

SITE DEVELOPMENT PLAN CIMARRON-NORTHWEST INDUSTRIAL FILING NO. 4

A REPLAT OF A PORTION OF LOT 1, BLOCK 2 CIMARRON-NORTHEAST INDUSTRIAL NORTHWEST
LOCATED IN SECTION 6, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
EL PASO COUNTY, COLORADO
LOT 1 SCHLAUFMAN SUBDIVISION NO. 1., PLAT 12717

OWNER: SAVAGE DEVELOPMENT GROUP LLC

2454 WAYNOKA ROAD, COLORADO SPRINGS, COLORADO 80915

PROPERTY NUMBER 5406204050
ZONING I-2 LIMITED INDUSTRIAL
LAND AREA 1.75
SETBACKS: FRONT & REAR 50', SIDES 30'



NORTH



LEGEND FOR LINES* AND HATCH AREAS



100 YEAR FLOOD PLAIN AREA



PAVEMENT BETWEEN GATE AND DRIVEWAY ENTRANCE
1-1/2" RECYCLED CONCRETE AGGERATE 8" DEPTH.



SIGHT DISTANCE TRIANGLE.

--- BOUNDARY OR R.O.W. LINE

— CURB FACE

— CURB BACK

----- CURB PAN

----- EASEMENT

—○— CHAIN LINK FENCE

----- ROLLOFF - EQUIPMENT

BOUNDARY

1	N 30°45'28" E	27.21'
2	N 49°04'11" E	33.19'
3	N 61°25'51" E	49.63'
4	N 30°28'59" E	20.00'
5	N 30°28'59" E	80.67'
6	L = 39.85' Δ = 5°11'23" R = 440.00'	

NOTES:

NOTE A: PAVEMENT BETWEEN GATE AND DRIVEWAY ENTRANCE 1-1/2" COMPACTED RECYCLED CONCRETE 8" DEPTH.

TRUCKS LOADED WITH ROLL-OFFS CONTAINER 38' IN LENGTH.

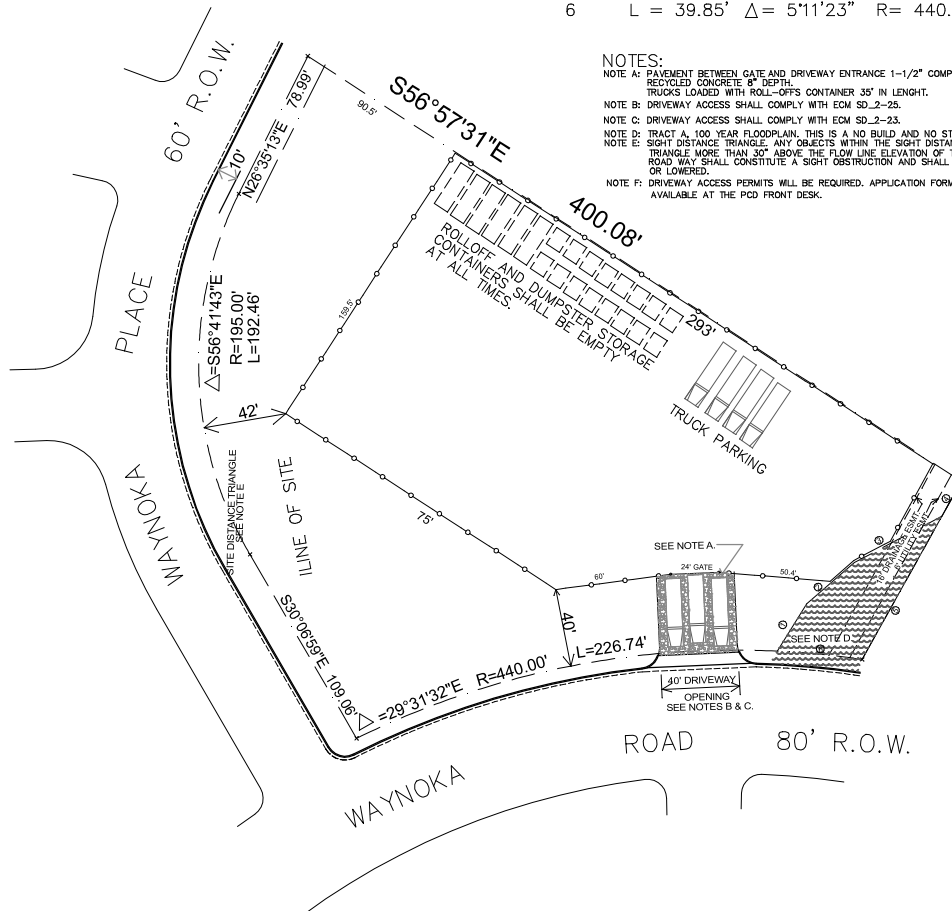
NOTE B: DRIVEWAY ACCESS SHALL COMPLY WITH ECM SD.2-25.

NOTE C: DRIVEWAY ACCESS SHALL COMPLY WITH ECM SD.2-23.

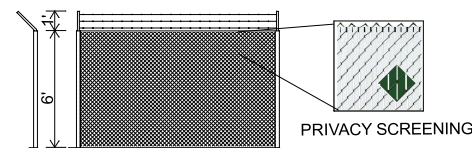
NOTE D: TRACT A, 100 YEAR FLOODPLAIN. THIS IS A NO BUILD AND NO STORAGE AREA.(NOT A PART OF PLAN)

NOTE E: SIGHT DISTANCE TRIANGLE. ANY OBJECTS WITHIN THE SIGHT DISTANCE TRIANGLE MORE THAN 30' ABOVE THE FLOW LINE ELEVATION OF THE ADJACENT ROAD WAY SHALL CONSTITUTE A SIGHT OBSTRUCTION AND SHALL BE REMOVED OR LOWERED.

NOTE F: DRIVEWAY ACCESS PERMITS WILL BE REQUIRED. APPLICATION FORM IS AVAILABLE AT THE PCD FRONT DESK.



NOTE: ALL AREAS OUTSIDE FENCED AREA WITHOUT HARD SURFACES SHALL REMAIN NATIVE GRASS.



FENCE ELEV.

PCD FILE NO.: PPR1832