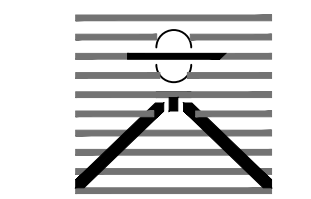


# LOT 1, BLOCK 1, JOHNSONS VACATION

## A PORTION OF THE SE $\frac{1}{4}$ OF SECTION 1, TOWNSHIP 13S, RANGE 65W OF THE 6TH P.M. OLD MERIDIAN RD., FALCON, COLORADO

### CIVIL CONSTRUCTION PLANS

PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers & Surveyors  
3 SOUTH 7TH STREET  
COLORADO SPGS, COLORADO 80905  
CONTACT: TIM D. MCCONNELL, P.E.  
(719)260-0887  
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

HESED LLC  
10308 MT. EVANS DR.  
PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
**LOT 1, BLOCK 1,  
JOHNSONS VACATION**  
EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	1/30/2023
RESUBMITTAL	5/18/2023
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01-01CV



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

COVER SHEET

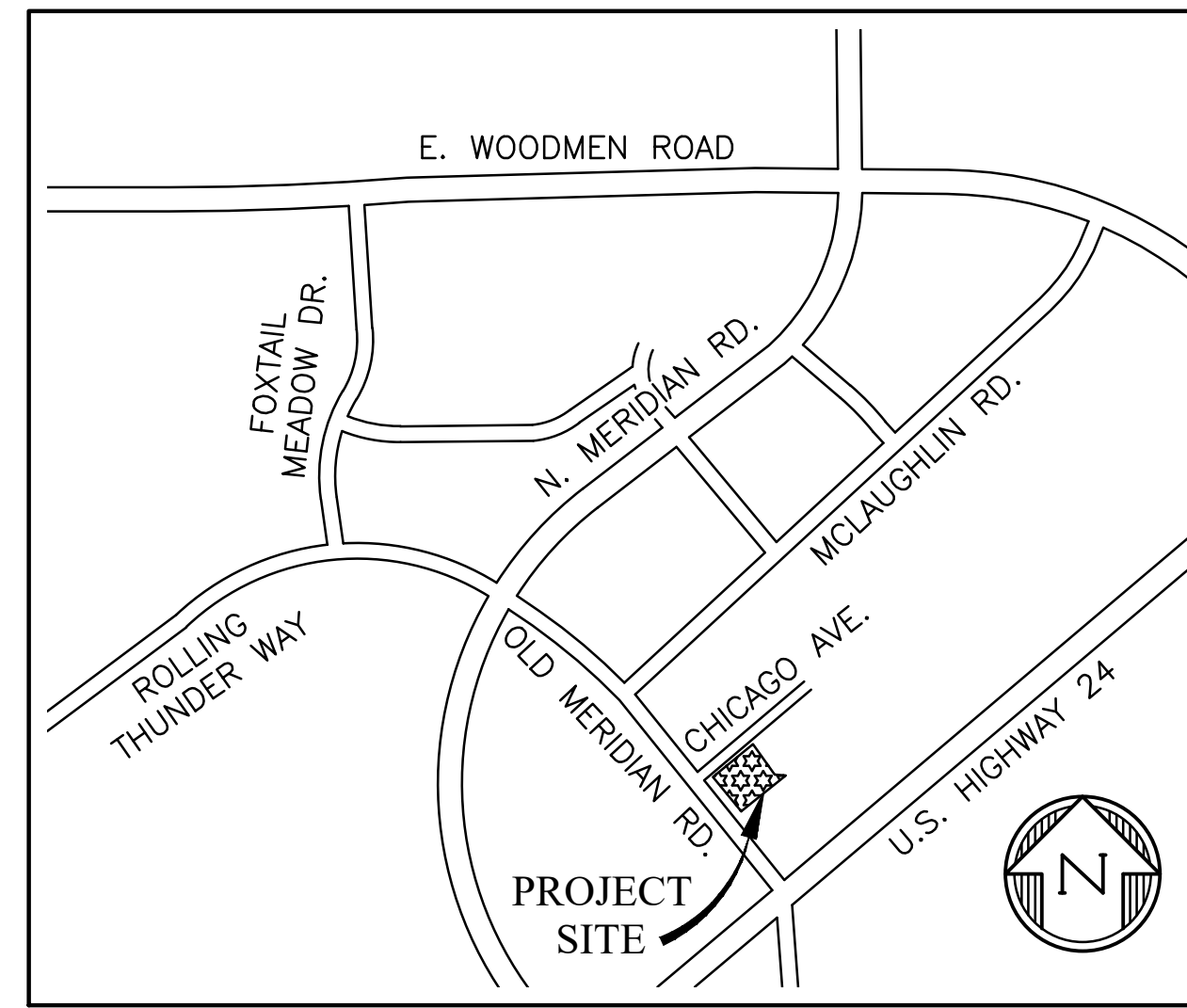
PROJECT NO. 21496-01CSCV  
DRAWING NO.

# C1

SHEET: 1 OF 8

**CONTACTS:**

<p><b>OWNER/DEVELOPER:</b> HESED LLC 10308 MT EVANS DR. PEYTON, CO 80831 DAVID CABAN</p> <p><b>ARCHITECT:</b> JOHN DAVIS DESIGN GROUP 176 TALAMINE COURT, SUITE #100 COLORADO SPRINGS, CO 80907 719-528-1177</p> <p><b>CIVIL ENGINEER:</b> DREXEL BARRELL &amp; CO. 3 SOUTH 7th STREET COLORADO SPRINGS, CO 80905 TIM D. MCCONNELL, P.E. 719-260-0887</p> <p><b>GAS:</b> COLORADO SPRINGS UTILITIES 7710 DURANT DRIVE COLORADO SPRINGS, CO 80920 TIM WENDT 719-668-4962</p>	<p><b>ELECTRIC:</b> MVEA 11140 E. WOODMEN RD. FALCON, CO 80831 719-495-2283</p> <p><b>FIRE PREVENTION:</b> FALCON FIRE DEPARTMENT 7030 OLD MERIDIAN RD. PEYTON, CO 80831 CHIEF TRENT HARWIG 719-495-4050</p> <p><b>TELEPHONE:</b> CENTURY LINK 303 E. PIKES PEAK AVENUE COLORADO SPRINGS, CO. 80903 PAT NEELY 719-636-4859</p> <p><b>WATER &amp; WASTEWATER:</b> WOODMEN HILLS METRO DISTRICT 8046 EASTONVILLE RD PEYTON, CO 80831 CODY RITTER 719-495-2500</p>
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**VICINITY MAP**  
NTS

**DESIGN ENGINEER'S STATEMENT**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO CRITERIA ESTABLISHED BY THE COUNTY FOR THE DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THESE DETAILED PLANS AND SPECIFICATIONS.

*[Signature]* 5/18/23  
DATE

KATHERINE VARNUM  
P.E.# 53459

**OWNER/DEVELOPER'S STATEMENT:**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN AND ALL THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

*[Signature]* 6/12/23  
DATE

HESED LLC  
10308 MT. EVANS DR., PEYTON, CO 80831

**EL PASO COUNTY**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR THE COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

JOSHUA PALMER, P.E.  
COUNTY ENGINEER

DATE

**SHEET INDEX**

SHT1	C1	COVER SHEET
SHT2	C2	GENERAL NOTES
SHT3	C3	HORIZONTAL CONTROL PLAN
SHT4	C4	SITE PLAN
SHT5	C5	SITE DETAIL SHEET
SHT6	C6	SITE DETAIL SHEET #2
SHT7	C7	GRADING PLAN
SHT8	C8	ROADWAY GRADING PLAN

**LEGAL DESCRIPTION:**

LOT 1 BLK 1 JOHNSONS VACATION EX THAT PT CONV TO ROW BY REC # 219119816

**FLOODPLAIN STATEMENT:**

THE EFFECTIVE FLOODPLAIN LIMITS ARE DEFINED ON THE FIRM FOR EL PASO COUNTY, COLORADO AND UNINCORPORATED AREAS, MAP NUMBER 0804100561G, EFFECTIVE DATE DECEMBER 7, 2018.

NO PORTION OF THE SITE LIES WITHIN THE FLOODPLAIN LIMITS.

**BENCHMARK:**

3.25" FIMS CAP, MARKED BL72, IN RANGE BOX. LOCATED NORTH OF THE SITE, ALONG THE WESTERN SIDE OF E HIGHWAY 24 (NAVD88)

**ADA DESIGN PROFESSIONAL STANDARDS:**

THE DESIGN PROFESSIONAL RESPONSIBLE FOR THIS PLAN HAS FAMILIARIZED THEMSELVES WITH ALL CURRENT ADA CRITERIA AND SPECIFICATIONS, AND THE PROPOSED PLAN REFLECTS REQUIRED SITE ELEMENTS. SEE "2010 ADA STANDARDS FOR ACCESSIBLE DESIGN", AS PUBLISHED BY THE DEPARTMENT OF JUSTICE (DOJ)





**STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS**

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT AFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ERM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK OR STREAM.
- DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
- EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL, AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
- OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL, OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY GROUND ENGINEERING, DATED AUGUST 25, 2015, WITH ADDENDA #1, DATED MARCH 17, 2017, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:  
COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
WATER QUALITY CONTROL DIVISION  
WQCD - PERMITS  
4300 CHERRY CREEK DRIVE SOUTH  
DENVER, CO 80246-1530  
PERMITS UNIT

**STANDARD NOTES FOR EL PASO COUNTY CONSTRUCTION PLANS**

- ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:  
EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)  
CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2  
COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION  
CDOT M & S STANDARDS
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (PCD) - INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD. WATERTIGHT JOINTS SHALL BE PROVIDED ON THE SPECIFIED PIPES.
- CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DOT AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES WILL BE PROVIDED.]
- CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DOT, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
- THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.

**SIGNAGE AND STRIPING NOTES**

- ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
- STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
- ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
- ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
- ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
- THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (DPW) PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

**ABBREVIATIONS:**

ASTM	AMERICAN SOCIETY OF TESTING AND MATERIALS
APPROX	APPROXIMATE OR APPROXIMATELY
BCR	BEGIN CURB RADIUS
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION
C OR C/L	CENTERLINE
CLR	CLEARANCE
CONC	CONCRETE
DWG	DRAWING
DR	DRIVE
EA	EACH
ECR	END CURB RADIUS
ELEV OR EL	ELEVATION
ESMT	EASEMENT
EW	EACH WAY
EX OR EXIST	EXISTING
F OR FL	FLOWLINE
FT	FOOT/FEET
HBP	BOT BITUMINOUS PAVEMENT
HCL	HORIZONTAL CONTROL LINE
K	VERTICAL CURVE FACTOR
LT	LEFT
MAX	MAXIMUM
MIN	MINIMUM
MUTCD	MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES
NTS	NOT TO SCALE
PC	POINT OF CURVATURE
PGL	PROFILE GRADE LINE
PI	POINT OF INTERSECTION
P OR P/L	PROPERTY LINE
PP	PROPOSED
PNT	POINT
PT	POINT OF TANGENCY
PVC	POINT OF VERTICAL CURVE OR POLYVINYL CHLORIDE
PVI	POINT OF VERTICAL INTERSECTION
PVMT	PAVEMENT
PVT	POINT OF VERTICAL TANGENT
ROW	RIGHT-OF-WAY
RT	RIGHT
ST	STREET
STA	STATION
STD	STANDARD SPECIFICATION
SW OR S/W	SIDEWALK
TYP	TYPICAL
TER	TERRACE
WWF	WELED WIRE FABRIC

PREPARED BY:



CLIENT:

HESED LLC  
10308 MT. EVANS DR.  
PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
**LOT 1, BLOCK 1,  
JOHNSON'S VACATION**  
EL PASO COUNTY, COLORADO

ISSUE	DATE
INITIAL ISSUE	1/30/2023
RESUBMITTAL	5/18/2023
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01-02GN



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

**GENERAL NOTES**

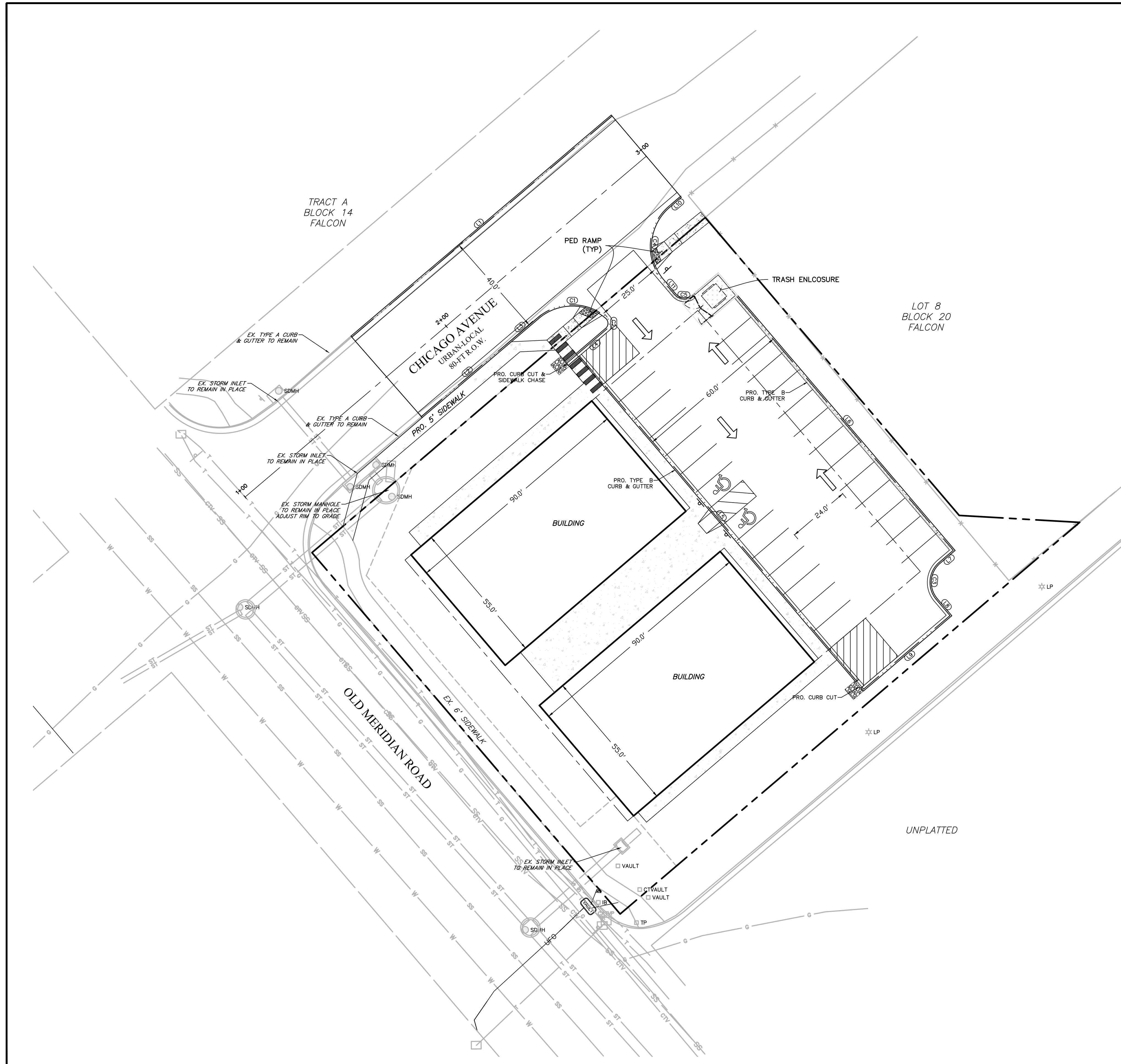
PROJECT NO. 21496-01CSCV  
DRAWING NO.

**C2**

SHEET: 2 OF 8

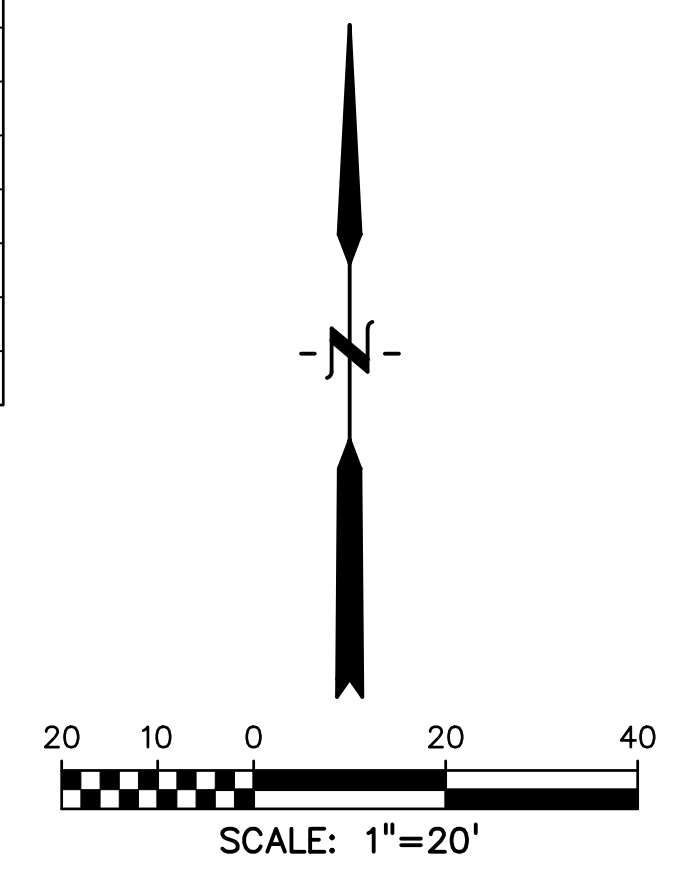






FL CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD DISTANCE
C1	28.16'	20.00'	80°40'33"	N89°58'59"E	25.89'
C2	5.20'	3.00'	99°13'53"	S00°03'48"E	4.57'
C3	15.71'	10.00'	90°00'00"	S04°33'08"W	14.14'
C4	31.42'	20.00'	90°00'00"	S04°38'43"W	28.28'
C5	7.86'	5.00'	90°05'34"	S85°24'04"E	7.08'

FL LINE TABLE		
LINE #	LENGTH	DIRECTION
L1	129.12'	N49°38'43"E
L2	48.56'	N49°38'43"E
L3	9.56'	N49°38'43"E
L4	14.32'	S49°33'08"W
L5	162.00'	S40°26'52"E
L6	126.50'	S40°26'52"E
L7	7.00'	S49°33'08"W
L8	8.01'	S40°26'52"E
L9	43.00'	S49°33'08"W
L10	6.09'	S49°38'43"W
L11	6.85'	S40°21'17"E



**LEGEND**

- PROPERTY LINE .....
- ROW .....
- EASEMENT .....
- SETBACK LINE .....
- SIGN .....
- ADA ACCESSIBLE ROUTE TO PUBLIC ROW .....
- TRAFFIC FLOW .....
- CURB FLOWLINE .....
- CURB & GUTTER .....
- SPILL CURB & GUTTER .....
- CONCRETE .....
- 7" CONCRETE 6x6-4x4 WWF .....
- HANDICAP PARKING (SEE SHT 5 FOR DETAILS) .....
- DWA .....
- (SEE SHT 5 FOR DETAILS)

**ABBREVIATION**

- ADA AMERICANS WITH DISABILITIES ACT
- C&G CURB AND GUTTER
- DWA DETECTABLE WARNING AREA
- EX EXISTING
- FL FLOWLINE
- PED PEDESTRIAN
- PP PROPOSED
- ROW RIGHT OF WAY
- STD STANDARD
- STM STORM
- SW SIDEWALK
- TYP TYPICAL

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 3 SOUTH 7TH STREET  
 COLORADO SPGS, COLORADO 80905  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:  
**HESED LLC**  
 10308 MT. EVANS DR.  
 PEYTON, CO 80831

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 EL PASO COUNTY, COLORADO

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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01-03HC

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: N/A

**HORIZONTAL CONTROL**

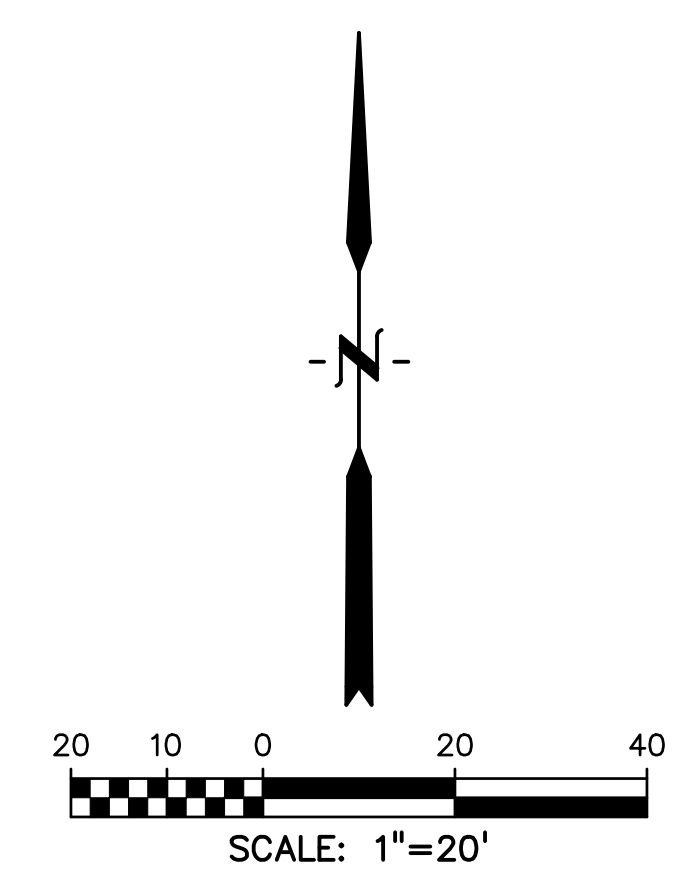
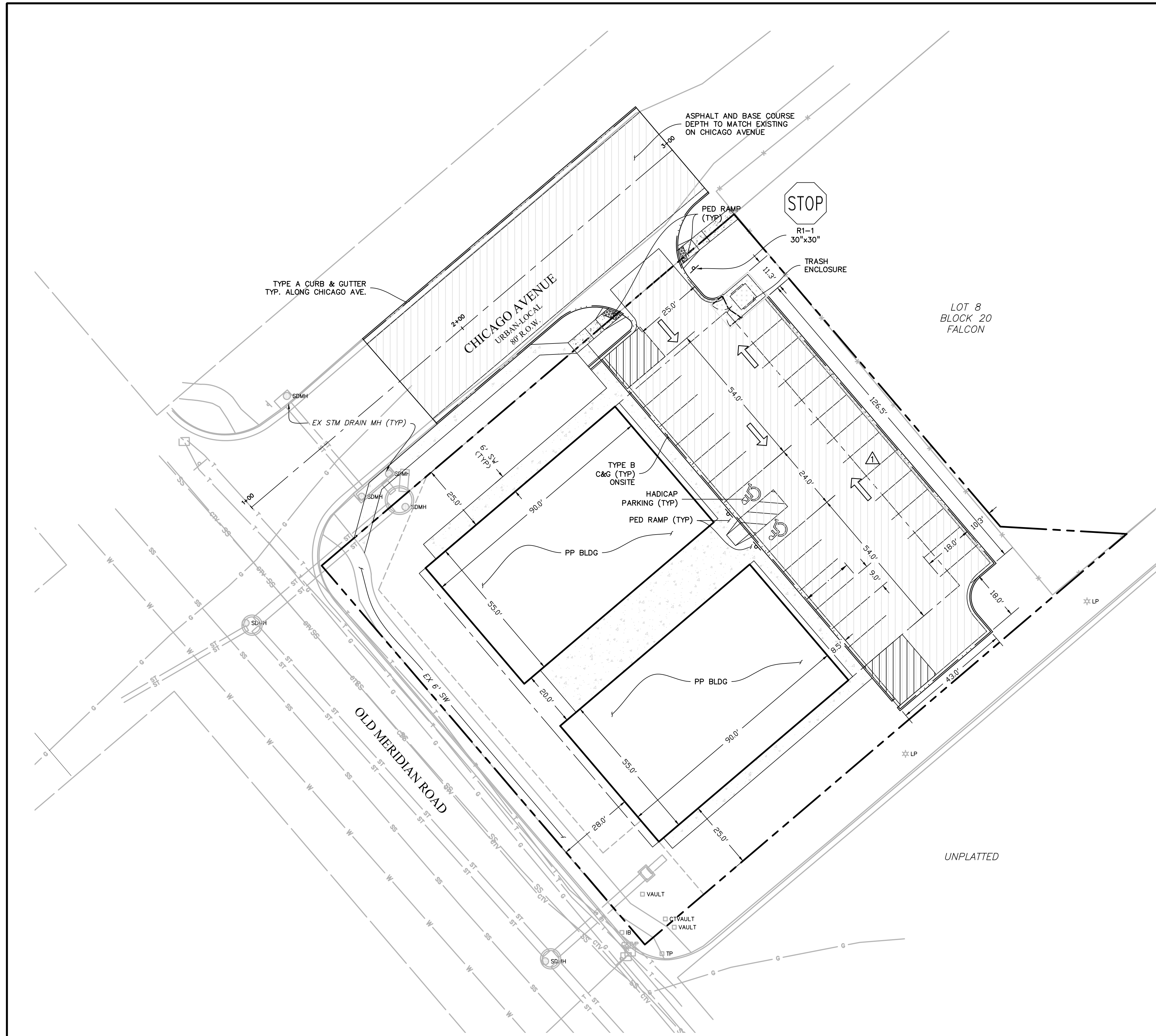
PROJECT NO. 21496-01CSCV  
 DRAWING NO.

**C3**

SHEET: 3 OF 8







**LEGEND**

PROPERTY LINE	-----
ROW	-----
EASEMENT	-----
SETBACK LINE	-----
ADA ACCESSIBLE ROUTE TO PUBLIC ROW	▨▨▨▨▨▨
CONCRETE SIDEWALK, CURB AND GUTTER (SEE SHEET 5 OF 10)	▨▨▨▨▨▨
7" CONCRETE 6X6-4x4 WWF	▨▨▨▨▨▨
REGULAR DUTY ASPHALT	▨▨▨▨▨▨
4" HMA ON 6" CLASS 6 ABC	▨▨▨▨▨▨
CURB FLOWLINE	-----
CURB & GUTTER	▨▨▨▨▨▨
SPILL CURB & GUTTER	▨▨▨▨▨▨
4" WHITE STRIPE	▨▨▨▨▨▨
THERMOPLASTIC HANDICAP SYMBOL	♿
DWA	▨▨▨▨▨▨
TRAFFIC FLOW	→
SIGN	⊠

OR AS DIRECTED BY GEOTECHNICAL/PAVING REPORT WHICHEVER IS GREATER

**ABBREVIATION**

ADA	AMERICANS WITH DISABILITIES ACT
BLDG	BUILDING
C&G	CURB AND GUTTER
DWA	DETECTABLE WARNING AREA
EPC	EL PASO COUNTY
EX	EXISTING
FL	FLOWLINE
PED	PEDESTRIAN
PP	PROPOSED
ROW	RIGHT OF WAY
STD	STANDARD
STM	STORM
SW	SIDEWALK
TP	TYPICAL

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
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 (719)260-0887  
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:  
**HESED LLC**  
 10308 MT. EVANS DR.  
 PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
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 EL PASO COUNTY, COLORADO

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DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: 21496-01-04ST



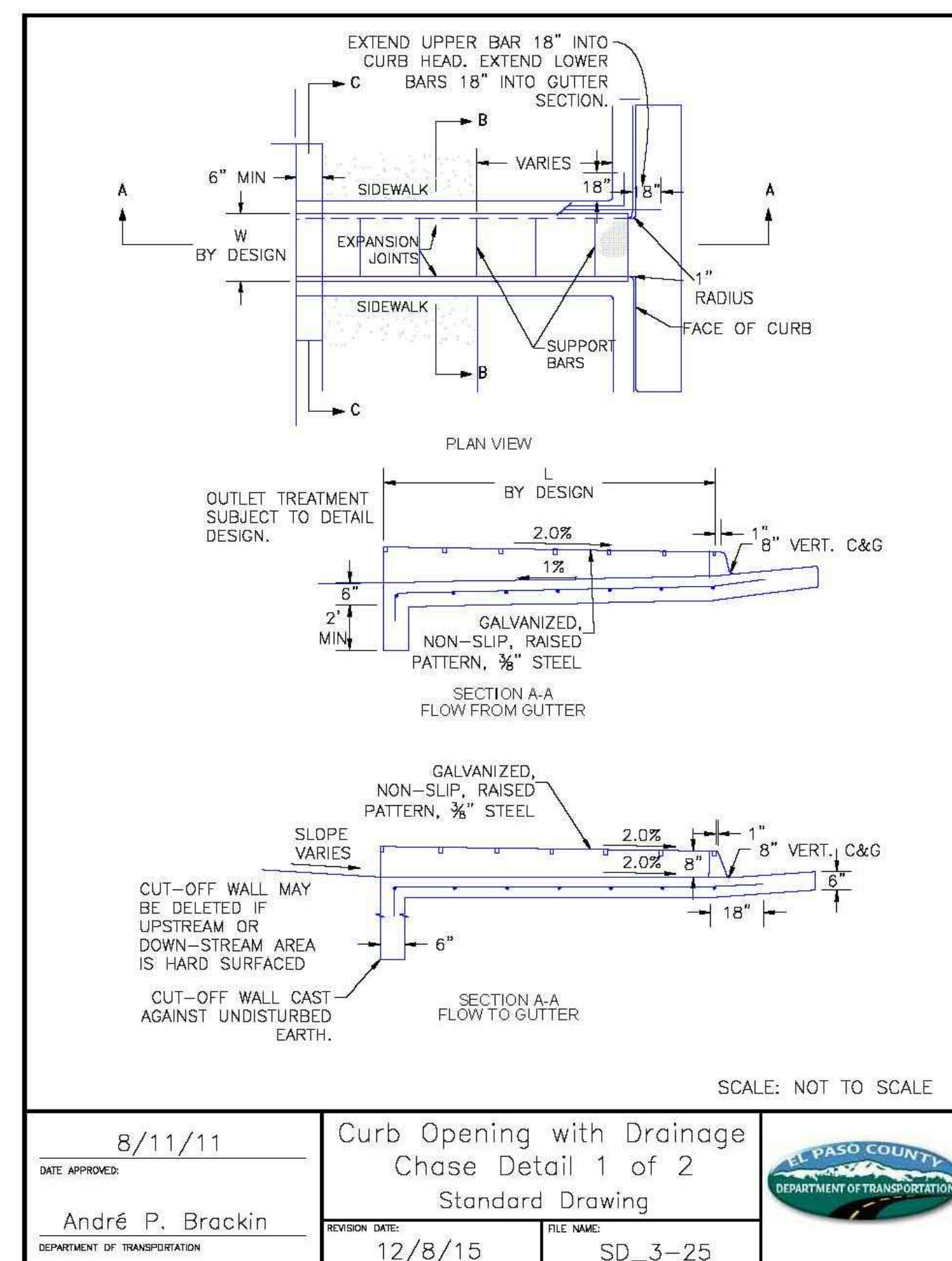
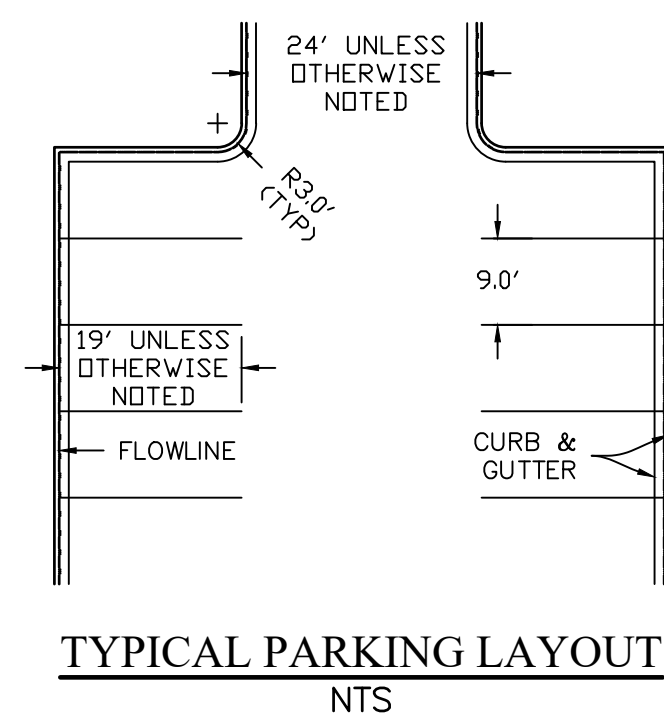
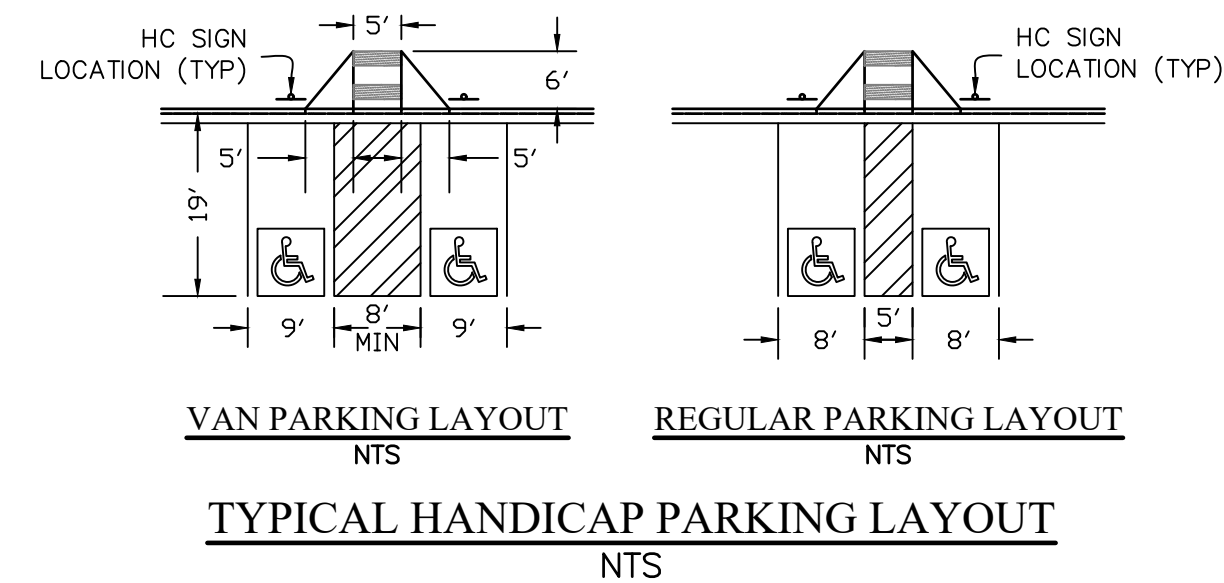
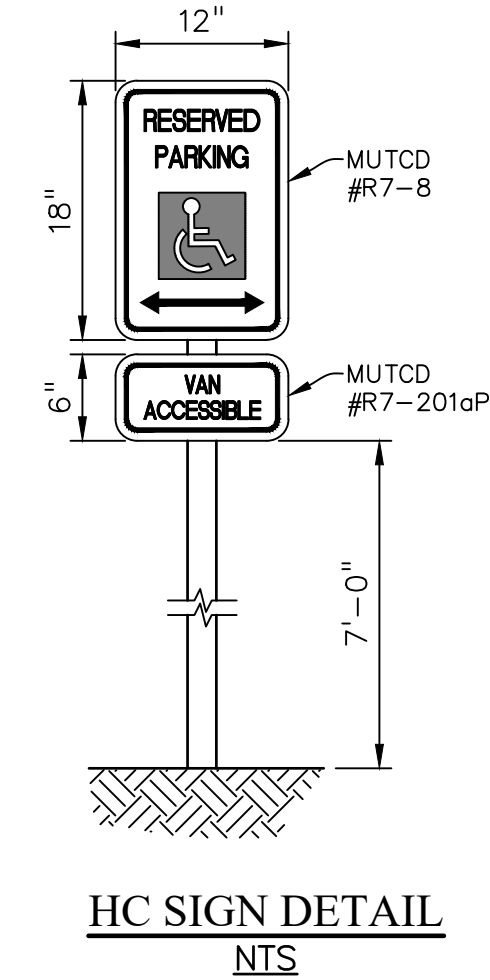
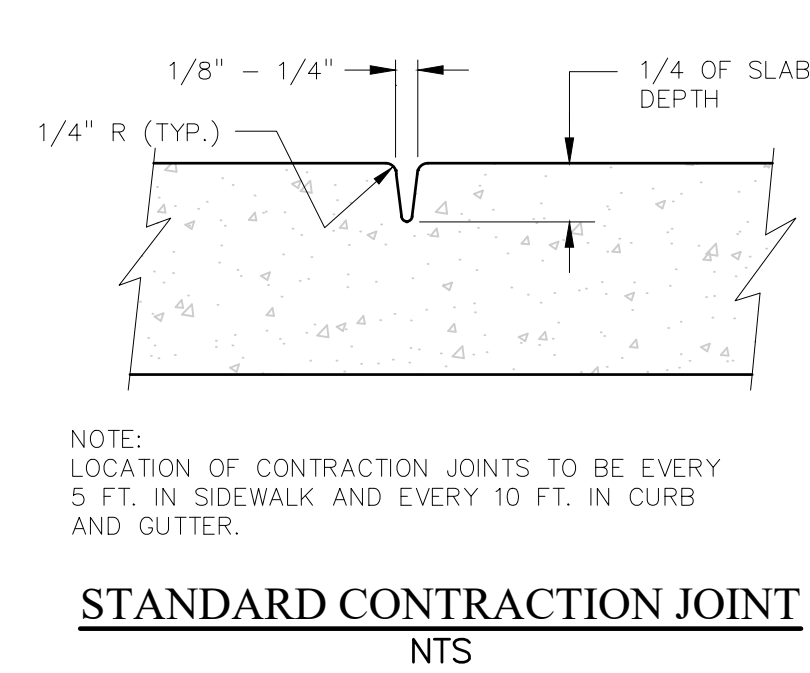
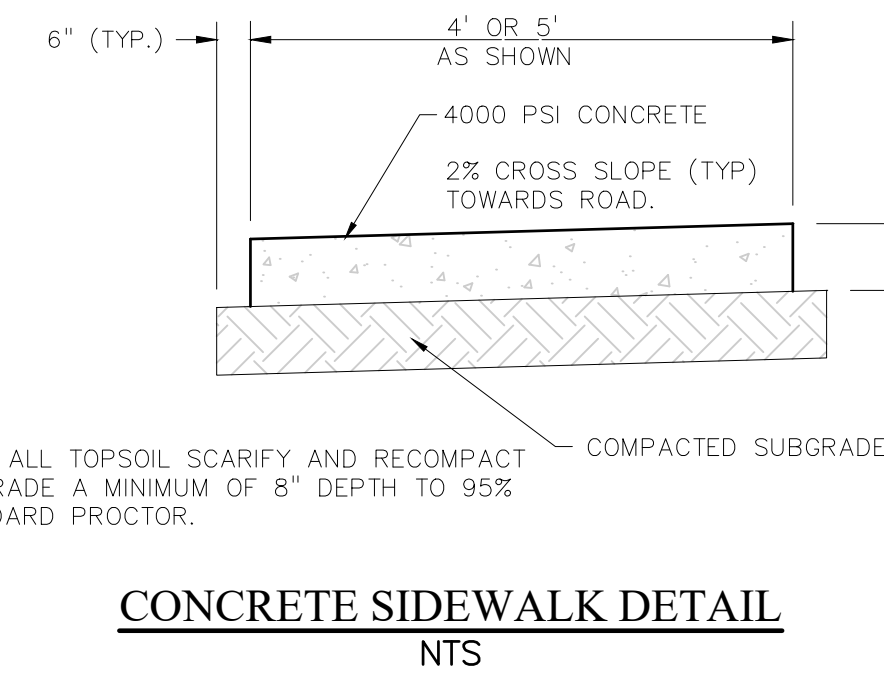
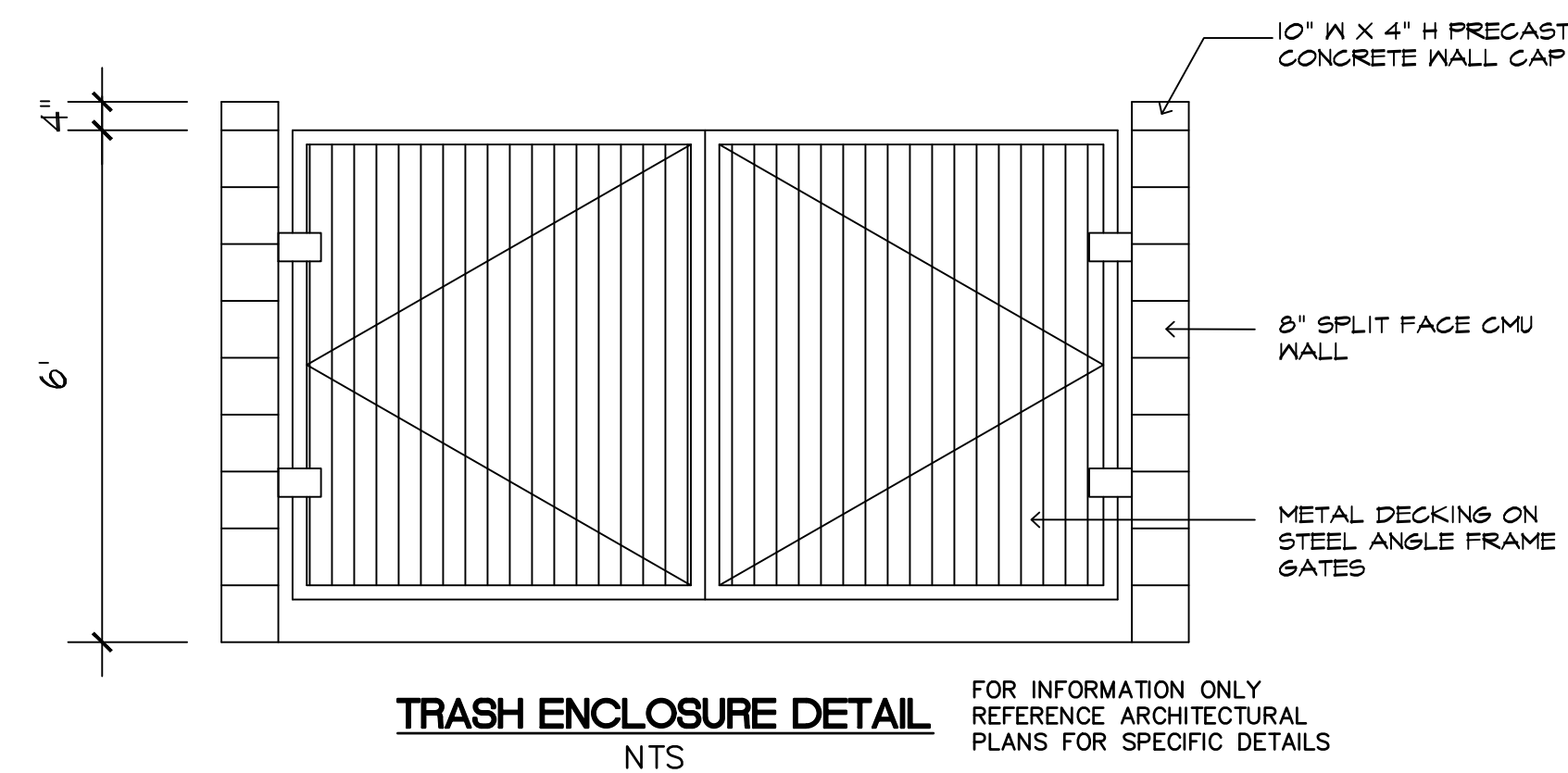
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: N/A

**SITE PLAN**  
 PROJECT NO. 21496-01CSCV  
 DRAWING NO.

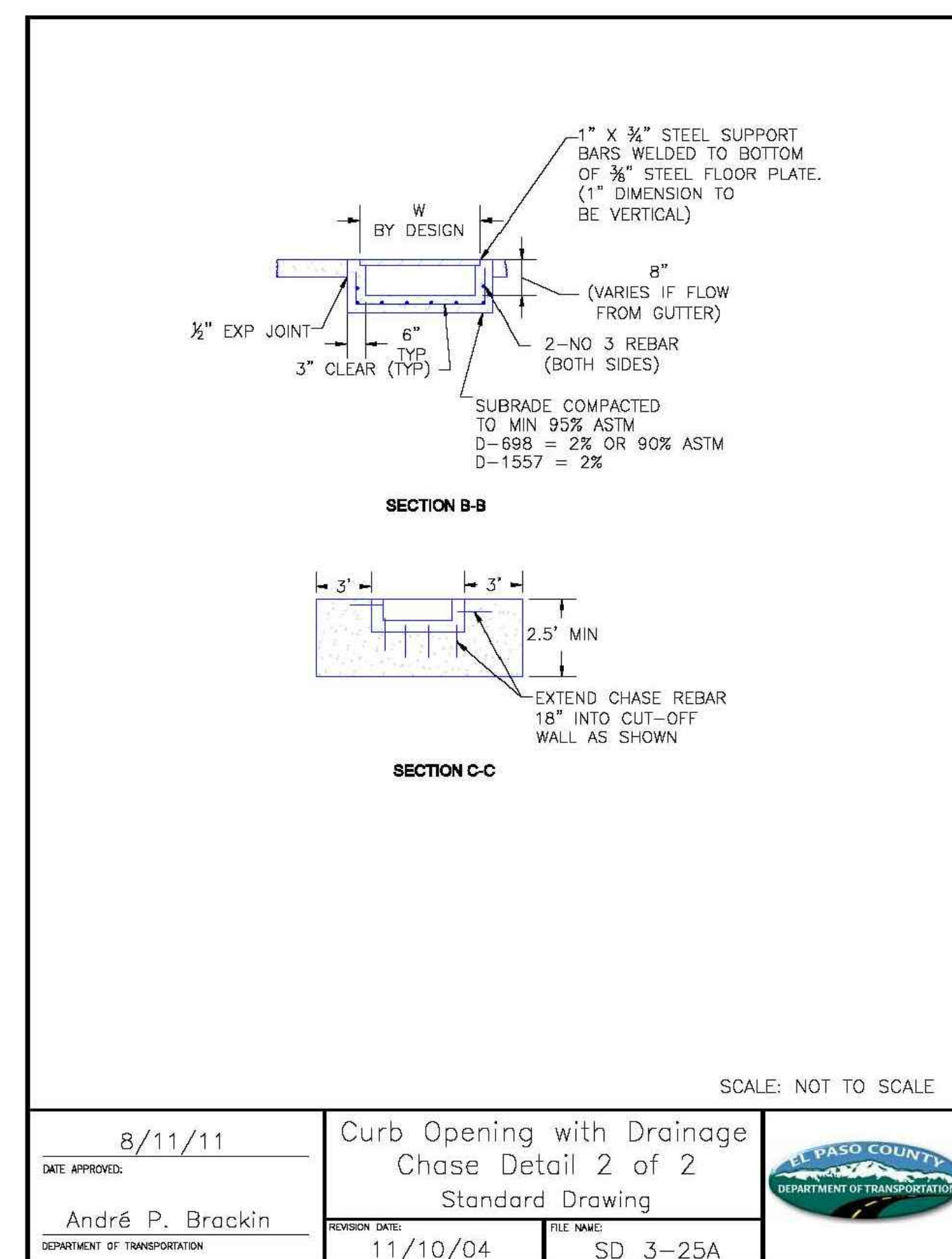
**C4**  
 SHEET: 4 OF 8



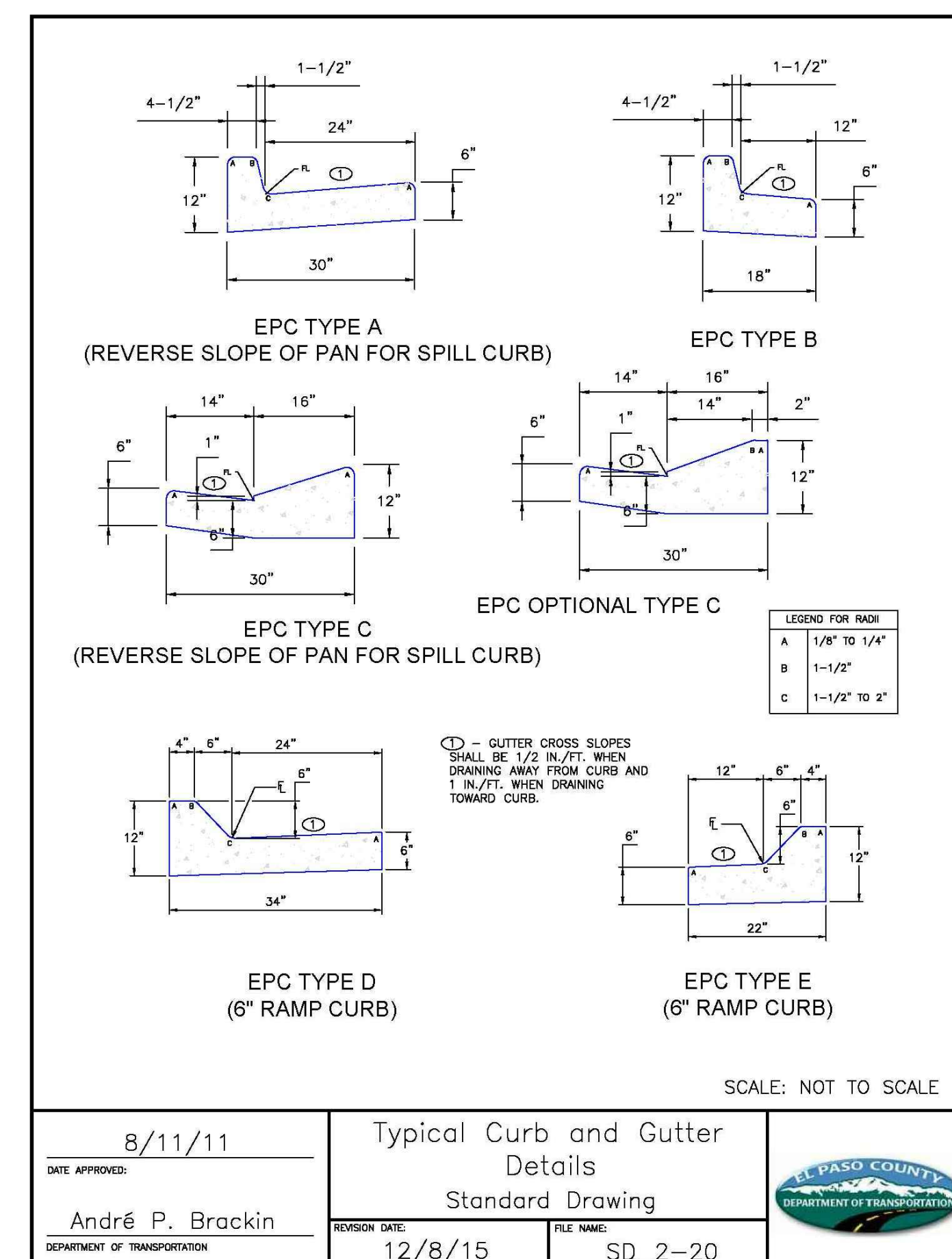




8/11/11	DATE APPROVED:	André P. Brackin	REVISION DATE:	12/8/15	FILE NAME:	SD_3-25



8/11/11	DATE APPROVED:	André P. Brackin	REVISION DATE:	11/10/04	FILE NAME:	SD_3-25A



8/11/11	DATE APPROVED:	André P. Brackin	REVISION DATE:	12/8/15	FILE NAME:	SD_2-20

PREPARED BY:



CLIENT:

HESED LLC  
10308 MT. EVANS DR.  
PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
**LOT 1, BLOCK 1,  
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EL PASO COUNTY, COLORADO

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DESIGNED BY: KGV  
DRAWN BY: SDM  
CHECKED BY: TDM  
FILE NAME: 21496-01-05STD1



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SUPERVISION FOR AND ON BEHALF  
OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

SITE DETAILS

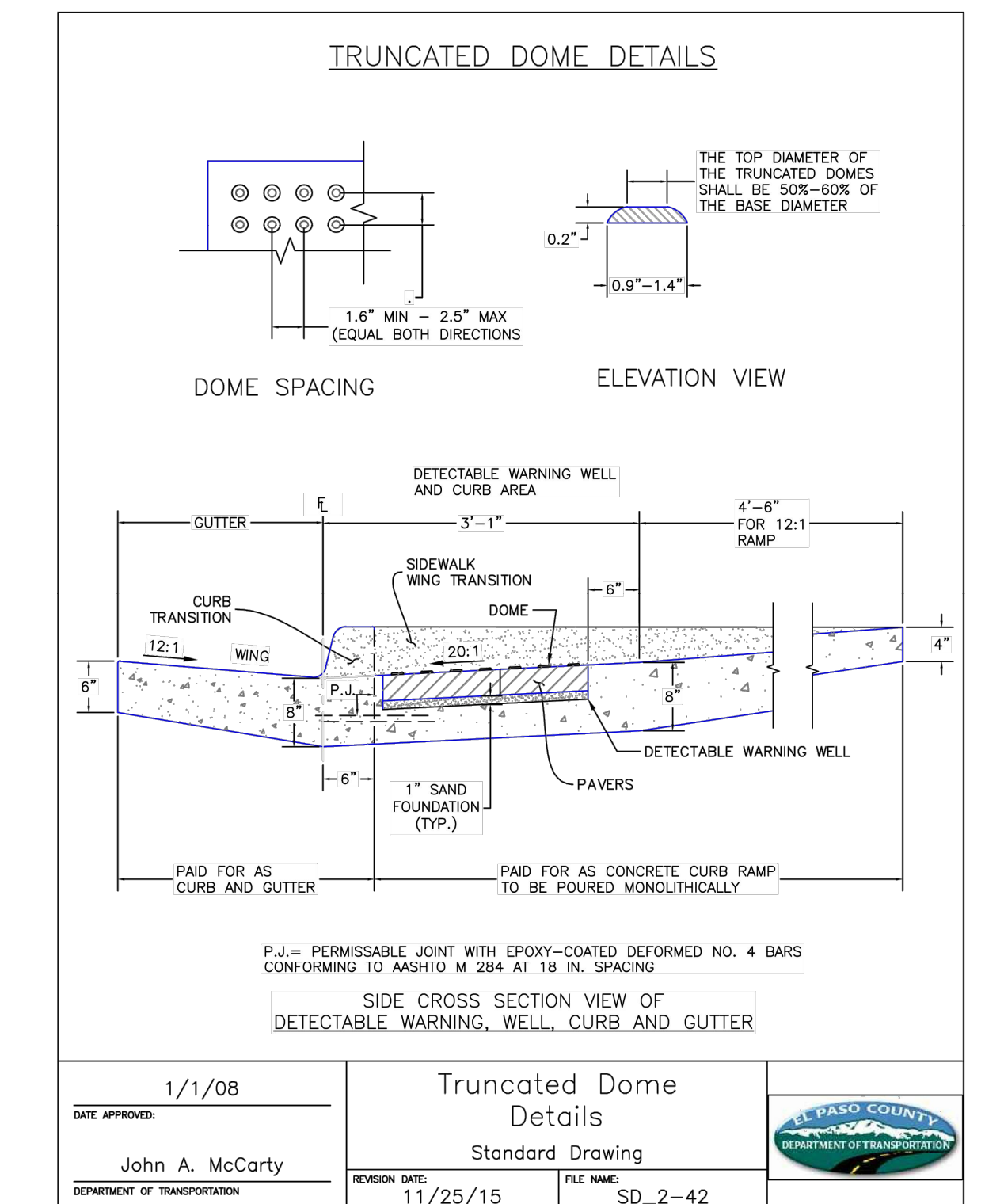
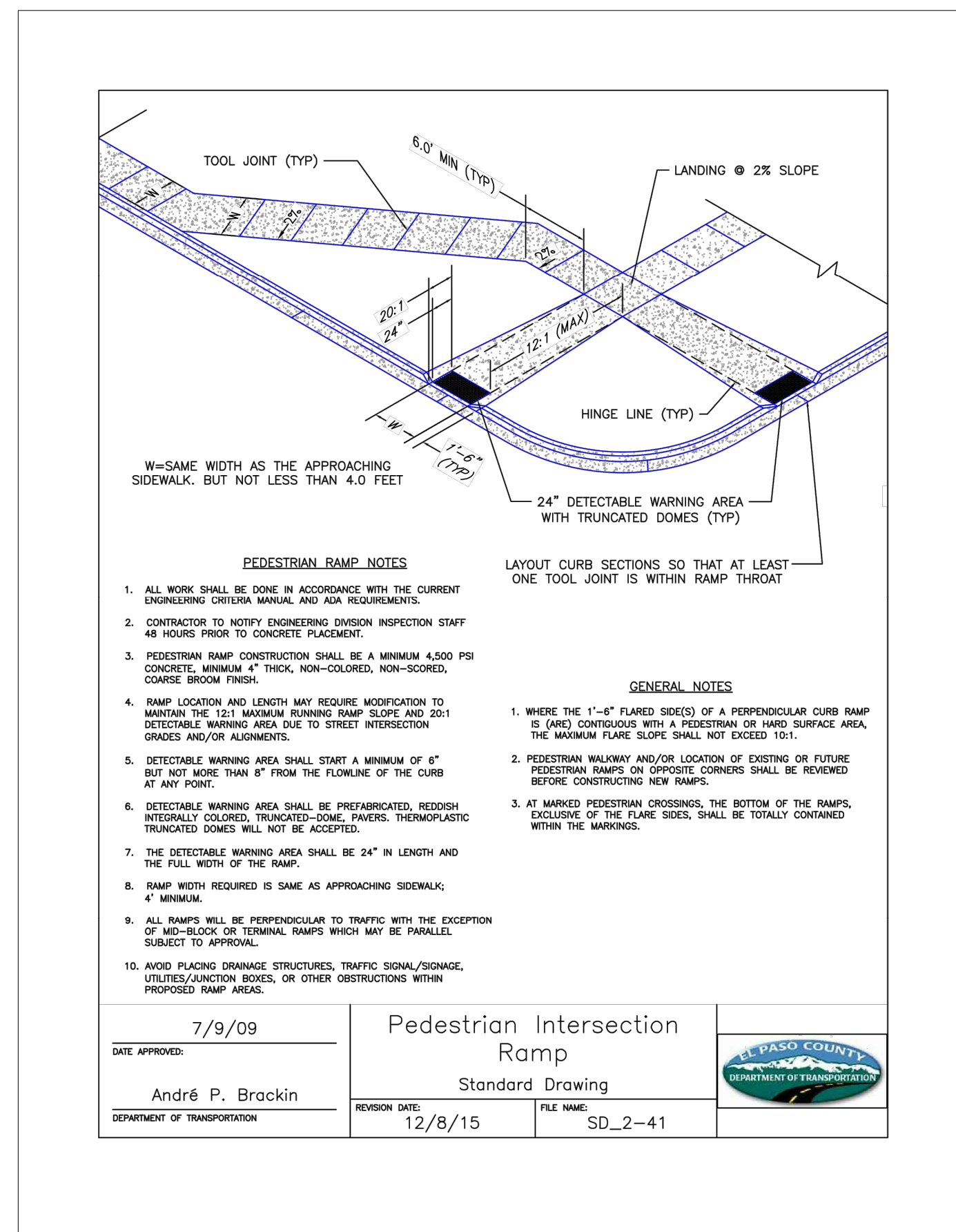
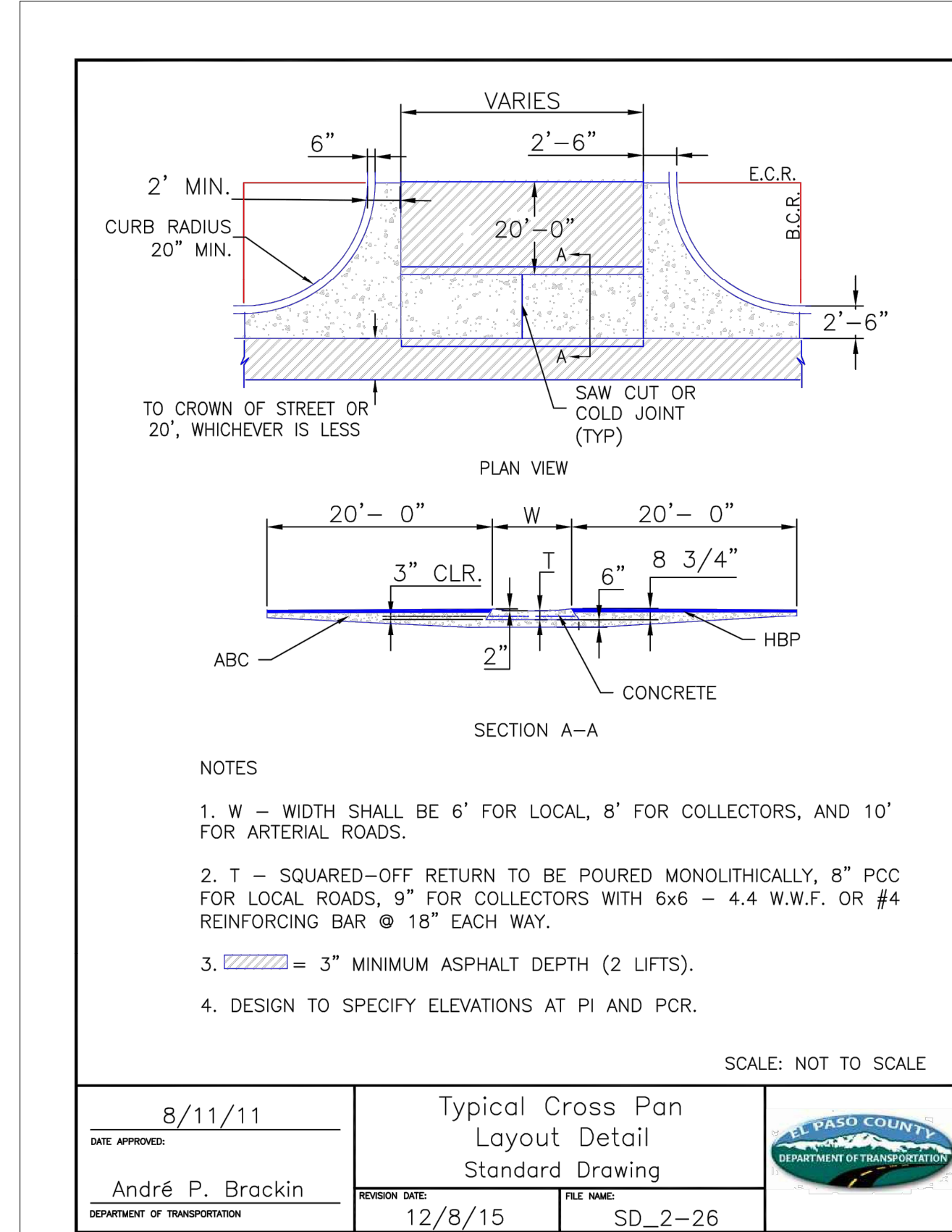
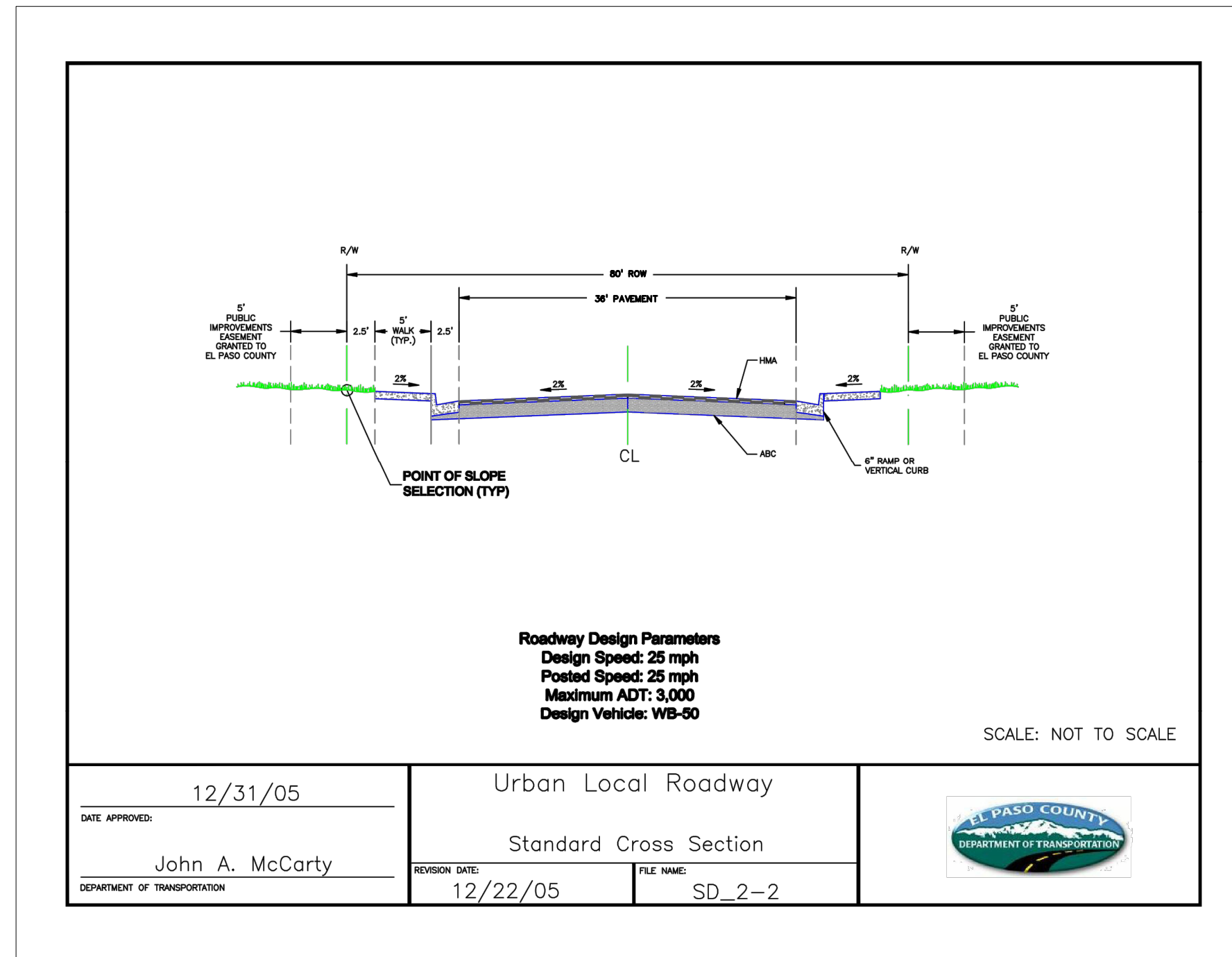
PROJECT NO. 21496-01CSCV  
DRAWING NO.

**C5**

SHEET: 5 OF 8







PREPARED BY:



CLIENT:

HESED LLC  
 10308 MT. EVANS DR.  
 PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	SDM
FILE NAME:	21496-01-05STD1



PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
 HORIZONTAL: N/A  
 VERTICAL: N/A

**PED RAMP  
 AND ROADWAY  
 SITE DETAILS**

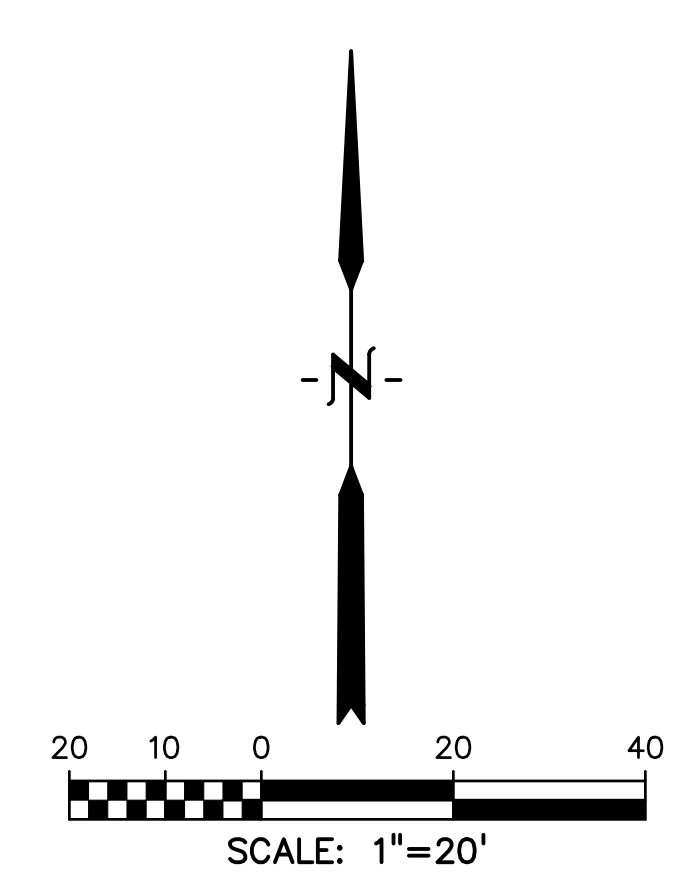
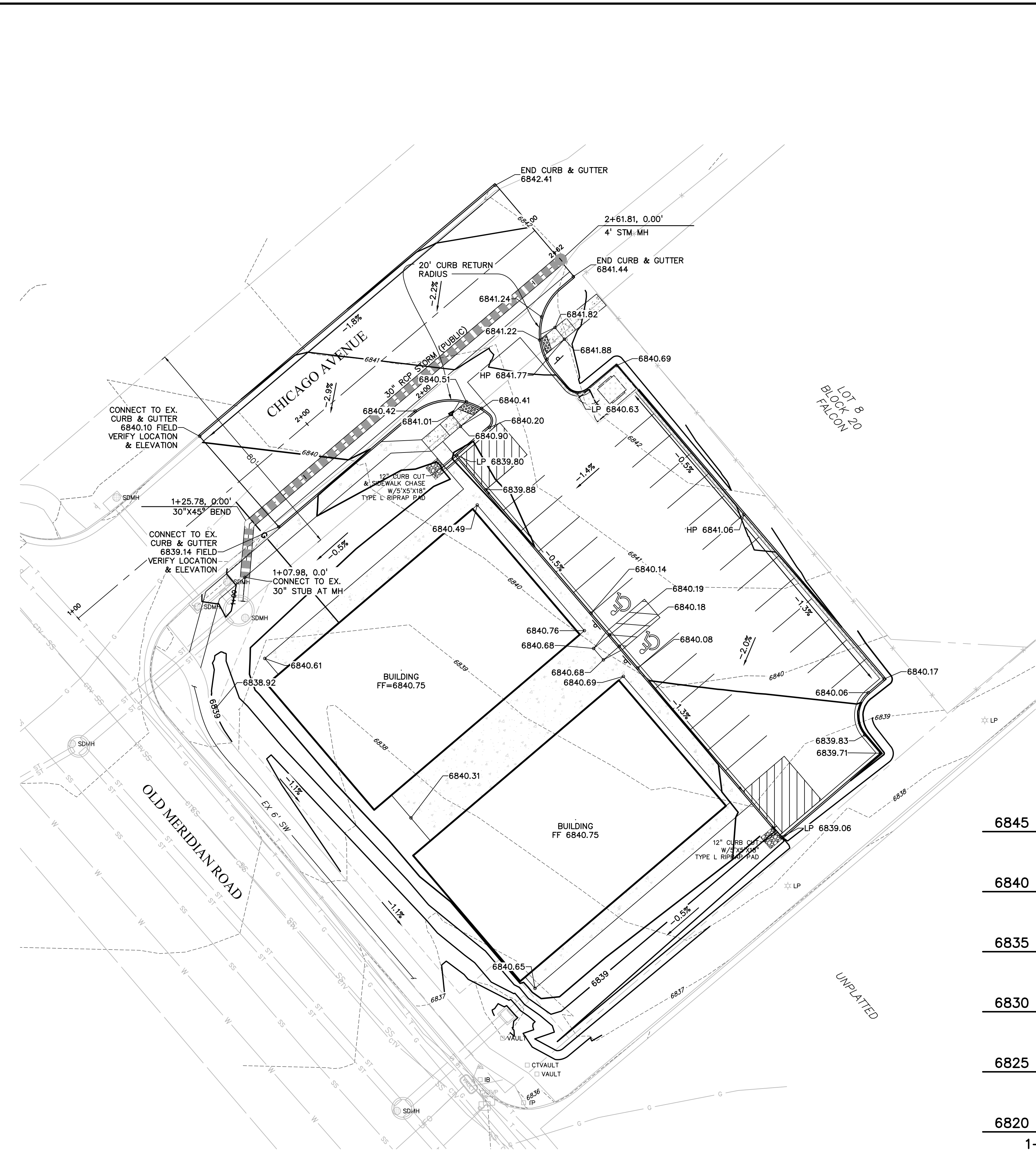
PROJECT NO. 21496-01CSCV  
 DRAWING NO.

**C6**

SHEET: 6 OF 8







**LEGEND**

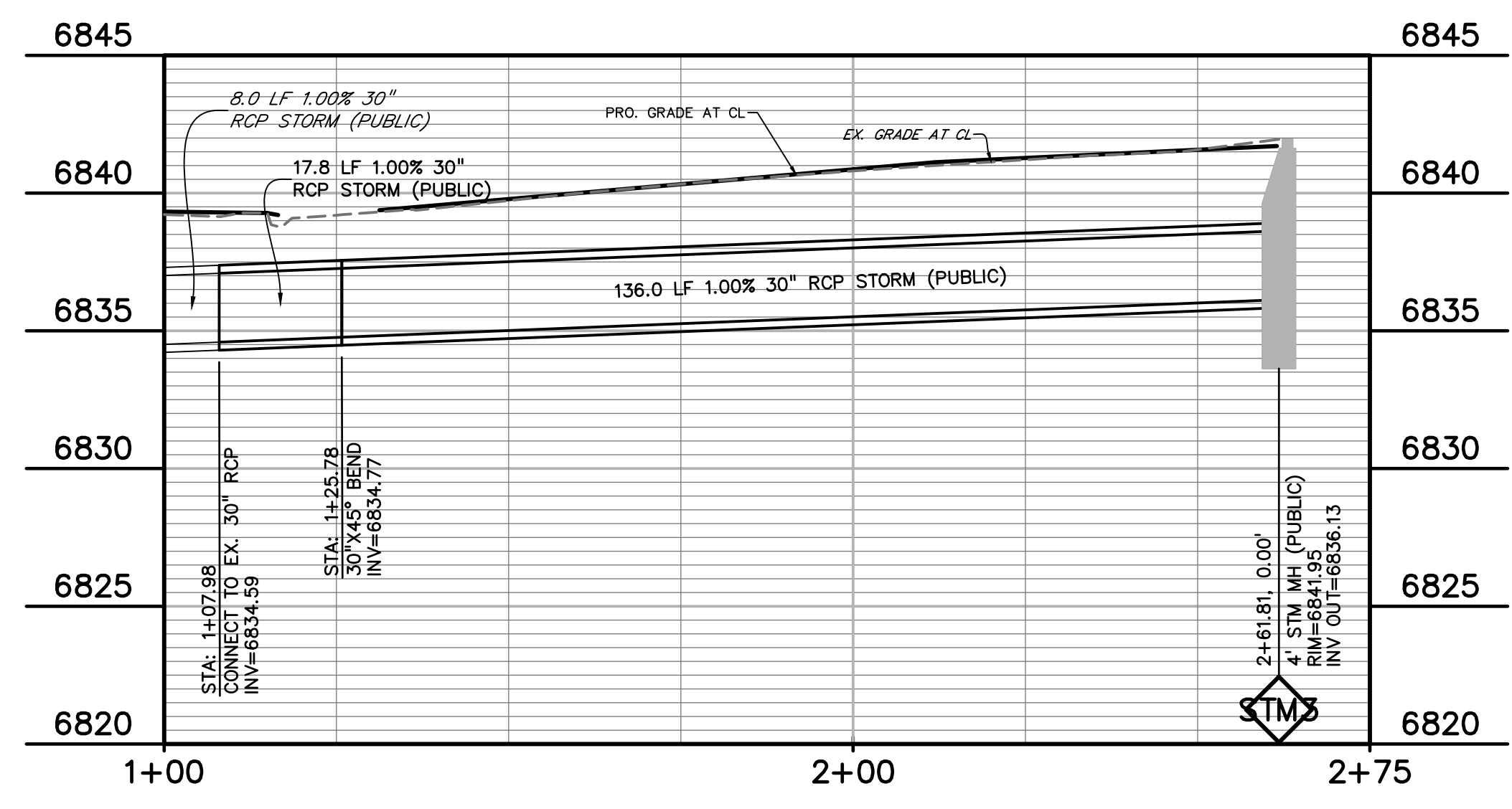
PROPERTY LINE.....	---
EASEMENT.....	---
EX INTERMEDIATE CONTOUR.....	----- 6203
EX INDEX CONTOUR.....	----- 6205
MINOR CONTOUR.....	----- 6203
MAJOR CONTOUR.....	----- 6205
PROPOSED SLOPE GRADE.....	----- -2.0%

**ABBREVIATION**

C&G	CURB AND GUTTER
EX	EXISTING
PED	PEDESTRIAN
SW	SIDEWALK
TYP	TYPICAL

**NOTES**

ALL CURB SPOT ELEVATIONS ARE TO FLOWLINE UNLESS NOTED OTHERWISE.



STORM SEWER PROFILE

**811** Know what's below. Call before you dig.  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

PREPARED BY:

DREXEL, BARRELL & CO.  
 Engineers-Surveyors  
 3 SOUTH 7TH STREET  
 COLORADO SPGS, COLORADO 80905  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
 BOULDER • COLORADO SPRINGS • GREELEY

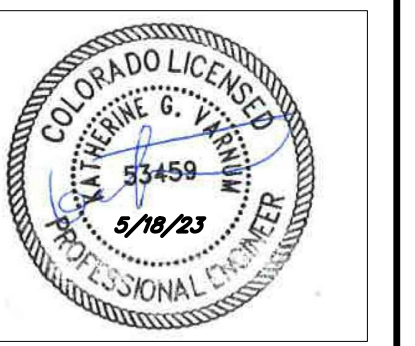
CLIENT:

HESED LLC  
 10308 MT. EVANS DR.  
 PEYTON, CO 80831

CONSTRUCTION PLANS FOR:  
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DESIGNED BY: KGV  
 DRAWN BY: SDM  
 CHECKED BY: TDM  
 FILE NAME: 21496-01-06GR



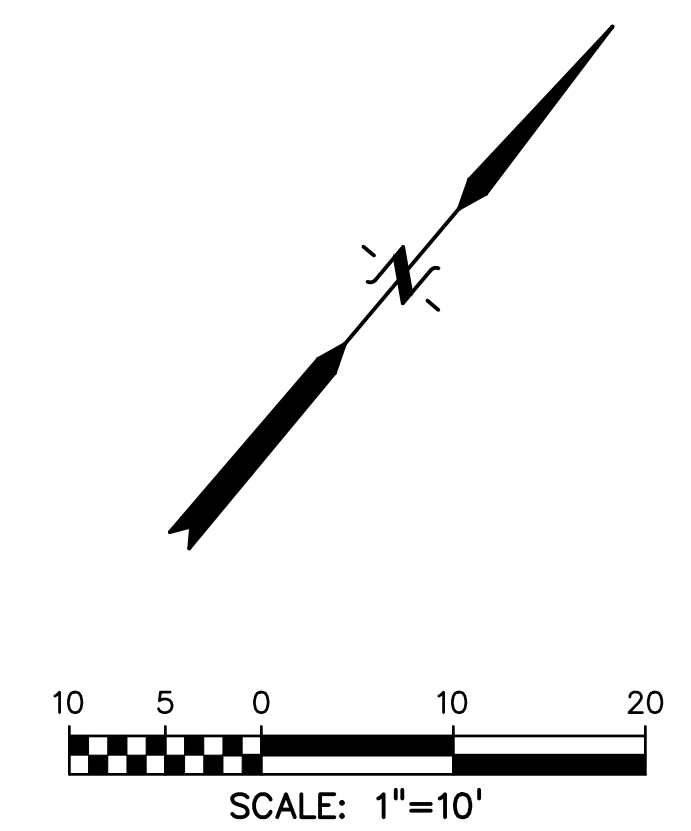
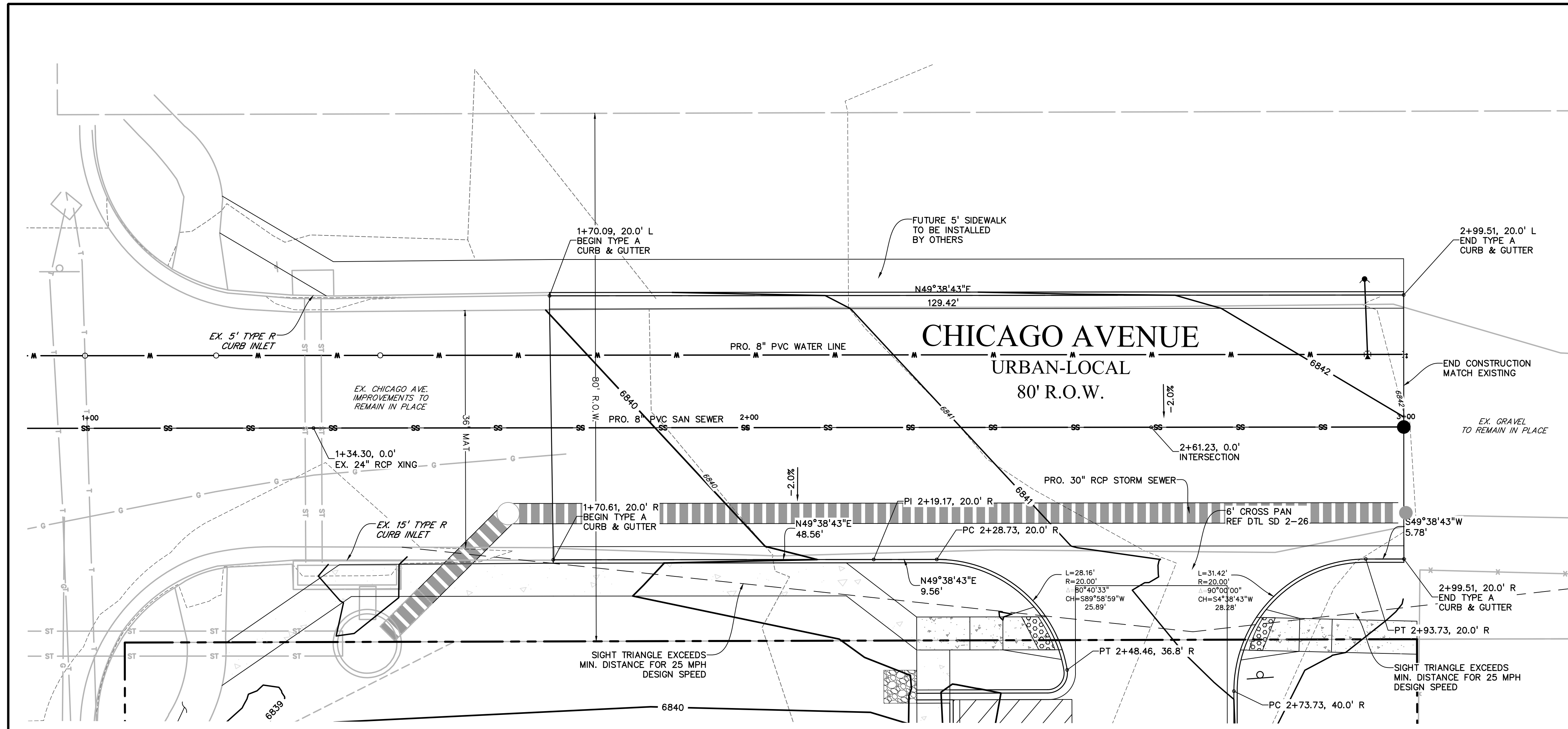
PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1"=20'  
 VERTICAL: N/A

**SPOT GRADING &  
 STORM SEWER  
 PLAN & PROFILE**

PROJECT NO. 21496-01CSCV  
 DRAWING NO.

**C7**





**LEGEND**

PROPERTY LINE.....	-----
EASEMENT.....	-----
EX INTERMEDIATE CONTOUR.....	----- 6203
EX INDEX CONTOUR.....	----- 6205
MINOR CONTOUR.....	----- 6203
MAJOR CONTOUR.....	----- 6205
PROPOSED SLOPE GRADE.....	----- -2.0%

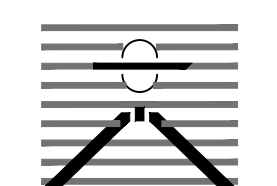
**ABBREVIATION**

C&G	CURB AND GUTTER
EX	EXISTING
PED	PEDESTRIAN
SW	SIDEWALK
TYP	TYPICAL

**NOTES**

ALL CURB SPOT ELEVATIONS ARE TO FLOWLINE UNLESS NOTED OTHERWISE.

PREPARED BY:



DREXEL, BARRELL & CO.  
Engineers • Surveyors  
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CLIENT:


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10308 MT. EVANS DR.  
PEYTON, CO 80831

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JOHNSONS VACATION**

EL PASO COUNTY, COLORADO

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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01-07RD



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DRAWING SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: N/A

CHICAGO AVE  
PLAN &  
PROFILE

PROJECT NO. 21496-01CSCV  
DRAWING NO.

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Call before you dig.  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.

**C8**

SHEET: 8 OF 8

