

# LOT 1, BLOCK 1, JOHNSONS VACATION

## A PORTION OF THE SE $\frac{1}{4}$ OF SECTION 1, TOWNSHIP 13S, RANGE 65W OF THE 6TH P.M. OLD MERIDIAN RD., FALCON, COLORADO

### DEVELOPMENT PLAN

**LEGAL DESCRIPTION:**

LOT 1, BLOCK 1 JOHNSONS VACATION, EXCEPT THAT PART CONVEYED TO ROW BY RECEPTION #219119816.

**FLOODPLAIN STATEMENT:**

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED ON THE NFIP FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, PANEL NUMBER 08041C0561G, DATED DECEMBER 7, 2018.

**ADA DESIGN PROFESSIONAL STANDARDS:**

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

**NOTES:**

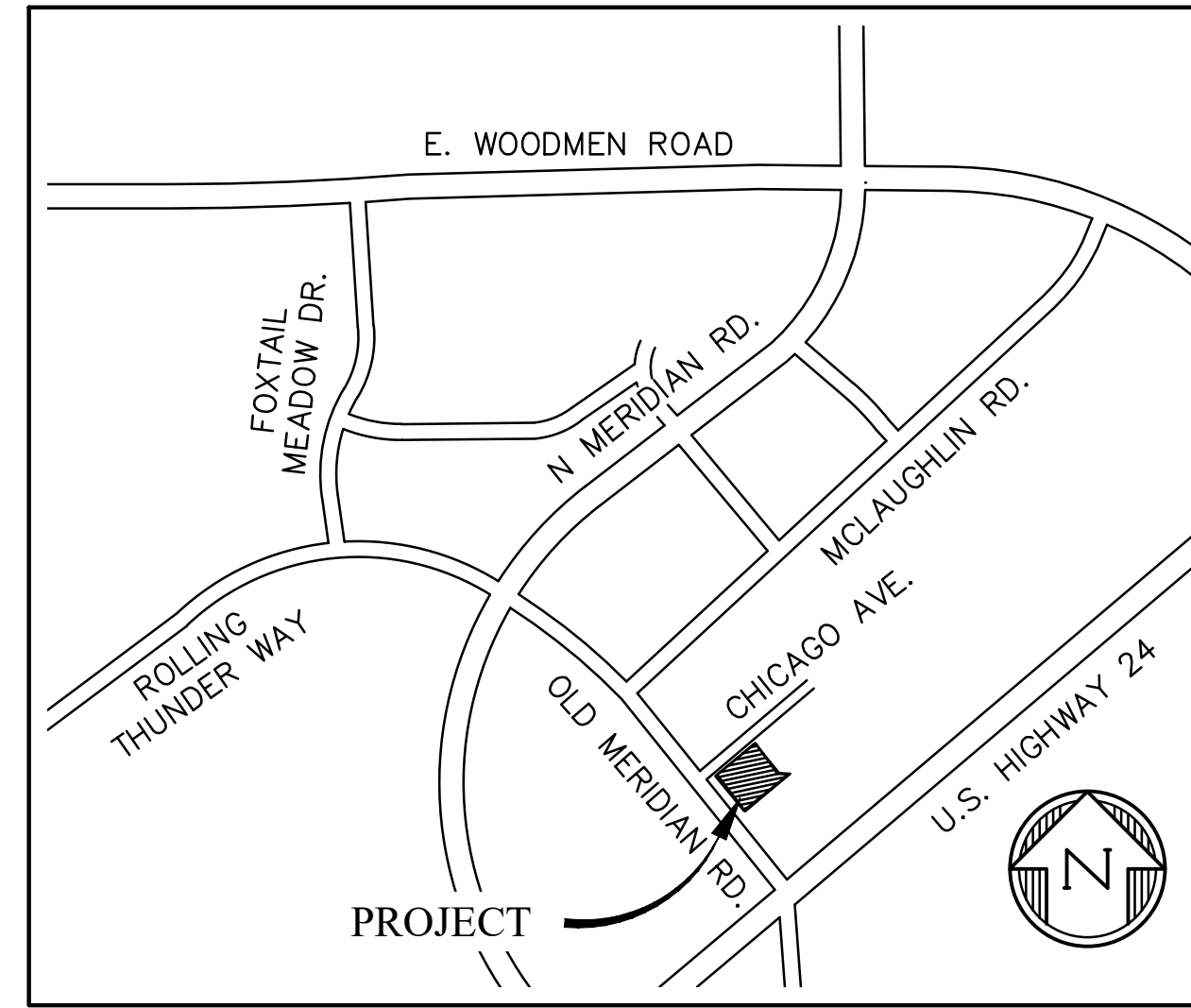
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

**GENERAL NOTES:**

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY AND WESTERLY DIRECTION.
3. THIS DEVELOPMENT IS ONE PHASE AND IS EXISTING.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

**APPROXIMATE SCHEDULE OF DEVELOPMENT:**

BEGIN FALL 2021                      COMPLETE SPRING 2022



**VICINITY MAP**  
SCALE:        NTS

**SITE/BUILDING DATA:**

OWNER/CONTRACTOR:	HESED LLC 10308 MT EVANS DR. PEYTON CO 80831
ARCHITECT:	JOHN DAVIS DESIGN GROUP 176 TALAMINE CT. SUITE #100 COLORADO SPRINGS, CO 80907
TAX SCHEDULE NUMBER:	53121-11-006
DEVELOPMENT PLAN/LOT AREA:	35771 S.F. (0.82 AC)
ZONING: (EXISTING & PROPOSED)	CC (COMMERCIAL COMMUNITY)
LAND USE:	KARATE STUDIO
DRAINAGE BASIN:	FALCON
BUILDING CONSTRUCTION TYPE:	II-B, NOT SPRINKLED
BUILDING AREA:	PROPOSED (2) 4950 SF EACH
BUILDING HEIGHT:	ALLOWED 40' PROPOSED 24'
BUILDING SETBACKS:	FRONT EXISTING & PROPOSED 25' SIDE EXISTING & PROPOSED 25' REAR EXISTING & PROPOSED 25'
LANDSCAPE SETBACK:	ADJACENT TO NON-ARTERIAL ROADWAY 10'
PROPOSED LOT COVERAGE:	10800 SF (30%)
OPEN SPACE:	
LANDSCAPING:	
IMPERMEABLE:	

**PARKING:**

BLDG 1 (1ST FLOOR) FALCON KARATE	4,950 SF
BLDG 1 (2ND FLOOR) MEETING/STORAGE	4,950 SF
BLDG 2 (1ST FLOOR) FALCON KARATE	4,950 SF
BLDG 2 (2ND FLOOR) MEETING/STORAGE	4,950 SF
TOTAL SQUARE FOOTAGE:	19,800 SF
<b>ALTERNATIVE PARKING PLAN</b>	
ADA STALLS PROPOSED	2 SPACES
DEDICATED DROP-OFF SPACE	1 SPACES
TOTAL PROPOSED ON SITE	26 SPACES
TOTAL PROPOSED ON STREET	11 SPACES
TOTAL PARKING PROVIDED	40 SPACES (1 PER 495 SF)

**SHEET INDEX**

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

PREPARED BY:



CLIENT:

HESED LLC

10308 MT. EVANS DR.  
PEYTON, CO 80831  
(719) 646-4896

DEVELOPMENT PLANS FOR:  
**LOT 1, BLOCK 1,  
JOHNSONS VACATION**  
OLD MERIDIAN ROAD  
FALCON, COLORADO

ISSUE	DATE
INITIAL ISSUE	10-17-21
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

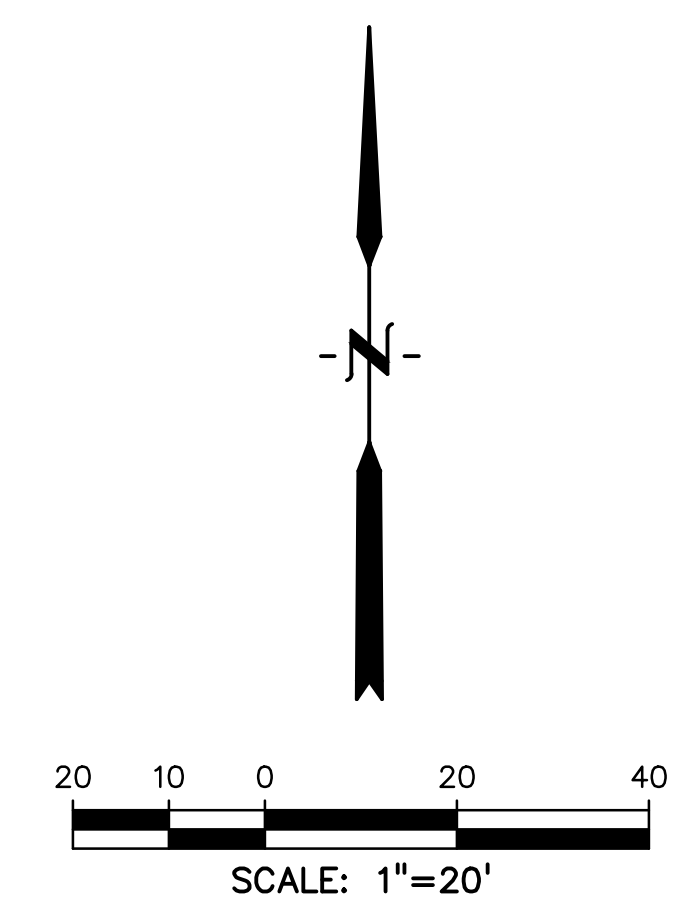
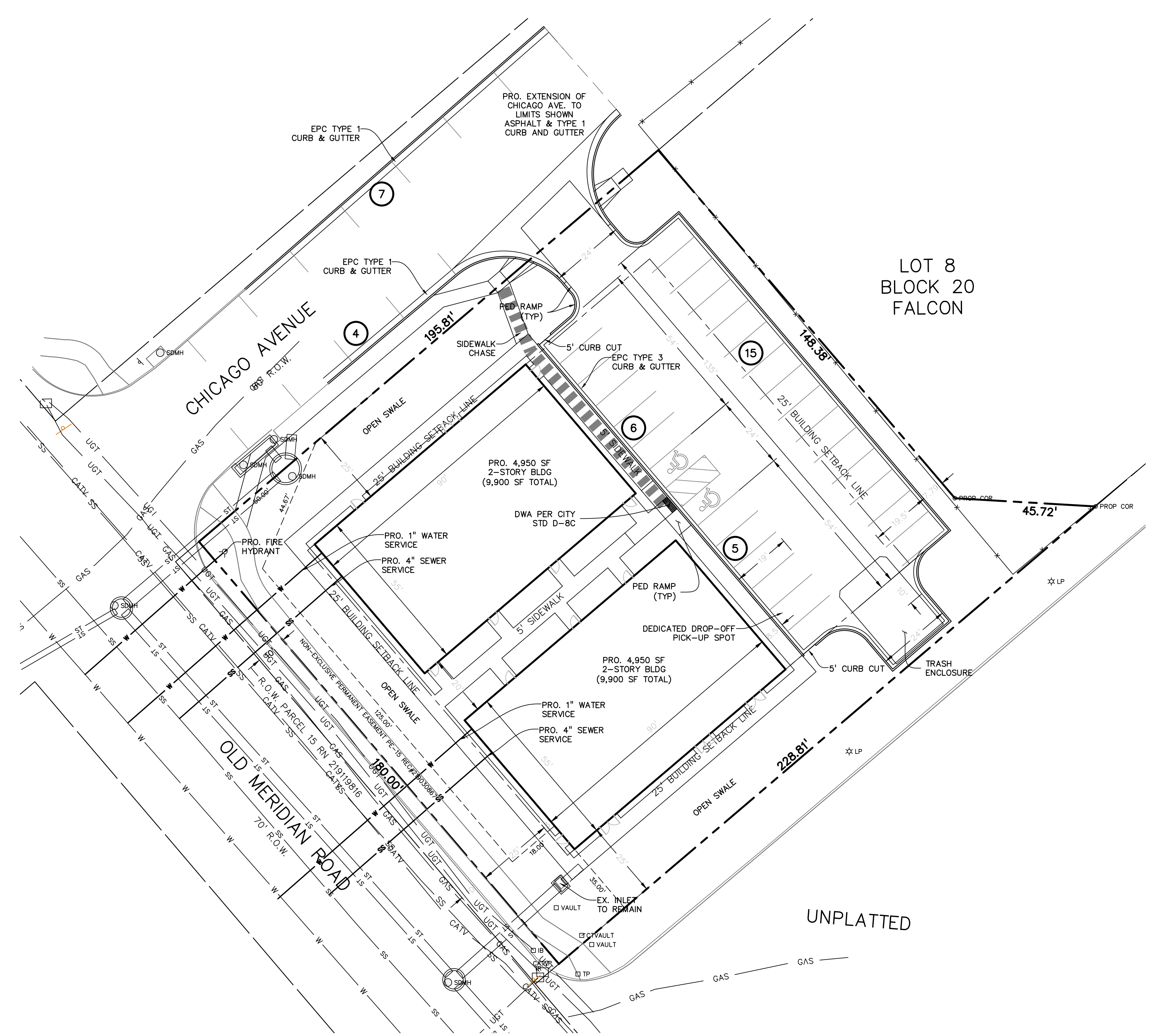
DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

DEVELOPMENT  
PLAN  
COVER SHEET

PROJECT NO. 21496-01CSCV  
DRAWING NO.

**CV**

SHEET: 1 OF 2



**LEGEND**

PROPERTY LINE.....

EASEMENT & ROW.....

SIGN.....

EX SANITARY SEWER..... SS

EX STORM SEWER..... ST

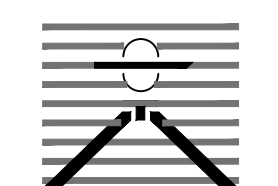
EX WATER..... W

ADA ACCESSIBLE ROUTE TO PUBLIC ROW.....

NUMBER OF PARKING STALLS **29**

**ABBREVIATION**

C&G	CURB AND GUTTER
DWA	DETECTABLE WARNING AREA
EX	EXISTING
PED	PEDESTRIAN
PP	PROPOSED
STD	STANDARD
STM	STORM
SW	SIDEWALK
TYP	TYPICAL

PREPARED BY:  
  
**DREXEL, BARRELL & CO.**  
 Engineers • Surveyors  
 3 SOUTH 7TH STREET  
 COLORADO SPGS, COLORADO 80905  
 CONTACT: TIM D. MCCONNELL, P.E.  
 (719)260-0887  
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DESIGNED BY:	KGV
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FILE NAME:	21496-01USP

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
 DRAWING SCALE:  
 HORIZONTAL: 1" = 20'  
 VERTICAL: N/A

**UTILITY & SITE PLAN**  
 PROJECT NO. 21496-01CSCV  
 DRAWING NO.

**USP**  
 SHEET: 2 OF 2