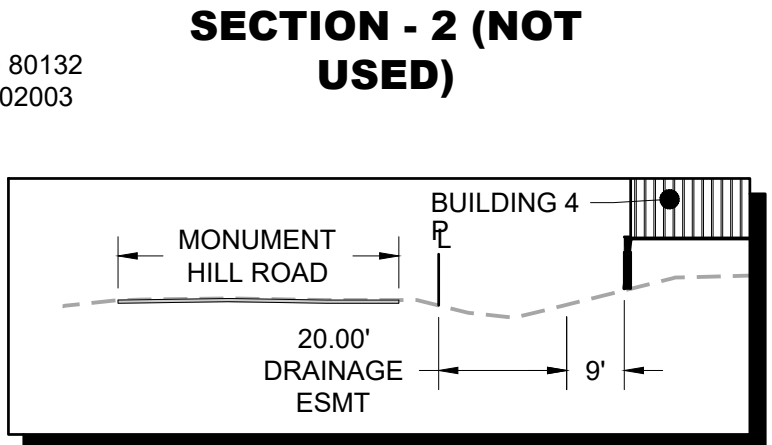
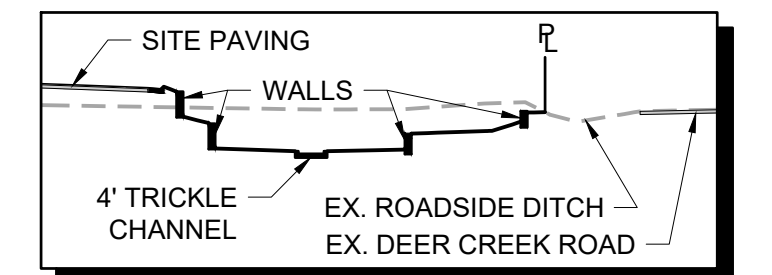


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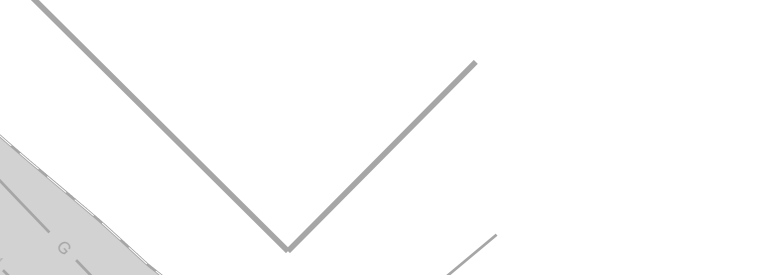
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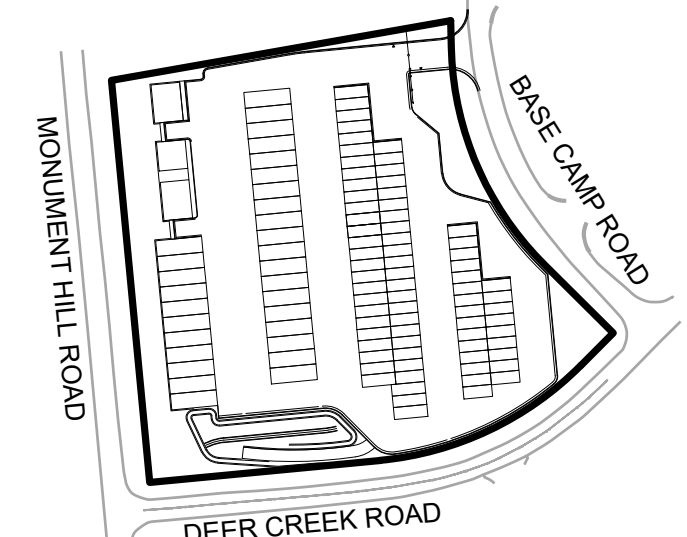
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SECTION - 3



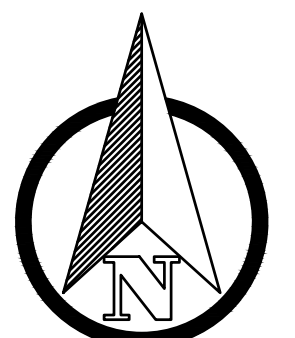
SECTION - 4



KEYMAP

- KEYNOTES:**
- ① RETAINING WALLS
 - ② DETENTION POND
 - ③ DETENTION POND MAINTENANCE ACCESS
 - ④ OUTLET STRUCTURE
 - ⑤ NOT USED 2
 - ⑥ DRAINAGE SWALE
 - ⑦ STORM INLET

- LEGEND:**
- LP = LOW POINT
 - HP = HIGH POINT
 - FL = FLOW LINE
 - TOW = TOP OF WALL
 - BOW = FINISHED GRADE AT BOTTOM FACE OF WALL
 - FF = FINISHED FLOOR
 - FG = FINISHED GROUND
 - PROPOSED MAJOR CONTOUR
 - PROPOSED MINOR CONTOUR
 - EXISTING MAJOR CONTOUR
 - EXISTING MINOR CONTOUR



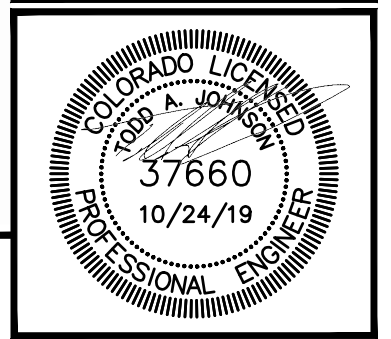
MONUMENT HILL SELF STORAGE
PO BOX 310, MONUMENT, CO 80132
(REC. NO. 2015713600 - PARCEL NO. 7111304021)

BASE CAMP ROAD LLC
18925 BASE CAMP ROAD, MONUMENT, CO 80132
(REC. NO. 205173984 - PARCEL NO. 7111302003)



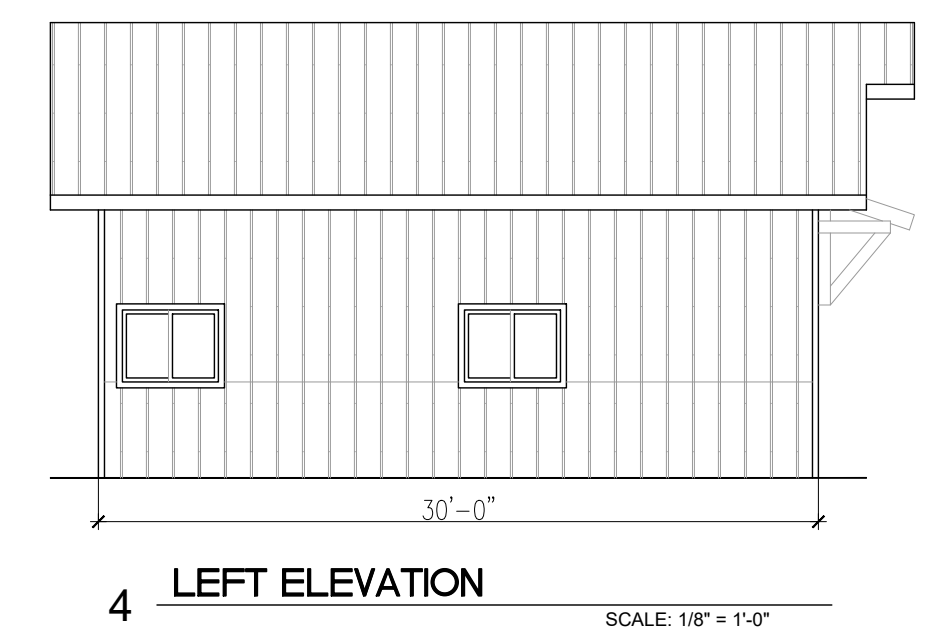
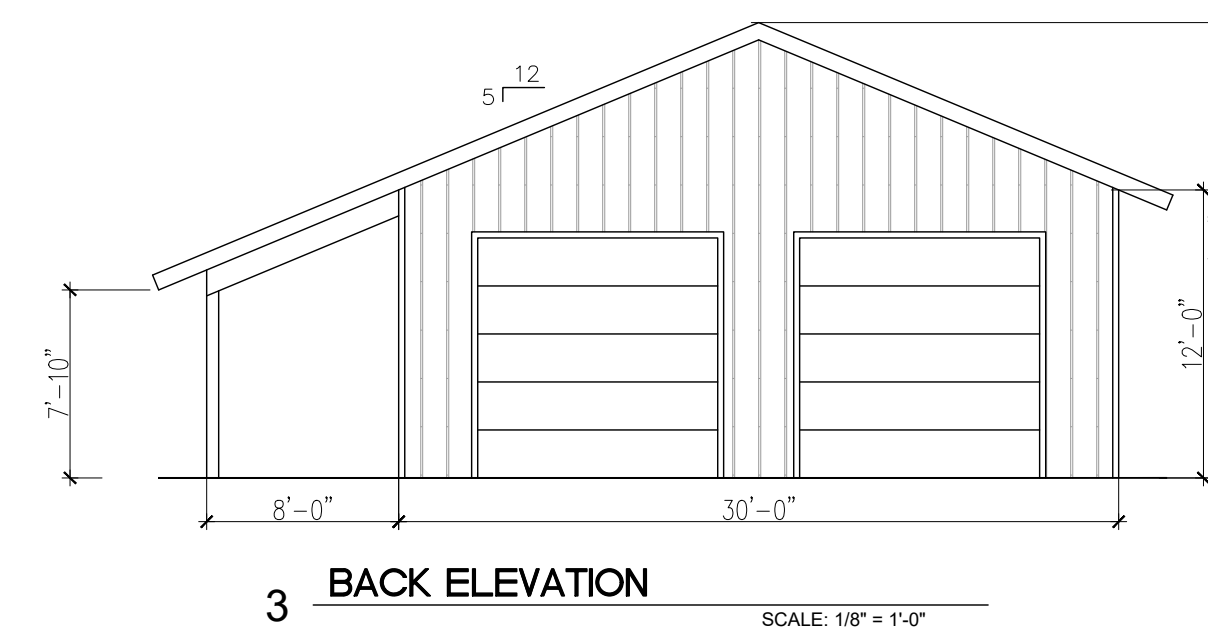
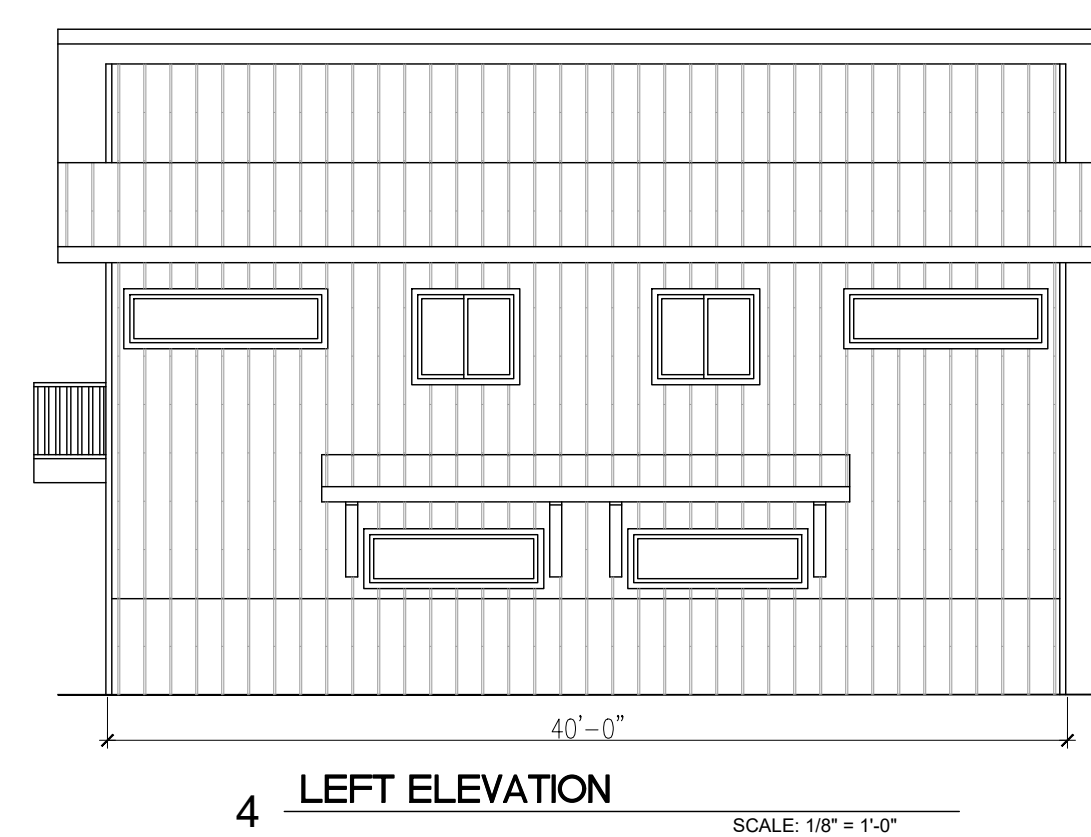
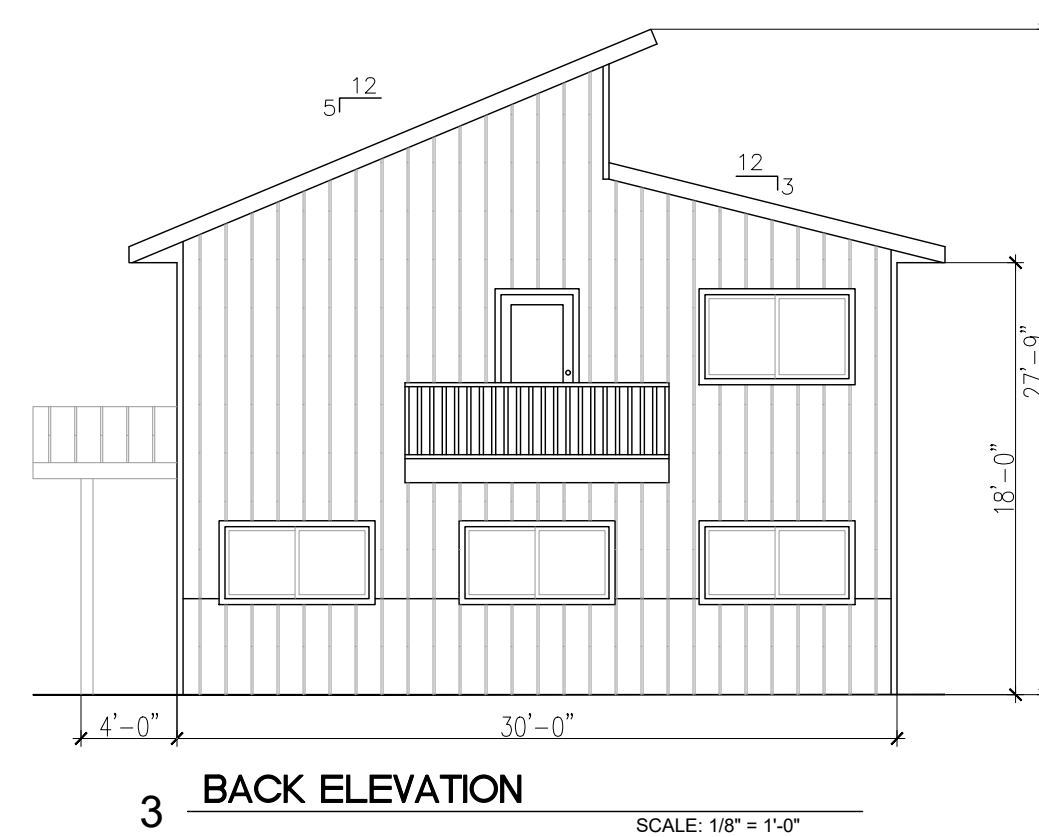
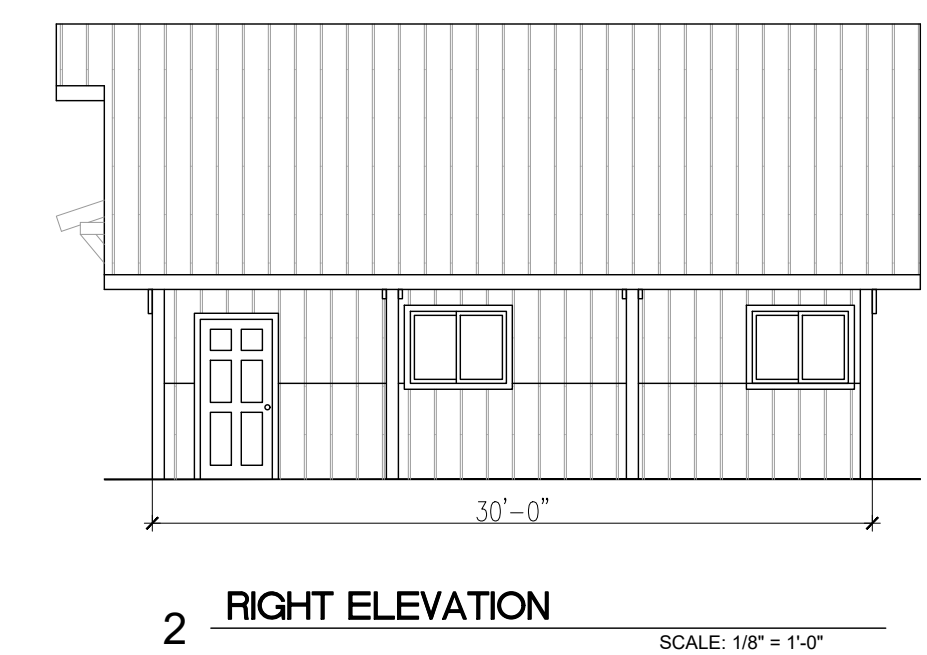
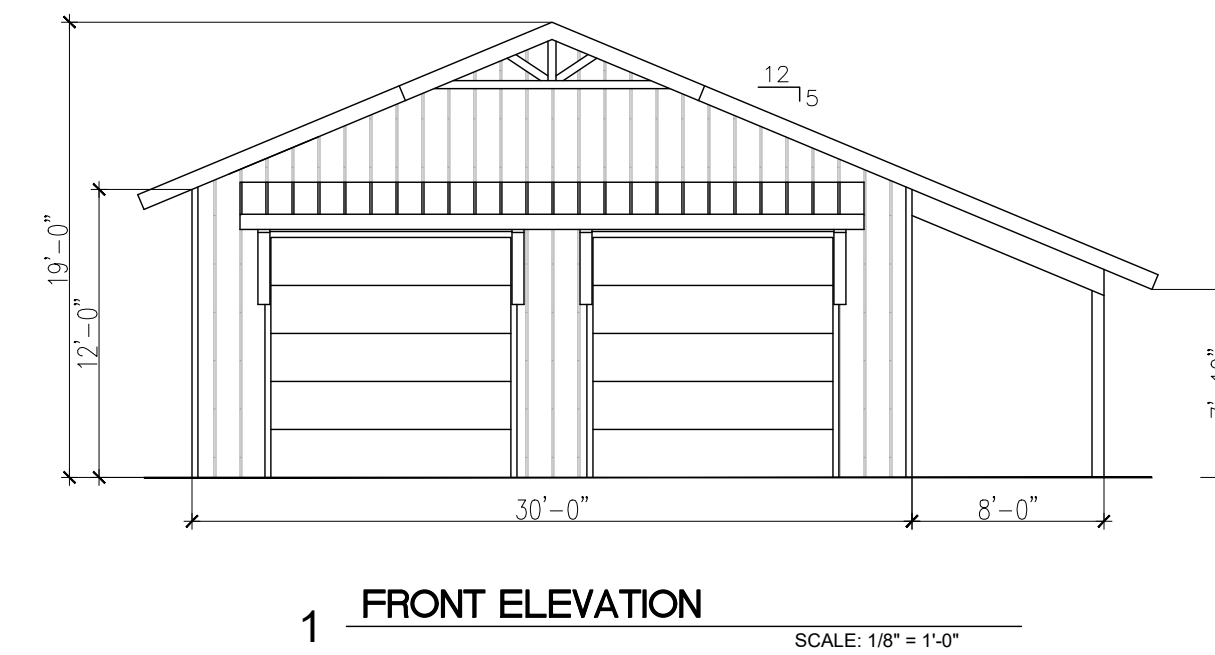
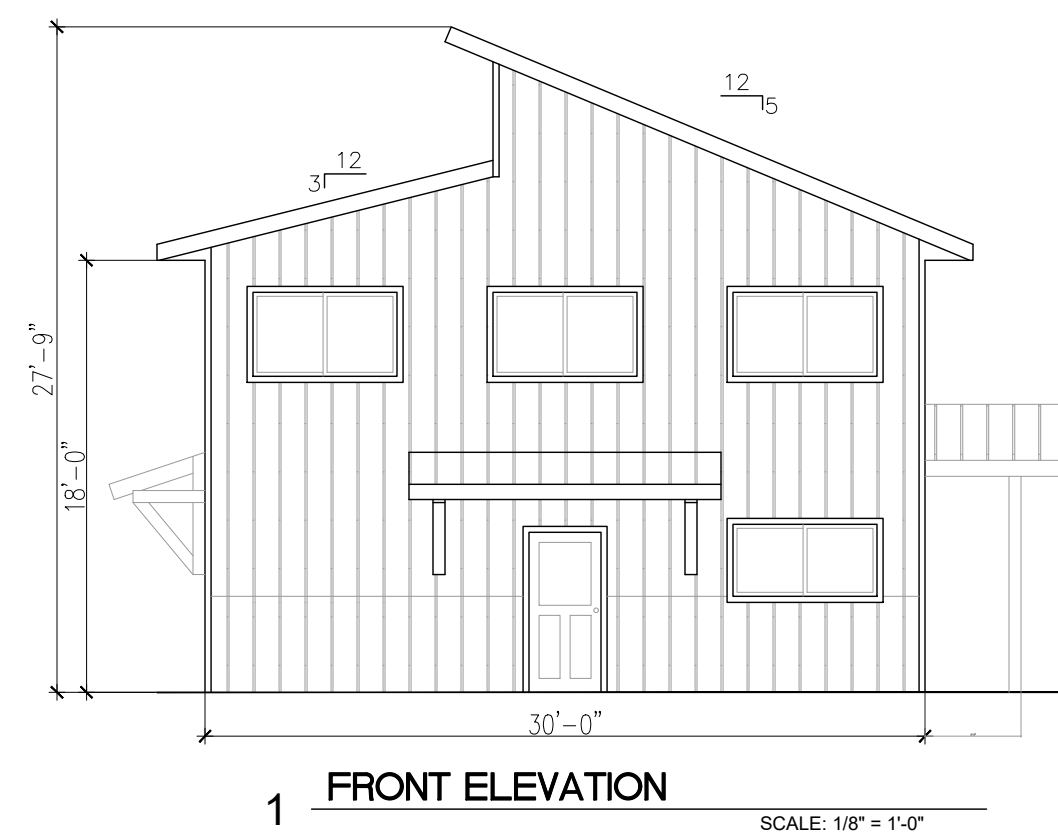
DATE	02/13/2020
REV. NO.	1
DESCRIPTION	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS
REV. NO.	2
DESCRIPTION	LANDSCAPE AND HANDICAP REVISIONS

SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
GRADING PLAN
18910 BASE CAMP ROAD
MONUMENT, COLORADO

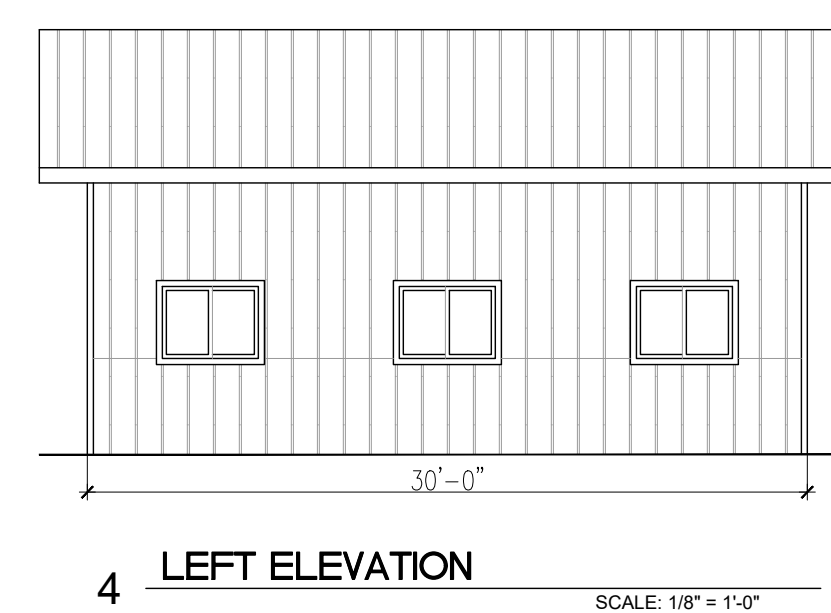
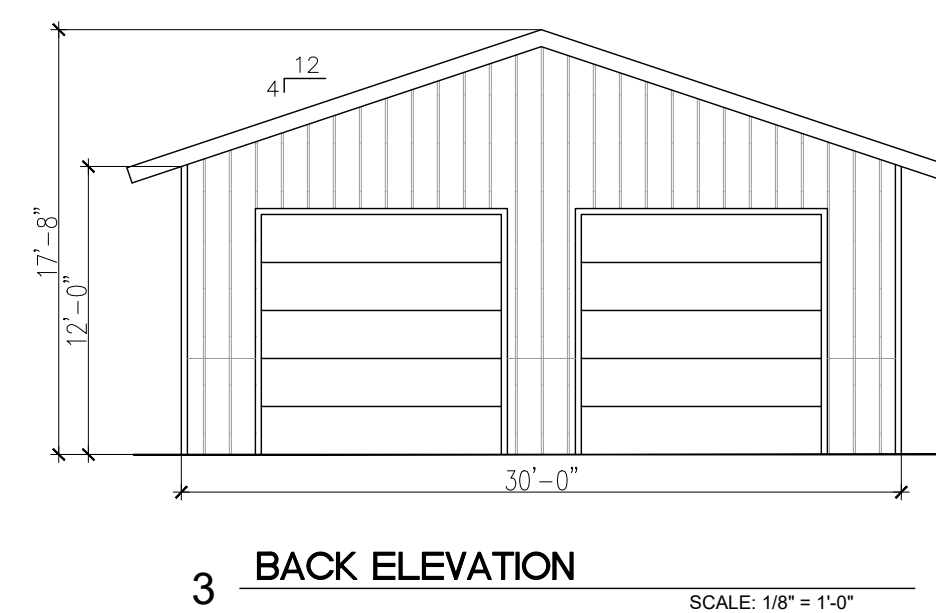
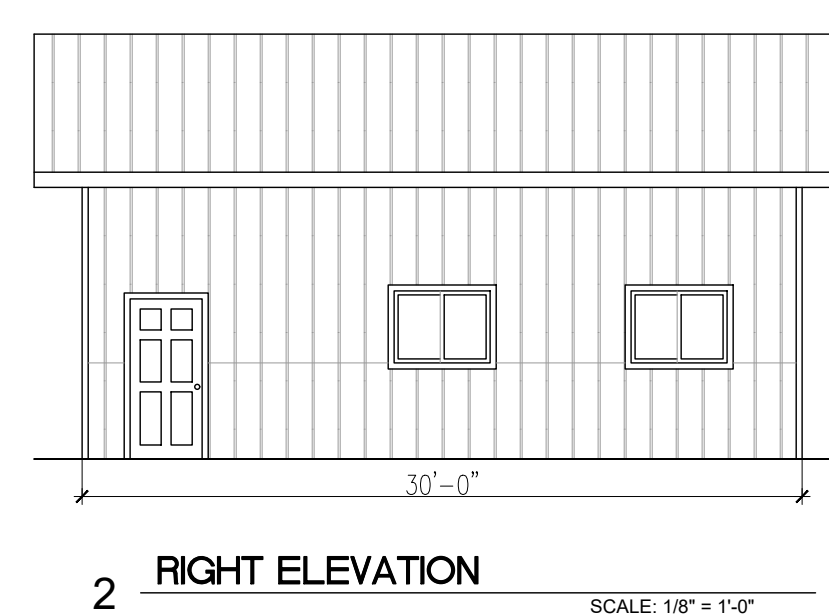
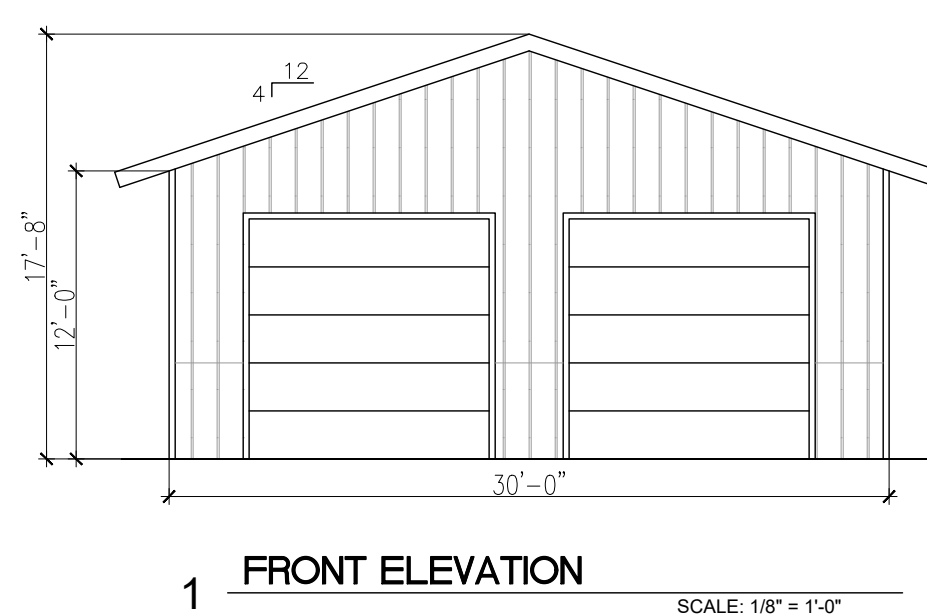


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ENG: _____
CHKD: _____
DATE: 10/24/2019

SHEET NUMBER
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3 OF 9



DISPLAY SHOW BUILDING #1



DISPLAY SHOW BUILDING #2



TERRA FORMA
—SOLUTIONS—

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SITE DEVELOPMENT PLAN MONUMENT STEEL STRUCTURES BUILDING ELEVATIONS 18910 BASE CAMP ROAD MONUMENT, COLORADO



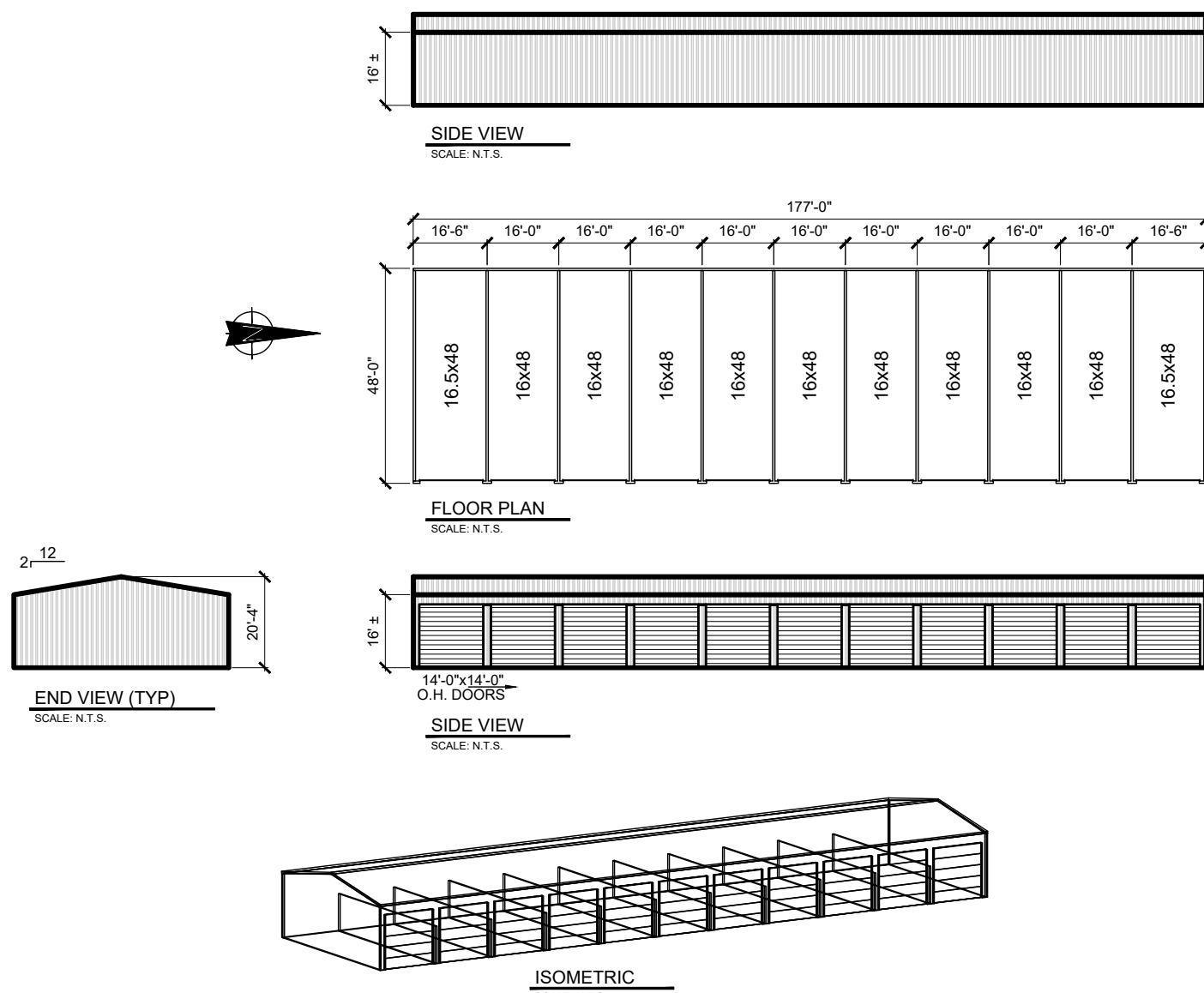
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DATE : 10/24/2019

SHEET NUMBER

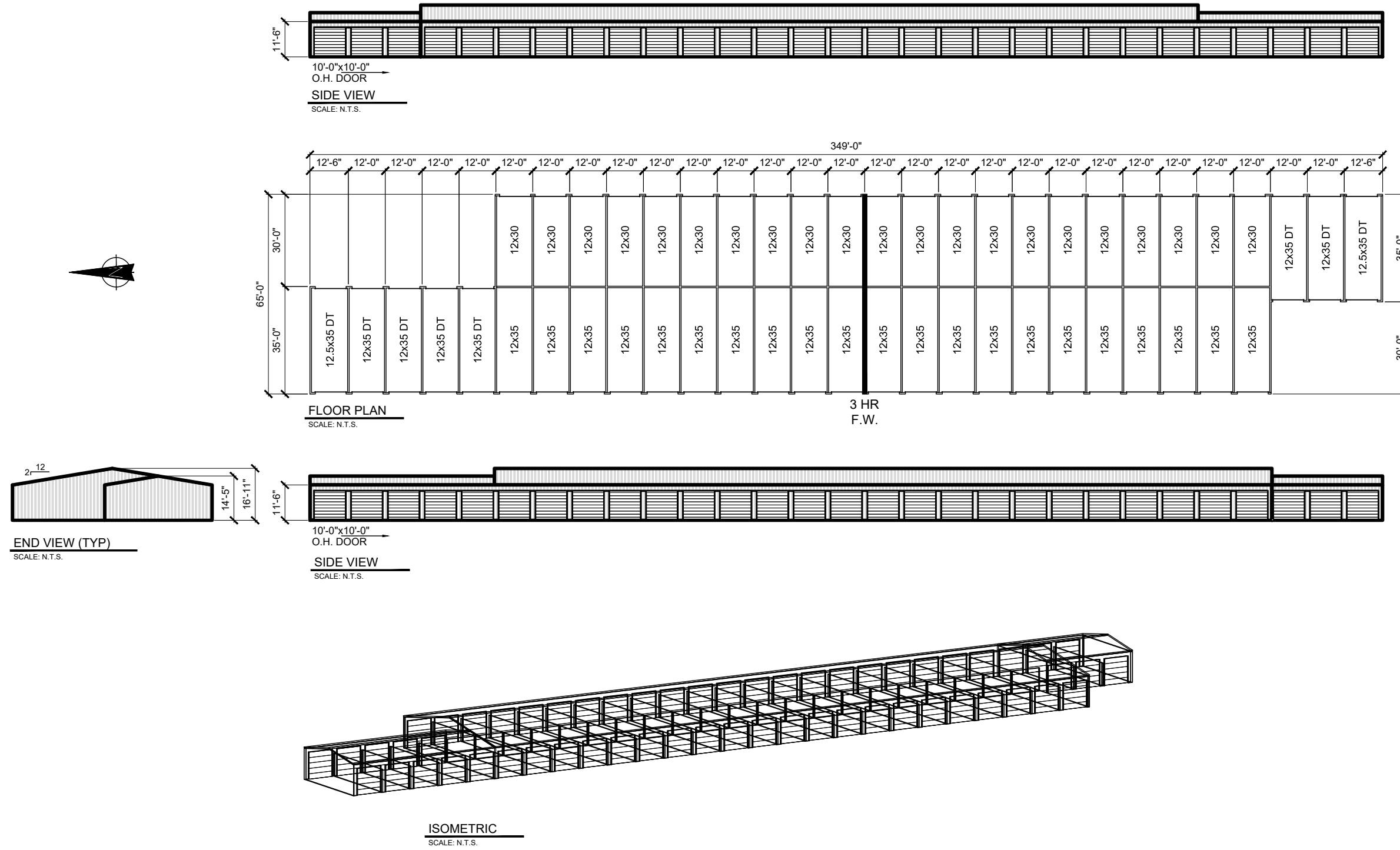
BD 1

6 OF 9

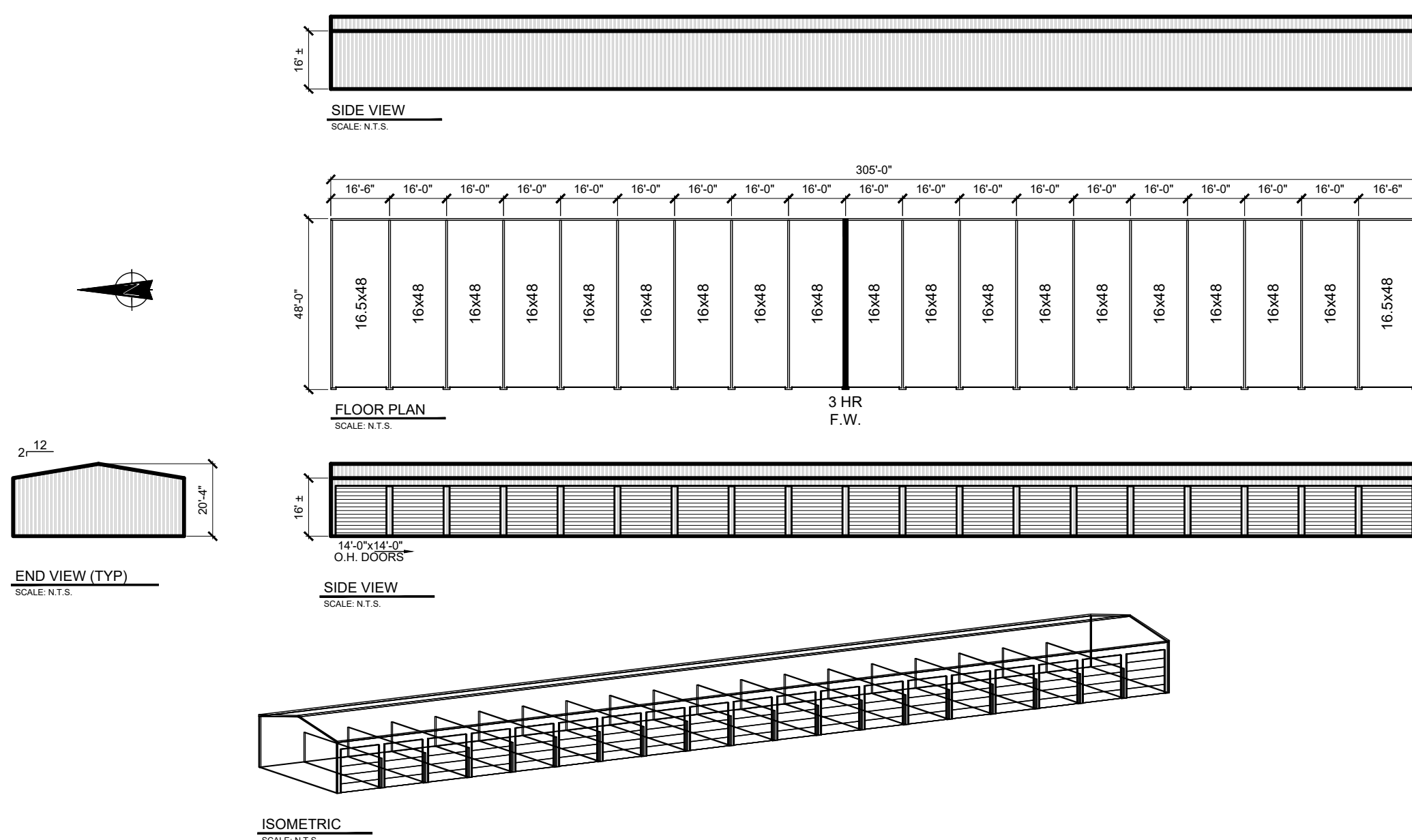
BUILDING 1



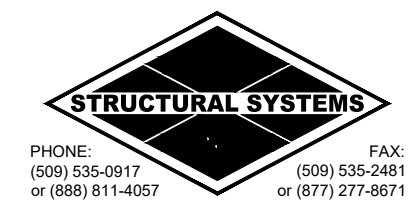
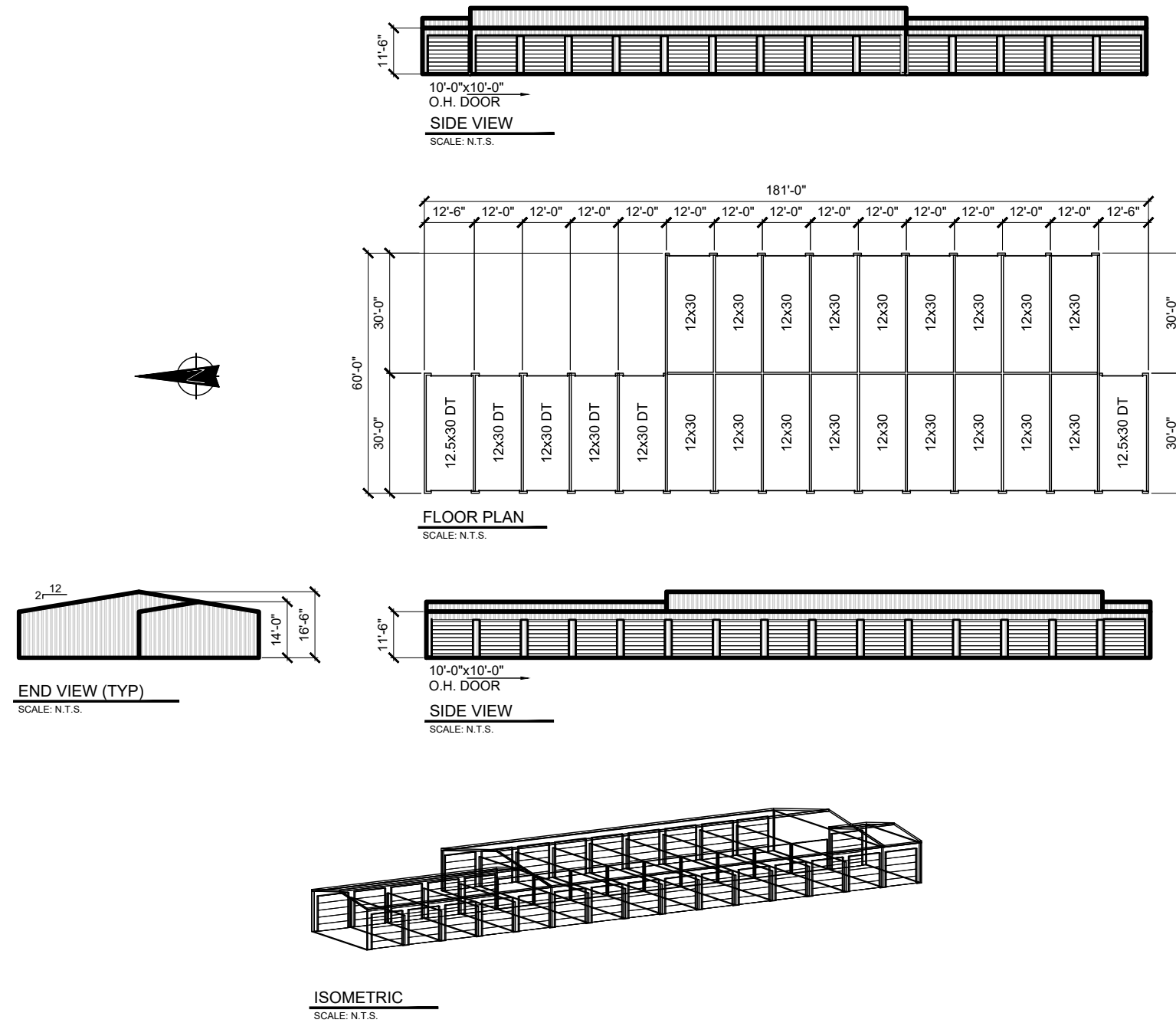
BUILDING 3



BUILDING 2



BUILDING 4



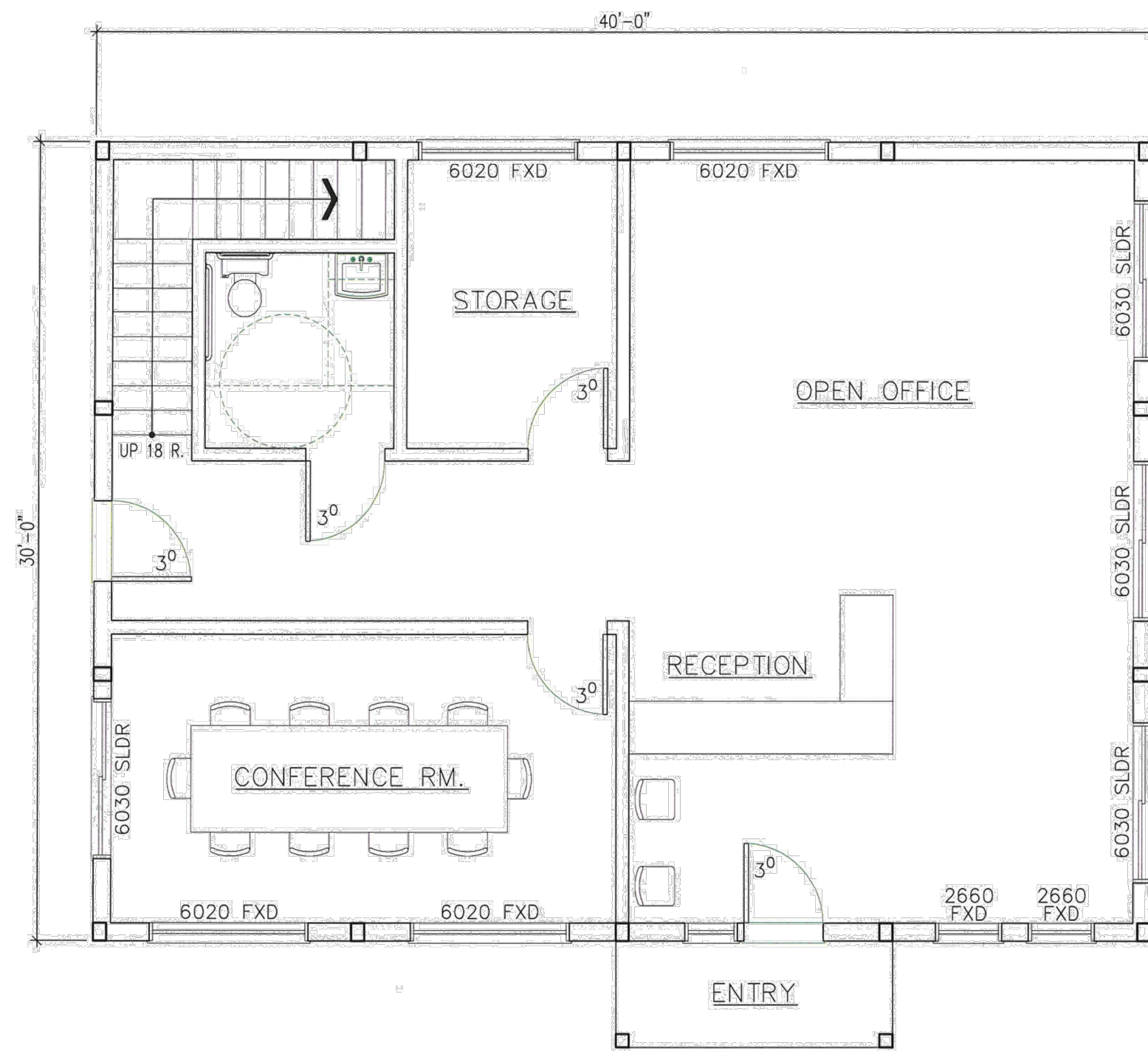
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STORAGE BUILDINGS

13910 BASE CAMP ROAD
MONUMENT, COLORADO

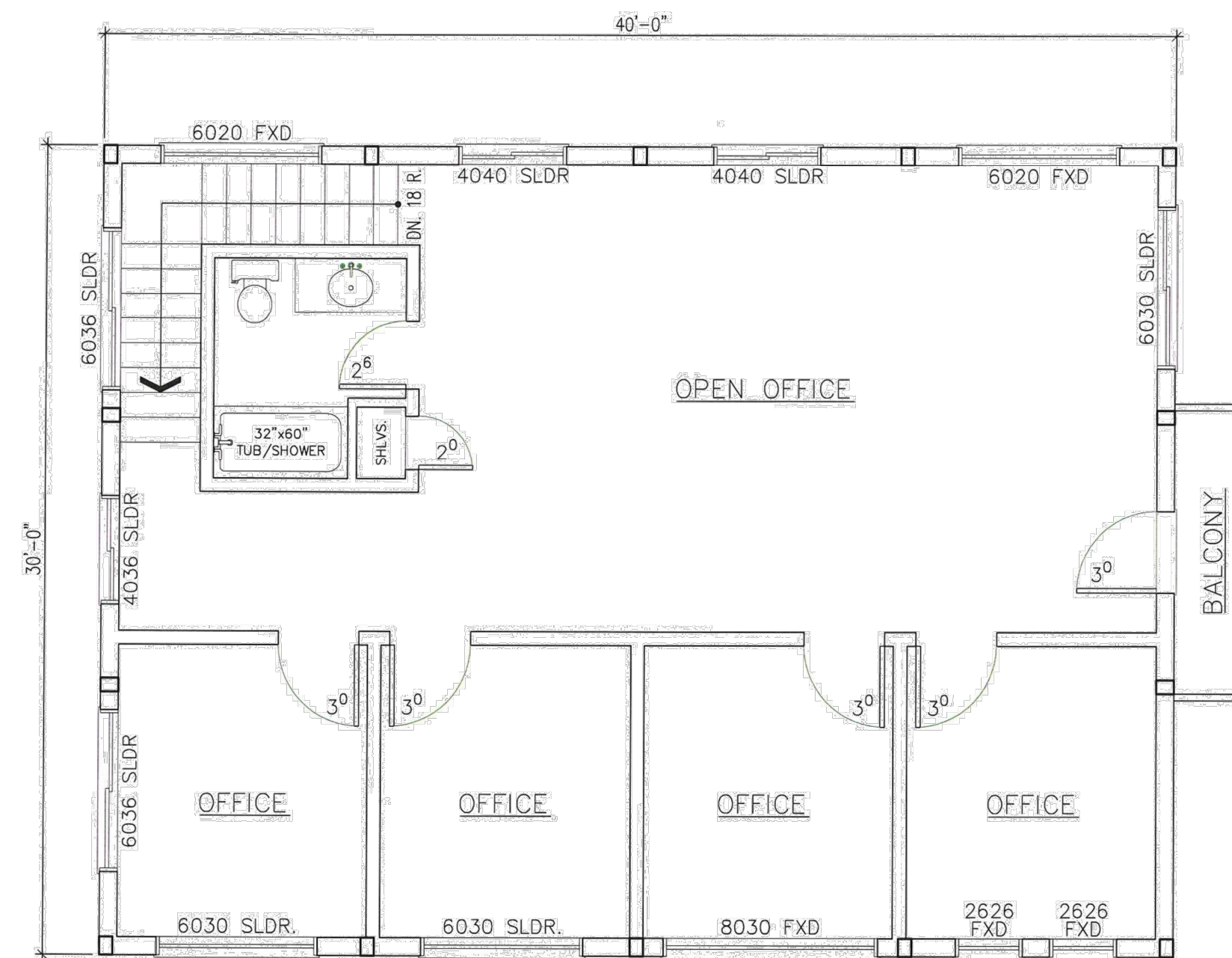
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ENG :
CHKD:
DATE : 10/24/2019

BD 3



MAIN FLOOR PLAN

SCALE: 3/16" = 1'-0"



UPPER FLOOR PLAN

SCALE: 3/16" = 1'-0"



REV. NO.	DESCRIPTION	DATE
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2	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS	02/13/2020
1	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019

SITE DEVELOPMENT PLAN

MONUMENT STEEL STRUCTURES

OFFICE FLOOR PLANS

18910 BASE CAMP ROAD
MONUMENT, COLORADO

PROJ NO: SSA

ENG :

CHKD:

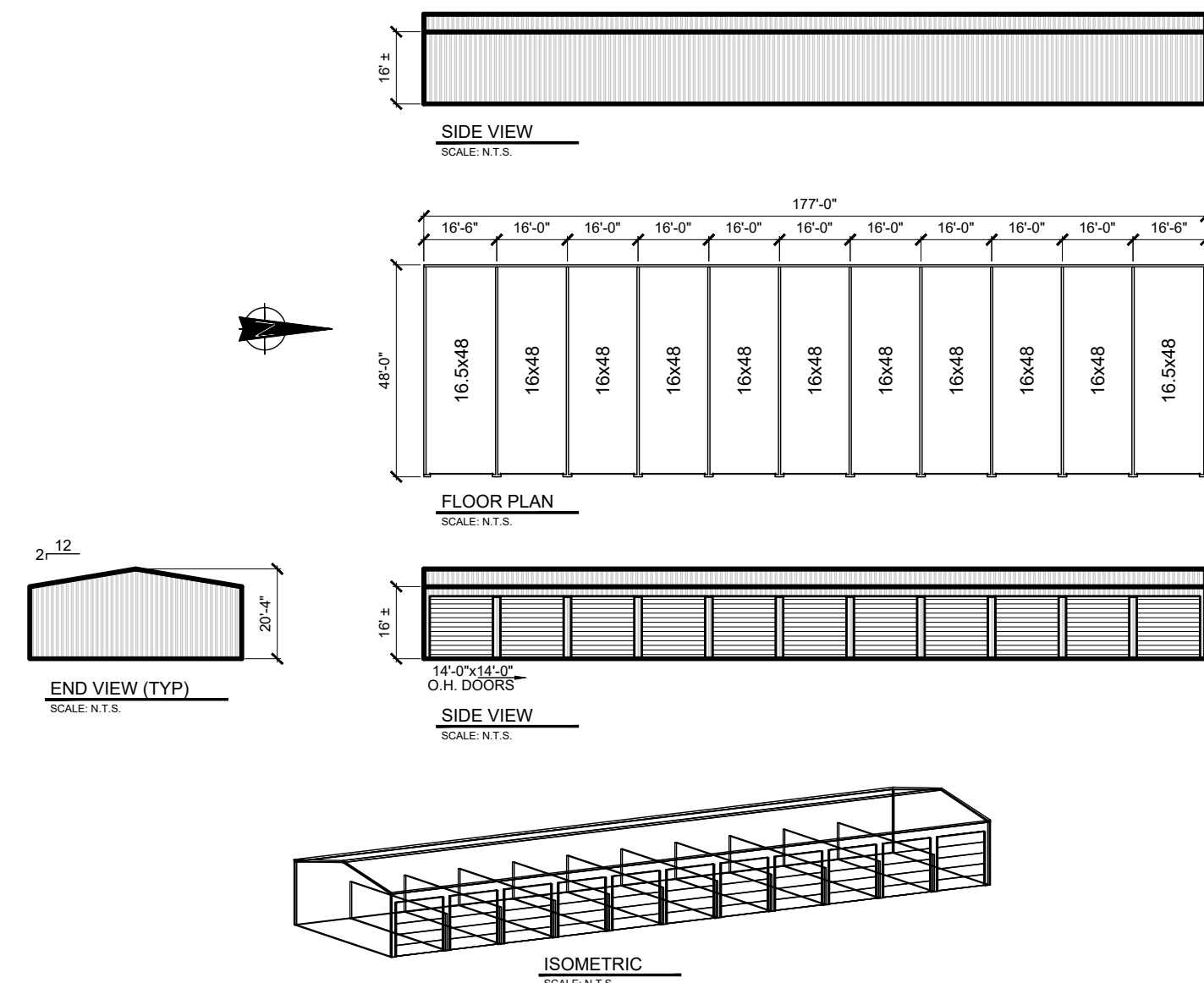
DATE : 10/24/2019

SHEET NUMBER

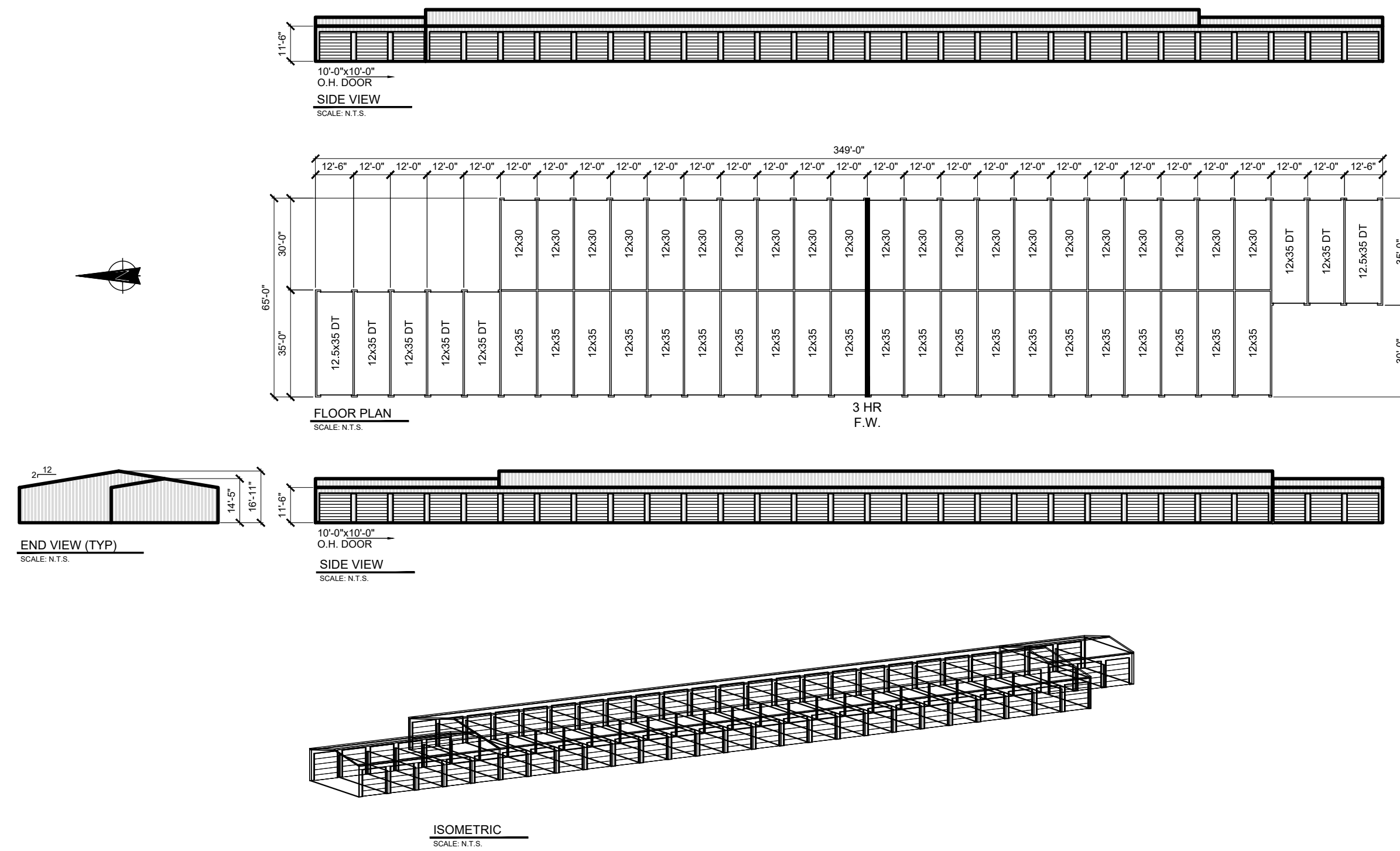
BD 2

7 OF 9

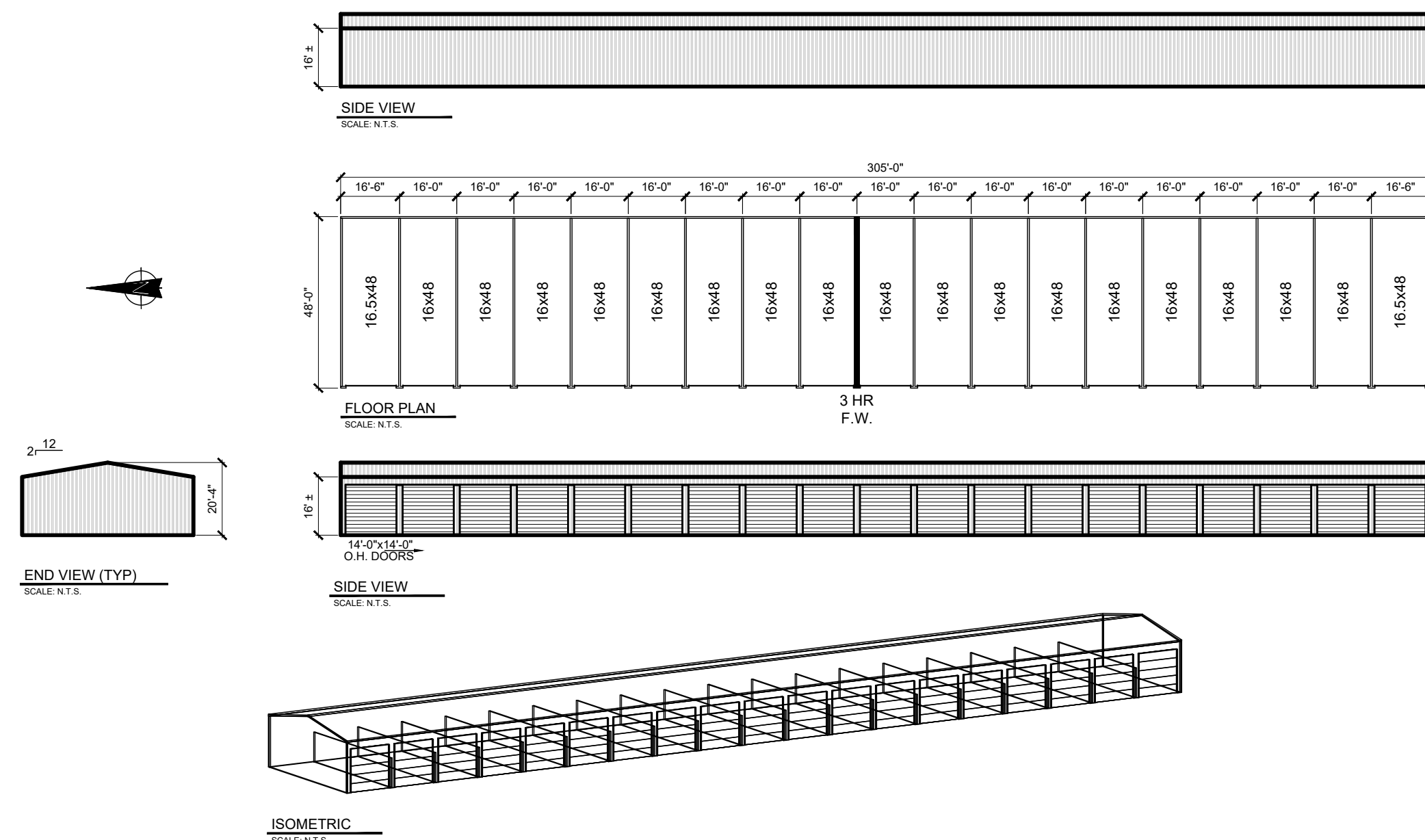
BUILDING 1



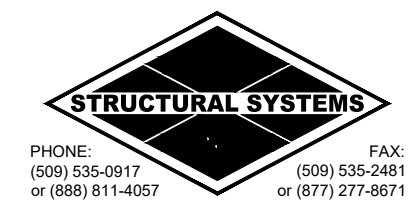
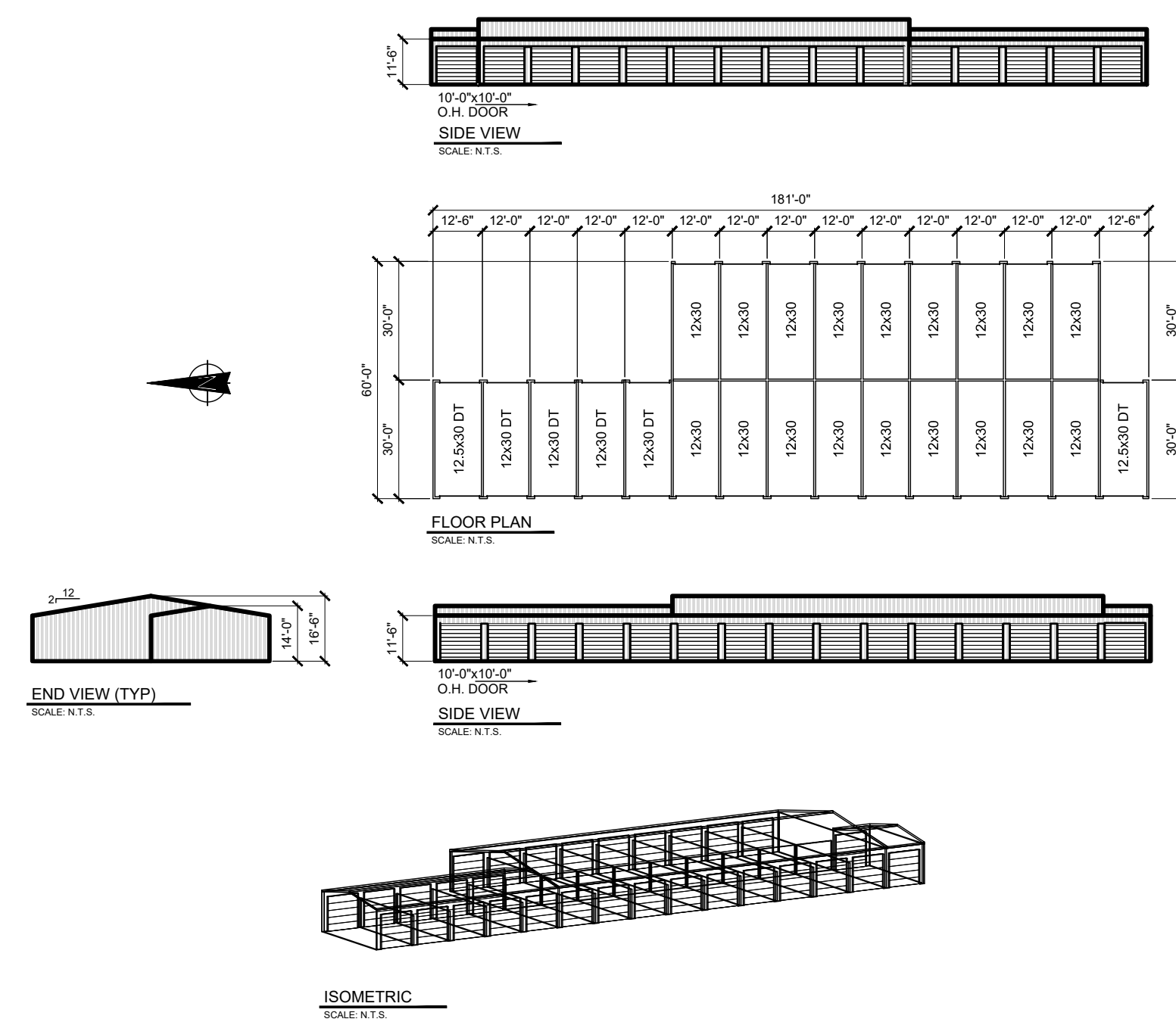
BUILDING 3



BUILDING 2



BUILDING 4



REV. NO.	DESCRIPTION	DATE
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2	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS	02/13/2020
1	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019

STORAGE BUILDINGS
18910 BASE CAMP ROAD
MONUMENT, COLORADO

PROJ NO: SSA
ENG :
CHKD:
DATE : 10/24/2019

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BD 3



Landscape Legend

- 6' Evergreen Trees
- 5 Gal. Deciduous Shrubs
- 1 Gal. Ornamental Grasses
- Arkansas Valley Seed Mixes
Low Grow Mix
Application Rate: 25 lbs. / acre

Landscape Requirements

Total Site Area = 174,280 sf
174,280 sf x 5% min. landscape requirement = 8,714 sf
8,714 sf min. required - 40,573 sf provided (23.28%)

8,714 sf / 1 tree / 500 sf = 17 trees required
10 trees provided, 70 shrubs provided
(substitute 7 trees for 70 shrubs)

Monument Hill/ I-25 planting requirements
420 lineal feet / 20 = 21 trees required
34 trees provided

Deer Creek Road - 1 tree/30 lf
521 lf = 17 trees required
10 trees provided
(7 trees moved to Monument Hill Road landscape buffer
alternative landscape request)

Base Camp Road - 1 tree/30 lf
331 lf = 11 trees required
7 trees provided
(4 trees moved to Monument Hill Road landscape buffer
alternative landscape request)

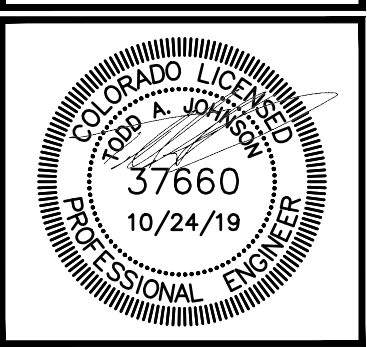


Prepared by:
TIM DUNN DESIGN
LANDSCAPE ARCHITECTURE
720-350-2411 TADUNN1958@GMAIL.COM
www.timdunnlandscapearchitect.com

BEFORE YOU DIG
CALL UTILITY NOTIFICATION
CENTER OF COLORADO
1-800-922-1987
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE
YOU DIG, GRADE OR EXCAVATE FOR THE MARKING
OF UNDERGROUND MEMBER UTILITIES

REV. NO.	DESCRIPTION	DATE
1	LANDSCAPE AND HANDICAP REVISIONS	10/24/2019
2	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS	02/13/2020

SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
SITE LANDSCAPE PLAN
18910 BASE CAMP ROAD
MONUMENT, COLORADO



PROJ NO: SSA
ENG :
CHKD:
DATE: 10/24/2019

PLANT SCHEDULE						
QUAN.	KEY	COMMON NAME	BOTANICAL NAME	SIZE	CONDITION	MATURE SIZE
EVERGREEN TREE						
17	RM-Jr	ROCKY MOUNTAIN JUNIPER	Juniperus scopulorum 'ColoGreen'	6' HT.	B&B	15'-20'ht x 4'-6'spr.
33	AUS	AUSTRIAN PINE	Pinus nigra	6' HT.	B&B	40'-60'ht x 40'-60'spr.
SHRUBS						
39	ALP	ALPINE CURRANT	Ribes alpinum'	5 GAL.	CONTAINER	5'ht x 5'spr.
25	ROC	ROCK COTONEASTER	Cotoneaster horizontalis	5 GAL.	CONTAINER	2' ht x 5'spr.
12	SGJ	SEA GREEN JUNIPER	Juniperus x media 'Sea Green'	5 GAL.	CONTAINER	6' ht x 6'spr.
CLUMP / ORNAMENTAL GRASS						
48	RSG	SHENANDOAH RED SWITCH GRASS	Panicum virgatum 'Shenandoah'	1 GAL.	CONTAINER	1'-2'ht x 1.5'-2'spr.

LANDSCAPE NOTES

- ALL WORK SHALL CONFORM TO LOCAL CITY AND COUNTY CODES. ALL WORK SHALL BE IN ACCORDANCE WITH OSHA CODES AND STANDARDS. NOTHING INDICATED ON THE LANDSCAPE DRAWINGS SHALL RELIEVE THE CONTRACTOR FROM COMPLYING WITH ANY APPROPRIATE SAFETY REGULATIONS.
- THE OWNER, SUCCESSORS, AND ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, AND REPLACEMENT OF ALL LANDSCAPING MATERIALS SHOWN OR INDICATED ON THE APPROVED SITE PLAN OR LANDSCAPE PLANS ON FILE WITH THE CITY PLANNING DEPARTMENT. ALL LANDSCAPING SHALL BE INSTALLED AS SHOWN ON THE LANDSCAPE PLANS PRIOR TO THE ISSUANCE FOR THE CERTIFICATE OF OCCUPANCY.
- CONTRACTOR SHALL VERIFY (CALL FOR UTILITY LOCATES) LOCATION OF ALL EXISTING UTILITIES AND STRUCTURES PRIOR TO EXCAVATION OR TRENCHING.
- CONTRACTOR IS RESPONSIBLE FOR THE REPAIR OF ANY SETTLING DUE TO EXCAVATION AND TRENCHING.
- CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING ADJACENT PROPERTY'S AMENITIES/ IMPROVEMENTS, UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DAMAGE DUE TO PROJECT'S CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIR TO UTILITIES, ADJACENT LANDSCAPE, AND THE SUBCONTRACTOR'S OPERATIONS DURING CONSTRUCTION AND/ OR THE SPECIFIED MAINTENANCE PERIOD. THE CONTRACTOR SHALL FULLY COMPENSATE THE OWNER FOR ANYTHING DISTURBED AND/ OR DESTROYED THAT IS NOT DESIGNATED FOR DEMOLITION.
- ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR USE OF MAINTENANCE EQUIPMENT ENTRY.
- SEE CIVIL ENGINEER'S DRAWINGS FOR GRADING AND DRAINAGE, EROSION CONTROL, PAVING AND SLEEVES, UTILITIES, AND OTHER ENGINEERED DETAILS.
- ALL LANDSCAPE AREAS SHALL RECEIVE SOIL PREPARATION AT A RATE OF (3) THREE CUBIC YARDS PER 1,000 SQUARE FEET. PRIOR TO LANDSCAPE INSTALLATION A SOILS TEST SHALL BE PERFORMED TO DETERMINE THE SPECIFICS OF THE SOIL AMENDMENT FOR TURF AREAS.
- STEEL EDGER SHALL BE PROVIDED AROUND ALL PLANTING BEDS ADJACENT TURF AREAS. EDGER SHALL BE GALVANIZED STEEL, ROLLED TOP EDGE, AND INTERLOCKING. EDGER IS NOT NECESSARY ADJACENTLY-PARALLEL TO CURBS, WALLS, AND WALKS.
- ALL PLANTING BEDS TO BE MULCHED WITH 3" DEPTH SHREDDED CEDAR MULCH FOR ANNUALS, OR OTHER MULCHES AS NOTED. APPLY A PRE-EMERGENT HERBICIDE IN BED AREAS.
- ALL PLANTS OF THE SAME SPECIES AND SIZE SHALL HAVE MATCHING HEIGHT AND FORM, UNLESS OTHERWISE NOTED. ALL PLANTS SHALL CONFORM TO THE "AMERICAN STANDARD FOR NURSERY STOCK."
- ALL PLANTS SHALL BE PLANTED USING AN EQUALLY SPACED TRIANGULAR PATTERN, UNLESS OTHERWISE NOTED AND/ OR SHOWN ON THE LANDSCAPE DRAWINGS.
- CONTRACTOR SHALL REPORT ANY DISCREPANCY FOUND IN THE FIELD VERSUS THE LANDSCAPE DRAWINGS IMMEDIATELY TO THE LANDSCAPE ARCHITECT, OWNER'S REPRESENTATIVE, AND/ OR THE CITY/ COUNTY PRIOR TO ANY CONSTRUCTION OR DEMOLITION ACTIVITY. FAILURE TO MAKE SUCH CONFLICTS KNOWN WILL RESULT IN THE CONTRACTOR'S LIABILITY TO RELOCATE OR REPAIR.
- THE FINAL LOCATION OF ALL PLANTS SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR SHALL PROVIDE AT LEAST A ONE YEAR WARRANTY FOR ALL PLANT MATERIAL FROM THE DATE OF FINAL INSPECTION, UNLESS OTHERWISE DIRECTED BY LANDSCAPE ARCHITECT, OWNER, OR CITY/ COUNTY.
- FOR TREES NOT IN PLANTING BEDS, ALLOW A 4'-0" DIAMETER BED (TREE RING) WITHOUT SOD AROUND ROOT COLLAR. APPLY 3" DEPTH SHREDDED CEDAR MULCH AROUND COLLAR FOLLOWING SOD INSTALLATION. NO LANDSCAPE FABRIC OR EDGER IS NECESSARY FOR TREE RINGS.
- ALL TURF AREAS (SOD) SHALL BE SPRAY IRRIGATED. ALL PLANTING BEDS AND TREES SHALL BE DRIP IRRIGATED. ALL IRRIGATION SHALL BE AN AUTOMATIC UNDERGROUND SYSTEM. NATIVE SEED AREAS TO BE IRRIGATED UNTIL ESTABLISHED.
- IRRIGATION TO BE DESIGN/BUILD BY CONTRACTOR BASED ON MODIFICATION OR REPLACEMENT OF EXISTING IRRIGATION SYSTEM CONTRACTOR TO PROVIDE AN "AS BUILT" DRAWING TO THE PINERY HOA.
- CONTRACTOR TO INCLUDE A ONE YEAR MAINTENANCE PROPOSAL TO THE PINERY HOA FOR REVIEW AND APPROVAL.

NATIVE SEED MIX

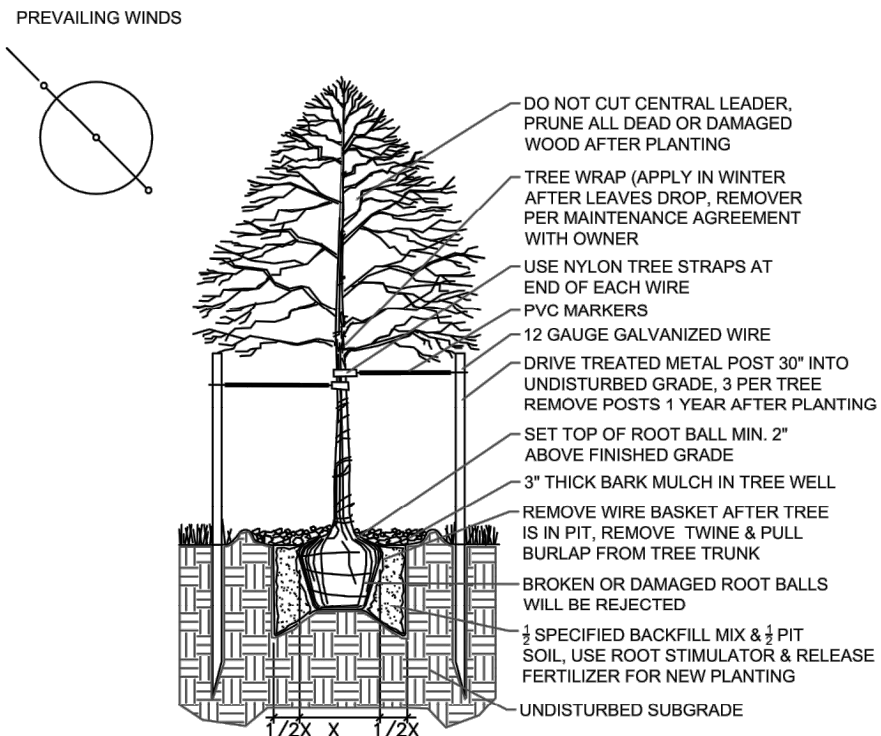
NATIVE SEED MIX – LOW GROW SEED MIX ARKANSAS VALLEY SEED CO. 303-320-7500

30% EPHRAIM CRESTED WHEAT GRASS
25% SHEEP FESCUE
20% PERENNIAL RYE
15% CHEWINGS FESCUE
10% CANADA BLUEGRASS

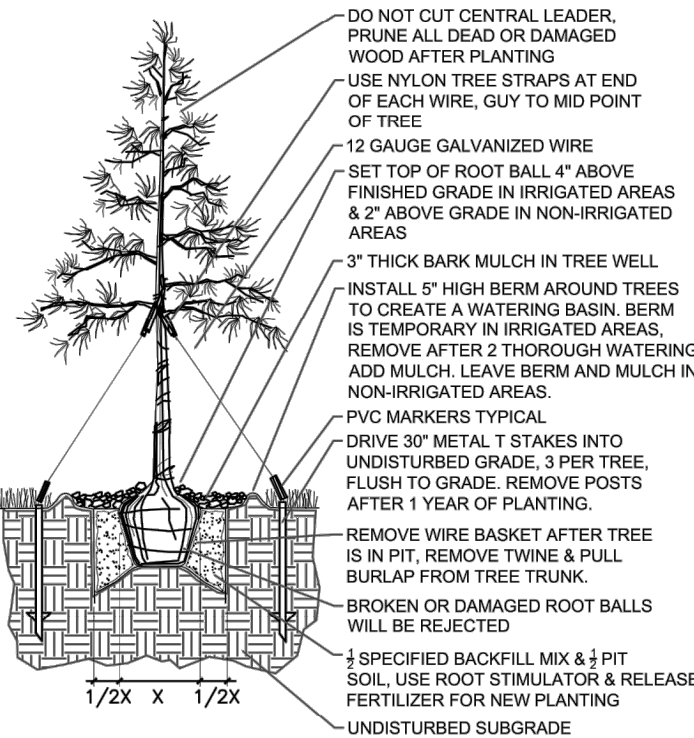
NON-IRRIGATED, HAND WATER DURING SUMMER MONTHS
FOR FIRST THREE GROWING SEASONS UNTIL ESTABLISHED.

SEED MIX RATE – 25 POUNDS PER ACRE

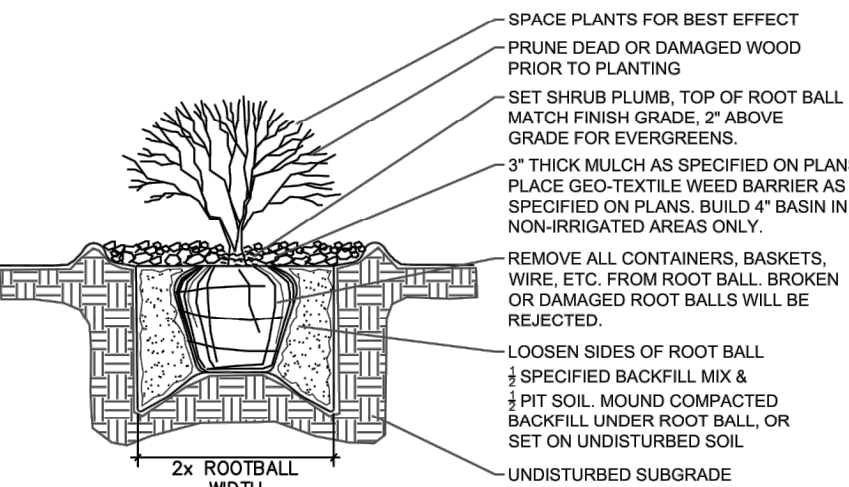
SEE SEEDING APPLICATION SPECIFICATIONS SHEET L6
APPLY BIOSOL FORTE PRIOR TO SEEDING SEE NOTE SHEET L6



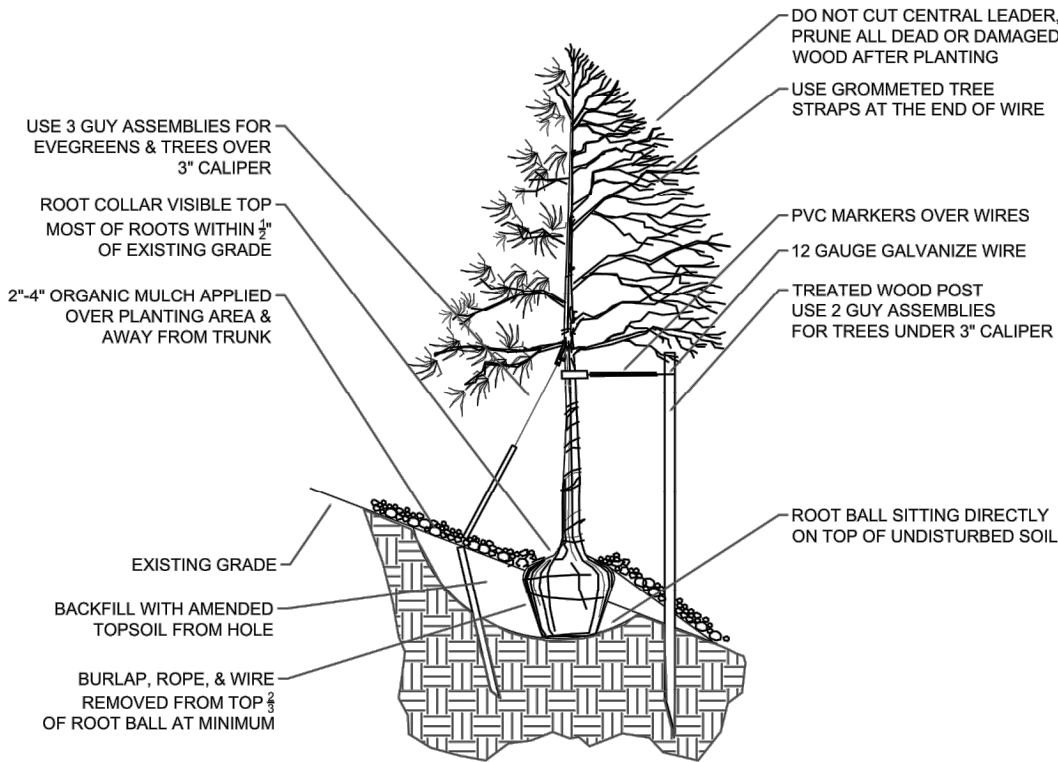
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L.3
Deciduous Tree Planting Detail



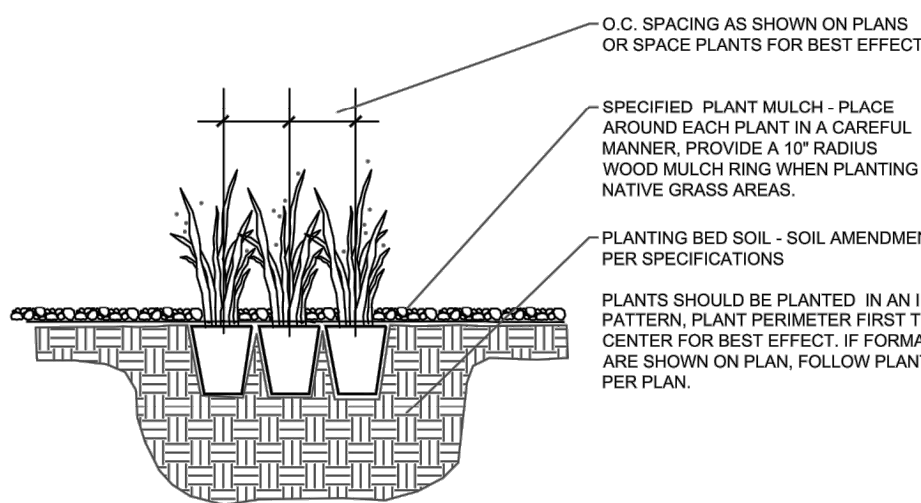
2
L.3
Evergreen Tree Planting Detail



3
L.3
Shrub Planting Detail



4
L.3
Tree Planting Detail - Steep Slopes



5
L.3
Perennial/Grass Planting Detail



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REV. NO.	DESCRIPTION	DATE
1	VALUE ENGINEERING & PIKE PEAK BUILDING REVISIONS	02/13/2020
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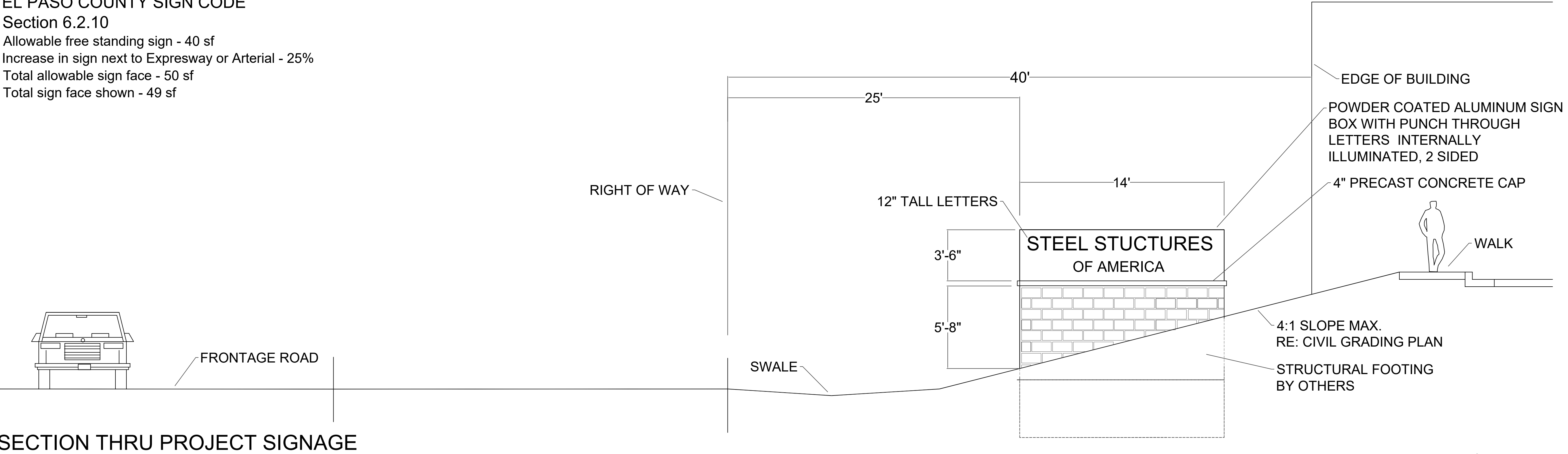
SITE DEVELOPMENT PLAN
MONUMENT STEEL STRUCTURES
LANDSCAPE DETAILS
18910 BASE CAMP ROAD
MONUMENT, COLORADO



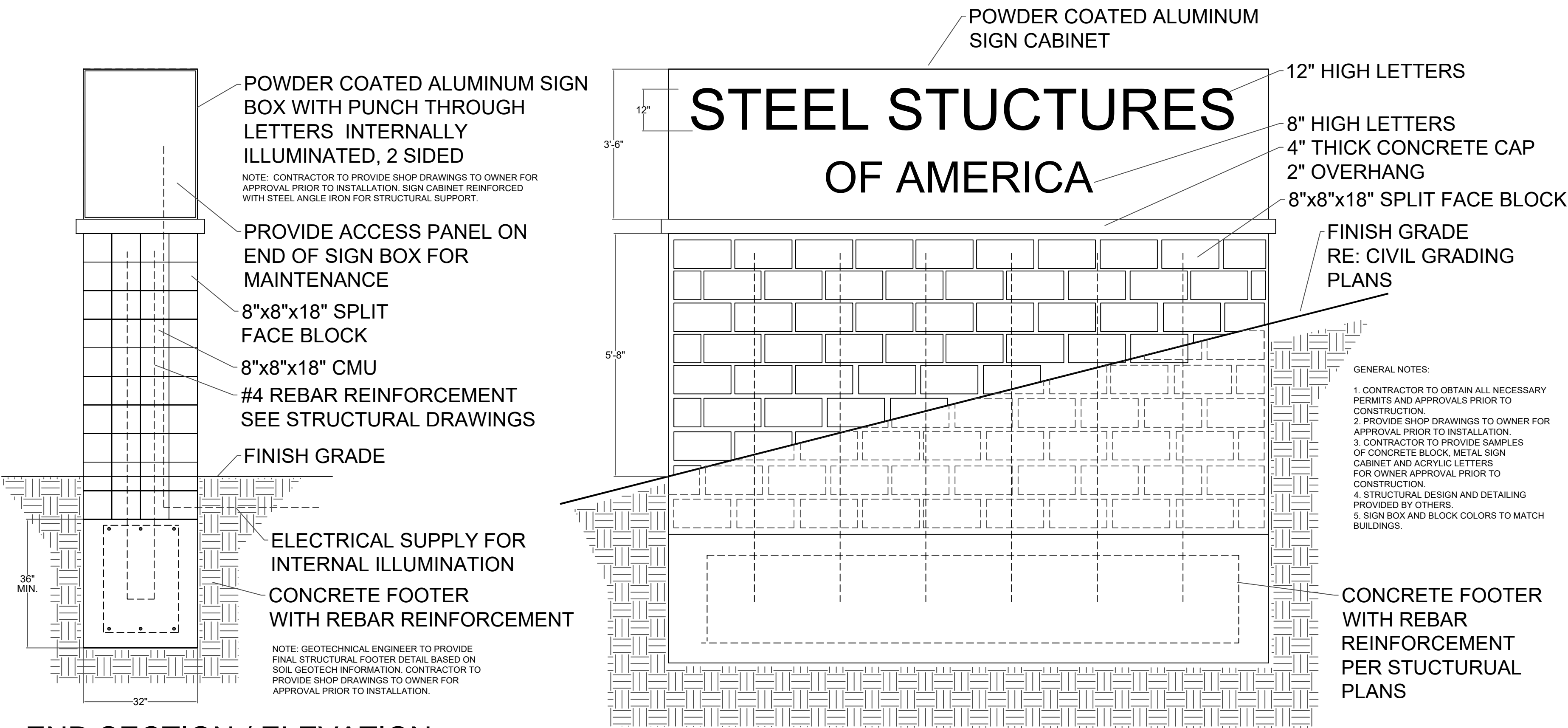
PROJ NO: SSA
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CHKD:
DATE: 10/24/2019

SHEET NUMBER
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5 OF 9

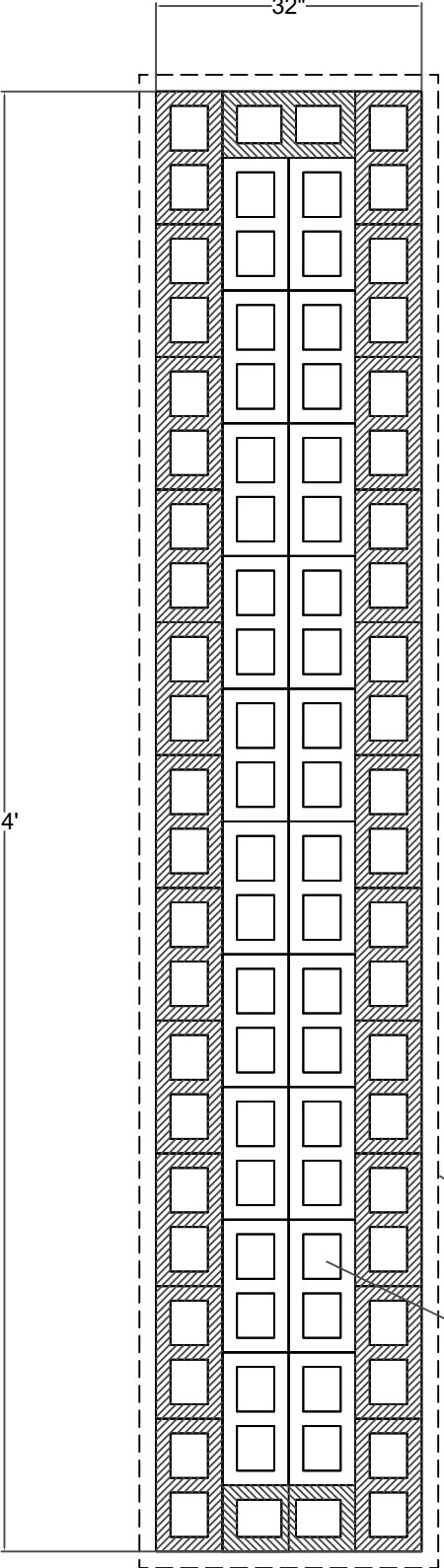
EL PASO COUNTY SIGN CODE
Section 6.2.10
Allowable free standing sign - 40 sf
Increase in sign next to Expresway or Arterial - 25%
Total allowable sign face - 50 sf
Total sign face shown - 49 sf



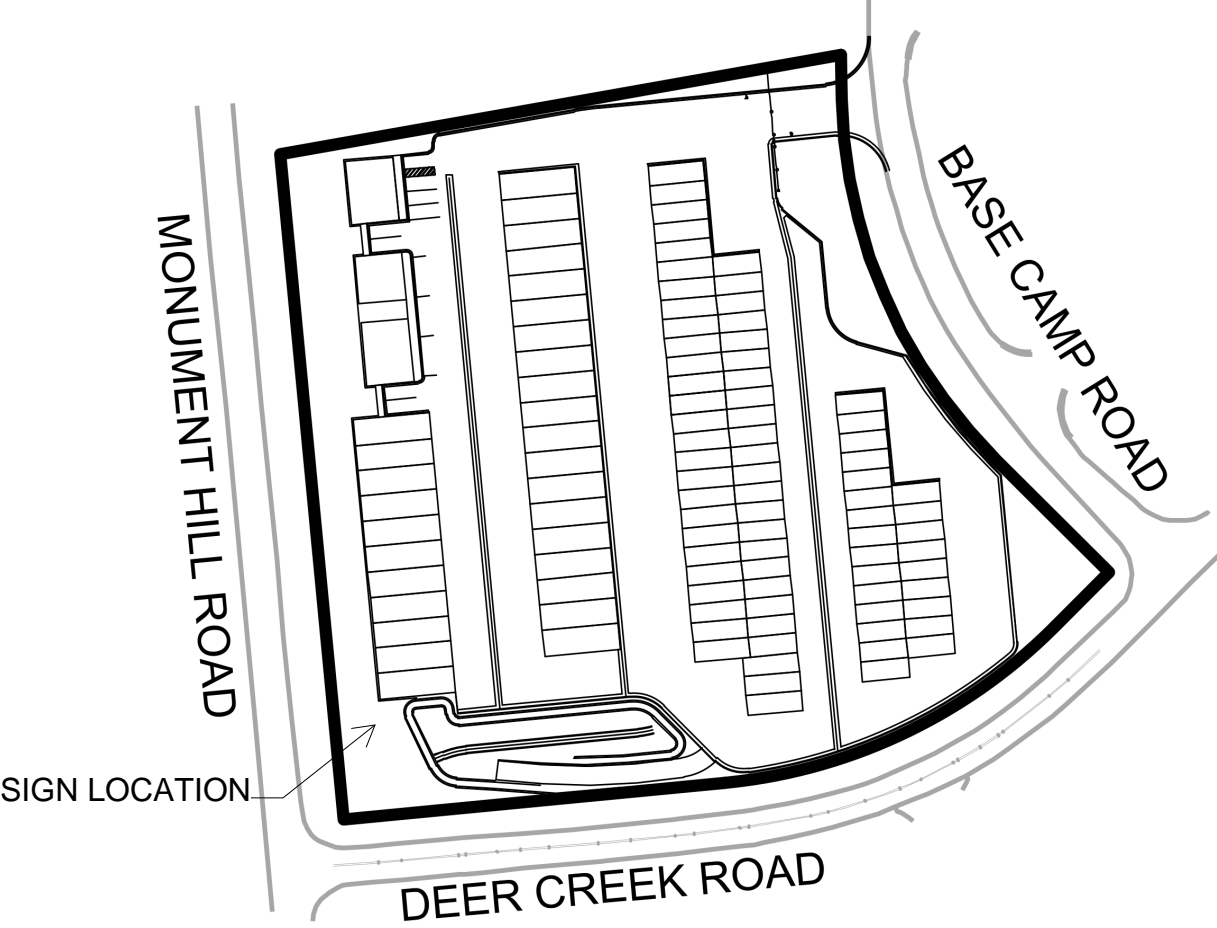
SECTION THRU PROJECT SIGNAGE



END SECTION / ELEVATION




PLAN VIEW



KEYMAP

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REV. NO.	DESCRIPTION	DATE

EL PASO COUNTY
SIGN PLAN

MONUMENT STEEL STRUCTURES
18910 BASE CAMP ROAD
MONUMENT, COLORADO

PROJ NO: Steel Structures

DWN: _____

CHKD: _____

DATE : 03/30/2020

SHEET NUMBER

OF