

DETACHED GARAGE

3 MEEKER LN, COLORADO SPRINGS, CO 80921

ARCHITETTO
design studio

Ryan Koeniger
Colorado Springs, CO
p: 720-878-6797

SHEET INDEX

ARCHITECTURAL

G100 COVER SHEET & SITE PLAN
G101 ASSEMBLIES
A101 GARAGE FLOOR PLANS AND ROOF PLAN
A201 GARAGE EXTERIOR ELEVATIONS
A301 GARAGE SECTIONS

STRUCTURAL

S001 STRUCTURAL SPEC'S
S002 STRUCTURAL NOTATIONS AND ABBREVIATIONS
S100 FOUNDATION, FRAMING, ROOF FRAMING PLANS

ADD24478

Not Required
BESSCP
08/15/2024 12:00 PM
EPC Planning & Community Development Department

APPROVED
Plan Review
08/15/2024 12:00 PM
EPC Planning & Community Development Department

It is the owner's responsibility to coordinate with regulatory agencies to obtain all necessary permits and approvals. The architect is not responsible for the accuracy of the information provided to the regulatory agencies.

Approval of this permit does not allow for the space indicated on the plan, either attached or detached from the primary structure, to be leased, rented or function separately from the primary unit.

GENERAL NOTES

- ALL DESIGN WORK, AND MATERIALS OF THIS PROJECT MUST COMPLY WITH THE REQUIREMENTS SET DOWN IN THE 2021 IRC [RESIDENTIAL BUILDING CODE] EDITION AND ALL ELPASO COUNTY (2023 PPRBC), STATE AND NATIONAL CODES WHICH APPLY.
- THE ARCHITECTURAL DRAWINGS HERE-IN ARE INTENDED TO BE GUIDELINES FOR CONSTRUCTION. THE OWNER OR CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL QUESTIONS OR CLARIFICATIONS REQUIRED TO COMMENCE AND COMPLETE CONSTRUCTION CORRECTLY. THE OWNER AND CONTRACTOR SHALL ALSO NOTIFY THE ARCHITECT OF ANY ERRORS, OMISSIONS, CORRECTIONS, OR INADEQUATE DETAILING WHICH MAY CAUSE CONSTRUCTION PROBLEMS OR DELAYS.
- MATERIALS / WORKMANSHIP:
 - ALL MATERIALS SHALL CONFORM TO APPLICABLE CURRENT INDUSTRY STANDARDS, TESTING, AND CODES, AND SHALL MEET OR EXCEED GOOD BUILDING STANDARDS AND PRACTICES.
 - CONTRACTOR SHALL INSPECT ALL MATERIALS PRIOR TO CONSTRUCTION OR INSTALLATION. DEFECTIVE MATERIALS SHALL BE REPLACED WITH ACCEPTABLE ALTERNATIVES.
 - ALL LABOR AND WORK SHALL BE PERFORMED IN A WORKMANSHIP LIKE MANNER IN ACCORDANCE WITH THE STANDARDS AND BEST PRACTICES OF THE PARTICULAR TRADE. WORK SHALL INCLUDE THE MATERIALS, LABOR, AND EQUIPMENT REQUIRED TO CONSTRUCT OR INSTALL THE ITEM AS CALLED FOR IN THE DRAWINGS HERE-IN.
 - MANUFACTURER'S INSTALLATION INSTRUCTIONS AND SPECIFICATIONS SHALL DICTATE THE METHOD OF INSTALLATION AND OPERATION OF ALL MATERIALS AND ELEMENTS, AND SHALL SUPERCEDE ANY SPECIFICATIONS HERE-IN.
 - MATERIALS OR PRODUCT NAMES INDICATED IN THE ARCHITECTURAL DRAWINGS ARE INTENDED AS A SPECIFICATION OF QUALITY. IT IS ASSUMED THAT SUBSTITUTIONS OF MATERIALS THAT MEET OR EXCEED THE QUALITY AND ARE ACCEPTABLE UNDER LOCAL BUILDING CODE RESTRICTIONS ARE THE OPTION OF AGREEMENT BETWEEN THE OWNER AND CONTRACTOR.

CONTACTS

OWNER: JERRY AND LAURA LASCO
3 MEEKER LN
COLORADO SPRINGS, CO 80920
CONTACT: JERRY LASCO
p. 832-771-2050
e. jasco@ascent.com

ARCHITECT: ARCHITETTO DESIGN STUDIO
2611 FARRAGUT CIR
COLORADO SPRINGS, CO 80907
CONTACT: RYAN KOENIGER
p. 720-878-6797
e. ryan@architettods.com

STRUCTURAL: AEC CONSULTING
PO BOX 29
COLORADO SPRINGS, CO 80901
CONTACT: NICK ANDERSEN
p. 413.961.9453
e. nandersen@aeconsultingservices.com

PROJECT DATA

PROJECT SUMMARY: DETACHED GARAGE

PROJECT ADDRESS: 3 MEEKER LANE
COLORADO SPRINGS, CO 80920

TSN: 6132002040

LEGAL DESCRIPTION: LOTS 11, 12 BLK 6 SUN HILLS SUB NO 3

CITY ZONING: RR-5

PROJECT TYPE: SINGLE FAMILY RESIDENTIAL, DETACHED GARAGE ADDITION

BUILDING/SITE DATA

TOTAL SITE AREA: 435,600 SQ.FT. (10 ACRES)

GARAGE FOOTPRINT: 1,001 SQ.FT. (>1%)

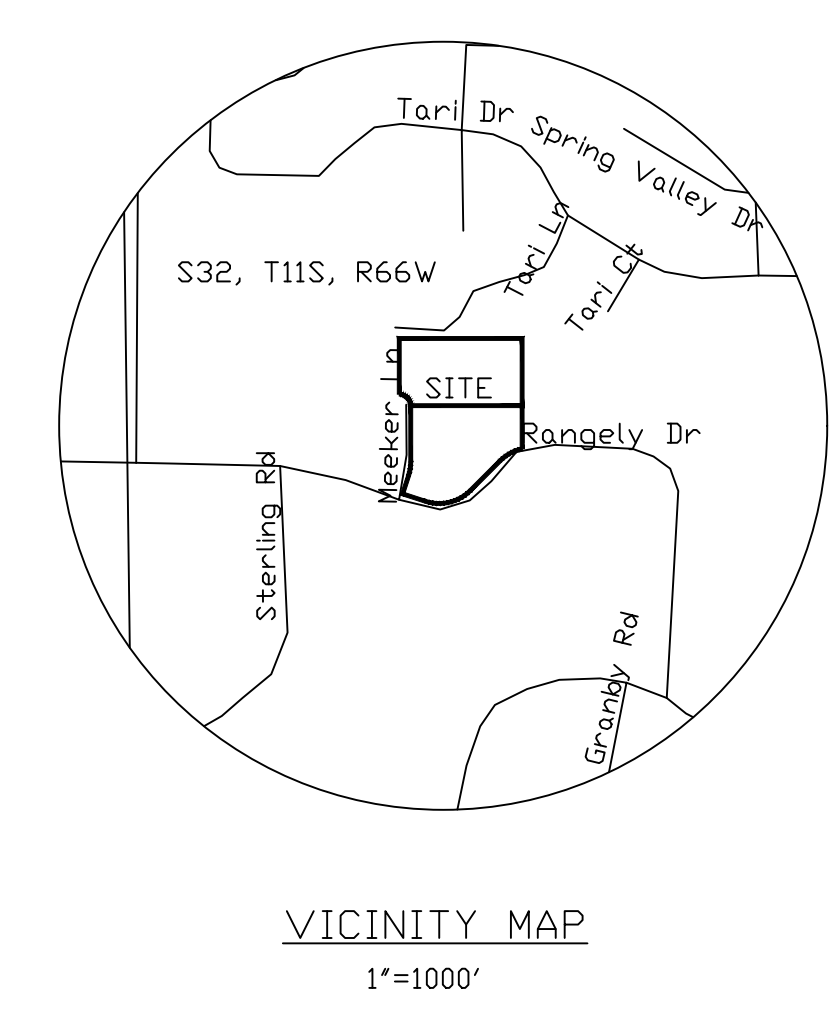
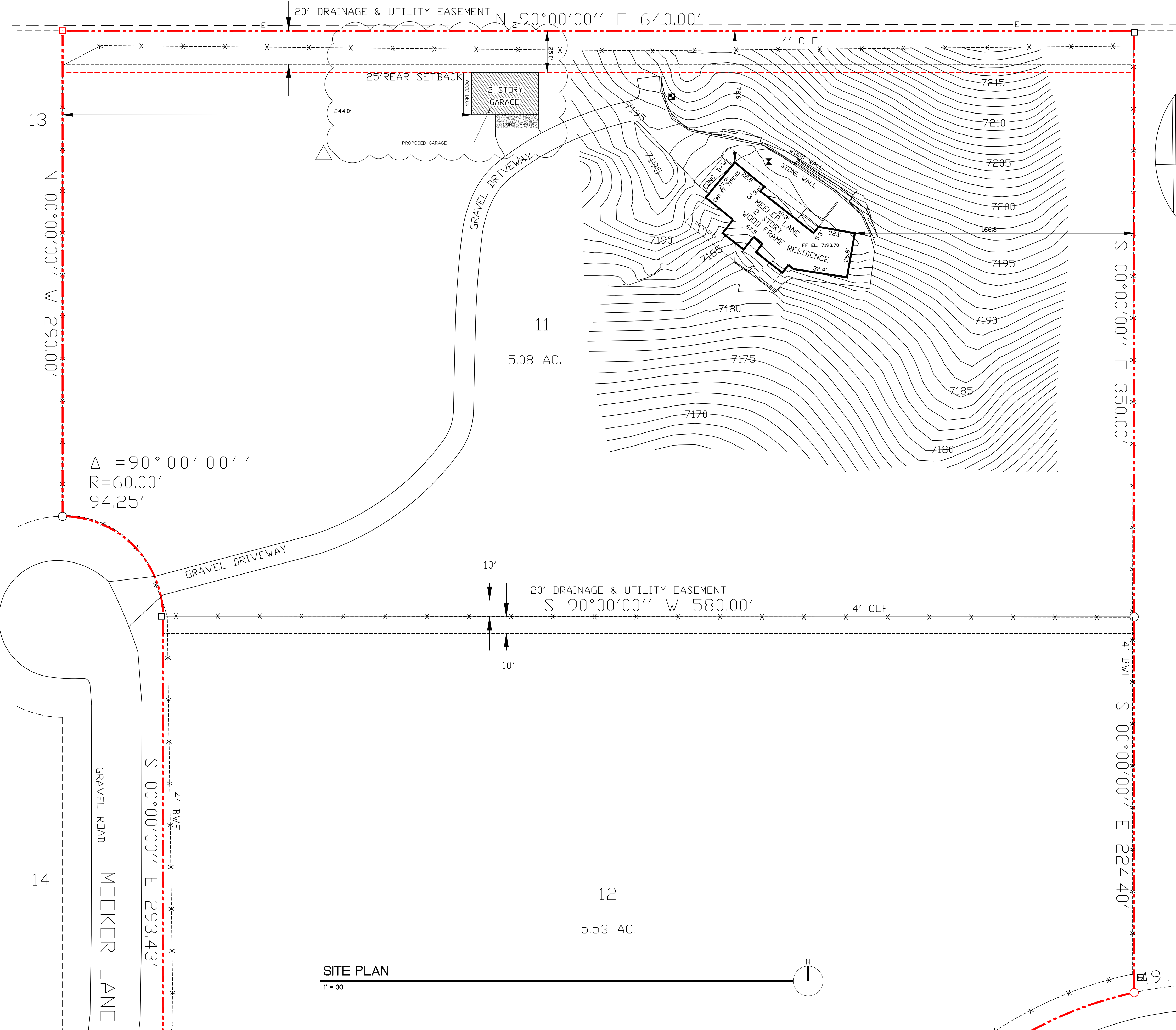
OF STORIES: 2 STORY

BUILDING CODES: 2023 PIKES PEAK REGIONAL BUILDING CODE (PPRBC)
2021 INTERNATIONAL RESIDENTIAL BUILDING CODE (IRC)

DETACHED GARAGE
3 MEEKER LN
COLORADO SPRINGS, CO 80921
COVER SHEET

date: 06/03/24
REV1 08/06/24

G100



SITE PLAN
1" = 30'

RESIDENTIAL



2023 PPRBC
IECC: N/A

Parcel: 6132002040

Address: 3 MEEKER LN, COLORADO SPRINGS

Plan Track #: 191445 

Received: 28-Jun-2024 (QUINTONW)

Description:

DETACHED GARAGE

Contractor: HOMEOWNER

Type of Unit:

Required PPRBD Departments (3)

Floodplain

(N/A) RBD GIS

Construction

Mechanical

Required Outside Departments (1)

County Zoning

APPROVED
Plan Review
08/15/2024 12:09:43 PM
dsdyounger
EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.