

**FINAL DRAINAGE REPORT**  
for  
**LOT 1 BLOCK 1, JOHNSON VACATION**

Falcon, Colorado

**January 26, 2023**

**PCD File No: PPR-21-067**

Prepared for:

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Prepared by:

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**FINAL DRAINAGE REPORT**  
for  
**LOT 1 BLOCK 1, JOHNSON VACATION**

**1.0 CERTIFICATION STATEMENTS**

**Engineer's Statement**

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by the city/county for drainage reports and said report is in conformity with the master plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.

SIGNATURE (Affix Seal): \_\_\_\_\_  
For and on behalf of Drexel, Barrell & Co. Date  
Tim D. McConnell, P.E. #33797

**Developer's Statement**

I, the owner/developer have read and will comply with all of the requirements specified in this drainage report and plan.

\_\_\_\_\_  
Authorized Signature Date  
David Caban  
HESED, LLC

**El Paso County**

Filed in accordance with the requirements of the Drainage Criteria Manual, Volumes 1 and 2, El Paso County Engineering Criteria Manual and Land Development Code as amended.

\_\_\_\_\_  
Joshua Palmer, P.E. Date  
County Engineer

Conditions:

**FINAL DRAINAGE REPORT**  
for  
**LOT 1 BLOCK 1, JOHNSON VACATION**

**2.0 PURPOSE**

The purpose of this Final Drainage Report for Lot 1 Block 1 Johnson Vacation is to identify the existing and proposed runoff patterns and drainage facilities required to safely route developed runoff to historic downstream facilities.

**3.0 GENERAL SITE DESCRIPTION**

Location

Lot 1 Block 1, Johnson Vacation is located in Falcon, El Paso County, Colorado, within the Southeast Quarter of Section 1, Township 13 South, Range 65 West of the 6<sup>th</sup> P.M. The property is bounded by Old Meridian Road to the southwest, Chicago Avenue to the northwest, and Lot 1 High Prairie Branch Library to the southeast. This property lies within the Falcon Drainage Basin.

A topographical field survey was completed by Drexel, Barrell & Co., dated September 8, 2021 and is used as the basis of design for the drainage improvements.

Proposed Development

The proposed development of Lot 1 is the construction of a karate studio and warehouse, with associated parking and landscaping. The property area consists of 0.80 acres. As the development is less than one-acre neither detention nor water-quality treatment is required. Cobble-lined swales will direct stormwater runoff from the parking lot and buildings towards the existing storm sewer.

Revise this statement because this reasoning is only true for WQ treatment. Detention is still required if you increase the flows without there being downstream capacity or if the flows will cause downstream damage. And WQ is always included with detention per FSD req's (just FYI).

Soils

According to the Soil Survey of El Paso County Area, Colorado, prepared by the U.S. Department of Agriculture Soil Conservation Service, the site is underlain by the Blakeland loamy sand (Soil No. 9) and the Columbine gravelly sandy loam (Soil No. 19), both hydrologic type A soils. See appendix for Soils map.

Climate

This area of El Paso County can be described as the foothills, with total precipitation amounts typical of a semi-arid region. Winters are generally cold and dry, and summers relatively warm and dry. Precipitation ranges from 12 to 14 inches per year, with the majority of this moisture occurring in the spring and summer in the form of rainfall. Thunderstorms are common during the summer months.

## Floodplain Statement

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Panel 08041CO561G (December 7, 2018), no portion of the site lies within a floodplain.

### **4.0 DRAINAGE CRITERIA**

The drainage analysis has been prepared in accordance with the current El Paso County Drainage Criteria Manual. Calculations were performed to determine runoff quantities during the 5-year and 100-year frequency storms for existing and developed conditions using the Rational Method as required for basins containing less than 100 acres.

### **5.0 EXISTING CONDITION**

The site appears to have been overlot graded and generally slopes from northeast to southwest between 2%-4%. Sparse grasses and gravel cover the site. See existing conditions map in the appendix.

Improvements to Old Meridian Road, adjacent to the property have recently been completed. As part of these improvements, a Type D grated inlet was installed at the south corner of the Lot 1 property. This inlet captures onsite flows and directs them to the south and west, ultimately draining into the roadside ditch along Highway 24. In addition, the Chicago Avenue intersection with Old Meridian Road was completed and the storm sewer system installed. A 5' Type R inlet was installed on the north side of Chicago Avenue, and a 15' Type R inlet on the south side.

See below for basin/design point table and description:

<b>BASIN &amp; DESIGN POINT SUMMARY</b>				
<b>BASIN (S)</b>	<b>DP</b>	<b>AREA (AC)</b>	<b>Q5</b>	<b>Q100</b>
OS1		0.86	1.9	3.8
OS2		0.15	0.6	0.02
E1		0.73	1.9	3.7
	DP1	1.75	4.0	7.8
E2		0.09	0.2	0.4

Basin OS1 covers an offsite area to the north of Lot 1. In the existing condition flows from this basin travel overland across the Lot 1 site property to the existing inlets at the Chicago Ave intersection with Old Meridian Road.

Basin OS2 covers 0.15 acres to the north of the site. Flows from this basin travel onto the site towards to the existing Type D inlet at the south corner.

Basin E1 covers the majority of the Lot 1 site. Flows generated by this basin combine with those from offsite basin OS2, ultimately reaching the existing Type D inlet (Existing Design Point DP1) at the southwest corner alongside Old Meridian Road. Flows of  $Q_5=4.0$ cfs and  $Q_{100}=7.8$ cfs reach the existing Type D inlet in the current condition.

Discuss if any flows from the proposed disturbed areas will be conveyed to the other 3 nearby inlets or not that are shown on the drainage map.

Basin E2 covers a small portion of the site that currently drains into the parking lot of the adjacent property to the southeast.

## 6.0 DEVELOPED CONDITION

clarify that you mean the inlet at DP3, since there are 4 inlets around the perimeter of the site.

See comment on pdf page 4 above regarding these statements.

The proposed development consists of two commercial buildings, and associated parking and landscaping. The site is under an acre and as such, detention and water quality are neither required nor provided. Runoff will be channel towards the existing Type D inlet around the side and rear of the buildings, via cobble lined swale. These swales, by their nature, may function as a water quality treatment devices, but as the site is under 1-acre will not be considered regulatory (Reference El Paso County ECM Appendix I.7.1.C.1). Flows are intended to reach the swale, by curb cut from the parking lot and downspout discharge. Erosion protection at the outfalls into the swale will be provided by buried riprap. Flows will ultimately be captured by the existing Type D area inlet and discharge via the existing public storm sewer in Old Meridian Road.

Sheet C7 of CDs shows riprap, not buried riprap. Revise to remove discrepancy.

Runoff generated by the offsite basin discussed in the existing conditions section of this report will be captured by the proposed improvements to Chicago Avenue. As part of the Old Meridian Road improvements, curb inlets at the intersection were installed and curb and gutter was partially installed, and is to be extended beyond the entrance to this property with this development. The County accounted for this basin in their design, and so it has not been included in this analysis for the developed condition – see map in the appendix. Extension of the 30" RCP storm sewer system, from the stub at the intersection with Old Meridian Rd, will be installed northeast to the limits of the Chicago Avenue improvements provided with this project, in order to provide for drainage connection for potential development to the east of this property. Hydraulic calculations have not been completed as part of this project, as the storm sewer will handle no flow at this time.

See below for basin/design point table and description:

RUNOFF SUMMARY				
BASIN (S)	DP	AREA (AC)	Q5	Q100
OS1	DPO1	0.86	2.0	4.0
OS2		0.15	0.6	1.1
A1		0.14	0.6	1.0
	DP1	0.29	1.2	2.1
A2		0.26	0.9	1.8
A3	DP2	0.12	0.5	0.9
A4		0.26	0.9	1.6
	DP3	0.93	3.0	5.5
A5		0.02	0.0	0.1

Discuss the proposed work within OS1, which appears to just be within Chicago Ave. List the area of disturbance and discuss if any impervious surfaces were added and how that would affect the need for detention and/or WQ treatment, or reference an existing drainage report or a statement that says "storm sewer system installed by County. Per discussion with County staff (since no drainage report can be found for EPC piping), the piping was sized to account for the development of this site."

Basin OS1/DPO1, as in the existing condition covers an offsite area to the north of Lot 1. In the developed condition flows from this basin travel overland until reaching Chicago

Unresolved previous comment (revised with additional details from this review):  
 Per ECM Chap 3.2.8.B, "The proposed project or developed land use shall not change historical runoff values, cause downstream damage, or adversely impact adjacent properties." Increases from the historical flowrates are allowable (with or without full spectrum detention) if it is shown (via text and/or calcs) that the flow increase can be accommodated downstream (i.e., show that there is a suitable outfall, per ECM Chap 3.2.4). Add a discuss in regards to this criteria and how this site meets these req's. And if applicable, reference the downstream facilities in a DBPS or MDDP or a previous drainage report.

For all 4 of these basins, describe where flows go after leaving the site (swales, piping, etc). The text from the paragraphs on the previous page describing overall site drainage can be used to provide more detail for each specific basin here.

Avenue, where flows are captured by the proposed curb and gutter and directed towards the existing 15' Type R inlet at the intersection with Old Meridian Road.

Basin OS2, as in the existing condition covers an offsite area to the north of Lot 1. Flows from this basin will continue to travel overland into the proposed parking lot of this site.

Basins 1 & 3 cover the parking lot to the northeast of the proposed buildings. Flows will travel as curb and gutter flow and exit into the open swale by curb cut and sidewalk chase.

label this curb cut on the drainage map (pdf pg 31) to clearly show path of flows.

Basins 2 & 4 cover the buildings and the swale around the sides and rear. This swale is proposed as a 2-ft deep, 2-ft wide trapezoidal cobble lined swale, allowing for 1-ft of freeboard for the larger storm flows. Reference the appendix for swale design calculations.

Define "larger." Is the design storm the 100-yr?

Design Point 3 represents all flows reaching the existing Type D inlet in the developed condition. These developed flows ( $Q_5=3.0\text{cfs}$  and  $Q_{100}=5.5\text{cfs}$ ) are less than those captured by the inlet in its current condition ( $Q_5=4.0\text{cfs}$  and  $Q_{100}=7.8\text{cfs}$ ).

Basin 5 covers a small portion of the site that will discharge offsite to the east. This area is less than 20% of the development, and as such per ECM Appendix 1.7.1.C.1. is permitted to drain offsite. This basin will be landscaped and no impact downstream is anticipated.

## 7.0 FOUR STEP PROCESS

include a similar paragraph for DP's 1 and 2 that shows flows of existing vs proposed conditions. Or since there is no flow at DP 1 and 2 in the existing condition, compare the change in flows from Ex DP1 to Pr DP1+DP2+DP3. And why the increase is acceptable (per comment on previous page about suitable outfalls).

State the exact percent

This project conforms to the El Paso County Four Step Process. The process for this site focuses on reducing runoff volumes, treating the water quality capture volume (WQCV), stabilizing drainage ways, and implementing long-term source controls.

1. **Employ Runoff Reduction Practices:** Proposed impervious areas on this site (roofs, asphalt/sidewalk) will sheet flow across landscaped ground as much as possible to slow runoff and increase time of concentration prior to being conveyed to the proposed public streets and storm sewer system. This will minimize directly connected impervious areas within the project site.
2. **Implement BMP's that provide a Water Quality Capture Volume with slow release:** Runoff from this project will be routed through an open cobble-lined swale along the south and western boundaries of the project site. This open swale may function as a water quality device before discharging into the storm system, but as the site development is under one acre, specific water quality treatment is not required.
3. **Stabilize Drainage Ways:** No drainage ways will be impacted by the development of this property.
4. **Implement Site Specific and Other Source Control BMP's:** Standard commercial source control will be utilized in order to minimize potential pollutants entering the storm system. Example source control measures consist of: indoor storage of household chemicals; and trash receptacles in common areas.

Drainage ditch along HWY 24 will be used to convey flows to outfall area per attached map below. State the ditch is in acceptable condition and able to convey flow



## 8.0 DRAINAGE & BRIDGE FEES

Drainage and bridge fees are not required as the site has been previously platted.

## 9.0 SUMMARY

Development of Lot 1, Block 1 Johnson's Vacation will not adversely affect surrounding or downstream developments. The developed flows ( $Q_5=3.0\text{cfs}$  and  $Q_{100}=5.5\text{cfs}$ ) reaching the existing Type D inlet at the south corner of the site, are less than those captured by the inlet in its current condition ( $Q_5=4.0\text{cfs}$  and  $Q_{100}=7.8\text{cfs}$ ) due to the introduction of open space, landscaping and cobble-lined swales.

## 10.0 REFERENCES

The sources of information used in the development of this study are listed below:

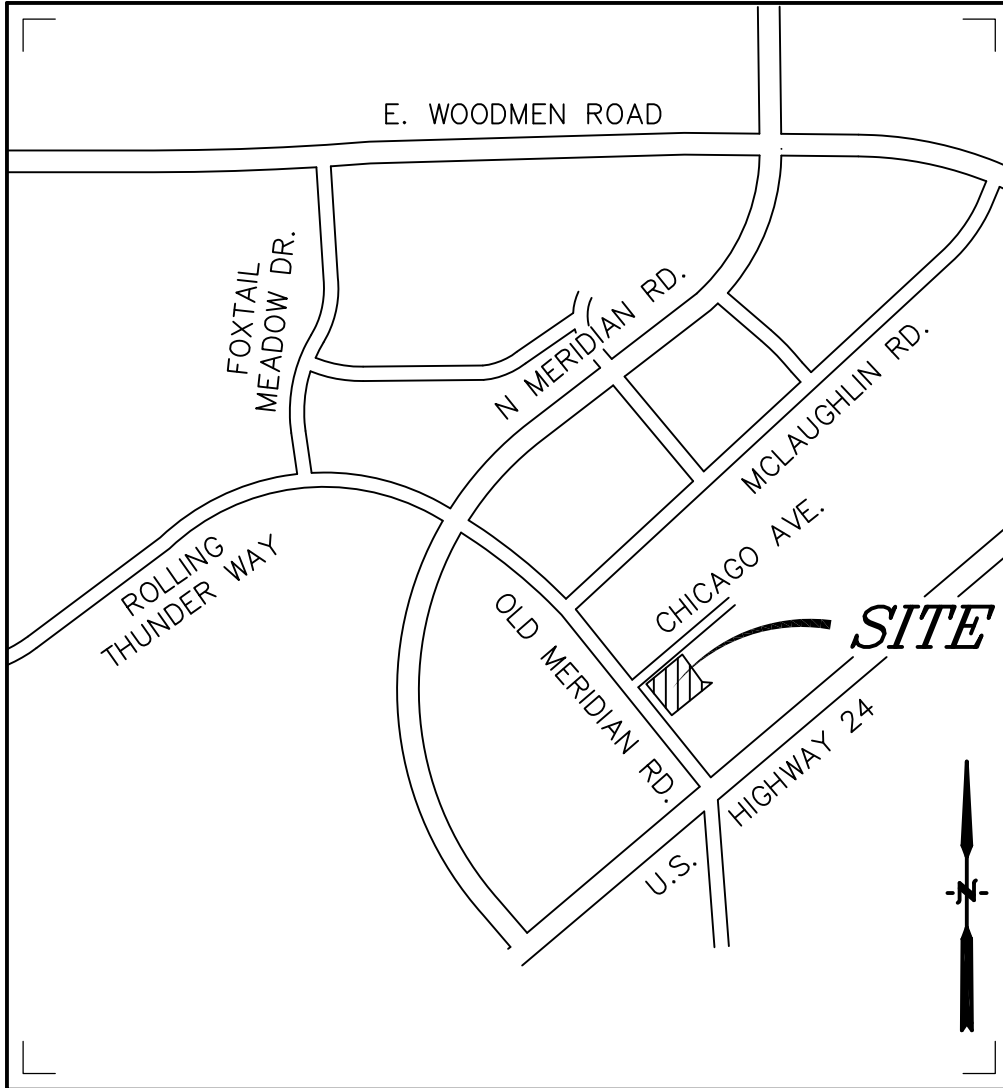
1. El Paso County Drainage Criteria Manual, 10-31-2018.
2. Falcon Highlands Master Development Drainage Plan & Preliminary Drainage Report & Final Drainage Report for Filing No. 1 (URS, Revised January 2005)
3. Falcon Drainage Basin Planning Study (Matrix Design Group, September 2015).

Include a map in the appendix that depicts the flow from the site to its final downstream outfall area and explain this routing in the narrative. Provide statement that the HWY 24 drainage ditch is in suitable condition and that no negative downstream effects are expected based on flows from the site. Pond WU over detains flows from the north and west of New Meridian thus allowing flows from Old Meridian and Chicago Ave area basins to be supported in this manner

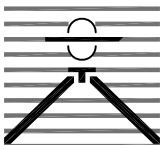




## Appendix



*Vicinity Map*  
Not to scale



**LOT 1, BLOCK 1 JOHNSONS VAC.  
FALCON, CO  
VICINITY MAP**

**Drexel, Barrell & Co.**  
Engineers • Surveyors

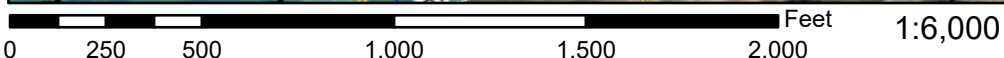
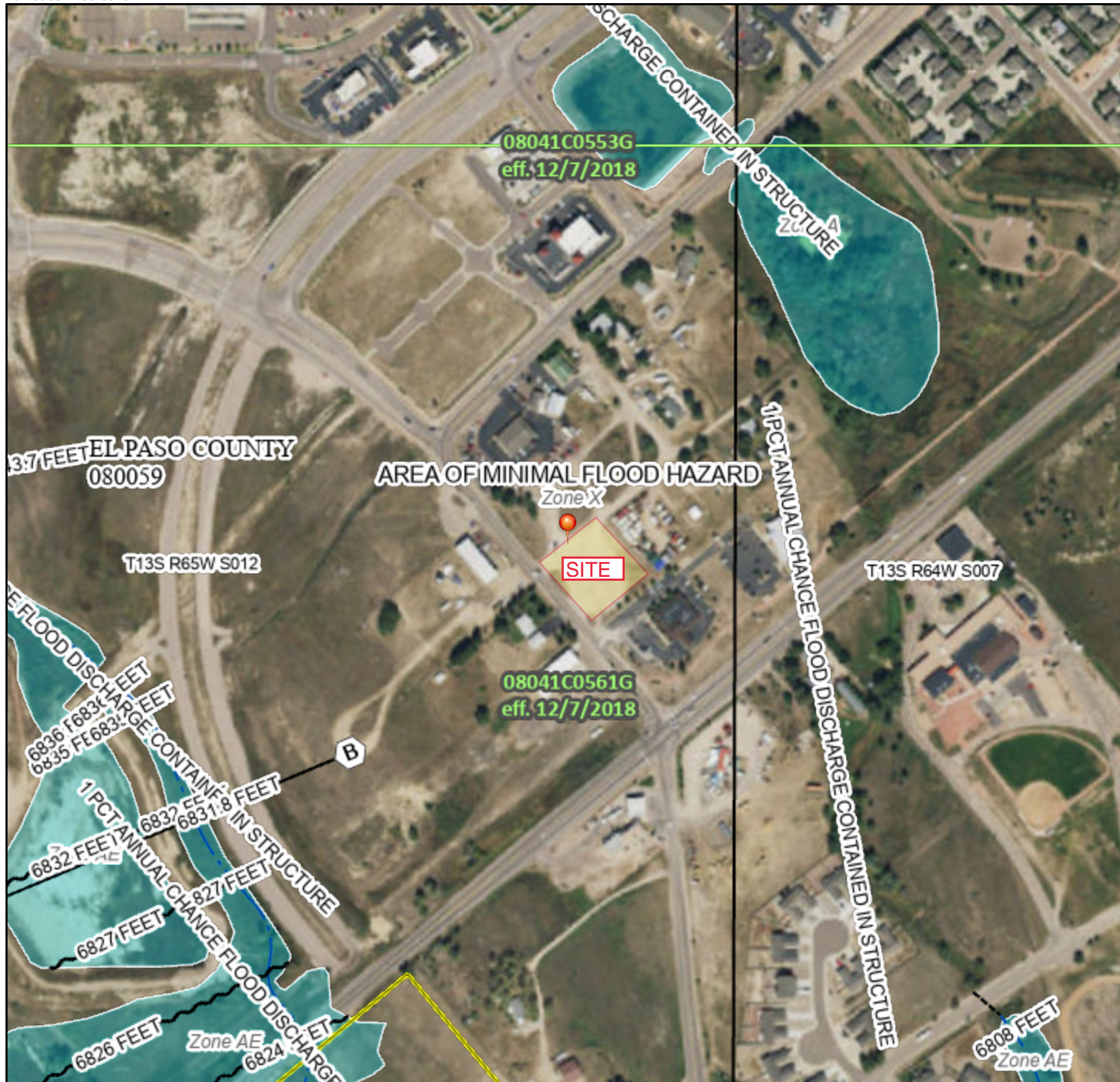
DATE: \_\_\_\_\_  
JOB NO:  
**21496-01CSCV**

DWG. NO.  
**VMAP**  
SHEET 1 OF 1

# National Flood Hazard Layer FIRMMette



104°36'53"W 38°56'19"N



Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation 17.5
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **10/20/2021 at 3:25 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

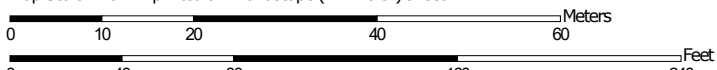
This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



# Custom Soil Resource Report Soil Map




Map Scale: 1:824 if printed on A landscape (11" x 8.5") sheet.



Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84

### MAP LEGEND

**Area of Interest (AOI)**

 Area of Interest (AOI)

**Soils**

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

**Special Point Features**

-  Blowout
-  Borrow Pit
-  Clay Spot
-  Closed Depression
-  Gravel Pit
-  Gravelly Spot
-  Landfill
-  Lava Flow
-  Marsh or swamp
-  Mine or Quarry
-  Miscellaneous Water
-  Perennial Water
-  Rock Outcrop
-  Saline Spot
-  Sandy Spot
-  Severely Eroded Spot
-  Sinkhole
-  Slide or Slip
-  Sodic Spot

-  Spoil Area
-  Stony Spot
-  Very Stony Spot
-  Wet Spot
-  Other
-  Special Line Features

**Water Features**

 Streams and Canals

**Transportation**

-  Rails
-  Interstate Highways
-  US Routes
-  Major Roads
-  Local Roads

**Background**

 Aerial Photography

### MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: El Paso County Area, Colorado  
 Survey Area Data: Version 19, Aug 31, 2021

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2018—Oct 20, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
8	Blakeland loamy sand, 1 to 9 percent slopes	0.7	57.6%
19	Columbine gravelly sandy loam, 0 to 3 percent slopes	0.5	42.4%
<b>Totals for Area of Interest</b>		<b>1.2</b>	<b>100.0%</b>

## Map Unit Descriptions

The map units delineated on the detailed soil maps in a soil survey represent the soils or miscellaneous areas in the survey area. The map unit descriptions, along with the maps, can be used to determine the composition and properties of a unit.

A map unit delineation on a soil map represents an area dominated by one or more major kinds of soil or miscellaneous areas. A map unit is identified and named according to the taxonomic classification of the dominant soils. Within a taxonomic class there are precisely defined limits for the properties of the soils. On the landscape, however, the soils are natural phenomena, and they have the characteristic variability of all natural phenomena. Thus, the range of some observed properties may extend beyond the limits defined for a taxonomic class. Areas of soils of a single taxonomic class rarely, if ever, can be mapped without including areas of other taxonomic classes. Consequently, every map unit is made up of the soils or miscellaneous areas for which it is named and some minor components that belong to taxonomic classes other than those of the major soils.

Most minor soils have properties similar to those of the dominant soil or soils in the map unit, and thus they do not affect use and management. These are called noncontrasting, or similar, components. They may or may not be mentioned in a particular map unit description. Other minor components, however, have properties and behavioral characteristics divergent enough to affect use or to require different management. These are called contrasting, or dissimilar, components. They generally are in small areas and could not be mapped separately because of the scale used. Some small areas of strongly contrasting soils or miscellaneous areas are identified by a special symbol on the maps. If included in the database for a given area, the contrasting minor components are identified in the map unit descriptions along with some characteristics of each. A few areas of minor components may not have been observed, and consequently they are not mentioned in the descriptions, especially where the pattern was so complex that it was impractical to make enough observations to identify all the soils and miscellaneous areas on the landscape.

The presence of minor components in a map unit in no way diminishes the usefulness or accuracy of the data. The objective of mapping is not to delineate pure taxonomic classes but rather to separate the landscape into landforms or landform segments that have similar use and management requirements. The delineation of such segments on the map provides sufficient information for the development of resource plans. If intensive use of small areas is planned, however,

## Custom Soil Resource Report

onsite investigation is needed to define and locate the soils and miscellaneous areas.

An identifying symbol precedes the map unit name in the map unit descriptions. Each description includes general facts about the unit and gives important soil properties and qualities.

Soils that have profiles that are almost alike make up a *soil series*. Except for differences in texture of the surface layer, all the soils of a series have major horizons that are similar in composition, thickness, and arrangement.

Soils of one series can differ in texture of the surface layer, slope, stoniness, salinity, degree of erosion, and other characteristics that affect their use. On the basis of such differences, a soil series is divided into *soil phases*. Most of the areas shown on the detailed soil maps are phases of soil series. The name of a soil phase commonly indicates a feature that affects use or management. For example, Alpha silt loam, 0 to 2 percent slopes, is a phase of the Alpha series.

Some map units are made up of two or more major soils or miscellaneous areas. These map units are complexes, associations, or undifferentiated groups.

A *complex* consists of two or more soils or miscellaneous areas in such an intricate pattern or in such small areas that they cannot be shown separately on the maps. The pattern and proportion of the soils or miscellaneous areas are somewhat similar in all areas. Alpha-Beta complex, 0 to 6 percent slopes, is an example.

An *association* is made up of two or more geographically associated soils or miscellaneous areas that are shown as one unit on the maps. Because of present or anticipated uses of the map units in the survey area, it was not considered practical or necessary to map the soils or miscellaneous areas separately. The pattern and relative proportion of the soils or miscellaneous areas are somewhat similar. Alpha-Beta association, 0 to 2 percent slopes, is an example.

An *undifferentiated group* is made up of two or more soils or miscellaneous areas that could be mapped individually but are mapped as one unit because similar interpretations can be made for use and management. The pattern and proportion of the soils or miscellaneous areas in a mapped area are not uniform. An area can be made up of only one of the major soils or miscellaneous areas, or it can be made up of all of them. Alpha and Beta soils, 0 to 2 percent slopes, is an example.

Some surveys include *miscellaneous areas*. Such areas have little or no soil material and support little or no vegetation. Rock outcrop is an example.



## El Paso County Area, Colorado

### 8—Blakeland loamy sand, 1 to 9 percent slopes

#### Map Unit Setting

*National map unit symbol:* 369v  
*Elevation:* 4,600 to 5,800 feet  
*Mean annual precipitation:* 14 to 16 inches  
*Mean annual air temperature:* 46 to 48 degrees F  
*Frost-free period:* 125 to 145 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Blakeland and similar soils:* 98 percent  
*Minor components:* 2 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Blakeland

##### Setting

*Landform:* Hills, flats  
*Landform position (three-dimensional):* Side slope, talf  
*Down-slope shape:* Linear  
*Across-slope shape:* Linear  
*Parent material:* Alluvium derived from sedimentary rock and/or eolian deposits derived from sedimentary rock

##### Typical profile

*A - 0 to 11 inches:* loamy sand  
*AC - 11 to 27 inches:* loamy sand  
*C - 27 to 60 inches:* sand

##### Properties and qualities

*Slope:* 1 to 9 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Somewhat excessively drained  
*Runoff class:* Low  
*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 5 percent  
*Available water supply, 0 to 60 inches:* Low (about 4.5 inches)

##### Interpretive groups

*Land capability classification (irrigated):* 3e  
*Land capability classification (nonirrigated):* 6e  
*Hydrologic Soil Group:* A  
*Ecological site:* R049XB210CO - Sandy Foothill  
*Hydric soil rating:* No

#### Minor Components

##### Other soils

*Percent of map unit:* 1 percent

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*Hydric soil rating:* No

### **Pleasant**

*Percent of map unit:* 1 percent

*Landform:* Depressions

*Hydric soil rating:* Yes

## **19—Columbine gravelly sandy loam, 0 to 3 percent slopes**

### **Map Unit Setting**

*National map unit symbol:* 367p

*Elevation:* 6,500 to 7,300 feet

*Mean annual precipitation:* 14 to 16 inches

*Mean annual air temperature:* 46 to 50 degrees F

*Frost-free period:* 125 to 145 days

*Farmland classification:* Not prime farmland

### **Map Unit Composition**

*Columbine and similar soils:* 97 percent

*Minor components:* 3 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

### **Description of Columbine**

#### **Setting**

*Landform:* Flood plains, fan terraces, fans

*Down-slope shape:* Linear

*Across-slope shape:* Linear

*Parent material:* Alluvium

#### **Typical profile**

*A - 0 to 14 inches:* gravelly sandy loam

*C - 14 to 60 inches:* very gravelly loamy sand

#### **Properties and qualities**

*Slope:* 0 to 3 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Well drained

*Runoff class:* Very low

*Capacity of the most limiting layer to transmit water (Ksat):* High to very high (5.95 to 19.98 in/hr)

*Depth to water table:* More than 80 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Available water supply, 0 to 60 inches:* Very low (about 2.5 inches)

#### **Interpretive groups**

*Land capability classification (irrigated):* 4e

*Land capability classification (nonirrigated):* 6e

*Hydrologic Soil Group:* A

*Ecological site:* R049XY214CO - Gravelly Foothill

## Custom Soil Resource Report

*Hydric soil rating:* No

### **Minor Components**

#### **Fluvaquentic haplaquolls**

*Percent of map unit:* 1 percent

*Landform:* Swales

*Hydric soil rating:* Yes

#### **Other soils**

*Percent of map unit:* 1 percent

*Hydric soil rating:* No

#### **Pleasant**

*Percent of map unit:* 1 percent

*Landform:* Depressions

*Hydric soil rating:* Yes

# PROJECT INFORMATION

**PROJECT:** Falcon Kenshin  
**PROJECT NO:** 21496-01  
**DESIGN BY:** KGV  
**REV. BY:** TDM  
**AGENCY:** El Paso County  
**REPORT TYPE:** Final  
**DATE:** 1/27/2023



Drexel, Barrell & Co.

	C2*	C5*	C10*	C100*	% IMPERV
Open Space		0.30		0.45	0
Roof		0.90		0.95	90
Parking/Drives		0.90		0.95	100
Streets: Gravel		0.80		0.85	80

\*C-Values and Basin Imperviousness based on Table 5-1, El Paso County Drainage Criteria Manual

## EXISTING CONDITION

SUB-BASIN	SURFACE DESIGNATION	AREA ACRE	COMPOSITE RUNOFF COEFFICIENTS				% IMPERV
			C2	C5	C10	C100	
OS1	Open Space	0.42		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Parking/Drives	0.00		0.90		0.95	100
	Streets: Gravel	0.44		0.80		0.85	80
	WEIGHTED AVERAGE			0.56		0.66	41%
<b>TOTAL OS1</b>		0.86					
OS2	Open Space	0.00		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Parking/Drives	0.00		0.90		0.95	100
	Streets: Gravel	0.15		0.80		0.85	80
	WEIGHTED AVERAGE			0.80		0.85	80%
<b>TOTAL OS2</b>		0.15					
E1	Open Space	0.25		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Parking/Drives	0.00		0.90		0.95	100
	Streets: Gravel	0.47		0.80		0.85	80
	WEIGHTED AVERAGE			0.63		0.71	52%
<b>TOTAL E1</b>		0.73					
E2	Open Space	0.06		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Parking/Drives	0.00		0.90		0.95	100
	Streets: Gravel	0.03		0.80		0.85	80
	WEIGHTED AVERAGE			0.46		0.58	26%
<b>TOTAL E2</b>		0.09					

## PROJECT INFORMATION

**PROJECT:** Falcon Kenshin  
**PROJECT NO:** 21496-01  
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**REV. BY:** TDM  
**AGENCY:** El Paso County  
**REPORT TYPE:** Final  
**DATE:** 1/27/2023



Drexel, Barrell & Co.

## RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF EXISTING TIME OF CONCENTRATION

SUB-BASIN DATA					INITIAL/OVERLAND TIME ( $t_i$ )			TRAVEL TIME ( $t_t$ )				TIME OF CONCENTRATION $t_c$		
BASIN	DESIGN PT:	$C_5$	$C_{100}$	AREA	LENGTH	SLOPE	$t_i$	LENGTH	SLOPE	VEL.	$t_t$	COMP.		MINIMUM
				Ac	Ft	%	Min	Ft	%	FPS	Min	$t_c$		$t_c$
OS1		0.56	0.66	0.86	100	1.0	10.0	235	1.0	5.20	0.8	10.7		5
OS2		0.80	0.85	0.15	100	1.0	5.5	25	1.0	5.20	0.1	5.6		5
E1		0.63	0.71	0.73	100	1.0	8.7	135	1.0	5.20	0.4	9.1		5
OS2+E1	DP1	0.54	0.62	1.75	From E1							9.1		5
E2		0.46	0.58	0.09	76	1.0	10.2					10.2		5

## PROJECT INFORMATION

**PROJECT:** Falcon Kenshin  
**PROJECT NO:** 21496-01  
**DESIGN BY:** KGV  
**REV. BY:** TDM  
**AGENCY:** El Paso County  
**REPORT TYPE:** Final  
**DATE:** 1/27/2023



Drexel, Barrell & Co.

## RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF

**EXISTING**      **RUNOFF**      **5 YR**      **STORM**      **P1=**      **1.50**

DIRECT RUNOFF							
BASIN (S)	DESIGN POINT	AREA (AC)	RUNOFF COEFF	t <sub>c</sub> (MIN)	C * A	I (IN/HR)	Q (CFS)
OS1		0.86	0.56	10.7	0.48	4.03	1.9
OS2		0.15	0.80	5.6	0.12	5.00	0.6
E1		0.73	0.63	9.1	0.46	4.26	1.9
OS2+E1	DP1	1.75	0.54	9.1	0.94	4.26	4.0
E2		0.09	0.46	10.2	0.04	4.10	0.2

## PROJECT INFORMATION

PROJECT: Falcon Kenshin  
 PROJECT NO: 21496-01  
 DESIGN BY: KGV  
 REV. BY: TDM  
 AGENCY: El Paso County  
 REPORT TYPE: Final  
 DATE: 1/27/2023



Drexel, Barrell & Co.

## RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF

EXISTING      RUNOFF      100 YR      STORM      P1=      **2.52**

DIRECT RUNOFF							
BASIN (S)	DESIGN POINT	AREA (AC)	RUNOFF COEFF	$t_c$ (MIN)	C * A	I (IN/HR)	Q (CFS)
OS1		0.86	0.66	10.7	0.57	6.76	3.8
OS2		0.15	0.00	5.6	0.00	8.40	0.0
E1		0.73	0.71	9.1	0.52	7.16	3.7
OS2+E1	DP1	1.75	0.62	9.1	1.08	7.16	7.8
E2		0.09	0.58	10.2	0.05	6.88	0.4



# PROJECT INFORMATION

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Drexel, Barrell & Co.

	C2*	C5*	C10*	C100*	% IMPERV
Open Space		0.30		0.45	0
Roof		0.90		0.95	90
Asphalt/Concrete		0.90		0.95	100
Gravel		0.80		0.85	80

\*C-Values and Basin Imperviousness based on Table 5-1, El Paso County Drainage Criteria Manual

## DEVELOPED CONDITION

SUB-BASIN	SURFACE DESIGNATION	AREA ACRE	COMPOSITE RUNOFF COEFFICIENTS				% IMPERV
			C2	C5	C10	C100	
OS1	Open Space	0.42		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Asphalt/Concrete	0.18		0.90		0.95	100
	Gravel	0.26		0.80		0.85	80
	WEIGHTED AVERAGE			0.58		0.68	45%
<b>TOTAL OS1</b>		0.86					
OS2	Open Space	0.00		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Asphalt/Concrete	0.00		0.90		0.95	100
	Gravel	0.15		0.80		0.85	80
	WEIGHTED AVERAGE			0.80		0.85	80%
<b>TOTAL OS2</b>		0.15					
A1	Open Space	0.03		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Asphalt/Concrete	0.11		0.90		0.95	100
	Gravel	0.00		0.80		0.85	80
	WEIGHTED AVERAGE			0.78		0.85	80%
<b>TOTAL A1</b>		0.14					
A2	Open Space	0.09		0.30		0.45	0
	Roof	0.12		0.90		0.95	90
	Asphalt/Concrete	0.05		0.90		0.95	100
	Gravel	0.00		0.80		0.85	80
	WEIGHTED AVERAGE			0.69		0.78	61%
<b>TOTAL A2</b>		0.26					
A3	Open Space	0.01		0.30		0.45	0
	Roof	0.00		0.90		0.95	90
	Asphalt/Concrete	0.11		0.90		0.95	100
	Gravel	0.00		0.80		0.85	80
	WEIGHTED AVERAGE			0.84		0.90	90%

# PROJECT INFORMATION

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**AGENCY:** El Paso County  
**REPORT TYPE:** Final  
**DATE:** 1/27/2023



Drexel, Barrell & Co.

	C2*	C5*	C10*	C100*	% IMPERV
Open Space		0.30		0.45	0
Roof		0.90		0.95	90
Asphalt/Concrete		0.90		0.95	100
Gravel		0.80		0.85	80

\*C-Values and Basin Imperviousness based on Table 5-1, El Paso County Drainage Criteria Manual

<b>TOTAL A3</b>		0.12				
<b>A4</b>	Open Space	0.09	0.30		0.45	0
	Roof	0.12	0.90		0.95	90
	Asphalt/Concrete	0.04	0.90		0.95	100
	Gravel	0.00	0.80		0.85	80
	WEIGHTED AVERAGE		0.69		0.77	60%
<b>TOTAL A4</b>		0.26				
<b>A5</b>	Open Space	0.02	0.30		0.45	0
	Roof	0.00	0.90		0.95	90
	Asphalt/Concrete	0.00	0.90		0.95	100
	Gravel	0.00	0.80		0.85	80
	WEIGHTED AVERAGE		0.30		0.45	0%
<b>TOTAL A5</b>		0.02				

## PROJECT INFORMATION

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 DESIGN BY: KGV  
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 AGENCY: El Paso County  
 REPORT TYPE: Final  
 DATE: 1/27/2023



Drexel, Barrell & Co.

### RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF DEVELOPED TIME OF CONCENTRATION

SUB-BASIN DATA					INITIAL/OVERLAND TIME ( $t_i$ )			TRAVEL TIME ( $t_t$ )				TIME OF CONCENTRATION $t_c$			FINAL $t_c$
BASIN	DESIGN PT:	$C_5$	$C_{100}$	AREA	LENGTH	SLOPE	$t_i$	LENGTH	SLOPE	VEL.	$t_t$	COMP.		MINIMUM	
				Ac	Ft	%	Min	Ft	%	FPS	Min	$t_c$		$t_c$	Min
OS1	DPO1	0.58	0.68	0.86	100	1.0	9.6	235	1.0	5.20	0.8	10.3		5	10.3
OS2		0.80	0.85	0.15	100	1.0	5.5	25	1.0	5.20	0.1	5.6		5	5.6
A1		0.78	0.85	0.14	10	2.0	1.5	85	1.0	2.50	0.6	2.1		5	5.0
OS2+A1	DP1	0.79	0.85	0.29	From OS2			85	1.0	2.50	0.6	5.6		5	5.6
A2		0.69	0.78	0.26	20	10.0	1.5	187	1.0	2.50	1.2	2.8		5	5.0
A3	DP2	0.84	0.90	0.12	20	0.5	2.7	110	1.6	3.00	0.6	3.3		5	5.0
A4		0.69	0.77	0.26	20	10.0	1.6	67	1.0	2.50	0.4	6.0		5	6.0
DP1+A2+DP2+D4	DP3	0.74	0.81	0.93	From DP1			260	1.0	1.50	2.9	8.5		5	8.5
A5		0.30	0.45	0.02	25	1.0	7.3	60	1.0	2.50	0.4	7.7		5	7.7

## PROJECT INFORMATION

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**DATE:** 1/27/2023



Drexel, Barrell & Co.

## RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF

**DEVELOPED**      **RUNOFF**      **5 YR**      **STORM**      **P1=**      **1.50**

DIRECT RUNOFF							
BASIN (S)	DESIGN POINT	AREA (AC)	RUNOFF COEFF	t <sub>c</sub> (MIN)	C * A	I (IN/HR)	Q (CFS)
OS1	DPO1	0.86	0.58	10.3	0.50	4.08	2.0
OS2		0.15	0.80	5.6	0.12	5.00	0.6
A1		0.14	0.78	5.0	0.11	5.17	0.6
OS2+A1	DP1	0.29	0.79	5.6	0.23	5.01	1.2
A2		0.26	0.69	5.0	0.18	5.17	0.9
A3	DP2	0.12	0.84	5.0	0.10	5.17	0.5
A4		0.26	0.69	6.0	0.18	4.89	0.9
DP1+A2+DP2+D4	DP3	0.93	0.74	8.5	0.69	4.38	3.0
A5		0.02	0.30	7.7	0.00	4.51	0.02

## PROJECT INFORMATION

PROJECT: Falcon Kenshin  
 PROJECT NO: 21496-01  
 DESIGN BY: KGV  
 REV. BY: TDM  
 AGENCY: El Paso County  
 REPORT TYPE: Final  
 DATE: 1/27/2023



Drexel, Barrell & Co.

## RATIONAL METHOD CALCULATIONS FOR STORM WATER RUNOFF

DEVELOPED RUNOFF 100 YR STORM P1= **2.52**

DIRECT RUNOFF							
BASIN (S)	DESIGN POINT	AREA (AC)	RUNOFF COEFF	t <sub>c</sub> (MIN)	C * A	I (IN/HR)	Q (CFS)
OS1	DPO1	0.86	0.68	10.3	0.58	6.85	4.0
OS2		0.15	0.85	5.6	0.13	8.40	1.1
A1		0.14	0.85	5.0	0.12	8.68	1.0
OS2+A1	DP1	0.29	0.85	5.6	0.25	8.41	2.1
A2		0.26	0.78	5.0	0.20	8.68	1.8
A3	DP2	0.12	0.90	5.0	0.11	8.68	0.9
A4		0.26	0.77	6.0	0.20	8.21	1.6
DP1+A2+DP2+D4	DP3	0.93	0.81	8.5	0.75	7.36	5.5
A5		0.02	0.45	7.7	0.01	7.58	0.1

# Worksheet

## Worksheet for Trapezoidal Channel

---

### Project Description

---

Worksheet	Trapezoidal Channel
Flow Element	Trapezoidal Channel
Method	Manning's Formula
Solve For	Channel Depth

---

---

### Input Data

---

Mannings Coefficient	0.035
Slope	015000 ft/ft
Left Side Slope	3.00 V : H
Right Side Slope	3.00 V : H
Bottom Width	2.00 ft
Discharge	5.00 cfs

---

---

### Results

---

Depth	0.72 ft
Flow Area	1.6 ft <sup>2</sup>
Wetted Perimeter	3.52 ft
Top Width	2.48 ft
Critical Depth	0.56 ft
Critical Slope	0.032882 ft/ft
Velocity	3.09 ft/s
Velocity Head	0.15 ft
Specific Energy	0.87 ft
Froude Number	0.68
Flow Type	Subcritical

---

2' DEEP CHANNEL. 0.72' FLOW DEPTH  
= MORE THAN 1' OF FREEBOARD AT  
100-YR CONDITION

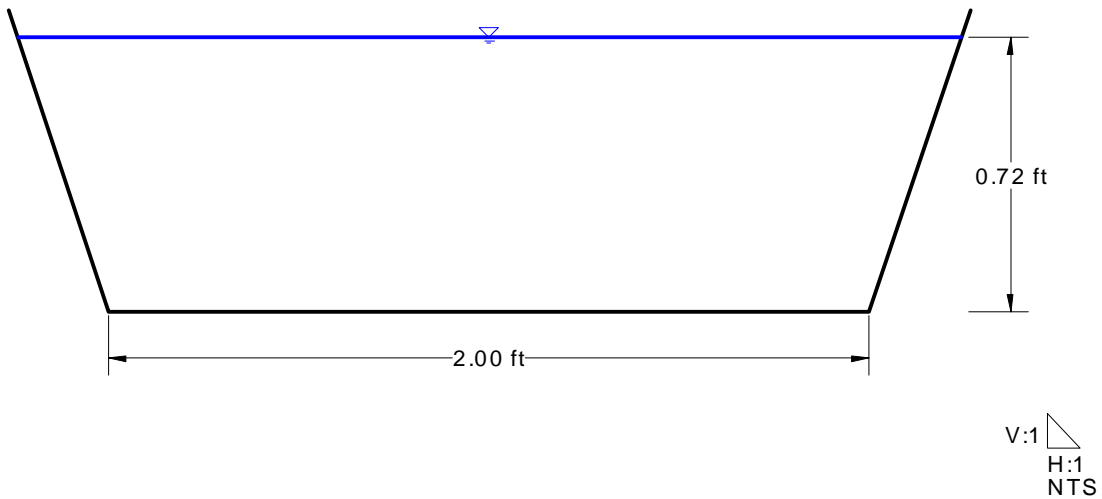
# Cross Section

## Cross Section for Trapezoidal Channel

Project Description	
Worksheet	Trapezoidal Channel
Flow Element	Trapezoidal Channel
Method	Manning's Formula
Solve For	Channel Depth

Section Data	
Mannings Coeff	0.035
Slope	015000 ft/ft
Depth	0.72 ft
Left Side Slope	3.00 V : H
Right Side Slope	3.00 V : H
Bottom Width	2.00 ft
Discharge	5.00 cfs

2' DEEP CHANNEL. 0.72' FLOW DEPTH  
= MORE THAN 1' OF FREEBOARD AT  
100-YR CONDITION

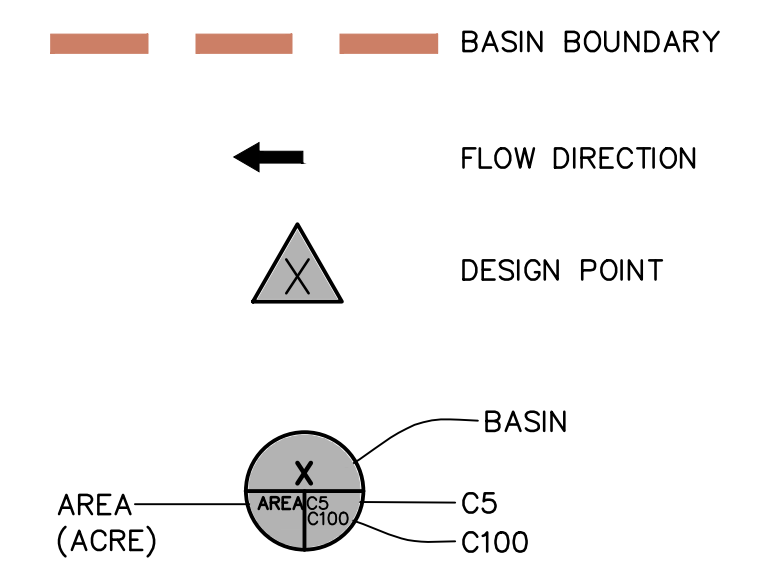




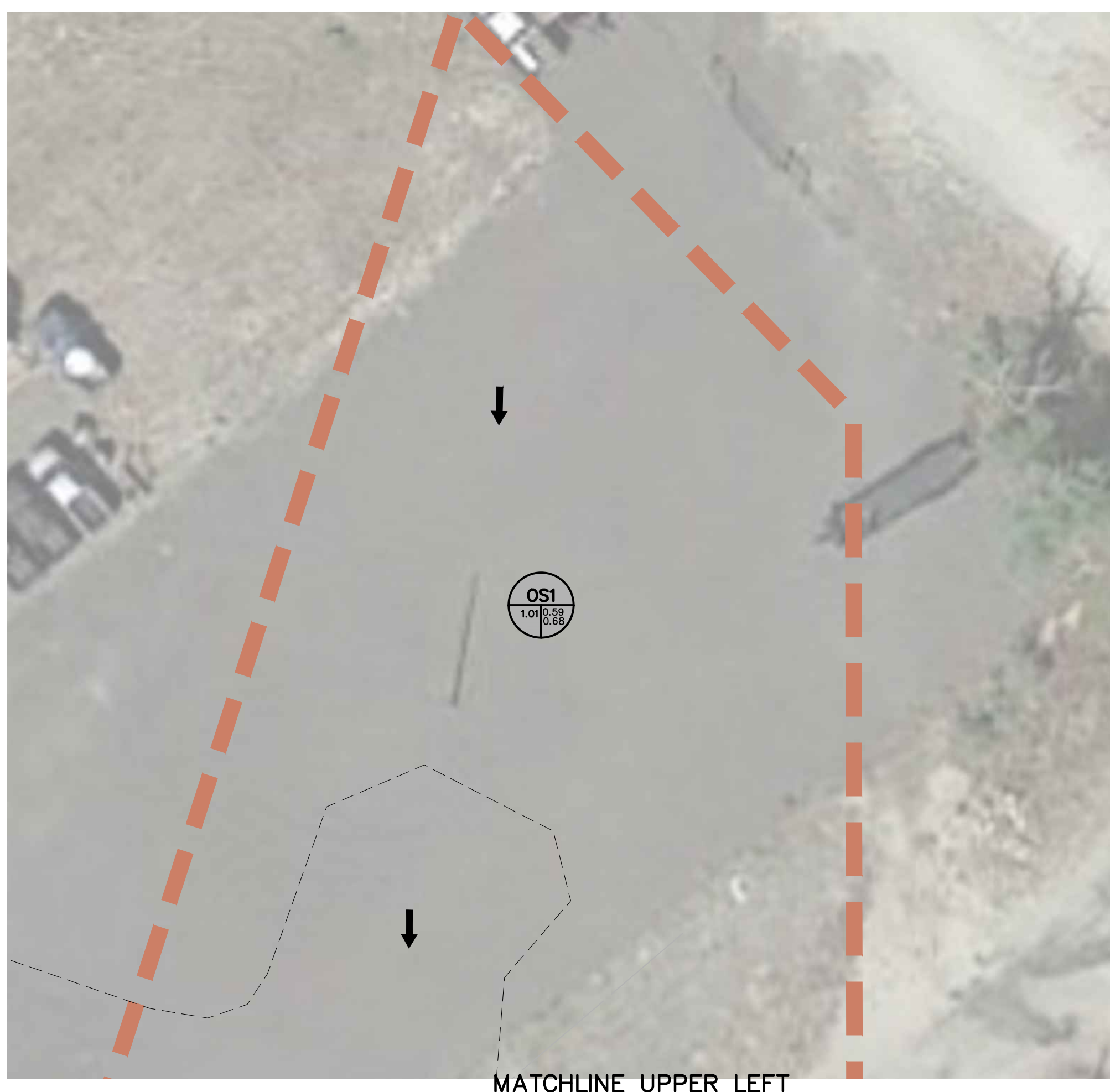
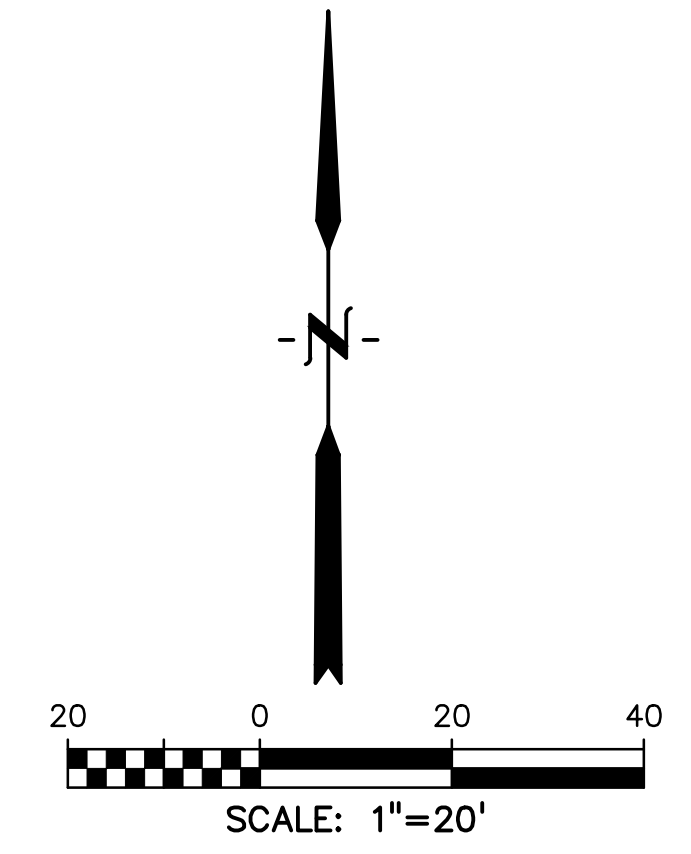


**LEGEND**

- PROPOSED INTERMEDIATE CONTOUR..... 5522
- PROPOSED INDEX CONTOUR..... 5520
- EX. INTERMEDIATE CONTOUR..... 5364
- EX. INDEX CONTOUR..... 5365
- DIRECTION OF FLOW..... ←



BASIN & DESIGN POINT SUMMARY				
BASIN (S)	DP	AREA (AC)	Q5	Q100
OS1		0.86	1.9	3.8
OS2		0.15	0.6	0.0
E1		0.73	1.9	3.7
	DP1	1.75	4.0	7.8
E2		0.09	0.2	0.4



PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 3 SOUTH 7TH STREET  
 COLORADO SPGS, COLORADO 80905  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
 BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:  
 HESED, LLC  
 10308 MT. EVANS DRIVE  
 PEYTON, CO 80831

SITE PLAN FOR:  
**FALCON KENSHIN  
 KARATE STUDIO**  
 FALCON, COLORADO

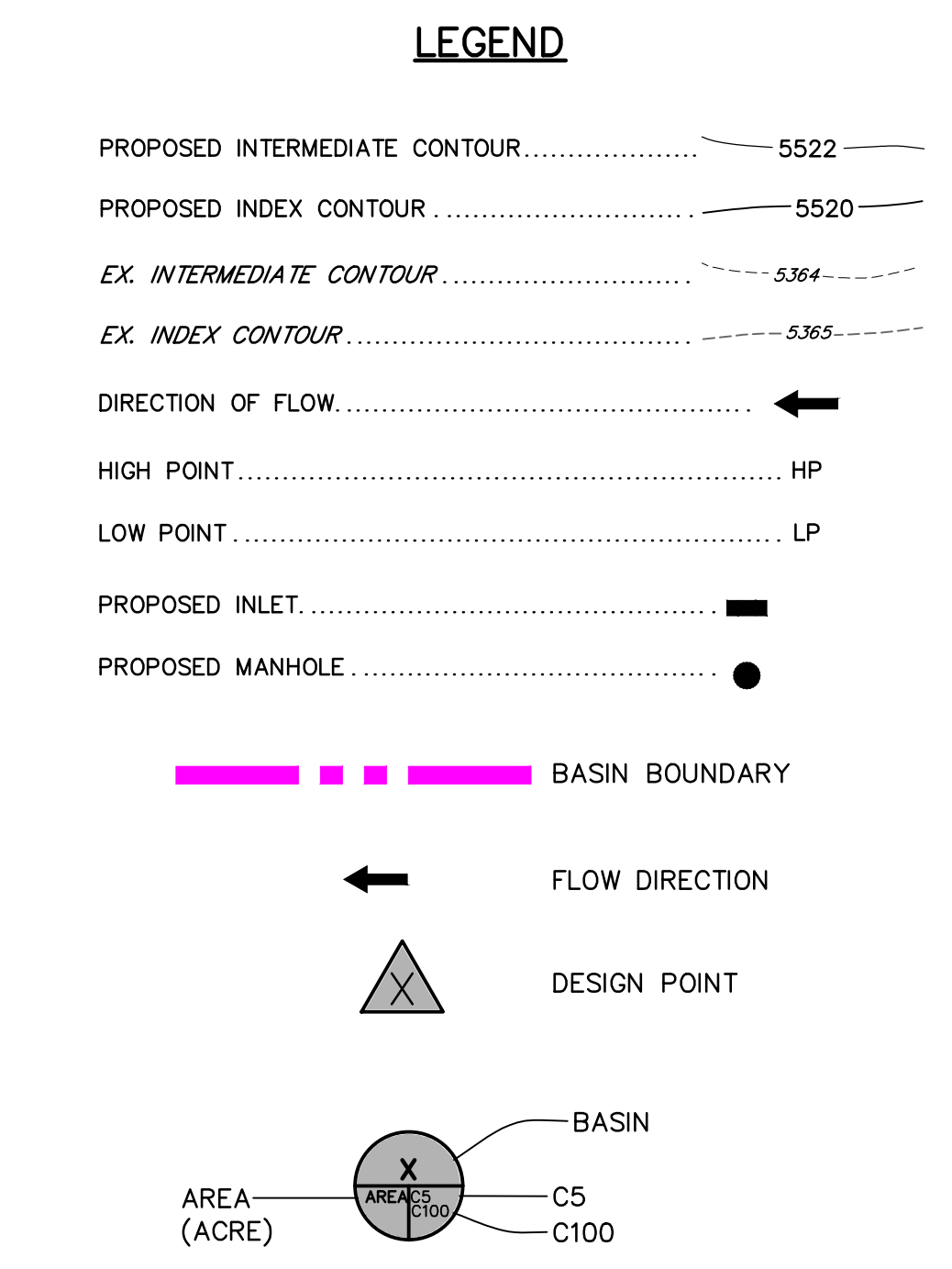
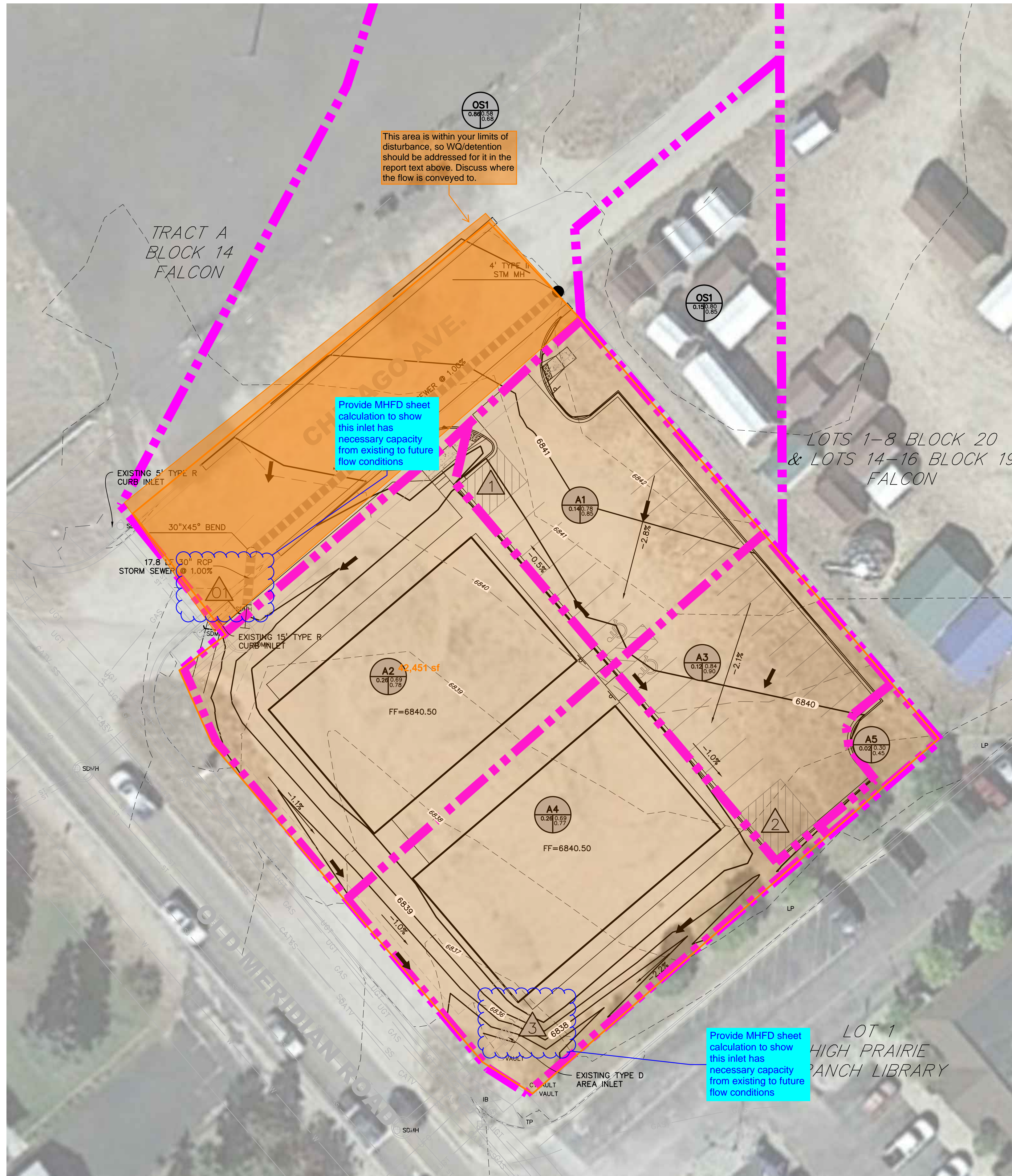
ISSUE	DATE
INITIAL ISSUE	9/30/21
REVISED	4/4/22
DESIGNED BY:	KGV
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	21496-01 DRN

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: N/A

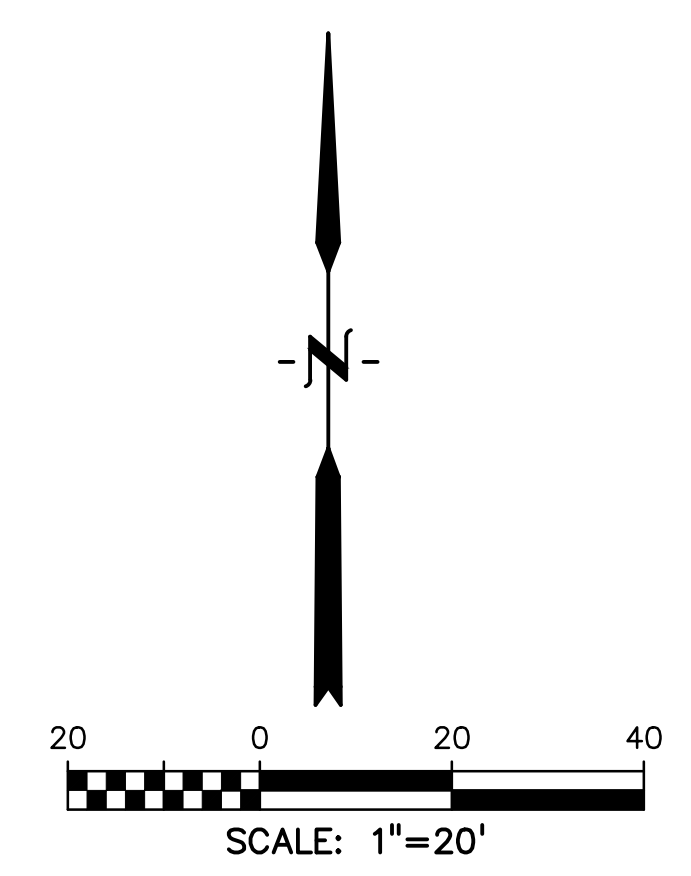
EXISTING DRAINAGE CONDITIONS  
 PROJECT NO. 21496-01CSCV  
 DRAWING NO.

**E1**  
 SHEET: 1 OF 2





RUNOFF SUMMARY				
BASIN (S)	DP	AREA (AC)	Q5	Q100
OS1	DP01	0.86	2.0	4.0
OS2		0.15	0.6	1.1
A1		0.14	0.6	1.0
	DP1	0.29	1.2	2.1
A2		0.26	0.9	1.8
A3	DP2	0.12	0.5	0.9
A4		0.26	0.9	1.6
	DP3	0.93	3.0	5.5
A5		0.02	0.0	0.1



PREPARED BY:

DREXEL, BARRELL & CO.  
Engineers • Surveyors  
3 SOUTH 7TH STREET  
COLORADO SPGS, COLORADO 80905  
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CLIENT:

HESED, LLC  
10308 MT. EVANS DRIVE  
PEYTON, CO 80831

SITE PLAN FOR:

# FALCON KENSHIN KARATE STUDIO

FALCON, COLORADO

ISSUE	DATE
INITIAL ISSUE	10/17/21
RESUBMITTAL	1/27/23
DESIGNED BY:	KGV
DRAWN BY:	KGV
CHECKED BY:	TDM
FILE NAME:	21496-01 DRN

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

DRAWING SCALE:  
HORIZONTAL: 1" = 20'  
VERTICAL: N/A

PROPOSED DRAINAGE CONDITIONS

PROJECT NO. 21496-01CSCV  
DRAWING NO.

# P1

SHEET: 2 OF 2