

SITE DEVELOPMENT PLAN

LOT 2, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 11,
TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE SIXTH PRINCIPAL MERIDIAN,
COUNTY OF EL PASO, STATE OF COLORADO



PROJECT CONTACTS:

OWNER:

STEEL STRUCTURES AMERICA INC.
3635 E. COVINGTON AVE.
POST FALLS, ID 83854
866.290.3471

MUNICIPALITY:

EL PASO COUNTY
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
719.520.6300

CIVIL ENGINEER:

TERRA FORMA SOLUTIONS
CONTACT: TODD JOHNSON, PE
9984 QUINTERO STREET
COMMERCE CITY, CO 80022
303.257.7653

GEO-TECH:

CTL THOMPSON INC.
5170 MARK DABLING BLVD
COLORADO SPRINGS, CO 80918
719.526.8300

LANDSCAPE:

TIM DUNN DESIGN
LANDSCAPE ARCHITECTURE
6948 DAVENTY PLACE
CASTLE PINES, CO 80108
720.350.2411

FIRE DISTRICT:

TRI-LAKES MONUMENT FIRE PROTECTION DISTRICT
16055 OLD FOREST POINT, SUITE 103
MONUMENT, CO 80132
719.484.0911

SURVEYOR:

AZTEC CONSULTANTS, INC.
300 E. MINERAL AVE., SUITE 1
LITTLETON, CO 80122
303.713.1898

WATER / SEWER:

WOODMOOR WATER AND SANITATION DISTRICT
1845 WOODMOOR DRIVE
MONUMENT, CO 80132
719.488.2525

GAS:

BLACK HILLS ENERGY
1515 WYNKOOP ST #500
DENVER, CO 80202
888.890.5554

ELECTRIC:

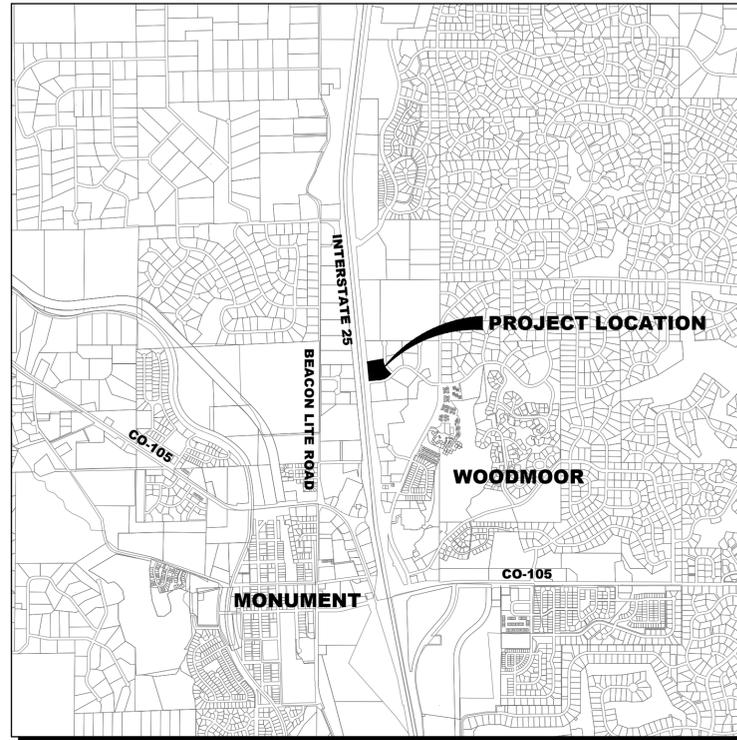
MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC.
11140 E. WOODMEN ROAD
FALCON, CO 80831
719.495.2263

TELEPHONE:

CENTURY LINK
9 SUNCREST ROAD
PALMER LAKE, CO 80133
719.270.1653

ARCHITECT:

STEEL STRUCTURES AMERICA INC.
3635 E. COVINGTON AVE.
POST FALLS, ID 83854
866.290.3471



VICINITY MAP
1"=2000'



PROJECT DESCRIPTION:

TO CONSTRUCT AN OFFICE BUILDING, TWO DISPLAY BUILDINGS, AND FOUR MINI STORAGE / RV STORAGE BUILDINGS AT LOT 2, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1.

NO PHASING OF IMPROVEMENTS IS PROPOSED.

BENCHMARK:

NGS CONTROL POINT T 395 BEING A STANDARD NGS STEEL ROD IN A LOGO MONUMENT BOX LOCATED 20 MILES NORTH OF COLORADO SPRINGS ON THE EAST SIDE OF I-25, 1,200 FEET NORTH OF THE WEIGH STATION BUILDING, AND 20.5 FEET EAST OF THE EASTERLY EDGE OF OIL OF THE NORTHBOUND LANES OF I-25.

ELEVATION = 7111.32 (NAVD88)

LEGAL DESCRIPTION:

PER LAND TITLE GUARANTEE COMPANY COMMITMENT ORDER NO. SC55073096-3, WITH AN EFFECTIVE DATE OF OCTOBER 2, 2018 AT 5:00 P.M.:

LOT 2, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1, COUNTY OF EL PASO, STATE OF COLORADO

BASIS OF BEARINGS:

THE WESTERLY BOUNDARY LINE OF LOT 2, GREATER EUROPE MISSION SUBDIVISION FILING NO. 1, BEING MONUMENTED AT BOTH ENDS BY A NO. 5 REBAR WITH A RED PLASTIC CAP STAMPED "AZTEC PLS 38256", ASSUMED TO BEAR NORTH 05°26'25" WEST.

FLOOD ZONE:

THE SUBJECT PROPERTY SHOWN HEREIN LIES WITHIN OTHER AREAS - ZONE X, AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP INDEX NO. 08041C0276G, MAP REVISED DECEMBER 7, 2018.

PROPERTY STATISTICS:

PLANNING	EXISTING/ALLOWED		PROVIDED
	CC (COMERCIAL COMMUNITY)	CC (COMERCIAL COMMUNITY)	CC (COMERCIAL COMMUNITY)
NET AREA (AC)	4.001		4.001
GROSS FLOOR AREA (GFA) (SF)	N/A		56,176
FLOOR AREA RATIO (FAR)	N/A		0.32
MAXIMUM BUILDING HEIGHT (FT)	45		20' - 4"
OCCUPANCY	N/A		B-1 OFFICES
ACCESSORY OCCUPANCY	N/A		S-1 STORAGE / M-RETAIL
CONSTRUCTION TYPE			I-B (NON-SPRINKLERED)
SETBACKS			
FRONT (FT)	25		>25
SIDE (FT)	25		>25 (NORTH = 0)
REAR (FT)	25		>25

BUILDING STATISTICS:

	UNITS	AREA (SF)
OFFICE (2 FLOORS AT 1200 SF)	--	2,400
DISPLAY BUILDING (30'X40')	--	1,200
DISPLAY BUILDING (30'X30')	--	900
STORAGE BUILDING 1	24	8,700
STORAGE BUILDING 2	52	19,840
STORAGE BUILDING 3	19	14,640
STORAGE BUILDING 4	11	8,496
GROSS FLOOR AREA (GFA)	106	56,176

PARKING STATISTICS:

	REQUIRED	PROVIDED
GENERAL SPACES (1/200 SF OFFICE)	12	12
ACCESSIBLE SPACES (INCLUSIVE OF GENERAL)	1	1
MINI WAREHOUSE (1/100 UNITS)	2	2
VEHICLE STORAGE	3	3
EMPLOYEE (1/EMPLOYEE)	1	1
TOTAL PARKING	18	18

Approved

By: Craig Dossey, Executive Director
Date: 04/22/2020



El Paso County Planning & Community Development

SHEET INDEX

- 1 CS COVER SHEET
- 2 SP SITE AND UTILITY PLAN
- 3 GR GRADING PLAN
- 4 L1 SITE LANDSCAPE PLAN
- 5 L2 LANDSCAPE DETAILS
- 6 BD 1 BUILDING ELEVATIONS
- 7 BD 2 OFFICE FLOOR PLANS
- 8 BD 3 STORAGE BUILDINGS
- 9 E-1 ELECTRICAL PHOTOMETRIC PLAN



REV. NO.	DESCRIPTION	DATE
1	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS	02/13/2020
2	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019

SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES

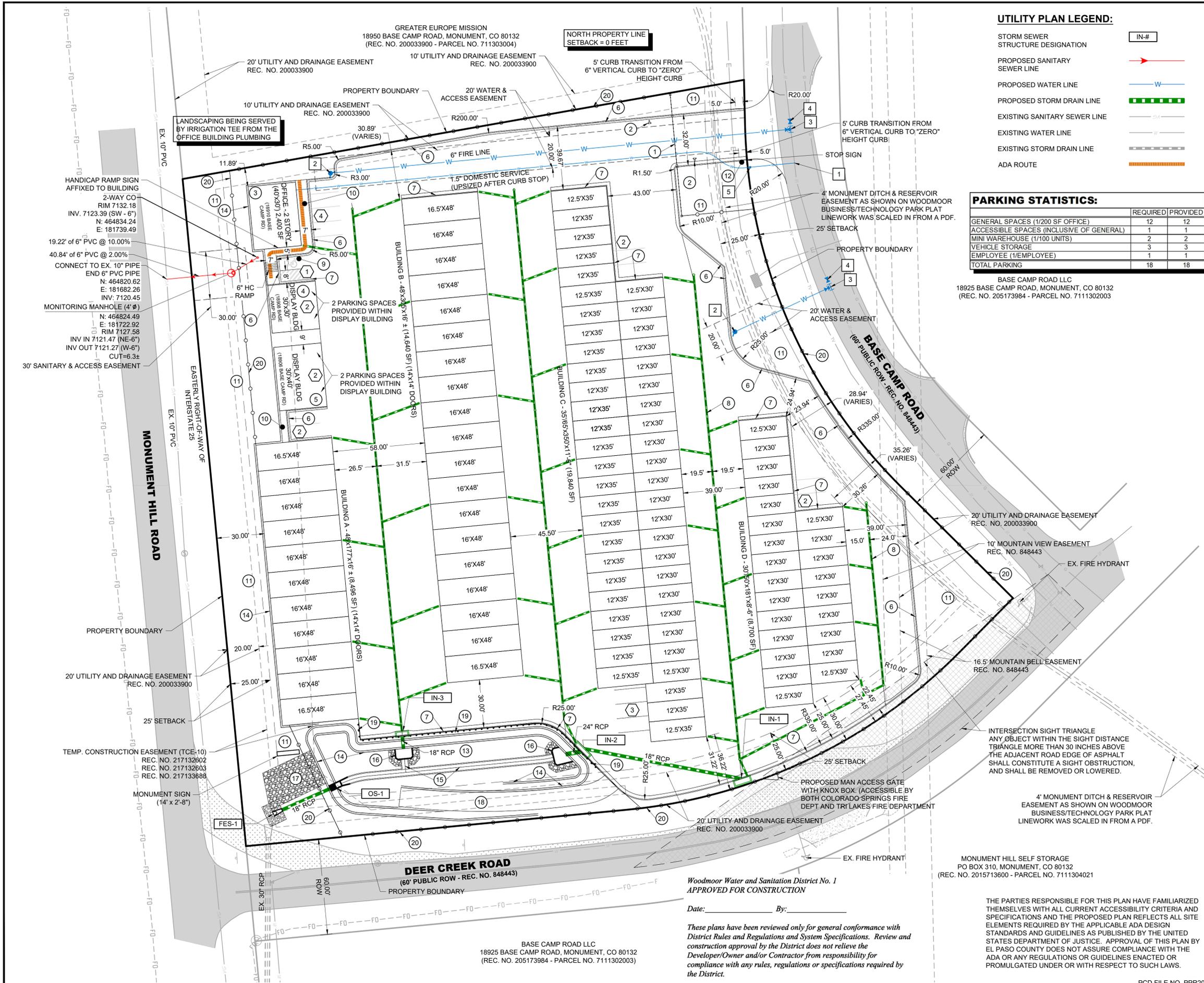
COVER SHEET

18910 BASE CAMP ROAD
MONUMENT, COLORADO



PROJ NO: SSA
ENG:
CHKD:
DATE: 10/24/2019

SHEET NUMBER
CS
1 OF 9



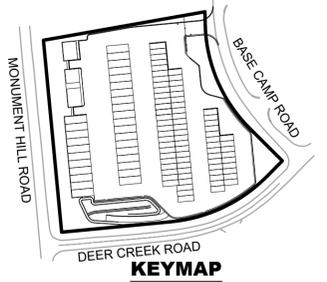
UTILITY PLAN LEGEND:

- STORM SEWER STRUCTURE DESIGNATION IN-#
- PROPOSED SANITARY SEWER LINE →
- PROPOSED WATER LINE —W—
- PROPOSED STORM DRAIN LINE —W—
- EXISTING SANITARY SEWER LINE —S—
- EXISTING WATER LINE —W—
- EXISTING STORM DRAIN LINE —SD—
- ADA ROUTE —A—

PARKING STATISTICS:

GENERAL SPACES (1/200 SF OFFICE)	REQUIRED	PROVIDED
ACCESSIBLE SPACES (INCLUSIVE OF GENERAL)	1	1
MINI WAREHOUSE (1/100 UNITS)	2	2
VEHICLE STORAGE	3	3
EMPLOYEE (1/EMPLOYEE)	1	1
TOTAL PARKING	18	18

BASE CAMP ROAD LLC
18925 BASE CAMP ROAD, MONUMENT, CO 80132
(REC. NO. 205173984 - PARCEL NO. 711130203)



KEYNOTES:

- 1 ENTRY GATE
- 2 ENTRY GATE KEY PAD
- 3 2 STORY OFFICE
- 4 DISPLAY BUILDING (30'X30') W/ 2 PARKING SPACES
- 5 DISPLAY BUILDING (30'X40') W/ 2 PARKING SPACES
- 6 6" CURB AND GUTTER (SPILL)
- 7 6" CURB AND GUTTER (CATCH)
- 8 NOT USED
- 9 9'X19' ADA PARKING STALL
- 10 5' SIDEWALK (UNLESS NOTED OTHERWISE)
- 11 LANDSCAPE AREA
- 12 STOP SIGN
- 13 DETENTION POND
- 14 RETAINING WALLS
- 15 4' TRICKLE CHANNEL
- 16 POND FOREBAY
- 17 TYPE M - BURIED RIP RAP
- 18 POND MAINTENANCE ACCESS
- 19 CDOT - TYPE 3 W-BEAM GUARDRAIL
- 20 6 FOOT CHAIN LINK FENCE
- # PARKING COUNT
- 1 1" SADDLE TAP & CORP. STOP
- 2 PROPOSED FIRE HYDRANT
- 3 6"X6" TEE (FIRE HYDRANT ASSEMBLY)
- 4 6" GATE VALVE
- 5 CURB STOP
- 6 12"X12"X2" PRECAST CONC BLOCK & VALVE CAN
- 7 12" PVC STORM PIPE - ASTM 3034
- 8 12" NYLOPLAST - STANDARD GRATE (H-20 RATED)

SITE PLAN NOTES:

1. ALL RADIAL DIMENSIONS ARE TO FLOWLINE UNLESS OTHERWISE NOTED
2. ALL HORIZONTAL DIMENSIONS ARE TO FLOWLINE AND BUILDING EDGE UNLESS OTHERWISE NOTED

UTILITY PLAN NOTES:

1. ALL 6" WATER TO BE PVC UNLESS OTHERWISE NOTED.
2. ALL STORM SEWER IS PRIVATE UNLESS OTHERWISE NOTED.
3. ALL FIRE HYDRANT LATERALS SHALL BE DIP.

INTERSECTION SIGHT TRIANGLE
ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE MORE THAN 30 INCHES ABOVE THE ADJACENT ROAD EDGE OF ASPHALT SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED.

4' MONUMENT DITCH & RESERVOIR EASEMENT AS SHOWN ON WOODMOOR BUSINESS/TECHNOLOGY PARK PLAT LINEWORK WAS SCALED IN FROM A PDF.

MONUMENT HILL SELF STORAGE
PO BOX 310, MONUMENT, CO 80132
(REC. NO. 2015713600 - PARCEL NO. 7111304021)

Woodmoor Water and Sanitation District No. 1
APPROVED FOR CONSTRUCTION

Date: _____ By: _____

These plans have been reviewed only for general conformance with District Rules and Regulations and System Specifications. Review and construction approval by the District does not relieve the Developer/Owner and/or Contractor from responsibility for compliance with any rules, regulations or specifications required by the District.

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18925 BASE CAMP ROAD, MONUMENT, CO 80132
(REC. NO. 205173984 - PARCEL NO. 711130203)

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2	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019

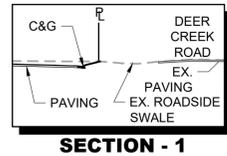
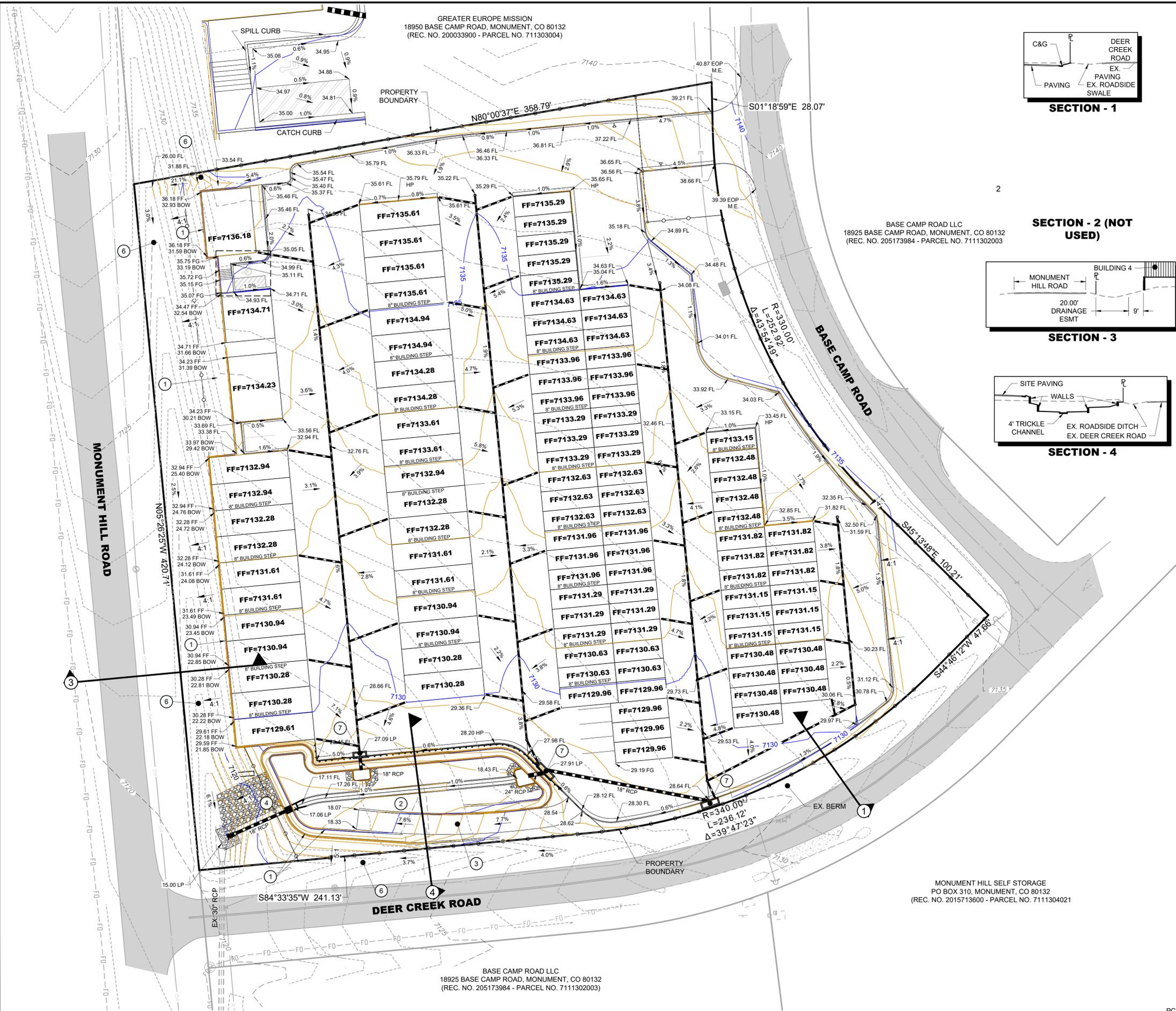
MONUMENT STEEL STRUCTURES
SITE AND UTILITY PLAN
18910 BASE CAMP ROAD
MONUMENT, COLORADO

PROJ. NO. SSA
ENG. _____
CHKD. _____
DATE: 10/24/2019

SHEET NUMBER
SP
2 OF 9



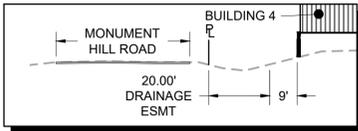
GREATER EUROPE MISSION
18950 BASE CAMP ROAD, MONUMENT, CO 80132
(REC. NO. 200033900 - PARCEL NO. 711303004)



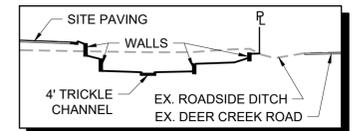
SECTION - 1

2

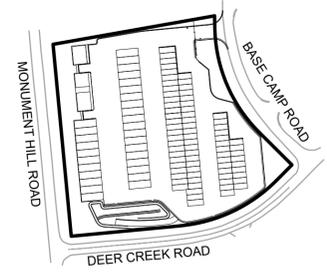
SECTION - 2 (NOT USED)



SECTION - 3



SECTION - 4



KEYMAP

KEYNOTES:

- ① RETAINING WALLS
- ② DETENTION POND
- ③ DETENTION POND MAINTENANCE ACCESS
- ④ OUTLET STRUCTURE
- ⑤ NOT USED 2
- ⑥ DRAINAGE SWALE
- ⑦ STORM INLET

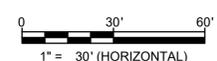
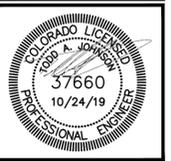
LEGEND:

- LP = LOW POINT
- HP = HIGH POINT
- FL = FLOW LINE
- TOW = TOP OF WALL
- BOW = FINISHED GRADE AT BOTTOM FACE OF WALL
- FF = FINISHED FLOOR
- FG = FINISHED GROUND
- 100' PROPOSED MAJOR CONTOUR
- 100' PROPOSED MINOR CONTOUR
- 100' EXISTING MAJOR CONTOUR
- 100' EXISTING MINOR CONTOUR



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GRADING PLAN
18910 BASE CAMP ROAD
MONUMENT, COLORADO

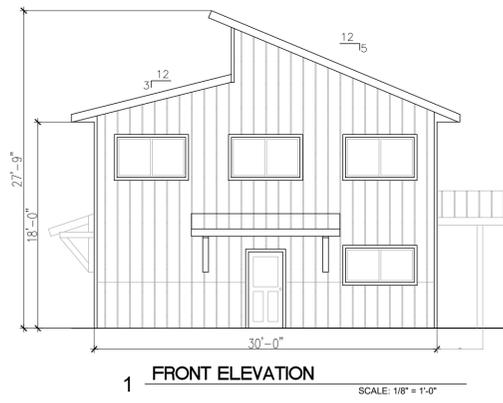


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GR
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MONUMENT HILL SELF STORAGE
PO BOX 310, MONUMENT, CO 80132
(REC. NO. 2015713600 - PARCEL NO. 7111304021)

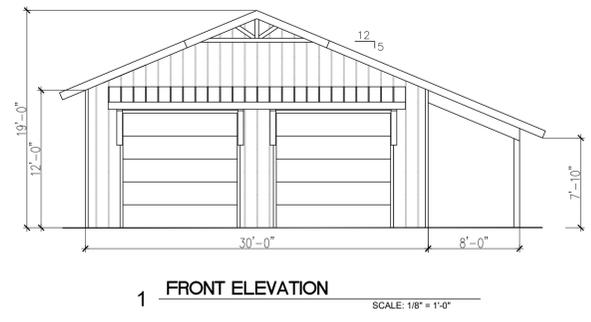
BASE CAMP ROAD LLC
18925 BASE CAMP ROAD, MONUMENT, CO 80132
(REC. NO. 205173984 - PARCEL NO. 7111302003)



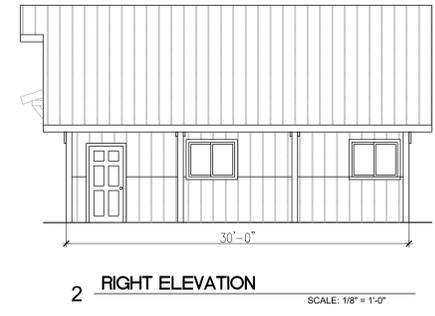
1 FRONT ELEVATION SCALE: 1/8" = 1'-0"



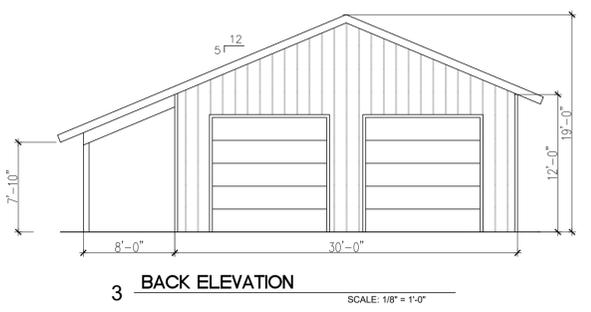
2 RIGHT ELEVATION SCALE: 1/8" = 1'-0"



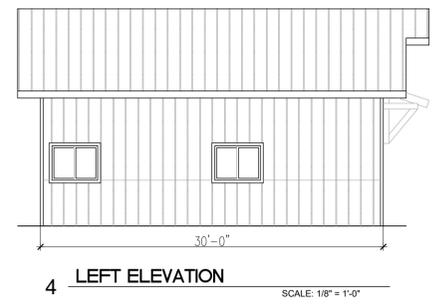
1 FRONT ELEVATION SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION SCALE: 1/8" = 1'-0"

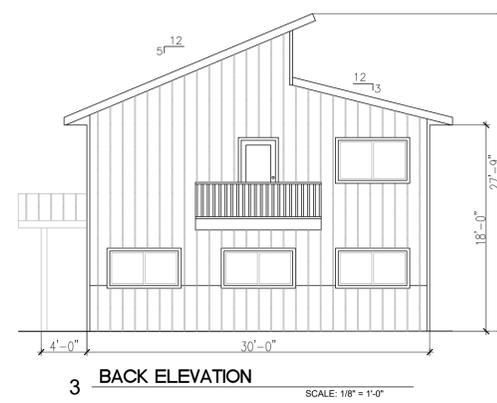


3 BACK ELEVATION SCALE: 1/8" = 1'-0"

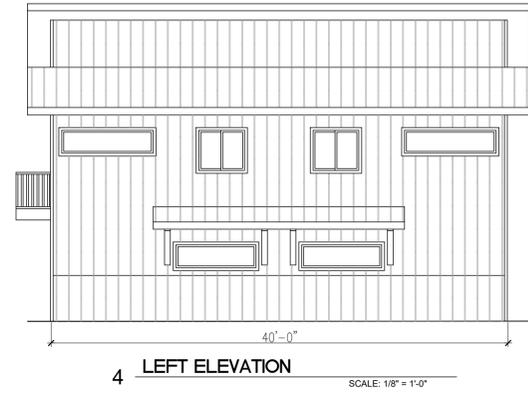


4 LEFT ELEVATION SCALE: 1/8" = 1'-0"

DISPLAY SHOW BUILDING #1

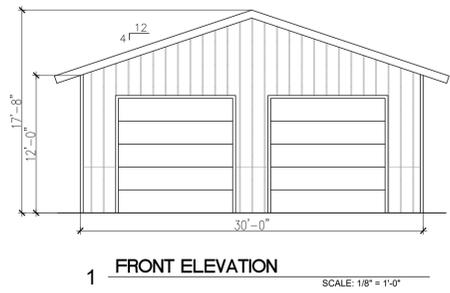


3 BACK ELEVATION SCALE: 1/8" = 1'-0"

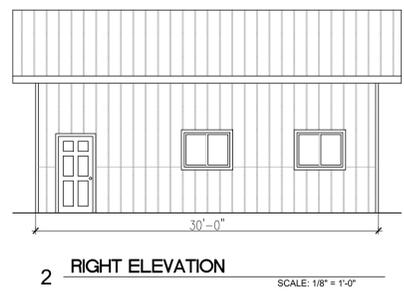


4 LEFT ELEVATION SCALE: 1/8" = 1'-0"

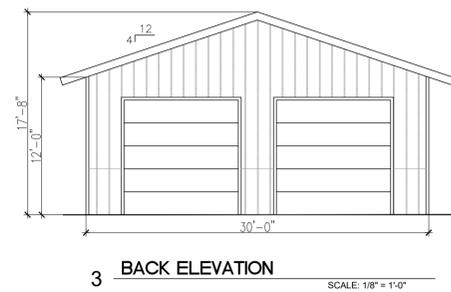
MONUMENT MINI STORAGE OFFICE



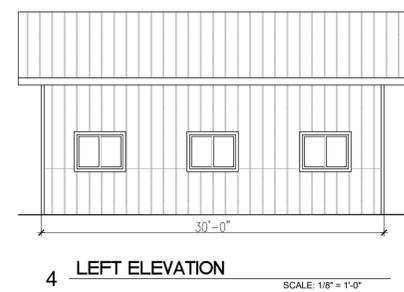
1 FRONT ELEVATION SCALE: 1/8" = 1'-0"



2 RIGHT ELEVATION SCALE: 1/8" = 1'-0"



3 BACK ELEVATION SCALE: 1/8" = 1'-0"



4 LEFT ELEVATION SCALE: 1/8" = 1'-0"

DISPLAY SHOW BUILDING #2



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1	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019
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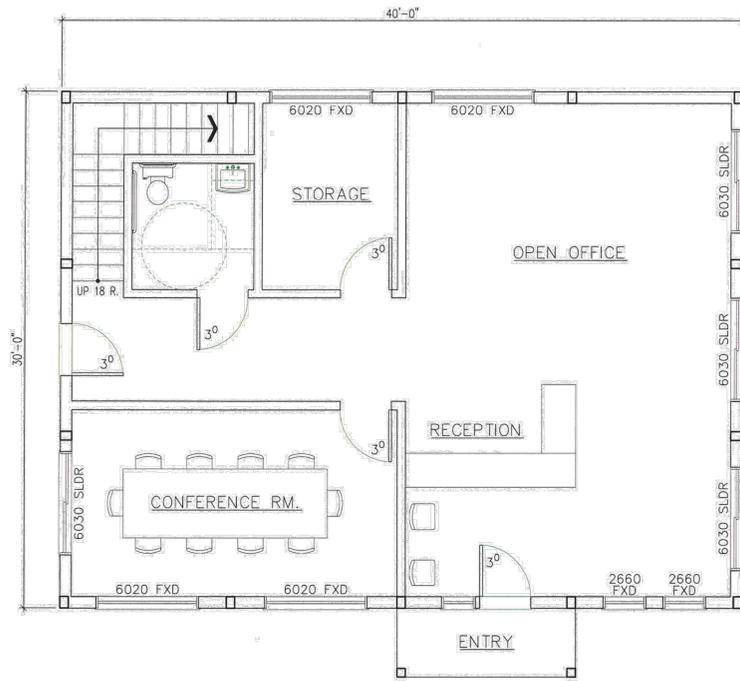
SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
 BUILDING ELEVATIONS
 18910 BASE CAMP ROAD
 MONUMENT, COLORADO



PROJ NO: SSA
 ENG :
 CHKD:
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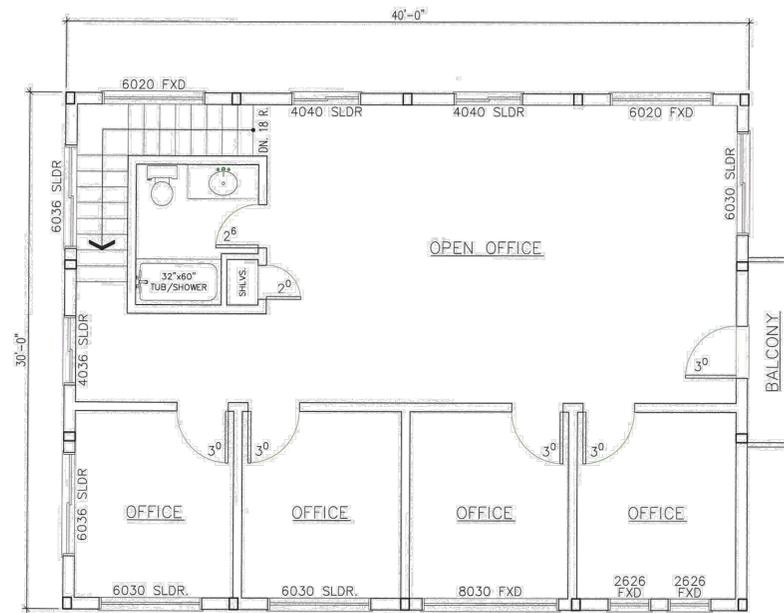
SHEET NUMBER
BD 1
 6 OF 9





MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"



UPPER FLOOR PLAN

SCALE: 3/16" = 1'-0"



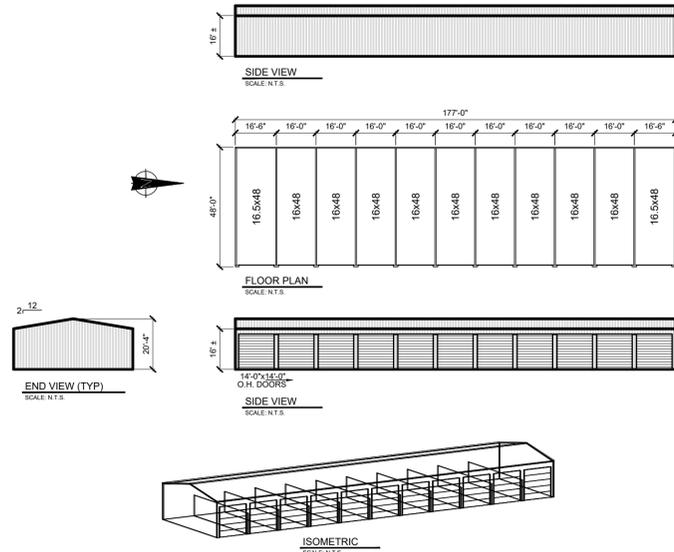
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MONUMENT STEEL STRUCTURES
 OFFICE FLOOR PLANS
 18910 BASE CAMP ROAD
 MONUMENT, COLORADO

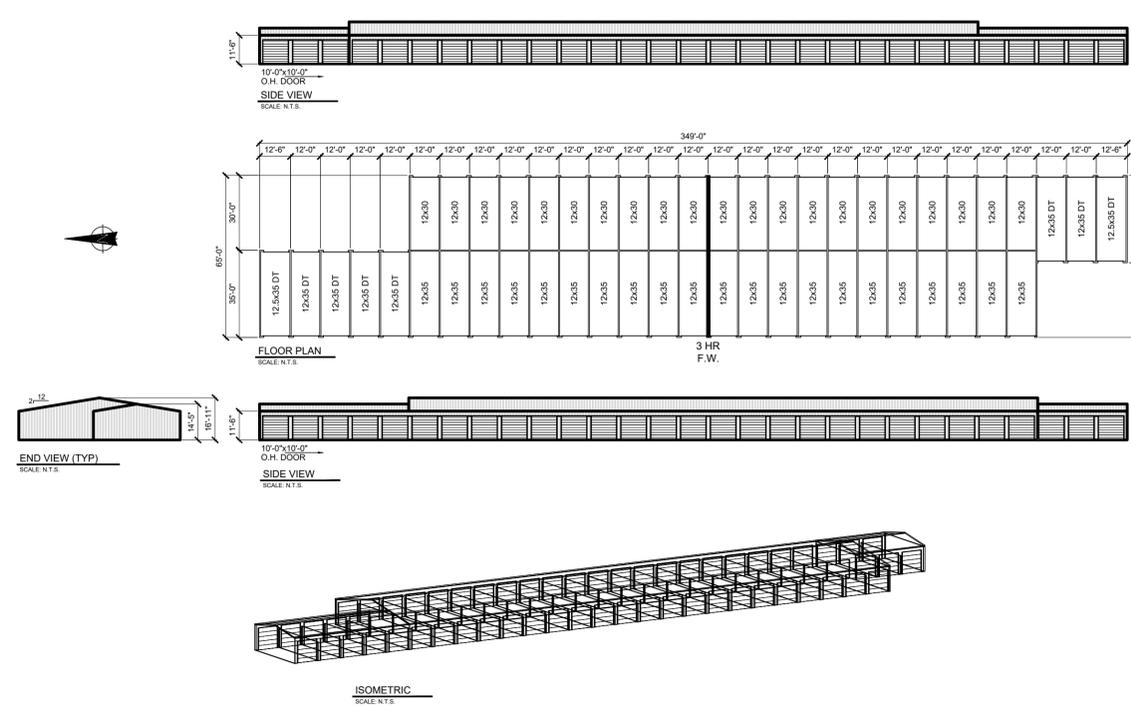
PROJ NO: SSA
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SHEET NUMBER
BD 2

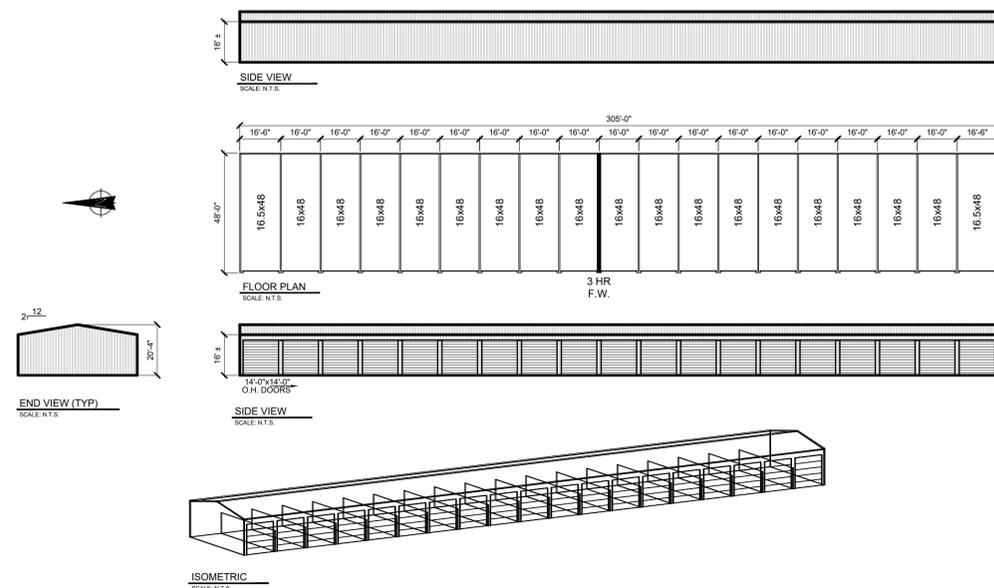
BUILDING 1



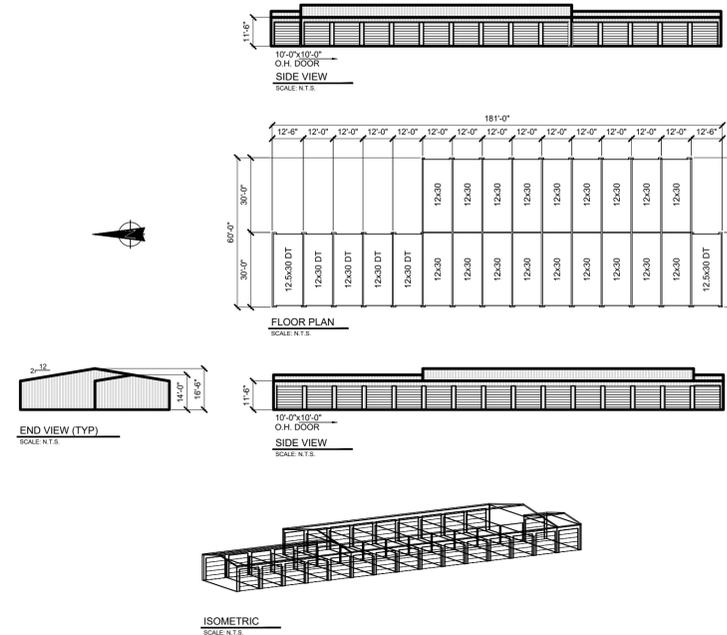
BUILDING 3



BUILDING 2



BUILDING 4



TERRA FORMA
SOLUTIONS

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SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
STORAGE BUILDINGS
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BD 3

Landscape Legend

-  6' Evergreen Trees
-  5 Gal. Deciduous Shrubs
-  1 Gal. Ornamental Grasses
-  Arkansas Valley Seed Mixes
Low Grow Mix
Application Rate: 25 lbs. / acre

Landscape Requirements

Total Site Area = 174,280 sf
 174,280 sf x 5% min. landscape requirement = 8,714 sf
 8,714 sf min. required - 40,573 sf provided (23.28%)

8,714 sf / 1 tree / 500 sf = 17 trees required
 10 trees provided, 70 shrubs provided
 (substitute 7 trees for 70 shrubs)

Monument Hill/ I-25 planting requirements
 420 linear feet / 20 = 21 trees required
 34 trees provided

Deer Creek Road - 1 tree/30 lf
 521 lf = 17 trees required
 10 trees provided
 (7 trees moved to Monument Hill Road landscape buffer
 alternative landscape request)

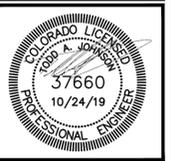
Base Camp Road - 1 tree/30 lf
 331 lf = 11 trees required
 7 trees provided
 (4 trees moved to Monument Hill Road landscape buffer
 alternative landscape request)



Prepared by:
TIM DUNN DESIGN
LANDSCAPE ARCHITECTURE
 720-350-2411 TADUNN1958@GMAIL.COM
 www.timdunnlandscapearchitect.com

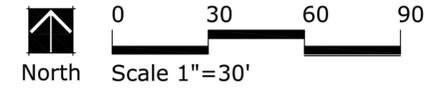
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SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
 SITE LANDSCAPE PLAN
 18910 BASE CAMP ROAD
 MONUMENT, COLORADO



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SITE LANDSCAPE PLAN



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SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
LANDSCAPE DETAILS
18910 BASE CAMP ROAD
MONUMENT, COLORADO



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L2
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PLANT SCHEDULE

QUAN.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	MATURE SIZE
EVERGREEN TREE						
17	RM-J	ROCKY MOUNTAIN JUNIPER	<i>Juniperus scopulorum</i> 'Calagreen'	6' HT.	B&B	15'-20'ht x 4'-6'spr.
33	AUS	AUSTRIAN PINE	<i>Pinus nigra</i>	6' HT.	B&B	40'-60'ht x 40'-60'spr.
SHRUBS						
39	ALP	ALPINE CURRANT	<i>Ribes alpinum</i> '	5 GAL.	CONTAINER	5ht x 5'spr.
25	ROC	ROCK COTONEASTER	<i>Cotoneaster horizontalis</i>	5 GAL.	CONTAINER	2' ht x 5'spr.
12	SGJ	SEA GREEN JUNIPER	<i>Juniperus x media</i> 'Sea Green'	5 GAL.	CONTAINER	6' ht x 6'spr.
CLUMP / ORNAMENTAL GRASS						
48	RSG	SHENANDOAH RED SWITCH GRASS	<i>Panicum virgatum</i> 'Shenandoah'	1 GAL.	CONTAINER	1'-2'ht x 1.5'-2'spr.

LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.
- CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (3) THREE CUBIC YARDS PER 1,000 SQUARE FEET. PRIOR TO LANDSCAPE INSTALLATION A SOILS TEST SHALL BE PERFORMED TO DETERMINE THE SPECIFICS OF THE SOIL AMENDMENT FOR TURF AREAS.
- STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENTLY-PARALLEL TO CURBS, WALLS, AND WALKS.
- ALL PLANTING BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED CEDAR MULCH FOR ANNUALS, OR OTHER MULCHES AS NOTED. APPLY A PRE-EMERGENT HERBICIDE IN BED AREAS.
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/ OR THE CITY/ COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY/ COUNTY.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 4'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH SHREDDED CEDAR MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO LANDSCAPE FABRIC OR EDGER IS NECESSARY FOR TREE RINGS.
- ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM. NATIVE SEED AREAS TO BE IRRIGATED UNTIL ESTABLISHED.
- IRRIGATION TO BE DESIGN/BUILD BY CONTRACTOR BASED ON MODIFICATION OR REPLACEMENT OF EXISTING IRRIGATION SYSTEM CONTRACTOR TO PROVIDE AN "AS BUILT" DRAWING TO THE PINERY HOA.
- CONTRACTOR TO INCLUDE A ONE YEAR MAINTENANCE PROPOSAL TO THE PINERY HOA FOR REVIEW AND APPROVAL.

NATIVE SEED MIX

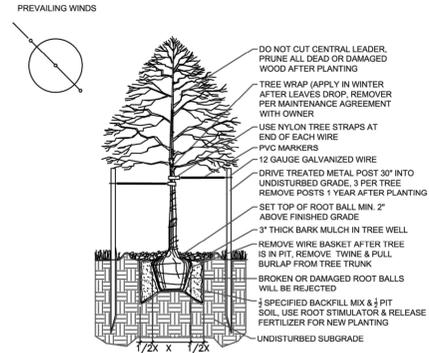
NATIVE SEED MIX - LOW GROW SEED MIX ARKANSAS VALLEY SEED CO. 303-320-7500

- 30% EPHRAIM CRESTED WHEAT GRASS
- 25% SHEEP FESCUE
- 20% PERENNIAL RYE
- 15% CHEWINGS FESCUE
- 10% CANADA BLUEGRASS

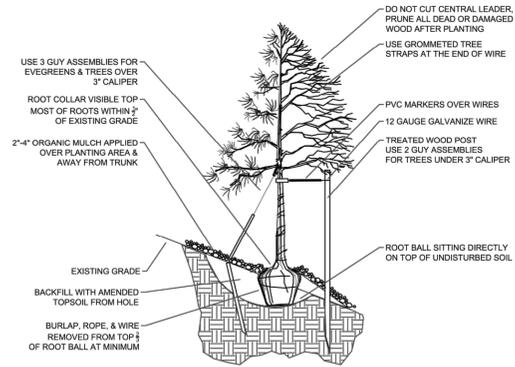
NON-IRRIGATED, HAND WATER DURING SUMMER MONTHS FOR FIRST THREE GROWING SEASONS UNTIL ESTABLISHED.

SEED MIX RATE - 25 POUNDS PER ACRE

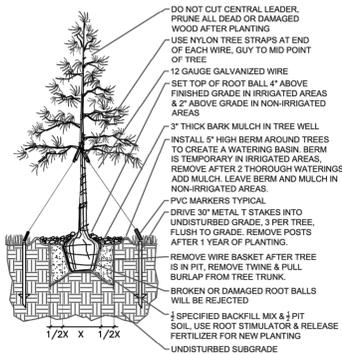
SEE SEEDING APPLICATION SPECIFICATIONS SHEET L-6
APPLY BIOSOL FORTE PRIOR TO SEEDING SEE NOTE SHEET L-6



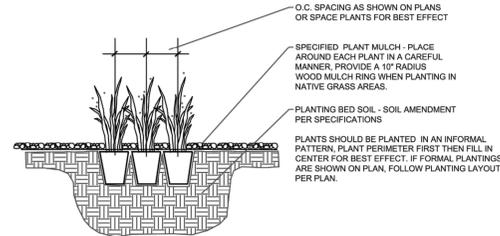
1
L.3
Deciduous Tree Planting Detail



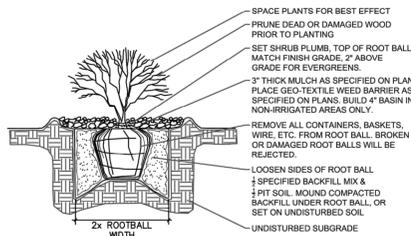
4
L.3
Tree Planting Detail - Steep Slopes



2
L.3
Evergreen Tree Planting Detail



5
L.3
Perennial/Grass Planting Detail



3
L.3
Shrub Planting Detail



