

AVERAGE FINISH GRADE = (AFG)
 $AFG = \frac{(52.8)(6)}{(6)} = 52.8$
 BUILDING HEIGHT = 20.9 + (TS - AFG) =
 BUILDING HEIGHT = 20.9 + (53.5 - 52.8) = 21.6

FILE - SFD24458
 ZONING - PUD
 AREA - 3995 SQ FT

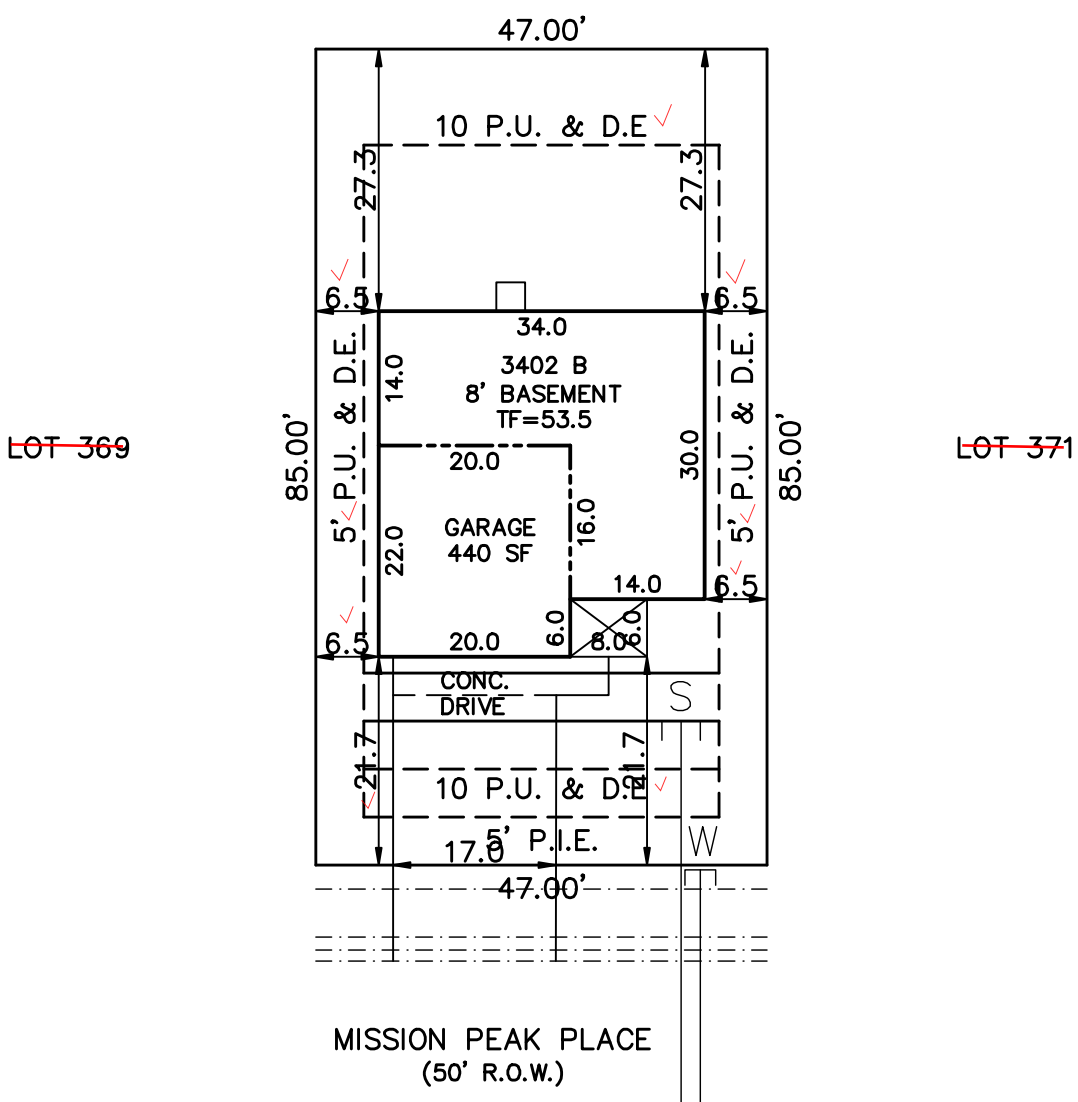
Released for Permit
 05/13/2024 8:54:52 AM
 REGIONAL Building Department
 Becky A
 ENUMERATION

APPROVED
 Plan Review
 05/13/2024 2:09:46 PM
 dsdmas
 EPC Planning & Community
 Development Department

ANY APPROVAL GIVEN BY
 EL PASO COUNTY
 DOES NOT OBTAIN THE NEED
 TO COMPLY WITH APPLICABLE
 FEDERAL, STATE, OR LOCAL
 LAWS AND/OR REGULATION.
 Planning & Community Development Department
 approval is contingent upon compliance with all
 applicable notes on the recorded plat.
 An access permit must be granted by the
 Planning & Community Development Department
 prior to the establishment of any driveway onto a
 County road.
 Diversion of storage of any drainage way
 is not permitted without approval of the
 Planning & Community Development Department

APPROVED
 BESQCP
 05/13/2024 2:10:04 PM
 dsdmas
 EPC Planning & Community
 Development Department

It is the owner's responsibility to
 coordinate with easement holders
 to avoid impact to utilities that
 may be located in the easements.



Master parcel: 55000-00-502

SCHEDULE No. ~~5500000501~~

WARNING! 1. LOCATE UNDERGROUND UTILITIES PRIOR TO EXCAVATION. 2. THIS PLOT PLAN SHOWS IMPROVEMENTS AT GRADE ONLY. SEE FOUNDATION PLANS FOR STRUCTURAL INFORMATION.	SITE DATA LOT SQ. FT.= 3995 HOUSE SQ. FT.= 1188 COVERAGE = 29.7% BLDG. HEIGHT = 21.6	PLOT PLAN	
	LEGAL DESCRIPTION LOT 370 THE RIDGE AT LORSON RANCH FILING NO. 1 EL PASO COUNTY, COLORADO		
TRALON HOMES 212 WAHSATCH AVE. STE 305 COLORADO SPRINGS, COLORADO 80903 PHONE 719-434-4750		ADDRESS 11835 MISSION PEAK PLACE	
		SCALE: ...1"=20' DRAWN BY: TAP	TITLE CO. FILE NO. RLR1-370

SITE



2023 PPRBC
2021 IECC Amended

Parcel: 5500000502

Address: 11835 MISSION PEAK PL, COLORADO SPRINGS

Plan Track #: 189634  Received: 13-May-2024 (BECKYA)

Description:

RESIDENCE

Type of Unit:

Garage	418	
Lower Level 2	711	
Main Level	644	
Upper Level 1	907	
	2680	Total Square Feet

Required PPRBD Departments (2)

Enumeration

APPROVED

BECKYA

5/13/2024 8:55:20 AM

Floodplain

(N/A) RBD GIS

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

05/13/2024 2:10:37 PM

dsdmaes

**EPC Planning & Community
Development Department**

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.