

FINAL PLAT

NORTHBAY AT LAKE WOODMOOR

A REPLAT OF A PORTION OF A PORTION OF THE COVE AT WOODMOOR
TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH,
RANGE 67 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

KNOW ALL MEN BY THESE PRESENTS:

That Lake Woodmoor Holdings, LLC, a Colorado limited liability company, being the owners of the following described tracts of land to wit:

Parcel E (E1 & E2): The Cove
Those portions of The Cove at Woodmoor recorded June 20, 1972 in Plat Book V2 at Page 59 and of the Southeast Quarter of Section 11, Township 11 South, Range 67 West of the 6th Principal Meridian, El Paso County, Colorado, described as follows:

Basis of Bearings: The East line of the following described property, monumented at its northerly end with a rebar & cap, pls 2682 and at its South end with a #4 rebar. Said line bears South 04 degrees 31 minutes 13 seconds east.

Beginning at the northwest corner of Lake Woodmoor recorded November 22, 1968 in Plat Book K2 at Page 83;
Thence South 04 degrees 31 minutes 13 seconds East along the westerly line of said subdivision 805.58 feet to an angle point in said line;
Thence South 76 degrees 52 minutes 00 seconds West continuing along said line 270.50 feet to an angle point in the easterly line of the parcel described in Warranty Deed recorded June 26, 2001 at Reception No. 201088802;
Thence North 33 degrees 16 minutes 26 seconds East along said easterly line 198.00 feet to the southeast corner of said Cove at Woodmoor;
Thence South 78 degrees 28 minutes 37 seconds West along the South line of said Cove at Woodmoor and along the northerly line of said parcel described in Warranty Deed recorded June 26, 2001 at Reception No. 201088802 a distance of 381.79 feet to the southeast corner of The Cove at Woodmoor Condominiums recorded December 19, 1974 in Plat Book 1 at Page 79 (the following four courses are along the easterly line of said The Cove at Woodmoor condominiums);

- 1) North 09 degrees 11 minutes 13 seconds West, 201.02 feet;
 - 2) North 00 degrees 23 minutes 42 seconds East, 50.00 feet;
 - 3) North 89 degrees 36 minutes 18 seconds West, 8.32 feet;
 - 4) North 07 degrees 40 minutes 16 seconds West, 133.33 feet to the southerly line of Deer Creek Road, the same being the northerly line of said the Cove at Woodmoor;
- Thence northeasterly along said northerly line, along a non-tangential curve concave to the northwest, said curve having a central angle of 29 degrees 10 minutes 40 seconds, a radius of 742.00 feet, for an arc length of 377.86 feet (the center of said curve bears North 23 degrees 04 minutes 14 seconds west) to a point of reverse curve;
Thence northeasterly along a tangential curve concave to the southeast, said curve having a central angle of 35 degrees 08 minutes 38 seconds, a radius of 508.69 feet, for an arc length of 285.38 feet to the point of beginning.

Containing a calculated area of 314,874 square feet (7.22850 acres), more or less.

OWNERS CERTIFICATION:

The undersigned, being all the owners, mortgages, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into a lot and easements as shown hereon under the name and subdivision of **NORTHBAY AT LAKE WOODMOOR**. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated will become matters of maintenance by El Paso County, Colorado. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

Owner _____ Date _____

By: _____

Title: _____

STATE OF COLORADO } SS
COUNTY OF EL PASO }

Acknowledged before me this ____ day of _____, 20____ by _____

(Name)

My commission expires _____

Witness my hand and official seal _____
Notary Public

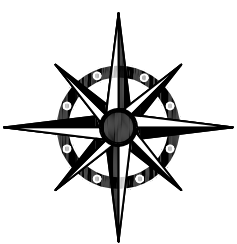
SURVEYOR'S CERTIFICATION:

I, Mark S. Johannes, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on the date of survey shown hereon, by me or under my direct supervision and that all monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000; and that said plat has been prepared in compliance with the applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and the applicable provisions of the El Paso County Land Development Code, to the best of my knowledge, information and belief.

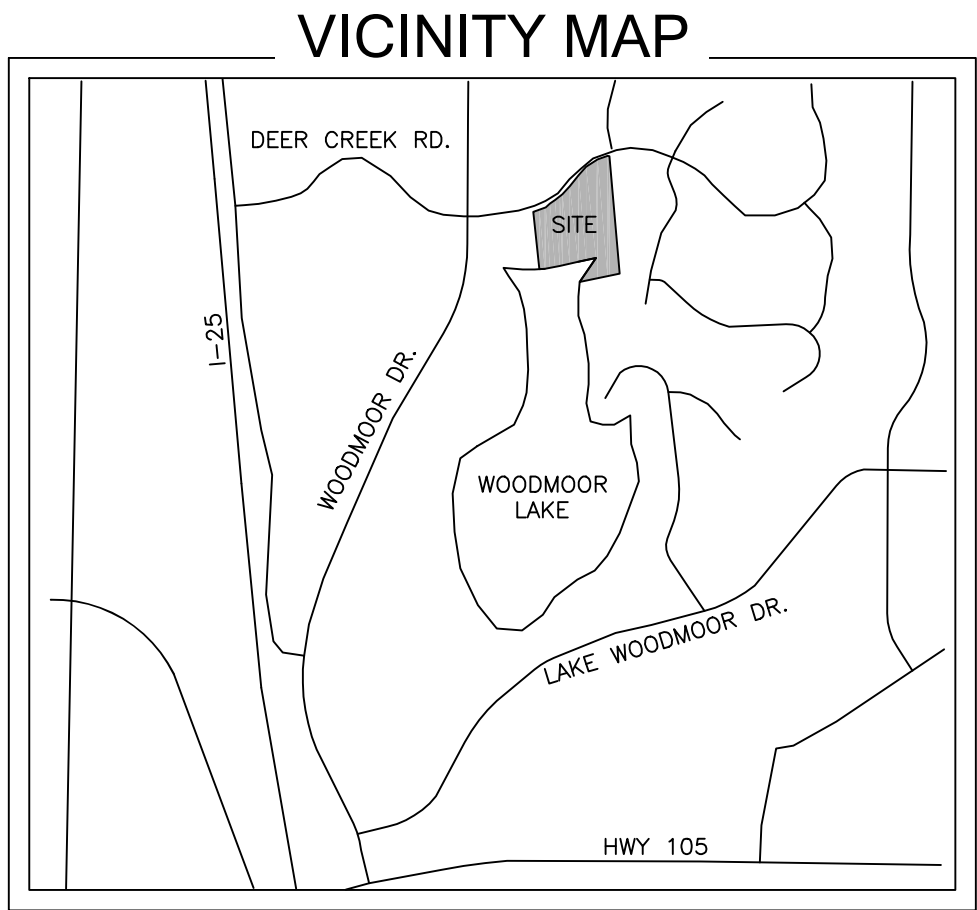
This certification is neither a warranty nor guarantee, either expressed or implied.

I attest the above on this ____ day of _____, 20____.

Mark S. Johannes
Colorado Professional Land Surveyor No. 32439
For and on behalf of Compass Surveying and Mapping, LLC



COMPASS SURVEYING & MAPPING, LLC
3253 WEST CAREFREE CIRCLE
COLORADO SPRINGS, CO 80917
719-354-4120
WWW.CSALLC.COM
INFO@SURVEYINGCOLORADO.COM



EASEMENTS:

Easements are as shown, with the sole responsibility for maintenance being vested with the property owners.

All utility easements that are dedicated hereon for public utility purposes shall be subject to those terms and conditions as specified in the instrument recorded at Reception Number 212112548 of the records of El Paso County, Colorado. All other easements or interests of record affecting any of the platted property depicted hereon shall not be affected and shall remain in full force and effect.

Board of County Commissioners Certificate

This plat for **NORTHBAY AT LAKE WOODMOOR** was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 20____, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (tracts and easements) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

The Cove at Woodmoor in entirety is vacated and amended for the areas desribed by this replat subject to all covenants, conditions, and restrictions recorded against and appurtenant to the original plat recorded in the Office of the El Paso County Clerk and Recorder, Reception No. 217713997

Chair, Board of County Commissioners Date _____

Planning & Community Development Director Date _____

CLERK AND RECORDER:

STATE OF COLORADO } SS
COUNTY OF EL PASO }

I hereby certify that this instrument was filed in my office on this ____ day of _____, 20____, A.D., and was recorded at Reception Number _____ of the records of El Paso County, Colorado.

El Paso County Clerk and Recorder

NOTES:

1. This survey does not constitute a title search by Compass Surveying & Mapping, LLC to determine ownership or easements of record. For all information regarding easements, rights of way and title of record, Compass Surveying & Mapping, LLC relied upon a Commitment for Title Insurance prepared by Land Title Guarantee Company, File No. SCB55121649-2 with an effective date of 11/17/2025 at 5:00 P.M.

2. Basis of bearings is the geodetic bearing of the south line of the property, monumented as shown and assumed to bear South 89 degrees 58 minutes 10 seconds West.

3. Portions of this property are located within Zone X (areas determined to be outside the 500-year floodplain) and Zone AE (Regulatory Floodway) as established by FEMA per FIRM panel 08041C0276 G, effective date, December 7, 2018.

4. All structural foundations shall be located and designed by a professional engineer, currently licensed in the State of Colorado.

5. The following reports have been submitted in association with the preliminary plan or final plat for this subdivision and are on file at the County Development Services Department; Drainage Report; Water Resources Report; Wastewater Disposal Report; Geology and Soils Report.

6. All property owners are responsible for maintaining proper storm water drainage in and through their property. Public drainage easements as specifically noted on the plat shall be maintained by the individual lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage easements.

7. Easements are hereby platted in the locations as shown on sheet 3 of this plat. The sole responsibility for the surface maintenance of easements is hereby vested with the individual property owners unless otherwise noted.

8. Developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Division of Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the endangered species act. Particularly as it relates to the listed species (e.g., preble's meadows jumping mouse).

9. The addresses exhibited on this plat are for informational purposes only. They are not the legal description and are subject to change.

10. No driveway shall be established unless an access permit has been granted by El Paso County.

11. Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.

12. No lot or interest therein, shall be sold, conveyed, or transferred whether by deed or by contract, nor shall building permits be issued, until and unless either the required public and common development improvements have been constructed and completed and preliminarily accepted in accordance with the subdivision improvements agreement between the Applicant/Owner and El Paso County as recorded under Reception Number _____ in the office of the Clerk and Recorder of El Paso County, Colorado or, in the alternative, other collateral is provided to make provision for the completion of said improvements in accordance with the El Paso County land development code and engineering criteria manual, any such alternative collateral must be approved by the board of County Commissioners or, if permitted by the subdivision improvements agreement, by the development services department director and meet the policy and procedure requirements of El Paso County prior to the release by the County of any lots for sale, conveyance or transfer. This plat restriction may be removed or rescinded by the board of County Commissioners or, if permitted by the subdivision improvements agreement, by the development services department director upon either approval of an alternative form of collateral or completion and preliminary acceptance by the El Paso board of County Commissioners of all improvements required to be constructed and completed in accordance with said subdivision improvements agreement. The partial release of lots for sale, conveyance or transfer may only be granted in accordance with any planned partial release of lots authorized by the subdivision improvements agreement.

13. The subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County road impact fee program resolution (Resolution No. 12-382), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on Plat notes to ensure that a title search would find the fee obligation before sale of property.

14. The property is subject to a Flood Line Easement Agreement recorded as Reception No. 209087237.

15. The property is subject to a Water Storage Agreement recorded at Book 2542, Page 781.

16. Tract A is for public utilities, public improvements, public access and drainage purposes and will be owned and maintained by _____.

17. Notice: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.

18. The linear units used in this drawing are U.S. Survey feet.

19. Approval of this replat vacates all prior plats for the area described by this replat.

Revised.

DEDICATED

Added private utilities.

TRACT A NEEDS TO INCLUDE PRIVATELY OWNED SERVICE LINES

PCD FILE NO: _____

FEES:

Drainage Fee: _____ School Fee: _____

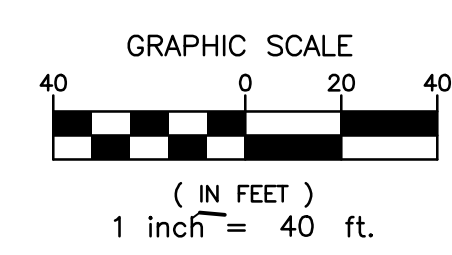
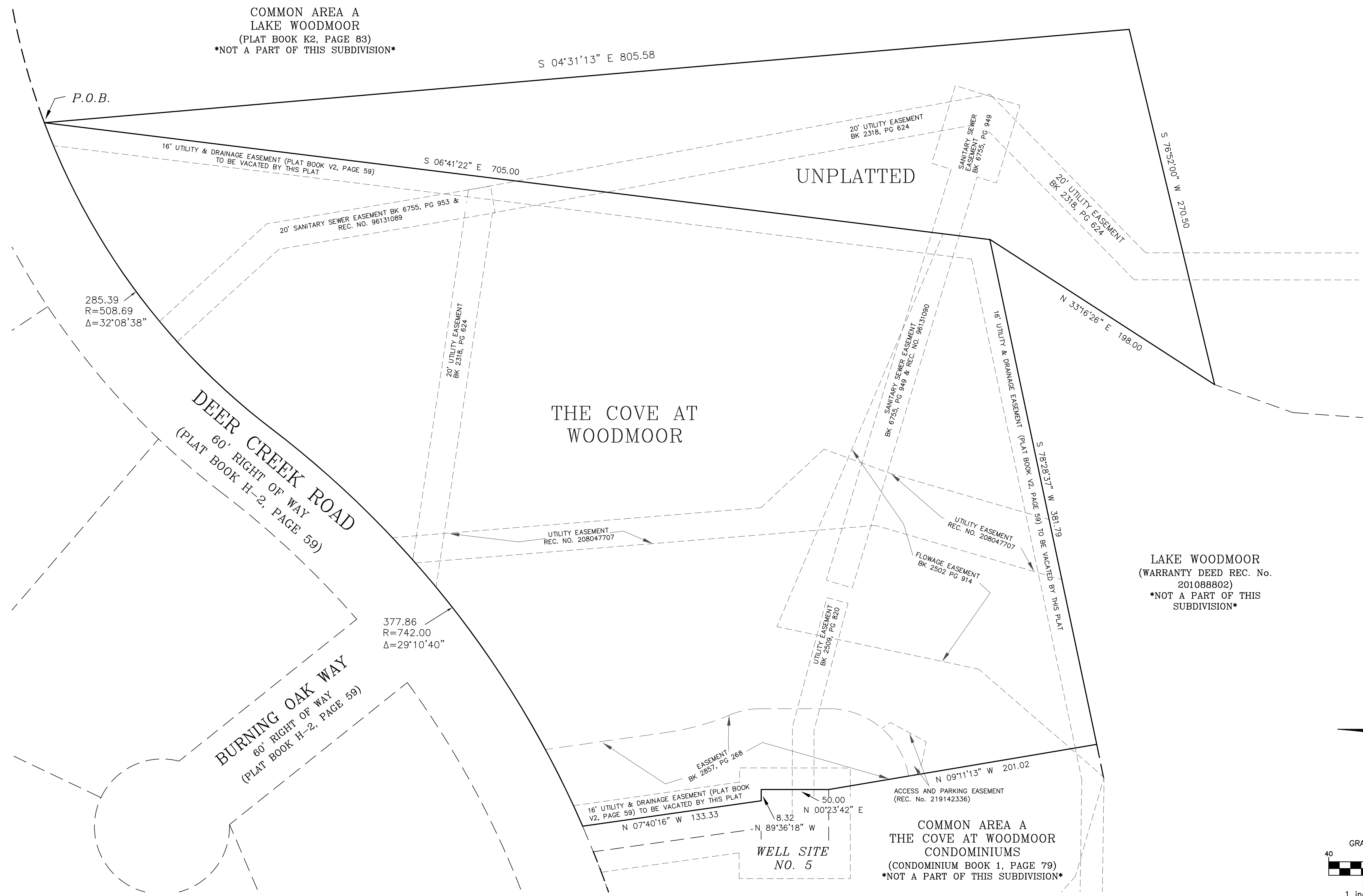
Bridge Fee: _____ Park Fee: _____

REVISIONS:			PROJECT NO.	25210
			DATE:	JANUARY 23, 2026
			DRAWN BY:	JMJ
			CHECKED BY:	MSJ
			SHEET:	1 OF 3

FINAL PLAT
NORTHBAY AT LAKE WOODMOOR

A REPLAT OF A PORTION OF THE COVE AT WOODMOOR
TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH,
RANGE 67 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

AS CURRENTLY EXISTING



PCD FILE NO: _____

REVISIONS:			PROJECT No.	25210
			DATE:	JANUARY 23, 2026
			DRAWN BY:	JMJ
			CHECKED BY:	MSJ
			SHEET:	2 OF 3

FINAL PLAT
NORTHBAY AT LAKE WOODMOOR

A REPLAT OF A PORTION OF THE COVE AT WOODMOOR
TOGETHER WITH A PORTION OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH,
RANGE 67 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

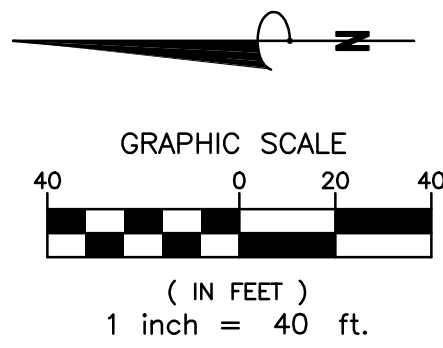
AS RE-PLATTED

CURVE	RADIUS	ARC LENGTH	DELTA ANGLE	RADIAL BEARING-IN
C1	28.00	26.05	53°17'46"	N 10°21'33" W
C2	28.00	34.30	70°11'13"	S 59°49'40" W

LINE	BEARING	DISTANCE
L1	S 33°19'16" E	51.96
L2	S 38°49'42" E	45.11
L3	S 35°08'52" E	37.96
L4	S 29°42'01" E	17.83
L5	S 16°29'18" E	14.84
L6	S 7°14'19" E	24.93
L7	S 9°23'42" E	30.03
L8	S 19°47'11" W	24.43
L9	N 73°06'23" W	15.91
L10	N 74°32'07" W	11.71
L11	N 1°47'23" W	8.35
L12	N 89°51'56" W	37.12
L13	S 73°40'01" W	62.16
L14	S 2°15'25" W	35.65
L15	N 13°34'00" E	19.71
L16	N 73°40'01" E	43.78
L17	S 89°51'56" E	55.32
L18	S 2°15'25" W	58.28
L19	S 10°21'33" E	33.27
L20	N 79°38'27" E	1.60
L21	N 79°38'27" E	24.02
L22	N 10°21'33" W	22.00
L23	N 10°21'33" W	2.00
L24	S 79°38'27" W	19.85
L25	S 79°38'27" W	1.88
L26	S 10°21'33" E	20.51
L27	N 13°34'00" E	11.54

LEGEND

- SET 2" MAG NAIL WITH 1-1/2" ALUMINUM WASHER MARKED "CSAM LLC, PLS 32439" FLUSH WITH GROUND
- 1. FOUND REBAR WITH 1-1/4" ORANGE PLASTIC CAP MARKED "CLSI, PLS 32439" GRADE AS NOTED
- 2. FOUND NAIL WITH 1-1/2" ALUMINUM WASHER MARKED "CLSI, PLS 32439" FLUSH WITH GROUND
- 3. FOUND REBAR WITH 1" YELLOW PLASTIC CAP MARKED "PLS 4842" GRADE AS NOTED
- 4. FOUND REBAR WITH 1" YELLOW PLASTIC CAP MARKED "PLS 2682" GRADE AS NOTED
- 5. FOUND #4 REBAR, 0.1 ABOVE GROUND
- 6. FOUND REBAR WITH 1" BLUE PLASTIC CAP, ILLEGIBLE FLUSH WITH GROUND
- (M) MEASURED BEARING AND/OR DISTANCE
- (C) CALCULATED BEARING AND/OR DISTANCE
- AG ABOVE GROUND
- BG BELOW GROUND
- P.U.E. PUBLIC UTILITY EASEMENT
- ▨ BUILDING ENVELOPE



COMMON AREA A
LAKE WOODMOOR
(PLAT BOOK K2, PAGE 83)
NOT A PART OF THIS SUBDIVISION

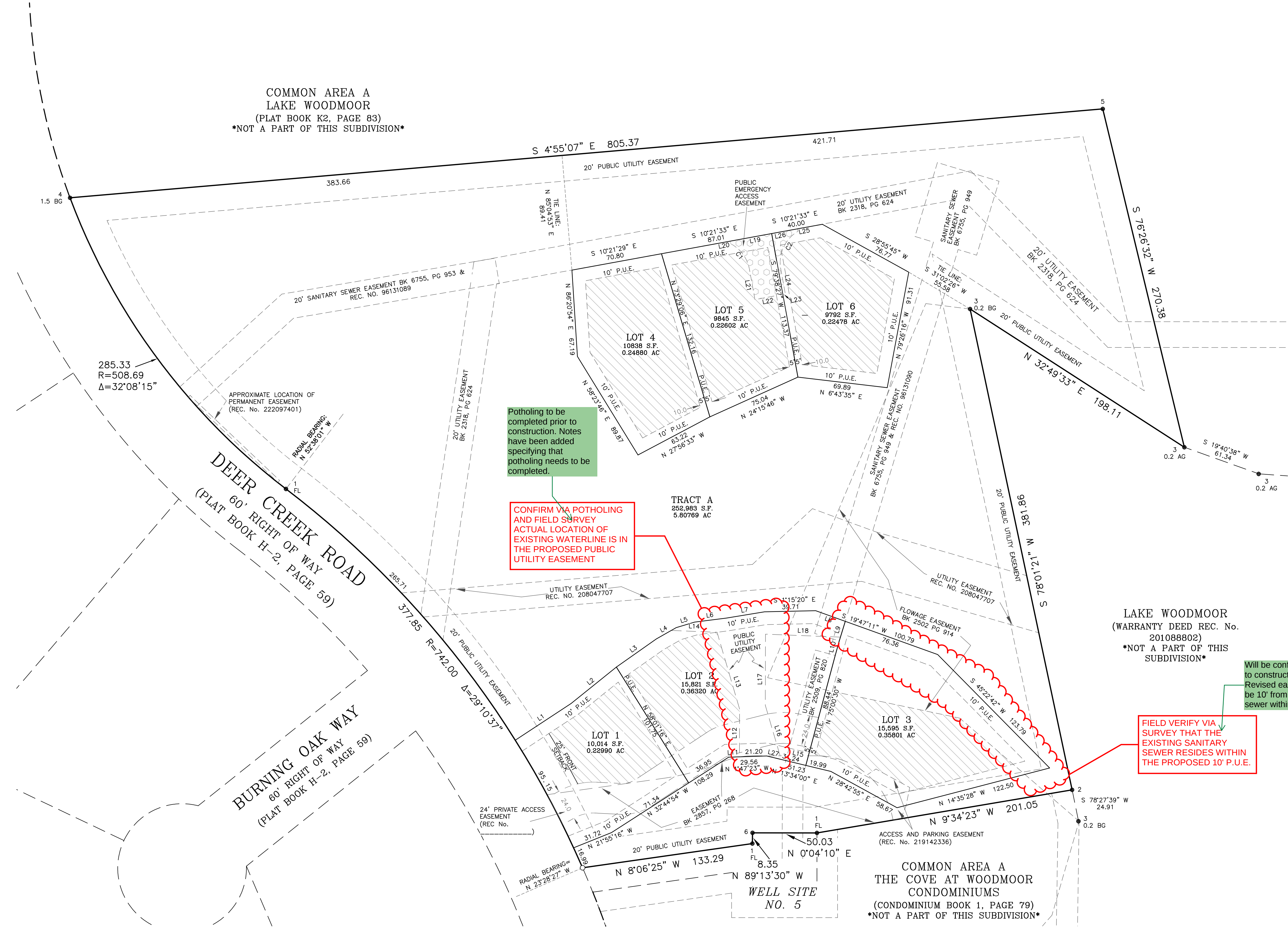
Potholing to be completed prior to construction. Notes have been added specifying that potholing needs to be completed.

CONFIRM VIA POTHOLING AND FIELD SURVEY ACTUAL LOCATION OF EXISTING WATERLINE IS IN THE PROPOSED PUBLIC UTILITY EASEMENT

LAKE WOODMOOR
(WARRANTY DEED REC. No. 201088802)
NOT A PART OF THIS SUBDIVISION

Will be confirmed prior to construction. Revised easement to be 10' from existing sewer within Lot 3.

FIELD VERIFY VIA SURVEY THAT THE EXISTING SANITARY SEWER RESIDES WITHIN THE PROPOSED 10' P.U.E.



REVISIONS:	PROJECT NO.	25210
	DATE:	JANUARY 23, 2026
	DRAWN BY:	JMJ
	CHECKED BY:	MSJ
	SHEET:	3 OF 3

NORTH BAY AT LAKE WOODMOOR UTILITY CONSTRUCTION DOCUMENTS

LOCATED WITHIN THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH,
RANGE 67 WEST OF THE 6TH P.M. COUNTY OF EL PASO, STATE OF COLORADO
JANUARY 2026

LEGAL DESCRIPTION:

NORTHBAY AT LAKE WOODMOOR

THOSE PORTIONS OF THE COVE AT WOODMOOR RECORDED JUNE 20, 1972 IN PLAT BOOK V2 AT PAGE 59 AND OF THE SOUTHEAST QUARTER OF SECTION 11, TOWNSHIP 11 SOUTH, RANGE 67 WEST OF THE 6TH PRINCIPAL MERIDIAN, EL PASO COUNTY COLORADO, DESCRIBED AS FOLLOWS:

BASIS OF BEARINGS: THE EAST LINE OF THE FOLLOWING DESCRIBED PROPERTY, MONUMENTED AT ITS NORTHERLY END WITH A REBAR & CAP, PLS 2682 AND AT ITS SOUTH END WITH A #4 REBAR, SAID LINE BEARS SOUTH 04 DEGREES 31 MINUTES 13 SECONDS EAST.

BEGINNING AT THE NORTHWEST CORNER OF LAKE WOODMOOR RECORDED NOVEMBER 22, 1968 IN PLAT BOOK K2 AT PAGE 83;
THENCE SOUTH 04 DEGREES 31 MINUTES 13 SECONDS EAST ALONG THE WESTERLY LINE OF SAID SUBDIVISION 805.58 FEET TO AN ANGLE POINT IN SAID LINE;

THENCE SOUTH 76 DEGREES 52 MINUTES 00 SECONDS WEST CONTINUING ALONG SAID LINE 270.50 FEET TO AN ANGLE POINT IN THE EASTERLY LINE OF THE PARCEL DESCRIBED IN WARRANTY DEED RECORDED JUNE 26, 2001 AT RECEPTION NO. 201088802;

THENCE NORTH 33 DEGREES 16 MINUTES 26 SECONDS EAST ALONG SAID EASTERLY LINE 198.00 FEET TO THE SOUTHEAST CORNER OF SAID COVE AT WOODMOOR;

THENCE SOUTH 78 DEGREES 28 MINUTES 37 SECONDS WEST ALONG THE SOUTH LINE OF SAID COVE AT WOODMOOR AND ALONG THE NORTHERLY LINE OF SAID PARCEL DESCRIBED IN WARRANTY DEED RECORDED JUNE 26, 2001 AT RECEPTION NO. 201088802 A DISTANCE OF 381.79 FEET TO THE SOUTHEAST CORNER OF THE COVE AT WOODMOOR CONDOMINIUMS RECORDED DECEMBER 19, 1974 IN PLAT BOOK 1 AT PAGE 79 (THE FOLLOWING FOUR COURSES ARE ALONG THE EASTERLY LINE OF SAID COVE AT WOODMOOR CONDOMINIUMS);

- NORTH 09 DEGREES 11 MINUTES 13 SECONDS WEST, 201.02 FEET;
- NORTH 00 DEGREES 23 MINUTES 42 SECONDS EAST, 50.00 FEET;
- NORTH 89 DEGREES 36 MINUTES 18 SECONDS WEST, 8.32 FEET;
- NORTH 07 DEGREES 40 MINUTES 16 SECONDS WEST, 133.33 FEET TO THE SOUTHERLY LINE OF DEER CREEK ROAD, THE SAME BEING THE NORTHERLY LINE OF SAID THE COVE AT WOODMOOR;

THENCE NORTHEASTERLY ALONG SAID NORTHERLY LINE, ALONG A NON-TANGENTIAL CURVE CONCAVE TO THE NORTHWEST, SAID CURVE HAVING A CENTRAL ANGLE OF 29 DEGREES 10 MINUTES 40 SECONDS, A RADIUS OF 742.00 FEET, FOR AN ARC LENGTH OF 377.86 FEET (THE CENTER OF SAID CURVE BEARS NORTH 23 DEGREES 04 MINUTES 14 SECONDS WEST) TO A POINT OF REVERSE CURVE;

THENCE NORTHEASTERLY ALONG A TANGENTIAL CURVE CONCAVE TO THE SOUTHEAST, SAID CURVE HAVING A CENTRAL ANGLE OF 35 DEGREES 08 MINUTES 38 SECONDS, A RADIUS OF 508.69 FEET, FOR AN ARC LENGTH OF 285.38 FEET TO THE POINT OF BEGINNING.

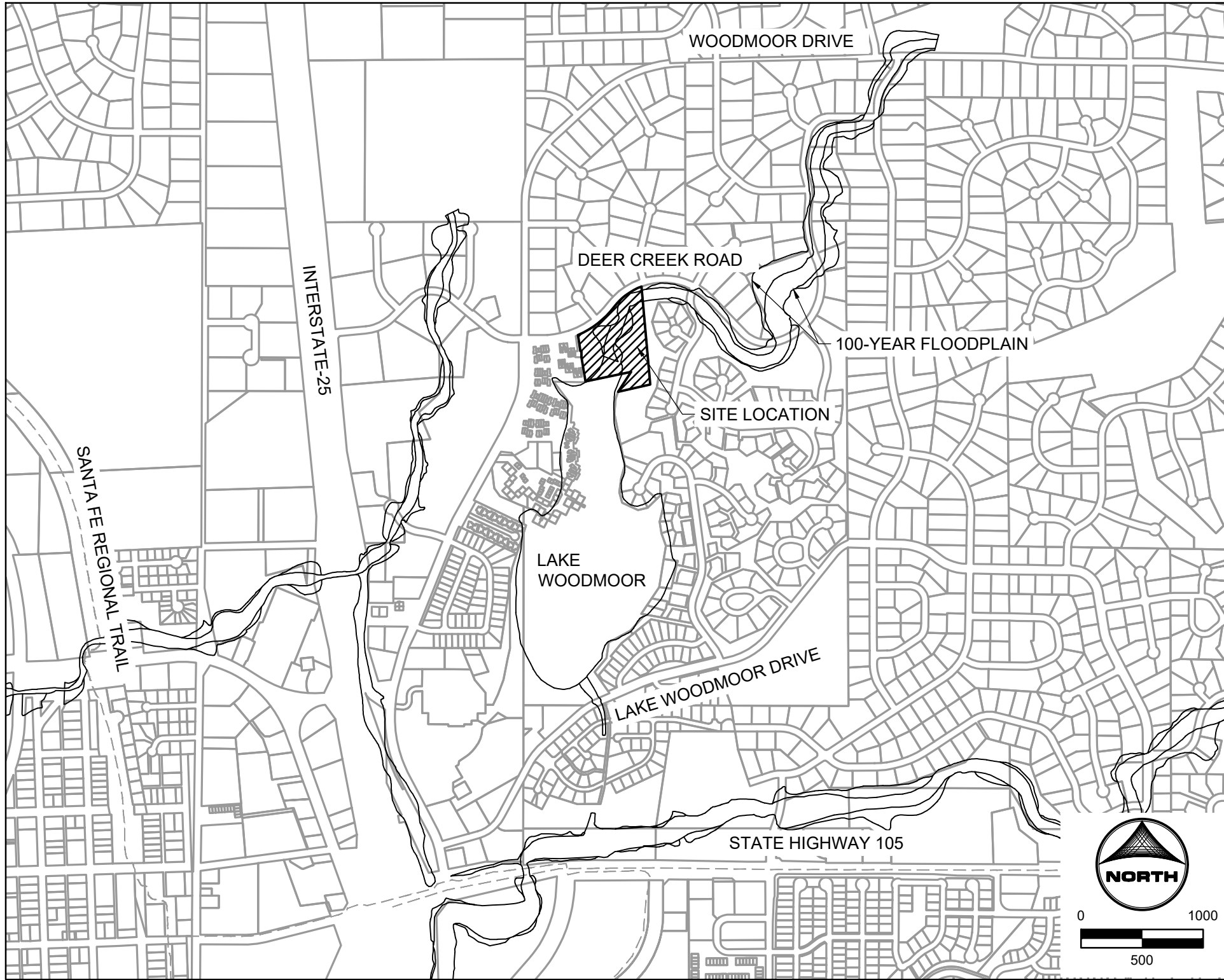
SAID PARCEL CONTAINS 7.23 ACRES OF LAND, MORE OR LESS.

BASIS OF BEARINGS

ALL BEARINGS USED HEREIN ARE BASED UPON AN ASSUMED BEARING OF S04°31'13". A DISTANCE OF 805.55 FEET (805.58 FEET DEED) BETWEEN THE NORTHEASTERLY CORNER OF PARCEL E, AS DESCRIBED IN THE SPECIAL WARRANTY DEED, AS RECORDED UNDER RECEPTION NO. 213017868 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER, AS MONUMENTED BY A REBAR AND YELLOW CAP STAMPED "PLS 2682" AND THE SOUTH EASTERLY CORNER OF SAID PARCEL E, AS MONUMENTED BY A #4 REBAR.

BENCHMARKS

NGS BENCHMARK "T 395" -- ELEVATION 7111.32 (NAVD 1988)
TBM#1 NORTHWEST PROPERTY CORNER (N22.611.42, E49,719.36) ELEVATION=7133.64
TBM#2 NORTHEAST PROPERTY CORNER (N23,006.10, E50,252.56) ELEVATION=7134.40



VICINITY MAP

1" = 1000'

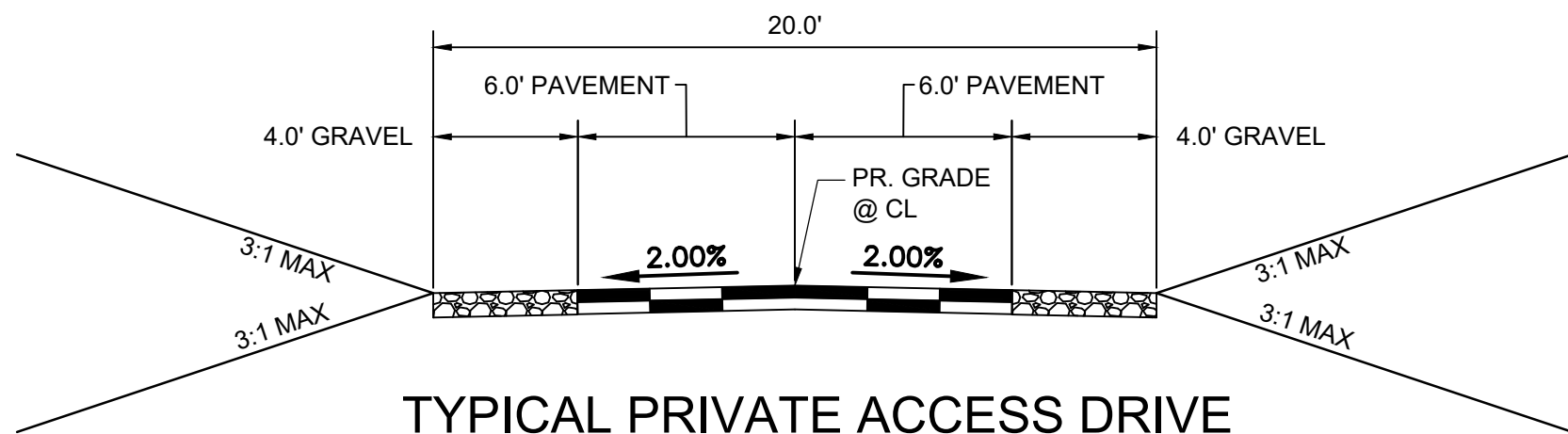
SHEET INDEX		
SHEET NUMBER	SHEET DESCRIPTION	SHEET TITLE
1	C.01	COVER
2	C.02	NOTES & LEGEND
3	C.03	UTILITY PLAN
4	C.04	SANITARY PLAN & PROFILE I
5	C.05	SANITARY PLAN & PROFILE II
6	C.06	DETAILS I
7	C.07	DETAILS II
8	C.08	DETAILS III

PROJECT TEAM & AGENCIES:

OWNER:	LAKE WOODMOOR HOLDINGS, LLC 9540 FEDERAL DRIVE, SUITE 200 COLORADO SPRINGS, CO 80921 TEL: (719) 314-7737 CONTACT: MIKE RUEBENSON	ELECTRIC SERVICE PROVIDER:	MOUNTAIN VIEW ELECTRIC ASSOCIATION, INC. 11140 EAST WOODMEN ROAD FALCON, CO 80831-8127 TEL: (719) 495-2283
DEVELOPER:	ONE LAPLATA 9540 FEDERAL DRIVE, SUITE 200 COLORADO SPRINGS, CO 80920 TEL: (719) 260-7477 CONTACT: ERIC SMITH, P.E.	GAS SERVICE PROVIDER:	BLACK HILLS ENERGY P.O. BOX 6006 RAPID CITY, SD 57709 TEL: (888) 890-5554
CIVIL ENGINEER / PLANNING LANDSCAPE ARCHITECTURE:	HR GREEN DEVELOPMENT, LLC 1975 RESEARCH PKWY, SUITE 160 COLORADO SPRINGS, CO 80920 TEL: (719) 394-2433 CONTACT: COLLEEN MONAHAN, P.E., LEED AP	FIRE DEPARTMENT:	MONUMENT FIRE DISTRICT 16055 OLD FOREST POINT, SUITE 102 MONUMENT, CO 80132 TEL: (719) 484-0911
WATER & SANITATION DISTRICT:	WOODMOOR WATER & SANITATION DISTRICT NO.1 1845 WOODMOOR DRIVE MONUMENT, CO 80132 TEL: (719) 488-2525 EXT. 10		

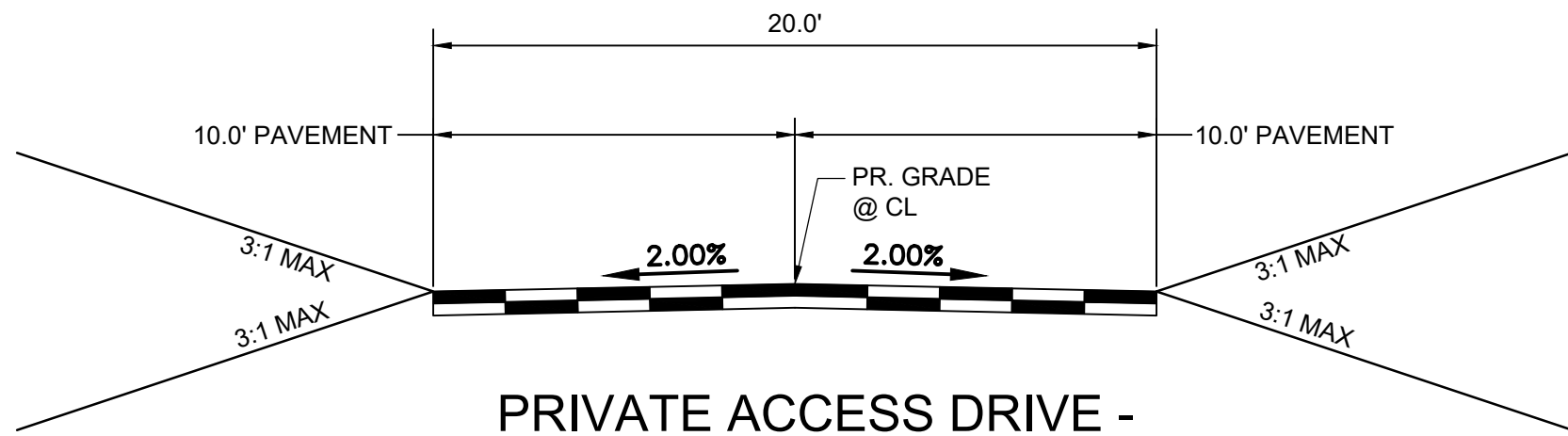
Coordinate System	US State Plane 1983
Zone	Colorado Central 0502
Datum	NAD 1983 (Conus) CORS 96
Vertical Datum	North American Vertical Datum 1988 (NAVD 88)
Coordinate Order	North/East
Coordinate Units	US Survey Feet
Altitude Reference	Height Above Ellipsoid (HAE)
Altitude Units	Feet

Table 2: Woodmoor Water & Sanitation District No. 1 GIS Coordinate System



TYPICAL PRIVATE ACCESS DRIVE

PRIVATE ACCESS DRIVE A STA: 10+23.33 - 12+47.77
PRIVATE ACCESS DRIVE B STA: 10+11.05 - 10+50.00 & 13+25.00 - 15+48.86
SCALE: 1"=5'



PRIVATE ACCESS DRIVE -
FULL PAVED WIDTH

PRIVATE ACCESS DRIVE B STA: 10+50.00 - 13+25.00
SCALE: 1"=5'

Woodmoor Water and Sanitation District No. 1

APPROVED FOR CONSTRUCTION

Date: _____ By: _____

These plans have been reviewed only for general conformance with District Rules and Regulations and System Specifications. Review and construction approval by the District does not relieve the Developer/Owner and/or Contractor from responsibility for compliance with any rules, regulations or specifications required by the District.

INCLUDE WWSD
SIGNATURE BLOCK
ON ALL SHEETS
PER SPECS

HRG:
Addressed

INCLUDE A NOTE OR
TABLE SPECIFYING
COORDINATE SYSTEM
PER SYSTEM SPECS

HRG:
Addressed



PCD FILE NO.: PUD252

DRAWN BY: SPC	JOB DATE: 1/30/2026	BAR IS ONE INCH ON OFFICIAL DRAWINGS.
APPROVED: CM	JOB NUMBER: 2404118	0 1"
CAD DATE: 1/30/2026		IF NOT ONE INCH, ADJUST SCALE ACCORDINGLY.
CAD FILE: J:\2024\2404118\CAD\DWG\IC\CDs\Construction Documents\Cover-Utility_CDs		

NO.	DATE	BY	REVISION DESCRIPTION



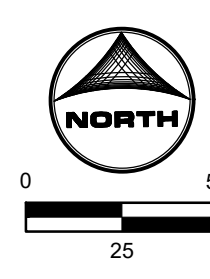
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

NORTHBAY AT LAKE WOODMOOR
CONSTRUCTION DOCUMENTS
EL PASO COUNTY, CO

UTILITY CONSTRUCTION DOCUMENTS
COVER

SHEET
C.01

1



PLACE LINE AND CURVE TABLES ON WATER PLAN AND PROFILE SHEETS. LINE AND CURVE TABLES ARE ALSO REQUIRED ON SEWER PLAN AND PROFILES

HRG:
Addressed - ADDED
BEARINGS TO WATER AND
SEWER PLAN ILO LINE AND
CURVE TABLES

HRG:
Addressed - WATER PNP
SHEETS ADDED

A grading plan is provided in the El Paso County Construction documents, there is no lot grading proposed at this time. Finished floors are specified on the plan.

HRG:
Addressed - GENERAL
NOTE ADDED TO WATER
PNP SHEETS, CURB
STOP GRAPHICALLY
SHOWN

REPLACEMENT OF WATER
LINE MAY BE NECESSARY.
WWSD TO CONFIRM

APPROXIMATELY 8' FROM
THE WATER MAIN

ALL MJ FITTINGS
NEED TO BE
CALLED OUT WITH
MJ RESTRAINTS
(MEGALUG)

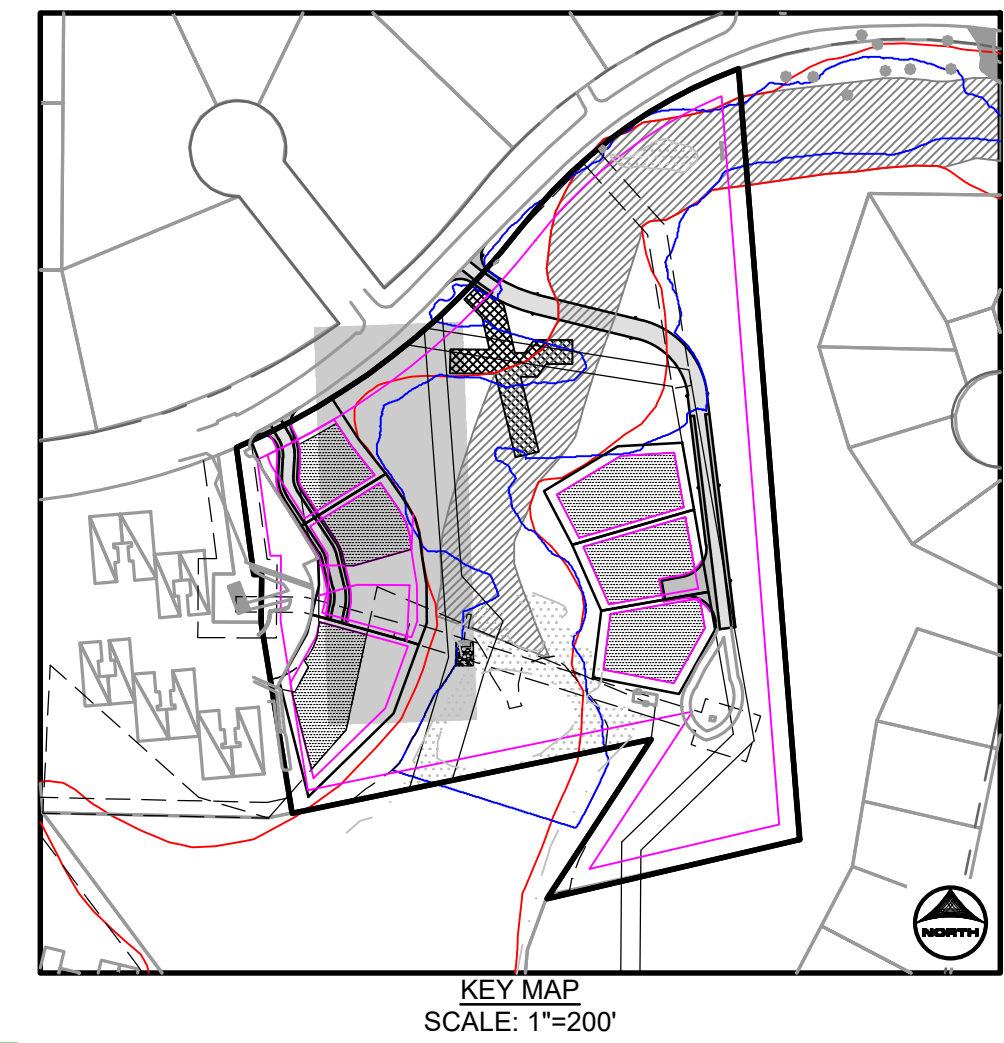
HRG:
Addressed - LABEL
REMOVED FROM
UTILITY PLAN, MJR'S
CALLED OUT ON WATER
PNP FITTING LABELS

Noted, notes have been added to the plans to confirm connection locations prior to construction.

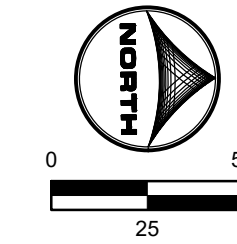
WWSD TO CONFIRM
ACTUAL LOCATION OF
EXISTING WATER MAIN.

Notes have been added on the new water pnp sheets for potholing to be completed prior to construction for all utility crossings and connection locations.

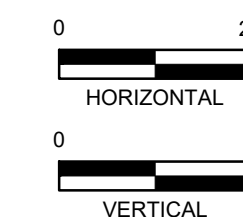
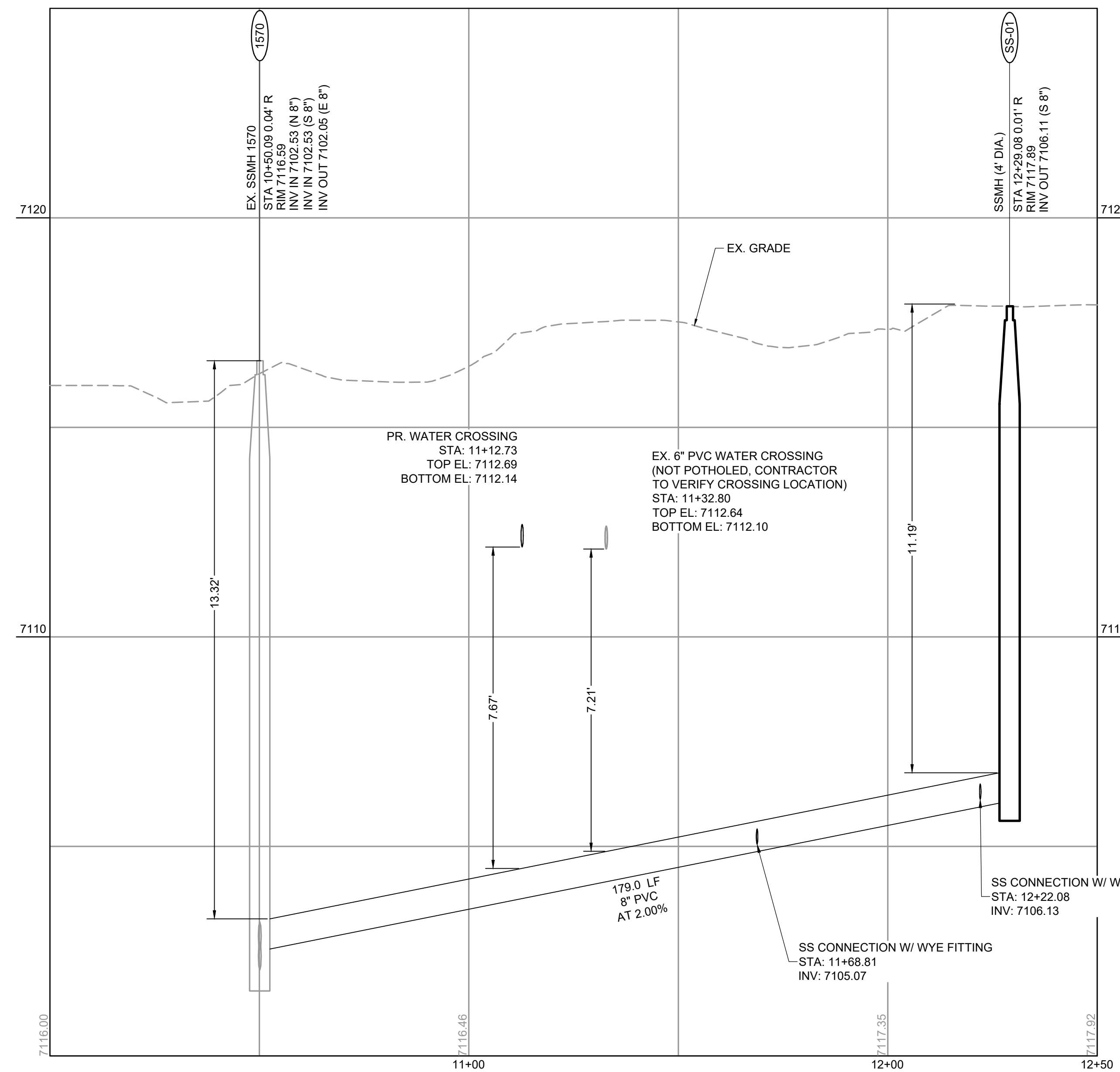
CONFIRM VIA
POTHOLING AND
FIELD SURVEY
ACTUAL LOCATION
OF EXISTING
WATERLINE



Yes, Tract A allows private/public utilities.



SANITARY PROFILE - SS-01



PCD FILE NO.: PUD252

DRAWN BY: SPC JOB DATE: 1/30/2026 BAR IS ONE INCH ON
APPROVED: CM JOB NUMBER: 2404118 OFFICIAL DRAWINGS.
CAD DATE: 1/30/2026 0 [REDACTED] 1"
CAD FILE: J:\2024\2404118\CAD\DWG\C\CDs\Construction Documents\Sanitary Plan-Profile IF NOT ONE INCH,
ADJUST SCALE ACCORDINGLY

NO.	DATE	BY	REVISION DESCRIPTION



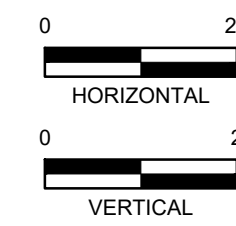
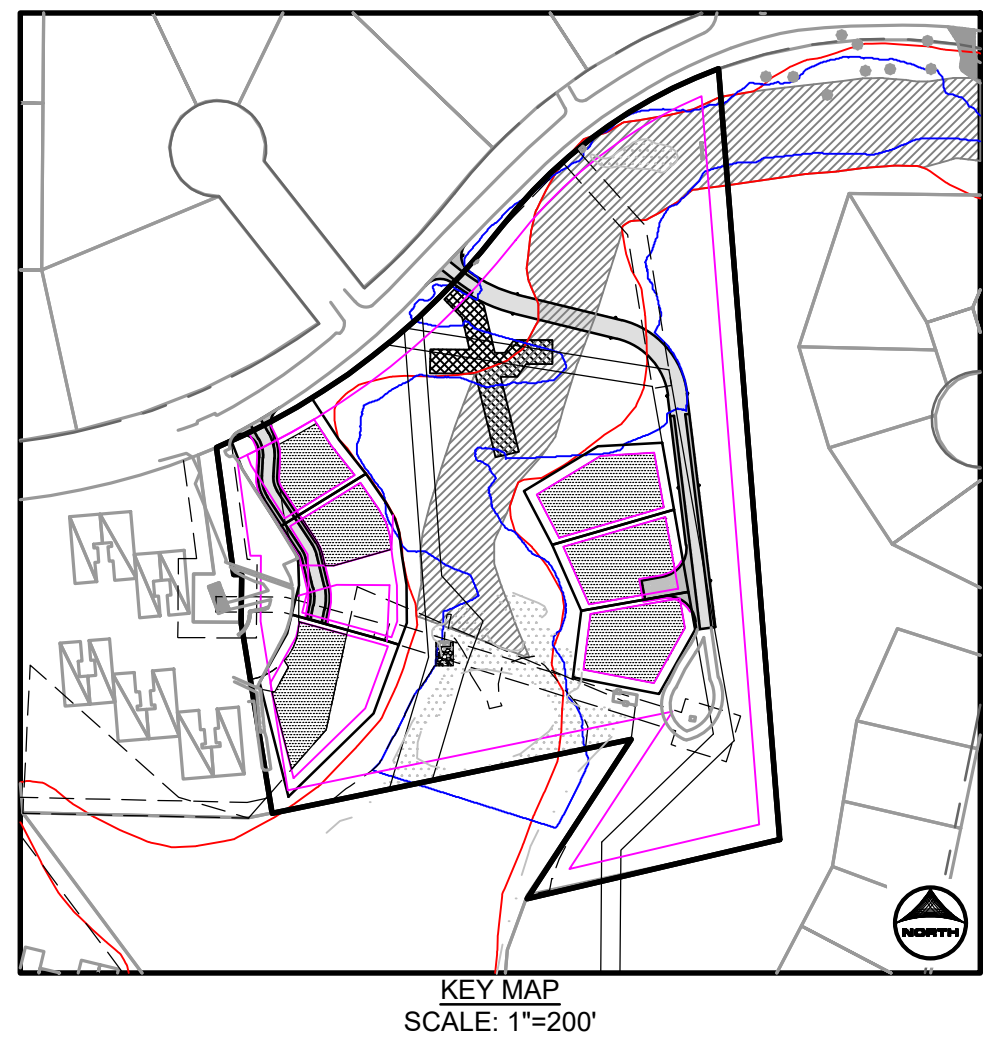
HR GREEN - COLORADO SPRINGS
1975 RESEARCH PARKWAY SUITE 160
COLORADO SPRINGS, CO 80920
PHONE: 719.300.4140
FAX: 713.965.0044

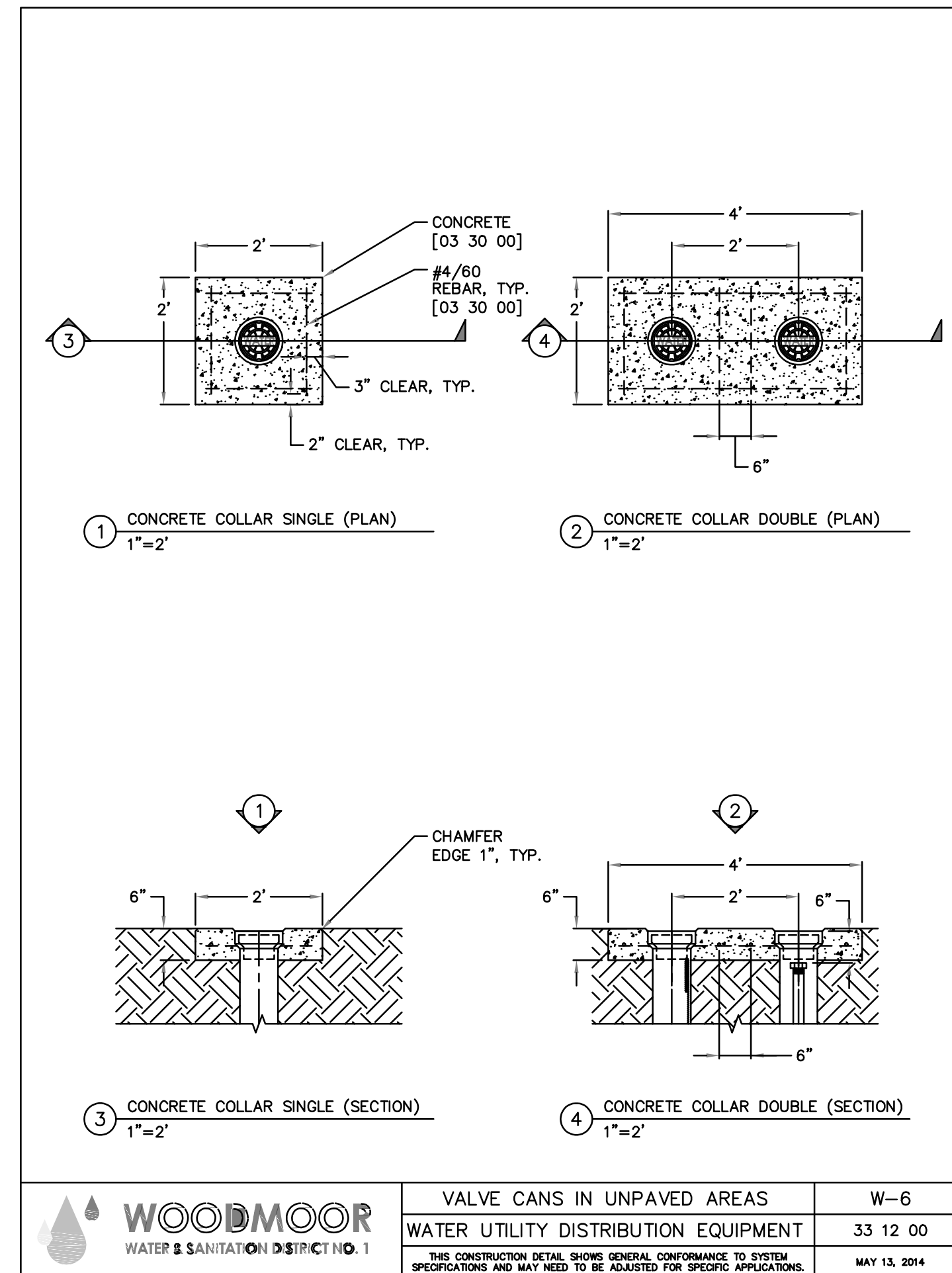
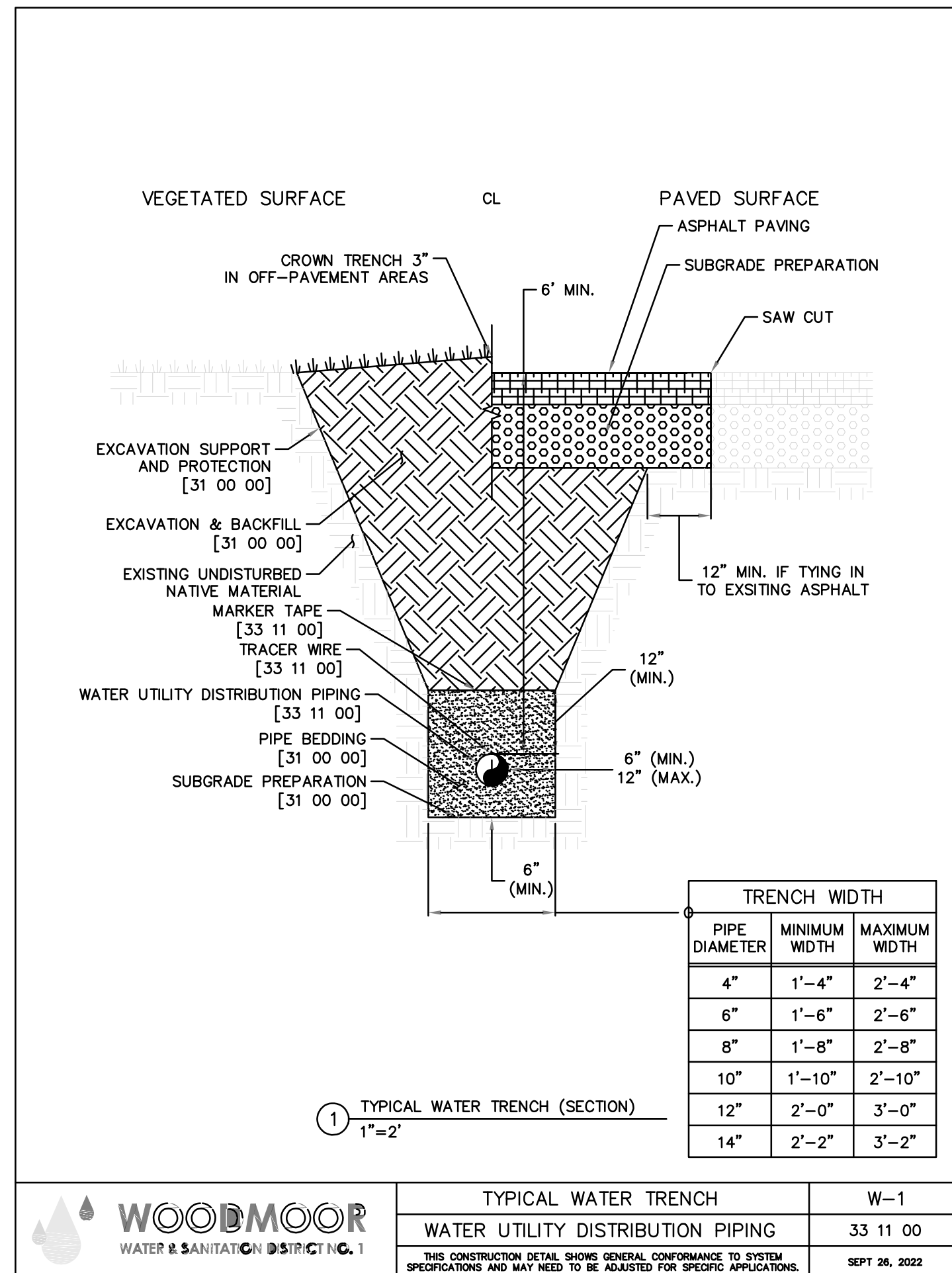
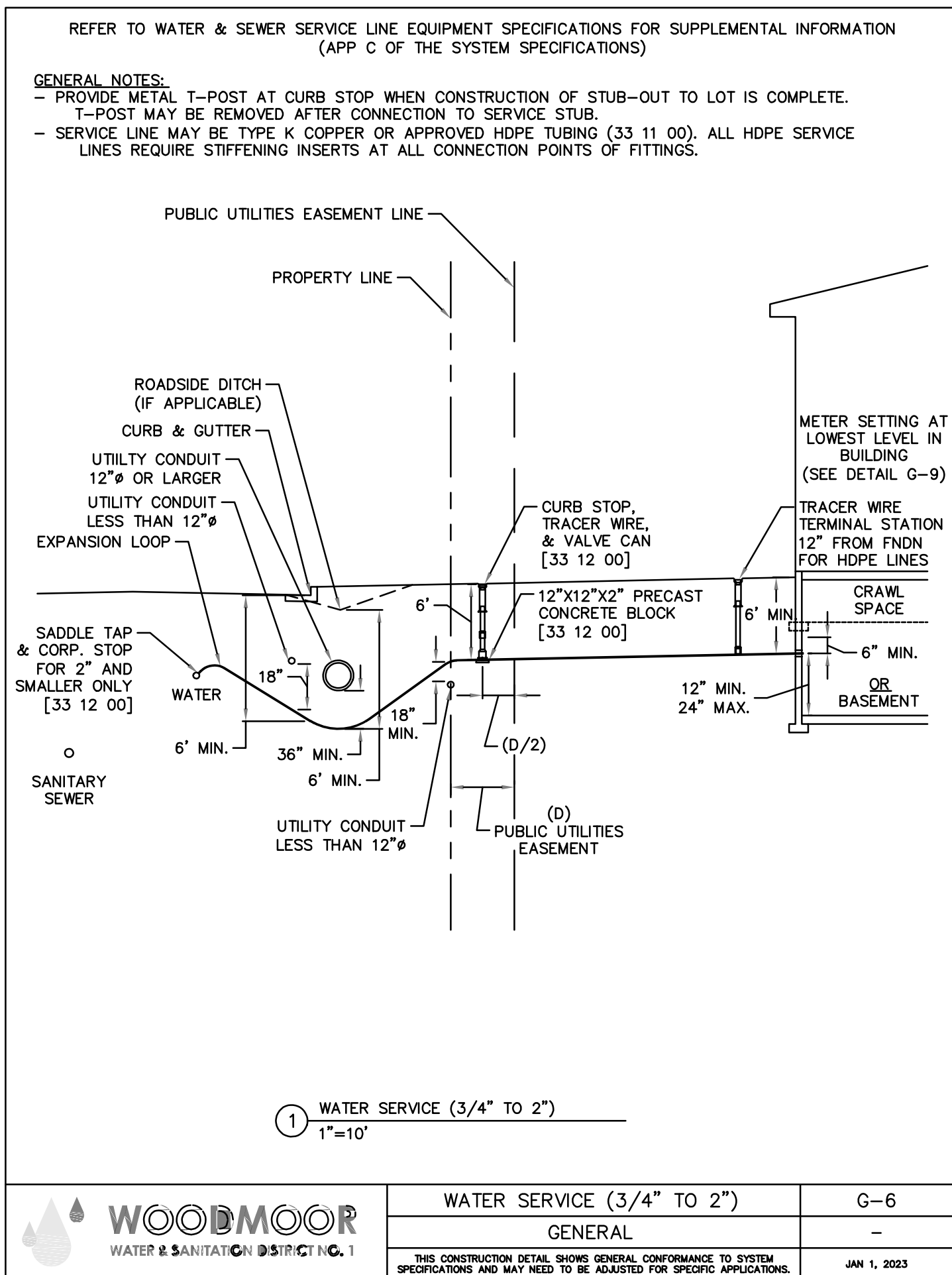
NORTHBAY AT LAKE WOODMOOR
CONSTRUCTION DOCUMENTS
EL PASO COUNTY, CO

UTILITY CONSTRUCTION DOCUMENTS
SANITARY PLAN & PROFILE I

SHEET
C.04

4





TEE'S				CALCULATION METHOD & ASSUMPTIONS	
NOMINAL RUN DIAMETER	NOMINAL BRANCH DIAMETER	RUN	BRANCH	EBAA IRON RESTRAINED LENGTH CALCULATOR (VERSION 5.4)	
[N]	[N]	[FT]	[FT]	PIPE MATERIAL: PVC	
4"	4"	10	F.O.	SOIL TYPE: CH, GRAN, FILL	
4"	6"	10	8	SAFETY FACTOR: 1.5:1	
4"	8"	10	42	TRENCH TYPE: 5	
6"	4"	10	F.O.	DEPTH OF BURY: 6 FEET	
6"	6"	10	F.O.	TEST PRESSURE: 200 PSI	
6"	8"	10	21		
8"	4"	10	F.O.		
8"	6"	10	F.O.		
8"	8"	10	2		

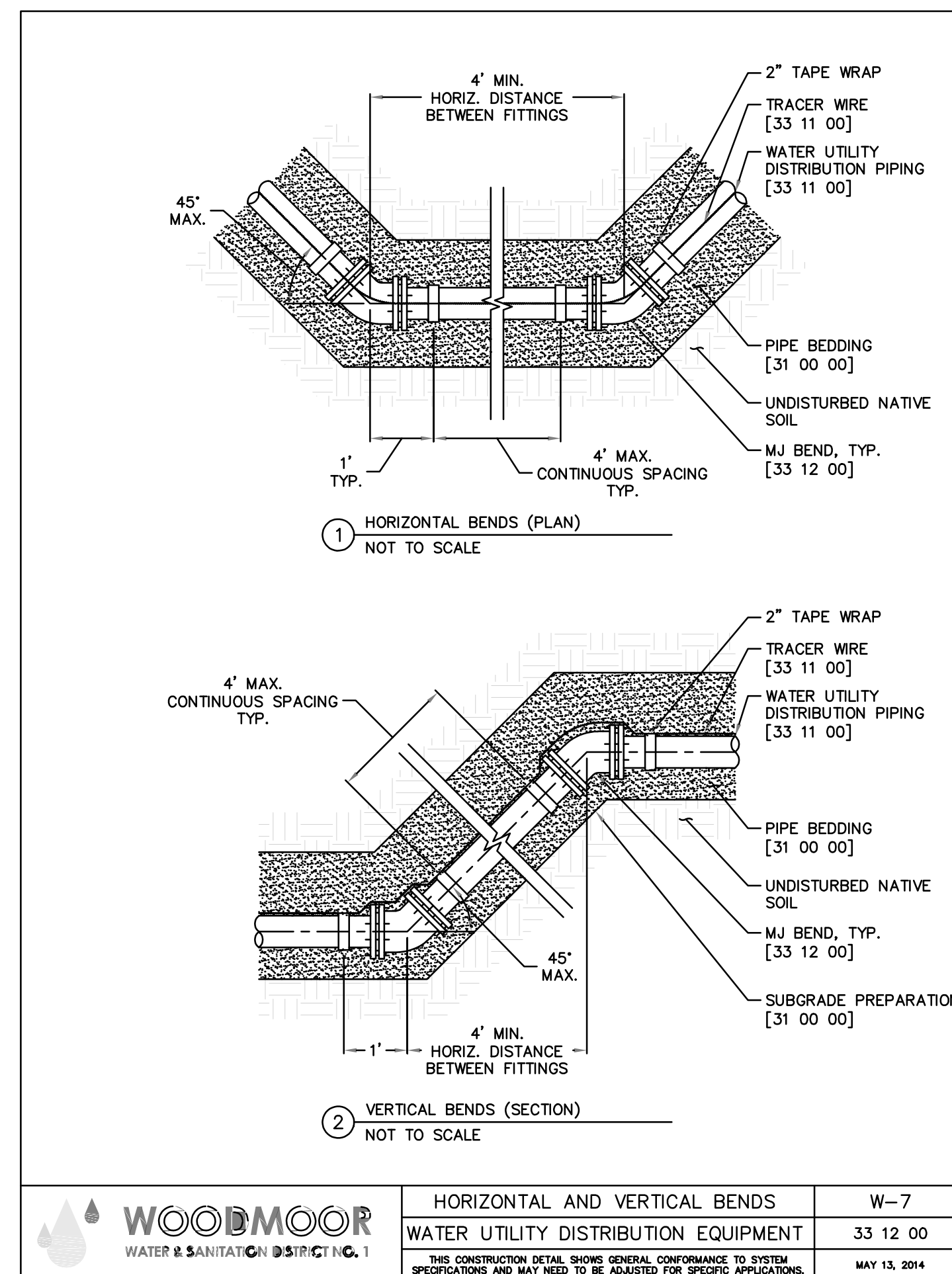
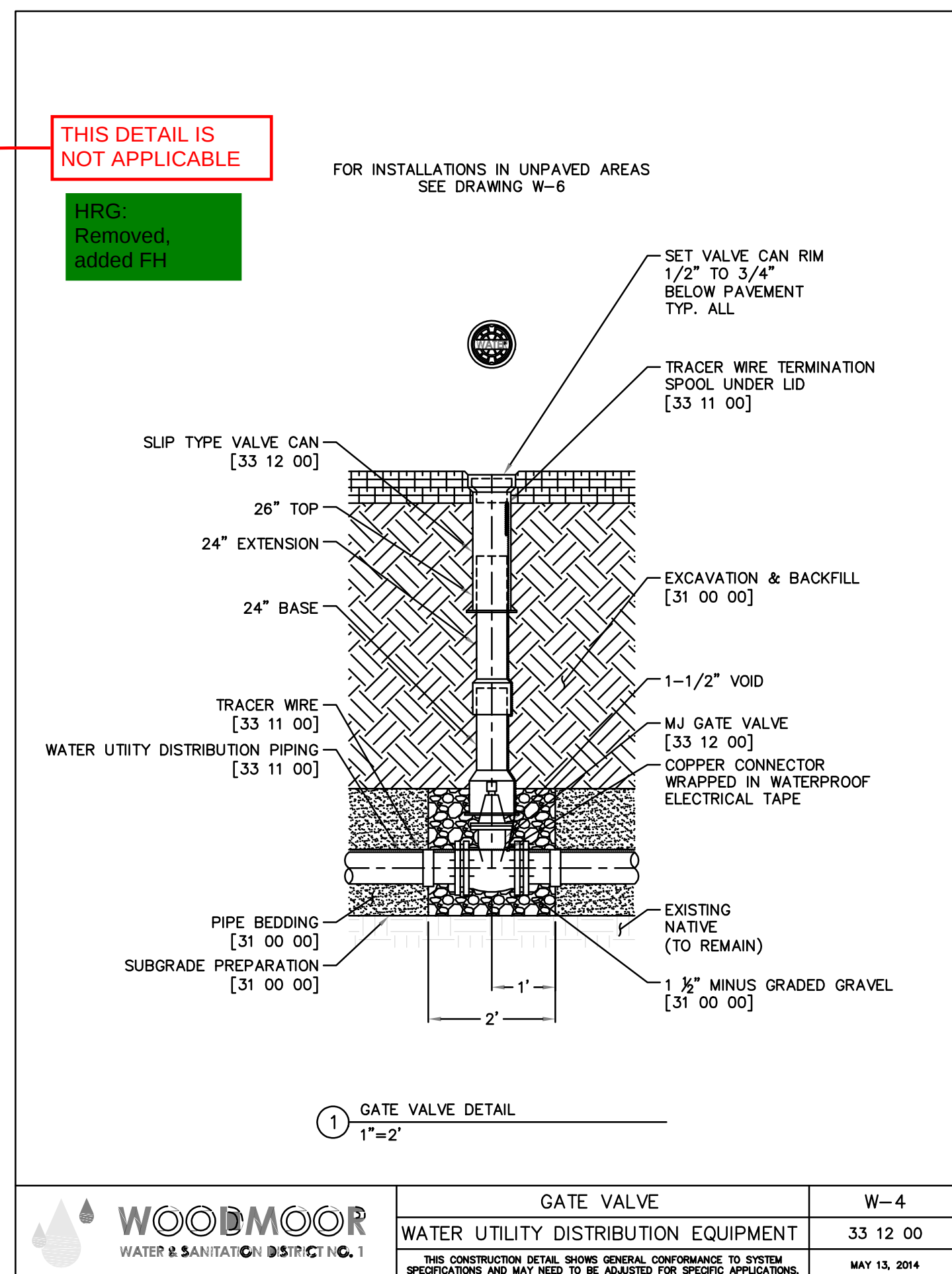
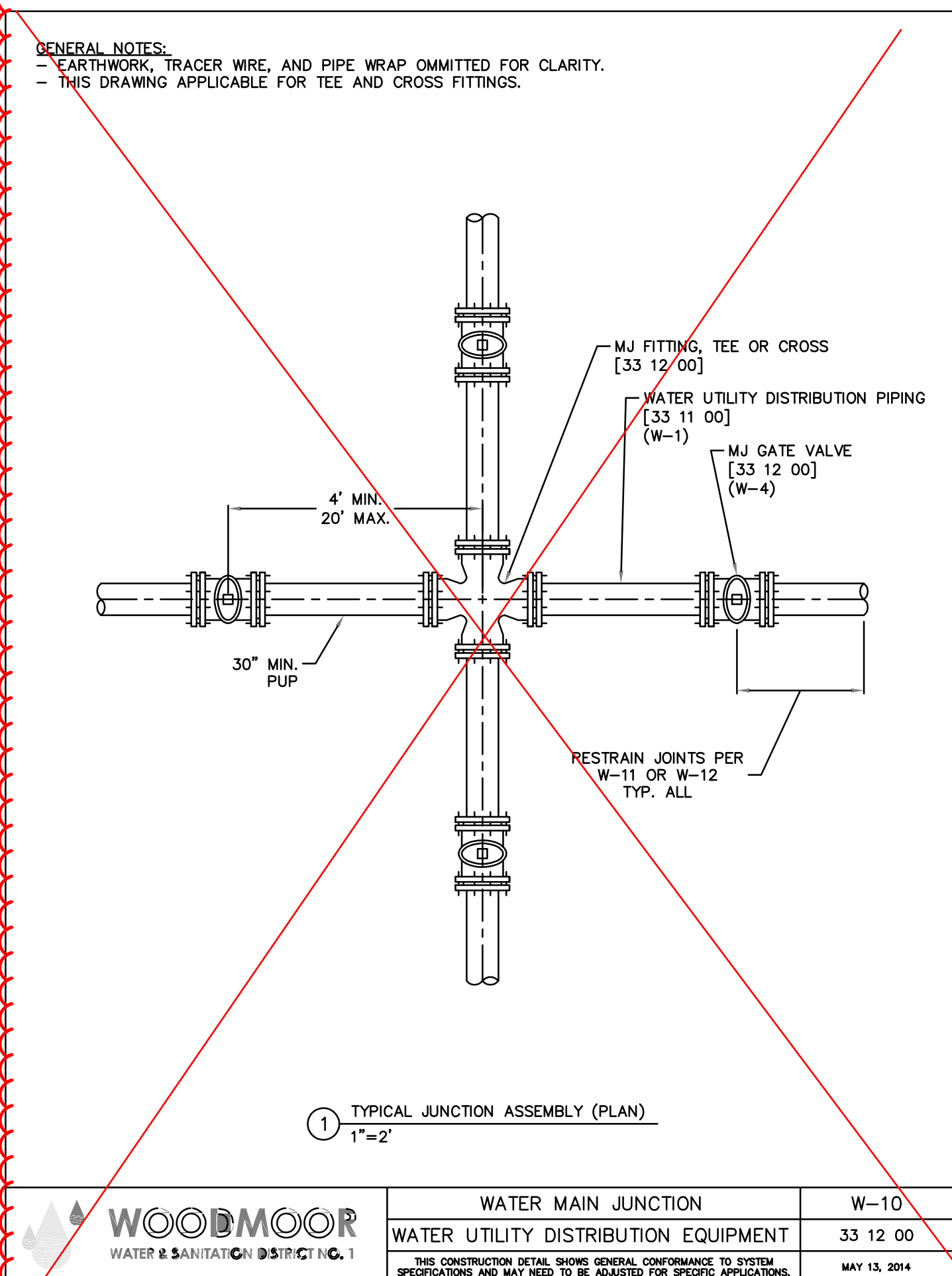
REDUCERS			DEAD-ENDS AND VALVES		
NOMINAL LARGE DIAMETER	NOMINAL SMALL DIAMETER	LENGTH	NOMINAL PIPE DIAMETER	LENGTH	
[IN]	[IN]	[FT]	[IN]	[FT]	
6"	4"	32	4"	44	
8"	4"	59	6"	62	
8"	6"	35	8"	82	

HORIZONTAL AND VERTICAL BENDS												
NOMINAL PIPE DIAMETER	HORIZONTAL BENDS				VERTICAL BENDS (OFFSETS)							
					45°				22.5°			
	90°	45°	22.5°	11.25°	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER	UPPER	LOWER
	[IN]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]	[FT]
4"	90° BENDS NOT ALLOWED	90°	5	3	2	19	5	9	3	5	2	
6"		7	4	2	26	7	13	3	7	2		
8"		10	5	3	34	8	17	4	9	2		

NOTES:

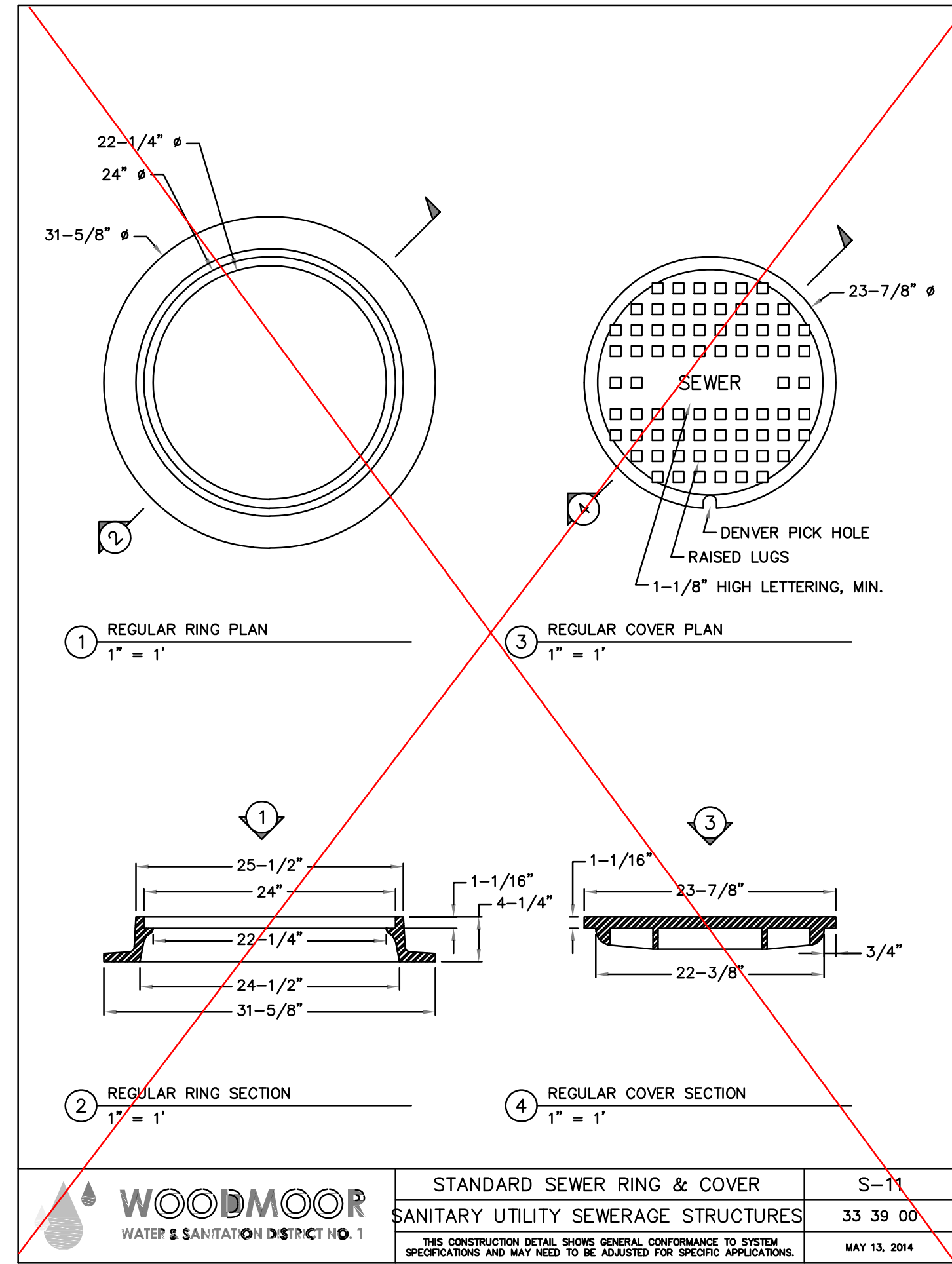
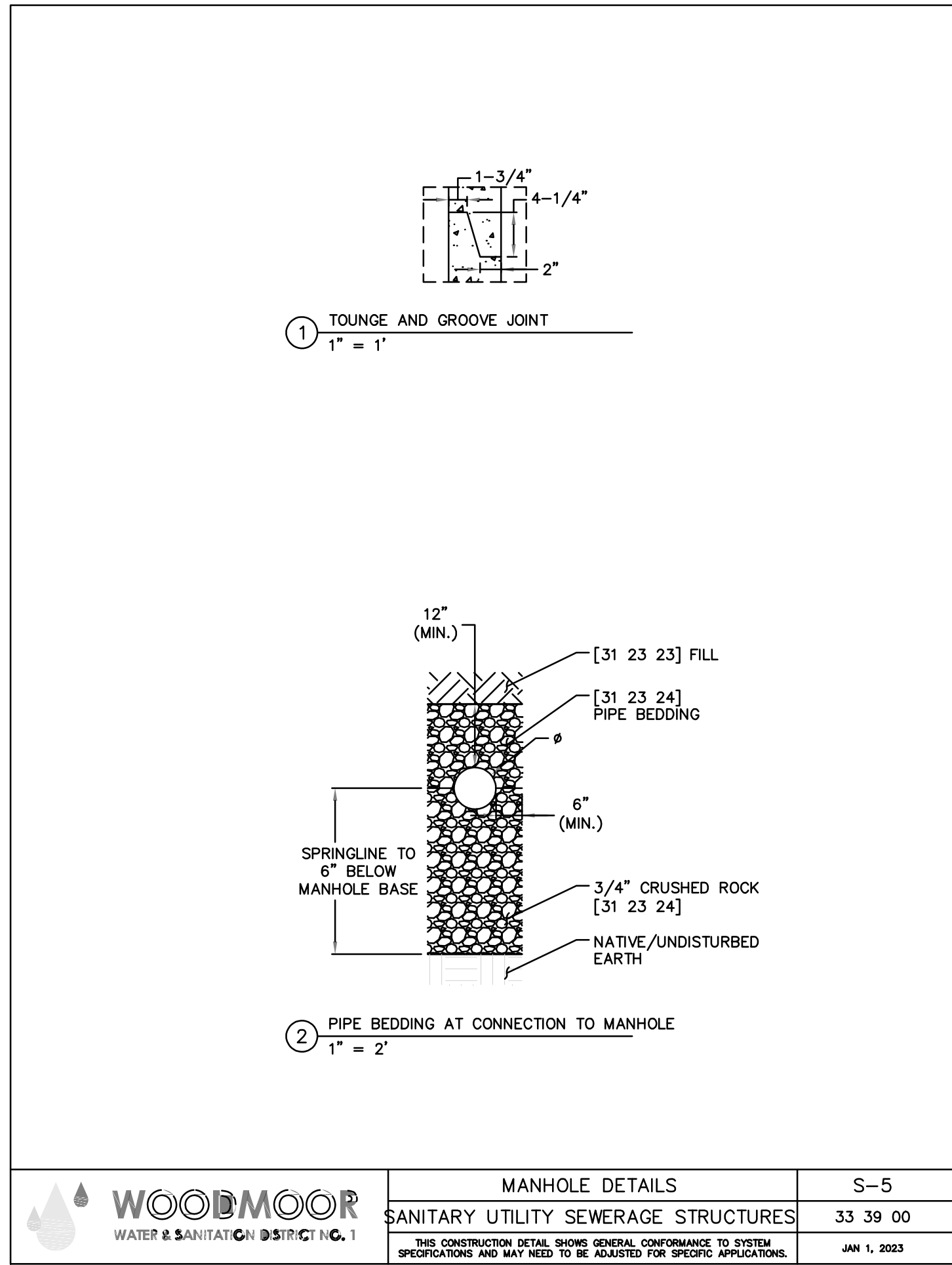
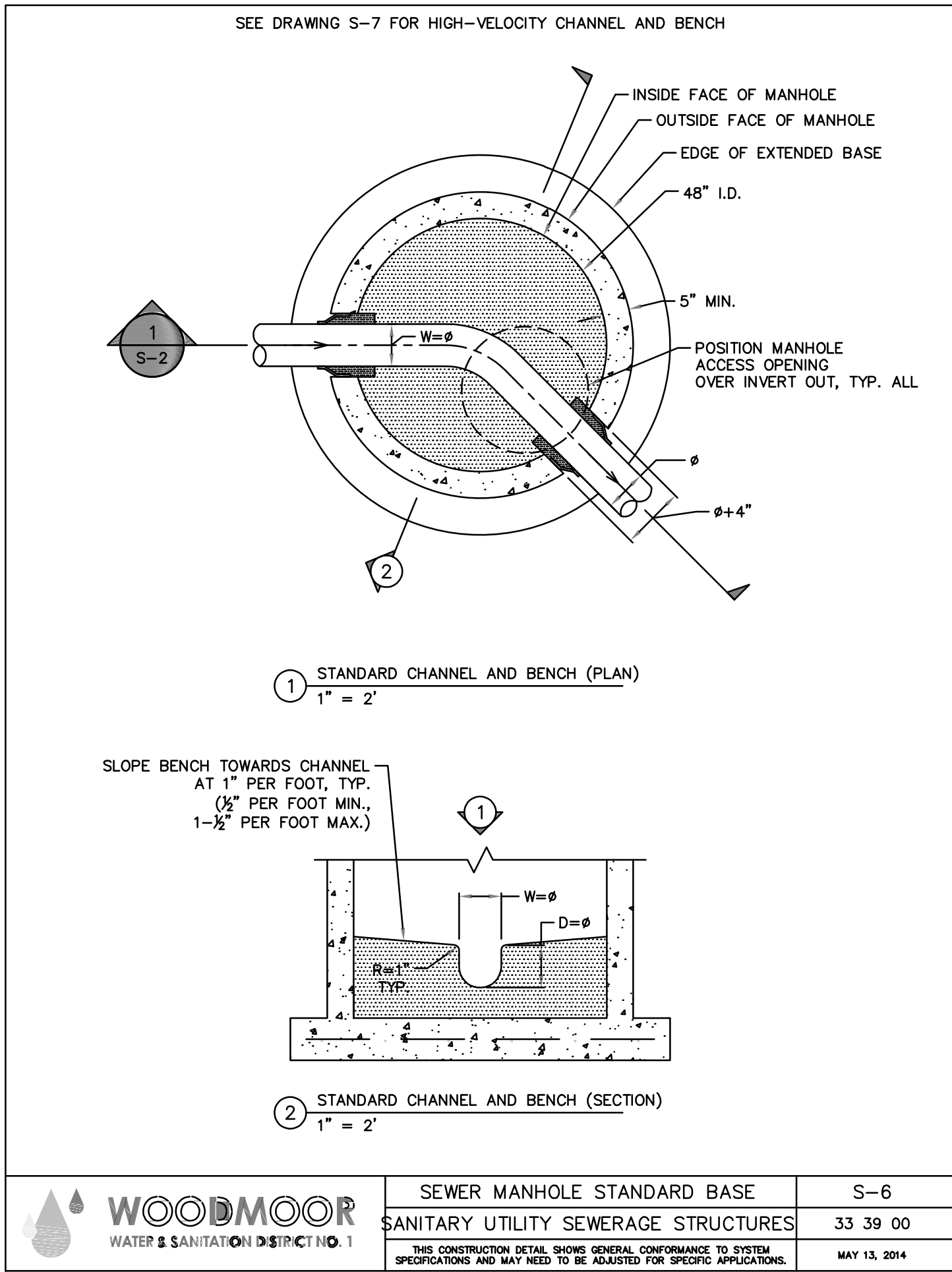
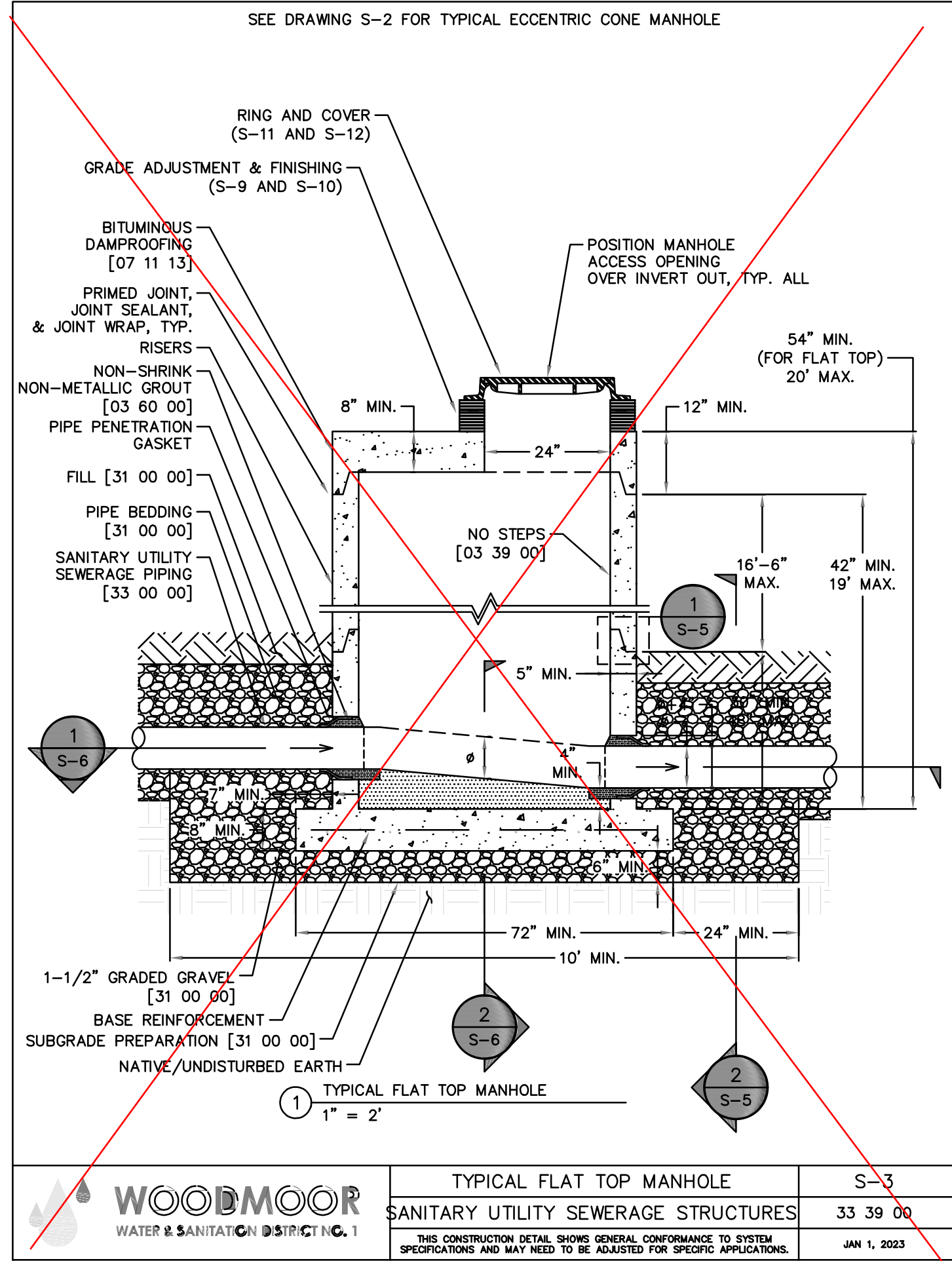
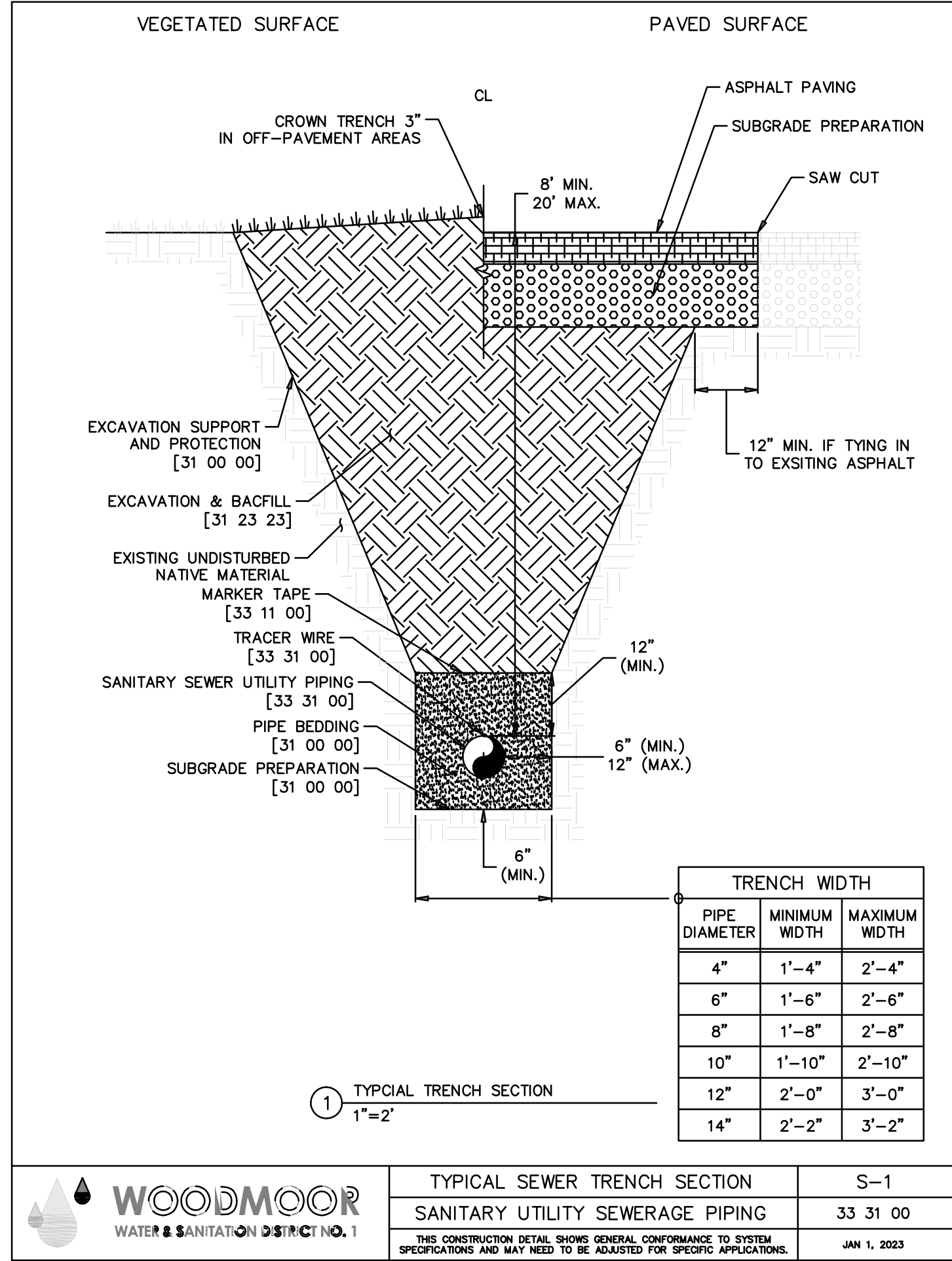
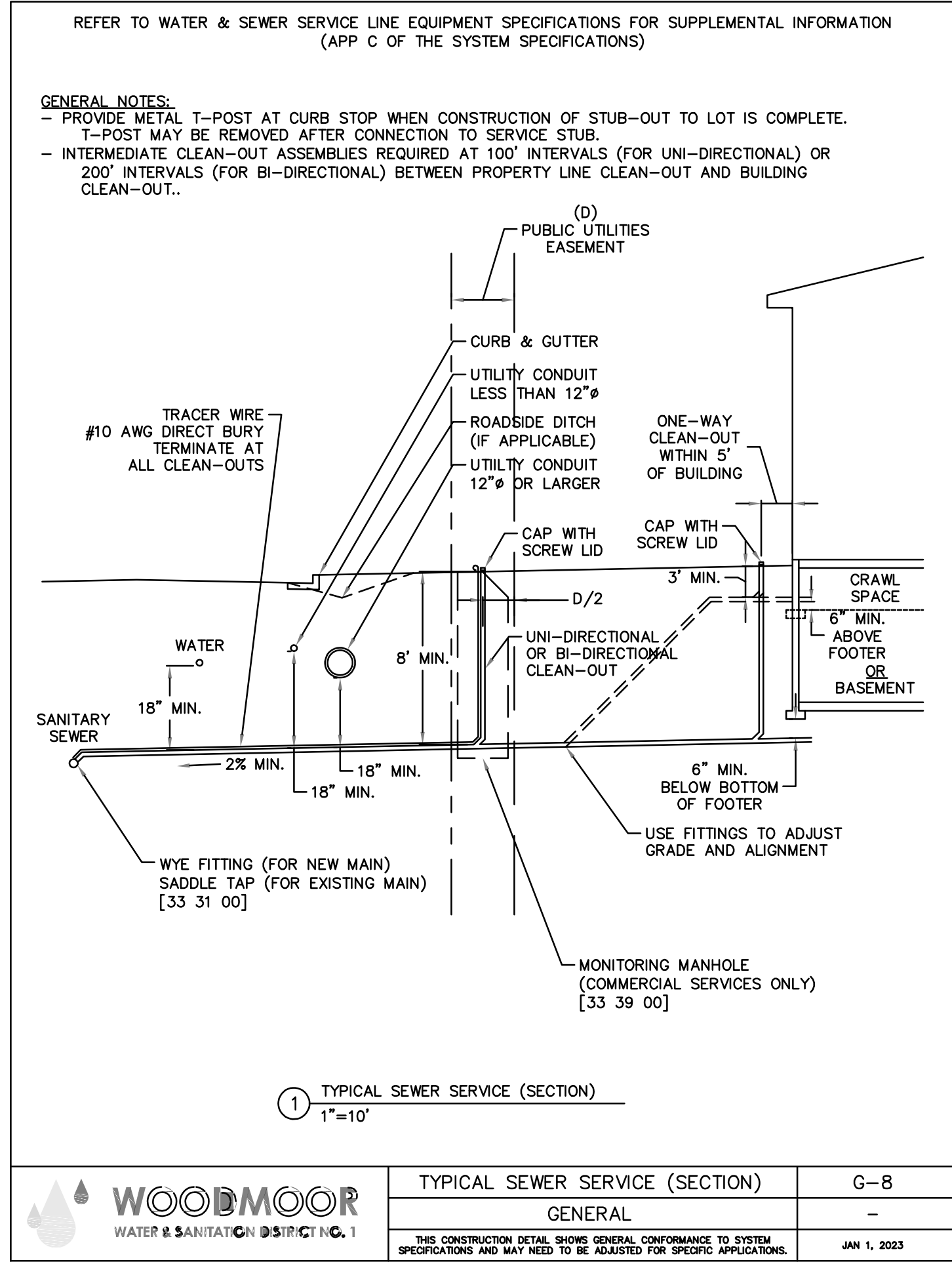
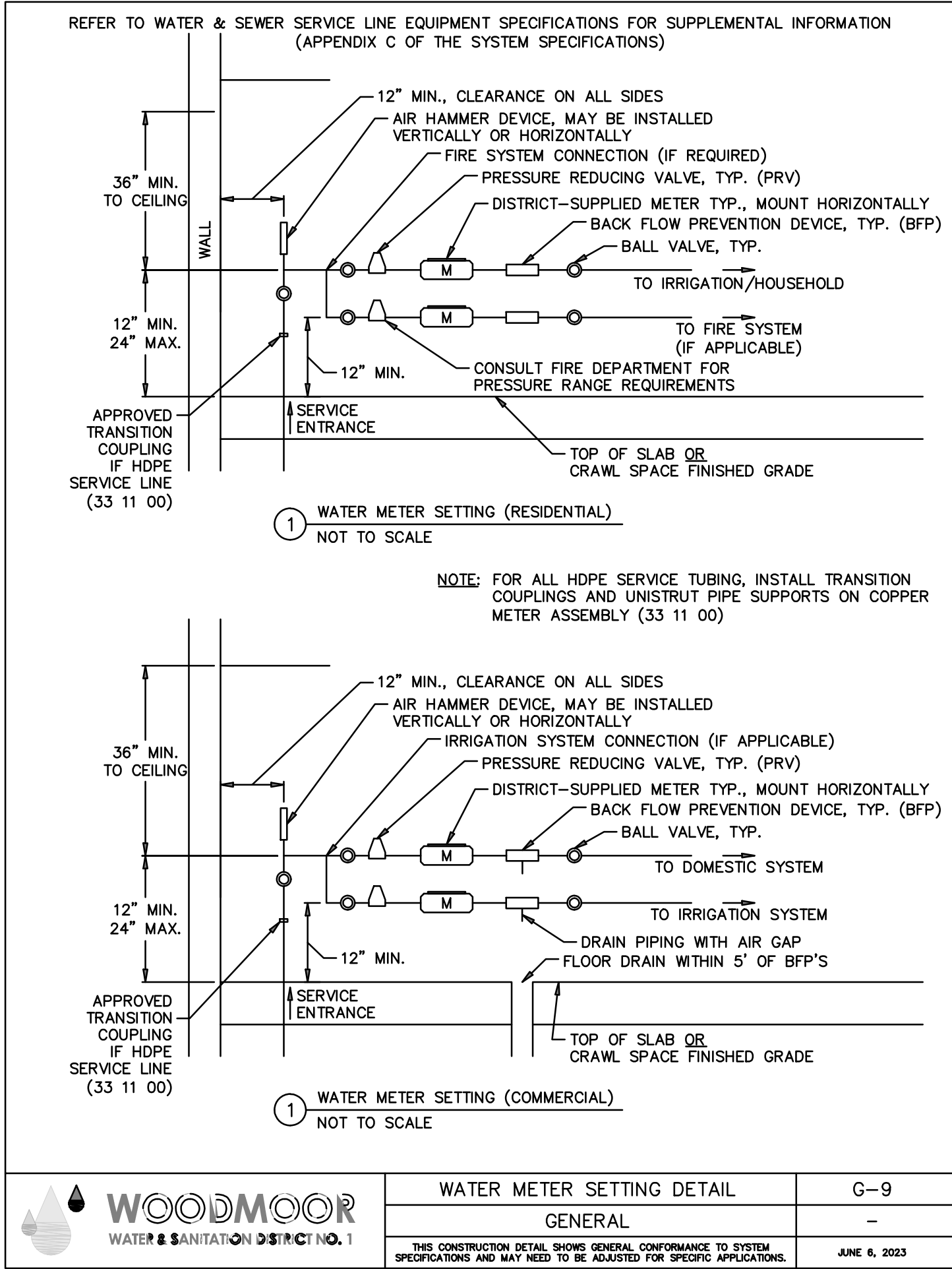
1. RESTRAINED PIPE LENGTH SHALL BE ACHIEVED WITH MECHANICAL JOINT RESTRAINTS OR BELL RESTRAINTS. DO NOT USE THREADED THE RODS OR CONCRETE KICKER BLOCKS.
2. FOR VALVES, BENDS, AND TEE RUNS THE LENGTHS OF TIED PIPES ARE MEASURED EACH WAY.
3. FOR DEAD-ENDS, TEE BRANCHES, AND REDUCERS THE LENGTHS OF TIED PIPE ARE MEASURED ONE WAY IN THE OPPOSITE DIRECTION OF THE APPLIED THRUST.
4. F.O. = MECHANICAL JOINT RESTRAINT AT FITTING ONLY.

	LENGTH OF RESTRAINED PIPE (PVC)	W-11
	WATER UTILITY DISTRIBUTION EQUIPMENT	33 12 00
	THIS CONSTRUCTION DETAIL SHOWS GENERAL CONFORMANCE TO SYSTEM SPECIFICATIONS AND MAY NEED TO BE ADJUSTED FOR SPECIFIC APPLICATIONS.	MAY 13, 2014



INCLUDE FIRE
HYDRANT DETAIL
W-8 FROM WWSD
SYSTEM SPECS

HRG:
Added, see left



INCORRECT DETAIL. PLEASE PROVIDE DETAIL S-10 FROM WWSD SYSTEM SPECS AS THESE MANHOLES WILL BE OUT OF PAVEMENT

HRG: Removed, S-10 RELOCATED TO THIS SHEET

INCORRECT DETAIL. PLEASE PROVIDE DETAIL S-12 FROM WWSD SYSTEM SPECS AS THESE MANHOLES WILL BE OUT OF PAVEMENT

HRG: Removed, S-12 RELOCATED TO NEXT SHEET

