

# SITE DEVELOPMENT PLAN

## LOT 1, BLOCK 1, JOHNSONS VACATION

### A PORTION OF THE SE $\frac{1}{4}$ OF SECTION 1, TOWNSHIP 13S, RANGE 65W OF THE 6TH P.M. OLD MERIDIAN RD., FALCON, COLORADO

**LEGAL DESCRIPTION:**

LOT 1, BLOCK 1 JOHNSONS VACATION, EXCEPT THAT PART CONVEYED TO ROW BY RECEPTION #219119816.

**FLOODPLAIN STATEMENT:**

THIS PROPERTY IS NOT LOCATED WITHIN A FLOOD HAZARD AREA AS INDICATED ON THE NFIP FLOOD INSURANCE RATE MAP FOR EL PASO COUNTY, PANEL NUMBER 08041C0561G, DATED DECEMBER 7, 2018.

**ADA DESIGN PROFESSIONAL STANDARDS:**

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARD AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE.
2. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY OTHER FEDERAL OR STATE ACCESSIBILITY LAWS OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
3. SOLE RESPONSIBILITY FOR COMPLIANCE WITH FEDERAL AND STATE ACCESSIBILITY LAWS LIES WITH THE PROPERTY OWNER.

**NOTES:**

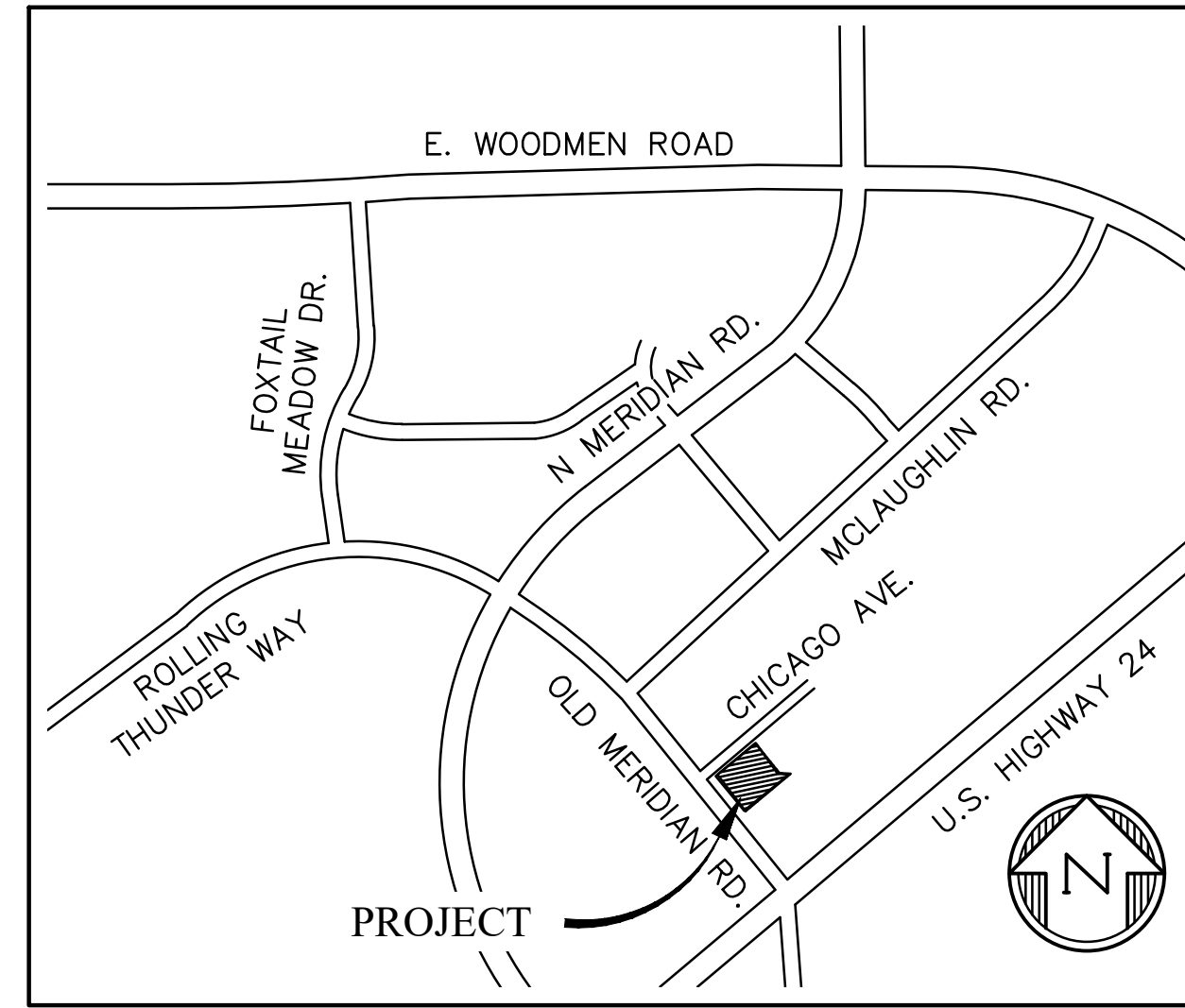
1. A SEPARATE SIGN PERMIT IS REQUIRED.
2. ALL "STOP SIGNS" WILL BE INSTALLED BY THE DEVELOPER AT THE LOCATIONS SHOWN ON THE DEVELOPMENT PLAN TO MEET MUTCD STANDARDS.
3. THE ADA PARKING SPACES AND ACCESS AISLES SHALL BE LEVEL WITH SURFACE SLOPES NOT EXCEEDING ONE TO FIFTY (1:50) (2 PERCENT) IN ALL DIRECTIONS.

**GENERAL NOTES:**

1. ALL LIGHTING FIXTURES SHALL BE FULL CUT-OFF OR HAVE SHIELDING TO REDUCE OFF-SITE LIGHTING IMPACTS ONTO ADJACENT PROPERTIES AND ROADWAYS.
2. THE GENERAL DRAINAGE PATTERNS ARE TO THE SOUTHERLY AND WESTERLY DIRECTION.
3. THIS DEVELOPMENT IS ONE PHASE AND IS EXISTING.
4. LANDSCAPE MAINTENANCE OF THE PROPERTY IS THE OWNER'S RESPONSIBILITY.
5. ALL DRIVEWAYS AND PARKING SPACES TO BE ASPHALT UNLESS OTHERWISE SHOWN.
6. ALL INTERNAL DRIVEWAYS, PARKING SPACES AND ISLANDS ARE TO BE CONSTRUCTED WITH TYPE 3 CURB AND GUTTER.

**APPROXIMATE SCHEDULE OF DEVELOPMENT:**

BEGIN SPRING 2023                      COMPLETE SPRING 2024



**VICINITY MAP**  
SCALE:        NTS

**SITE/BUILDING DATA:**

OWNER/CONTRACTOR	HESED LLC 10308 MT EVANS DR. PEYTON CO 80831
ARCHITECT:	JOHN DAVIS DESIGN GROUP 176 TALAMINE CT. SUITE #100 COLORADO SPRINGS, CO 80907
TAX SCHEDULE NUMBER:	53121-11-006
DEVELOPMENT PLAN/LOT AREA:	35771 S.F. (0.82 AC) LOT AREA COVERAGE: 100% (0.82 AC.) OPEN SPACE: 0.0% LANDSCAPING: 31.2% IMPERMEABLE SURFACE: 68.8%
ZONING: (EXISTING & PROPOSED)	CC (COMMERCIAL COMMUNITY)
LAND USE:	KARATE STUDIO
DRAINAGE BASIN:	FALCON
BUILDING CONSTRUCTION TYPE:	II-B, NOT SPRINKLED
BUILDING AREA:	PROPOSED (2) 4950 SF EACH
BUILDING HEIGHT:	
ALLOWED	40'
PROPOSED	20'
BUILDING SETBACKS:	
FRONT	EXISTING & PROPOSED 25'
SIDE	EXISTING & PROPOSED 25'
REAR	EXISTING & PROPOSED 25'
LANDSCAPE SETBACK:	
ADJACENT TO NON-ARTERIAL ROADWAY	10'
PROPOSED LOT COVERAGE:	
BUILDING(S):	9,900 SF (27%)
DRIVE & PARKING:	9,125 SF (26%)
SIDEWALK:	3,640 SF (10%)
TOTAL IMPERMEABLE SURFACE:	22,665 SF (63%)
LANDSCAPING/OPEN SPACE:	13,106 (37%)

**PARKING:**

BLDG 1 HEALTH CLUB	4,950 SF
REQUIRED PARKING (1/150SF):	33 SPACES
BLDG 2 WAREHOUSE	4,950 SF
REQUIRED PARKING (1/1000SF):	5 SPACES
TOTAL BUILDING SQUARE FOOTAGE:	9,900 SF
TOTAL REQUIRED PARKING:	38
ALTERNATIVE PARKING PLAN	
ADA STALLS PROPOSED	2 SPACES
DEDICATED DROP-OFF SPACE	1 SPACES
TOTAL PROPOSED ON SITE	24 SPACES
TOTAL PROPOSED ON STREET	11 SPACES

**SHEET INDEX**

SHT1	CV	DEVELOPMENT PLAN COVER SHEET
SHT2	USP	UTILITY & SITE PLAN

**APPROVAL BLOCK**

Approved

By: *Justin Kilgore*  
Planning Manager  
Date: 06/21/2023

El Paso County Planning & Community Development

PREPARED BY:

**DREXEL, BARRELL & CO.**  
Engineers • Surveyors  
3 SOUTH 7TH STREET  
COLORADO SPGS, COLORADO 80905  
CONTACT: TIM D. McCONNELL, P.E.  
(719)260-0887  
BOULDER • COLORADO SPRINGS • GREELEY

CLIENT:

HESED LLC  
10308 MT. EVANS DR.  
PEYTON, CO 80831  
(719) 646-4896

DEVELOPMENT PLANS FOR:

LOT 1, BLOCK 1,  
JOHNSONS VACATION

OLD MERIDIAN ROAD  
FALCON, COLORADO

ISSUE	DATE
INITIAL ISSUE	10-17-21
REVISED	1-26-23
DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01CV

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.

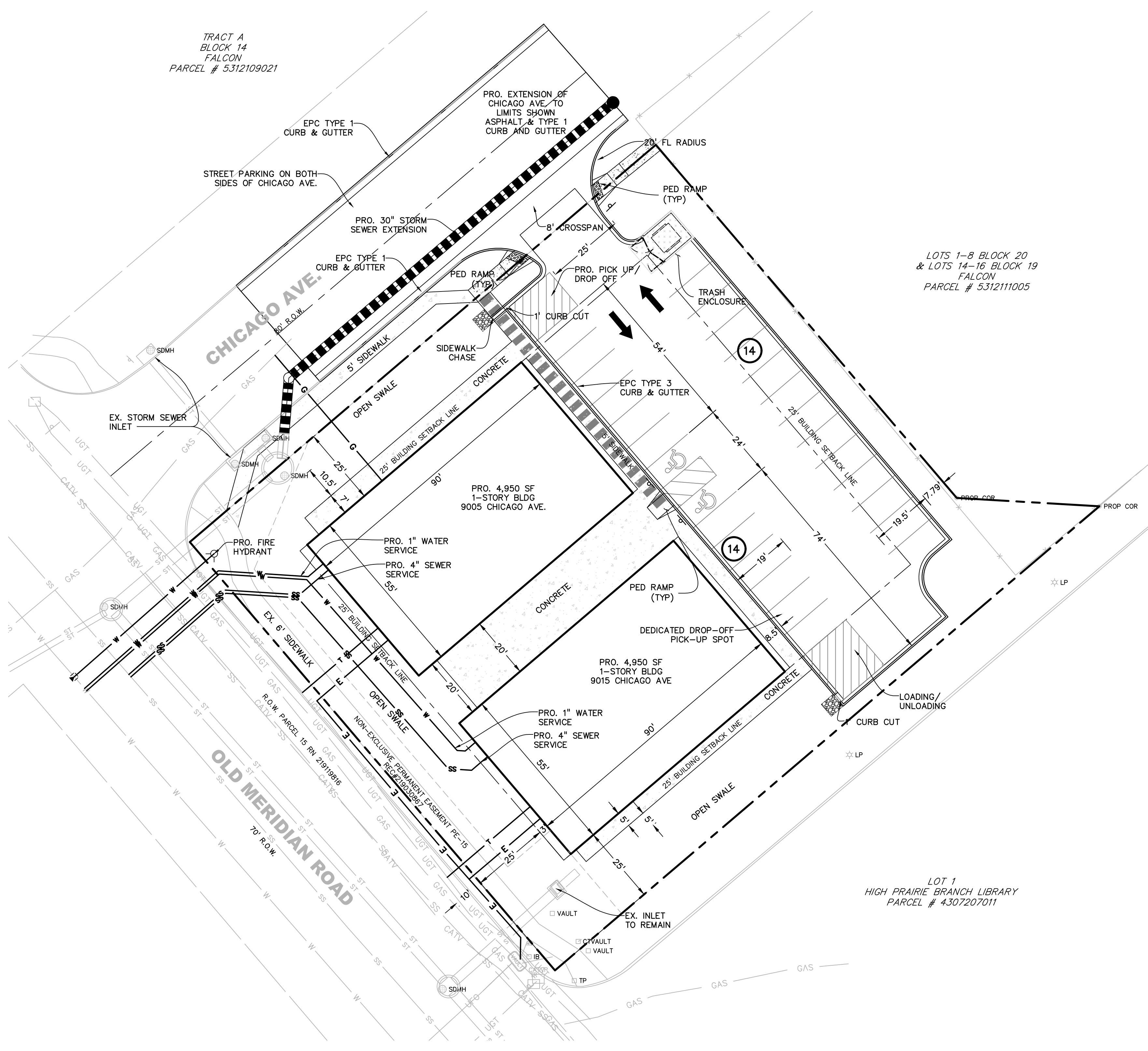
DRAWING SCALE:  
HORIZONTAL: N/A  
VERTICAL: N/A

DEVELOPMENT  
PLAN  
COVER SHEET

PROJECT NO. 21496-01CSCV  
DRAWING NO.

CV

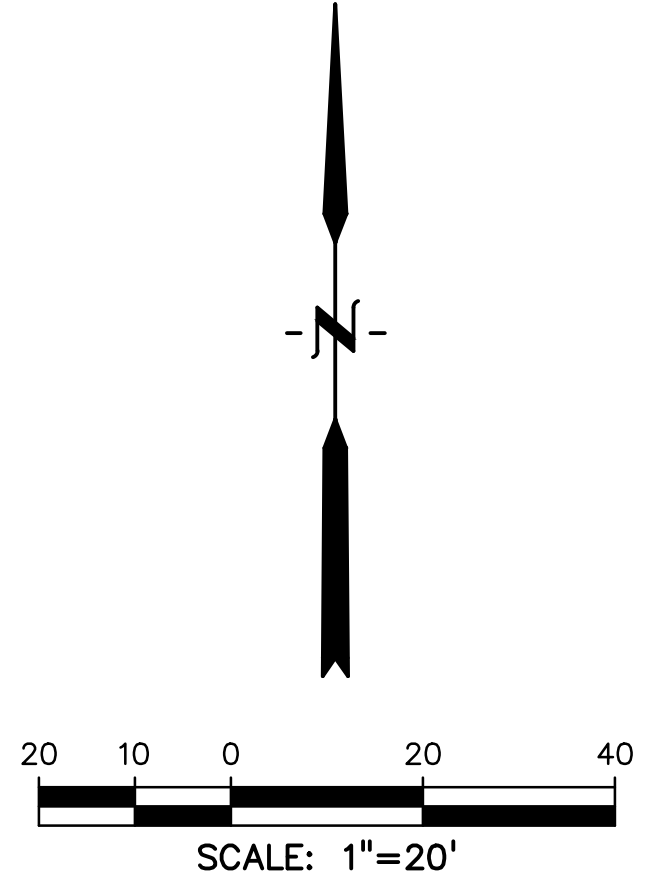
SHEET: 1 OF 2



TRACT A  
BLOCK 14  
FALCON  
PARCEL # 5312109021

LOTS 1-8 BLOCK 20  
& LOTS 14-16 BLOCK 19  
FALCON  
PARCEL # 5312111005

LOT 1  
HIGH PRAIRIE BRANCH LIBRARY  
PARCEL # 4307207011

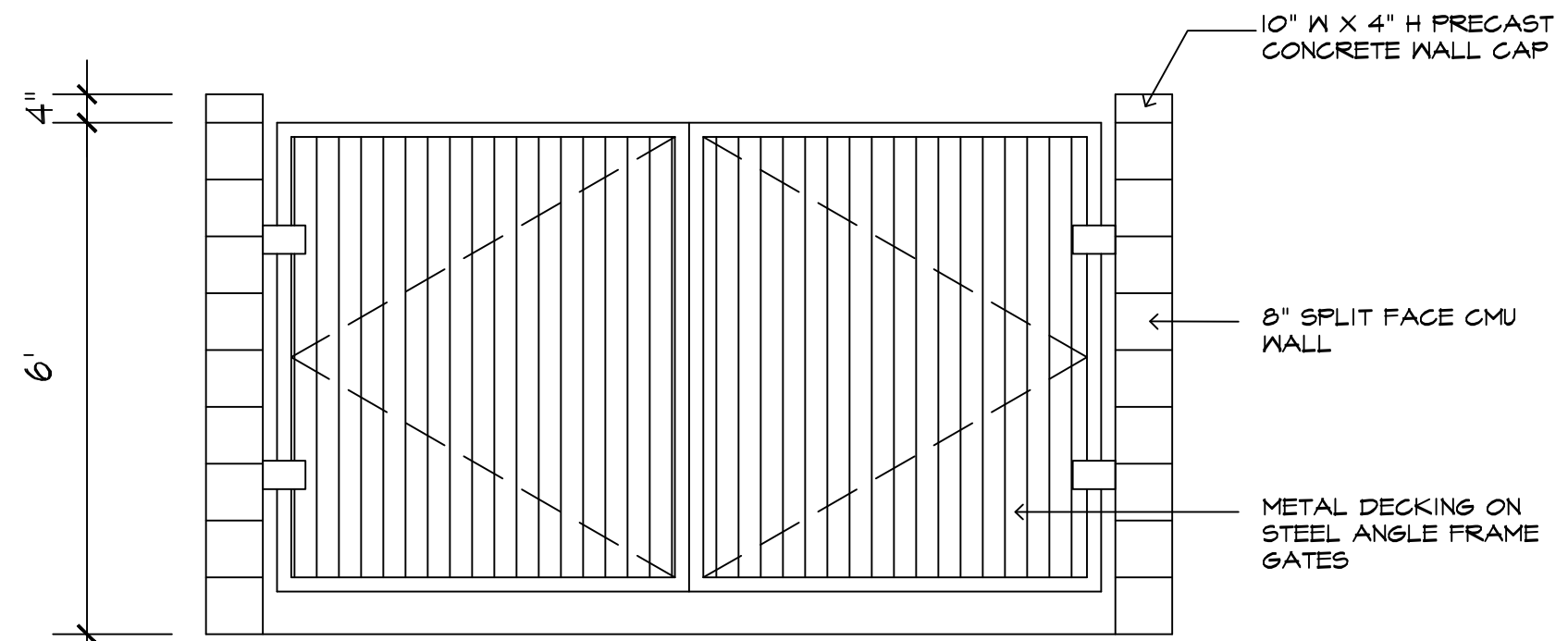


**LEGEND**

- PROPERTY LINE.....
- EASEMENT & ROW.....
- SIGN.....
- EX SANITARY SEWER..... SS
- EX STORM SEWER..... ST
- EX WATER..... W
- ADA ACCESSIBLE ROUTE TO PUBLIC ROW.....
- NUMBER OF PARKING STALLS..... 14
- TRAFFIC DIRECTION.....

**ABBREVIATION**

- C&G CURB AND GUTTER
- DWA DETECTABLE WARNING AREA
- EX EXISTING
- PED PEDESTRIAN
- PP PROPOSED
- STD STANDARD
- STM STORM
- SW SIDEWALK
- TYP TYPICAL



**TRASH ENCLOSURE DETAIL**  
NTS

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3 SOUTH 7TH STREET  
COLORADO SPGS, COLORADO 80905  
CONTACT: TIM D. MCCONNELL, P.E.  
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CLIENT:  
  
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**LOT 1, BLOCK 1,  
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OLD MERIDIAN ROAD  
FALCON, COLORADO

ISSUE	DATE
INITIAL ISSUE	10-17-21
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DESIGNED BY:	KGV
DRAWN BY:	SDM
CHECKED BY:	TDM
FILE NAME:	21496-01USP

PREPARED UNDER MY DIRECT SUPERVISION FOR AND ON BEHALF OF DREXEL, BARRELL & CO.  
DRAWING SCALE:  
HORIZONTAL: 1" = 20'  
VERTICAL: N/A

**UTILITY & SITE PLAN**  
PROJECT NO. 21496-01CSCV  
DRAWING NO.

**USP**  
SHEET: 2 OF 2



# Drexel, Barrell & Co.

January 26, 2023

El Paso County Planning & Community Development  
**Attn: Kylie Bagley, Planner**  
2880 International Circle  
Colorado Springs, CO 80910  
719-520-7943 direct

Engineers/Surveyors

Boulder  
Colorado Springs  
Greeley

3 S 7<sup>th</sup> Street  
Colorado Springs, CO 80905

719 260-0887  
719 260-8352 Fax

**RE: Letter of Intent (PCD File No. PPR-2167)  
Lot 1, Block 1 Johnson's Vacation - Site Development Plan**

Ms. Bagley,

Please accept this letter of intent and the enclosed supplemental material as Drexel, Barrell & Co's Site Development Plan submittal for Lot 1, Block 1 Johnson's Vacation, on behalf of HESED, LLC.

The approximately 0.82 acre site will consist of a commercial property, to be utilized as a karate studio and warehouse space, along with associated parking and landscaping. No deviations or variances are requested at this time.

### **Location and Zoning**

The project is located at the southeast corner of Old Meridian Road and Chicago Avenue. The property is currently zoned as CC (Commercial Community).

### **Existing Facilities**

The existing site is undeveloped, but has been used in the past as temporary firework sales. The site currently slopes from northeast to southwest at approximately 2%. A storm sewer inlet is located to the southwest corner of the lot, but all other utilities will have to be brought to the site.

### **Proposed Facilities**

The proposed development will consist of two approximately 4,950 sf one story, commercial buildings, one to be utilized as a karate studio and the other for warehousing purposes, along with associated parking and landscaping. The site will be accessed by one driveway entrance from Chicago Avenue.

A roadway extension of Chicago Avenue from the existing improvements just northeast of the intersection with Old Meridian Road, will be provided to the project limits. Adherence to El Paso County ECM Section 5.5 will be required along with an El Paso County work-in-the-row permit.

### **Open Space/Landscaping**

The alternative landscape plan requests a waiver of setback tree requirements along Chicago Ave. and Old Meridian Road. Due to existing easements, drainage areas, and utilities the setback tree placements are restricted, in addition the surrounding sites do not have landscape setback trees. Because of the lack of trees, shrubs will be provided in strategic locations around the site.

### **Traffic / Access / Noise**

Parking for this development is proposed as an alternative parking approach. Much of the traffic generated by this use will be generated after normal hours, and consist of drop-off and pick-up traffic. As such, the parking plan proposed consists of a combination of on site parking, offsite parking and a dedicated pick-up and drop-off space, located at the southeast end of the parking lot, to allow for adequate stacking. Due to site constraints, offsite parking is available on both sides of Chicago Avenue, between Old Meridian Road and the entrance to the site.

This proposed infill project fits in well in this commercial area, and vehicular traffic is adequately accommodated by the surrounding network, as referenced by the traffic memo included with this submittal.

A condition of approval will be required for any future change to the use of building #2 (warehouse). The condition of approval will need to include a new Traffic Impact Study, parking plan, and shared parking agreement as needed.

### **Utilities**

Water and sanitary sewer services will be provided by Woodmen Hills Metropolitan District. Electric and natural gas will be provided by Mountain View Electric Association Inc. and Colorado Springs Utilities respectively. The communications provider will be contracted by the developer.

The water and sanitary sewer will be tapped across Old Meridian Road. A deviation from County criteria will be applied for in accordance with IAW EPC ECM Section K.1.2.

### **Drainage/Floodplain**

As the site is under 1-acre, neither detention nor water quality are required to be provided. Stormwater will be directly channeled towards an existing Type D inlet at the SE corner of the site.



**Contact Information**

Drexel, Barrell & Co., a full service engineering and surveying firm, represents the property owners. Following is the contact information for all parties.

**Owner/Developer:**

HESED, LLC  
10308 Mt. Evans Drive  
Peyton, CO 80831  
[Dave.caban.3@gmail.com](mailto:Dave.caban.3@gmail.com)

**Consultant:**

Drexel, Barrell & Co.  
Mr. Tim McConnell, P.E., President  
3 South 7<sup>th</sup> Street  
Colorado Springs, CO 80905  
719-260-0887 phone  
[tmccConnell@drexelbarrell.com](mailto:tmccConnell@drexelbarrell.com)

We trust you find our application for the Lot 1, Block 1 Johnson's Vacation Site Development Plan acceptable. We look forward to working with the County in processing the application and submittal package. Please call if you have any questions or require any additional information.

Respectfully,



***Drexel, Barrell & Co.***  
Tim D. McConnell, P.E.  
President



JOHN DAVIS  
DESIGN GROUP

ARCHITECTS  
INTERIORS  
PLANNERS

176 TALAMINE COURT  
SUITE 100  
COLORADO SPRINGS,  
COLORADO 80907  
P 719/528-1177  
F 719/444-8409

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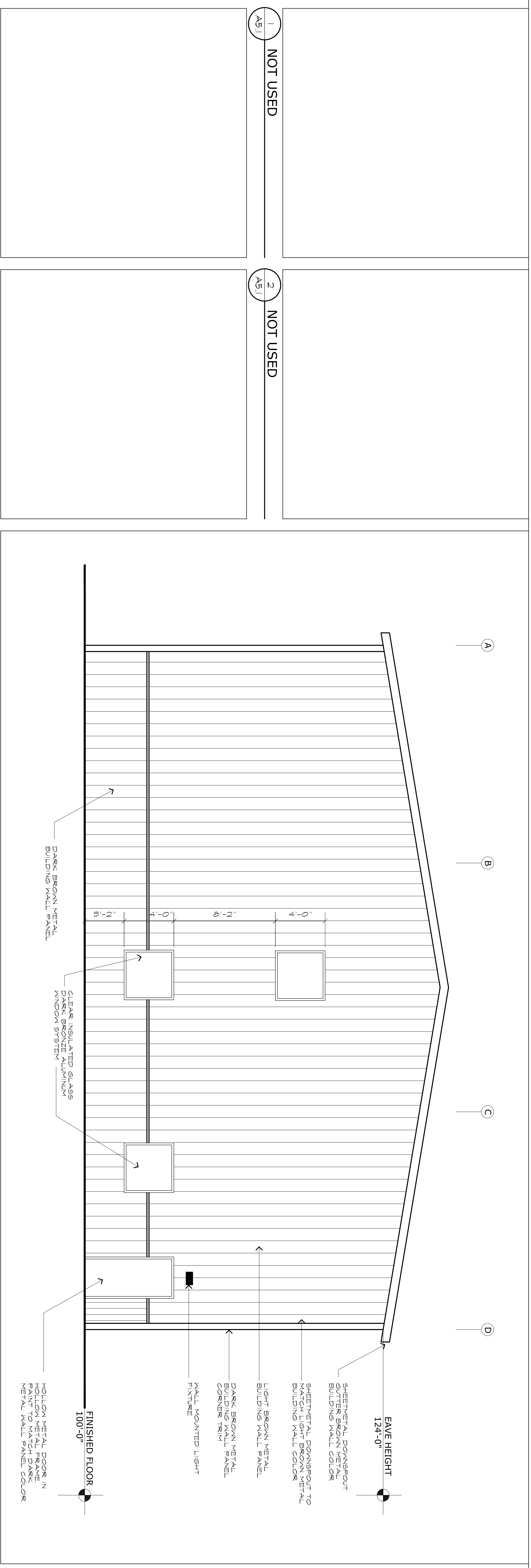
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EXTERIOR ELEVATIONS - BUILDING "A"  
**NEW METAL BUILDINGS FOR:  
KENSIN MARTIAL ARTS  
COMPLEX**  
0 MERIDIAN ROAD  
FALCON, COLORADO 80831

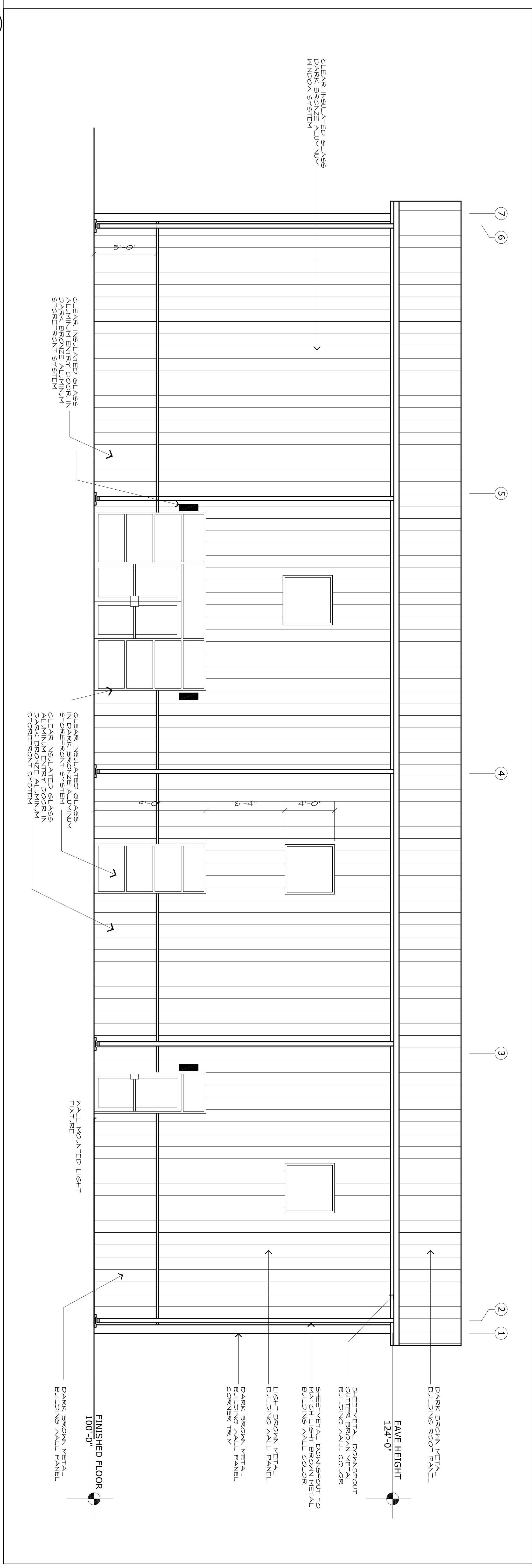
PROJECT NO. 202130  
DATE OCTOBER 9, 2021  
DRAWN BY JRD  
CHECKED JRD  
APPROVED JRD  
REVISED

SHEET

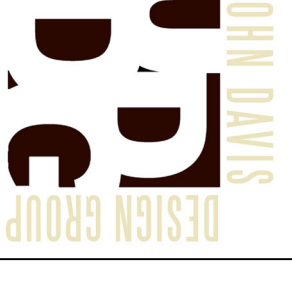
A5.1



7 NOT USED  
8 NOT USED  
9 NORTH ELEVATION - BUILDING "A"  
SCALE: 1/4"=1'-0"



14 WEST ELEVATION - BUILDING "A"  
SCALE: 1/4"=1'-0"



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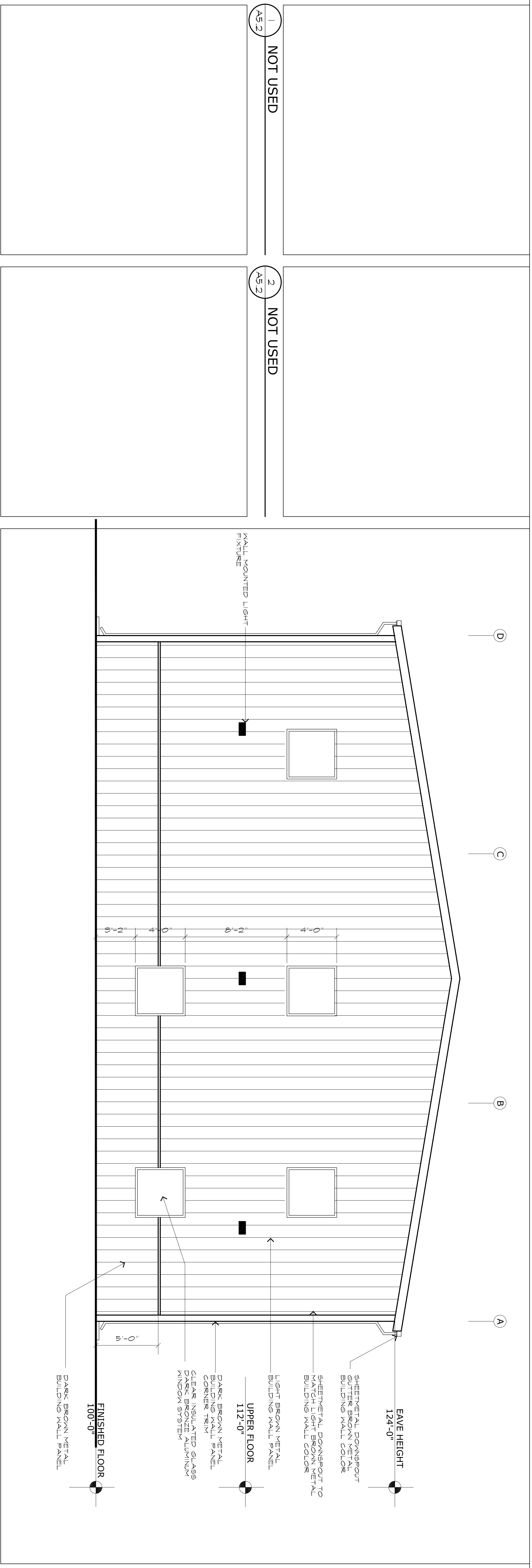
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EXTERIOR ELEVATIONS - BUILDING "A"  
**NEW METAL BUILDINGS FOR:  
KENSIN MARTIAL ARTS  
COMPLEX**  
0 MERIDIAN ROAD  
FALCON, COLORADO 80831

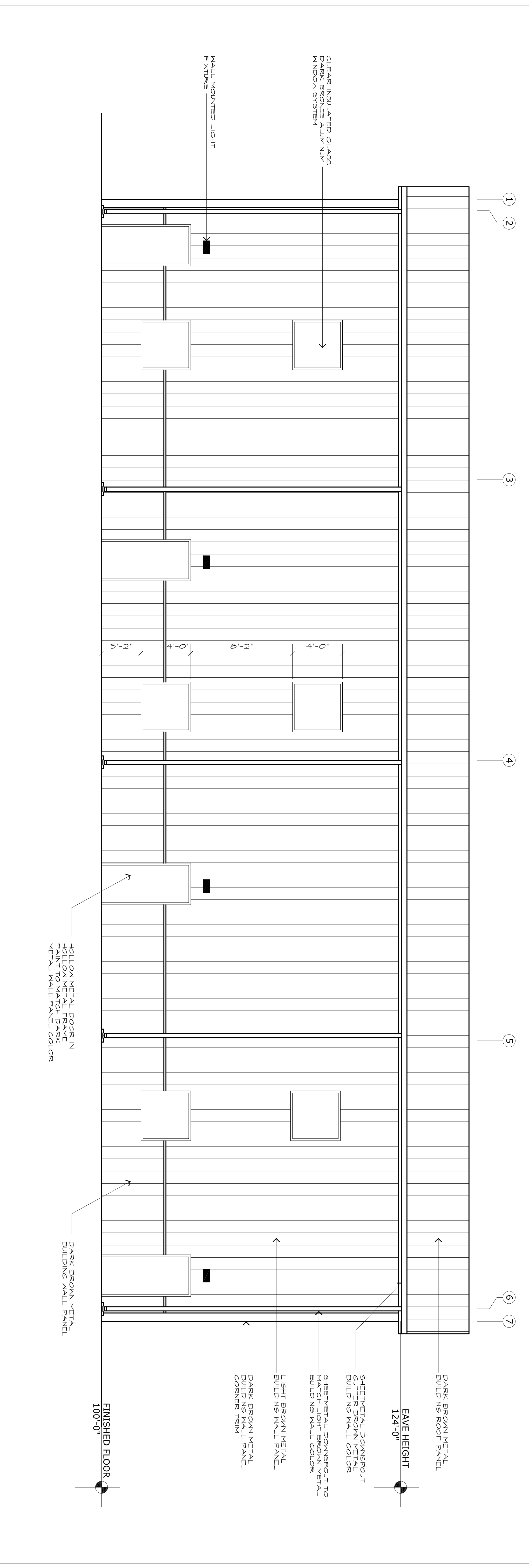
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DATE OCTOBER 9, 2021  
DRAWN BY JRD  
CHECKED JRD  
APPROVED JRD  
REVISED

SHEET

A5.2



7 NOT USED  
8 NOT USED  
9 SOUTH ELEVATION - BUILDING "A"  
SCALE: 1/4"=1'-0"



19 EAST ELEVATION - BUILDING "A"  
SCALE: 1/4"=1'-0"

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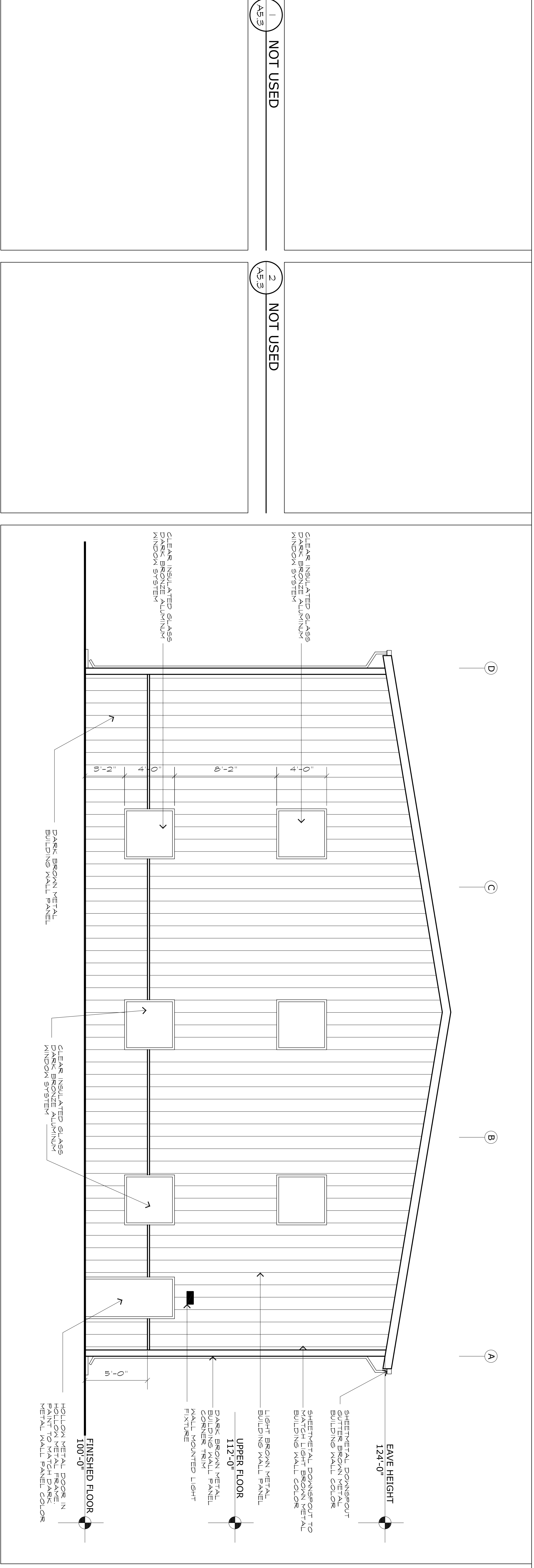
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SCALE: 1/4"=1'-0"



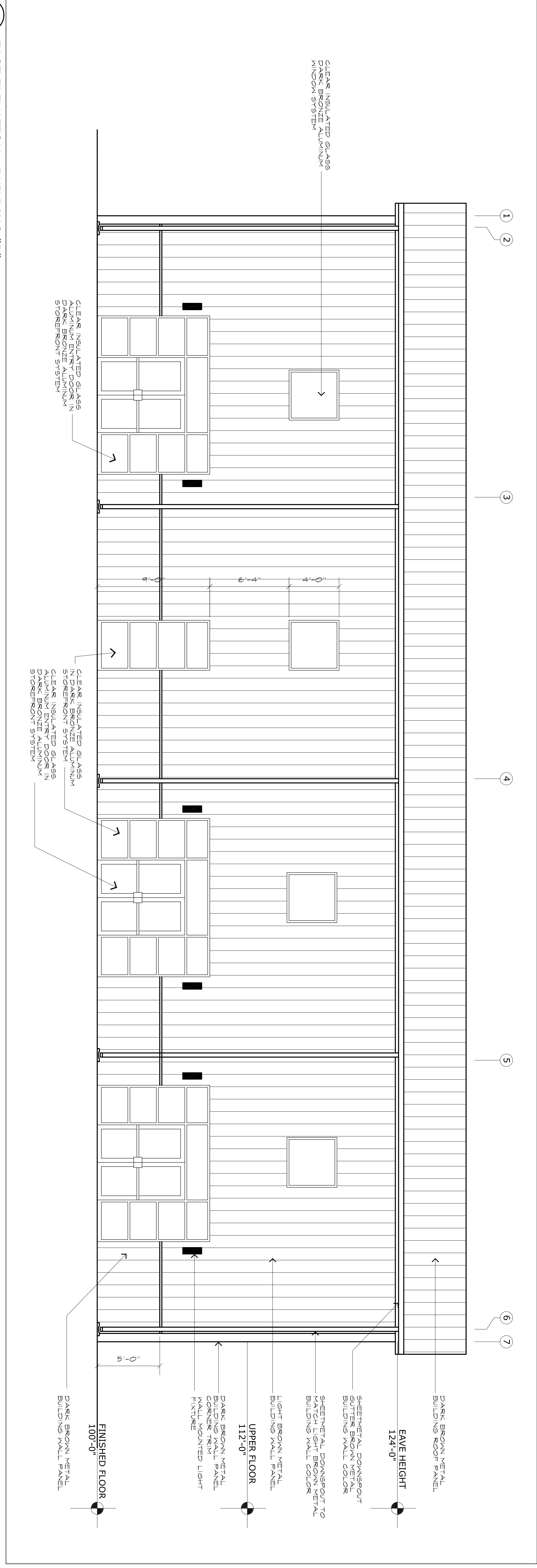
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7 NOT USED  
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8 NOT USED  
A5.3

9 SOUTH ELEVATION - BUILDING "B"  
SCALE: 1/4"=1'-0"



14 EAST ELEVATION - BUILDING "B"  
SCALE: 1/4"=1'-0"

EXTERIOR ELEVATIONS - BUILDING "B"  
**NEW METAL BUILDINGS FOR:  
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0 MERIDIAN ROAD  
FALCON, COLORADO 80831

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APPROVED JRD  
REVISED

SHEET  
**A5.3**





**JOHN DAVIS**  
DESIGN GROUP

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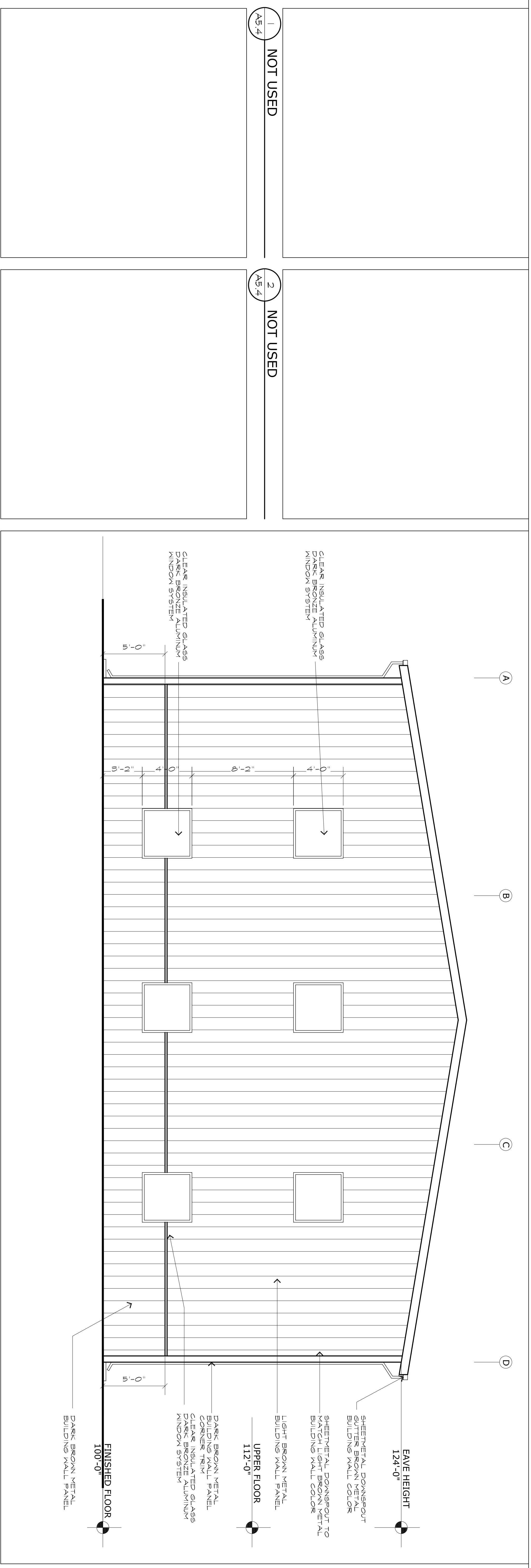
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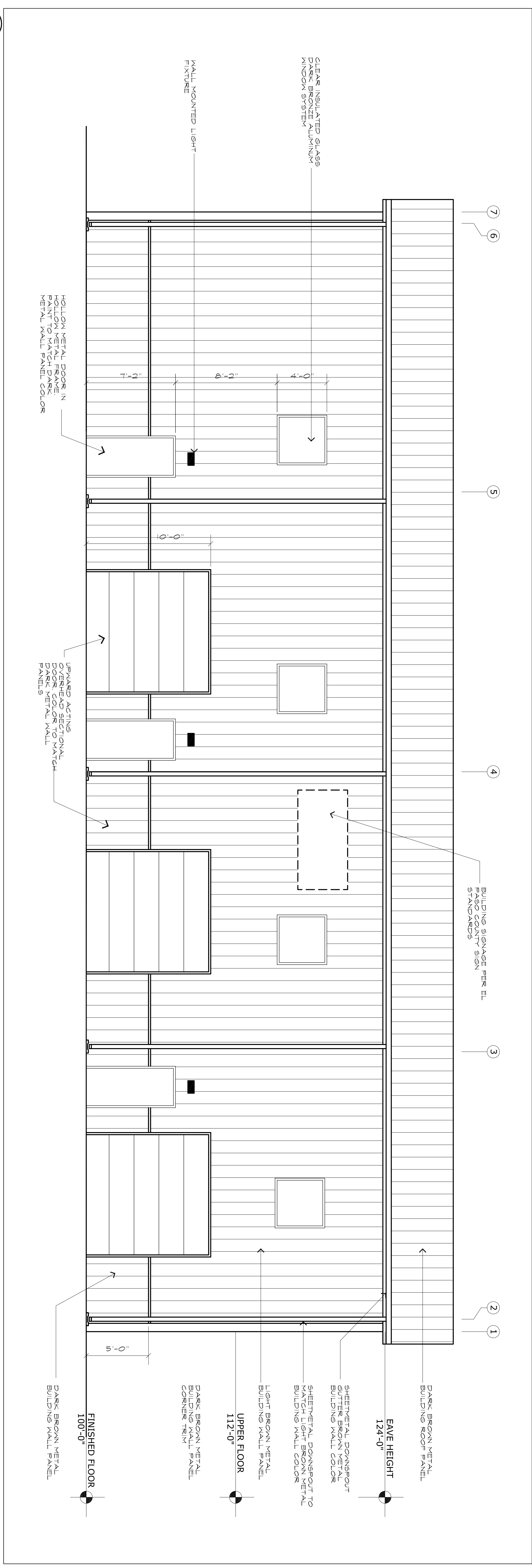
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SHEET

**AS.4**



7 NOT USED  
8 NOT USED  
9 **NORTH ELEVATION - BUILDING "B"**  
SCALE: 1/4"=1'-0"



19 **WEST ELEVATION - BUILDING "B"**  
SCALE: 1/4"=1'-0"



10-12-22

El Paso County Development Services Department  
2880 International Circle  
Colorado Springs, CO 80910

**RE: Alternate Landscape Plan Request**

Location: Kenshin, El Paso County

On behalf of the owner, we are requesting approval for alternate landscape plan for this lot based on the following points.

Landscape Setback

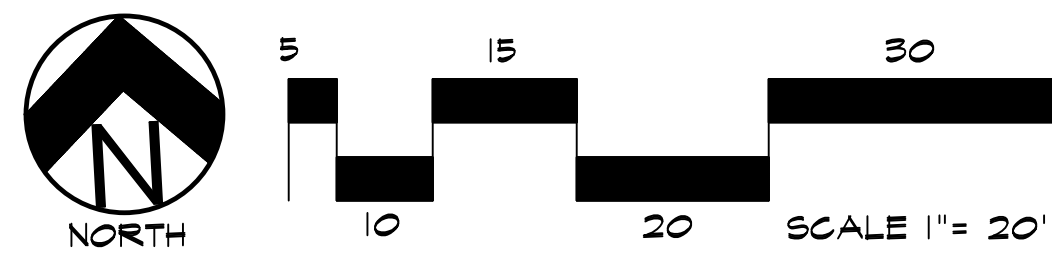
- Waive landscape setback tree requirement along Chicago Ave. frontage. (7 trees required / 0 provided).
  - Easements and utilities restrict setback tree placement.
  - Other site in the surrounding area do not have landscape setback trees.
  - Shrubs provided in strategic locations
  
- Waive landscape setback tree requirement along Old Meridian Road frontage. 7 trees required / 0 provided
  - Easements, drainage areas, and utilities restrict setback tree placement.
  - Other site in the surrounding area do not have landscape setback trees.
  - Shrubs provided in strategic locations

Thank you for your consideration in this matter.

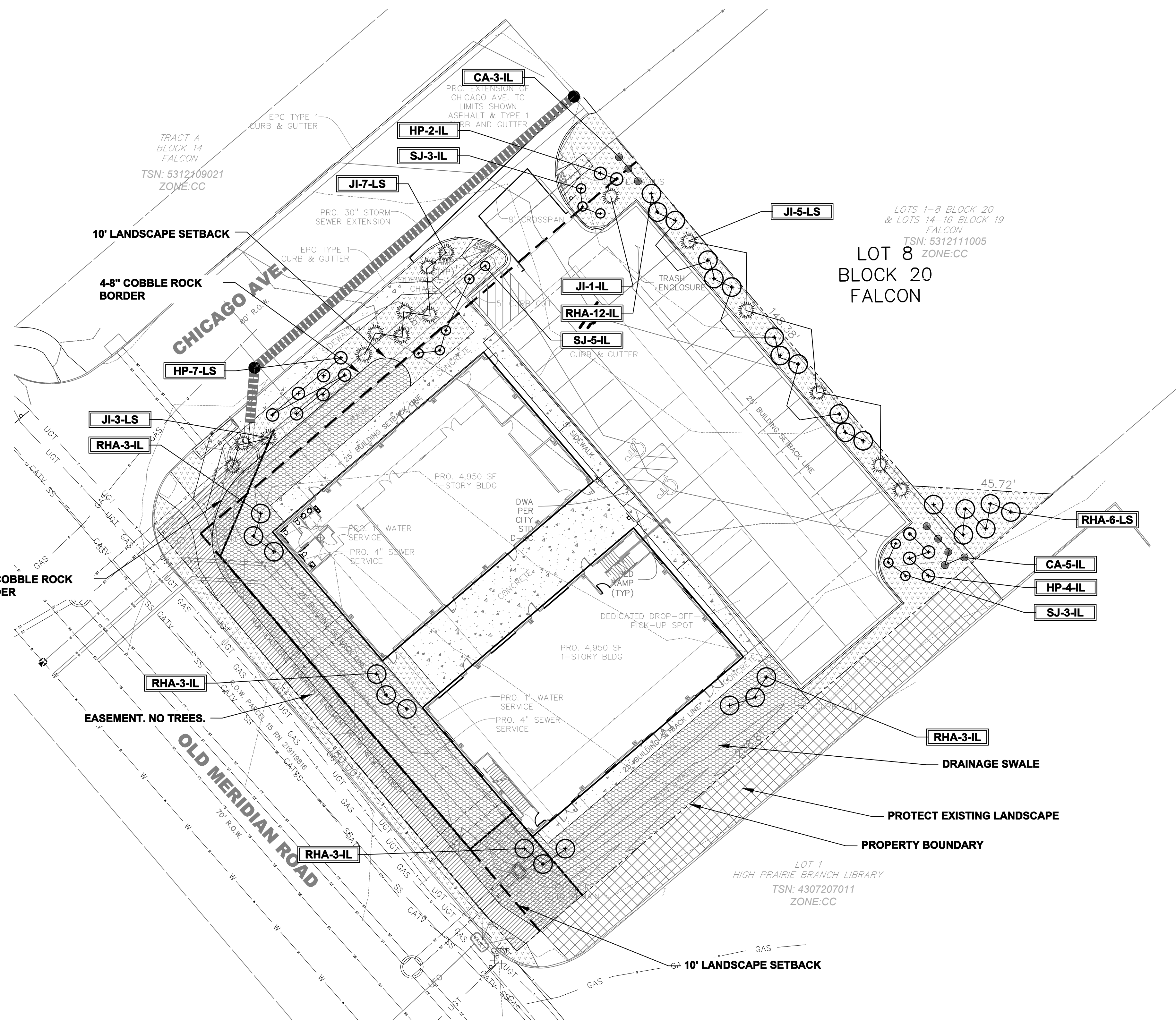
John MacKay, PLA



# ALTERNATE LANDSCAPE PLAN



**IRRIGATION SYSTEM DESCRIPTION NOTE**  
 AN UNDERGROUND IRRIGATION SYSTEM WITH SURFACE DRIP COMPONENTS WILL BE USED TO IRRIGATE ALL PLANT MATERIAL AS REQUIRED PER PLAN. IRRIGATION SYSTEM TO BE DESIGN/BUILD. AS-BUILT PLAN SHALL BE PROVIDED TO OWNER ONCE INSTALLATION IS COMPLETE AND APPROVED.



## CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
CHICAGO AVE.	NON-ARTERIAL	10/10	196	1/30 FT	7/0 ALTERNATE PLAN
OLD MERIDIAN RD.	NON-ARTERIAL	10/10	180	1/30 FT	7/0 ALTERNATE PLAN

MOTOR VEHICLE LOTS (MV)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)
29	2/0 ALTERNATE PLAN	N/A	0 LF
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.		
0/0	0/0		

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS.			
NET SITE AREA (SF) (LESS PUBLIC R.O.W.)	PERCENT MINIMUM INTERNAL AREA (5%)	INTERNAL AREA (SF) REQ./PROV.	INTERNAL TREES (1/500 SF) (EXCLUDING DRIVEWAYS)
35,766 SF	NON-RESIDENTIAL	1,789 SF/2,100 SF	4/0 ALTERNATE PLAN
SHRUB SUBSTITUTES REQ./PROV.	INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.	
40/40	IL	50%/50%	

LANDSCAPE BUFFERS AND SCREENS (LB)				
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER REQ. / PROV.	BUFFER TREES (1/25) REQ./PROV.	EVERGREEN TREES (1/3) REQ./PROV.
NONE	0	-	-	-

## PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Wdth/Hght	Size
<b>EVERGREEN SHRUBS:</b>						
⊙	JJ	16	Juniperus sabinia	Buffalo Juniper	6-8' x 12-18"	5 gal
<b>DECIDUOUS SHRUBS:</b>						
⊙	SJ	11	Spiraea japonica 'Majic Carpet'	Majic Carpet, Spirea	1-2' x 1-2'	#1 CONT.
⊙	HP	13	Hesperaloe parviflora	Red Yucca	2-4' / 2-4'	#1 CONT.
⊙	RHA	30	Rhus aromatica 'Gro-low'	Sumac Gro-Low	5-7' x 2-3'	#1 CONT.
<b>ORNAMENTAL GRASSES:</b>						
⊙	CA	8	Calamagrostis acutiflora 'Karl Foerster'	Feather Reed Grass	1-3' / 2-3'	#1 CONT.

NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.

## GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
⊙	Arkansas Tan Rock Cobble - 2-4" Diameter (with weed barrier) Submit sample to owner prior to ordering material	5,598 SF
⊙	Cimarron Rock: 1.5" Diameter (with weed barrier) Submit sample to owner prior to ordering material	5,913 SF

NOTE: ALL QUANTITIES SHALL BE PER PLAN. LEGEND SF ARE FOR REFERENCE ONLY.

**GRADE NOTE**  
 GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOIL/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

**UTILITIES NOTE**  
 VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 100PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COLORADO SPRINGS UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COLORADO SPRINGS UTILITIES CONSTRUCTION STANDARD DRAWINGS 16-302 FOR SPECIFIC CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

**DOCUMENT NOTE**  
 IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANOTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

**HIGHER GROUND DESIGNS, INC.**  
 LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN  
 5350 NORTH ACADEMY BLVD., STE. 207  
 COLORADO SPRINGS, CO 80918  
 Phone 719-477-1646  
 Fax 719-568-1122



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**KENSHIN**  
 FALCON, CO  
 EL PASO COUNTY, COLORADO

PREPARED FOR:

NOT FOR CONSTRUCTION	JOB NUMBER	1034-21
	REVISIONS	
	4-13-22	PER COMMENTS
	10-12-22	PER COMMENTS
ORIGINAL DATE	10-18-21	
DRAWN BY	LANDSCAPE PLAN	
SHEET NO.	L1.1	

PPR-21-067



## GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR LANDSCAPE AND IRRIGATION CONSTRUCTION. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL RECEIVE SLEEVING. REFER TO PLANTING PLAN FOR ADDITIONAL INFORMATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN LOCAL CITY STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS. WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON-SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.
- THE CONTRACTOR SHALL PROTECT ALL SITE ELEMENTS DURING CONSTRUCTION INCLUDING, BUT NOT LIMITED TO: CONCRETE FLATWORK, CURB & GUTTER, PAVING, SIGNS, TREES, UTILITIES, ETC. ANY DAMAGE TO INFRASTRUCTURE SHALL BE RESPONSIBILITY OF CONTRACTOR TO REPAIR AND/OR REPLACE IN EQUAL OR BETTER CONDITION. ANY DAMAGE SHALL BE DOCUMENTED THE DAY IT OCCURS AND REPORTED TO THE CLIENT WITHIN 12 HOURS. COORDINATE WITH GENERAL CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR SUBMITTING LANDSCAPE AND IRRIGATION SUBMITTALS TO OWNER FOR APPROVAL PRIOR TO START OF ANY WORK.

## MAINTENANCE NOTE

### ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

### ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

## SOIL PREP NOTES

### SOIL PREPARATION FOR UNDISTURBED OR COMPACTED PLANTING AREAS:

- IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- REMOVE ALL RUBBLE, STONES AND EXTRANEIOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

## LAYOUT NOTE

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN MAY REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

## INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC), 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO PLANT MATERIAL ONCE PLANT MATERIAL IS DELIVERED TO JOB SITE.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE 'CASCADE SHREDDED CEDAR' WITH NO LANDSCAPE FABRIC AND 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

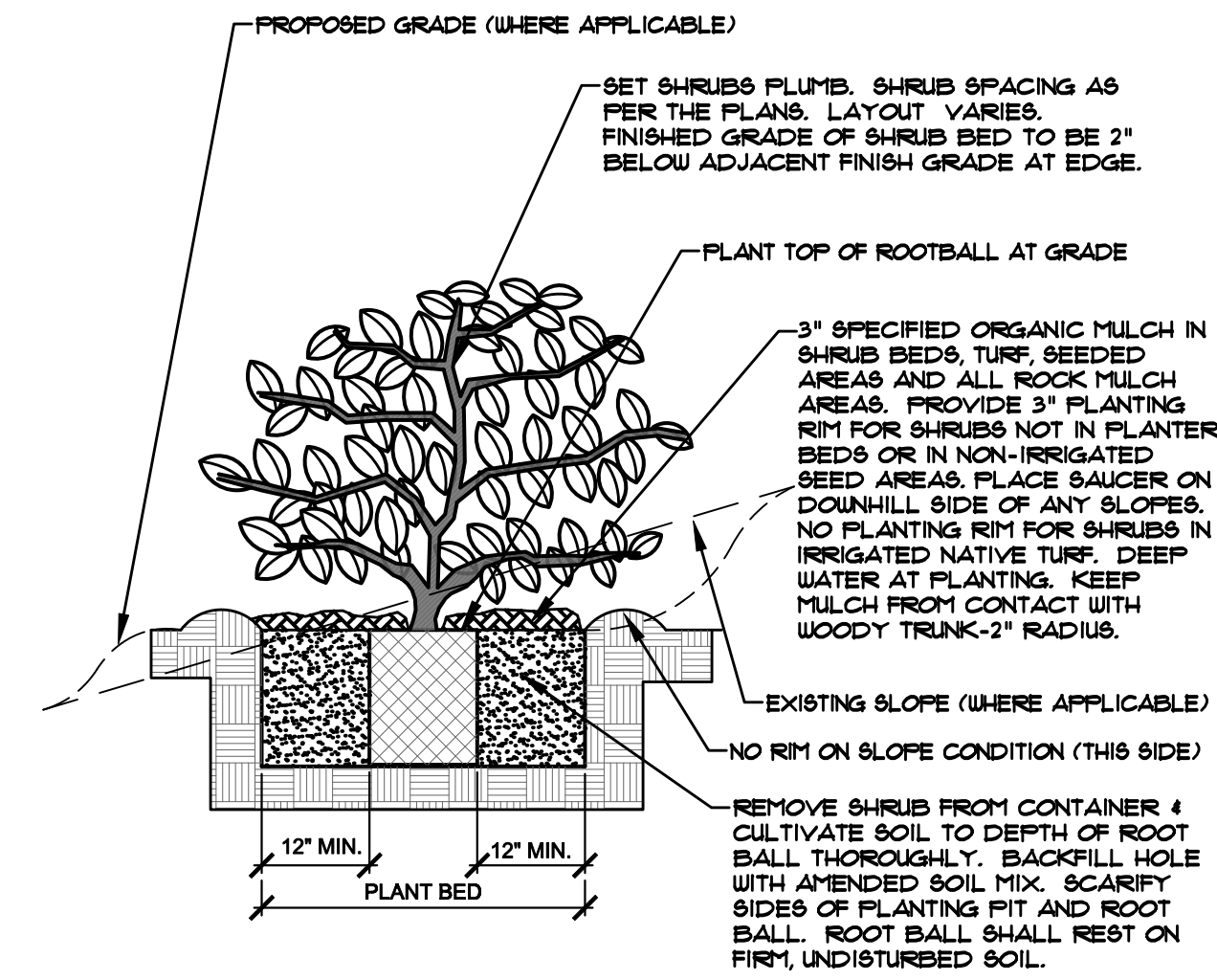
PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL)

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

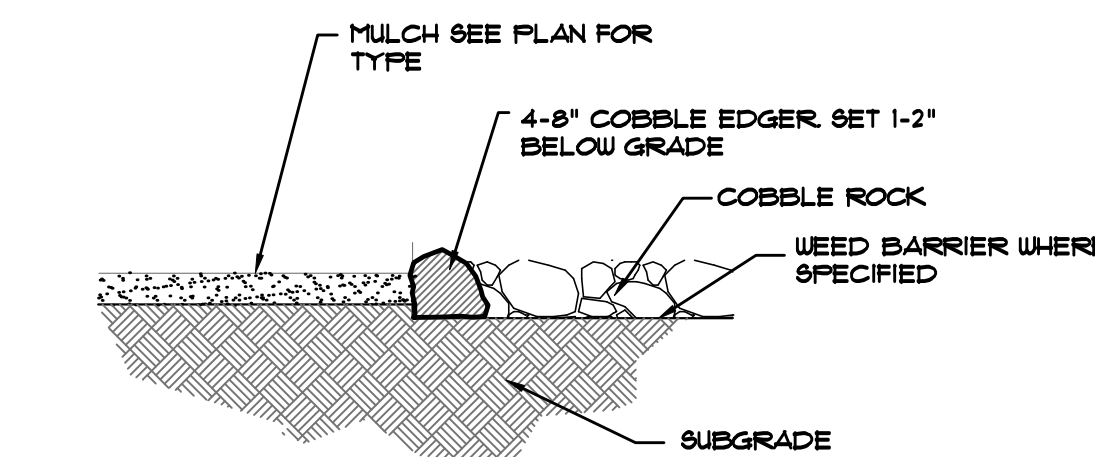
LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. [WWW.PREEN.COM](http://WWW.PREEN.COM)

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
  - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
  - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
  - AMENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
  - FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP, SPREAD THE TWO HALVES OVER A HOUND OF SOIL IN PLANTING PIT.
  - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



**A** SHRUB PLANTING DETAIL  
NOT TO SCALE



**B** MULCH/ROCK SECTION  
NOT TO SCALE

## UTILITIES NOTE

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**HIGHER GROUND DESIGNS, INC.**  
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207  
COLORADO SPRINGS, CO 80916  
Phone 719-477-1646  
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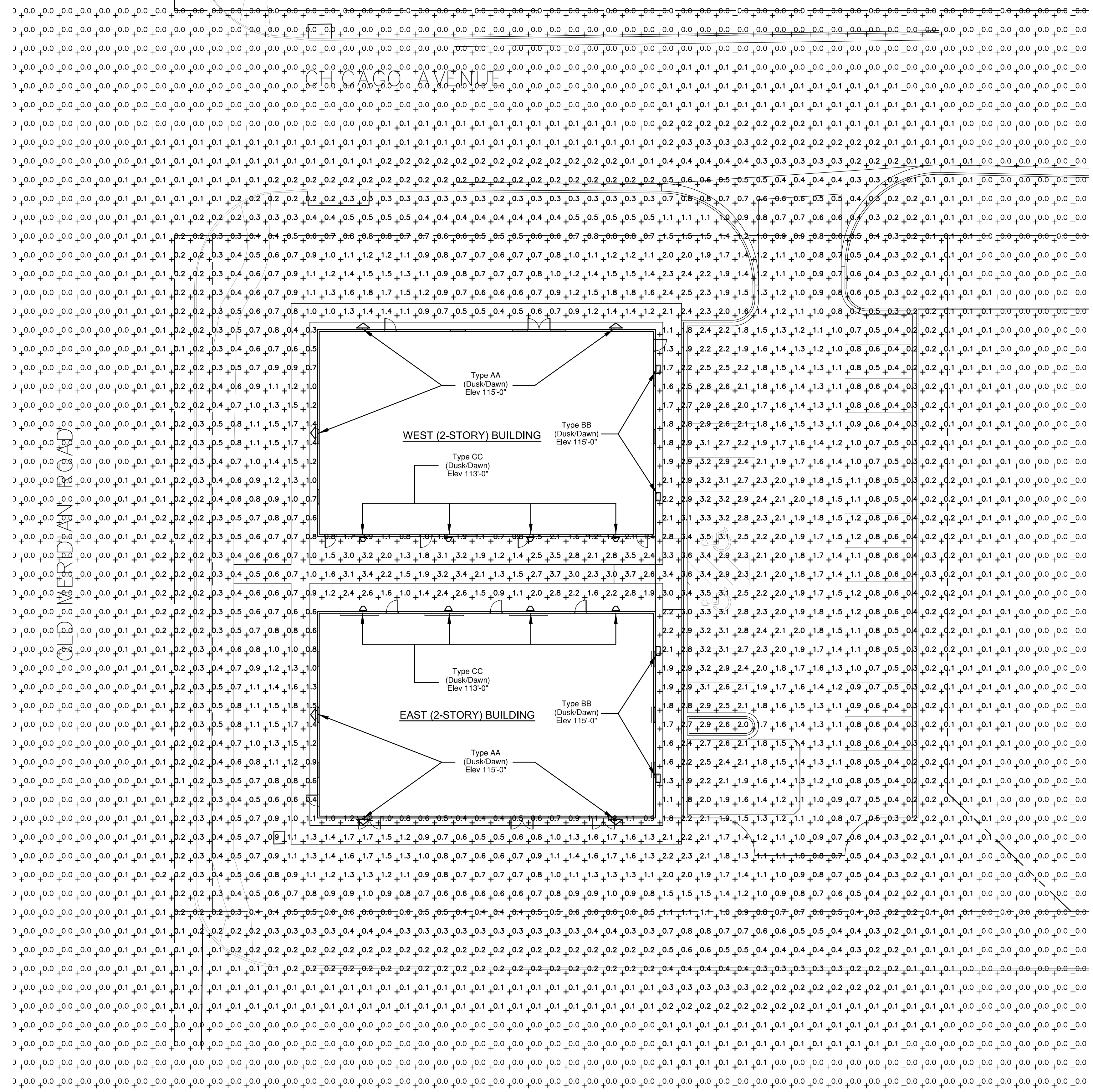
KENSHIN  
FALCON, CO  
EL PASO COUNTY, COLORADO

PREPARED FOR:

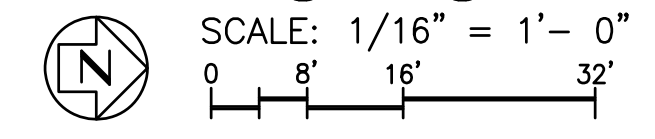
JOB NUMBER	1034-21
REVISIONS	
4-13-22	PER COMMENTS
10-12-22	PER COMMENTS
ORIGINAL DATE	10-18-21
DRAWN BY	
DESCRIPTION	DETAILS AND NOTES
SHEET NO.	L1.2

PPR-21-067





Exterior Site Lighting Calculation Plan



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc. Zone #1	+	0.4 fc	3.7 fc	0.0 fc	N/A	N/A

- GENERAL NOTES:**
- REFER TO SHEET ELC.2 FOR FIXTURE SPECIFICATION SHEETS.
  - ALL LIGHTING WILL BE CONTROLLED BY PHOTOCELL FOR (DUSK/DAWN) OPERATION FOR SECURITY PURPOSES.
  - LIGHTING CALCULATIONS WERE COMPLETED UTILIZING VISUAL LIGHTING PROGRAM WITH ASSOCIATED, FIXTURE MANUFACTURER'S, PUBLISHED IES FILES.
  - ALL CALCULATIONS WERE DONE BY THE ENGINEER OF RECORD.

**MOUNTING HEIGHTS**

- Elev. 113'-0" = MOUNTING HEIGHT OF 13' ABOVE GRADE.
- Elev. 115'-0" = MOUNTING HEIGHT OF 15' ABOVE GRADE.

**JOHN DAVIS DESIGN GROUP**  
 ARCHITECTS  
 INTERIORS  
 PLANNERS  
 176 TALAMINE COURT  
 SUITE 100  
 COLORADO SPRINGS,  
 COLORADO 80907  
 P 719/528-1177  
 F 719/444-8409

**KOHNET ELECTRICAL ENGINEER'S, INC.**  
 911 S. 8th Street, Ste 200  
 Colorado Springs, Co 80905  
 Phone (719) 633-2637

**DO NOT SCALE DRAWINGS FOR CONSTRUCTION PURPOSES**

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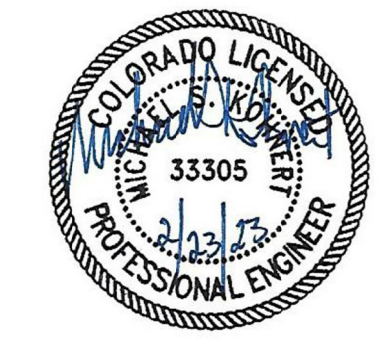
Exterior Site Lighting Calculation Plan

**NEW METAL BUILDINGS FOR: KENSHIN MARTIAL ARTS COMPLEX**  
 CHICAGO AVENUE AND OLD MERIDIAN ROAD  
 FALCON, COLORADO 80813

- INDEX TO EXTERIOR LIGHTING CALCULATION DRAWINGS**
- ELC.1 EXTERIOR SITE LIGHTING POINT BY POINT CALCULATION AND STATISTICS
  - ELC.2 LIGHTING FIXTURE SPECIFICATION SHEETS

PROJECT NO.	202130
DATE	22 October 2021
DRAWN BY	msk
CHECKED	Imak
APPROVED	msk

REVISIONS  
 Resubmitted (02-23-23)



SHEET  
**ELC.1**

PCD FILE # PPR-21-067



## RATIO Wall

RWL1/RWL2 LED WALLPACK

### FEATURES

- Low profile LED wall luminaire with a variety of IES distributions for lighting applications such as retail, commercial and industrial building mount
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™, Wiscapex and 7-pin with networked controls
- Battery backup options available for emergency code compliance
- Quick-mount adapter allows easy installation/maintenance
- 347V and 480V versions for industrial applications and Canada
- Stock versions available in 3500lm and 5500lm configurations at 4000K



### CONTROL TECHNOLOGY



### SPECIFICATIONS

- Die-cast housing with hidden vertical heat fins that are optimal for heat dissipation while keeping a clean smooth outer surface
- Corrosion resistant, die-cast aluminum housing with powder coat paint finish
- Powder paint finish provides durability in outdoor environments. Tested to meet 1000 hour salt spray rating.

### OPTICS

- Entire optical aperture illuminates to create a larger luminous surface area resulting in a low glare appearance without sacrificing optical performance
- 48 or 160 midpower LEDs
- 3000K, 4000K or 5000K (70 CRI/80 CRI) CCT
- Zero uplight distributions
- LED optics provide IES type II, III and IV distributions. Type II only available in RWL2 configurations

### INSTALLATION

- Quick-mount adapter provides easy installation to wall or to recessed junction boxes (4" square junction box)
- Designed for direct J-box mount.
- Integral back box contains 1/2" conduit hubs
- Integral back box standard with Dual Driver, Dual Power Feed, NX, Wiscapex and battery versions (battery versions for RWL1 only)

### ELECTRICAL

- 120V 277V universal voltage 50/60Hz 0-10V dimming drivers
- 347V and 480V dimmable driver option for all wattages above 35W

### ELECTRICAL (CONTINUED)

- Ambient operating temperature -40°C to 40°C
- Drivers have greater than 90 power factor and less than 20% Total Harmonic Distortion
- Driver RFI and EMI
- Field replaceable surge protection device provides 20KA protection meeting ANSI/IEEE C62.41.2 Category C High and Surge Location Category C3. Automatically takes fixture off-line for protection when device is compromised
- Dimming drivers are standard and dimming leads are extended out of the luminaire unless control options require connection to the dimming leads. Must specify if wiring leads are to be greater than 6" standard.

### CONTROLS

- Photo control, occupancy sensor and wireless available for complete on/off and dimming control
- Button photocontrol is suitable for 120-277V operation
- 7-pin ANSI C136.41-2013 photocontrol receptacle option available for twist lock photocontrols or wireless control modules (control accessories sold separately)
- NX Distributed Intelligence™ available with fixture wireless control module, features dimming and occupancy sensor
- WISCAPEx available with in fixture wireless control module, features dimming and occupancy sensor
- Integral Battery Backup provides emergency lighting for the required 90 minute path of egress
- Battery Backup suitable for operating temperatures -25°C to 40°C

### CONTROLS (CONTINUED)

- Dual Driver and Dual Power Feed options creates product configuration with 2 internal drivers for code compliance
- Please consult brand or sales representative when combining control and electrical options as some combinations may not operate as anticipated depending on your application.

### CERTIFICATIONS

- Listed to UL E98 and CSA C22.2 #250.0.24 for wet locations
- IP65 rated housing
- This product qualifies as a "designated country construction material" per FAR 52.225-11 Buy American-Construction Materials under Trade Agreements effective 04/23/2020. See Buy American Solutions

### WARRANTY

- 5 year limited warranty
- See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	1,000-19,500
Wattage Range	10-155
Efficacy Range (LPW)	118-148
Fixture Projected Life (Hours)	1,700-60K
Weights lbs. (kg)	6.5/16.5 (2.9/7.5)



RELATED PRODUCTS  
 Ratio Family Ratio Area Ratio Flood

## RATIO WALL

RWL1/RWL2 LED WALLPACK

### ORDERING GUIDE

CATALOG #

Example: RWL1-18L-10-3K7-2-UNV-BL5-E

### ORDERING INFORMATION

Series	F LEDs - Wattage	CCT/CRI	Distribution	Voltage	Color
RWL1 Ratio Wall 1	48L-10 10,000 Lumens* 48L-15 15,000 Lumens* 48L-20 20,000 Lumens* 48L-25 25,000 Lumens* 48L-35 45,000 Lumens 48L-45 65,000 Lumens* 160L-45 16,000 Lumens 160L-60 25,000 Lumens 160L-65 35,000 Lumens 160L-80 50,000 Lumens 160L-85 60,000 Lumens 160L-115 15,000 Lumens 160L-155 19,000 Lumens	3K7 3000K, 70 CRI 4K7 4000K, 70 CRI 5K7 5000K, 70 CRI	2 IES TYPE II 3 IES TYPE III 4W 160 1 TYPE IV	UNV 120-277V 120 120V 208 208V 240 240V 277 277V 347 347V 480 480V	BLT Black Matte Textured BL5 Black Gloss Smooth DBT Dark Bronze Matte Textured DB5 Dark Bronze Gloss Smooth GTT Graphite Matte Textured LCS Light Gray Glass Smooth LGT Light Gray Matte Textured PSS Polished Silver Stainless WHT White Matte Textured WHS White Gloss Smooth VGT Verde Green Textured Color Option CC Custom Color

### Control Options Network

- NXWIE NX Wireless (radio) + radio\*
- NXSPW\_F NX Wireless, PIR Occ. Sensor, Daylight Harvesting\*\*
- NXSP\_F NX, PIR Occ. Sensor, Daylight Harvesting\*\*
- WSP Wireless Console, Wiscapex\*\*
- Strik Along Sensors
- SCP-BP Remote control programmable line voltage sensor\*\*
- SCP-2BP Remote control programmable line voltage sensor\*\*

### STOCK ORDERING INFORMATION

Catalog Number	Lumens	Wattage	LED Count	CCT/CRI	Voltage	Distribution	Finish
RWL14BL-25-4K-3	2500lm	25	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL14BL-25-4K-4W	3500lm	25	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured
RWL14BL-45-4K-3	5500lm	45	48L	4000K/70CRI	120-277V	Type III	Dark Bronze Textured
RWL14BL-45-4K-4W	6500lm	45	48L	4000K/70CRI	120-277V	Type IV Wide	Dark Bronze Textured

### CONTROLS

- Control Options
- Standalone
- SCREMOTE Order at least one per project location to program and control

### ACCESSORIES AND REPLACEMENT PARTS - MADE TO ORDER

Catalog Number	Description
WP-BB-XXX	Accessory for conduit only*

## PRELUDE

PRL SERIES - WALLPACK

### FEATURES

- Cut off and Reflector Form Wall Pack
- Low profile LED wall luminaire for lighting applications such as retail, commercial and industrial building mount
- Field Selectable Wattages from 18 to 60 Watts
- Lumen Range from 2500-8500 lumens
- Type III Distribution for Full Cut Off configuration, (PRL-C) for applications requiring no up-light
- Type IV Distribution for Reflector Form configuration, (PRL-R) provides a further throw and higher angle light
- Wall Mounted Stylish Fixture contemporary architectural form provides an updated appearance compared to traditional HID wall packs
- Standard back profile makes the prelude perfect for retrofitting old HID glass reflector wall packs.



### SPECIFICATIONS

#### CONSTRUCTION

- Two Styles available - Cut Off and Reflector
- Die-cast aluminum housing
- Strong UV Stabilized Polycarbonate Lens Suitable for Outdoor Use
- Dark bronze texture powder coat paint finish provides durable and lasting appearance

#### OPTICS

- 4000K CCT/70 CRI
- 2500 to 8500 Lumens
- Efficacy up to 144 LPW

#### ELECTRICAL

- 0-10 Volt Dimming Driver
- Universal voltage driver is 120-277 Volt
- Ambient Operating Temperature -40°C to 40°C
- Wattage (lumens) switchable
- 4 KV Surge

#### INSTALLATION

- Mounts to standard round 3-1/2" junction box and can be mounted direct to wall
- Wattage (lumens) easily field adjustable by opening cover with two screws

#### CERTIFICATIONS

- Listed to UL E98 for use in wet locations
- IP65
- FCC Title 47 Part 15
- DLC® (DesignLights Consortium) Qualified. Please refer to the DLC website for specific product qualifications at [www.designlights.org](http://www.designlights.org)
- DLC Premium

#### WARRANTY

- 5 year limited warranty
- See HLI Standard Warranty for additional information

KEY DATA	
Lumen Range	2500-8500
Wattage Range	18-60
Efficacy Range (LPW)	139-144
Fixture Projected Life (Hours)	>60K
Weights lbs. (kg)	5.29 (2.4)



RELATED PRODUCTS  
 RWL1 Ratio Wall WGH Switchable PFS

LED wall luminaire - shielded with forward throw

BEGA

### Application

This wall mounted LED luminaire features a forward throw light distribution and is designed for the general illumination of pathways and walkways from various mounting heights. Downlight applications only.

### Materials

Luminaire housing constructed of die-cast marine grade, copper free (c.0.3% copper content) A360 0 aluminum alloy  
 Clear safety glass with optical texture  
 High temperature silicone gasket  
 Mechanically captive stainless steel fasteners

NRTL listed to North American Standards, suitable for wet locations  
 Protection class IP 64  
 Weight: 2.7 lbs

### Electrical

Operating voltage 120-277V AC  
 Minimum start temperature -20°C  
 LED module wattage 7.5W  
 System wattage 11W  
 Controllability 0-10V dimmable  
 Color rendering index Ra > 80  
 Luminaire lumens 775 lumens (3000K)  
 Lifetime at Ta = 15°C >600,000 h (L70)  
 Lifetime at Ta = 25°C 393,000 h (L70)

### LED color temperature

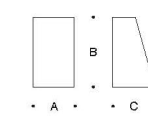
- B 4000K - Product number + K4
- 3500K - Product number + K35
- 3000K - Product number + K3
- 2700K - Product number + K27

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details

### Finish

All BEGA standard finishes are matte, textured polyester powder coat with minimum 3 mil thickness.

Available colors  Black (BLK)  White (WHT)  RAL:  
 Bronze (BRZ)  Silver (SLV)  OUS:



LED wall luminaire - shielded with forward throw

LED	A	B	C
33815	7.5W	4%	7% 4%

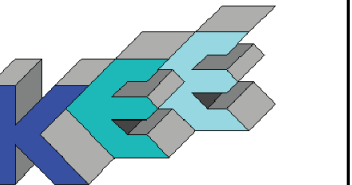
BEGA 1000 BEGA Way, Carpinteria, CA 93013 (805)684-0533 info@bega-us.com

Draw the diagram, name of lighting products and the associated technologies, luminaire data on this sheet is subject to change at the discretion of BEGA North America. For the most current technical data, please refer to [www.bega-us.com](http://www.bega-us.com) © copyright BEGA 2018 Updated 09/19/18

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EXTERIOR FIXTURE SPECIFICATION SHEETS  
 NEW METAL BUILDINGS FOR:  
**KENSHIN MARTIAL ARTS COMPLEX**  
 CHICAGO AVENUE AND OLD MERIDIAN ROAD  
 FALCON, COLORADO 80813

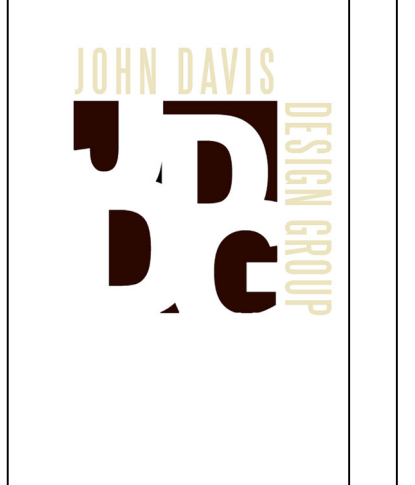
PROJECT NO.	202130
DATE	22 October 2021
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APPROVED	mks
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SHEET

ELC.2





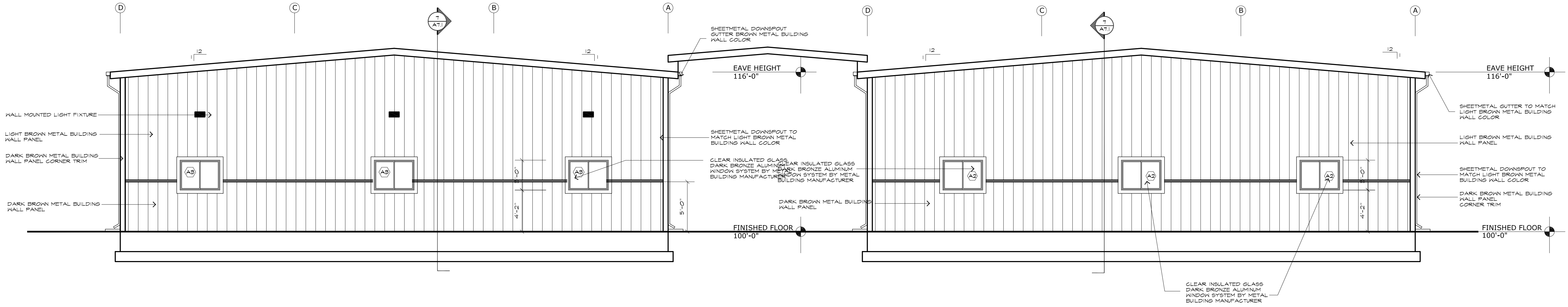
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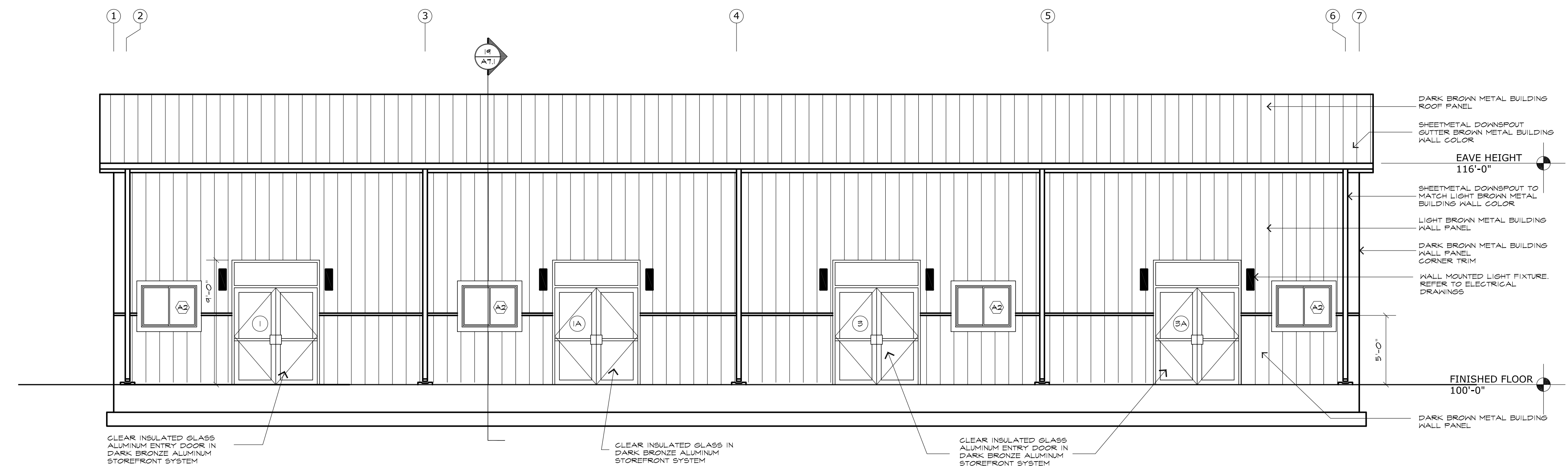
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**NO  
PROPOSED  
SIGNAGE**

**7 SOUTH ELEVATION - BUILDING "B"**  
SCALE: 3/16"=1'-0"

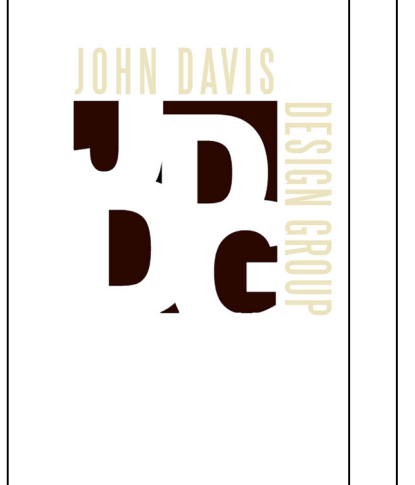


**19 EAST ELEVATION - BUILDING "B"**  
SCALE: 3/16"=1'-0"

EXTERIOR ELEVATIONS - BUILDING "B"  
**NEW METAL BUILDINGS FOR:  
KENSIN MARTIAL ARTS  
COMPLEX - BUILDING "B"**  
9005 CHICAGO AVENUE  
FALCON, COLORADO 80831

PROJECT NO.	202130
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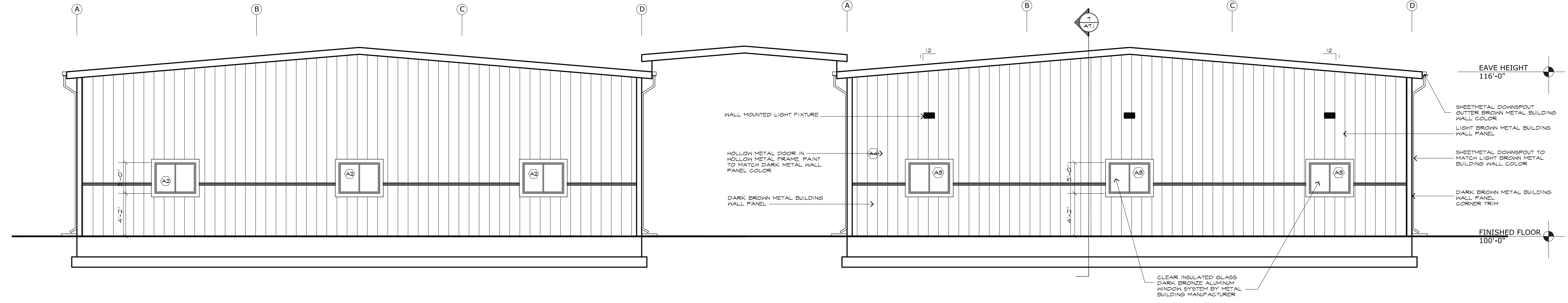
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EXTERIOR ELEVATIONS - BUILDING "B"  
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9005 CHICAGO AVENUE  
FALCON, COLORADO 80831

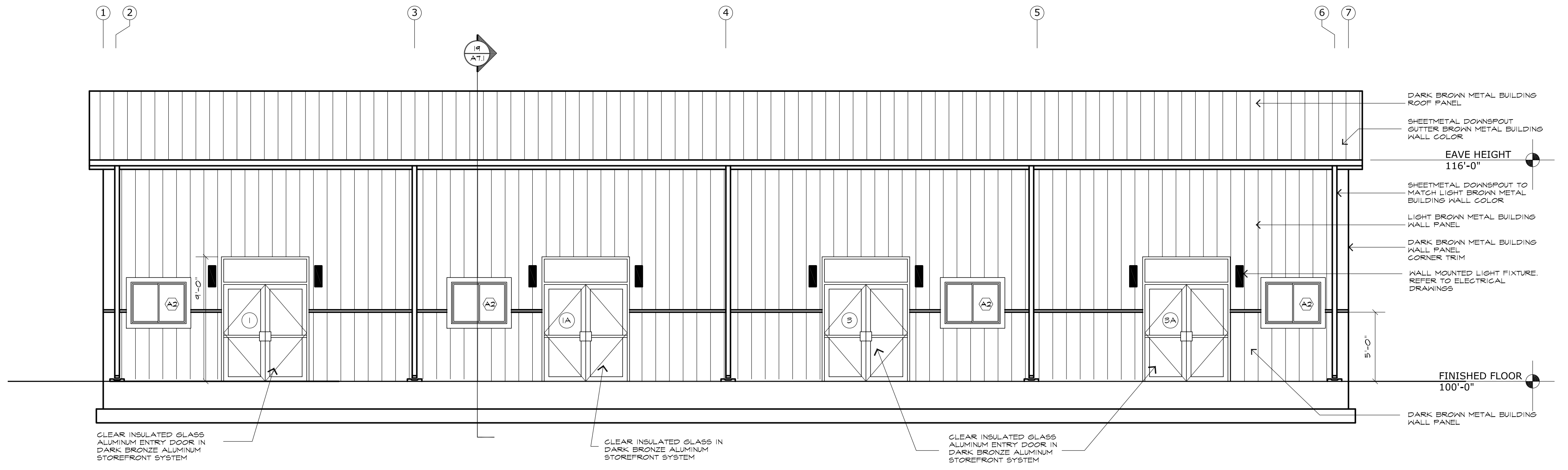
PROJECT NO.	202130
DATE	OCTOBER 17, 2022
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CHECKED	JRD
APPROVED	JRD
REVISED	

SHEET  
**A4.2**



**NO  
PROPOSED  
SIGNAGE**

7 NORTH ELEVATION - BUILDING "B"  
SCALE: 3/16"=1'-0"



19 WEST ELEVATION - BUILDING "B"  
SCALE: 3/16"=1'-0"



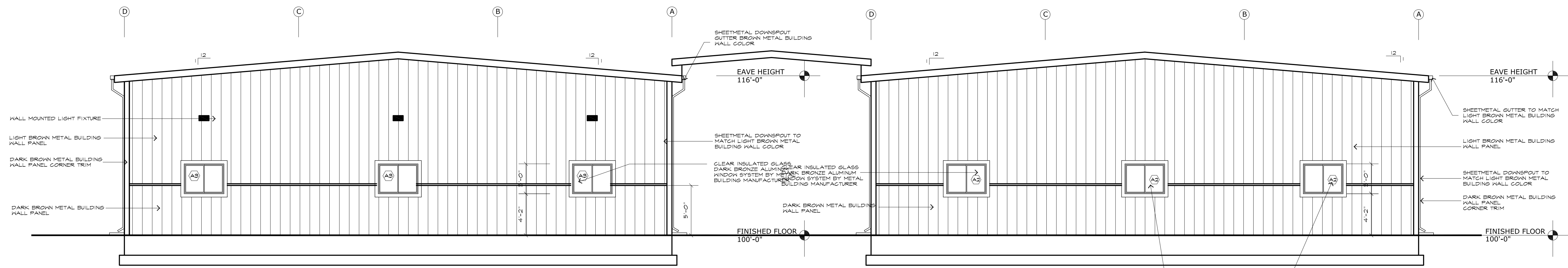


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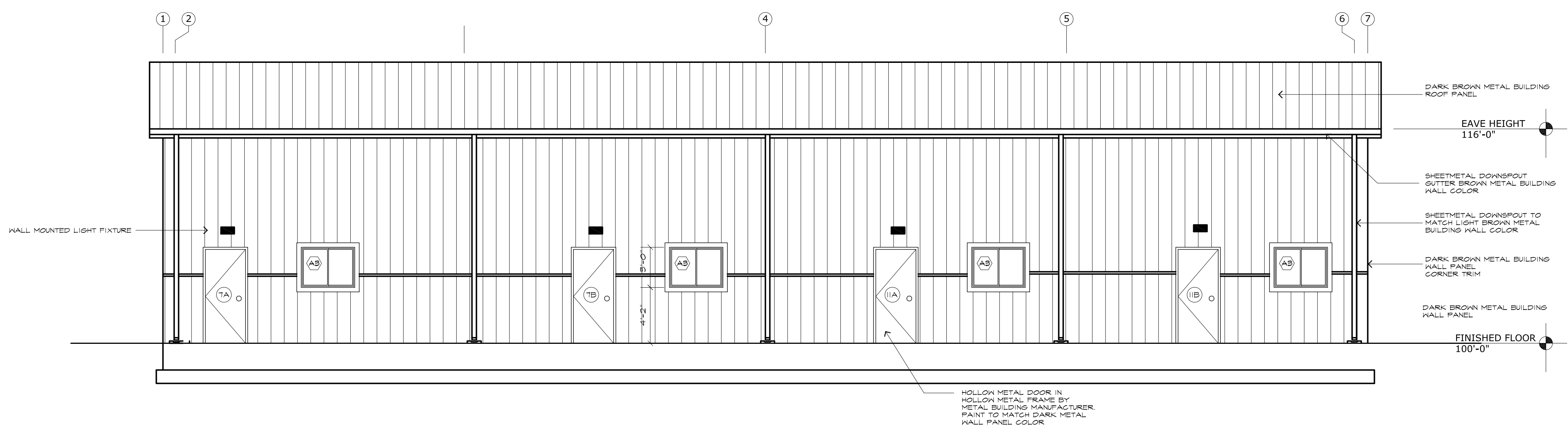
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EXTERIOR ELEVATIONS - BUILDING "A"  
NEW METAL BUILDINGS FOR:  
**KENSHIN MARTIAL ARTS**  
**COMPLEX - BUILDING "A"**  
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7 SOUTH ELEVATION - BUILDING "A"  
A6.2 SCALE: 1/4"=1'-0"



19 EAST ELEVATION - BUILDING "A"  
A6.2 SCALE: 1/4"=1'-0"