



SCALE : 1" = 20'



Released for Permit
07/29/2021 11:57 PM
REGIONAL Building Department
Becky A
ENUMERATION

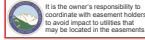
PLOT PLAN

(THIS IS NOT A PROPERTY SURVEY)
10153 LUNETH DRIVE

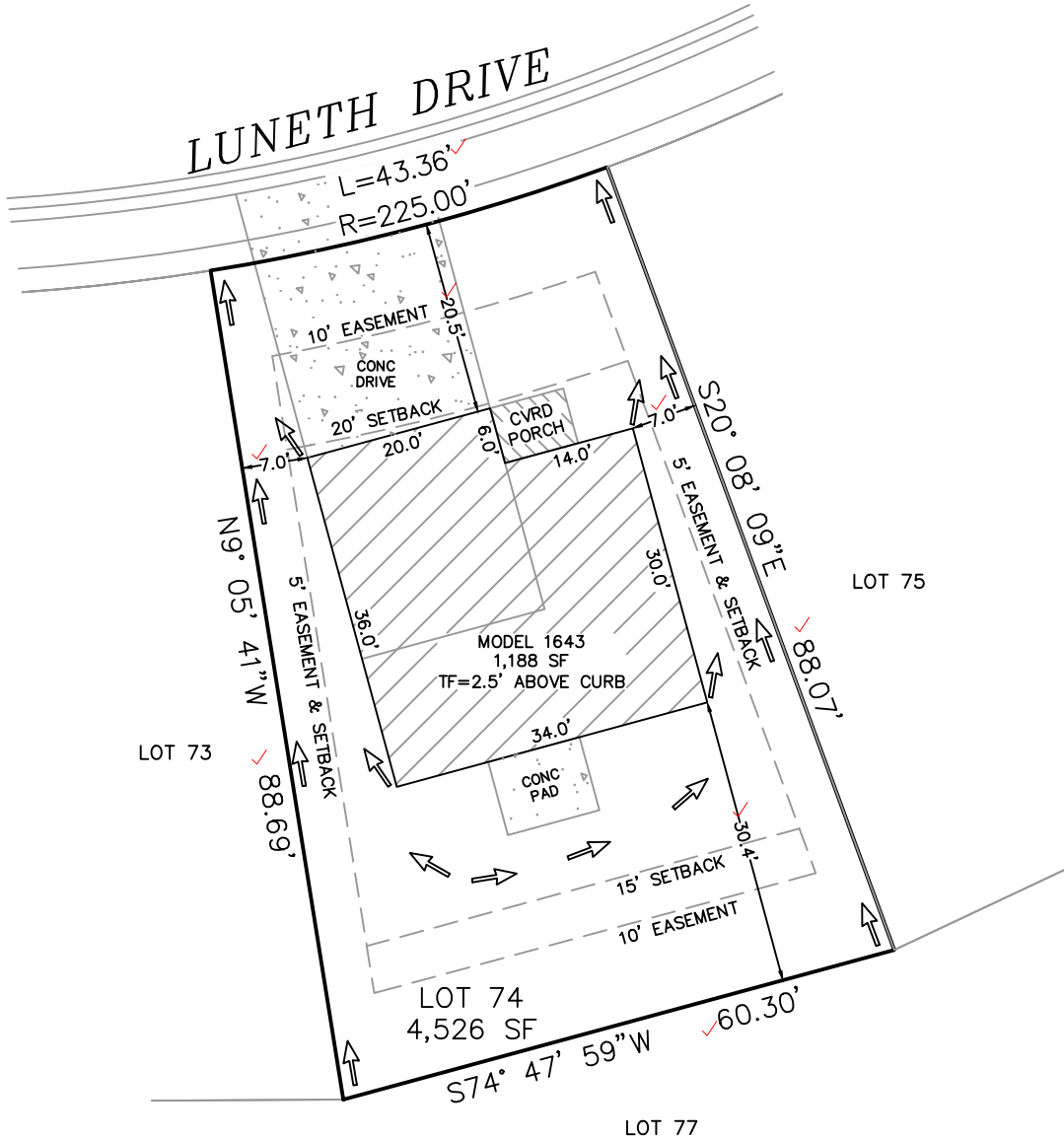
SFD211257

APPROVED
BESQCP
07/30/2021 11:25:45 AM
ddyounger
EPC Planning & Community
Development Department

APPROVED
Plan Review
07/30/2021 11:25:48 AM
ddyounger
EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY
EL PASO COUNTY
SHALL NOT BE USED
TO COMPLY WITH APPLICABLE
FEDERAL STATE OR LOCAL
LAWS AND/OR REGULATION
Planning & Community Development Department
approval is contingent upon compliance with all
applicable rules on the recorded plat.
An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.
Division of Storage of any drainage way
is not permitted without approval of the
Planning & Community Development Department



PUD
PLAT 14762

EASEMENTS AS RECORDED IN PLAT RECORDS AND
ARE FOR PUBLIC UTILITIES, PUBLIC IMPROVEMENTS,
& DRAINAGE PURPOSES Job# 210301

Top of Foundation = 2.5' ABOVE CURB / 1643-ELEVATION A / A LOT

SETBACKS:	ADDRESS:	LOT AREA:
FRONT=20'	10153 LUNETH DRIVE	4,526 SF ✓
SIDES=5'	COLORADO SPRINGS, CO ✓	HOUSE W/PORCH
REAR=15'	TAX ID# 5523213104 ✓	PRINT:
ZONED: PUD	LEGAL DESCRIPTION: LOT 74 ✓	1,188 SF ✓
DATE: 7/27/21	CREEKSIDE SOUTH AT LORSON	COVERAGE:
REV:	RANCH FILING NO. 1,	26.2% ✓
	EL PASO COUNTY, CO	

TRALON HOMES, LLC
212 N Wahsatch Ave, Suite 305
Colorado Springs, Colorado, CO 80903
(719)434-4750 FAX (719)434-3418

SITE



2017 PPRBC

Address: 10153 LUNETH DR, COLORADO SPRINGS

Parcel: 5500000435

Plan Track #: 149383 

Received: 29-Jul-2021 (BECKYA)

Description:

RESIDENCE

Type of Unit:

Garage	400	
Lower Level 2	711	
Main Level	705	
Upper Level 1	993	
	2809	Total Square Feet

Required PPRBD Departments (2)

<p>Enumeration</p> <p>APPROVED</p> <p>BECKYA</p> <p>7/29/2021 4:20:27 PM</p>	<p>Floodplain</p>
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Required Outside Departments (1)

<p>County Zoning</p> <p>APPROVED</p> <p>Plan Review</p> <p>07/30/2021 11:26:37 AM</p> <p><i>dsdyounger</i></p> <p>EPC Planning & Community Development Department</p>

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.