Interior Floor Plan
- Sheet 4 of 13: Preliminary Grading Plan
- Sheet 5 of 13: Preliminary Utilities & Public Facilities Plan
- Sheet 6 of 13: Prelim/Final Landscape Plan Notes
- Sheet 7 of 13: Prelim/Final Landscape Plan
- Sheet 8 of 13: Landscape Plan Details
- Sheet 9 of 13: Prelim/Final Irrigation Plan
- Sheet 10 of 13: Irrigation Plan Details
- Sheet 11 of 13: Architectural Elevations
- Sheet 12 of 13: Architectural Elevations
- Sheet 13 of 13: Architectural Elevations

Include:
1) Erosion Control Plan
2) Detail sheet(s), incl. paving sections, curb & gutter, signs, ADA parking configuration, etc. (see checklists)



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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BURGERWORKS

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

PRELIM/FINAL PUD PLAN

DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

ENTITLEMENT

DATE: BY: DESCRIPTION:

COVER SHEET

1

1 OF 13

CPC #

please add a key to each page.

please provide information regarding the stacking provision during normal business hours.

Please identify the loading area per table 5.2.

BURGERWORKS MONUMENT JUNCTION

MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD PLAN

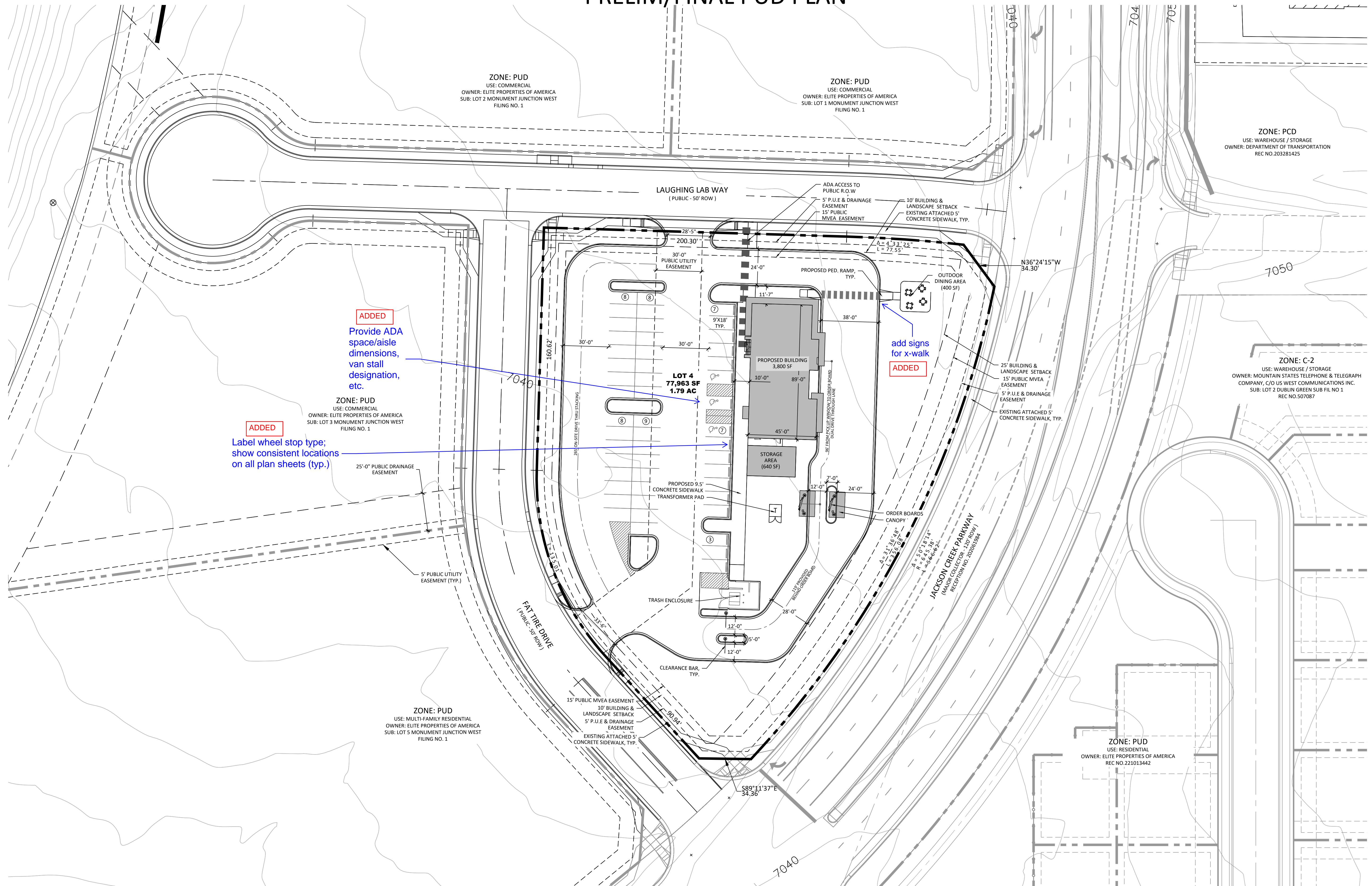


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ADDED
Provide ADA space/aisle dimensions, van stall designation, etc.

ADDED
Label wheel stop type; show consistent locations on all plan sheets (typ.)

ADDED
add signs for x-walk

P:\Burgerworks Colorado LLC\Burgerworks Monument Junction\Drawings\Planning\DR\Burgerworks Monument Junction_PUD.dwg [PUD Final Site Plan] 6/7/2022 2:56:40 PM bperkins

PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH
STAMP
ISSUE INFO
SHEET TITLE
SHEET NUMBER

BURGERWORKS

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PRELIM/FINAL PUD PLAN

DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
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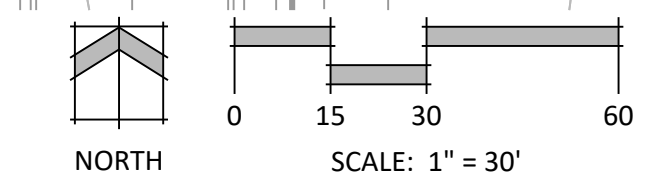
DATE:	BY:	DESCRIPTION:

PRELIM/FINAL PUD PLAN

2

2 OF 13

CPC #

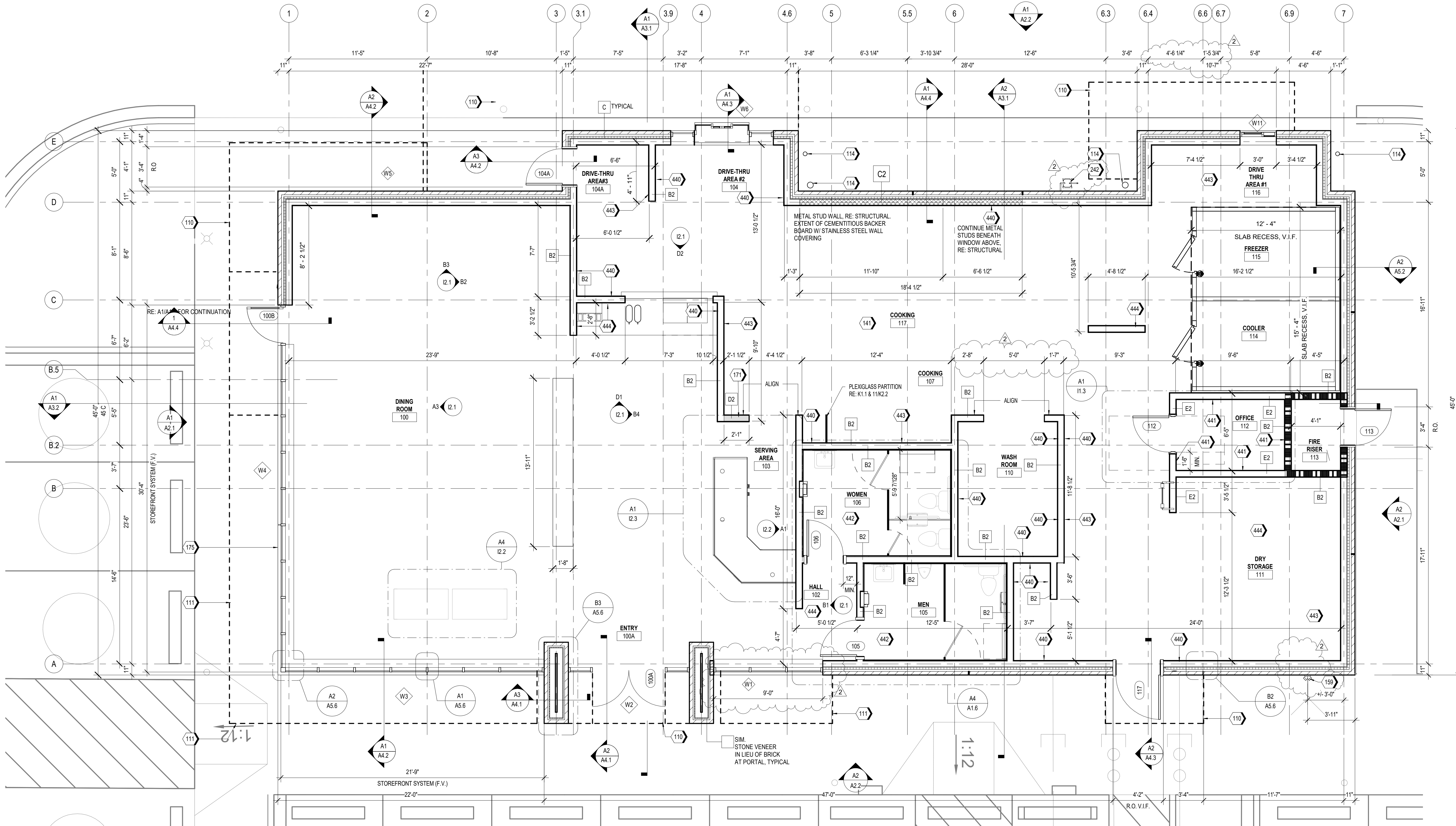


NOTES

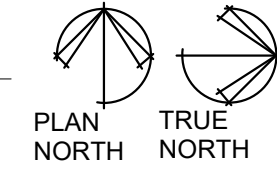
- DO NOT SCALE DRAWINGS.
- VERIFY FIELD DIMENSIONS AND INFORM OWNER OF ANY DISCREPANCIES BEFORE BEGINNING CONSTRUCTION.
- PROVIDE AND INSTALL NEW CONSTRUCTION TO MEET APPLICABLE CODE REGULATIONS.
- SET FINISH DOOR IN PARTITIONS MIN. 6" FROM ADJACENT, PERPENDICULAR PARTITION, UNLESS OTHERWISE NOTED.
- DIMENSIONS NOTED AS "HOLD" INDICATE REQUIRED UNOBSTRUCTED DISTANCE FROM FINISH FACE TO FINISH FACE. DEVIATION GREATER THAN 1/4" WILL RESULT IN REJECTION OF WORK.
- UNLESS OTHERWISE NOTED, DIMENSIONS ARE TO FRAMING, CENTER LINE OF COLUMN OR CENTER LINE OF WINDOW MULLION.
- CONCEALED BLOCKING IN PARTITIONS TO BE PROVIDED. LOCATIONS TO INCLUDE, BUT ARE NOT LIMITED TO, OPENED AND CLOSED SHELVING, COAT ROOFS AND SHELVES, CABINETS, COUNTERS, DOOR FRAMES AND HEADERS, AND SUPPORT OF TRIM.
- WHERE SCHEDULED PARTITION TYPE IS TO BE FINISHED WITH CERAMIC OR PORCELAIN WALL TILE OR IS TO BE LOCATED IN A WET APPLICATION AREA, OMIT GWB AND PROVIDE CEMENT BOARD TYPE PRODUCT. WHERE PARTITION TYPE IS LOCATED IN AN AREA OF HIGH HUMIDITY OR INCIDENTAL MOISTURE, PROVIDE MOISTURE-RESISTANT GYPSUM BOARD TYPE PRODUCT.
- PARTITIONS TO BE "LEVEL 4" FINISH THROUGHOUT. PROVIDE "LEVEL 5" FINISH AT AREAS OF APPLIED VINYL GRAPHICS WHEN PRESENT AND WHERE CALLED OUT ON PLAN. ALL VINYL GRAPHICS ARE OWNER FURNISHED OWNER INSTALLED UNLESS NOTED OTHERWISE.
- UNDERCUT AT DOORS TO BE NO LESS THAN 1/4" AND NO GREATER THAN 1/2", UNLESS SPECIFICALLY NOTED OTHERWISE FOR HVAC CONSIDERATIONS.
- PROVIDE ADA-COMPLIANT IDENTIFICATION SIGNAGE WHERE REQUIRED BY CODE. TO INCLUDE, BUT NOT LIMITED TO, MEN'S TOILET ROOMS, WOMEN'S TOILET ROOMS, UNISEX TOILET ROOMS, MECHANICAL ROOMS, AND ELECTRICAL ROOMS. SIGNAGE TO INCORPORATE BRAILLE AND RAISED CHARACTERS AT SIGNS PLUS UNIVERSAL PICTOGRAMS AT TOILET ROOMS. COORDINATE CUSTOM BACKGROUND COLOR AND FONT STYLE WITH WHATABURGER.
- PROVIDE CONTROL JOINTS IN GWB FACES, TAPED AND SPACKLED SMOOTH. FULLY FINISH TO MATCH ADJACENT SURFACE. FOR VERTICAL PARTITION SURFACES, PROVIDE CONTROL JOINTS EQUALLY SPACED NOT MORE THAN 30 FEET ON CENTER. FOR HORIZONTAL CEILING SURFACES, PROVIDE CONTROL JOINTS EQUALLY SPACED NOT MORE THAN 50 FEET ON CENTER. FOR SURFACES, WHERE NEW CONSTRUCTION CROSSES OR INTERSECT WITH BASE BUILDING CONSTRUCTION CONTROL JOINTS IN FLOOR SLABS OR VERTICAL CONSTRUCTION, PROVIDE NEW CONTROL JOINTS TO ALIGN WITH EXISTING.
- FOR WINDOW TYPES REFER TO SHEET A0.3
- FOR PARTITION TYPES, REFER TO SHEET A5.5

KEYNOTES

110	CANOPY ABOVE
111	SUN SHADE CANOPY. SEE A6.9
114	PREFINISHED CONDUCTOR HEAD AND DOWNSPOUT COLOR TO MATCH MP-01, RE: B3/A5.4
141	REFER TO K1.1 FOR KITCHEN EQUIPMENT
159	FIRE DEPARTMENT CONNECTION BY SPRINKLER CONTRACTOR
171	GC TO COORDINATE THE INSTALLATION OF SHADED WALL AREA AFTER THE KITCHEN EQUIPMENT IS DELIVERED.
175	FOUNDATION EXTENT
242	GAS METER, RE: MEP
440	AT SINKS, DRAINS, GREASE EQUIP., WET EQUIP.: FRP OVER 5/8" CEMENT BOARD BELOW 4'-0", PLYWOOD ABOVE 4'-0"
441	AT OFFICE INTERIOR: FRP FULL HEIGHT OVER FULL HEIGHT B/C 5/8" PLYWOOD.
442	AT RESTROOM SIDE: TILE OVER 5/8" CEMENT BOARD, RE: RESTROOM INTERIOR ELEVATIONS
443	AT KITCHEN AREAS: FRP FULL HEIGHT OVER CONTINUOUS 5/8" PLYWOOD FROM 3'-6" A.F.F. TO 7'-6" A.F.F.
444	AT DRY AREAS WITHOUT SHELVING* FRP FULL HEIGHT OVER 5/8" GYPSUM BOARD.



A1 FIRST FLOOR PLAN
1/4" = 1'-0"



P:\Burgerworks Colorado LLC\Whataburger Monument Junction\Drawings\Planning\DR\Burgerworks_Monument Junction_DRF.dwg [Interior Floor Plan] 5/24/2022 4:34:56 PM jperkins



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IN ASSOCIATION WITH

BURGERWORKS
LOT 4 MONUMENT
JUNCTION WEST
FILING NO. 1

PRELIM/FINAL
PUD PLAN
DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

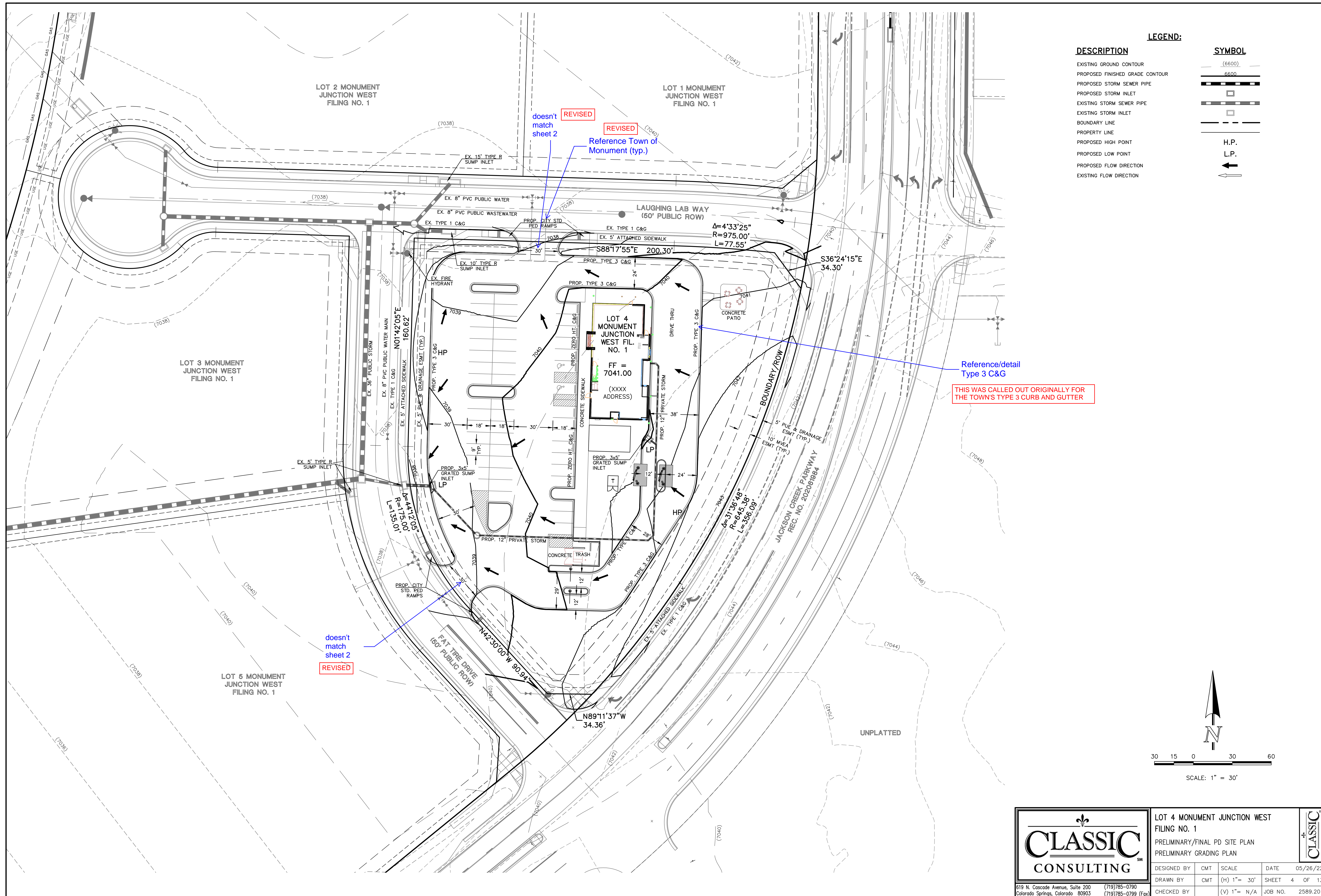
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ENTITLEMENT

DATE:	BY:	DESCRIPTION:

INTERIOR FLOOR PLAN

3
3 OF 13
CPC #

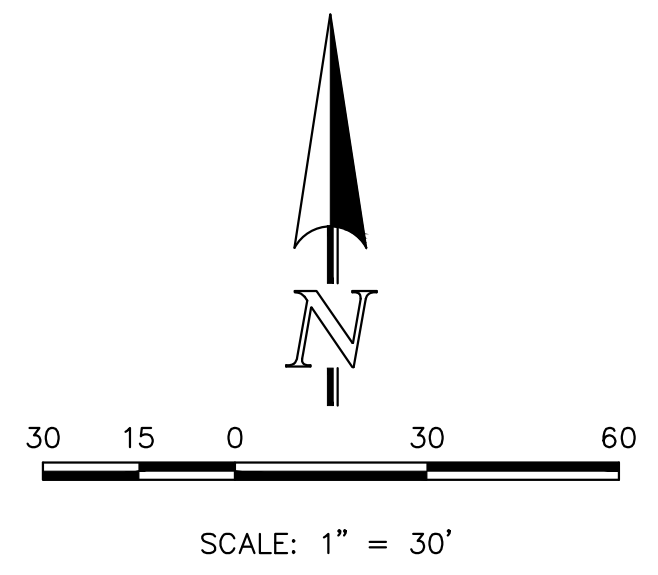


LEGEND:

DESCRIPTION	SYMBOL
EXISTING GROUND CONTOUR	(6600)
PROPOSED FINISHED GRADE CONTOUR	6600
PROPOSED STORM SEWER PIPE	—●—●—●—
PROPOSED STORM INLET	□
EXISTING STORM SEWER PIPE	—■—■—■—
EXISTING STORM INLET	□
BOUNDARY LINE	—+—+—+—
PROPERTY LINE	—
PROPOSED HIGH POINT	H.P.
PROPOSED LOW POINT	L.P.
PROPOSED FLOW DIRECTION	→
EXISTING FLOW DIRECTION	←

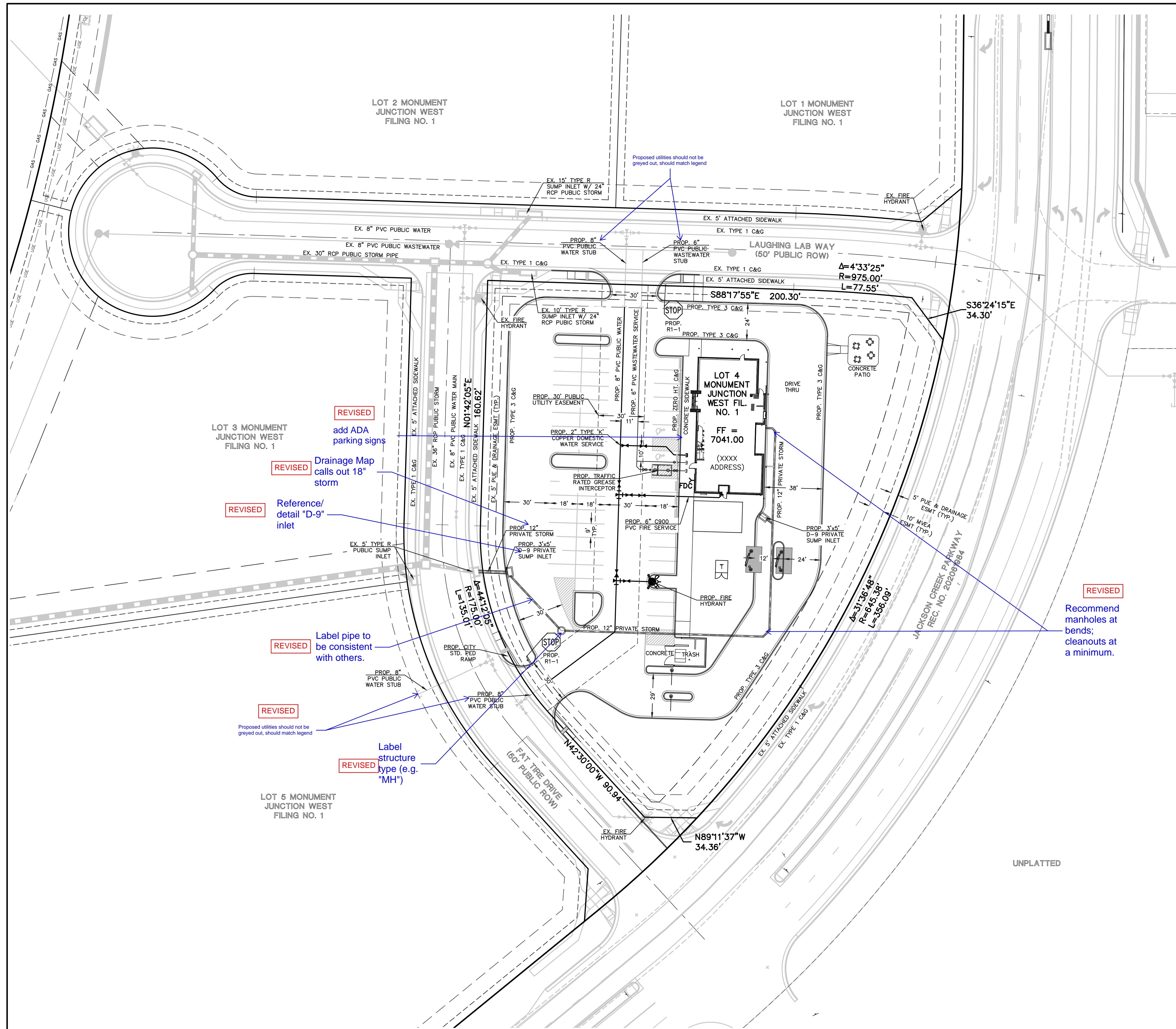
Reference/detail
Type 3 C&G

THIS WAS CALLED OUT ORIGINALLY FOR
THE TOWN'S TYPE 3 CURB AND GUTTER



	LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 PRELIMINARY/FINAL PD SITE PLAN PRELIMINARY GRADING PLAN			
	DESIGNED BY	CMT	SCALE	DATE
DRAWN BY	CMT	(H) 1" = 30'	SHEET	4 OF 13
CHECKED BY		(V) 1" = N/A	JOB NO.	2589.20
619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903		(719) 785-0790 (719) 785-0799 (Fax)		

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LEGEND:

DESCRIPTION	SYMBOL
PROPOSED FIRE HYDRANT	
PROPOSED WATER MAIN	
PROPOSED WATER SERVICES	
PROPOSED SANITARY SEWER MAIN	
PROPOSED SANITARY SEWER SERVICE	
PROPOSED STORM SEWER	
PROPOSED STORM INLET	
EXISTING STORM SEWER	
EXISTING STORM INLET	
EXISTING FIRE HYDRANT	
EXISTING WATER MAIN	
EXISTING SANITARY SEWER MAIN W/ MANHOLE	
BOUNDARY LINE	
FIRE LANE - CURB STRIPING	

BUILDING DATA

BUILDING NAME:	WHATABURGER RESTAURANT
ADDRESS:	XXXX
TAX ID NUMBER:	7114400008
GROSS SQ FOOTAGE:	3,746 S.F.
TYPE CONSTRUCTION:	VB
BUILDING SPRINKLED:	YES
FIRE WALLS:	NO
REQ. GPM FIRE FLOW:	1250 GPM
REQ. MIN. NUMBER HYDRANTS:	1
AVG. DIST. BETWEEN HYD.:	500'
MAX. HOSE LAY DIST.:	250'

REVISD add ADA parking signs

REVISD Drainage Map calls out 18" storm

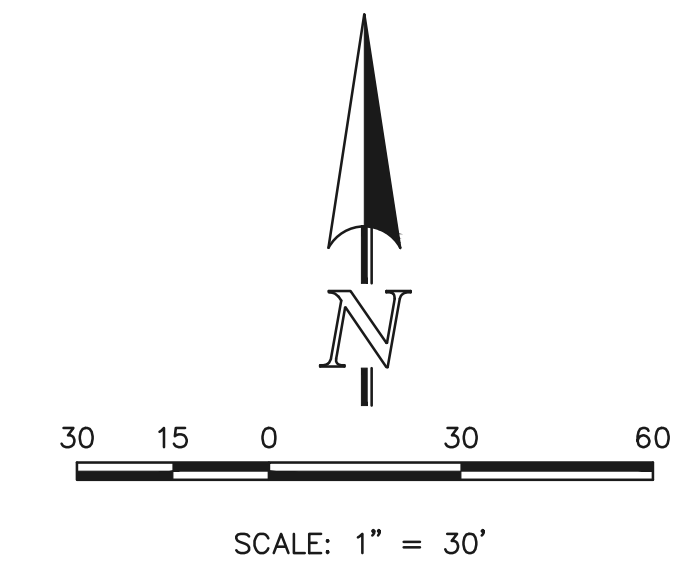
REVISD Reference/detail "D-9" inlet

REVISD Label pipe to be consistent with others.

REVISD Proposed utilities should not be greyed out, should match legend

REVISD Label structure type (e.g. "MH")

REVISD Recommend manholes at bends; cleanouts at a minimum.



	LOT 4 MONUMENT JUNCTION WEST FILING NO. 1 PRELIMINARY/FINAL PD SITE PLAN PRELIMINARY UTILITY PLAN				
	DESIGNED BY	CMT	SCALE		DATE
DRAWN BY	CMT	(H) 1" = 30'	SHEET	5 OF 13	
CHECKED BY		(V) 1" = N/A	JOB NO.	2589.20	

619 N. Cascade Avenue, Suite 200 Colorado Springs, Colorado 80903 (719) 785-0790 (719) 785-0799 (Fax)

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BURGERWORKS MONUMENT JUNCTION

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD LANDSCAPE PLAN

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANICS PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- ALL SOD SHALL BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2 - 4" ARKANSAS TAN RIVER ROCK, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- GRAVEL ROCK: 1 1/2" SADDLEBACK SWIRL, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

LANDSCAPE REQUIREMENTS

Internal Landscaping


Gross Site Area (SF)	Percent Minimum Internal Area (%)	Internal Area (SF) Required / Provided
77,963 S.F.	10%	7,796 / 31,007
Internal Trees (1/925 SF) Required / Provided	Shrubs / Orn. Grasses/ Ground Cover Plantings (5/100 SF) Required / Provided*	Internal Plant Abbr. Denoted on Plan
9 / 23	250 / 250*	IN

Motor Vehicle Lots


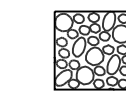
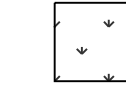
No. of Vehicles Spaces Provided	Shade Trees (1/10 spaces) Required / Provided	Vehicle Lot Plant Abbr. on Plan
50	5 / 5	MV

REQUIREMENT INCLUDES REDUCTION FOR EXTRA INTERNAL TREES (14 TREES = 140 SHRUBS)*

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	An	8	Acer negundo 'Sensation' / Sensation Maple	30'	40'	1.5" Cal.	B&B	
	Tco	6	Tilia cordata / Littleleaf Linden	45'	35'	1.5" Cal.	B&B	
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pd	6	Picea glauca 'Densata' / Black Hills Spruce	30'	20'	6' HT	B&B	
	Ppb	8	Picea pungens 'Bakeri' / Bakeri Blue Spruce	25'	15'	6' HT	B&B	
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Bm	29	Berberis thunbergii 'Monlars' TM / Gold Nugget Japanese Barberry	1'	1.5'	5 GAL	CONT	
	Ena	20	Ericameria nauseosa / Rubber Rabbitbrush	5'	5'	5 GAL	CONT	
	Gt	32	Geum triflorum / Prairie Smoke	2'	2'	5 GAL	CONT	
	Pb	20	Prunus besseyi / Western Sandcherry	4'	4'	5 GAL	CONT	
	Spm	18	Syringa patula 'Miss Kim' / Miss Kim Lilac	6'	6'	5 GAL	CONT	
EVERGREEN SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Pan	15	Picea abies 'Nidiformis' / Nest Spruce	4'	5'	5 GAL	CONT	
	Pmw	14	Pinus mugo 'White Bud' / White Bud Mugo Pine	4'	4'	5 GAL	CONT	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Bb	53	Bouteloua gracilis 'Blonde Ambition' / Blonde Ambition Blue Grama	3'	3'	1 GAL	CONT	
PERENNIALS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND	KEY
	Aas	28	Agastache x 'Arizona Sunset' / Arizona Sunset Anise Hyssop	3'	3'	1 GAL	CONT	
	Zg	21	Zauschneria garretii 'PWWG01S' TM / Orange Carpet Hummingbird Trumpet	1.5'	2'	#1 CONT.	CONT	--

GROUND COVER LEGEND

	ROCK MULCH 1 1/2" Saddleback Swirl Shrub Planting Bed	18,977 sf
	ROCK COBBLE 2 - 4" Arkansas Tan River Rock	1,895 sf
	NATIVE SEED MIX El Paso County Conservation Low Grow Mix Big Bluestem - 20% Western Wheatgrass - 20% Blue Grama - 10% Green Needlegrass - 10% Sideoats Grama - 10% Switchgrass - 10% Prairie Sandreed - 10% Yellow Indiangrass - 10% Drill seed @ 21 PLS/Acre Hydroseed on slopes 3:1 or greater @ 42 PLS/Acre	10,080 sf



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Fax 719.471.0267

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BURGERWORKS

LOT 4 MONUMENT
JUNCTION WEST
FILING NO. 1

PRELIM/FINAL
PUD PLAN

DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

ENTITLEMENT

DATE: BY: DESCRIPTION:

PRELIM/FINAL
LANDSCAPE
PLAN NOTES

6

6 OF 13

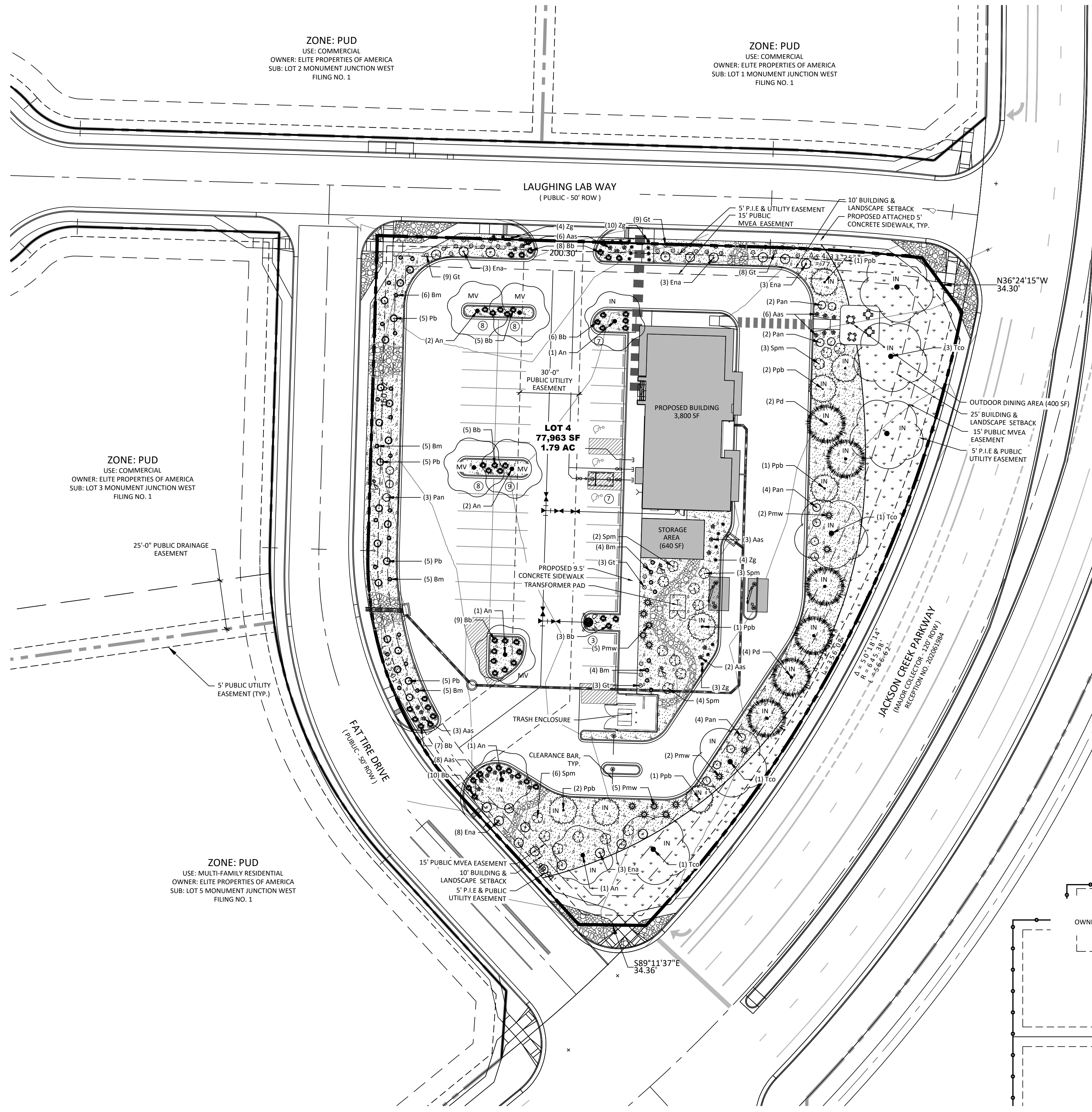
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BURGERWORKS MONUMENT JUNCTION

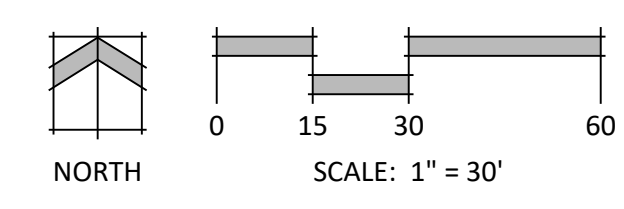
LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD LANDSCAPE PLAN



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PLANNER / LANDSCAPE ARCHITECT

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IN ASSOCIATION WITH

BURGERWORKS

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

PRELIM/FINAL PUD PLAN
DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

PROJECT INFO

STAMP

ENTITLEMENT

ISSUE INFO

DATE:	BY:	DESCRIPTION:

ISSUE / REVISION

PRELIM/FINAL LANDSCAPE PLAN

SHEET TITLE

SHEET NUMBER

7

7 OF 13

CPC #

PLAN FILE #

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LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD LANDSCAPE PLAN

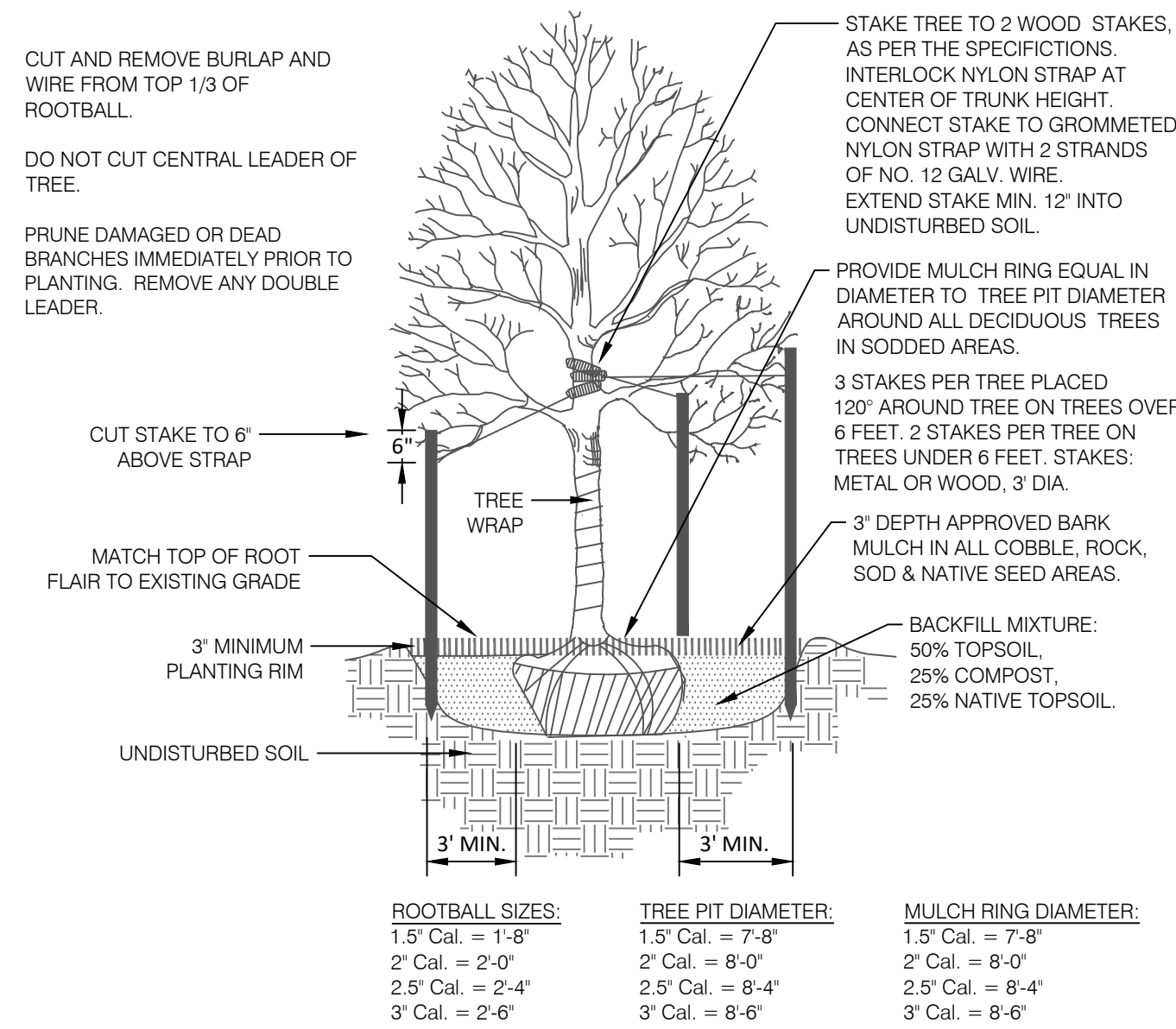


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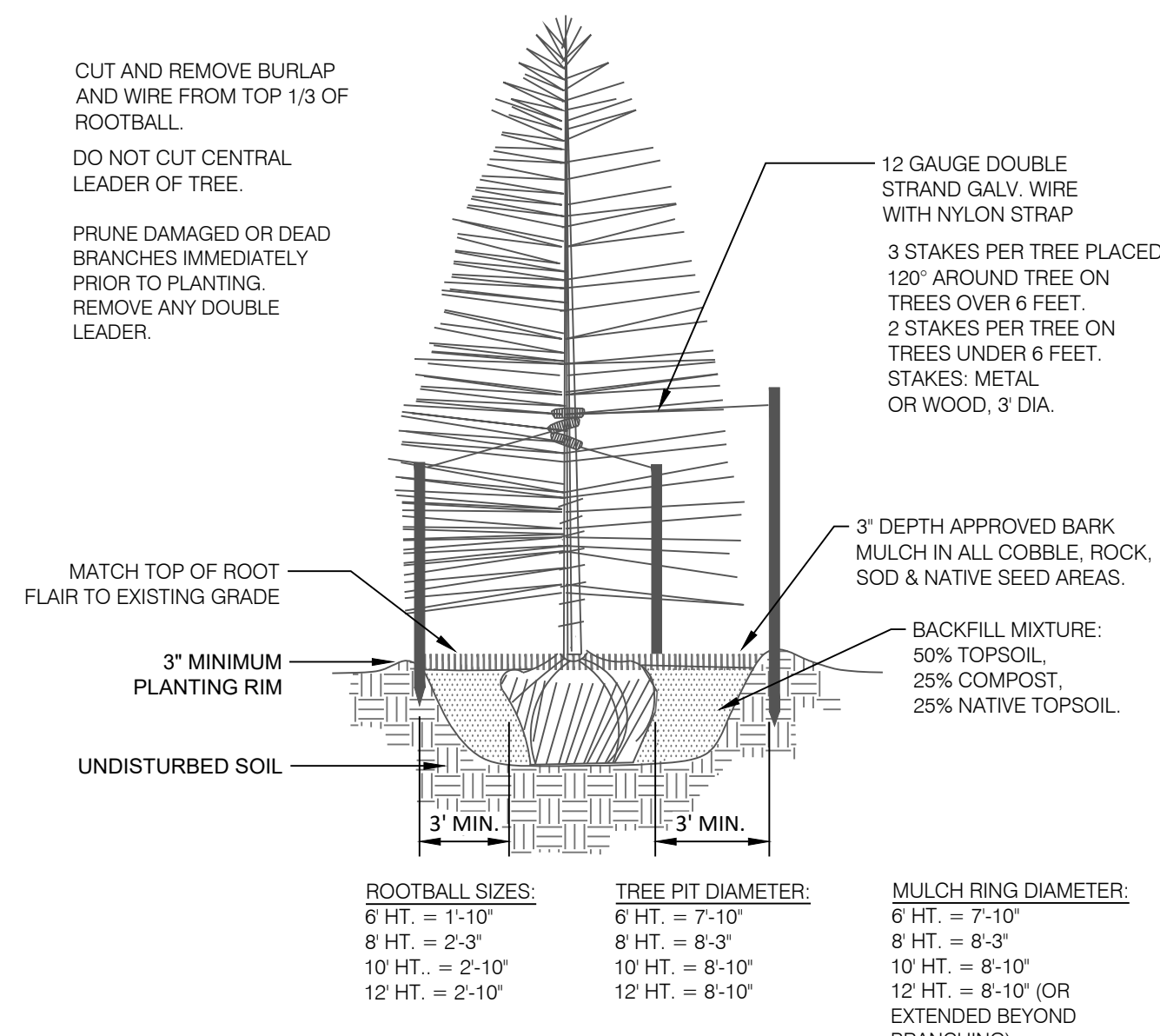
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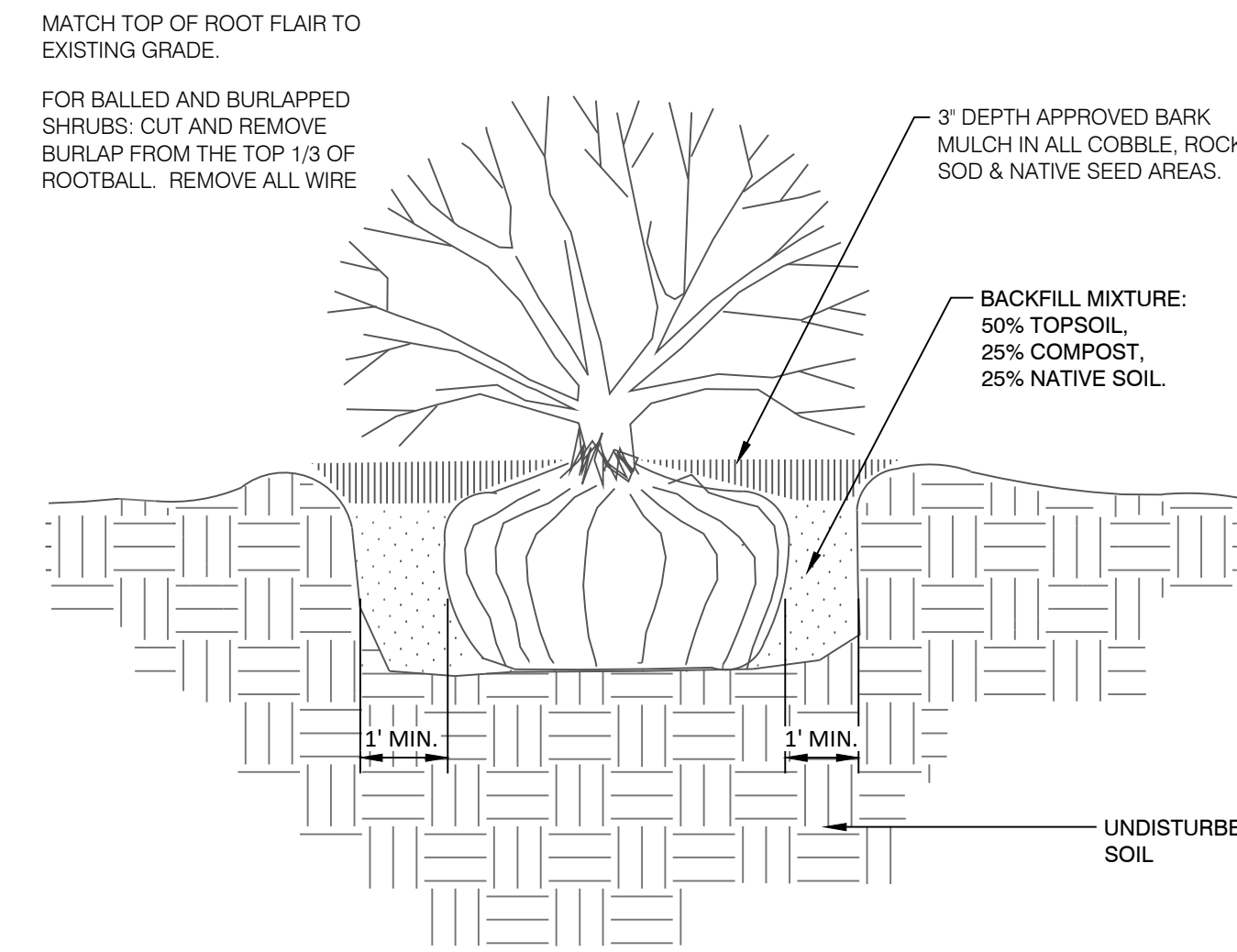
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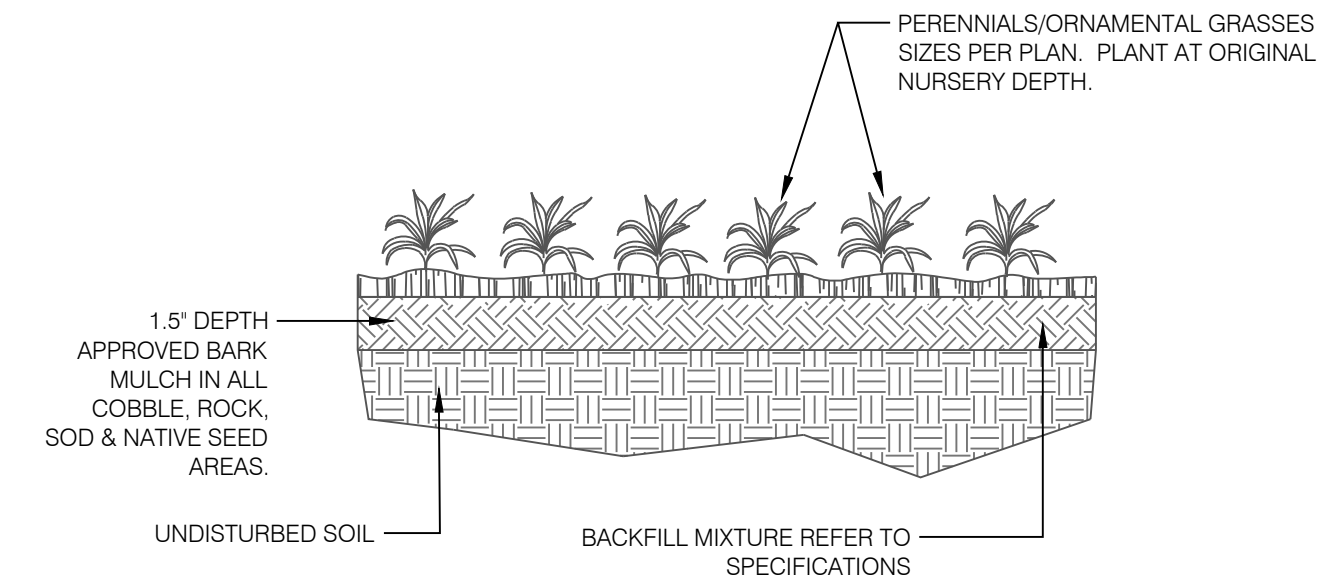
1 DECIDUOUS TREE PLANTING DETAIL
N.T.S. NES-LS-01



2 CONIFEROUS TREE PLANTING DETAIL
N.T.S. NES-LS-02

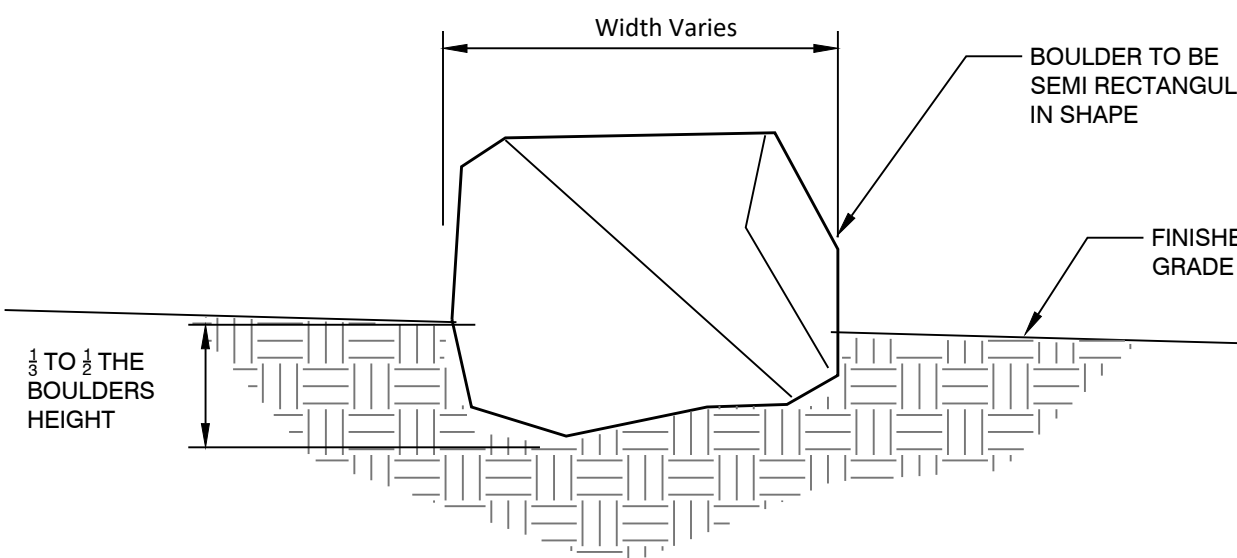


3 SHRUB PLANTING DETAIL
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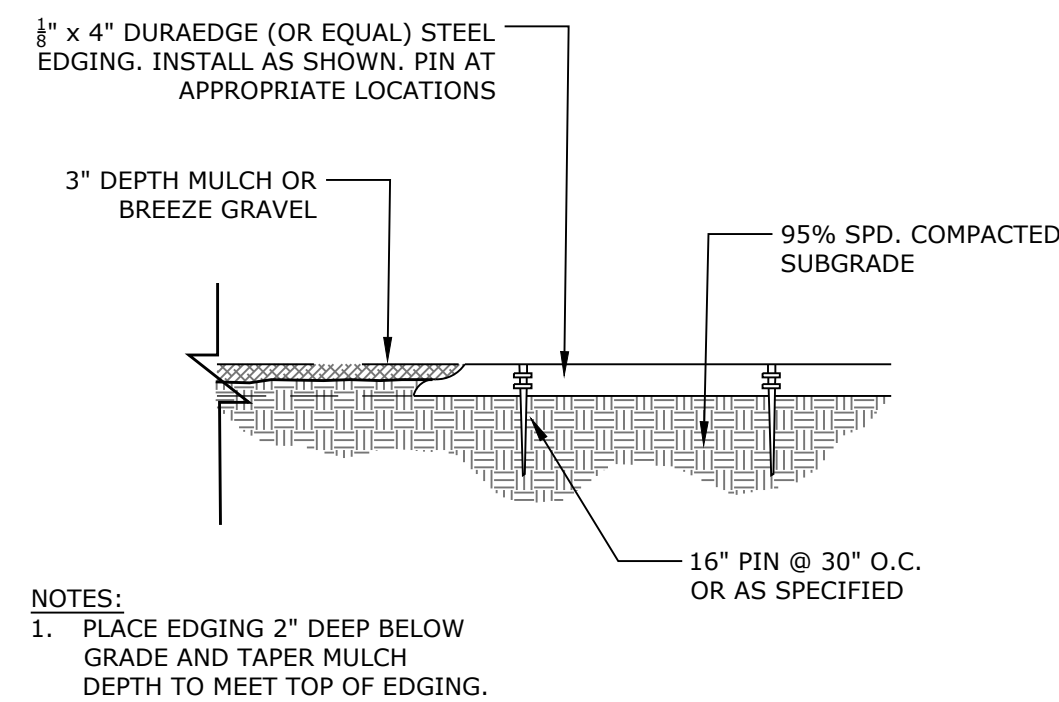


4 PERENNIAL / ORNAMENTAL GRASS PLANTING
N.T.S. NES-LS-04

- NOTES:**
- BOULDERS TO BE --
 - LANDSCAPE ARCHITECT TO APPROVE TYPICAL BOULDERS AT SUPPLIERS PRIOR TO CONTRACTOR BRINGING THE MATERIAL TO THE SITE.
 - BOULDER LOCATION SHALL BE STAKED BY CONTRACTOR FOR APPROVAL BY LANDSCAPE ARCHITECT PRIOR TO BRINGING THE MATERIAL TO THE SITE.
 - BOULDERS NEED TO BE PROTECTED FROM SCRAPING AND FRACTURING DURING TRANSPORT.
 - BURY BOULDERS SO THE TOP IS LEVEL. THE BURY DEPT MAY VARY BETWEEN BOULDERS.



5 LANDSCAPE BOULDER
N.T.S. NES-LS-08



6 STEEL EDGING
N.T.S. NES-LS-09

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LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

PRELIM/FINAL PUD PLAN

DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

ENTITLEMENT

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LANDSCAPE PLAN DETAILS

8
8 OF 13
CPC #

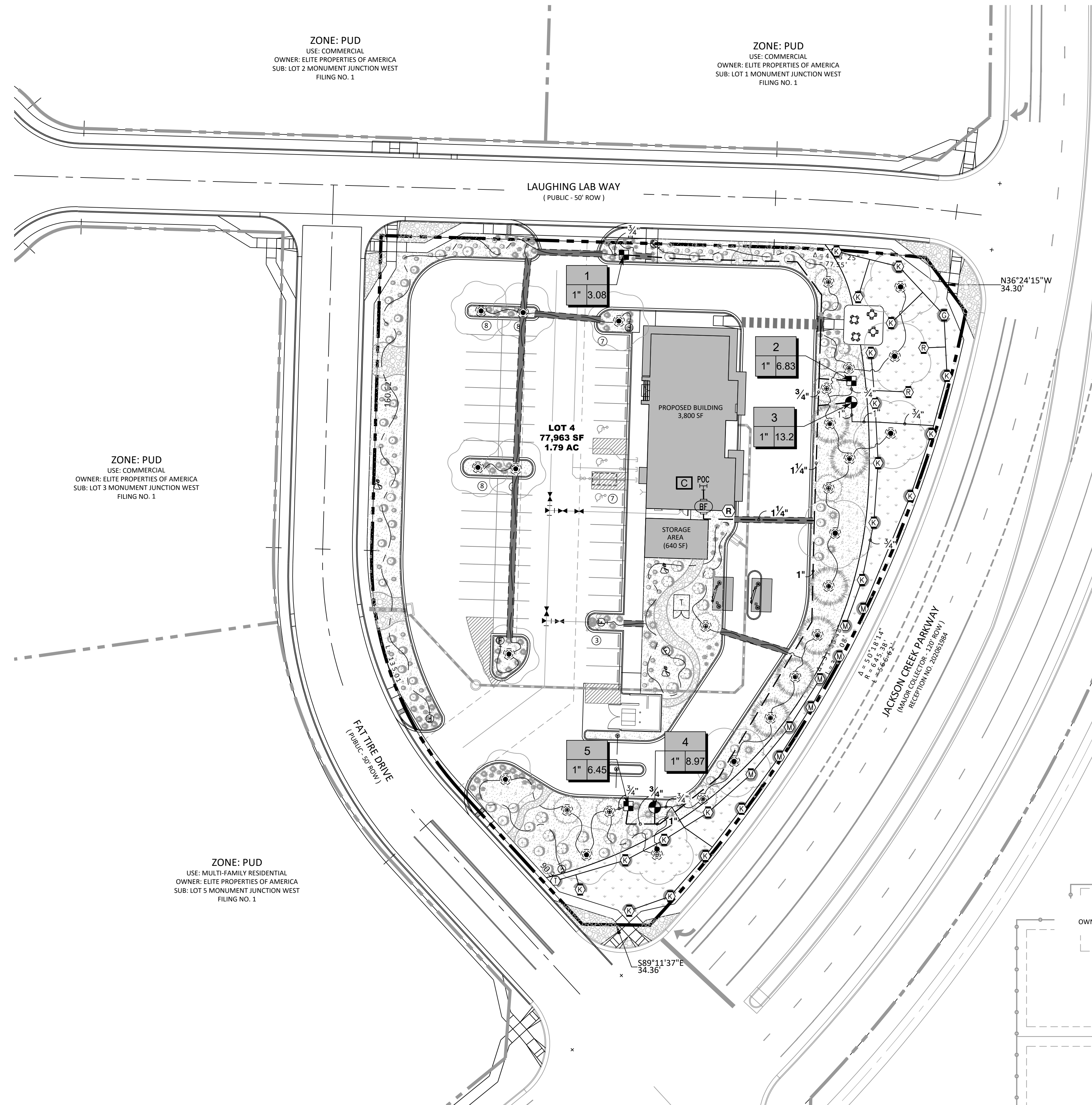
PLANNER / LANDSCAPE ARCHITECT IN ASSOCIATION WITH

BURGERWORKS MONUMENT JUNCTION

LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD IRRIGATION PLAN



ZONE: PUD
 USE: COMMERCIAL
 OWNER: ELITE PROPERTIES OF AMERICA
 SUB: LOT 2 MONUMENT JUNCTION WEST
 FILING NO. 1

ZONE: PUD
 USE: COMMERCIAL
 OWNER: ELITE PROPERTIES OF AMERICA
 SUB: LOT 1 MONUMENT JUNCTION WEST
 FILING NO. 1

ZONE: PUD
 USE: COMMERCIAL
 OWNER: ELITE PROPERTIES OF AMERICA
 SUB: LOT 3 MONUMENT JUNCTION WEST
 FILING NO. 1

ZONE: PUD
 USE: MULTI-FAMILY RESIDENTIAL
 OWNER: ELITE PROPERTIES OF AMERICA
 SUB: LOT 5 MONUMENT JUNCTION WEST
 FILING NO. 1

IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	PSI
Ⓜ	Hunter MP Corner PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. T=Turquoise adj arc 45-105.	1	40
Ⓜ Ⓛ Ⓞ	Hunter MP1000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. M=Maroon adj arc 90 to 210, L=Light Blue 210 to 270 arc, O=Olive 360 arc.	8	40
Ⓜ Ⓞ Ⓡ	Hunter MP2000 PROS-06-PRS40-CV Turf Rotator, 6" pop-up with factory installed check valve, pressure regulated to 40 psi, MP Rotator nozzle on PRS40 body. K=Black adj arc 90-210, G=Green adj arc 210-270, R=Red 360 arc.	23	40
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
Ⓜ	Rain Bird XCZ-100-PRF Medium Flow Drip Control Kit, 1" DV valve, 1" pressure regulating filter, 40psi pressure regulator. 3gpm - 15gpm.	3	
Ⓜ	Rain Bird MDPCAP Dripline Flush Valve cap in compression fitting coupler.	7	
Ⓜ	Tree Ring 1/4" Landscape Dripline .8gph @ 12" spacing	28	
Area to Receive Drip Emitters Rain Bird XB-PC Single Outlet, Pressure Compensating Drip Emitters. Flow rates of 0.5gph=blue, 1.0gph=black, and 2.0gph=red. Comes with a self-piercing barb inlet x barb outlet. Emitter Notes: 1.0 GPH emitters (2 assigned to each plant)			
SYMBOL	MANUFACTURER/MODEL/DESCRIPTION	QTY	
Ⓜ	Rain Bird PESB 1", 1-1/2", 2" Plastic Industrial Valves. Low Flow Operating Capability, Globe Configuration. With Scrubber Technology for Reliable Performance in Dirty Water Irrigation Applications.	2	
Ⓜ	Febco 825YA 1" Reduced Pressure Backflow Preventer	1	
Ⓜ	Rain Bird ESP8LXME 8 Station Capable Commercial Controller. Mounted on a Plastic Wall Mount. Without flow sensor.	1	
Ⓜ	Rain Bird RSD-CEX Rain Sensing Device, conduit mount. With threaded adapter, extension wire.	1	
Ⓜ	POC Point of Connection 1"	1	

- Ⓜ Irrigation Lateral Line: Polyethylene Pipe SDR-7
 - Ⓜ Irrigation Lateral Line: PVC Class 200 SDR 21
 - Ⓜ Irrigation Mainline: PVC Schedule 40
 - Ⓜ Pipe Sleeve: PVC Schedule 40
- Valve Callout
- # Valve Number
 - #/# Valve Flow
 - #/# Valve Size

CRITICAL ANALYSIS

P.O.C. NUMBER: 01
 Water Source Information:
 FLOW AVAILABLE
 Point of Connection Size: 1"
 Flow Available: 18.2 GPM

PRESSURE AVAILABLE
 Static Pressure at POC: 80.00 PSI
 Pressure Available: 80.00 psi

DESIGN ANALYSIS
 Maximum Station Flow: 13.21 GPM
 Flow Available at POC: 18.2 GPM
 Residual Flow Available: 4.99 GPM

Pressure Req. at Critical Station: 48.31 PSI
 Loss for Fittings: 0.17 PSI
 Loss for Main Line: 1.67 PSI
 Loss for POC to Valve Elevation: 0 PSI
 Loss for Backflow: 10.84 PSI
 Critical Station Pressure at POC: 60.99 PSI
 Pressure Available: 80 PSI
 Residual Pressure Available: 19.01 PSI

VALVE SCHEDULE

NUMBER	MODEL	SIZE	TYPE	GPM	PSI	PSI @ POC	PRECIP
1	Rain Bird XCZ-100-PRF	1"	Drip Emmitter	3.08	33.84	46.69	0.64 in/h
2	Rain Bird XCZ-100-PRF	1"	Area for Drip Emitters	6.83	37.44	50.28	0.44 in/h
3	Rain Bird PESB	1"	Turf Rotary	13.21	44.33	57	0.2 in/h
4	Rain Bird PESB	1"	Turf Rotary	8.97	42.87	58.73	0.22 in/h
5	Rain Bird XCZ-100-PRF	1"	Drip Emmitter	6.45	38.97	53.51	0.45 in/h

SEE SHEET 10 OF 13 FOR LANDSCAPE NOTES AND DETAILS



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LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

PRELIM/FINAL PUD PLAN

DATE: 06/03/2022
 PROJECT MGR: J. ROMERO
 PREPARED BY: B. PERKINS

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

PRELIM/FINAL IRRIGATION PLAN

9

9 OF 13

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LOT 4 MONUMENT JUNCTION WEST FILING NO. 1

TOWN OF MONUMENT, COLORADO

PRELIM/FINAL PUD IRRIGATION PLAN

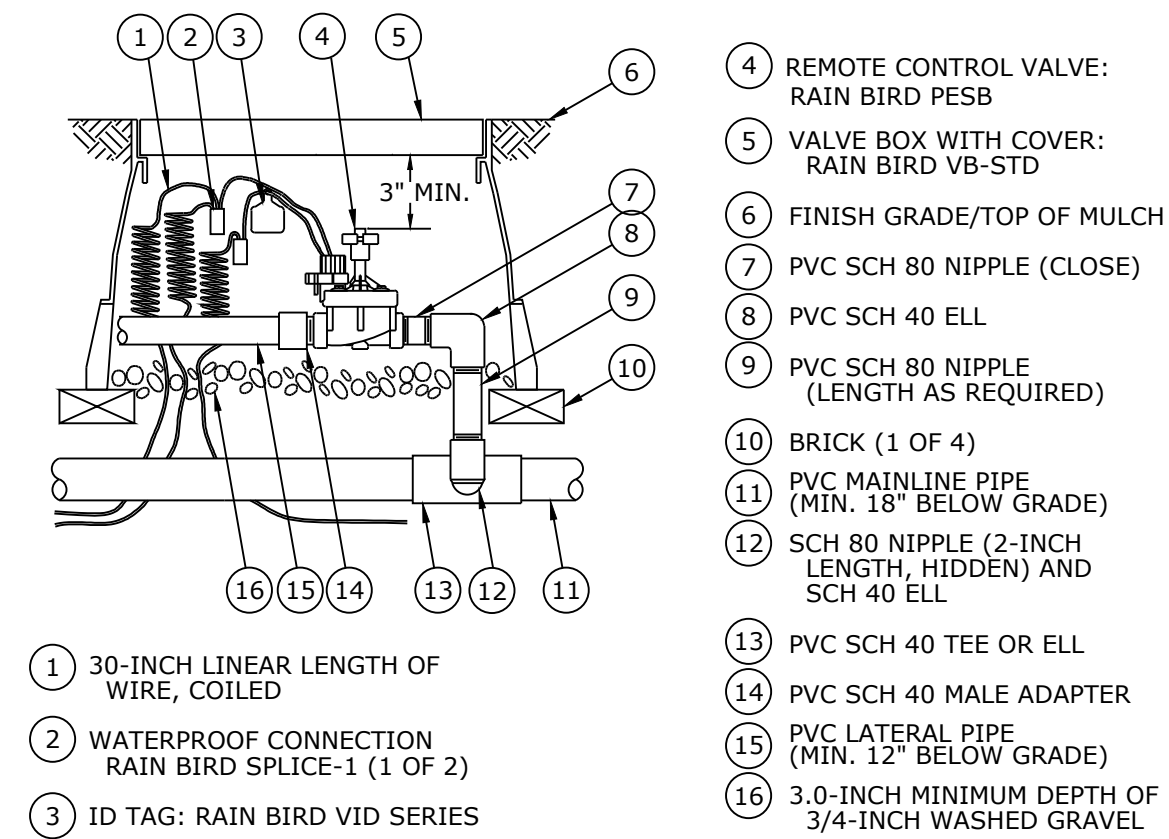


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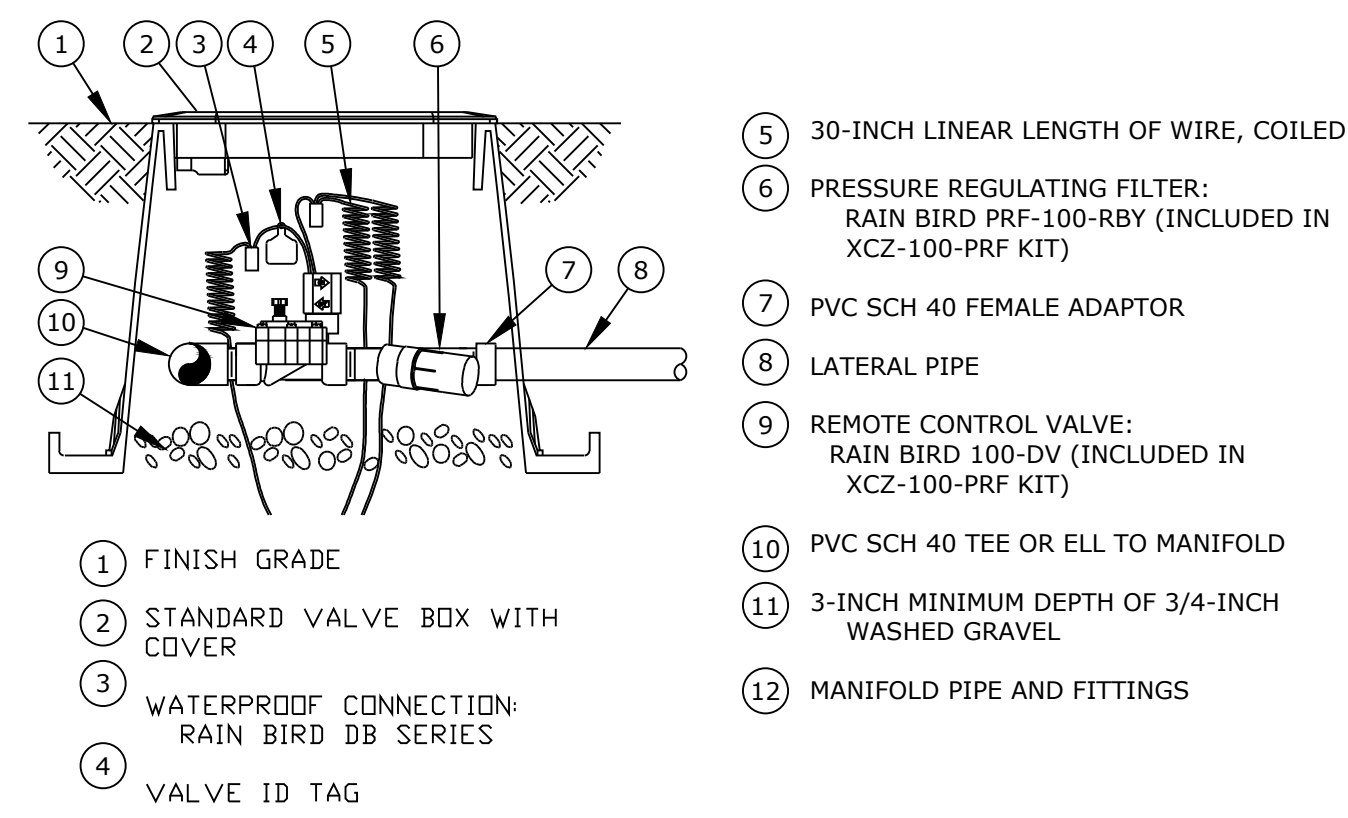
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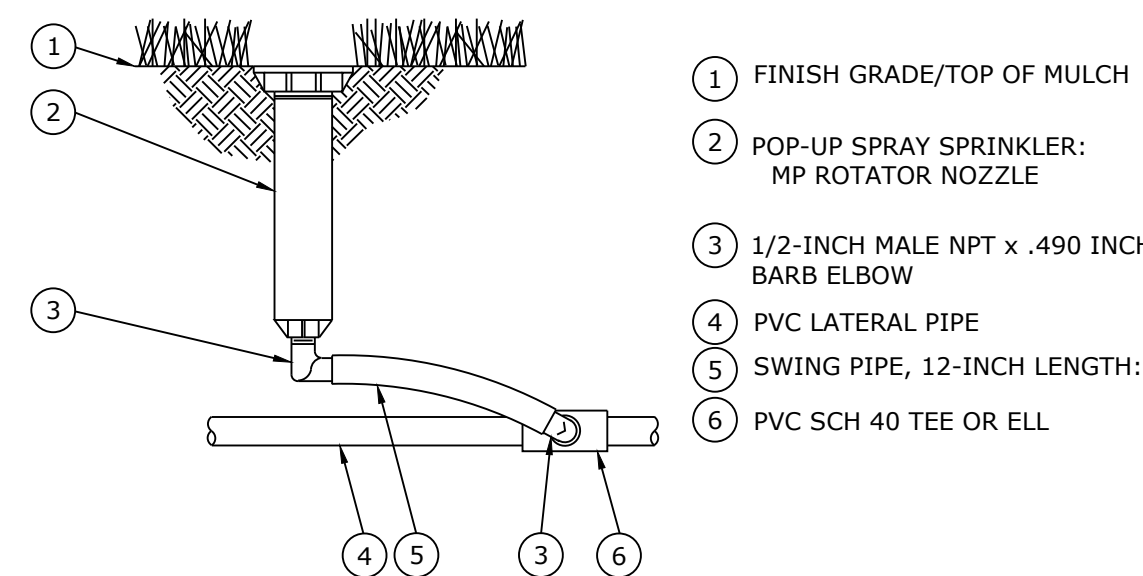
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1 AUTOMATIC VALVE ASSEMBLY
SCALE: NOT TO SCALE



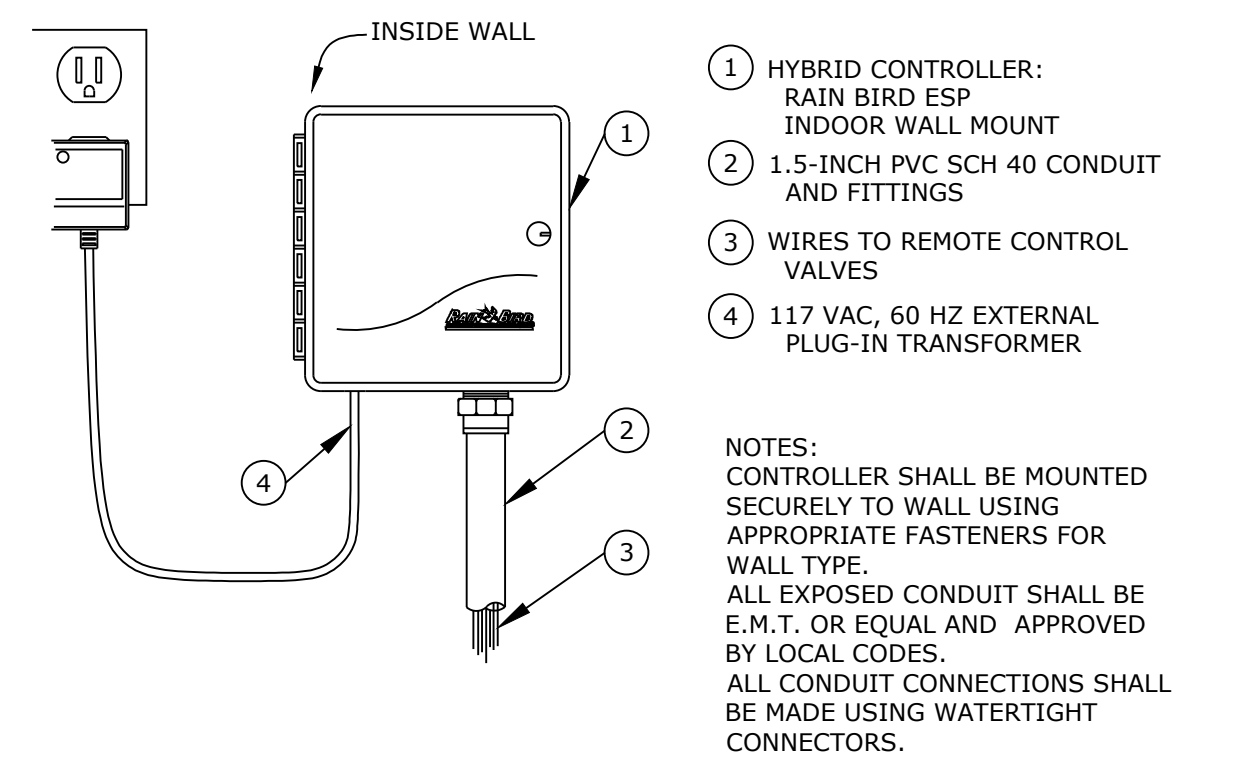
2 AUTOMATIC DRIP VALVE & FILTER ASSEMBLY
SCALE: NOT TO SCALE



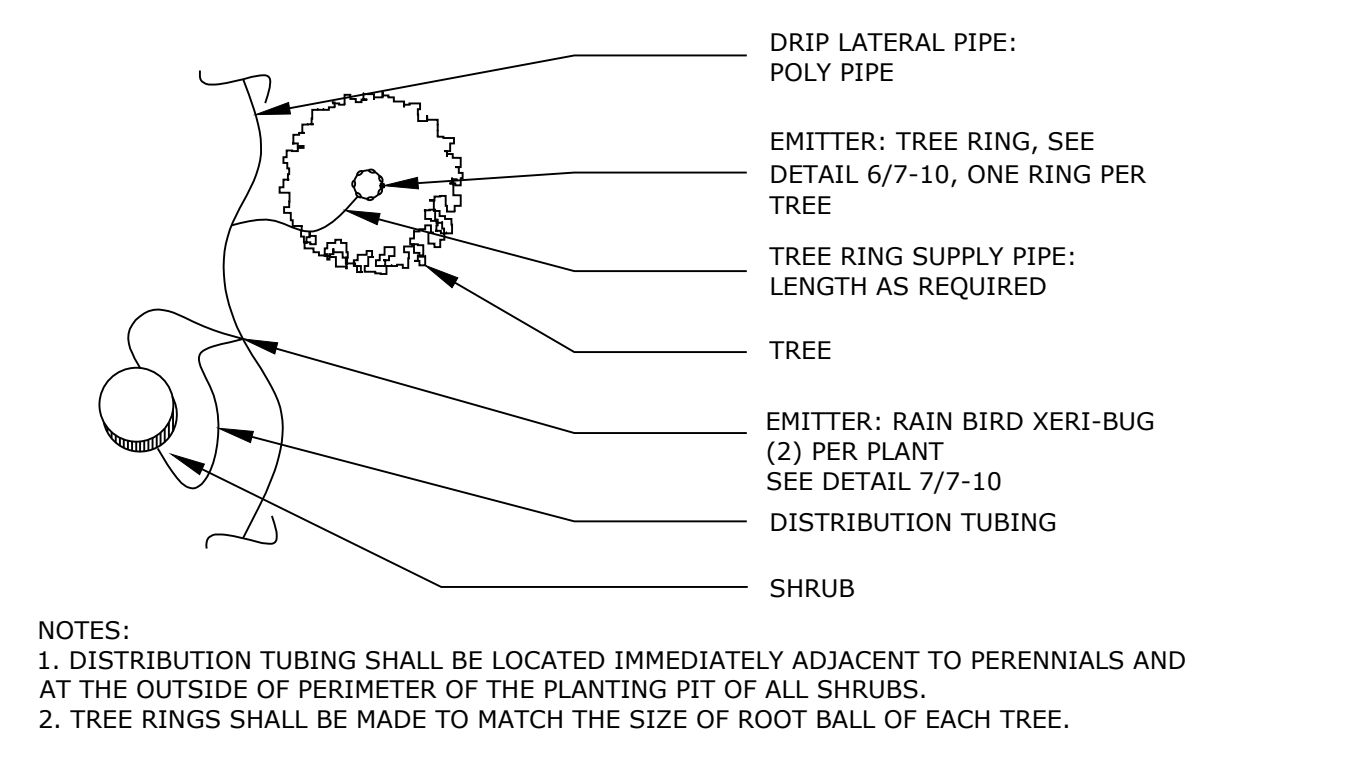
3 POP-UP SPRINKLER
SCALE: NOT TO SCALE

IRRIGATION NOTES

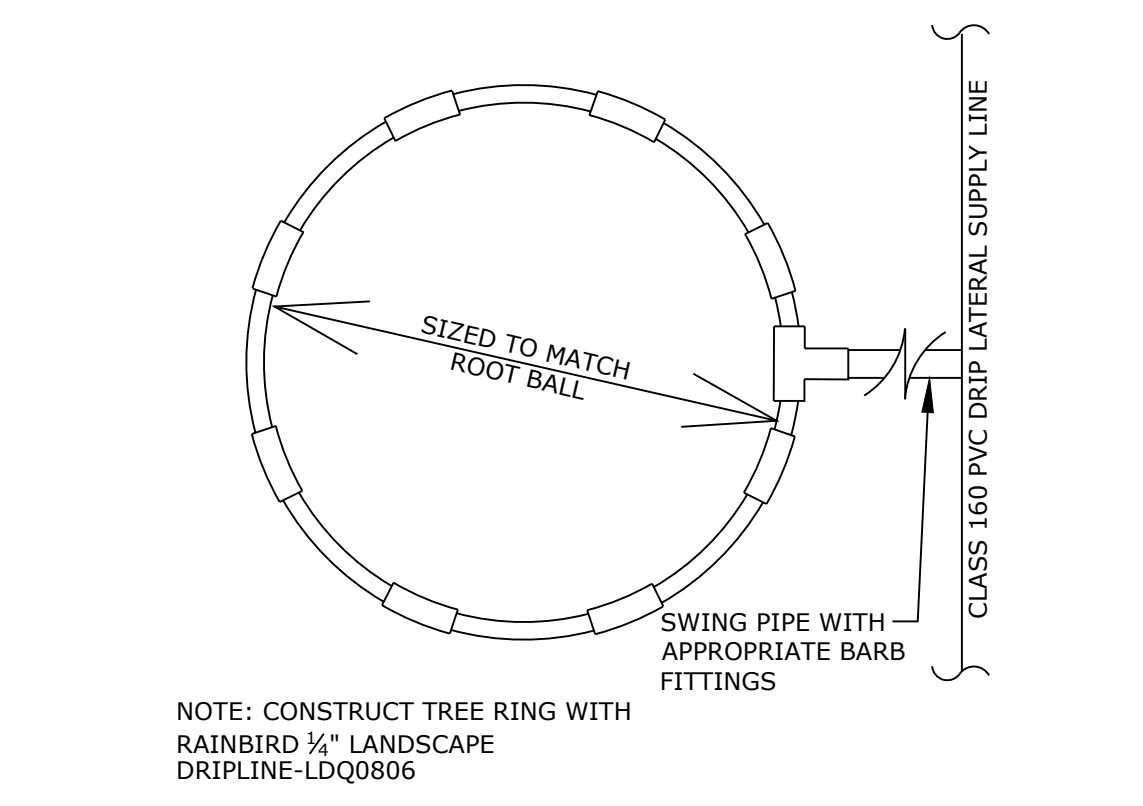
- CONTRACTOR TO CONNECT 1" MAINLINE PIPE TO 1" COPPER STUB-OUT, AT METER.
- PLUMBING CONTRACTOR TO INSTALL MAINLINE STUB-OUT AND FEBCO 825YA BACK FLOW PREVENTER OR APPROVED EQUAL.
- CONTRACTORS TO COORDINATE THE CONNECTION TO THE MAINLINE STUB, EXTEND COPPER PIPE TO IRRIGATION MAINLINE DEPTH 18" BELOW FINISH GRADE.
- ALL VALVE BOXES SHALL BE SUPPORTED BY CONCRETE BLOCK (MIN. 4 PER BOX). INSTALL BLOCKS IN A MANNER THAT WILL PREVENT CONTACT WITH PIPING, WIRES, AND VALVE.
- IRRIGATION CONTROL WIRE SHALL BE COMMON TRENCH WITH MAINLINE AND SHALL HAVE SEPARATE SLEEVE WERE CROSSING ALL HARD CONSTRUCTION.
- CONTRACTOR TO UTILIZE 12" POP-UP SPRAY BODIES FOR ALL NATIVE/SEEDED AREAS.
- THE CONTRACTOR SHALL ADJUST ALL VALVES AND SPRAY NOZZLES FOR OPTIMUM COVERAGE.
- CONTRACTOR SHALL TAPE CLOSED ALL SLEEVE PIPE OPENINGS TO PREVENT DEBRIS FROM ENTERING SLEEVES.
- CONTRACTOR SHALL EXTEND 120-VOLT A.C. FROM EXISTING POWER TO PROPOSED CONTROLLER LOCATION. ALL ELECTRICAL WORK SHALL BE PER CODE AND N.E.C. STANDARDS.
- INSTALL IRRIGATION CONTROLLER INSIDE WATER CLOSET/MECHANICAL ROOM. COORDINATE FINAL LOCATION WITH OWNER AND LANDSCAPE ARCHITECT. EXTEND ALL CONTROL WIRING FROM IRRIGATION CONTROLLER TO EXTERIOR OF BUILDING IN CONDUIT. COORDINATE INSTALLATION OF CONDUIT AND WALL PENETRATION WITH OWNERS REPRESENTATIVE.
- THIS SYSTEM IS DESIGNED AT 80 PSI STATIC WATER PRESSURE AND 36 GPM. **THE CONTRACTOR SHALL VERIFY THE ACTUAL STATIC WATER PRESSURE PRIOR TO CONSTRUCTION AND INFORM THE LANDSCAPE ARCHITECT OF RESULTS IF MODIFICATIONS MUST BE MADE PRIOR TO CONSTRUCTION.**
- DRAWINGS ARE DIAGRAMMATIC, IRRIGATION COMPONENTS MAY BE SHOWN OUTSIDE OF PLANTING AREAS FOR CLARITY ONLY. CONTRACTOR SHALL AVOID CONFLICTS WITH PLANT MATERIALS AND ARCHITECTURAL FEATURES ALL PIPING AND WIRING SHALL BE INSTALLED IN PLANTING AREA OR IN SLEEVES. NO PIPING UNDER TREES OR SHRUBS WILL BE ACCEPTED.
- MINIMUM PIPE SIZE SHALL BE 3/4", IF A SECTION OF UN-SIZED PIPE IS LOCATED BETWEEN TWO IDENTICALLY SIZED SECTIONS THE UNSIZED PIPE SHALL BE THE SAME SIZE AS THE TWO SIZED SECTIONS.
- THE CITY HAS ADOPTED PERMANENT WATER-WISE REGULATIONS AT THE START OF 2020 WHICH WILL AFFECT THE OVERALL OPERATION OF THE IRRIGATION SYSTEM THIS SPRING.
 - WATERING IS LIMITED TO THREE DAYS A WEEK (DRIP IRRIGATION IS ALLOWED AT ANY TIME).
 - ESTABLISHMENT PERMITS ARE REQUIRED FROM COLORADO SPRINGS UTILITIES FOR CUSTOMERS WHO NEED TO TEMPORARILY WATER MORE THAN THREE DAYS A WEEK TO ESTABLISH NEW LANDSCAPES.
 - FROM MAY 1 TO OCTOBER 15, SPRINKLERS CAN BE OPERATED BEFORE 10 A.M. AND AFTER 6 P.M.
 - SPRINKLERS CAN BE OPERATED AT ANY TIME OF DAY BEFORE MAY 1 AND AFTER OCTOBER 15
 - ALLOCATION PLANS ARE AVAILABLE FOR CUSTOMERS WHO NEED MORE WATERING SCHEDULE FLEXIBILITY FROM COLORADO SPRINGS UTILITIES



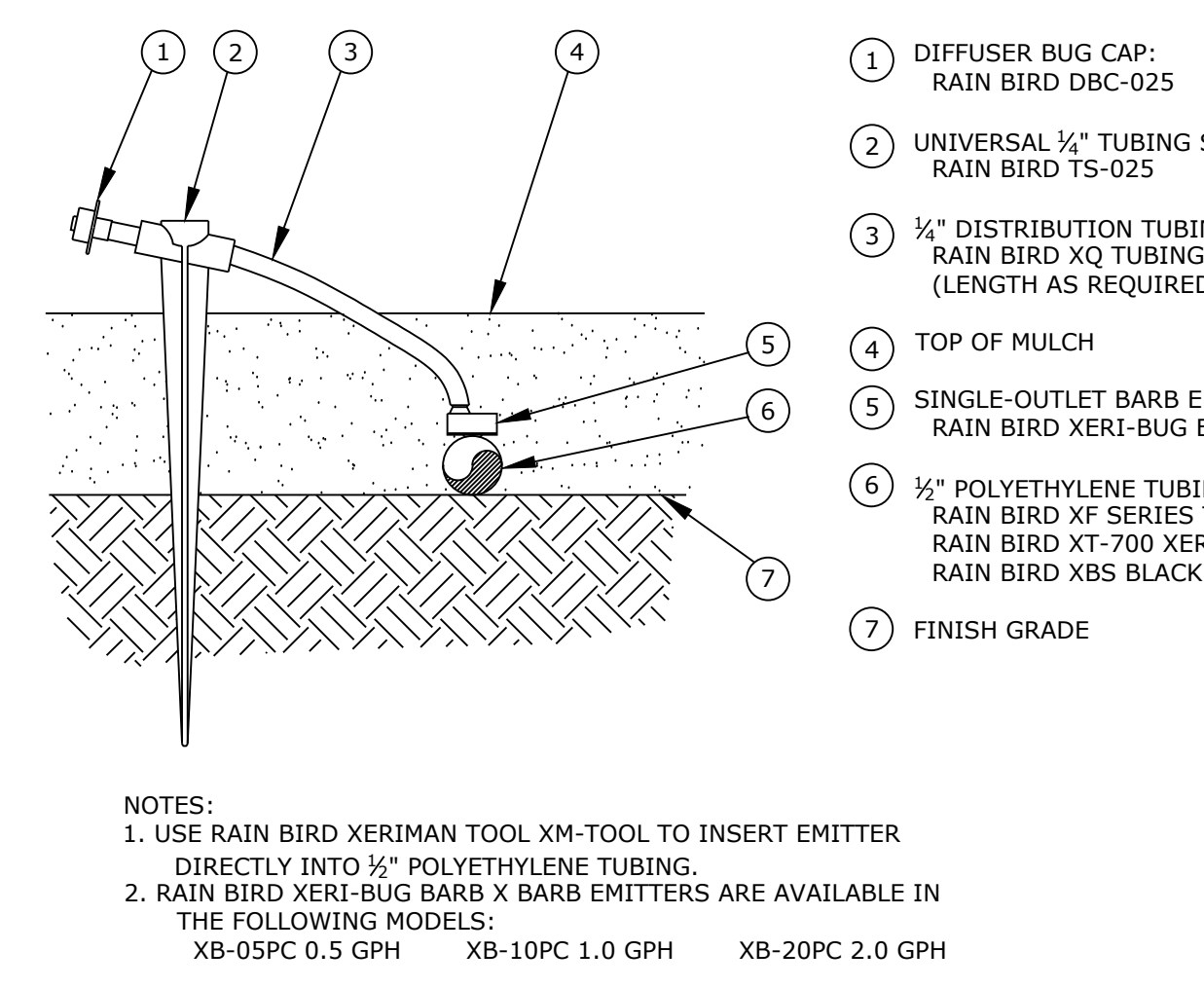
4 WALL MOUNT AUTOMATIC CONTROLLER
SCALE: NOT TO SCALE



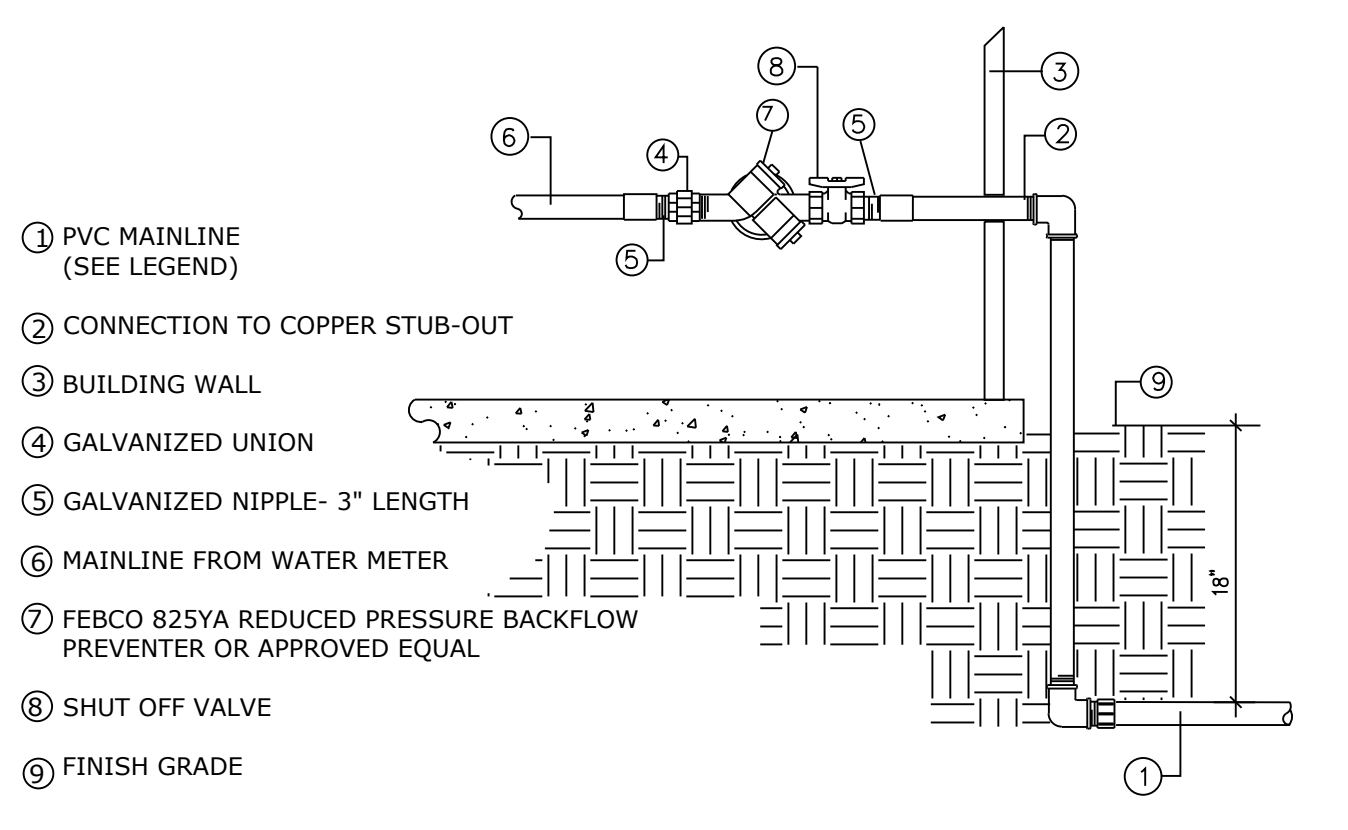
5 TYPICAL DRIP EMITTER PLACEMENT
SCALE: NOT TO SCALE



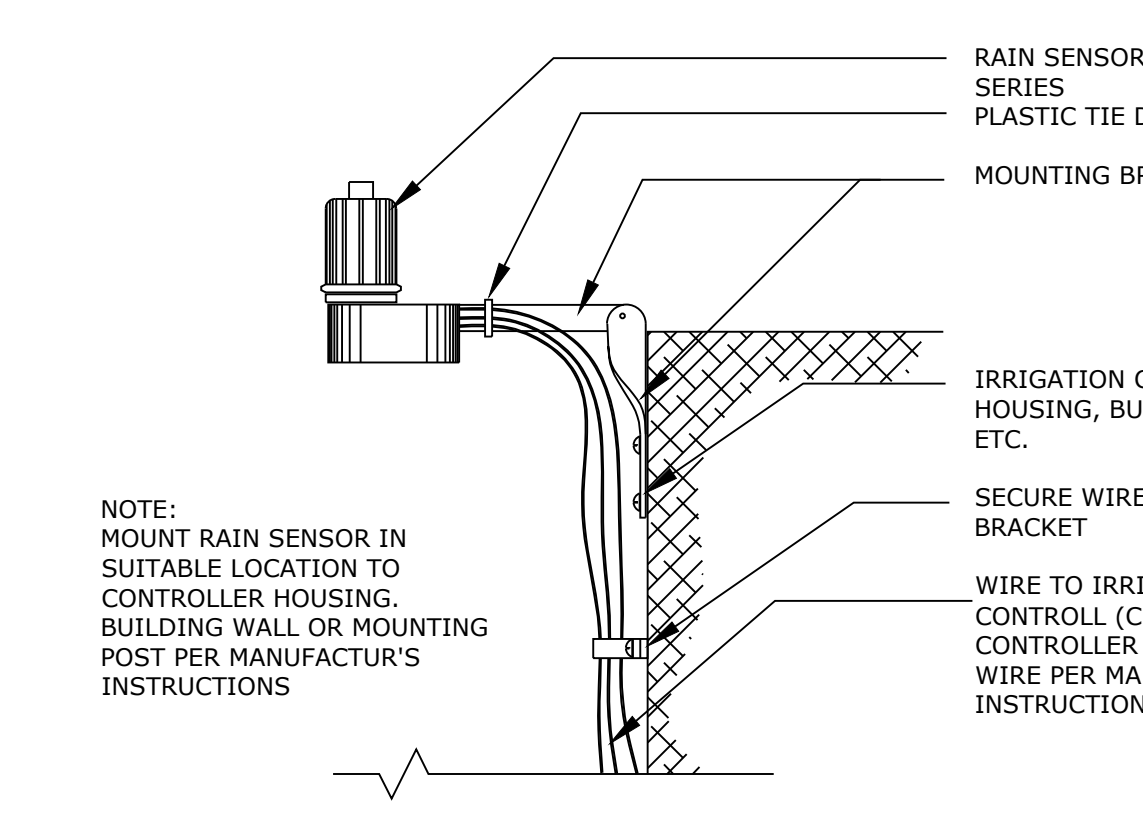
6 TREE RING (TYP.)
SCALE: NOT TO SCALE



7 DRIP EMMITER (TYP.)
N.T.S.



8 R.P. BACKFLOW PREVENTER
N.T.S.



9 RAIN SENSOR ASSEMBLY
SCALE: NOT TO SCALE

BURGERWORKS

LOT 4 MONUMENT
JUNCTION WEST
FILING NO. 1

PRELIM/FINAL
PUD PLAN

PROJECT INFO
DATE: 06/03/2022
PROJECT MGR: J. ROMERO
PREPARED BY: B. PERKINS

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

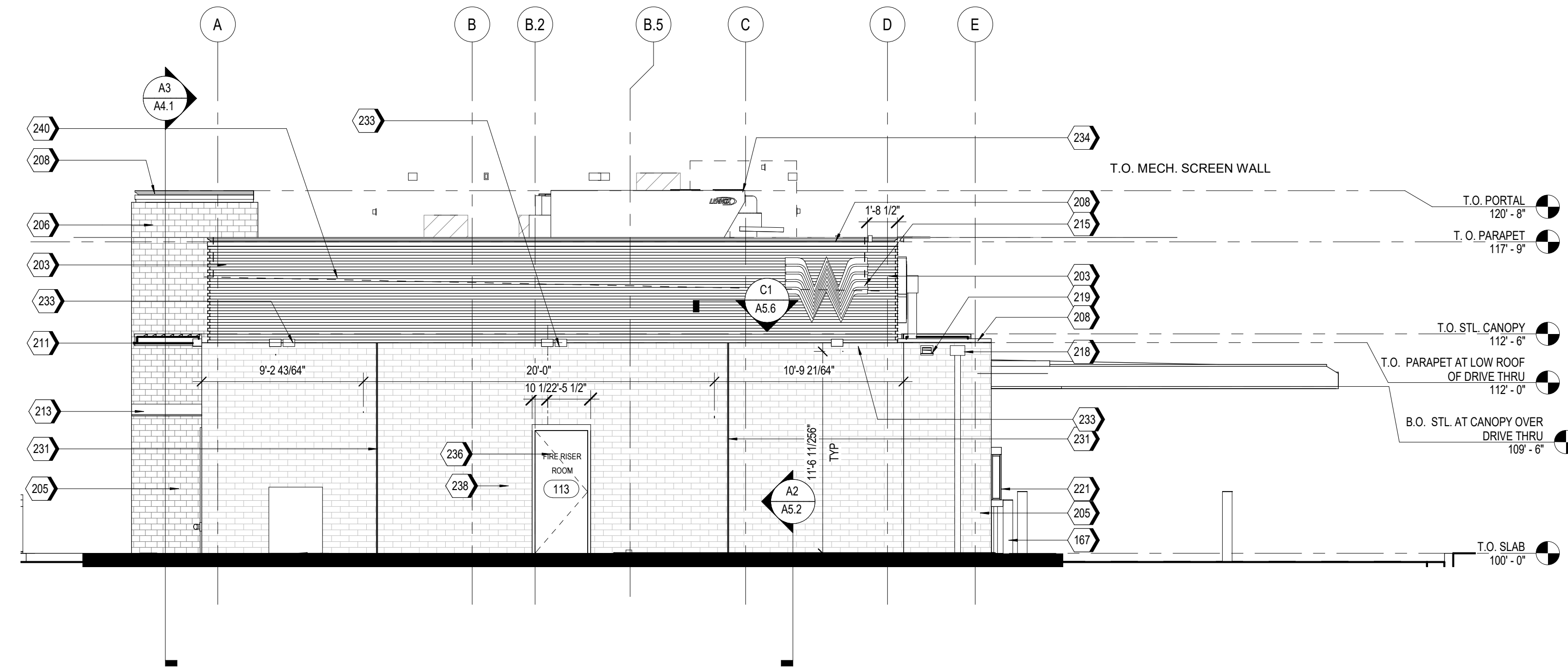
IRRIGATION PLAN DETAILS

10
10 OF 13
CPC #

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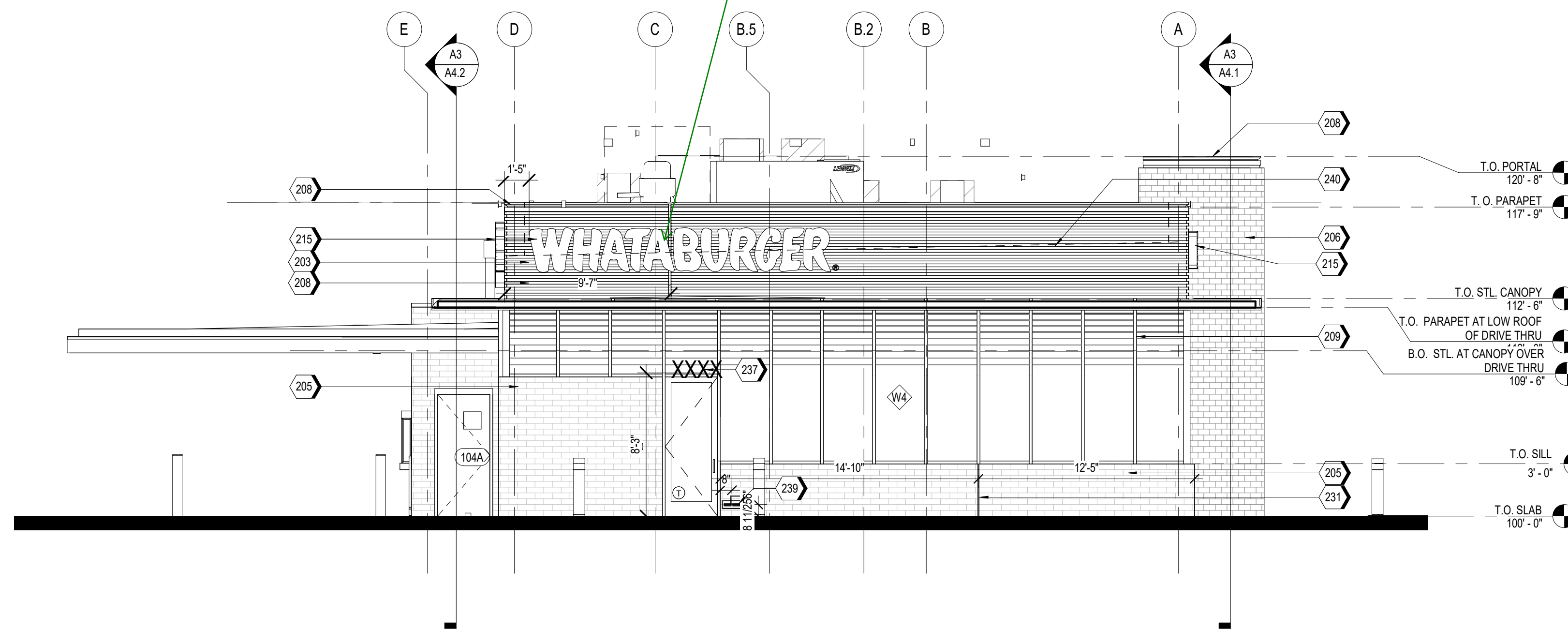
NOTES

- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.



A2 NORTH ELEVATION
3/16" = 1'-0"

please note that a separate permit is required



A1 SOUTH ELEVATION
3/16" = 1'-0"

KEYNOTES

167	PIPE BOLLARDS: IDEAL SHEILD: URBAN BRONZE, PANTONE 2336 XGC, RE D3/S5.1
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: BRICK VENEER
206	BR-02
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
211	ENTRY PORTAL CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	CONDUCTOR HEAD AND DOWNSPOUT, PAINT PT-5, COORDINATE SIZE WITH PLUMBING PLANS, RE:B3/A5.4
219	OVERFLOW SCUPPER
221	DRIVE-THRU WINDOW
231	MASONRY EXPANSION JOINT
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
234	RTU, RE: MECHANICAL
236	RISER ROOM SIGN (PER 2015 IFC CHAPTER 5 - APPROVED SIGNS SHALL BE CONSTRUCTED OF DURABLE MATERIALS, PERMANENTLY INSTALL AND READILY VISIBLE. LETTERS SHALL BE A MINIMUM OF 2" WITH A MINIMUM 3/8" STROKE, THE COLORS OF THE LETTERS SHALL BE CONTRASTING WITH RESPECT TO BACKGROUND)
237	BUILDING ADDRESS 6" HIGH WHITE VINYL NUMBERS WITH 1" STROKE, 10' A.F.G.
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
239	EMERGENCY STEP LIGHT, RE: ELECTRICAL
240	DASHED LINE INDICATES TOP OF DECK.

CODE TO EXT. MATERIALS

GL-01	VISION GLASS BASIS OF DESIGN: SUNGUARD SNR 43, CLEAR SHADING COEFFICIENT (SC): XX EXTERIOR REFLECTION: 28% SOLAR HEAT GAIN COEFFICIENT (SHGC): .23 U-FACTOR: .29 WINTER / .27 SUMMER
GL-02	OPAQUE GLASS BASIS OF DESIGN: SUNGUARD SNR 43
GL-03	SIMULATED ACID ETCHED V1085 #3 GLASS
SS-01	STOREFRONT SYSTEM BASIS OF DESIGN: OLDCASTLE STYLE: FG-3000 FINISH: CLEAR ANODIZED
MP-01	METAL PANEL MANUFACTURER: BERRIDGE STYLE: BR-12 PANEL 24 GA STEEL COLOR: LEAD-COTE
MP-02	PREFINISHED METAL FLASHING 0.050" THICK COLOR: LEAD-COTE TO MATCH MP-01
BR-01	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: PARK AVENUE
BR-02	BRICK MANUFACTURER: ACME STYLE: UTILITY SIZE: 4" x 4" x 12" COLOR: DOESKIN
MO-01	MORTAR MANUFACTURER: BASALITE-SOLOMON COLOR: STANDARD GRAY, VERIFY MATCH TO DEVELOPMENT STANDARD
MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING, REVEAL COPING COLOR: LEAD-COTE TO MATCH MP-01
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PAINTED SW 6277 SPECIAL GRAY



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BURGERWORKS

LOT 4 MONUMENT
JUNCTION WEST
FILING NO. 1

PRELIM/FINAL
PUD PLAN

DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

ARCHITECTURAL ELEVATIONS

11

11 OF 13

CPC #

KEYNOTES

170	GUARDRAIL RE:B4/A0.1
203	MP-01: PRE-FINISHED CORRUGATED METAL PANEL
205	BR-01: BRICK VENEER
206	BR-02
208	MC-01: PRE-FINISHED METAL COPING
209	SS-01: ALUMINUM STOREFRONT SYSTEM
212	DRIVE-THRU DOOR CANOPY, PAINT PT-5
213	SERVICE DOOR CANOPY, PAINT PT-5
214	SUN SHADE CANOPY, SEE A6.9
215	ILLUMINATED SIGNAGE BY OTHERS, G.C. TO PROVIDE PLYWOOD BLOCKING AS NEEDED TO ATTACH SIGNAGE
218	CONDUCTOR HEAD AND DOWNSPOUT, PAINT PT-5. COORDINATE SIZE WITH PLUMBING PLANS, RE:B3/A5.4
219	OVERFLOW SCUPPER

KEYNOTES

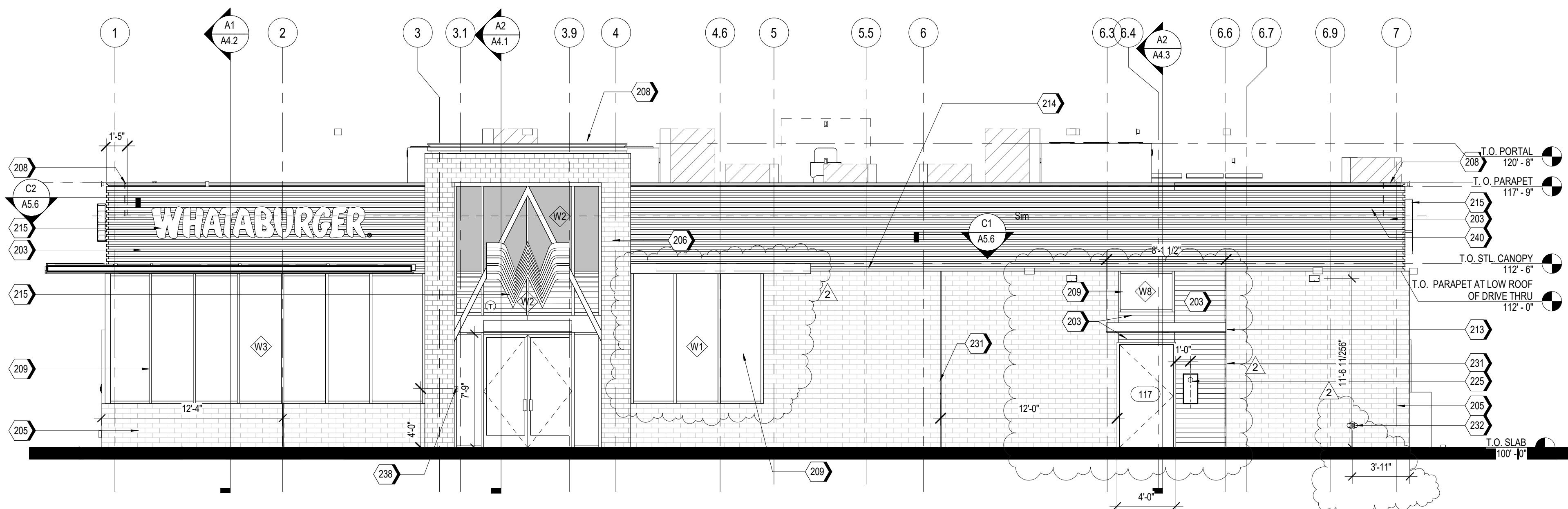
221	DRIVE-THRU WINDOW
225	STAINLESS STEEL GREASE SHIELD W/ 2 1/2" HOLE THROUGH WALL FOR GREASE TANK
231	MASONRY EXPANSION JOINT
232	FIRE DEPARTMENT CONNECTION, RE: FIRE PROTECTION
233	EXTERIOR LIGHT FIXTURE, RE: ELECTRICAL
238	GENERAL CONTRACTOR SHALL PROVIDE A KNOX BOX PER JURISDICTIONAL REQUIREMENTS, LOCATION TO BE VERIFIED PRIOR TO CONSTRUCTION.
240	DASHED LINE INDICATES TOP OF DECK
242	GAS METER, RE: MEP

NOTES

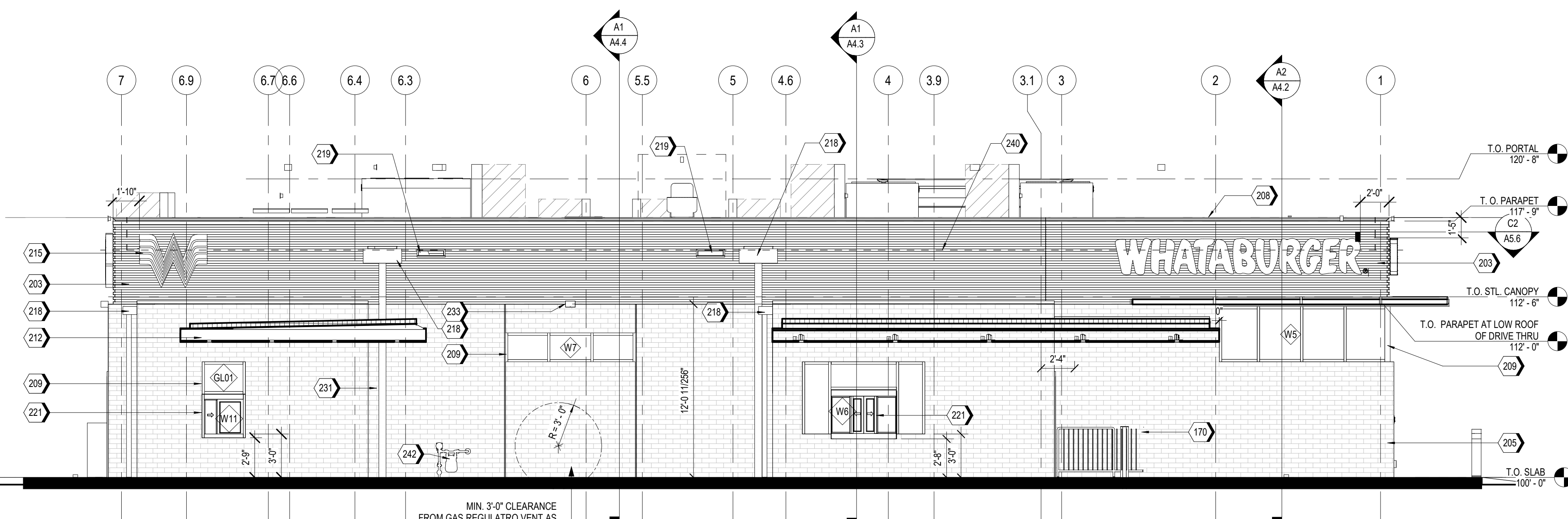
- EXTERIOR SIGNAGE TO BE PERMITTED UNDER A SEPARATE SIGN PERMIT SET.

CODE TO EXT. MATERIALS

GL-01	VISION GLASS BASIS OF DESIGN: SUNGUARD SNR 43, CLEAR SHADING COEFFICIENT (SC): .XX EXTERIOR REFLECTION: 28% SOLAR HEAT GAIN COEFFICIENT (SHGC): 23 U-FACTOR: 29 WINTER / 27 SUMMER
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MC-01	METAL COPING MANUFACTURER: BERRIDGE STYLE: SHADOWLINE COPING, REVEAL COPING COLOR: LEAD-COTE TO MATCH MP-01
PT-5	PAINT BASIS OF DESIGN: MANUFACTURER: SHERWIN WILLIAMS STYLE: SW 6277 SPECIAL GRAY SHEEN: FLAT
MS-01	METAL SOFFIT MANUFACTURER: BERRIDGE STYLE: HS-8 FINISH: PAINTED SW 6277 SPECIAL GRAY

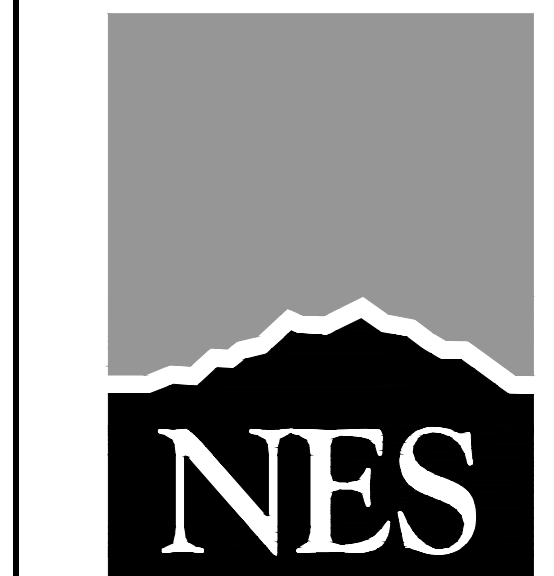


A2 EAST ELEVATION
3/16" = 1'-0"



A1 WEST ELEVATION
3/16" = 1'-0"

MIN. 3'-0" CLEARANCE FROM GAS REGULATORY VENT AS SPECIFIED BY CSU DRAWINGS, FIGURES 9A-9C, APPENDIX D-15 TO D-16 OF CSU "GAS LINE EXTENSION AND SERVICES STANDARDS", 2019 EDITION



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BURGERWORKS
LOT 4 MONUMENT JUNCTION WEST
FILING NO. 1

PRELIM/FINAL PUD PLAN
DATE: 06/03/2022
PROJECT MGR: A. BARLOW / B. PERKINS
PREPARED BY: J. SMITH

ENTITLEMENT

DATE:	BY:	DESCRIPTION:

ARCHITECTURAL ELEVATIONS

12
12 OF 13
CPC #

P:\BurgerWorks_Colorado LLC\Whataburger Monument Junction\Drawings\DR\BurgerWorks_Monument Junction_DR.dwg [E.L. 2] 6/2/2022 2:27:18 PM lperkins



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

STAMP

ISSUE INFO

ISSUE / REVISION

SHEET TITLE

SHEET NUMBER

PLAN FILE #

BURGERWORKS

LOT 4 MONUMENT
JUNCTION WEST
FILING NO. 1

PRELIM/FINAL
PUD PLAN

PROJECT INFO
DATE: 06/03/2022
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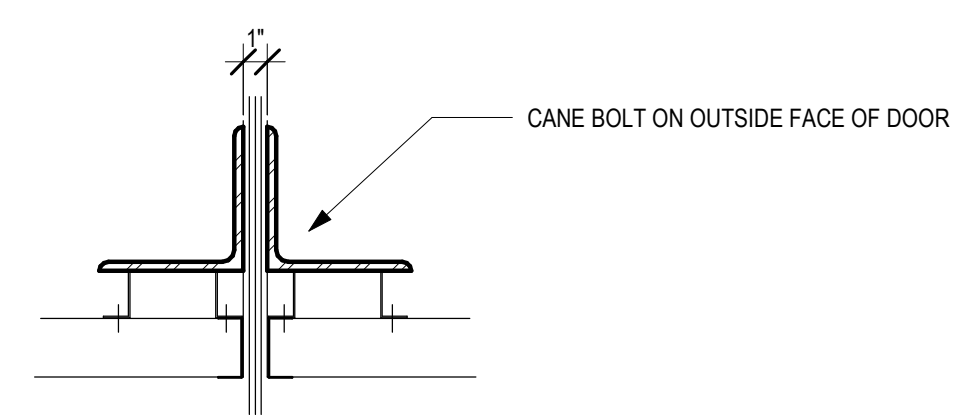
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ARCHITECTURAL ELEVATIONS

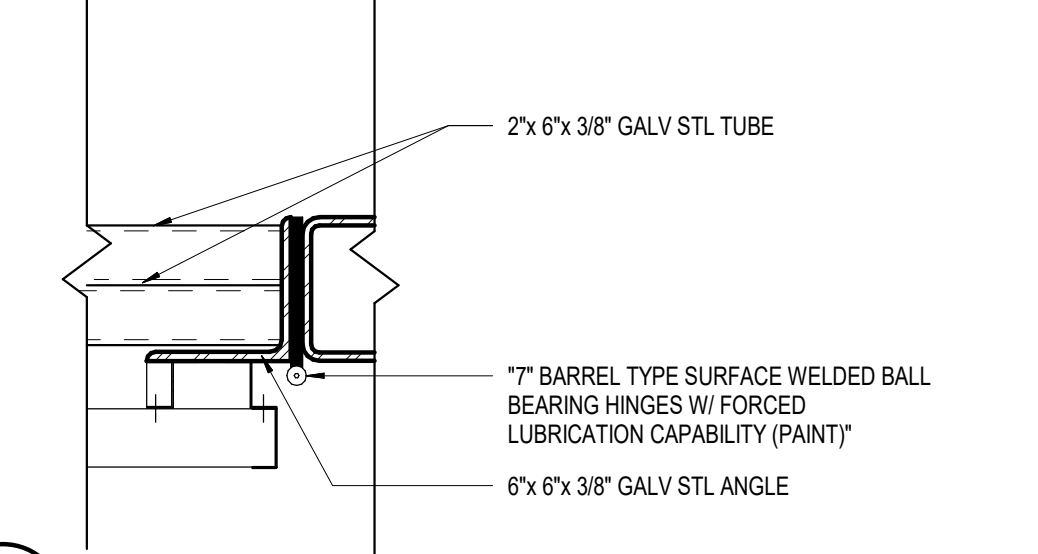
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13 OF 13

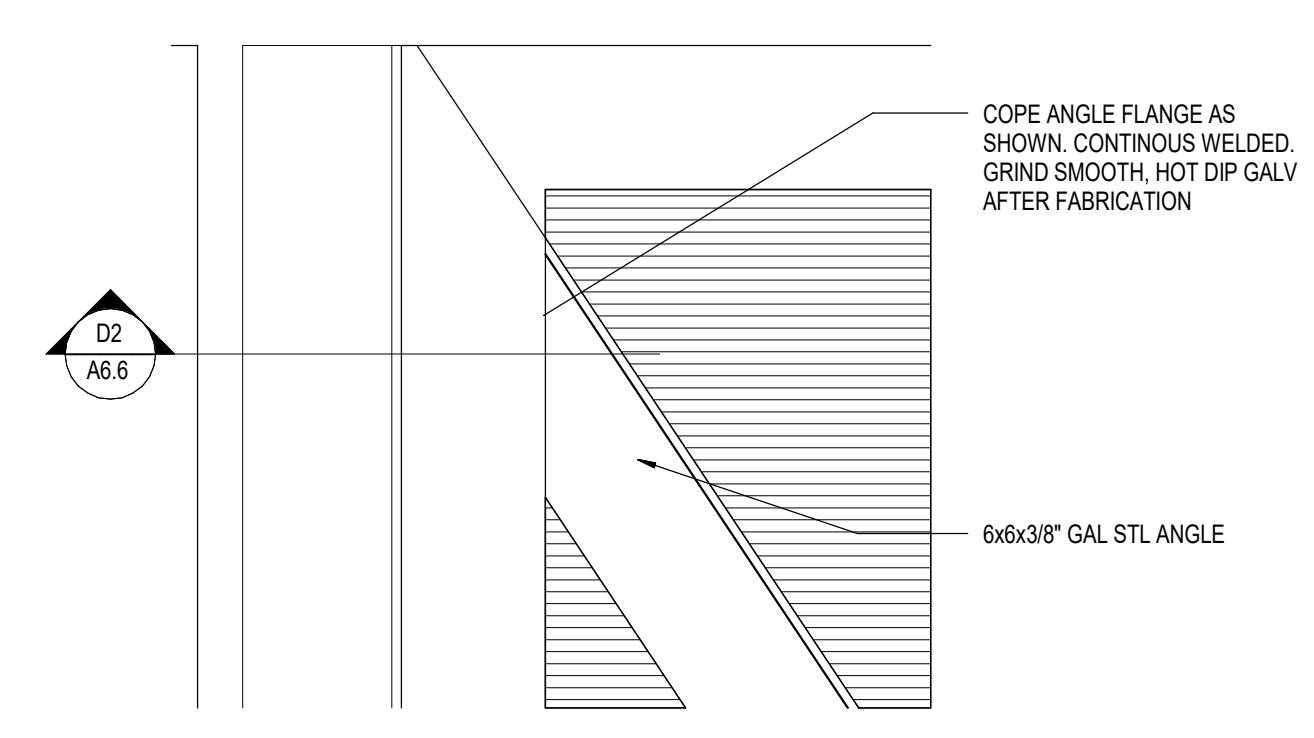
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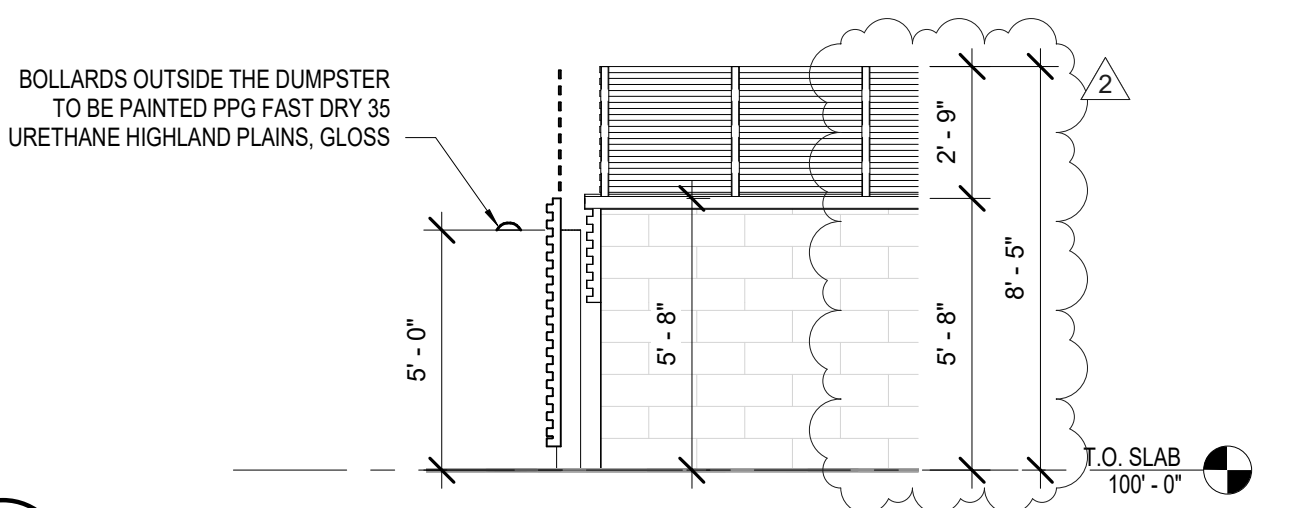
D1 DUMPSTER - GATE PLAN DETAIL.
SCALE 1 1/2" = 1'-0"



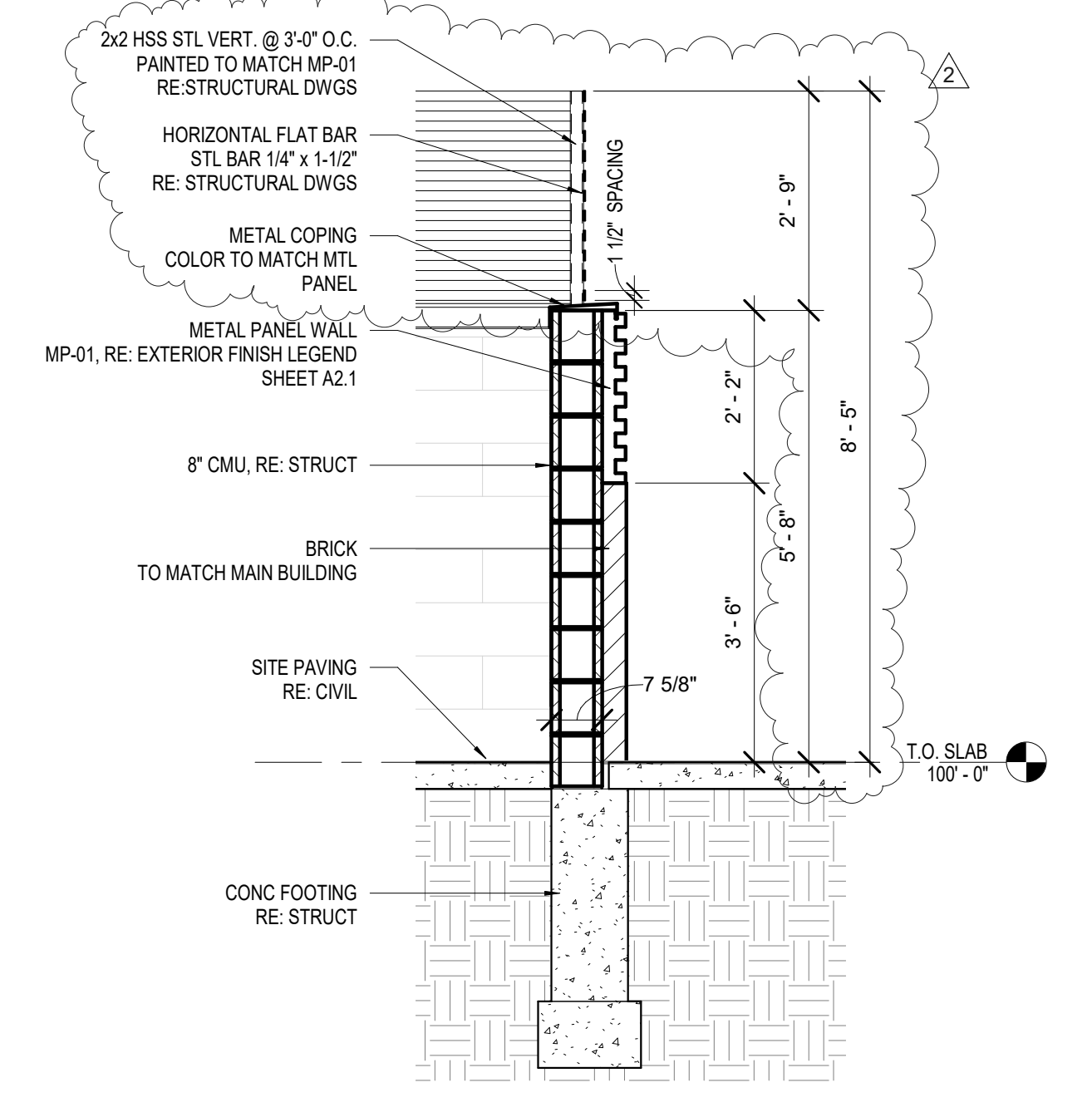
D2 DUMPSTER - SECTION DETAIL
SCALE 1 1/2" = 1'-0"



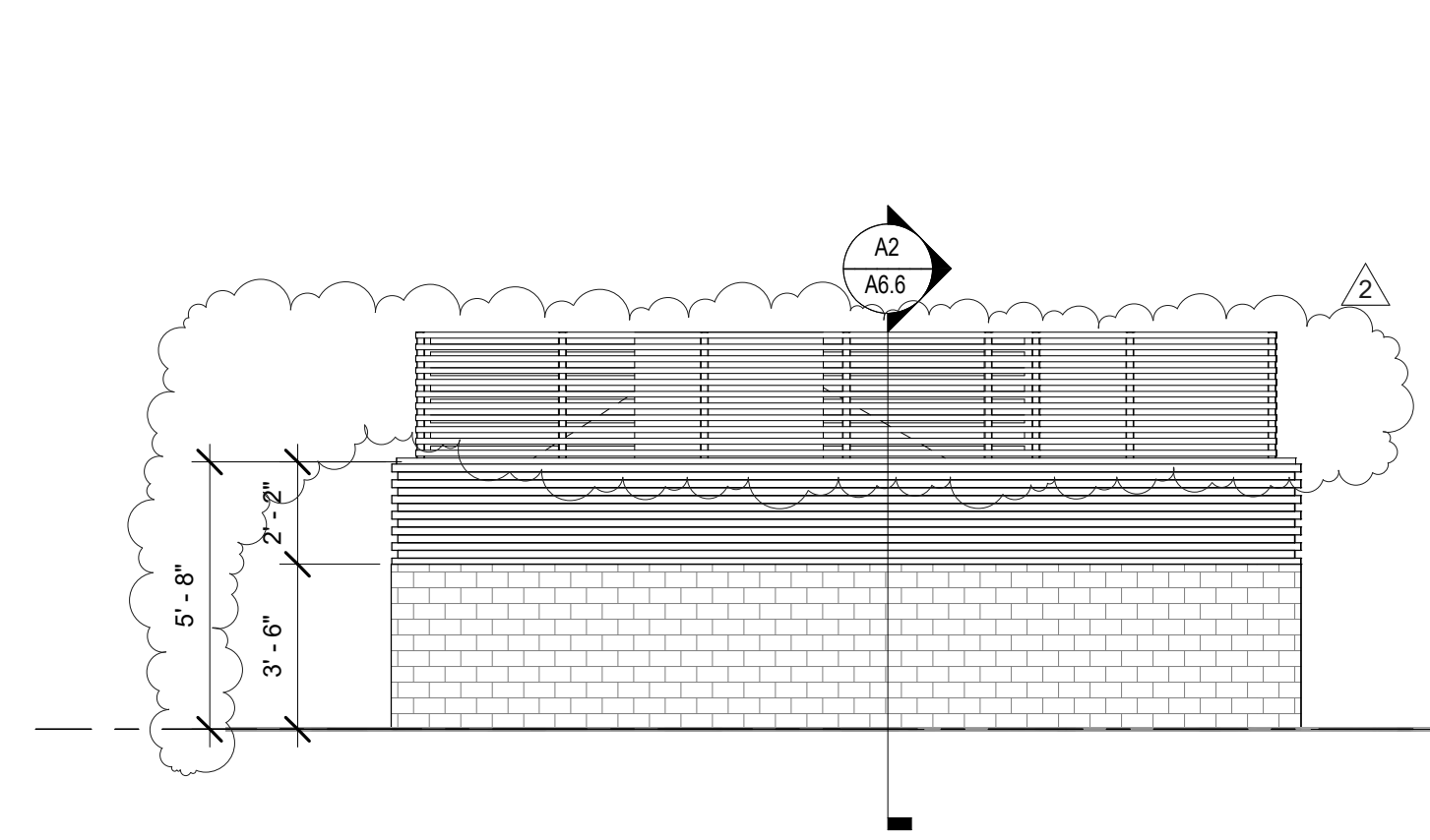
D3 DUMPSTER - GATE CORNER DETAIL
SCALE 1 1/2" = 1'-0"



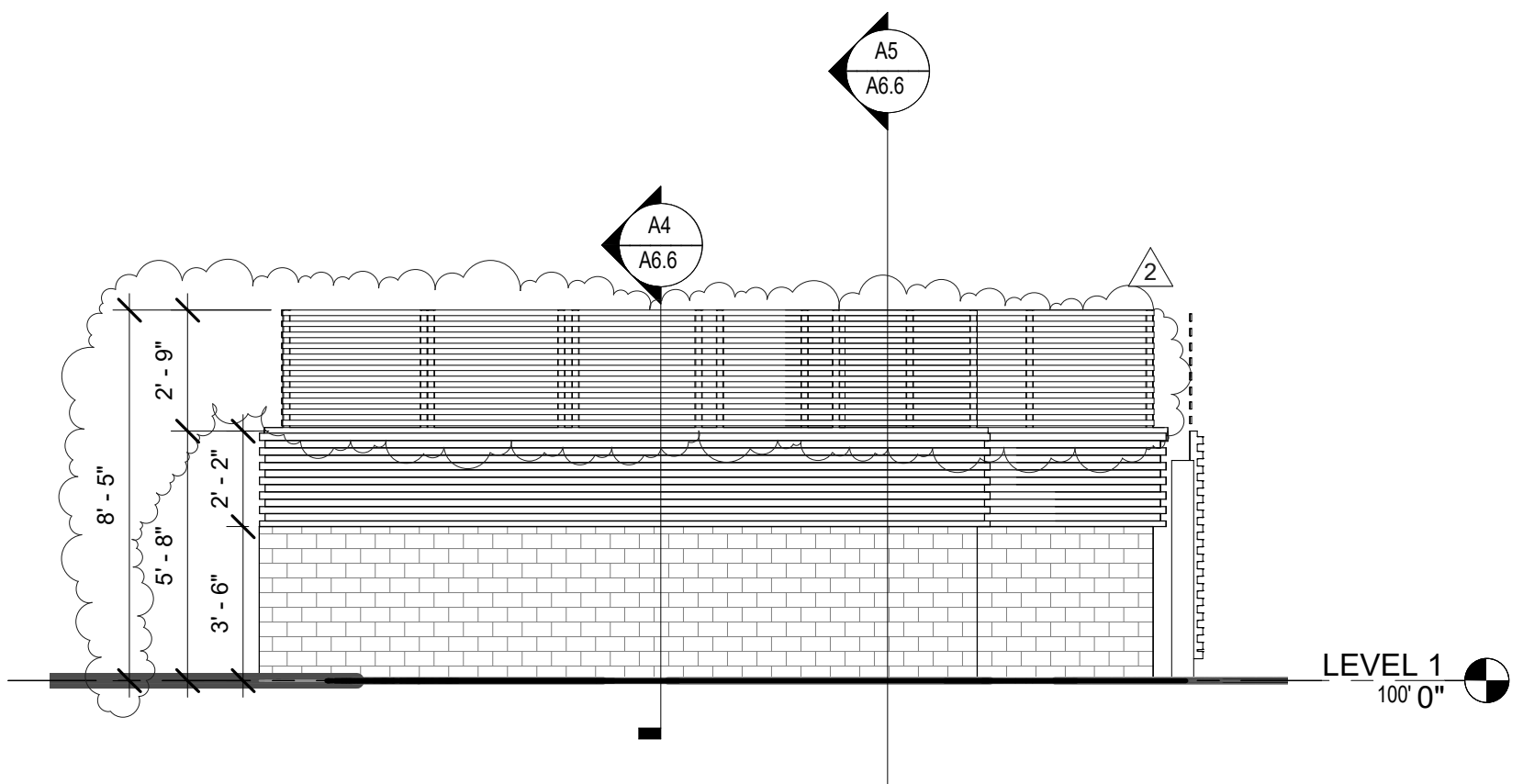
A2 DUMPSTER - EXTERIOR BOLLARD
SCALE 1/4" = 1'-0"



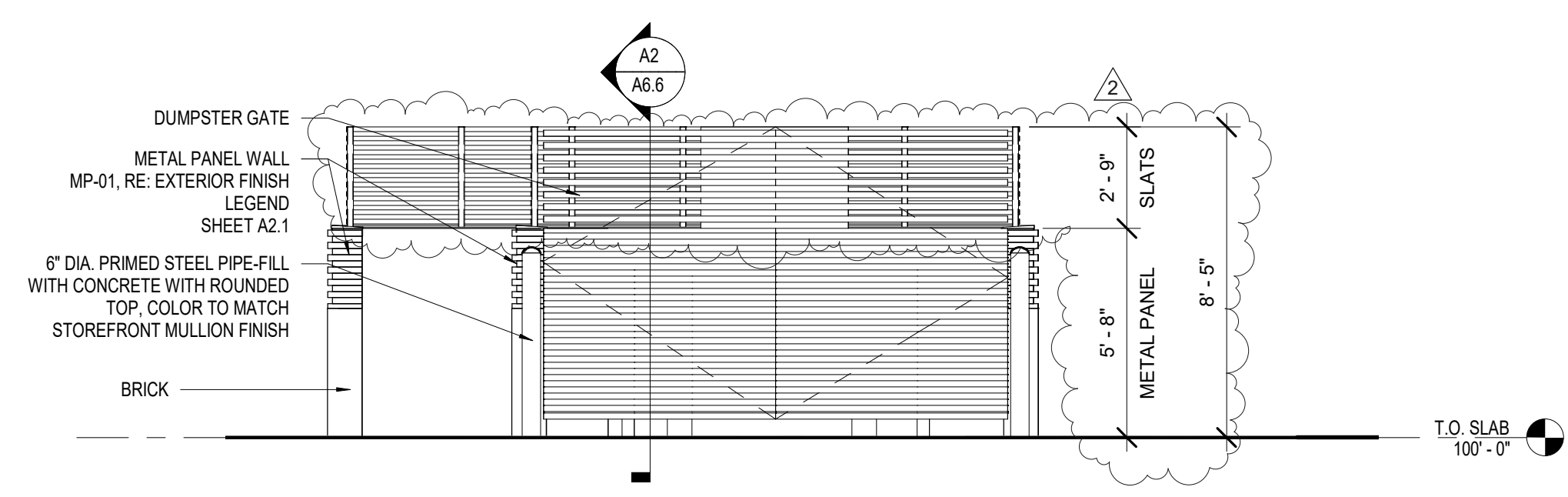
A4 DUMPSTER - WALL SECTION
SCALE 1/2" = 1'-0"



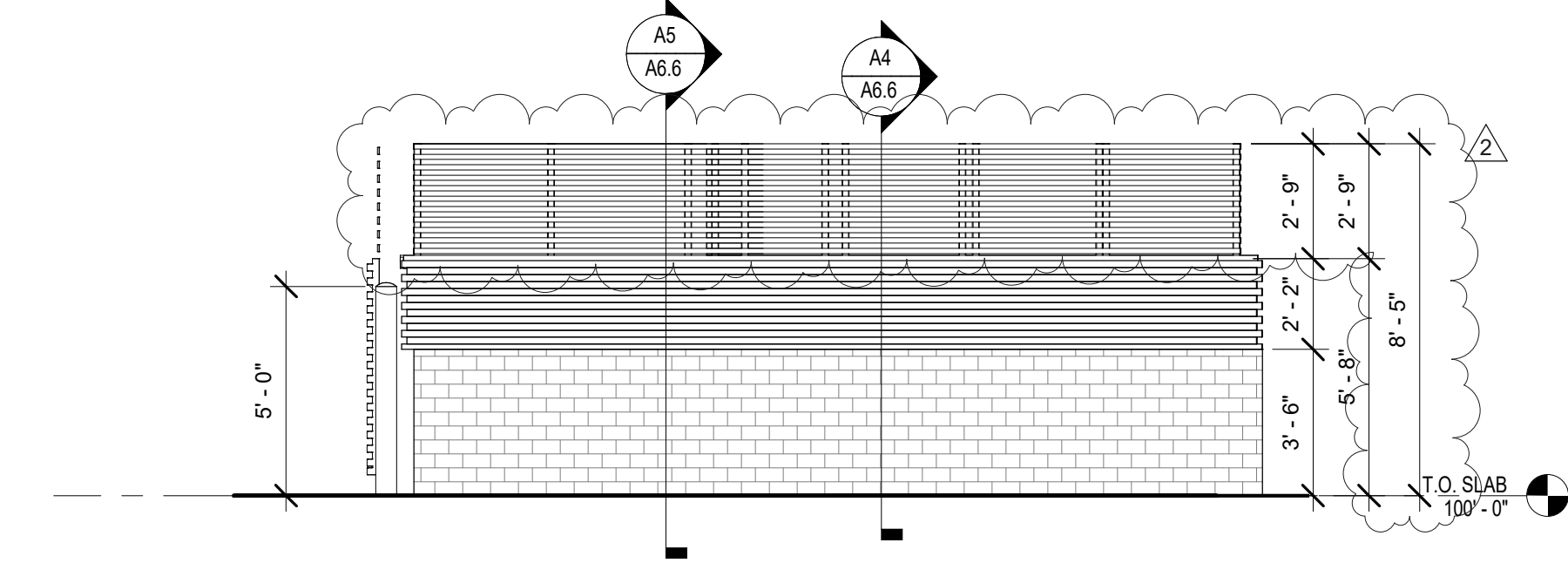
C2 DUMPSTER - ELEVATION @ PLAN NORTH
SCALE 1/4" = 1'-0"



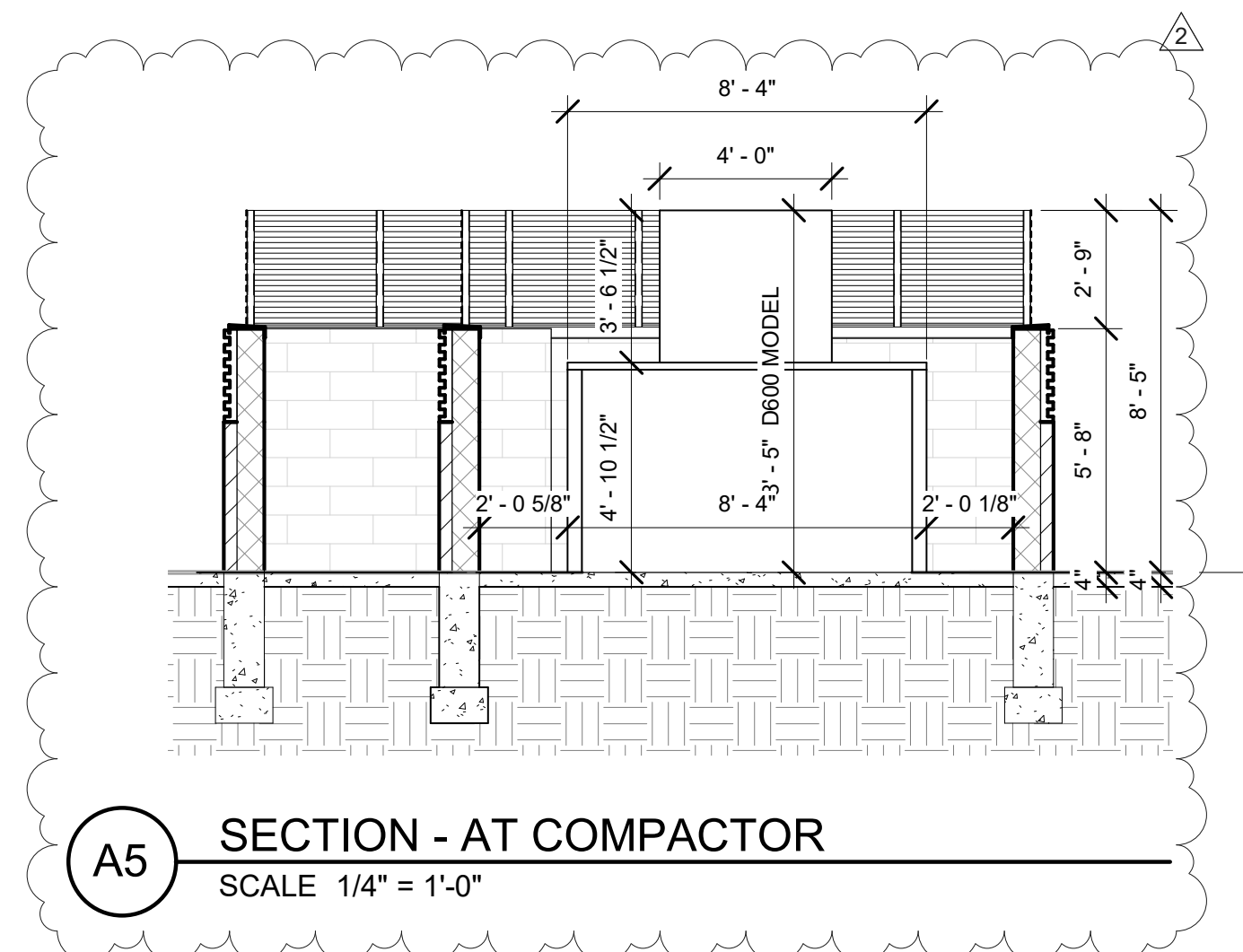
C1 DUMPSTER - ELEVATION @ PLAN WEST
SCALE 1/4" = 1'-0"



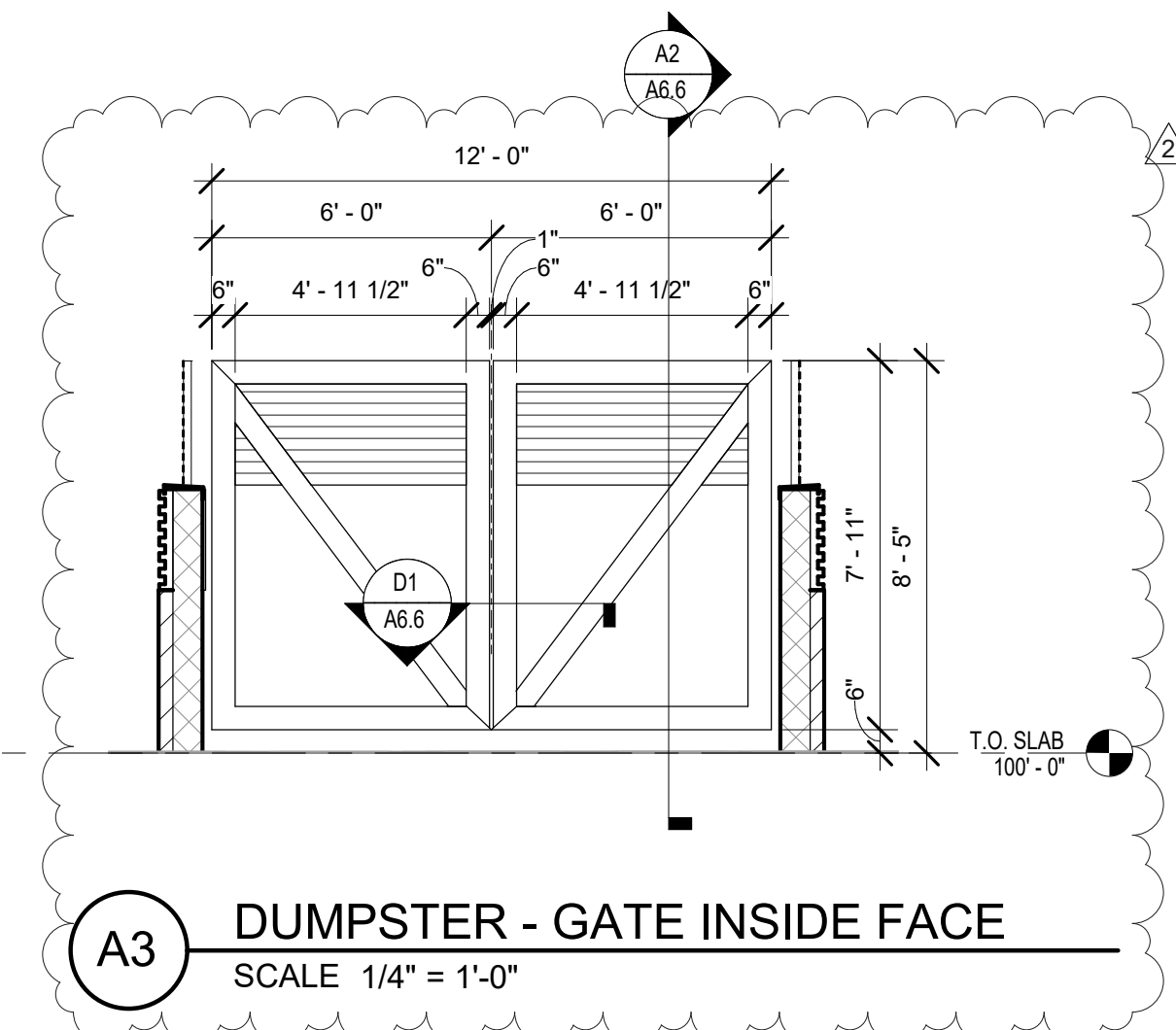
C3 DUMPSTER - ELEVATION @ GATE ENTRY
SCALE 1/4" = 1'-0"



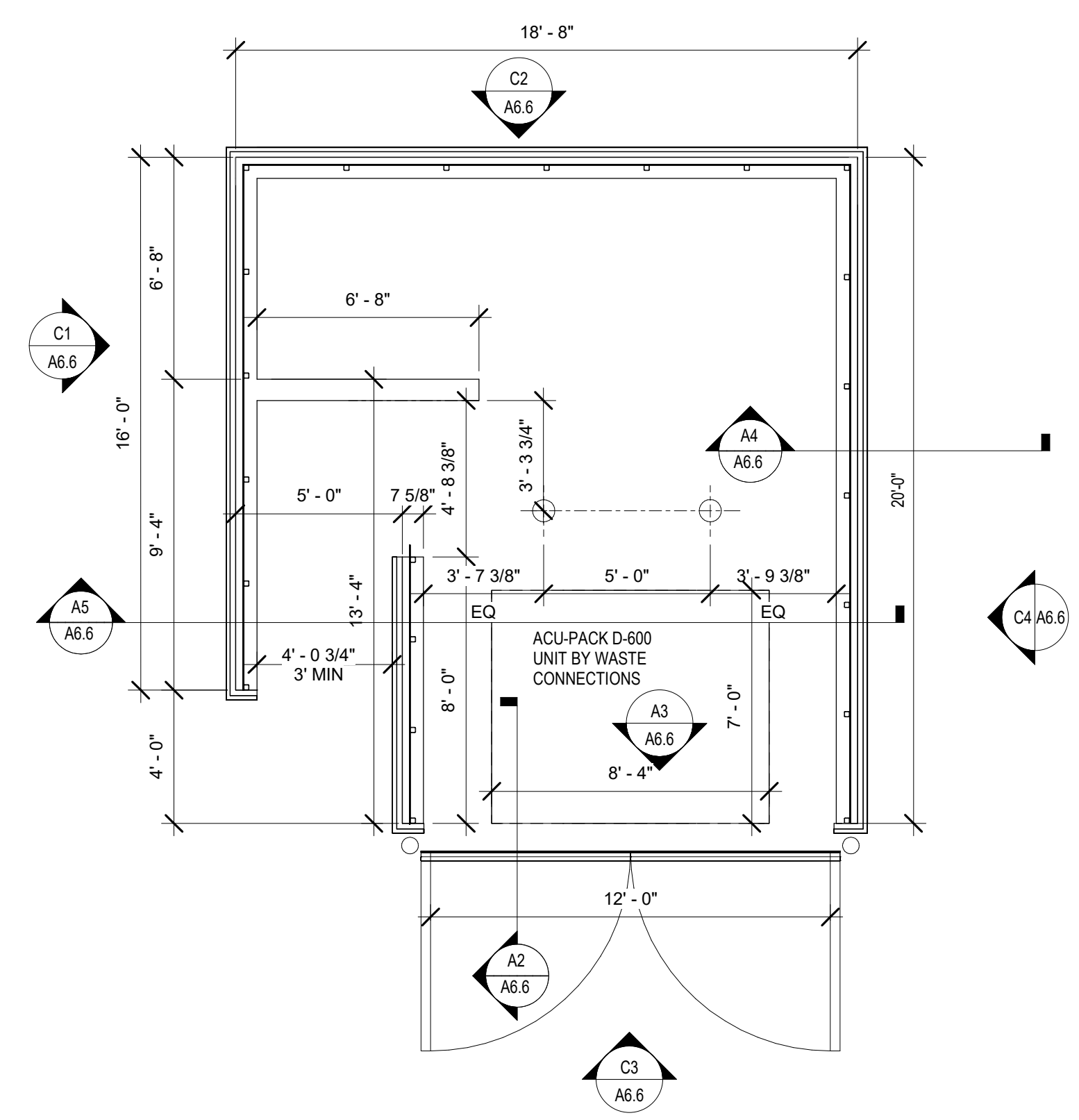
C4 DUMPSTER - ELEVATION @ PLAN EAST
SCALE 1/4" = 1'-0"



A5 SECTION - AT COMPACTOR
SCALE 1/4" = 1'-0"



A3 DUMPSTER - GATE INSIDE FACE
SCALE 1/4" = 1'-0"



A1 DUMPSTER - ENLARGED
SCALE 1/4" = 1'-0"

BurgerWorks Colorado LLC/Whataburger Monument Junction Drawings/Planning/01/BURGERWORKS Monument Junction_DRAWS [E.L. 3] 6/2/2022 2:33:59 PM lperkins