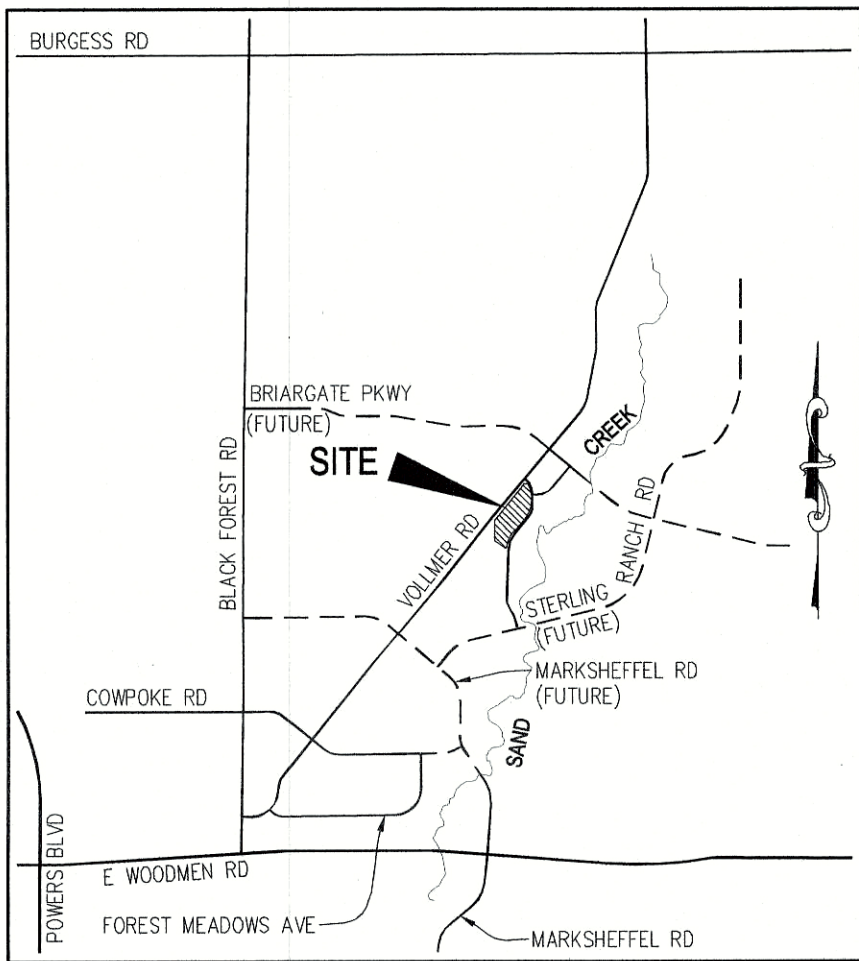


HOMESTEAD AT STERLING RANCH FILING NO. 1

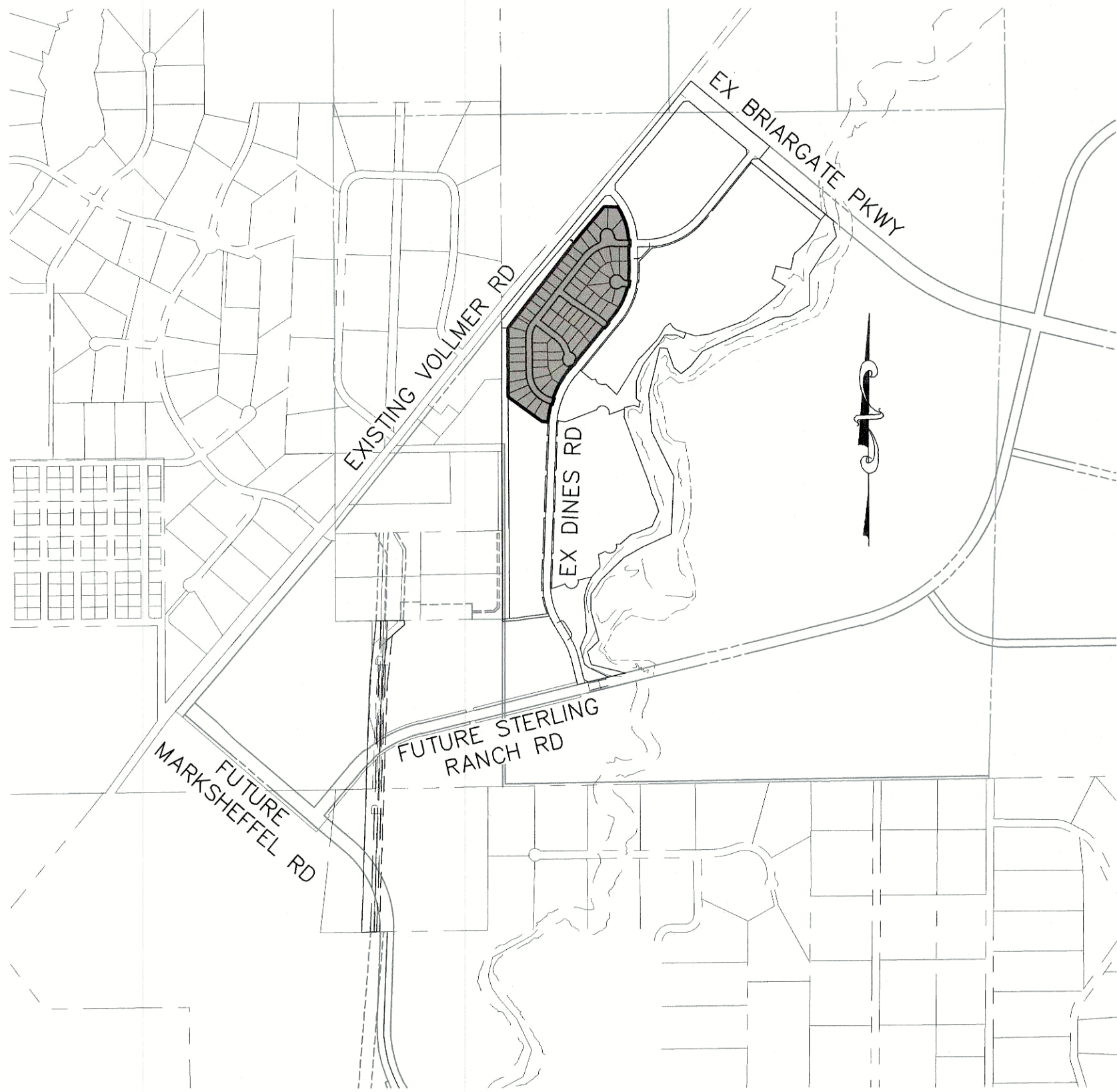
COUNTY OF EL PASO, STATE OF COLORADO

STREET IMPROVEMENT PLANS

OCTOBER 2018



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

AGENCIES

OWNER/DEVELOPER:	SR LAND, LLC 20 BOULDER CRESCENT, SUITE 201 COLORADO SPRINGS, CO 80903 JIM MORLEY (719) 471-1742
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 20 BOULDER CRESCENT, SUITE 110 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
COUNTY ENGINEERING:	EL PASO COUNTY DEVELOPMENT SERVICES 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 JEFF RICE, P.E. (719) 520-6300
TRAFFIC ENGINEERING:	EL PASO COUNTY PUBLIC SERVICES & TRANS. DEPT. 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922 JENNIFER IRVINE P.E. (719) 520-6460
WATER RESOURCES:	STERLING RANCH METRO DISTRICT ENGINEERS JDS-HYDRO CONSULTANTS 545 E. PIKES PEAK AVE., SUITE 300 COLORADO SPRINGS, CO 80903 JOHN MCGINN (719) 668-8769
FIRE DISTRICT:	BLACK FOREST FIRE PROTECTION DISTRICT 11445 TEACHOUT ROAD COLORADO SPRINGS, CO 80908 CHIEF BRYAN JACK (719) 495-4300
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

BENCHMARKS

1. THE TOP OF AN ALUMINUM SURVEYORS CAP, STAMPED "9853", AT THE SOUTHEAST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411416.273
EASTING = 235167.071
ELEVATION = 7023.42
2. THE TOP OF A RED PLASTIC SURVEYORS CAP, ILLEGIBLE, AT THE NORTHWEST BOUNDARY CORNER OF PAWNEE RANCHEROS SUBDIVISION
NORTHING = 410095.404
EASTING = 235052.131
ELEVATION = 7000.40
3. THE TOP OF A RED PLASTIC SURVEYORS CAP, STAMPED "38141", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411399.982
EASTING = 233849.817
ELEVATION = 7030.82

APPROVALS:

ENGINEER'S STATEMENT:

DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS ENGINEER'S STATEMENT:
THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS.

VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

DATE 10/24/18

OWNER/DEVELOPER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE DRAINAGE REPORT AND PLAN AND THIS SET OF CONSTRUCTION DOCUMENTS.
THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

SR LAND, LLC
JAMES F. MORLEY

DATE 10/24/18

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

Approved
by Elizabeth Hagan
El Paso County Planning and Community Development
on behalf of Jennifer Irvine, County Engineer, ECM Administrator
11/21/2018 1:57:53 PM

JENNIFER IRVINE, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

DATE

STERLING RANCH METROPOLITAN DISTRICT:

THESE DOCUMENTS HAVE BEEN REVIEWED AND APPROVED FOR STORM DRAIN AND ASSOCIATED UTILITY SERVICE CONSTRUCTION.

FOR AND ON BEHALF OF THE STERLING RANCH METRO. DISTRICT

DATE

SHEET INDEX

SHEET 1	TITLE SHEET	
SHEET 2	NOTES & DETAILS	
SHEET 3	PLAN & PROFILE	WHEATLAND DRIVE STA 0+00.00 TO 13+50.00
SHEET 4	PLAN & PROFILE	WHEATLAND DRIVE STA 13+50.00 TO 17+81.93
SHEET 5	PLAN & PROFILE	SCOBY COURT
SHEET 6	PLAN & PROFILE	RYEGATE WAY
SHEET 7	SIGNAGE & STRIPING	CUTBANK WAY



SF-17-025

HOMESTEAD AT STERLING RANCH FILING NO. 1

STREET IMPROVEMENT PLANS

PROJECT NO. 09-005
SCALE: 10/22/2018
DESIGNED BY: JP
DRAWN BY: ELY
CHECKED BY: GW

S101

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485



FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.



REVISIONS:
NO. DATE BY DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR
OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER
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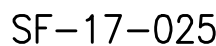
CAUTION


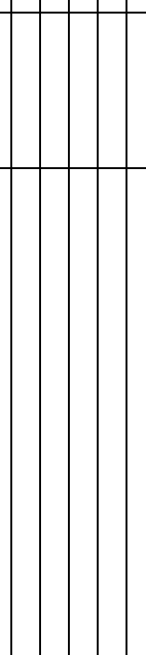
3. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE EXISTENCE AND LOCATION OF ALL UNDERGROUND UTILITIES ALONG THE ROUTE OF THE WORK. THE OMISSION FROM OR THE INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE OF OR A DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES.
2. THE CONTRACTOR WILL TAKE THE NECESSARY PRECAUTIONS TO PROTECT EXISTING UTILITIES FROM DAMAGE DUE TO THIS OPERATION. ANY DAMAGE TO THE UTILITIES WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE, AND ANY SERVICE DISRUPTION WILL BE SETTLED BY THE CONTRACTOR.
3. ADDITIONAL EROSION CONTROL STRUCTURES MAY BE REQUIRED AT THE TIME OF CONSTRUCTION.
4. ALL BACKFILL, SUB-BASE, AND/OR BASE COURSE (CLASS 6) MATERIAL SHALL BE COMPACTED PER THE SOILS ENGINEER'S RECOMMENDATIONS, AND APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DIVISION.
5. ALL STATIONING IS CENTERLINE OF IMPROVEMENTS UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE FLOW LINE UNLESS OTHERWISE INDICATED AS TOP BACK OF CURB (TBC), ASPHALT (ASP), OR TOP OF INLET OR BOX (TOB).
6. ALL DISTURBED PAVEMENT EDGES SHALL BE CUT TO NEAT LINES. REPAIR SHALL CONFORM TO EPC ECM APPENDIX K - 1.2C.
7. ALL INTERSECTION ACCESSSES TO BE CONSTRUCTED WITH A 25 FOOT SIGHT VISIBILITY TRIANGLES EXCEPT BRAIRGATE PARKWAY AND VOLLMER ROAD WHICH ARE ARTERIALS AND A 50 FOOT SIGHT VISIBILITY TRIANGLE IS REQUIRED AND THERE SHALL BE NO OBSTRUCTIONS GREATER THAN 18" VERTICAL IN THIS AREA.
8. ALL CULVERTS AND STORM DRAIN PIPES SHALL BE SMOOTH INTERIOR CORRUGATED POLYETHYLENE PIPE (HDPE), REINFORCED CONCRETE PIPE (RCP). ALL CULVERTS SHALL BE PLACED COMPLETE WITH FLARED END SECTIONS. ADEQUACY OF MATERIAL THICKNESS FOR ANY CSP INSTALLED SHALL BE VERIFIED BY OWNER'S GEOTECHNICAL ENGINEER TO SUPPORT MINIMUM 50 YEAR DESIGN LIFE. CULVERTS MUST CONFORM TO EPC ECM SECTION 3.32 - CULVERTS.
9. ASPHALT THICKNESS AND BASE COURSE THICKNESS (COMPACTED) FOR ROADS SHALL BE PER DESIGN REPORT BY OWNER'S GEOTECHNICAL ENGINEER. OWNER'S GEOTECHNICAL ENGINEER TO BE ON SITE AT THE TIME OF ROAD CONSTRUCTION TO EVALUATE SOIL CONDITIONS AND DETERMINE IF ADDITIONAL MEASURES ARE NECESSARY TO ASSURE STABILITY OF THE NEW ROADS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DIVISION PRIOR TO CONSTRUCTION.

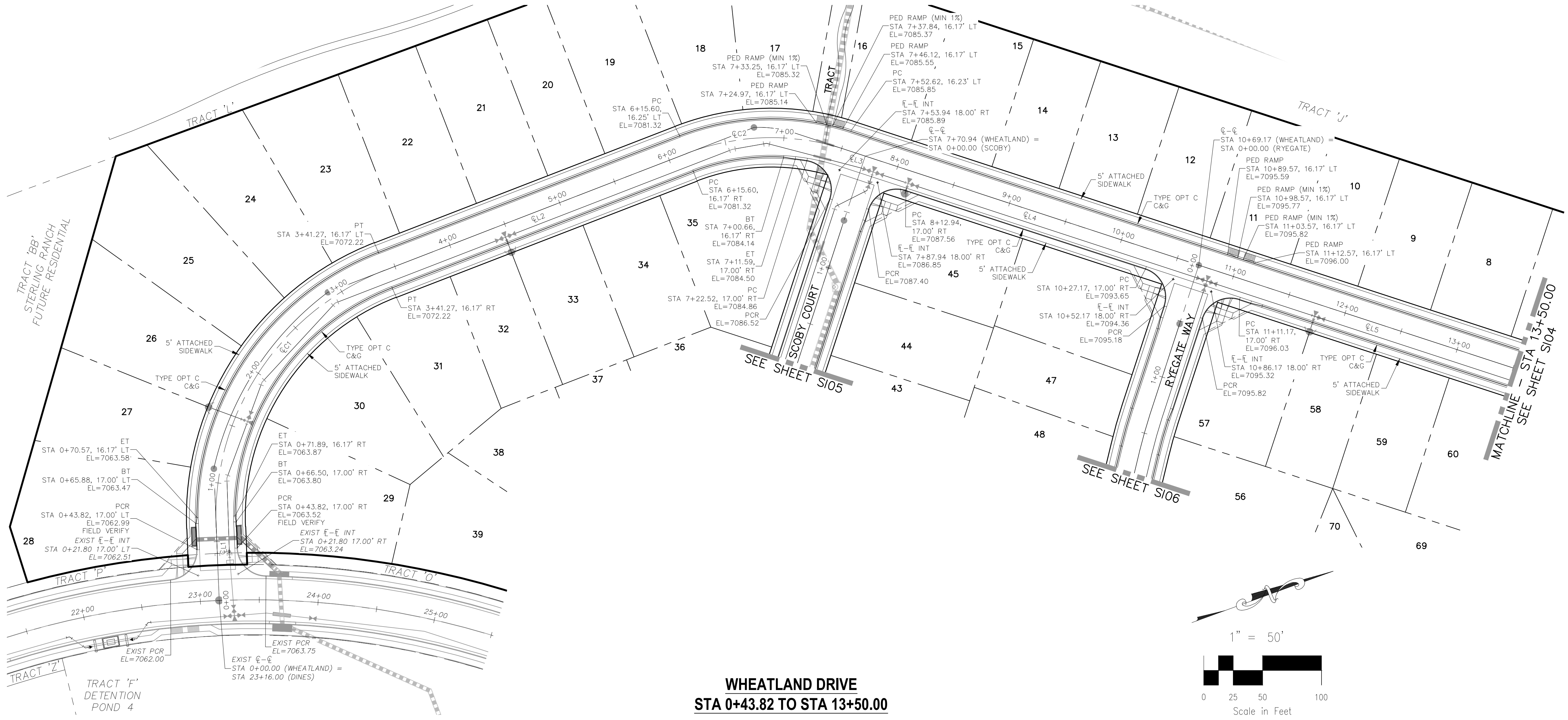
1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DIVISION.
4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO COUNTY AND MUTCD STANDARDS.
5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR.
7. ALL STREET NAME SIGNS SHALL HAVE "D" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND NON-LOCAL ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH A WHITE BORDER THAT IS NOT RECESSED. MULTI-LANE ROADWAYS WITH SPEED LIMITS OF 40 MPH OR HIGHER SHALL HAVE 8" UPPER-LOWER CASE LETTERING ON 18" BLANK WITH A WHITE BORDER THAT IS NOT RECESSED. THE WIDTH OF THE NON-RECESSED WHITE BORDERS SHALL MATCH PAGE 255 OF THE 2012 MUTCD "STANDARD HIGHWAY SIGNS"
8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS, REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC PAVEMENT MARKINGS WITH TAPERED LEADING EDGES PER CDOT STANDARD S-627-1. WORD AND SYMBOL MARKINGS SHALL BE THE NARROW TYPE. STOP BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1.
12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING.
14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS PRIOR TO ANY WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY, INCLUDING SIGNAGE OR STRIPING.



1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIMES, INCLUDING THE FOLLOWING:
 - a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2
 - c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
 - d. CDOT M & S STANDARDS
4. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT – INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS–ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND DEPARTMENT OF PUBLIC WORKS. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES VERTICAL ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT PUBLIC WORKS, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR CONSTRUCTION.



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CENTERLINE LINE TABLE		
LINE	LENGTH	DIRECTION
Q/L1	61.82'	N72°19'01\"W
Q/L2	274.33'	N1°09'24\"E
Q/L3	18.27'	N38°06'42\"E
Q/L4	298.23'	N38°06'42\"E
Q/L5	331.87'	N38°06'42\"E

CENTERLINE CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
Q/C1	225.00'	279.45'	71°09'37\"
Q/C2	200.00'	137.07'	39°16'06\"

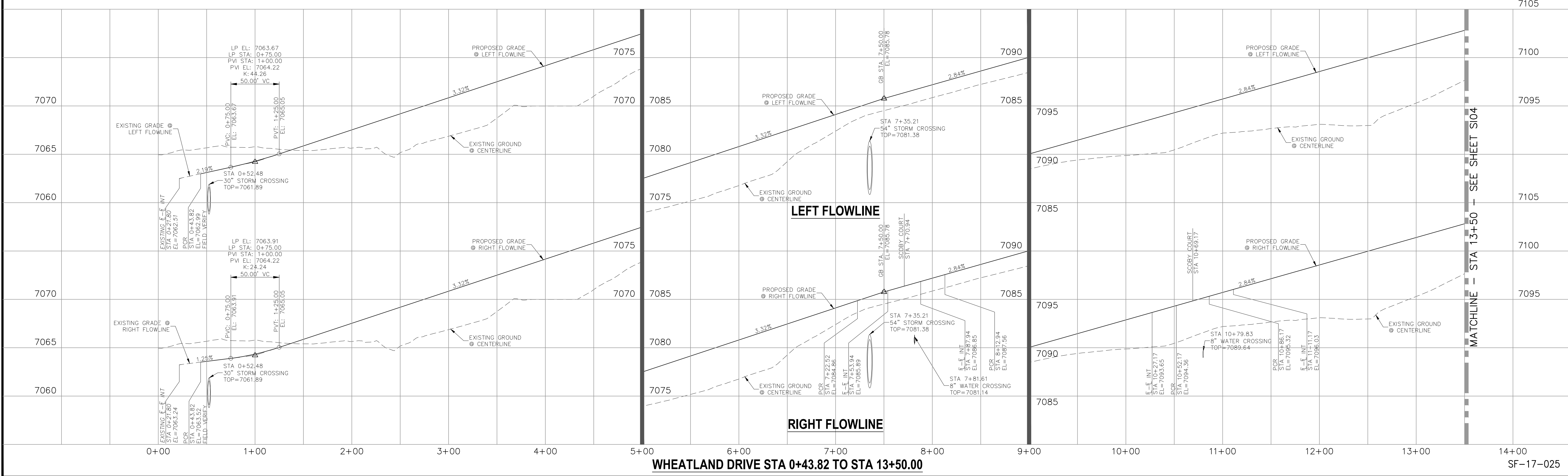
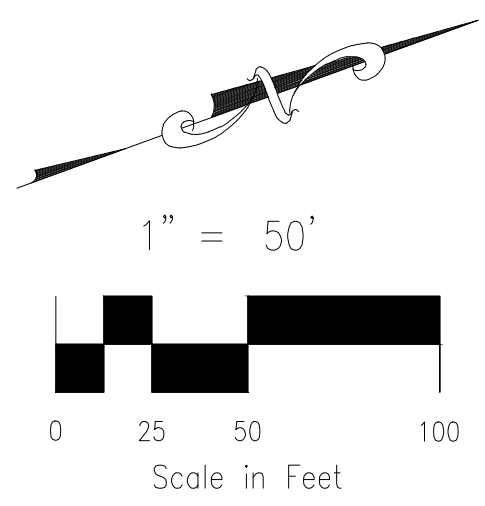
- ABBREVIATION LEGEND**
- Q-C CENTERLINE INTERSECTION
 - Q-L FLOWLINE INTERSECTION
 - BT BEGIN TRANSITION
 - ET END TRANSITION
 - PC POINT OF CURVE
 - PCC POINT OF COMPOUND CURVE
 - PCR POINT OF CURB RETURN
 - PRC POINT OF REVERSE CURVE
 - PT POINT OF TANGENT
 - EL ELEVATION
 - LT LEFT
 - RT RIGHT

- STREET ABBREVIATIONS**
- CBW CUT BANK WAY
 - RW RYEGATE WAY
 - SC SCOBY COURT
 - WD WHEATLAND DRIVE
 - DB DINES BOULEVARD (EX.)
 - CDS CUL-DE-SAC
 - KN KNUCKLE

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

**WHEATLAND DRIVE
STA 0+43.82 TO STA 13+50.00**



HOMESTEAD AT STERLING RANCH FILING NO. 1

STREET IMPROVEMENT PLANS

PROJECT NO. 09-005
DATE: 10/22/2018
SCALE: HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

DESIGNED BY: JY
DRAWN BY: EL
CHECKED BY: GW

SHEET 3 OF 7
SIO3

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.


FOR AND ON BEHALF OF WAS CIVIL CONSULTANTS, INC.

PROFESSIONAL ENGINEER
NO. 37160
11/18/18

REVISIONS:
NO. DATE BY DESCRIPTION
APPROVED BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

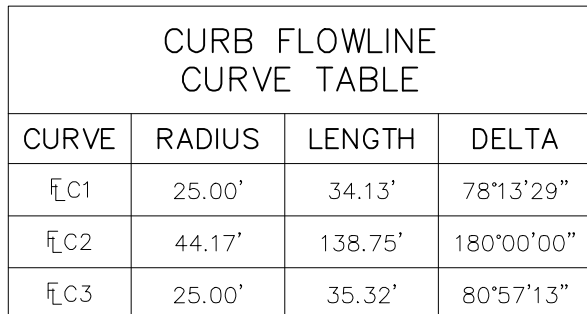
CAUTION



S&W
CIVIL CONSULTANTS, INC.

FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.

CAUTION



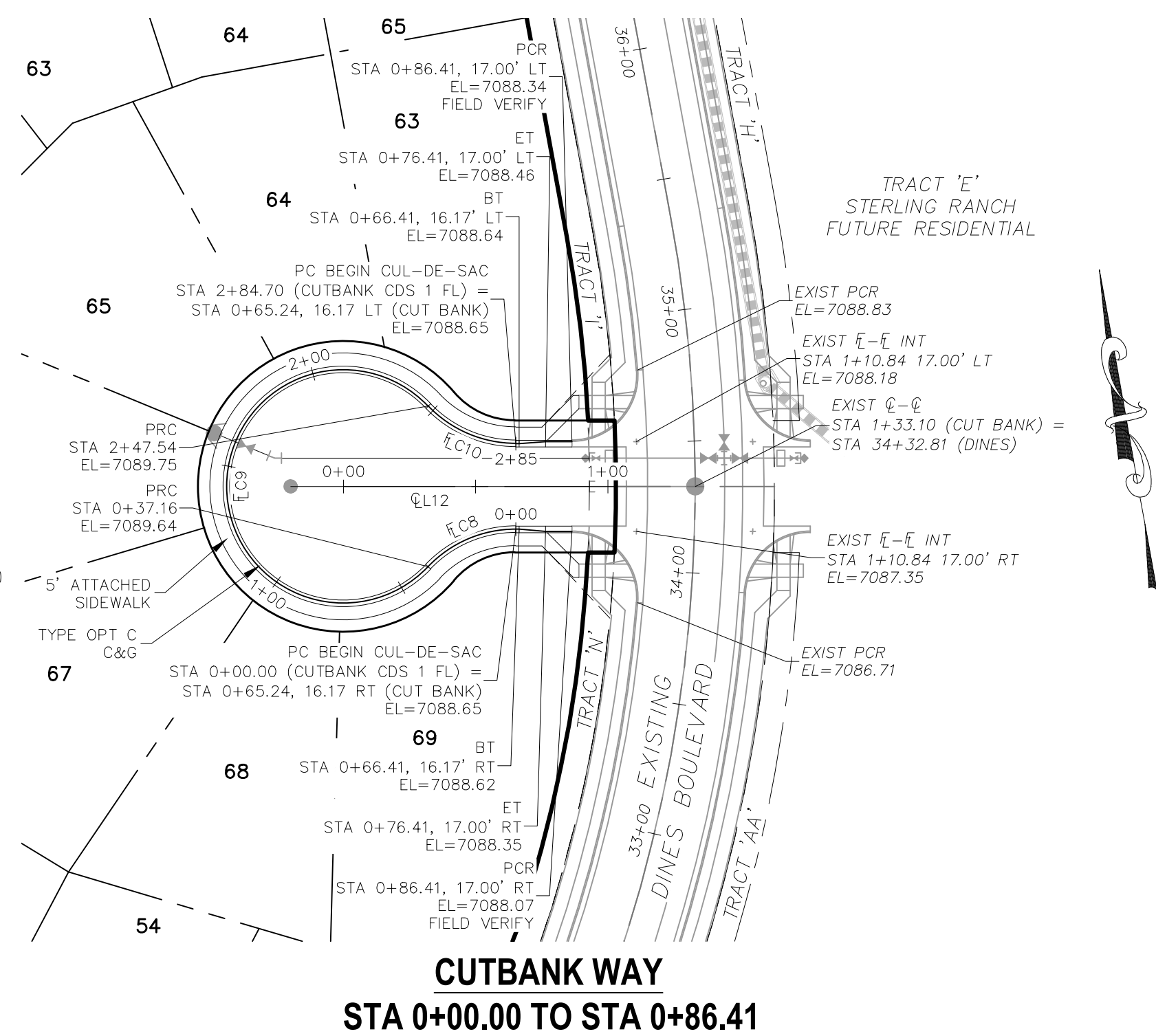
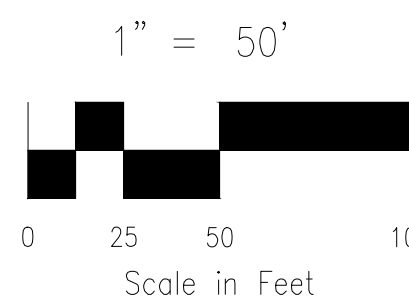
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CBW	CUT BANK WAY
RW	RYEGATE WAY
SC	SCOBY COURT
WD	WHEATLAND DRIVE
DB	DINES BOULEVARD (EX.)
CDS	CUL-DE-SAC
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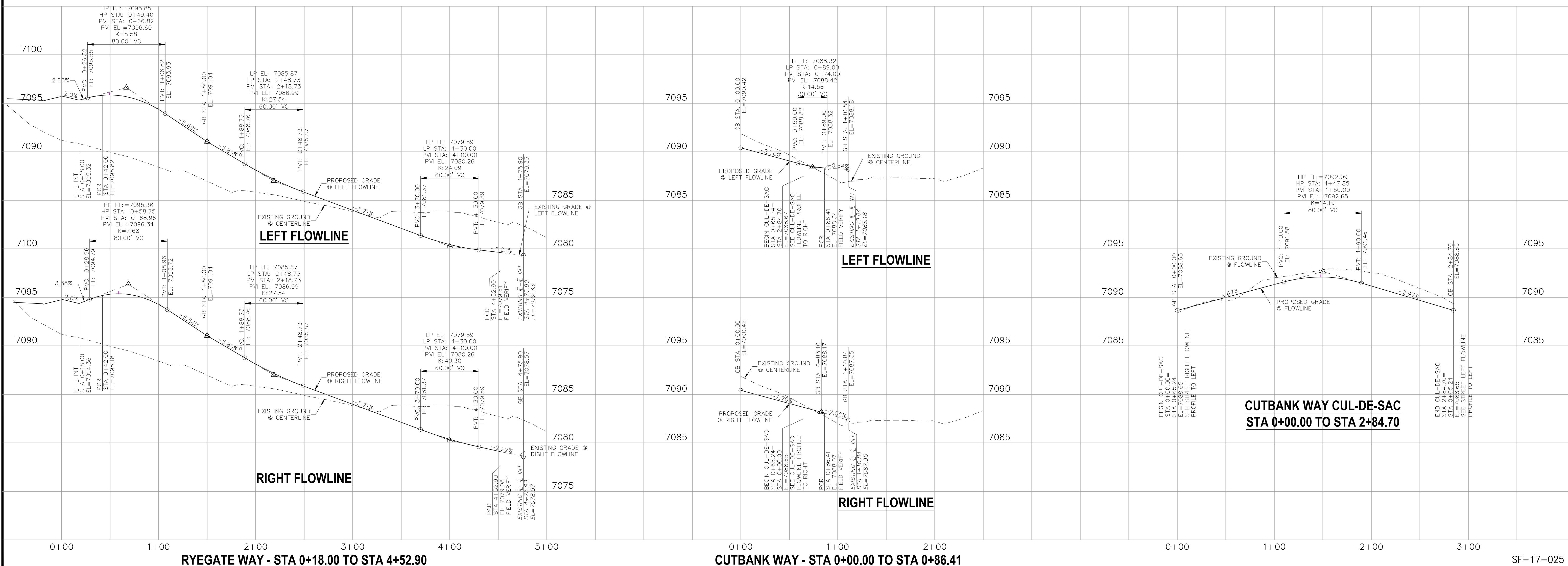
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CDS	CUL-DE-SAC
KN	KNUCKLE



CENTERLINE LINE TABLE		
LINE	LENGTH	DIRECTION
℄L9	133.14'	S51°53'18"E
℄L10	186.37'	S56°29'31"E
℄L11	103.97'	S50°26'12"E
℄L12	133.10'	S79°51'30"E


CENTERLINE CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
CC5	400.00'	32.14'	4°36'13"
CC6	400.00'	42.27'	6°03'19"

CURB FLOWLINE CURVE TABLE			
CURVE	RADIUS	LENGTH	DELTA
℄C8	45.83'	37.16'	46°27'28"
℄C9	44.17'	210.38'	272°54'56"
℄C10	45.83'	37.16'	46°27'28"



PROJECT NO. 09-005		SCALE:		DATE: 10/22/2018	
DESIGNED BY:	JP	HORIZONTAL: 1"=50'		SHEET 6 OF 7	
DRAWN BY:	ELY	VERTICAL: 1"=5'			
CHECKED BY:	GW				

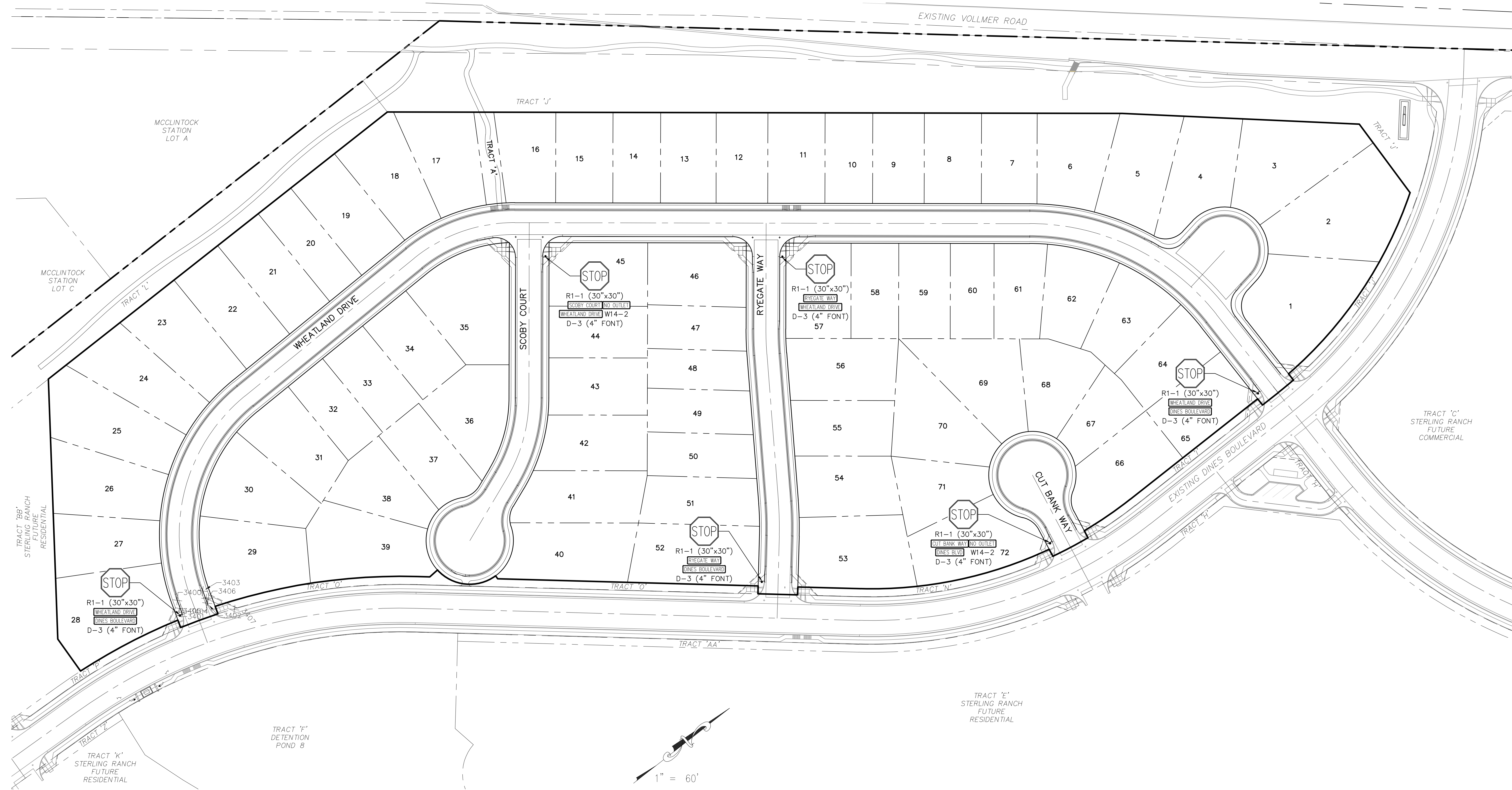
20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485



CIVIL CONSULTANTS, INC.

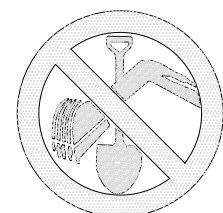
FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.

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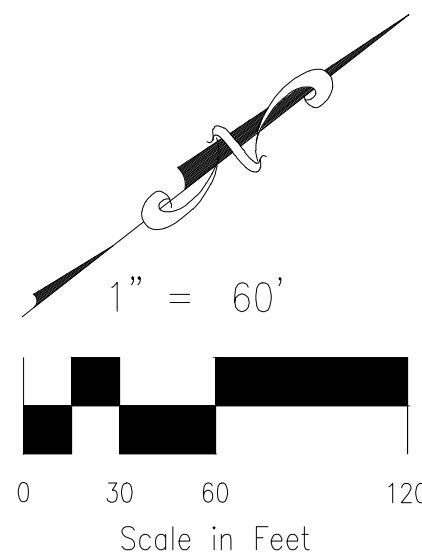


STREET ABBREVIATIONS

CBW CUT BANK WAY
RW RYEGATE WAY
SC SCOOBY COURT
WD WHEATLAND DRIVE
DB DINES BOULEVARD (EX.)



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PROJECT NO. 09-005
DESIGNED BY: JP
DRAWN BY: ELY
CHECKED BY: GW

DATE: 10/22/2018
SCALE:
HORIZONTAL: 1"=50'
VERTICAL: 1"=5'

SHEET 7 OF 7
S07

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.

11/8/18
PROFESSIONAL ENGINEER
VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

NO.	DATE:	BY:	DESCRIPTION:	APPROV. BY:	DATE:

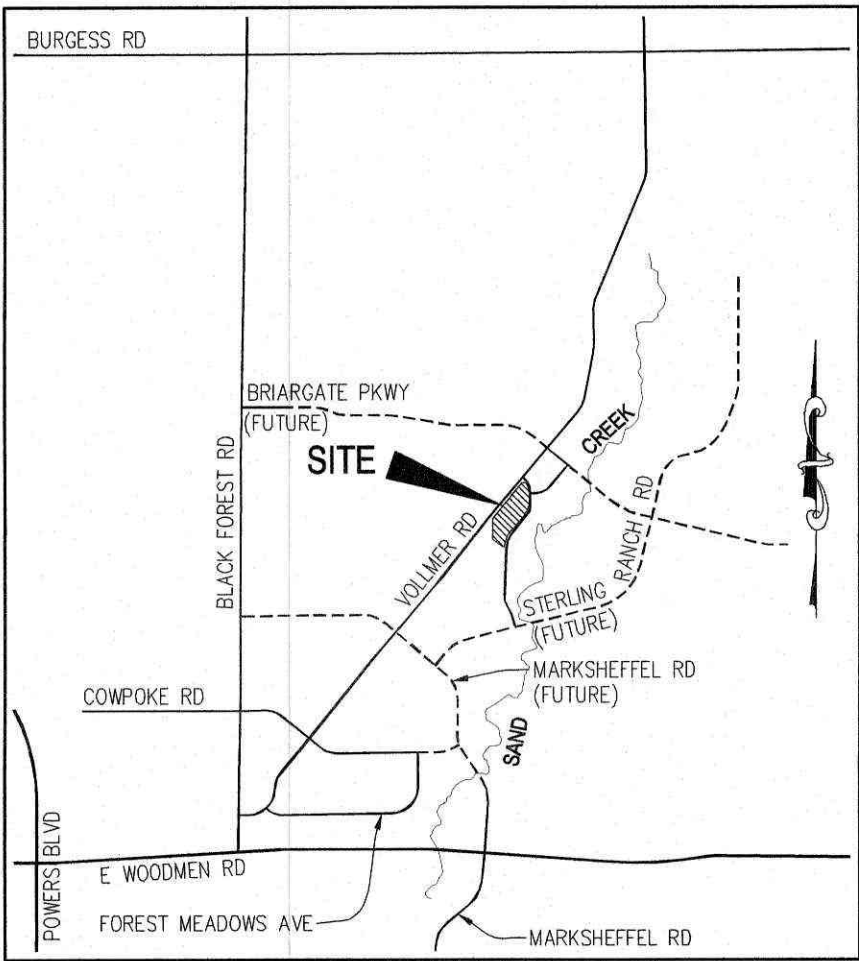
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

SF-17-025

HOMESTEAD AT STERLING RANCH FILING NO. 1
COUNTY OF EL PASO, STATE OF COLORADO
STORM SEWER PLANS

OCTOBER 2018



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

AGENCIES

OWNER/DEVELOPER: SR LAND, LLC
20 BOULDER CRESCENT, SUITE 201
COLORADO SPRINGS, CO 80903
JIM MORLEY (719) 471-1742

CIVIL ENGINEER: M & S CIVIL CONSULTANTS, INC.
20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
VIRGIL A. SANCHEZ P.E. (719) 955-5485

COUNTY ENGINEERING: EL PASO COUNTY DEVELOPMENT SERVICES
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
JEFF RICE, P.E. (719) 520-6300

TRAFFIC ENGINEERING: EL PASO COUNTY PUBLIC SERVICES & TRANS. DEPT.
3275 AKERS DRIVE
COLORADO SPRINGS, CO 80922
JENNIFER IRVINE P.E. (719) 520-6460

WATER RESOURCES: STERLING RANCH METRO DISTRICT ENGINEERS
JDS-HYDRO CONSULTANTS
545 E. PIKES PEAK AVE., SUITE 300
COLORADO SPRINGS, CO 80903
JOHN MCGINN (719) 668-8769

FIRE DISTRICT: BLACK FOREST FIRE PROTECTION DISTRICT
11445 TEACHOUT ROAD
COLORADO SPRINGS, CO 80908
CHIEF BRYAN JACK (719) 495-4300

GAS DEPARTMENT: COLORADO SPRINGS UTILITIES
7710 DURANT DR.
COLORADO SPRINGS, CO 80947
TIM WENDT (719) 668-3556

ELECTRIC DEPARTMENT: MOUNTAIN VIEW ELECTRIC
11140 E. WOODMEN ROAD
FALCON, CO 80831
(719) 495-2283

COMMUNICATIONS: QWEST COMMUNICATIONS
(U.N.C.C. LOCATORS) (800) 922-1987
AT&T (LOCATORS) (719) 635-3674

BENCHMARKS

1. THE TOP OF AN ALUMINUM SURVEYORS CAP, STAMPED "9853", AT THE SOUTHEAST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411416.273
EASTING = 235167.071
ELEVATION = 7023.42
2. THE TOP OF A RED PLASTIC SURVEYORS CAP, ILLEGIBLE, AT THE NORTHWEST BOUNDARY CORNER OF PAWNEE RANCHEROS SUBDIVISION
NORTHING = 410095.404
EASTING = 235052.131
ELEVATION = 7000.40
3. THE TOP OF A RED PLASTIC SURVEYORS CAP, STAMPED "38141", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411399.962
EASTING = 233849.817
ELEVATION = 7030.82



APPROVALS:

ENGINEER'S STATEMENT:

DETAILED DRAINAGE CONSTRUCTION PLANS AND SPECIFICATIONS ENGINEER'S STATEMENT:
THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID DETAILED PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED DRAINAGE PLANS AND SPECIFICATIONS, AND SAID DETAILED PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE MASTER PLAN OF THE DRAINAGE BASIN. SAID DETAILED DRAINAGE PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR DRAINAGE FACILITY(S) IS DESIGNED. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS, OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED IMPROVEMENT PLANS AND SPECIFICATIONS.

VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

DATE

OWNER/DEVELOPER STATEMENT:

THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE DRAINAGE REPORT AND PLAN AND THIS SET OF CONSTRUCTION DOCUMENTS.
THE OWNER WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

JAMES F. MORLEY
SR LAND, LLC
JAMES F. MORLEY

11/15/2018
DATE

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

Approved
by Elizabeth Nigam
El Paso County Planning and Community Development
on behalf of Jennifer Irvine, County Engineer, EGM Administrator
11/21/2018 2:07:27 PM

JENNIFER IRVINE, P.E.
COUNTY ENGINEER / EGM ADMINISTRATOR

DATE

STERLING RANCH METROPOLITAN DISTRICT:

THESE DOCUMENTS HAVE BEEN REVIEWED AND APPROVED FOR STORM DRAIN AND ASSOCIATED UTILITY SERVICE CONSTRUCTION.

FOR AND ON BEHALF OF THE STERLING RANCH METRO. DISTRICT

DATE

SHEET INDEX

- SHEET 1 TITLE SHEET
SHEET 2 STORM SEWER NOTES & DETAILS
SHEET 3 STORM SEWER NOTES & DETAILS
SHEET 4 KEY MAP
SHEET 5 PLAN & PROFILE - SCOBY COURT INLET & LATERAL TO EXISTING 18" STORM SEWER
SHEET 6 PLAN & PROFILE - WHEATLAND DRIVE INLETS & LATERAL TO EXISTING 36" STORM SEWER

HOMESTEAD AT STERLING RANCH FILING NO. 1

STORM SEWER PLANS

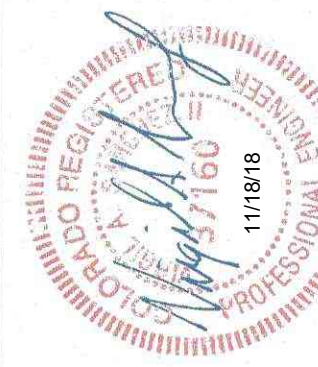
PROJECT NO. 09-005
SCALE: HORIZONTAL: N/A
DATE: 04/11/2018
DESIGNED BY: DLM
DRAWN BY: ELY
CHECKED BY: VAS
SHEET 1 OF 6
ST01

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.553.5485



VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.



REVISIONS: NO. DATE BY DESCRIPTION

NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR
OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER
OF THESE PLANS.

CAUTION

1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.
2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD LOCATION OF ALL EXISTING UTILITIES, WHETHER SHOWN ON THE PLANS OR NOT, BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE AT ALL TIME INCLUDING THE FOLLOWING:
 - 3.1 EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM)
 - 3.2 CITY OF COLORADO SPRINGS/EL PASO COUNTY ENGINEERING CRITERIA MANUAL VOLUMES 1 AND 2.
 - 3.3 COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARDS SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.
 - 3.4 CDOT M&S STANDARDS.
4. IT IS THE DESIGN ENGINEERS RESPONSIBILITY TO ACCURACY SHOW EXISTING CONDITION BOTH ONSITE AND OFFSITE ON THE CONSTRUCTION PLANS. ANY MODIFICATION NECESSARY DUE TO CONFLICT OMISSIONS OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPERS RESPONSIBILITY TO RECTIFY.
5. IT IS THE CONTRACTORS RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORM WATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, US ARMY CORPS OF ENGINEER ISSUED 401 AND/OR 404 PERMITS AND COUNTY AND STATE FUGITIVE DUST PERMITS.
6. ANY TEMPORARY SIGNAGE AND STRIPING SHALL COMPLY WITH EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS AND MUTCD CRITERIA.
7. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT PERMITS.
8. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFFSITE DISTURBANCE GRADING, OR CONSTRUCTION.

- ALL STATIONING IS ALONG STORM SEWER CENTERLINE UNLESS OTHERWISE INDICATED. ALL ELEVATIONS ARE INVERT UNLESS OTHERWISE INDICATED.
- ALL STORM SEWER BENDS AND WYES SHOWN ON THE PLAN SHALL BE PREFABRICATED.
- HORIZONTAL AND VERTICAL BENDS ARE INDICATED ON THE PLANS.
- JOINTS SHALL BE IN ACCORDANCE WITH ASTM C443 "STANDARD SPECIFICATIONS FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKET." IN NO CASE SHALL THE MAXIMUM JOINT OPENING FOR STRAIGHT ALIGNMENT EXCEED 1 INCH OR ONE AND ONE-HALF INCH ON CURVED ALIGNMENT.
- INLET DIMENSIONS SHOWN ON PLANS REFER TO DISTANCES FROM INSIDE FACES OF BOX BETWEEN THE WIDTHS AND LENGTHS.
- MANHOLE WIDTHS AND LENGTHS SHOWN ON PLAN REFER TO THE EXTERIOR WALL DIMENSIONS.
- ALL STORM SEWER SHALL BE A MINIMUM OF CLASS III REINFORCED CONCRETE PIPE. SPECIFIC SEGMENTS OF STORM SEWER SHALL BE REQUIRED TO BE CONSTRUCTED OF A MINIMUM OF 5000 PSI CONCRETE DUE TO EXCESSIVE VELOCITIES. REFER TO ADDITIONAL NOTES WITHIN CONSTRUCTION PLANS.
- SINCE ALL PIPE ENTRIES INTO THE BASE ARE VARIABLE, THE DIMENSIONS SHOWN ARE TYPICAL. ACTUAL DIMENSIONS AND QUANTITIES FOR CONCRETE AND REINFORCEMENT SHALL BE AS REQUIRED IN THE WORK.
- THE MH RING (FRAME) SHALL BE SET IN A BED OF GROUT. THE FRAME SHALL BE SURROUNDED WITH A GROUT IN UNPAVED AREA, OR A CONCRETE COLLAR IN PAVED AREA.
- PRECAST MANHOLES AND REINFORCEMENT SHALL CONFORM TO ASTM C 478 (AASHTO M 199).
- CAST IN PLACE MANHOLES SHALL BE CLASS B CONCRETE.
- STEPS SHALL BE REQUIRED WHEN THE MANHOLE DEPTH EXCEEDS 3'-6" AND SHALL BE IN ACCORDANCE WITH AASHTO M 199.
- ALL REINFORCING STEEL SHALL HAVE A MINIMUM YIELD STRENGTH OF 60,000 PSI. VERTICAL STEEL SHALL BE PLACED AT $\frac{1}{4}$ OF WALL. ALL BARS SHALL HAVE A 2" MINIMUM CLEARANCE.
- FLOW CHANNELS AND INVERTS SHALL BE FORMED BY SHAPING WITH CLASS B CONCRETE OR APPROVED GROUT.
- STUB-OUTS SHALL EXTEND 4 FT MINIMUM BEYOND OUTSIDE WALL SURFACE OF MANHOLE AND BE SATISFACTORILY PLUGGED.
- CHECK WITH THE LOCAL GOVERNMENT AUTHORITY FOR ANY ADDITIONAL STORM SEWER SPECIFICATIONS, DETAILS, OR REGULATIONS.
- THE SLOPE OF THE MANHOLE COVER SHALL MATCH THE ROADWAY PROFILE AND CROSS SLOPE.
- THE CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL PREFABRICATED STRUCTURES TO THE ENGINEER FOR REVIEW PRIOR TO INSTALLATION.

1. RIPRAP CHANNEL: THE SIZE OF RIPRAP AND BOULDERS SHALL BE AS INDICATED ON THE PLANS. BOULDERS FOR GROUTED BOULDER FOREBAY SHALL MEET THE SAME REQUIREMENTS FOR DURIBILITY AND SPECIFIC GRAVITY AS RIPRAP. BOULDERS USED IN GROUTED BOULDER FOREBAY SHALL BE CLEAN AND FREE OF SOIL TO PROVIDE A PROPER BOND WITH THE GROUT.



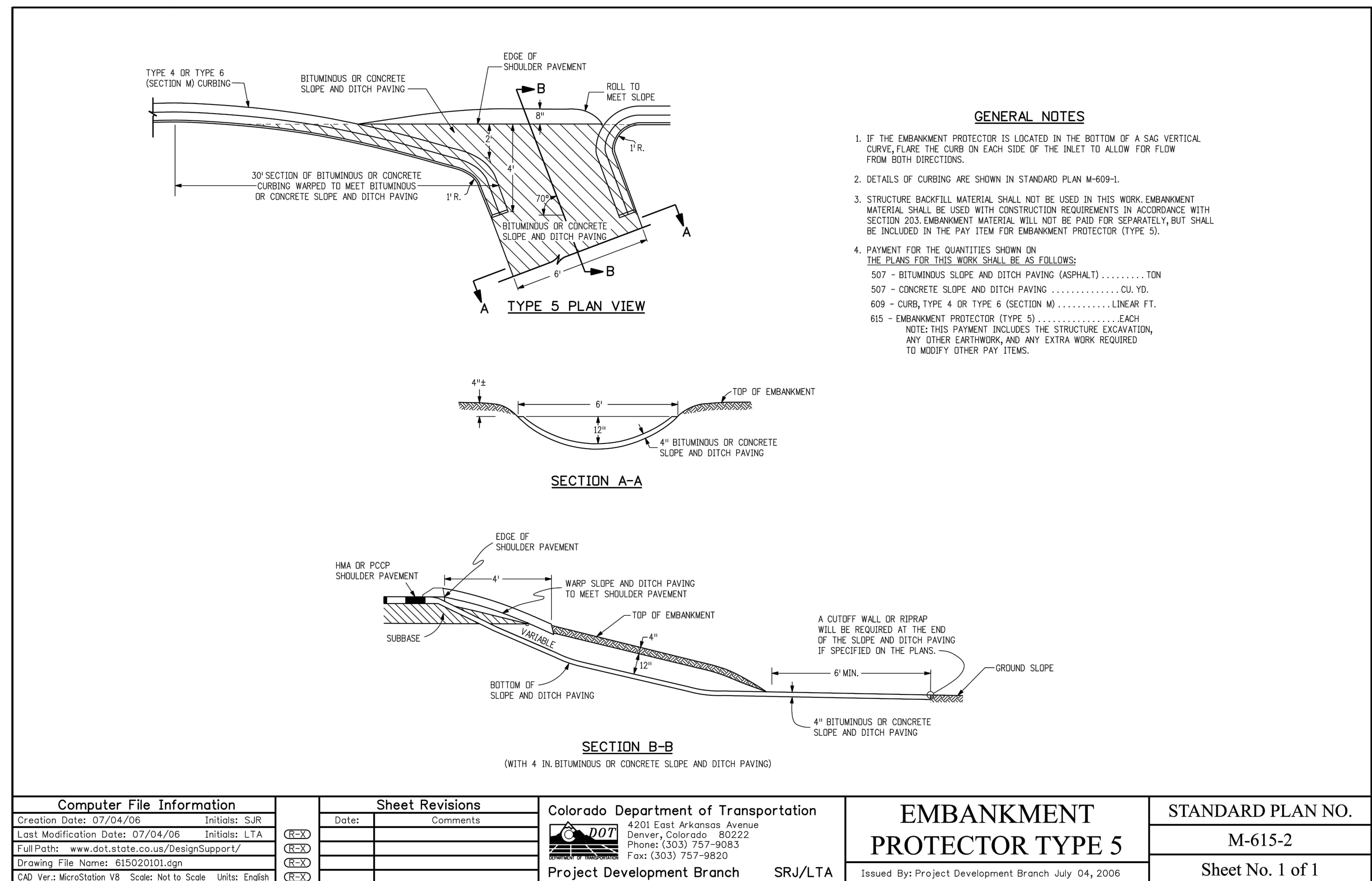
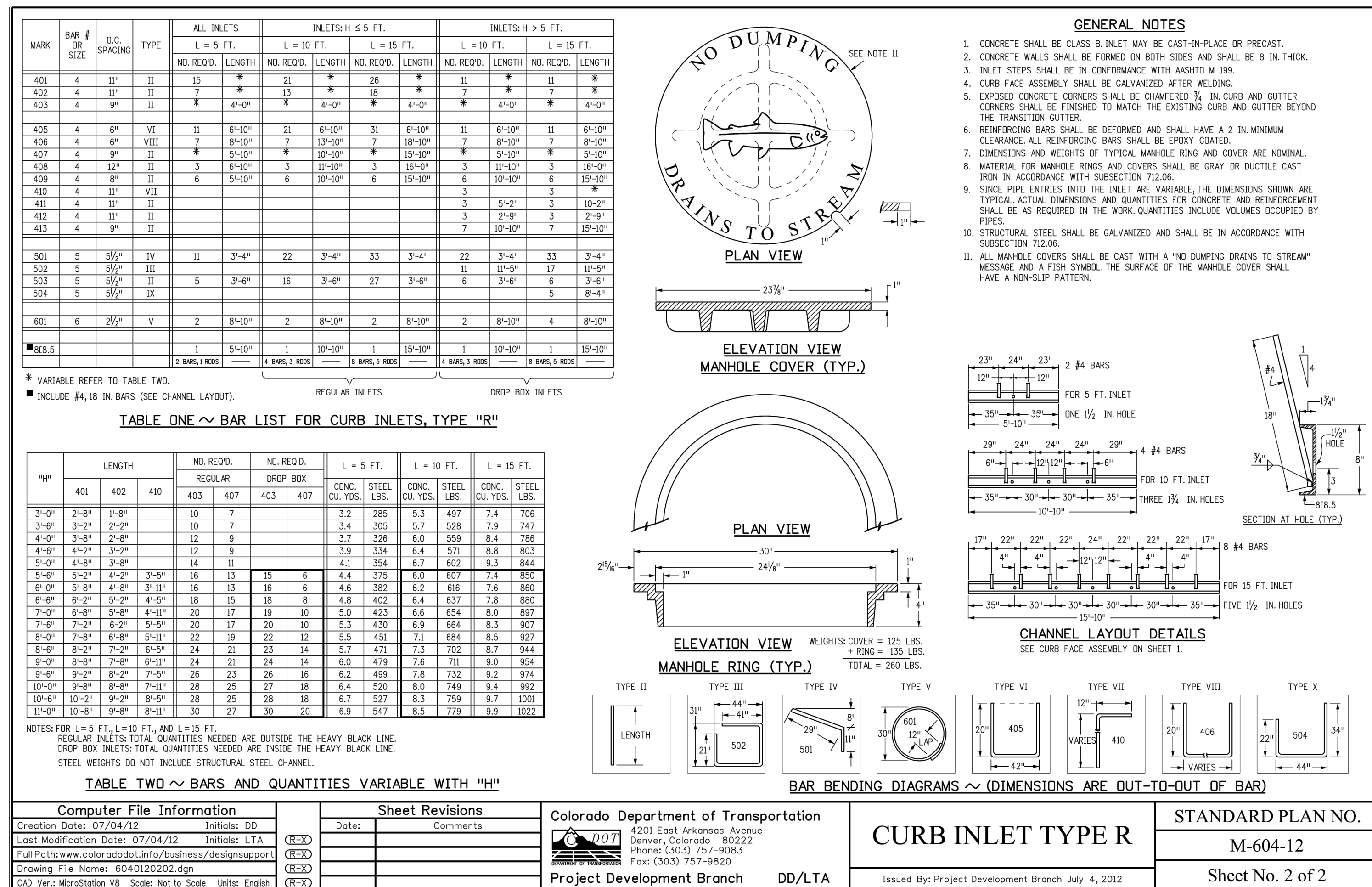
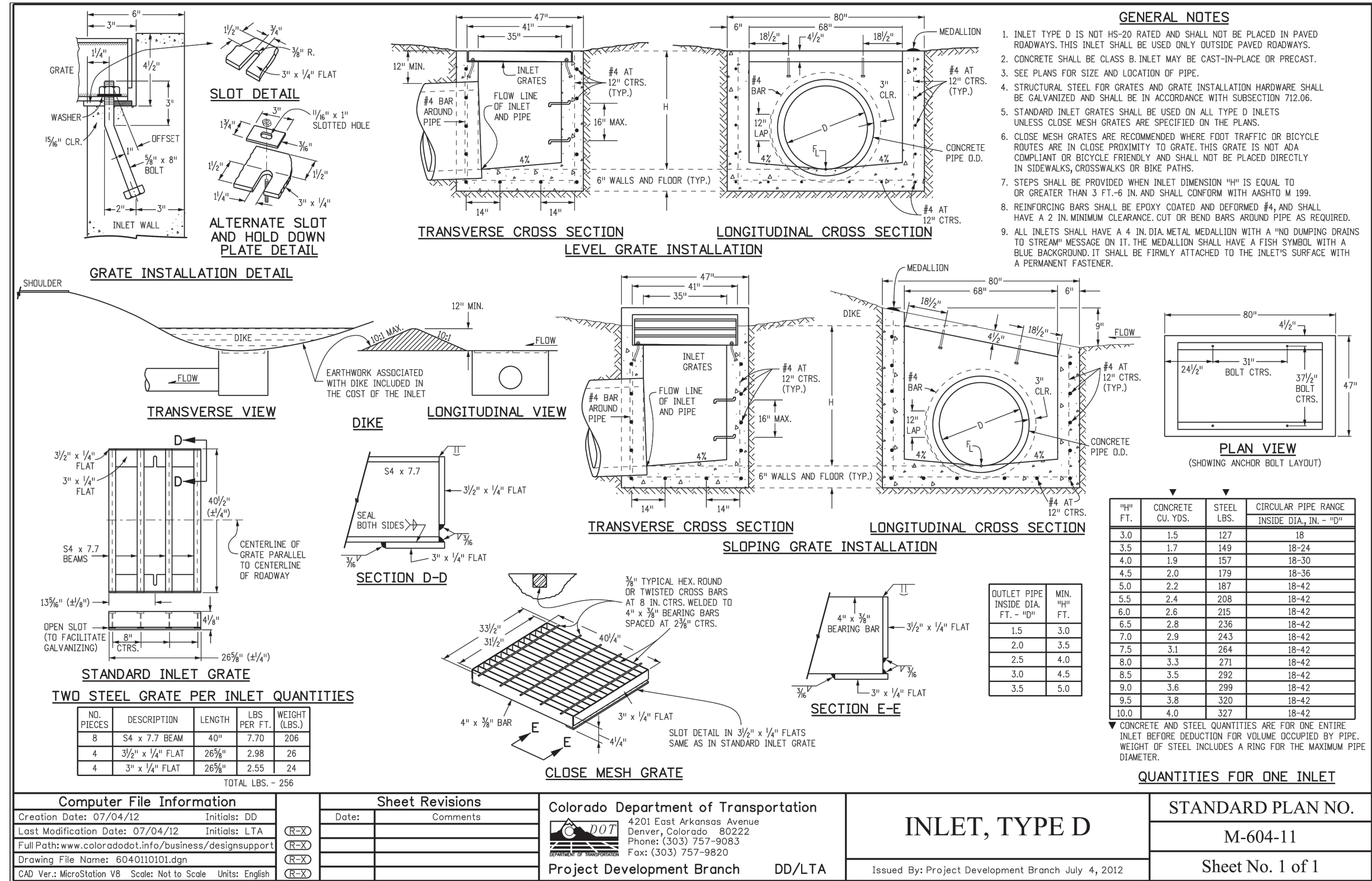
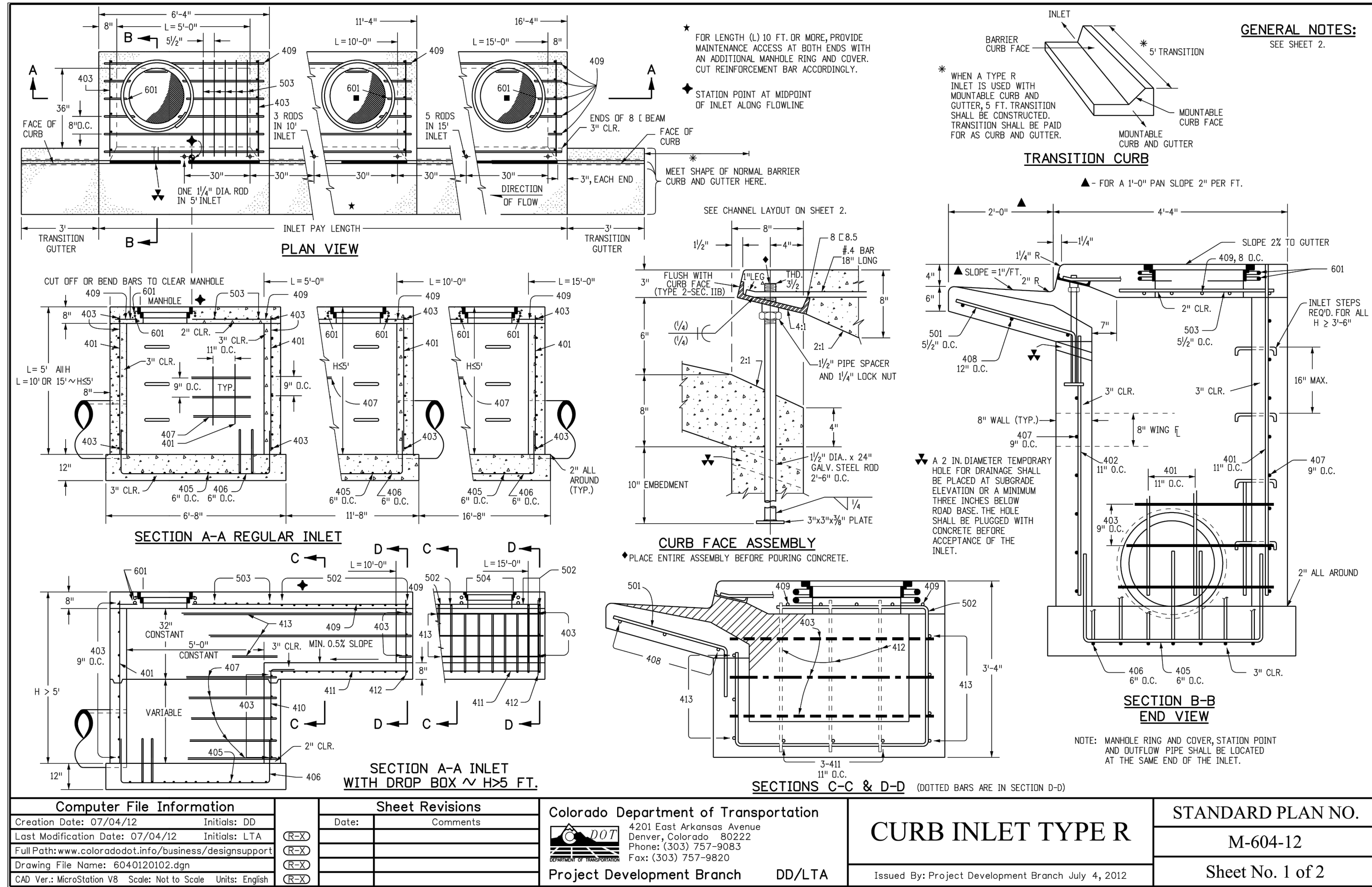
1. THE SOIL MATERIAL SHALL BE NATIVE OR TOPSOIL AND MIXED WITH SIXTY FIVE PERCENT (65%) RIPRAP AND THIRTY FIVE PERCENT (35%) SOIL BY VOLUME.
2. SOIL RIPRAP SHALL CONSIST OF A UNIFORM MIXTURE OF SOIL AND RIPRAP WITHOUT VOIDS.
3. CONTRACTOR SHALL COOPERATE WITH ENGINEER IN OBTAINING AND PROVIDED SAMPLES OF ALL SPECIFIED MATERIALS.
4. CONTRACTOR SHALL SUBMIT CERTIFIED LABORATORY TEST CERTIFICATES FOR ALL ITEMS REQUIRED FOR SOIL RIPRAP.
5. RIPRAP USED SHALL BE THE TYPE DESIGNATED ON THE DRAWINGS AND SHALL CONFORM TO TABLE SHOWN TO THE RIGHT.
6. THE RIPRAP DESIGNATION AND TOTAL THICKNESS OF RIPRAP SHALL BE AS SHOWN ON THE DRAWINGS. THE MAXIMUM STONE SIZE SHALL NOT LARGER THAN THE THICKNESS OF THE RIPRAP.
7. NEITHER WIDTH NOR THICKNESS OF A SINGLE STONE OF RIPRAP SHALL BE LESS THAN ONE-THIRD ($\frac{1}{3}$) OF ITS LENGTH.
8. THE SPECIFIC GRAVITY OF THE RIPRAP SHALL BE TWO AND ONE-HALF (2.5) OR GREATER.
9. MINIMUM DENSITY FOR ACCEPTABLE RIPRAP SHALL BE ONE HUNDRED AND SIXTY FIVE (165) POUNDS PER CUBIC FOOT.
10. RIPRAP SPECIFIC GRAVITY SHALL BE ACCORDING TO THE BULK-SATURATED, SURFACE-DRY BASIS, IN ACCORDANCE WITH AASHTO T85.
11. BROKEN CONCRETE OR ASPHALT PAVEMENT SHALL NOT BE ACCEPTABLE FOR USE IN THE WORK.
12. ROUNDED RIPRAP (RIVER ROCK) IS NOT ACCEPTABLE, UNLESS SPECIFICALLY DESIGNATED ON THE DRAWINGS.

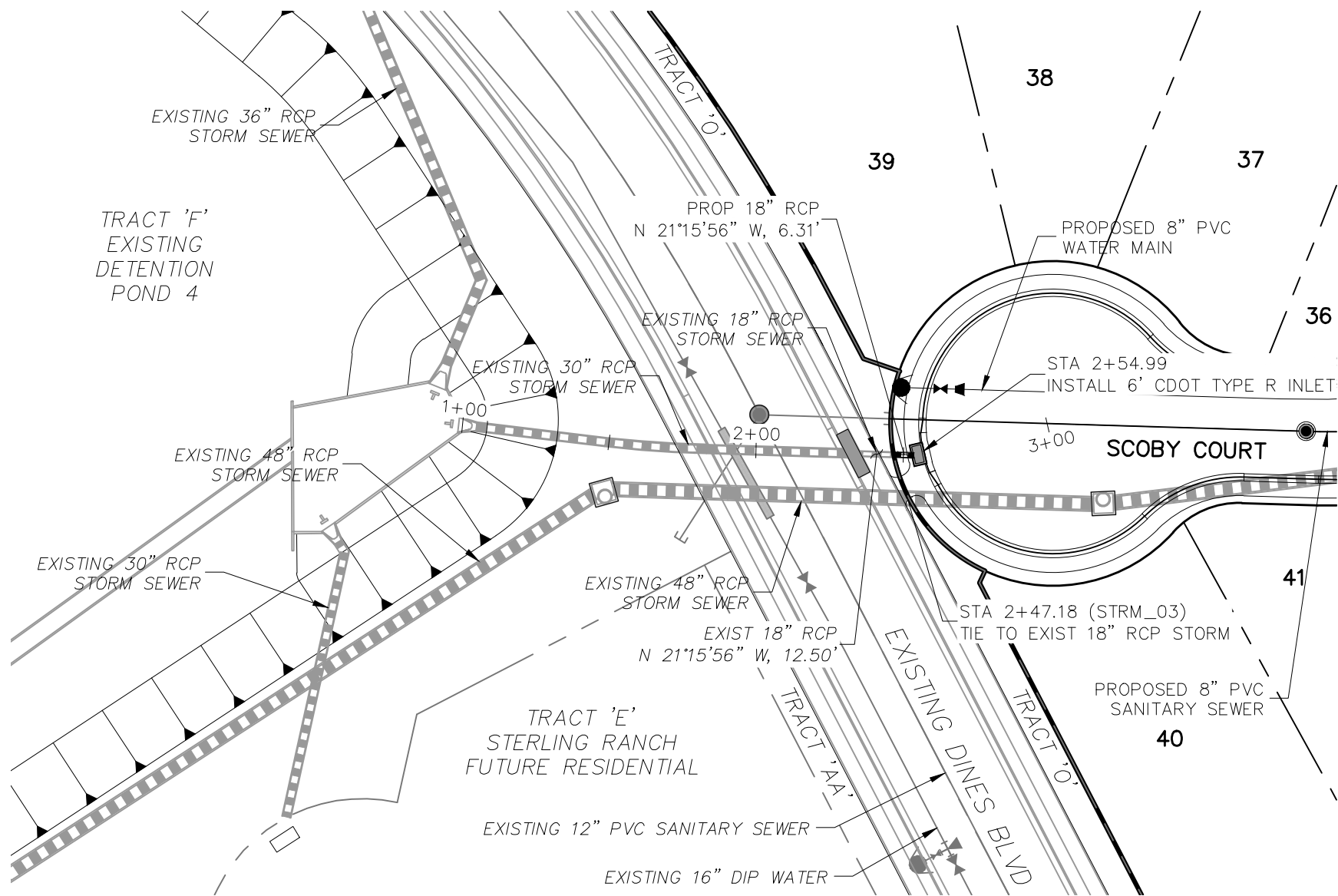
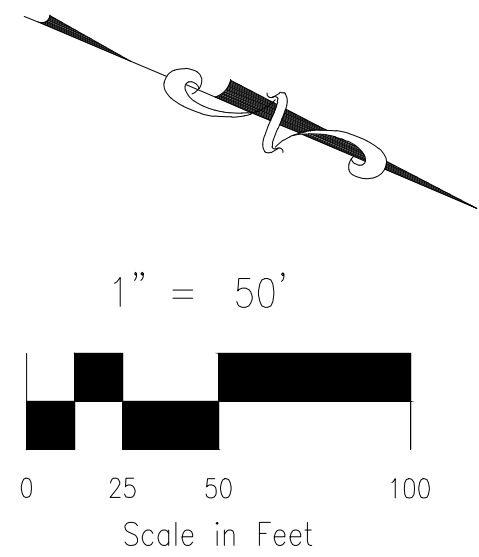
1. ALL CONSTRUCTION INVOLVING THE PLACEMENT OF STRUCTURAL CONCRETE SHALL BE COMPLETED IN ACCORDANCE WITH STANDARD SPECIFICATIONS, AND AS SUPPLEMENTED BY THE COLORADO DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADWAY AND BRIDGE CONSTRUCTION.
2. STEEL REINFORCING SHALL BE GRADE 60 FOR ALL REINFORCING STEEL GREATER THAN #4. SPlicing, LAP SPlicing SHALL BE MINIMUM IN THE FOLLOWING TABLE UNLESS OTHERWISE SPECIFIED:

BAR SIZE	#4	#5	#6	#7	#8
SPlice LENGTH	1'-9"	2'-2"	2'-7"	3'-4"	4'-3"

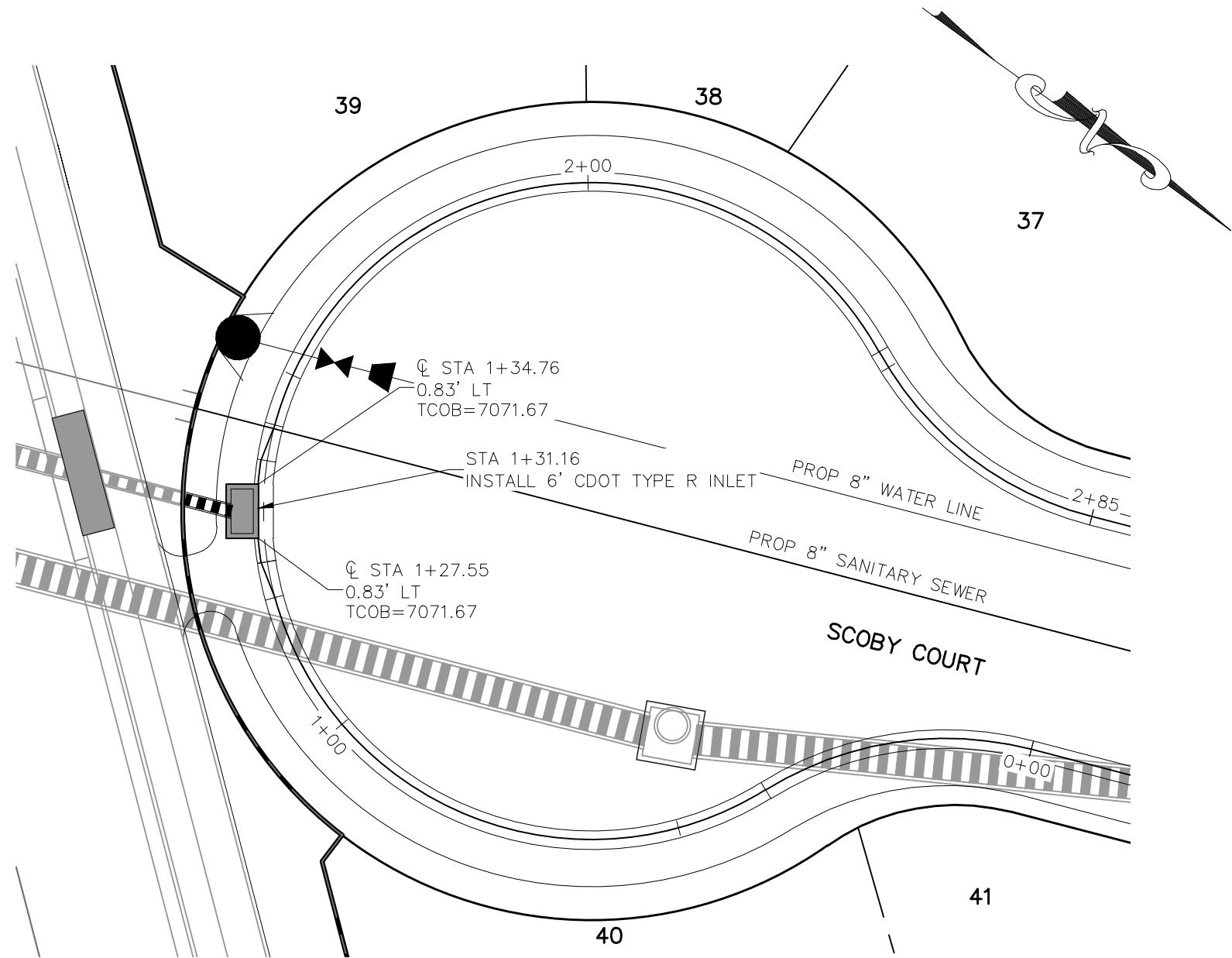
ALL REINFORCING SHALL HAVE A 2-INCH MINIMUM COVER UNLESS OTHERWISE SPECIFIED. ALL REINFORCED STEEL TO BE EPOXY COATED.
3. CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f_c) OF 4,000 PSI AT 28 DAYS. ALL CONCRETE PLACED AGAINST SOIL SHALL BE TYPE II PORTLAND CEMENT. ALL EXPOSED CORNERS SHALL BE FORMED WITH A 3/4" CHAMFER UNLESS OTHERWISE SPECIFIED.
4. EXPANSION JOINT MATERIAL SHALL MEET AASHTO SPECIFICATION M-213.
5. BACKFILL AGAINST STRUCTURES SHALL NOT COMMENCE UNTIL ALL SUPPORTING DIAPHRAGMS ARE IN PLACE AND CONCRETE HAS OBTAINED ITS FULL SEVEN DAY STRENGTH. BACKFILL SHALL BE PLACED EQUALLY ON EACH SIDE OF RETAINING WALL STRUCTURES AND CUTOFF WALLS UNTIL THE FINAL GRADE IS REACHED.
6. FOOTING EXCAVATIONS SHALL BE EXAMINED BY THE GEOTECHNICAL ENGINEER WITH A 24-HOUR MINIMUM NOTIFICATION FOR SOIL AND/OR CONCRETE TESTING. PLACEMENT OF CONCRETE IN THE ABSENCE OF TESTING SHALL BE COMPLETED AT THE SOLE RISK OF THE CONTRACTOR.
7. PRIOR TO THE PLACEMENT OF CONCRETE IN AREAS WHERE SOIL IS PRESENT, THE SOIL SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 6-INCHES. THE MOISTURE CONTENT SHALL BE ADJUSTED TO WITHIN PLUS OR MINUS 2 PERCENT OF THE OPTIMUM MOISTURE CONTENT AND RECOMPACTED TO AT LEAST 95 PERCENT RELATIVE COMPACTION (AASHTO-T-180).

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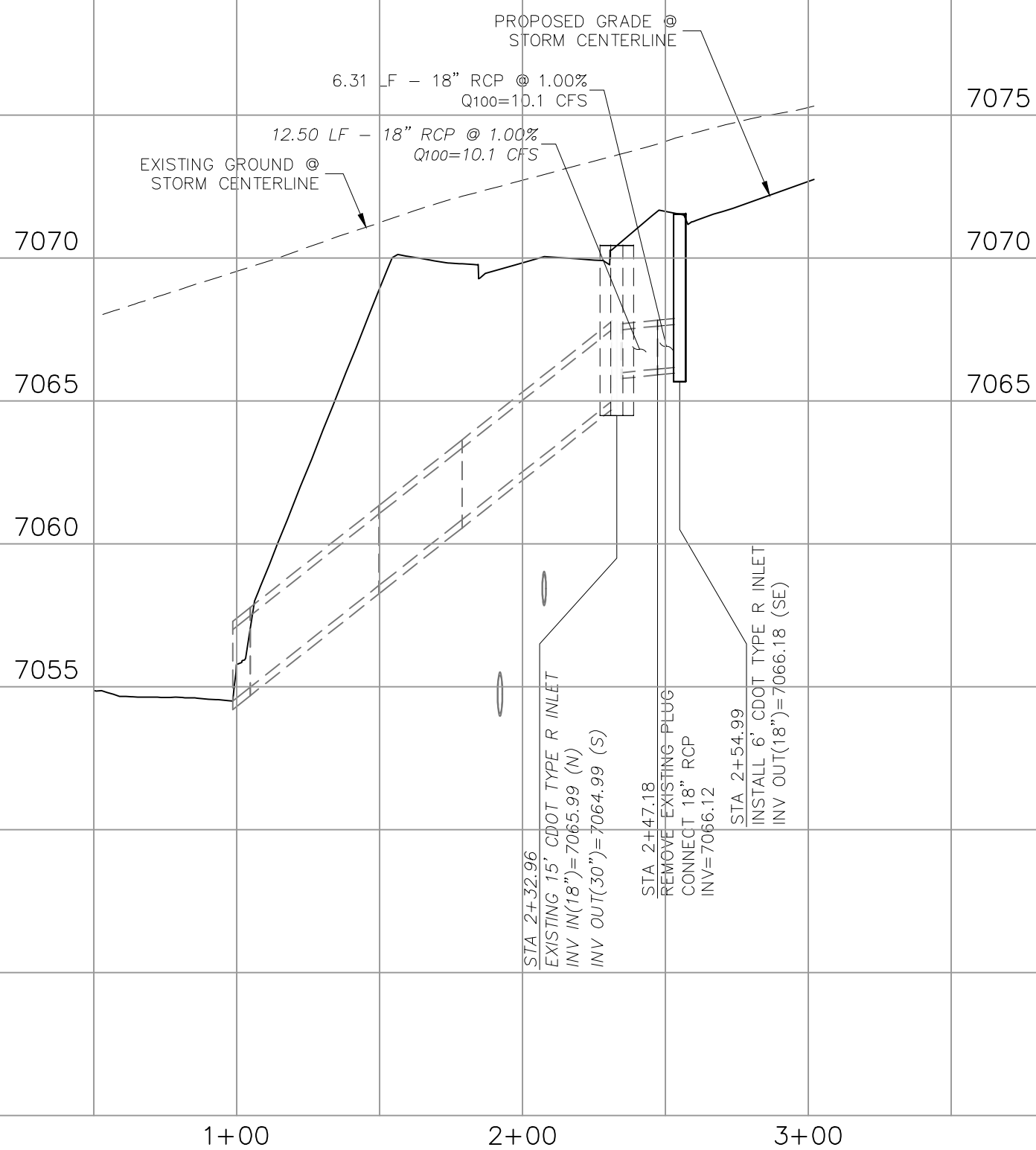


STORM 3 EXTENSION
STA 2+47.18 TO STA 2+54.99



SCOBY COURT CUL-DE-SAC
INLET DETAILS
SCALE: 1"=20'

NOTE: SEE STERLING RANCH FILING X STREET
IMPROVEMENT PLANS FOR CURB AND GUTTER
TRANSITION TO INLET INFORMATION.



STORM 3 EXTENSION
STA 2+47.18 TO STA 2+54.99



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& MARKING
GAS,
ELECTRIC,
WATER &
TELEPHONE
LINES

FOR BURIED UTILITY INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

PROJECT NO. 09-005

DESIGNED BY: DLM

DRAWN BY: ELY

CHECKED BY: WAS

SCALE:

HORIZONTAL:
1"=50'

VERTICAL:
1"=5'

DATE: 04/11/2018

SHEET 5 OF 6

ST05

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON
BEHALF OF
M&S CIVIL
CONSULTANTS,
INC.

11/18/08

REVISIONS:

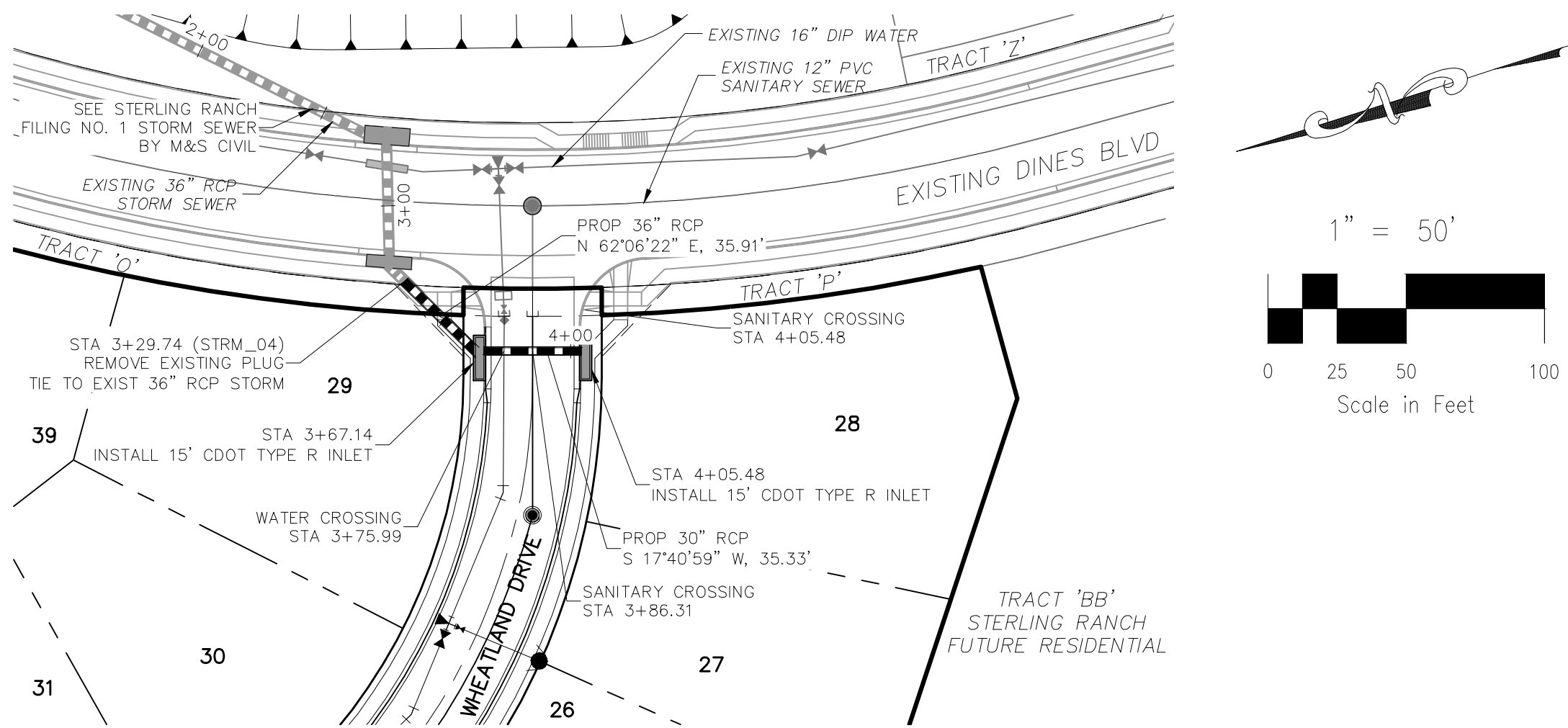
NO.	DATE:	BY:	DESCRIPTION:	APPROV. BY:	DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR
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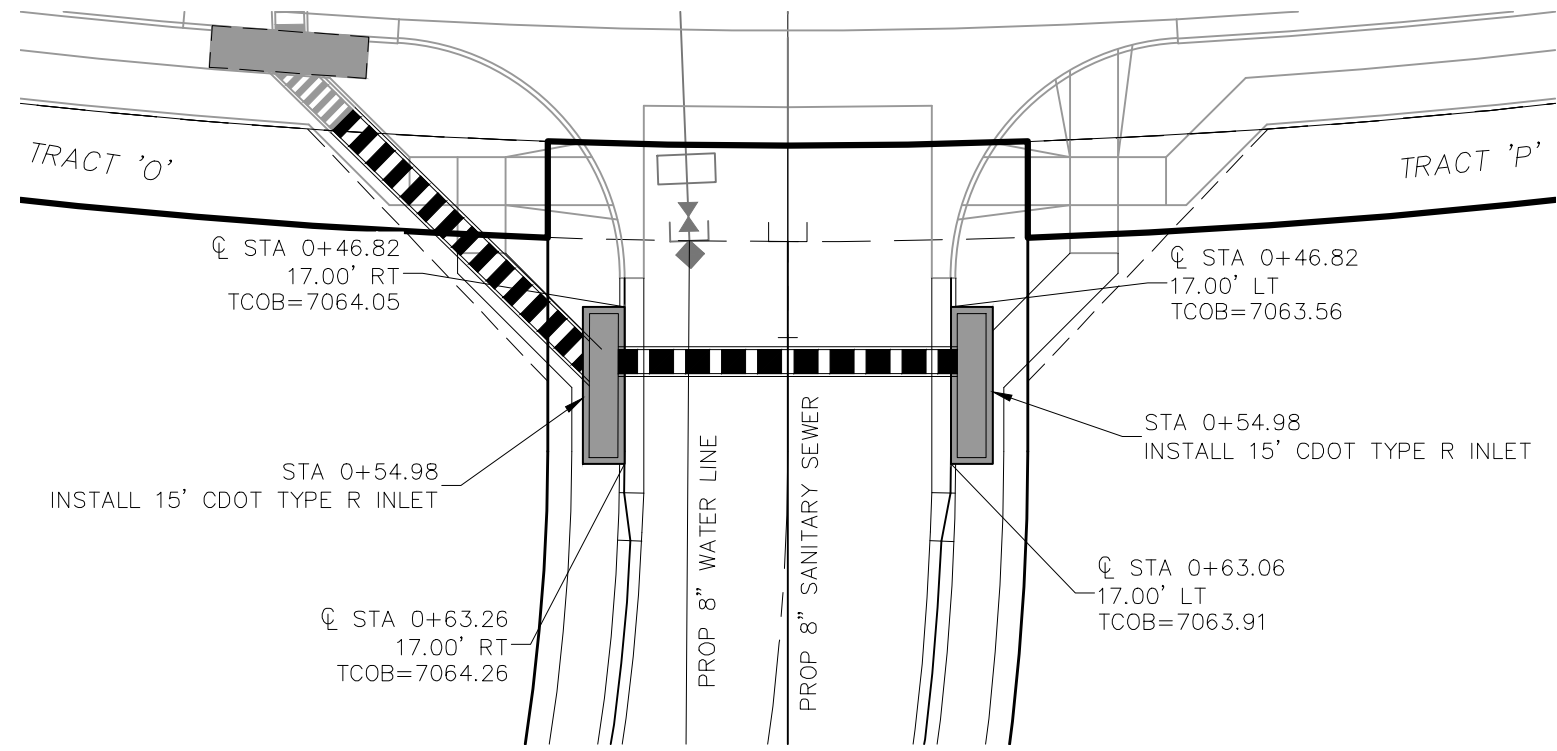
CAUTION

HOMESTEAD AT STERLING RANCH FILING NO. 1

STORM SEWER PLANS

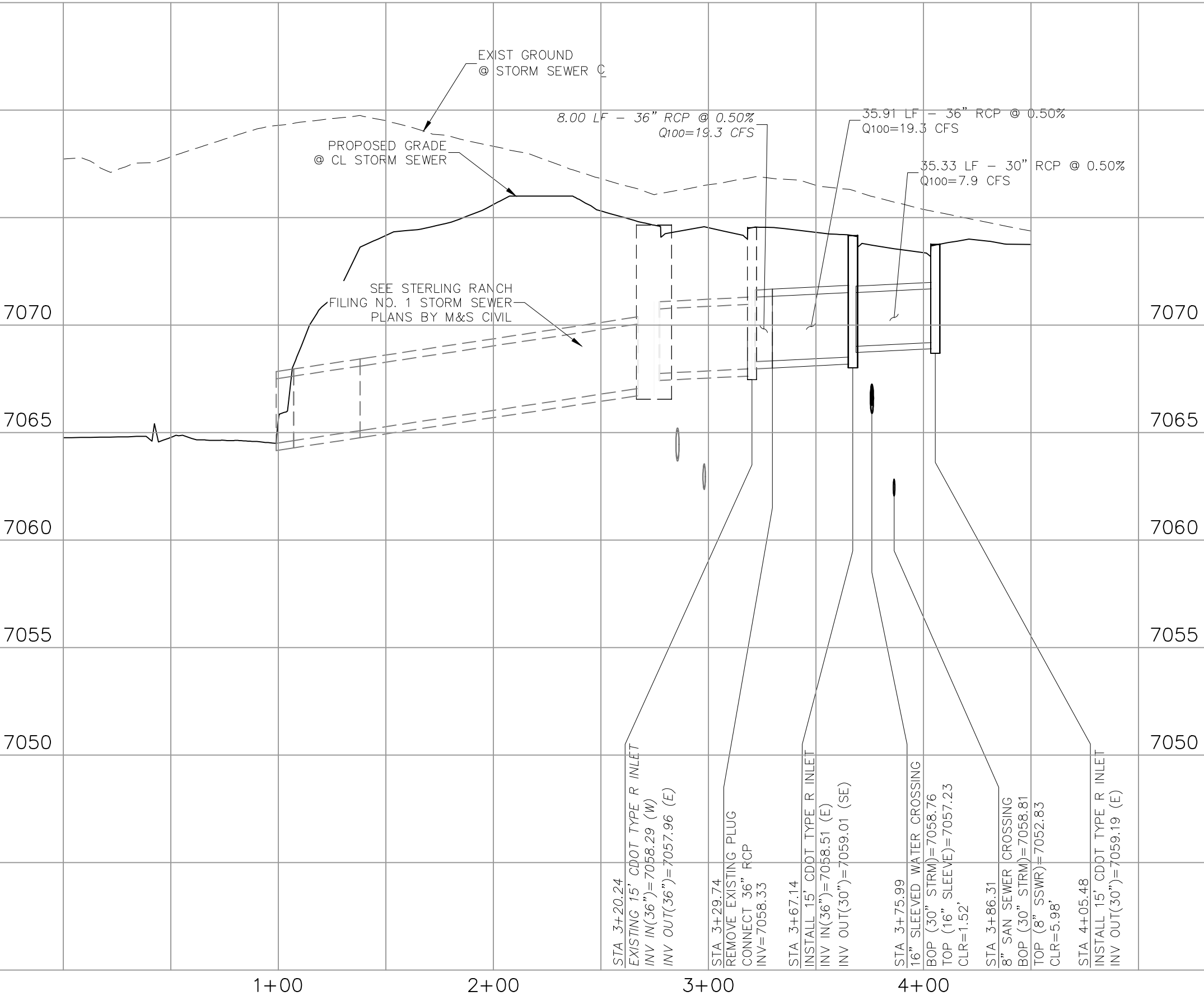


STORM 4 EXTENSION
STA 3+29.74 TO 4+05.48



SOUTH WHEATLAND DRIVE INLETS
INLET DETAILS
SCALE: 1"=20'

NOTE: SEE STERLING RANCH FILING X STREET IMPROVEMENT PLANS FOR CURB AND GUTTER TRANSITION TO INLET INFORMATION.



STORM 4 EXTENSION
STA 3+29.74 TO 4+05.48



HOMESTEAD AT STERLING RANCH FILING NO. 1		STORM SEWER PLANS		PROJECT NO. 09-005	DATE: 04/11/2018	SCALE: HORIZONTAL: 1"=50' VERTICAL: 1"=5'	DESIGNED BY: DLM DRAWN BY: ELY CHECKED BY: VAS	SHEET 6 OF 6	ST06
20 BOULDER CRESCENT SUITE 110 COLORADO SPRINGS, CO 80903 PHONE: 719.555.5485									
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.									
REVISIONS:									
NO.	DATE:	BY:	DESCRIPTION:	APPROVED BY:	DATE:				
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CAUTION									

GENERAL NOTES

- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.
- ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED NOT VALID.
- ALL STATIONING IS CENTER LINE UNLESS OTHERWISE NOTED. ALL ELEVATIONS ARE CENTER LINE UNLESS OTHERWISE NOTED.
- ALL MATERIALS AND WORKMANSHIP SHALL BE SUBJECT TO INSPECTION BY THE DISTRICT. THE DISTRICT RESERVES THE RIGHT TO ACCEPT OR REJECT ANY SUCH MATERIALS AND WORKMANSHIP THAT DOES NOT CONFORM TO ITS STANDARDS AND SPECIFICATIONS.
- ALL OVER--LOT GRADING MUST BE COMPLETED TO WITHIN ONE (1) FOOT OF FINAL GRADE PRIOR TO INSTALLATION OF WATER AND WASTEWATER INFRASTRUCTURE.
- ALL WATER AND SEWER SERVICE LOCATIONS SHALL BE CLEARLY MARKED ON EITHER THE CURB HEAD OR THE FACE OF THE CURB, WITH AN "S" FOR SEWER AND A "W" FOR WATER.
- DUCTILE IRON PIPES, INCLUDING FITTINGS, VALVES AND FIRE HYDRANTS, SHALL BE WRAPPED WITH POLYETHYLENE TUBING, DOUBLE BONDED AT EACH JOINT AND ELECTRICALLY ISOLATED. BONDING AND ANODE CONNECTIONS SHALL BE THOROUGHLY COATED WITH BITUMINOUS COATINGS.
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- COMPACTION TESTS SHALL BE 95% STANDARD PROCTOR AS DETERMINED BY ASTM D698, UNLESS OTHERWISE APPROVED BY THE DISTRICT OR HIGHER STANDARD AS IMPOSED BY ANOTHER AGENCIES HAVING RIGHT-OF-WAY JURISDICTION. THIS SHALL INCLUDE ALL VALVES, FIRE HYDRANT RUNS, WATER & SEWER SERVICE LINES AND MANHOLES. ALL REPORTS SHALL BE SUBMITTED TO THE DISTRICT FOR REVIEW AND APPROVAL.
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- THE CONTRACTOR SHALL NOTIFY THE DISTRICT AND ALL AFFECTED UTILITY COMPANIES ADJACENT TO THE PROPOSED UTILITY CONSTRUCTION A MINIMUM OF 48 HOURS AND A MAXIMUM OF 96 HOURS PRIOR TO THE START OF CONSTRUCTION. A WEEKLY CONSTRUCTION MEETING SHALL BE REQUIRED WITH THE CONTRACTOR, DISTRICT ENGINEER AND ALL OTHER PARTIES AS DEEMED NECESSARY BY THE DISTRICT.
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 - PRIOR TO THE START OF CONSTRUCTION, A PRE-CONSTRUCTION MEETING IS REQUIRED. A MINIMUM OF 48 HOURS IN ADVANCE OF COMMENCEMENT OF WORK. A REPRESENTATIVE OF THE OWNER OR DEVELOPER, A REPRESENTATIVE OF THE CONTRACTOR AND DESIGN ENGINEER ARE REQUIRED TO ATTEND. CONTACT THE DISTRICT TO SCHEDULE THE PRE-CONSTRUCTION MEETING. NO PRE-CONSTRUCTION MEETING CAN BE SCHEDULED PRIOR TO FOUR (4) SIGNED/APPROVED PLAN SETS ARE RECEIVED BY THE DISTRICT.
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 - MUST PASS PRESSURE TEST TO 200 PSI FOR TWO HOURS (UNLESS OTHERWISE APPROVED ON THE PLANS).
 - ALL SANITARY SEWER FACILITIES ARE TO MEET THE FOLLOWING TESTING REQUIREMENTS
 - ALL LINES SHALL BE JET CLEANED PRIOR TO VACUUM OR PRESSURE TESTING
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 - SEWER MAINS TO BE PRESSURE TEST PRIOR TO CCTV INSPECTION
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- PRELIMINARY ACCEPTANCE SHALL BE DEFINED AS THE POINT IN TIME THAT THE DISTRICT ACCEPTS THE FACILITY FOR USE. ALL SURFACE IMPROVEMENTS AND RESTORATION SHALL BE COMPLETED WITHIN 30 DAYS OF COMMENCEMENT. SHOULD THE CONTRACTOR FAIL TO COMPLETE ALL SURFACE IMPROVEMENTS AND RESTORATION WITHIN 30 DAYS OF COMMENCEMENT OF SERVICE, THE DISTRICT, AT THEIR DISCRETION, MAY ELECT TO COMPLETE THE IMPROVEMENTS AT THE CONTRACTORS COST.
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- ACCEPTANCE:
 - THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK--THRU HAS OCCURRED.
 - A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK--THRU OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE--VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
- ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS--BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
- ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.
- AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES AND/OR SERVICES, CONSTRUCTION MUST BE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
- INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

HOMESTEAD AT STERLING RANCH

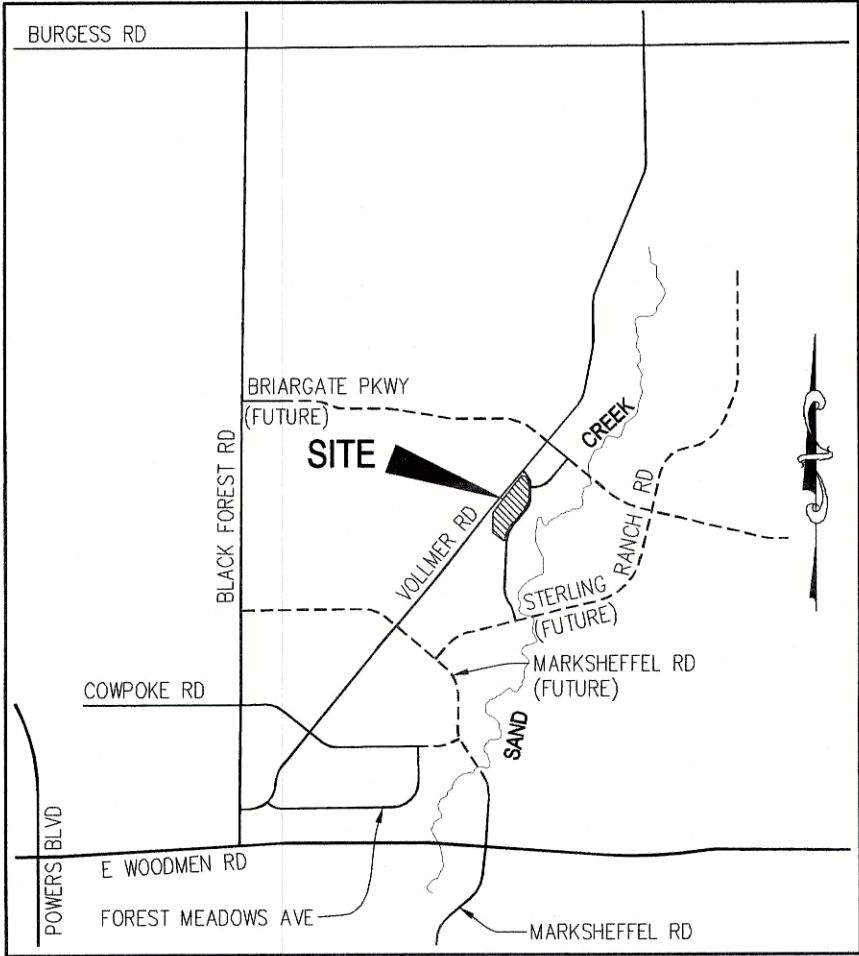
FILING NO. 1

COUNTY OF EL PASO, STATE OF COLORADO

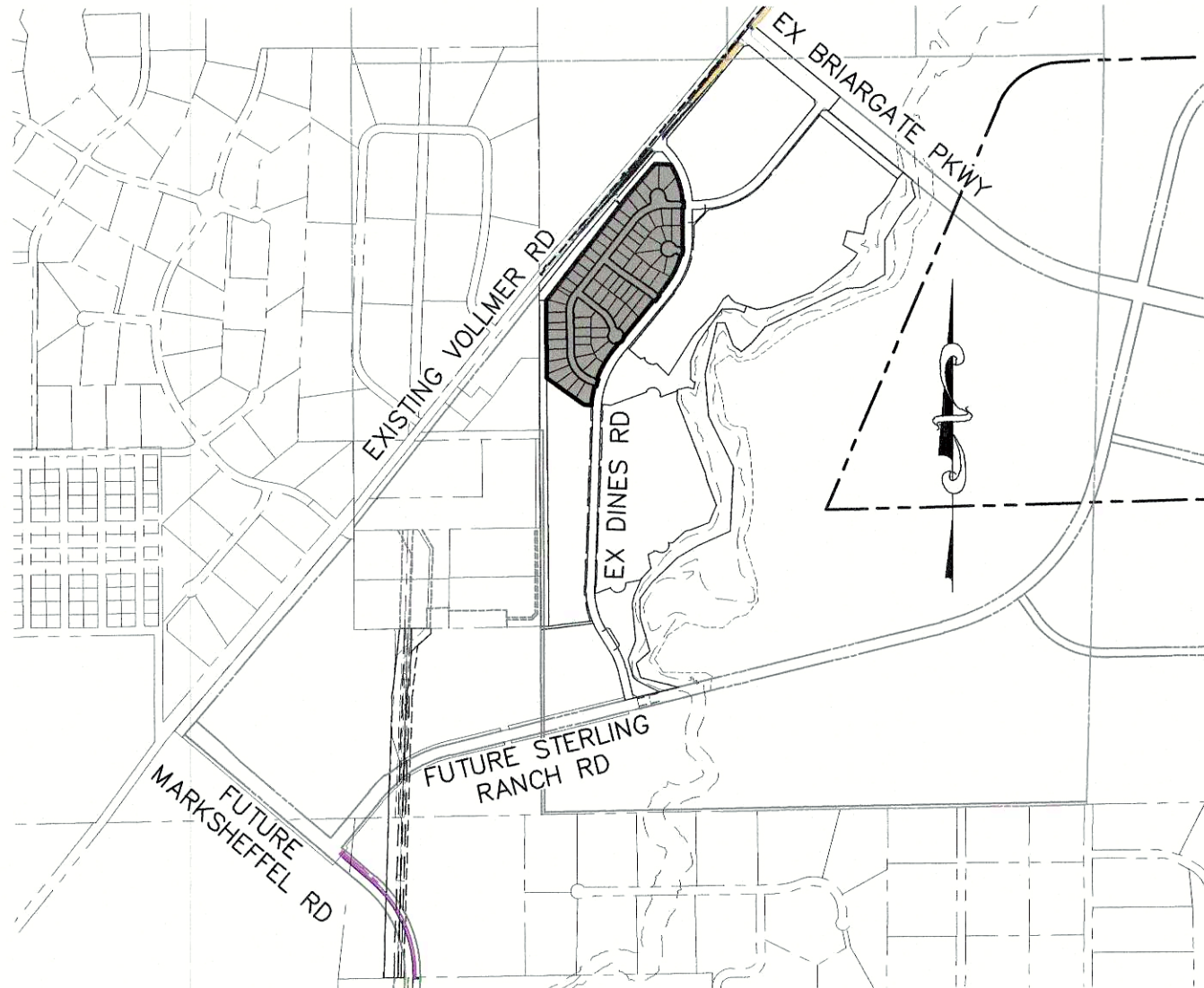
WATER SYSTEM PLAN

(INCLUDING UTILITY SERVICE PLAN)

OCTOBER 2018



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

BENCHMARKS

- THE TOP OF AN ALUMINUM SURVEYORS CAP, STAMPED "9853", AT THE SOUTHEAST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411416.273
EASTING = 235167.071
ELEVATION = 7023.42
- THE TOP OF A RED PLASTIC SURVEYORS CAP, ILLEGIBLE, AT THE NORTHWEST BOUNDARY CORNER OF PAWNEE RANCHEROS SUBDIVISION
NORTHING = 410095.404
EASTING = 235052.131
ELEVATION = 7000.40
- THE TOP OF A RED PLASTIC SURVEYORS CAP, STAMPED "38141", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411399.962
EASTING = 233849.817
ELEVATION = 7030.82

AGENCIES

OWNER/DEVELOPER:	SR LAND, LLC 20 BOULDER CRESCENT, SUITE 201 COLORADO SPRINGS, CO 80903 JIM MORLEY (719) 471-1742
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 20 BOULDER CRESCENT, SUITE 110 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 JEFF RICE, P.E. (719) 520-6300
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922 JENNIFER IRVINE, P.E. (719) 520-6460
WATER RESOURCES:	STERLING RANCH METRO DISTRICT ENGINEERS JDS-HYDRO CONSULTANTS 545 E. PIKES PEAK AVE., SUITE 300 COLORADO SPRINGS, CO 80903 JOHN MCGINN (719) 668-8769
FIRE DISTRICT:	BLACK FOREST FIRE PROTECTION DISTRICT 11445 TEACHOUT ROAD COLORADO SPRINGS, CO 80908 CHIEF BRYAN JACK (719) 495-4300
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

WATER & SEWER MAIN EXTENSIONS

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED James F. Morley DATE 10/24/18
OWNER/DEVELOPER
PRINT NAME JAMES F. MORLEY
ADDRESS 20 BOULDER CRESCENT, SUITE 200
COLORADO SPRINGS, CO 80903

DISTRICT APPROVALS

THE STERLING RANCH METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

STERLING RANCH METROPOLITAN DISTRICT
WATER DESIGN APPROVAL

DATE: 11/15/18 BY: J. Sanchez

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

FIRE AUTHORITY APPROVAL

THE NUMBER OF FIRE HYDRANTS AND HYDRANT LOCATIONS SHOWN ON THIS WATER INSTALLATION PLAN ARE CORRECT AND ADEQUATE TO SATISFY THE FIRE PROTECTION REQUIREMENTS AS SPECIFIED BY THE BLACK FOREST FIRE PROTECTION DISTRICT SERVING THE PROPERTY NOTED ON THE PLANS.

BY B. J. Fine DATE 11/15/18
FIRE CHIEF B.F.F.P.D.

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	WATER DISTRICT MAIN PLAN
SHEET 3	WATER DISTRICT MAIN PLAN & PROFILE
SHEET 4	UTILITY SERVICE PLAN



HOMESTEAD AT STERLING RANCH FILING NO. 1

WATER PLANS

PROJECT NO. 09-005

SCALE: 11/10/2017

DESIGNED BY: VAS

DRAWN BY: EY

CHECKED BY: GW

DATE: 11/10/2017

SHEET 1 OF 4

WT01

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

CIVIL CONSULTANTS, INC.

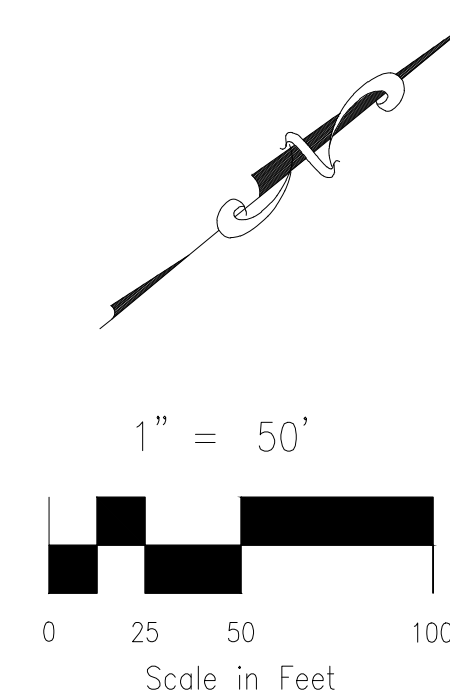
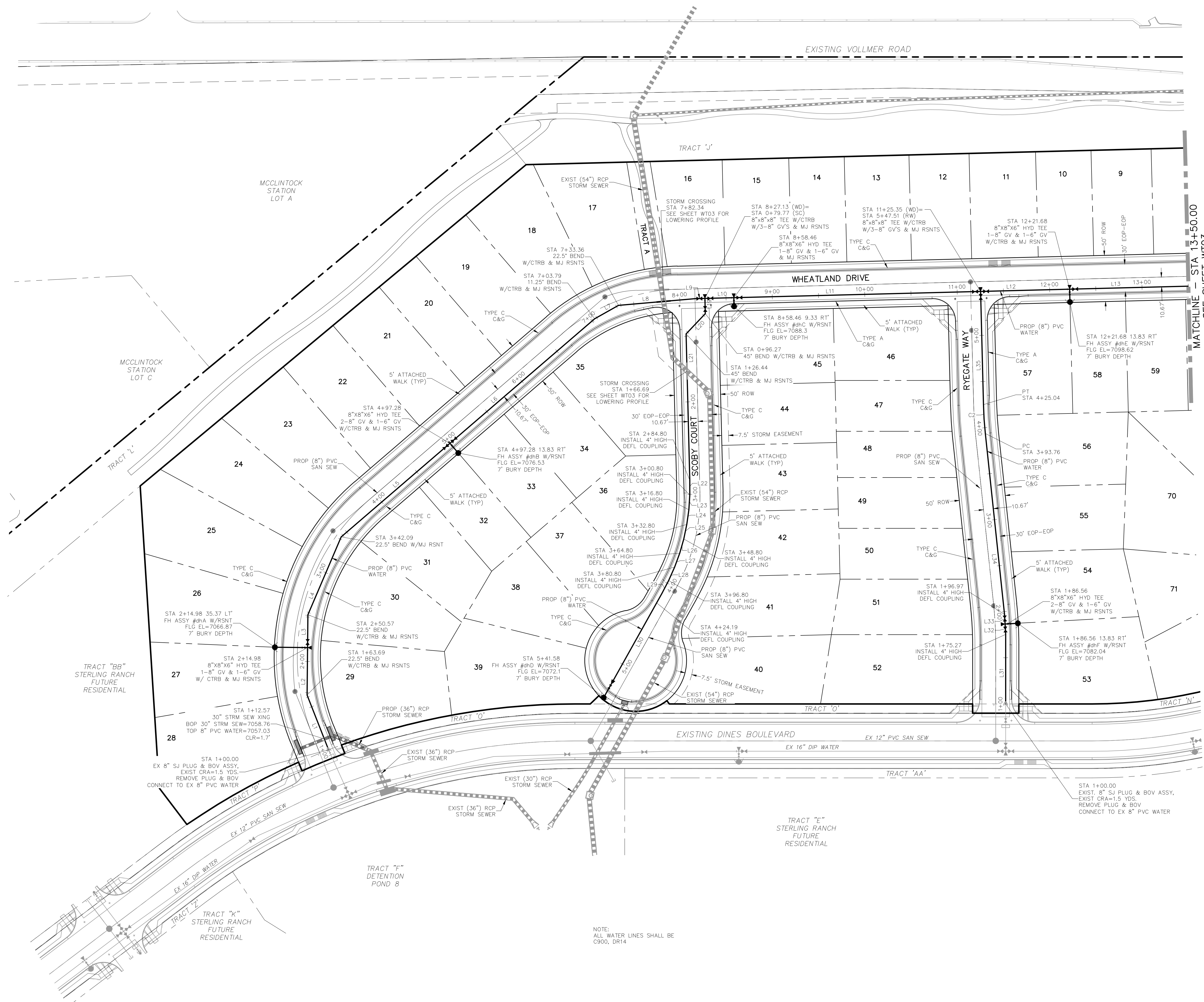
FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR DEVIATIONS FROM THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

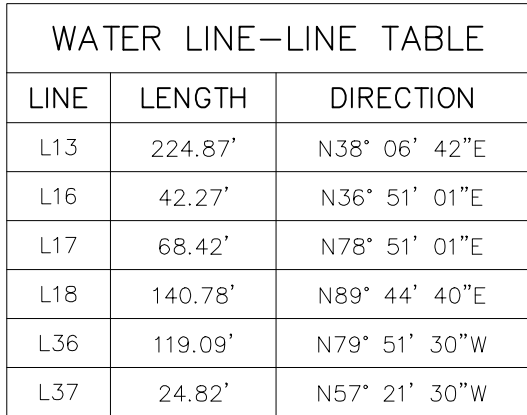


WATER LINE—LINE TABLE		
LINE	LENGTH	DIRECTION
L1	63.69'	N71° 55' 40"W
L2	51.29'	N49° 49' 01"W
L3	35.59'	N49° 49' 01"W
L4	91.52'	N27° 19' 01"W
L5	155.18'	N1° 09' 24"W
L6	206.52'	N1° 09' 24"W
L7	29.56'	N10° 05' 36"E
L8	83.10'	N34° 35' 36"E
L9	10.67'	N38° 06' 42"E
L10	31.33'	N38° 06' 42"E
L11	266.89'	N38° 06' 42"E
L12	96.33'	N38° 06' 42"E
L13	224.87'	N38° 06' 42"E
L19	16.50'	S51° 53' 18"E
L20	30.18'	S6° 53' 18"E
L21	158.36'	S51° 53' 18"E
L22	16.00'	S50° 34' 37"E
L23	16.00'	S46° 34' 37"E
L24	16.00'	S42° 34' 37"E
L25	16.00'	S38° 34' 37"E
L26	16.00'	S34° 34' 37"E
L27	16.00'	S30° 34' 37"E
L28	16.00'	S26° 34' 37"E
L29	16.00'	S22° 34' 37"E
L30	128.78'	S21° 15' 56"E
L31	75.27'	N50° 26' 12"W
L32	11.29'	N53° 35' 15"W
L33	10.41'	N53° 35' 15"W
L34	196.79'	N56° 29' 31"W
L35	122.47'	N51° 53' 18"W

WATER LINE—CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C2	4°36'13"	389.33'	31.28'

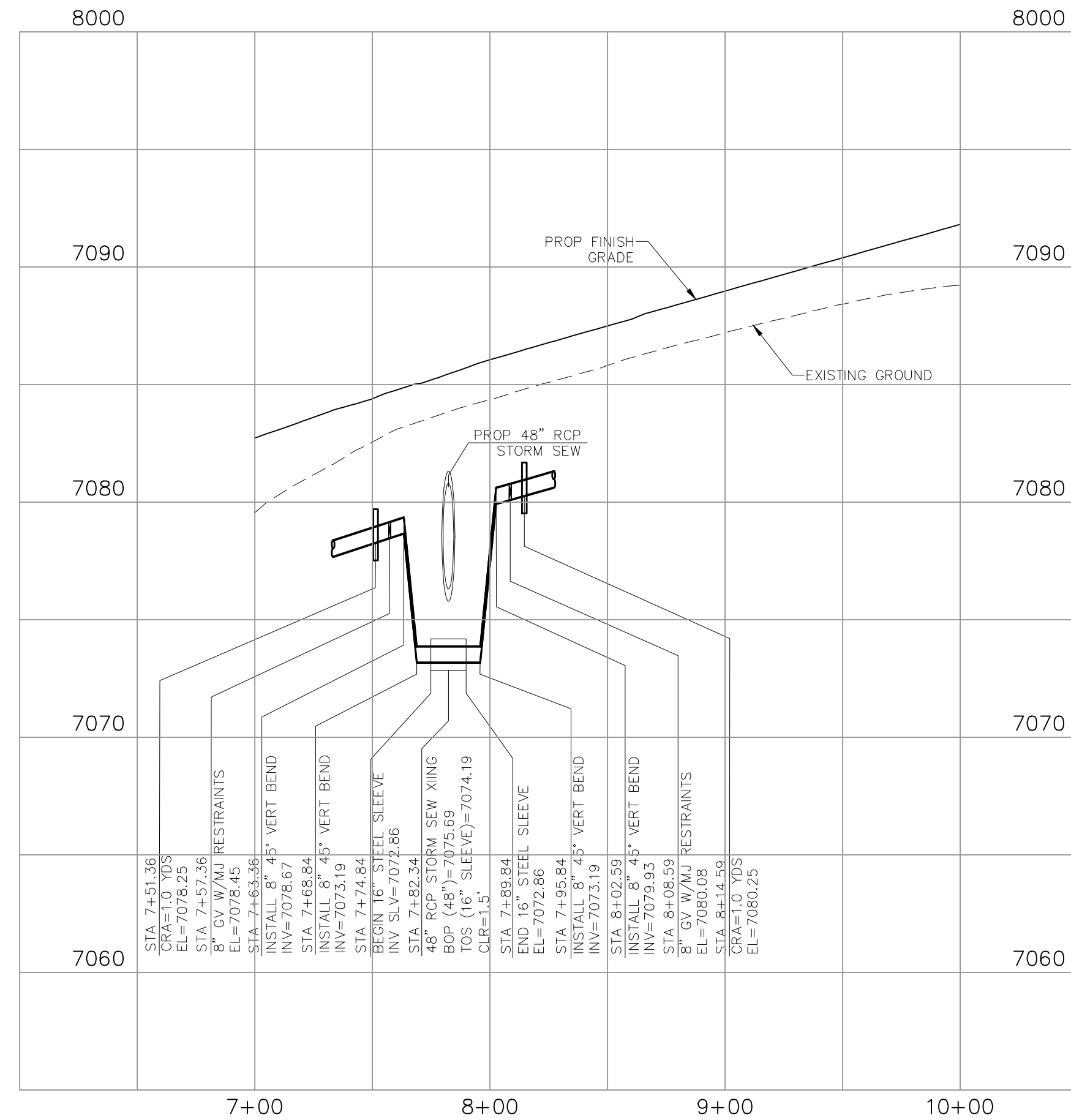
NOTE:
ALL WATER LINES SHALL BE
C900, DR14





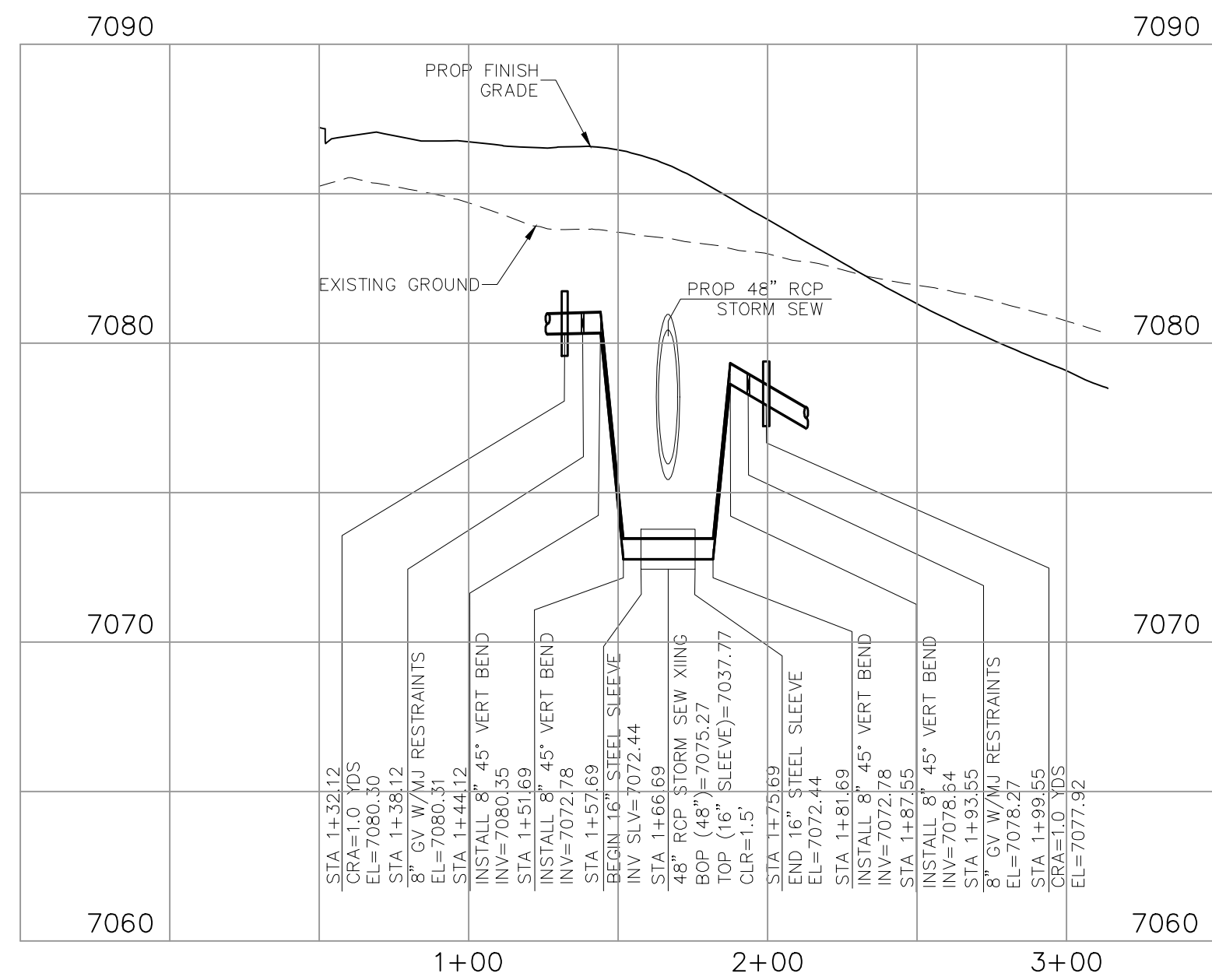
WATER LINE—CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	22°03'35"	289.33'	111.40'

NOTE:
ALL WATER LINES SHALL BE
C900, DR14



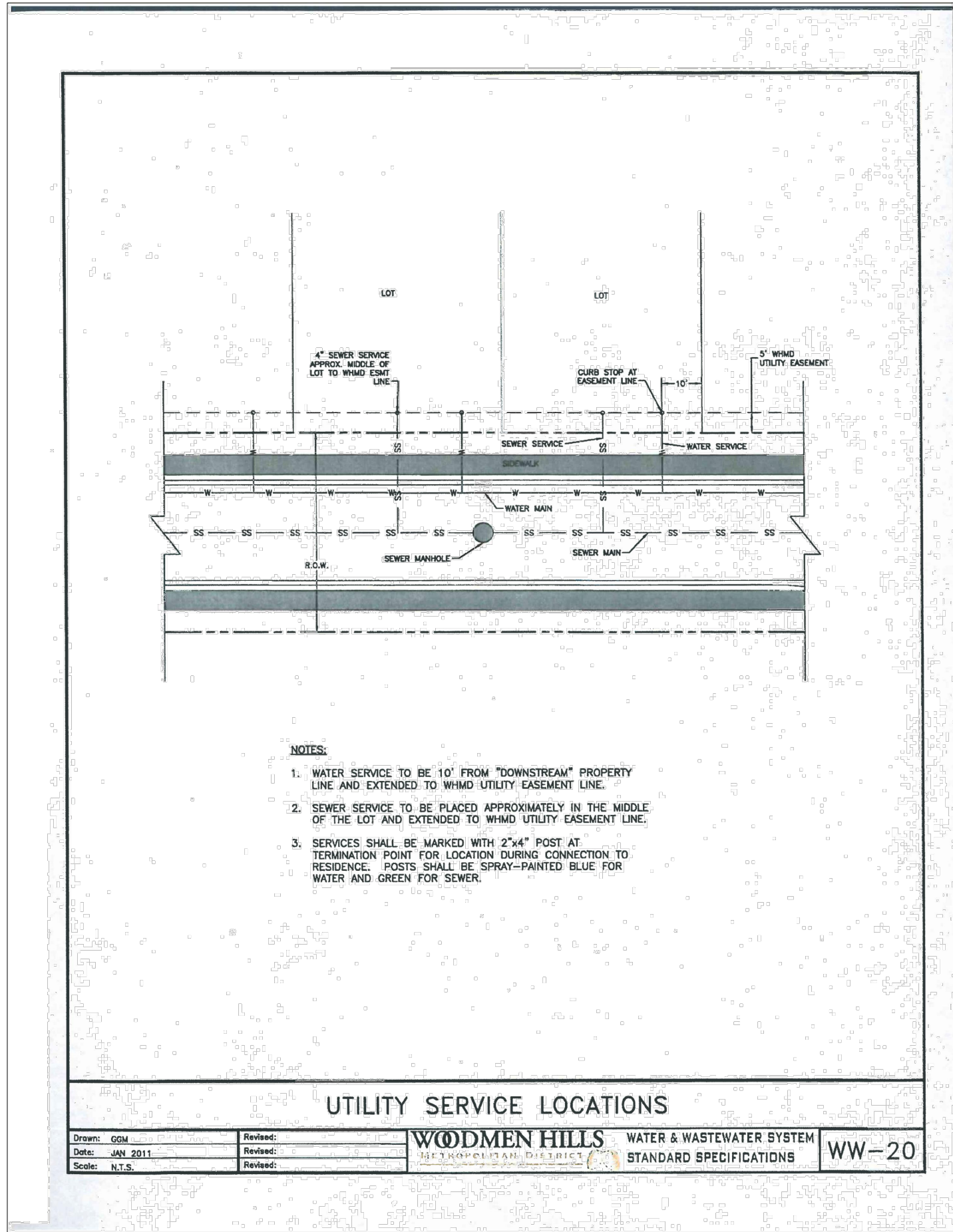
WATER LOWERING #1

48" STORM SEWER



WATER LOWERING #2
48" RCP STORM SEW





FOR BURIED UTILITY INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE STERLING RANCH WATER DISTRICT.
2. ALL UTILITY SERVICES WHICH CROSS THE 54" STORM SEWER MAIN (LOTS 40, 41, 42, 43, AND 44) MUST BE SLEEVED.

[illegible]

GENERAL NOTES

- ALL UTILITY CONSTRUCTION TO BE CONDUCTED IN CONFORMANCE WITH THE CURRENT WOODMEN HILLS METROPOLITAN DISTRICT (WHMD, THE DISTRICT) SPECIFICATIONS.
- ALL PLANS ON THE JOB SITE SHALL BE SIGNED BY THE DISTRICT AND THE DISTRICT'S ENGINEER. ANY REVISION TO THE PLANS SHALL BE SO NOTED WITH THE OLD DRAWING MARKED NOT VALID.
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- ACCEPTANCE:
 - THE DISTRICT MAY GIVE PRELIMINARY ACCEPTANCE ONCE ALL OF THE TESTS ON ALL THE LINES HAVE BEEN COMPLETED AND A WALK-THRU HAS OCCURRED.
 - A SECOND ACCEPTANCE MAY OCCUR ONCE FIRST LIFT OF ASPHALT GOES DOWN AND A SECOND WALK-THRU OF THE SYSTEM OCCURS. IF ALL FACILITIES ARE CLEAN AND ACCESSIBLE, A FINAL ACCEPTANCE MAY OCCUR (THE DISTRICT MAY REQUIRE CLEANING AND RE-VIDEO OF THE SYSTEM, DEPENDING ON THE SEVERITY OF THE CONTAMINATION).
- ALL WATER AND SEWER MAINS, INCLUDING SERVICE LINES, SHALL HAVE "AS-BUILT" DRAWINGS PREPARED AND APPROVED PRIOR TO PRELIMINARY ACCEPTANCE BY THE DISTRICT.
- ALL COMMERCIAL/BUSINESS DEVELOPMENTS SHALL HAVE AN EIGHT INCH (MIN.) WATER MAIN LOOPED THROUGH THE PROPOSED PROPERTY WITH GATE VALVES LOCATED WHERE THE MAIN ENTERS THE PROPERTY LINE. AN EIGHT INCH SEWER MAIN SHALL BE INSTALLED FOR SERVICE TO COMMERCIAL/BUSINESS DEVELOPMENTS, AND A MANHOLE SHALL BE LOCATED WHERE THE MAIN ENTERS THE PROPERTY. THE END OF THE MAINS SHALL BE MARKED WITH THE APPROPRIATE COLORED CARSONITE MARKER ALONG WITH TRACER WIRE.
- AFTER REVIEW AND APPROVAL OF PLANS FOR THE EXTENSION OF LINES, FACILITIES AND/OR SERVICES, CONSTRUCTION MUST BE COMMENCED WITHIN 18 MONTHS FOR RESIDENTIAL SUBDIVISIONS AND 12 MONTHS FOR ANY COMMERCIAL INSTALLATIONS.
- INSPECTION FEES: CALL THE DISTRICT (719-495-2500) FOR FEE SCHEDULE.

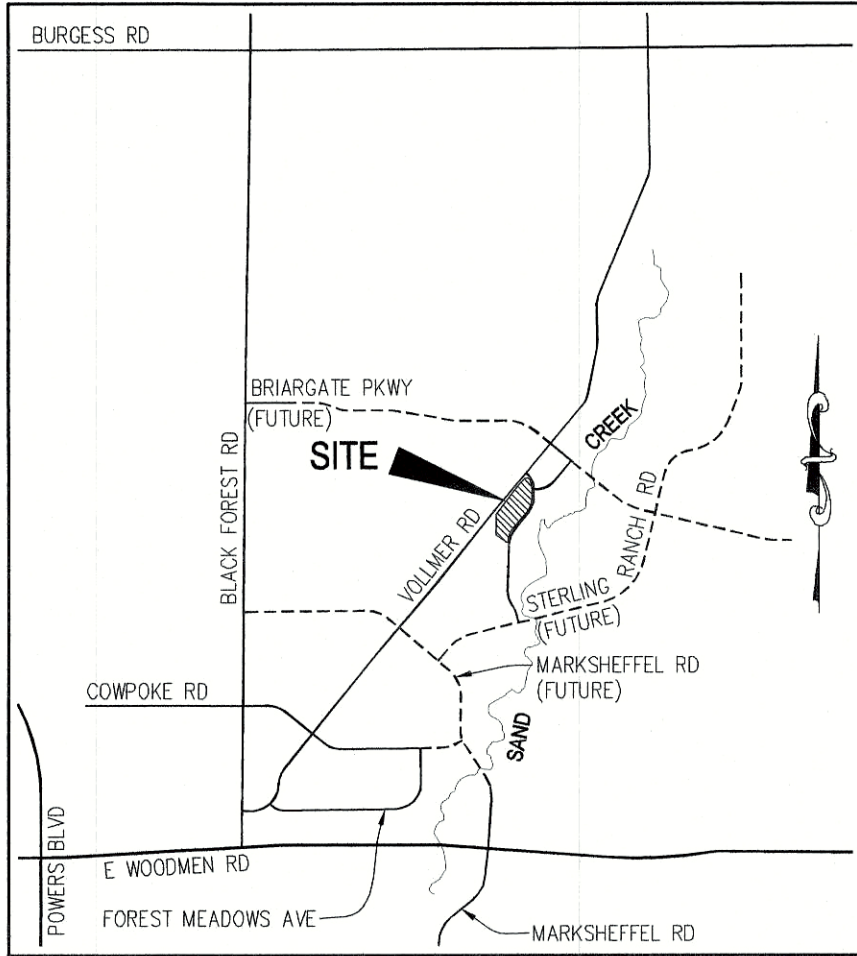
HOMESTEAD AT STERLING RANCH FILING NO. 1

COUNTY OF EL PASO, STATE OF COLORADO

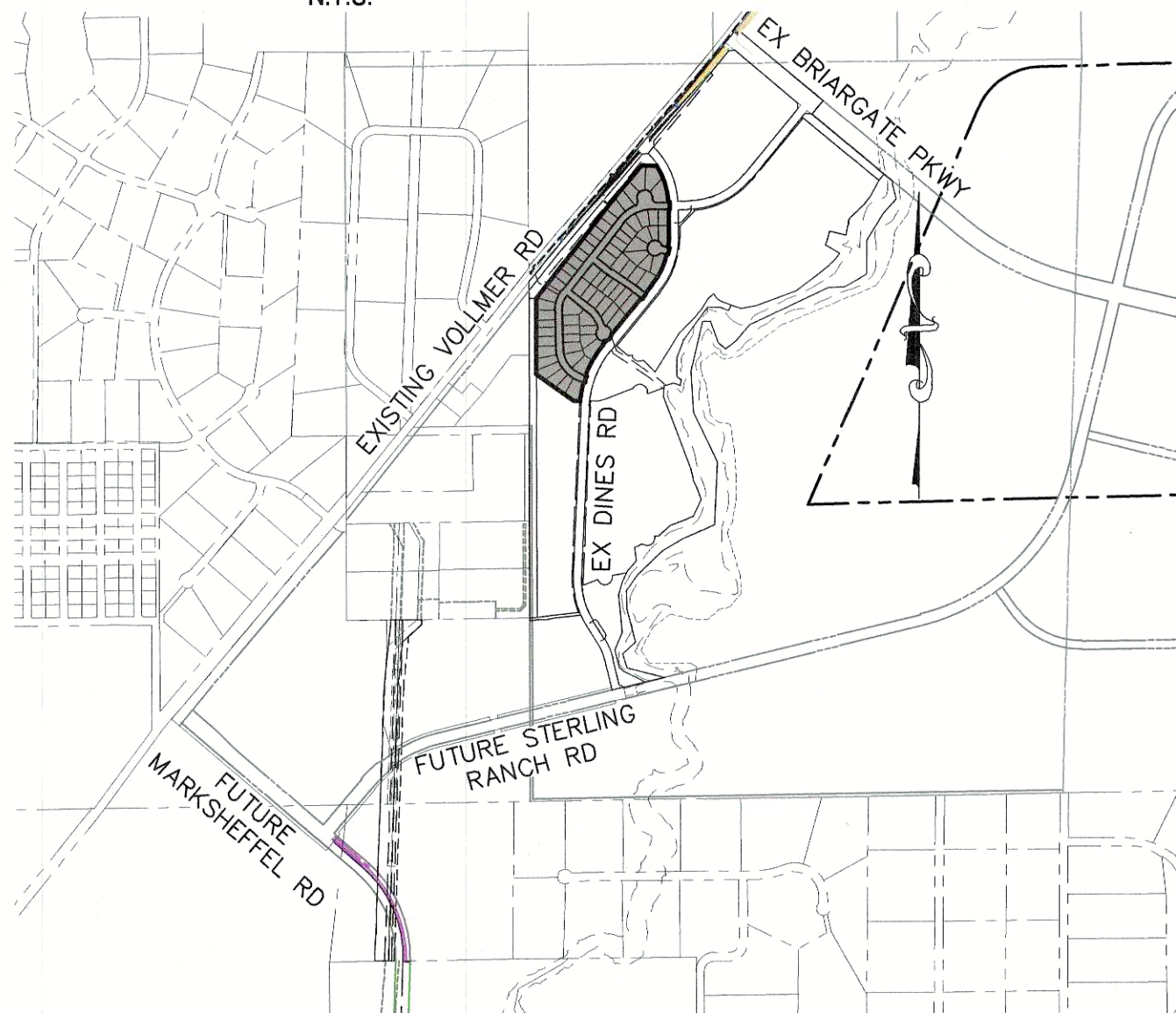
SANITARY SEWER PLAN

(INCLUDING UTILITY SERVICE PLAN)

OCTOBER 2018



VICINITY MAP
N.T.S.



SITE MAP
N.T.S.

BENCHMARKS

- THE TOP OF AN ALUMINUM SURVEYORS CAP, STAMPED "9853", AT THE SOUTHEAST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411416.273
EASTING = 235167.071
ELEVATION = 7023.42
- THE TOP OF A RED PLASTIC SURVEYORS CAP, ILLEGIBLE, AT THE NORTHWEST BOUNDARY CORNER OF PAWNEE RANCHEROS SUBDIVISION
NORTHING = 410095.404
EASTING = 235052.131
ELEVATION = 7000.40
- THE TOP OF A RED PLASTIC SURVEYORS CAP, STAMPED "38141", AT THE SOUTHWEST BOUNDARY CORNER OF BARBARICK SUBDIVISION
NORTHING = 411399.962
EASTING = 233849.817
ELEVATION = 7030.82

AGENCIES

OWNER/DEVELOPER:	SR LAND, LLC 20 BOULDER CRESCENT, SUITE 201 COLORADO SPRINGS, CO 80903 JIM MORLEY (719) 471-1742
CIVIL ENGINEER:	M & S CIVIL CONSULTANTS, INC. 20 BOULDER CRESCENT, SUITE 110 COLORADO SPRINGS, CO 80903 VIRGIL A. SANCHEZ P.E. (719) 955-5485
COUNTY ENGINEERING:	EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT 2880 INTERNATIONAL CIRCLE, SUITE 110 COLORADO SPRINGS, CO 80910 JEFF RICE, P.E. (719) 520-6300
TRAFFIC ENGINEERING:	EL PASO COUNTY DEPARTMENT OF PUBLIC WORKS 3275 AKERS DRIVE COLORADO SPRINGS, CO 80922 JENNIFER IRVINE, P.E. (719) 520-6460
WATER RESOURCES:	STERLING RANCH METRO DISTRICT ENGINEERS JDS-HYDRO CONSULTANTS 545 E. PIKES PEAK AVE., SUITE 300 COLORADO SPRINGS, CO 80903 JOHN MCGINN (719) 668-8769
FIRE DISTRICT:	BLACK FOREST FIRE PROTECTION DISTRICT 11445 TEACHOUT ROAD COLORADO SPRINGS, CO 80908 CHIEF BRYAN JACK (719) 495-4300
GAS DEPARTMENT:	COLORADO SPRINGS UTILITIES 7710 DURANT DR. COLORADO SPRINGS, CO 80947 TIM WENDT (719) 668-3556
ELECTRIC DEPARTMENT:	MOUNTAIN VIEW ELECTRIC 11140 E. WOODMEN ROAD FALCON, CO 80831 (719) 495-2283
COMMUNICATIONS:	QWEST COMMUNICATIONS (U.N.C.C. LOCATORS) (800) 922-1987 AT&T (LOCATORS) (719) 635-3674

WATER & SEWER MAIN EXTENTIONS

ANY CHANGES OR ALTERATIONS AFFECTING THE GRADE, ALIGNMENT, ELEVATION AND/OR DEPTH OF COVER OF ANY WATER OR SEWER MAINS OR OTHER APPURTENANCE SHOWN ON THIS DRAWING SHALL BE THE RESPONSIBILITY OF THE OWNER/DEVELOPER. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR ALL OPERATIONAL DAMAGES AND DEFECTS IN INSTALLATION AND MATERIAL FOR MAINS AND SERVICES FROM THE DATE OF APPROVAL UNTIL FINAL ACCEPTANCE IS ISSUED.

SIGNED James F. Morley DATE 10/24/18
OWNER/DEVELOPER
PRINT NAME JAMES F. MORLEY
ADDRESS 20 BOULDER CRESCENT, SUITE 200
COLORADO SPRINGS, CO 80903

DISTRICT APPROVALS

THE STERLING RANCH METROPOLITAN DISTRICT RECOGNIZES THE DESIGN ENGINEER AS HAVING RESPONSIBILITY FOR THE DESIGN AND HAS LIMITED ITS SCOPE OF REVIEW ACCORDINGLY.

STERLING RANCH METROPOLITAN DISTRICT
WASTEWATER DESIGN APPROVAL

DATE: 11/15/18 BY: [Signature]

IN CASE OF ERRORS OR OMISSIONS WITH THE WATER DESIGN AS SHOWN ON THIS DOCUMENT THE STANDARDS AS DEFINED IN THE "RULES AND REGULATIONS FOR INSTALLATION OF WASTEWATER MAINS AND SERVICES" SHALL RULE.

APPROVAL EXPIRES 180 DAYS FROM DESIGN APPROVAL.

LEGEND

ROW	RIGHT OF WAY
FL-FL	FLOWLINE TO FLOWLINE
BOP	BOTTOM OF PIPE
TOP	TOP OF PIPE
SS	SANITARY SEWER
STM	STORM SEWER
WL	WATER
STA	STATION
9	LOT NUMBER
BT	BEGIN TRANSITION
ET	END TRANSITION
PCR	POINT OF CURB RETURN
PRC	POINT OF REVERSE CURVE
PCC	POINT OF COMPOUND CURVE
PC	POINT OF CURVE
PT	POINT OF TANGENT
*	SPECIAL BEDDING NOTES

SHEET INDEX

SHEET 1	TITLE SHEET
SHEET 2	PLAN & PROFILE - WHEATLAND DRIVE STA 0+00.00 TO 13+50.00
SHEET 3	PLAN & PROFILE - WHEATLAND DRIVE STA 13+50.00 TO 16+23.63 - WHEATLAND DRIVE CUL-DE-SAC - WHEATLAND DRIVE - CUTBANK WAY - RYEGATE WAY - SCOBY COURT
SHEET 4	PLAN & PROFILE
SHEET 5	UTILITY SERVICE PLAN



HOMESTEAD AT STERLING RANCH FILING NO. 1

SANITARY SEWER PLANS			
PROJECT NO.	09-005	SCALE:	HORIZONTAL: N/A VERTICAL: N/A
DESIGNED BY:	DLM	DATE:	11/10/2017
DRAWN BY:	ELY	SHEET 1 OF	5
CHECKED BY:	GW		SS01

20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719/955-5485



FOR AND ON BEHALF OF
M & S CIVIL CONSULTANTS, INC.

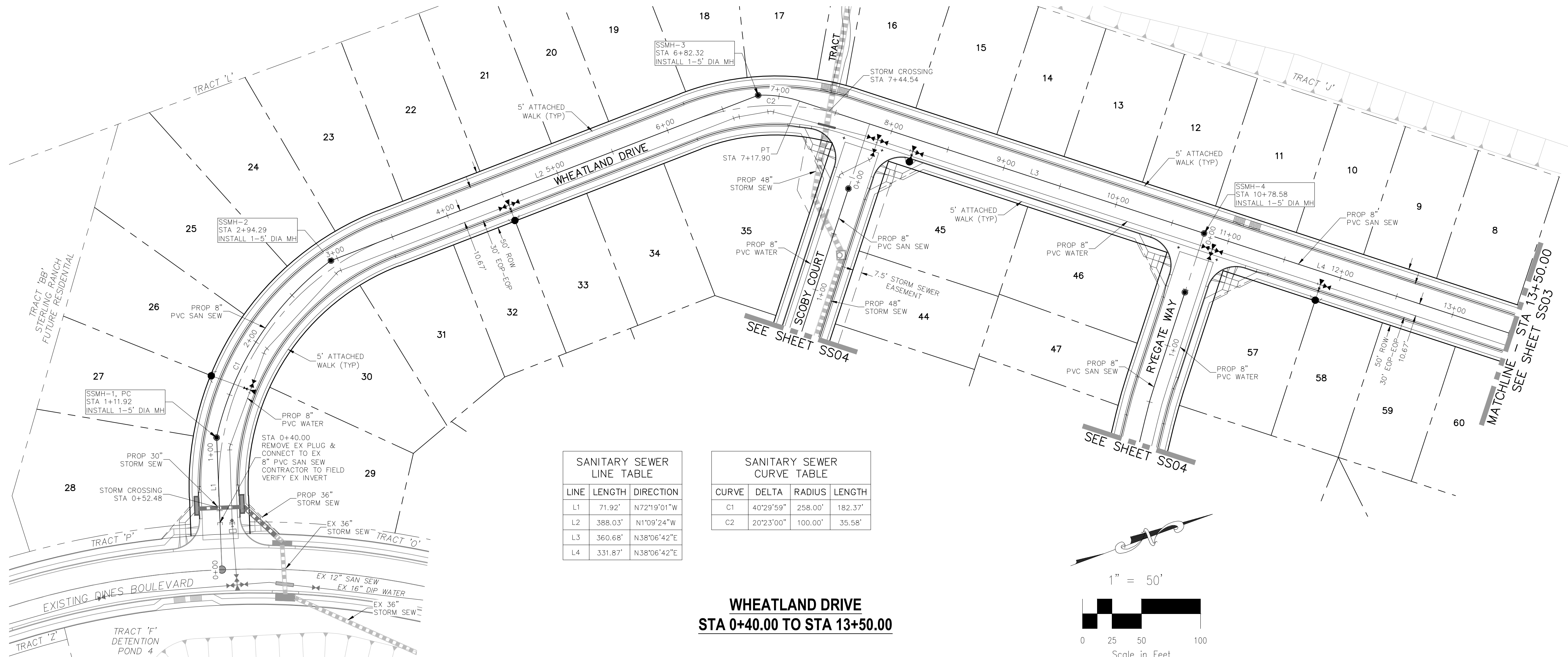


REVISIONS:

NO.	DATE	BY	DESCRIPTION

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR UNAUTHORIZED CHANGES TO OR OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION



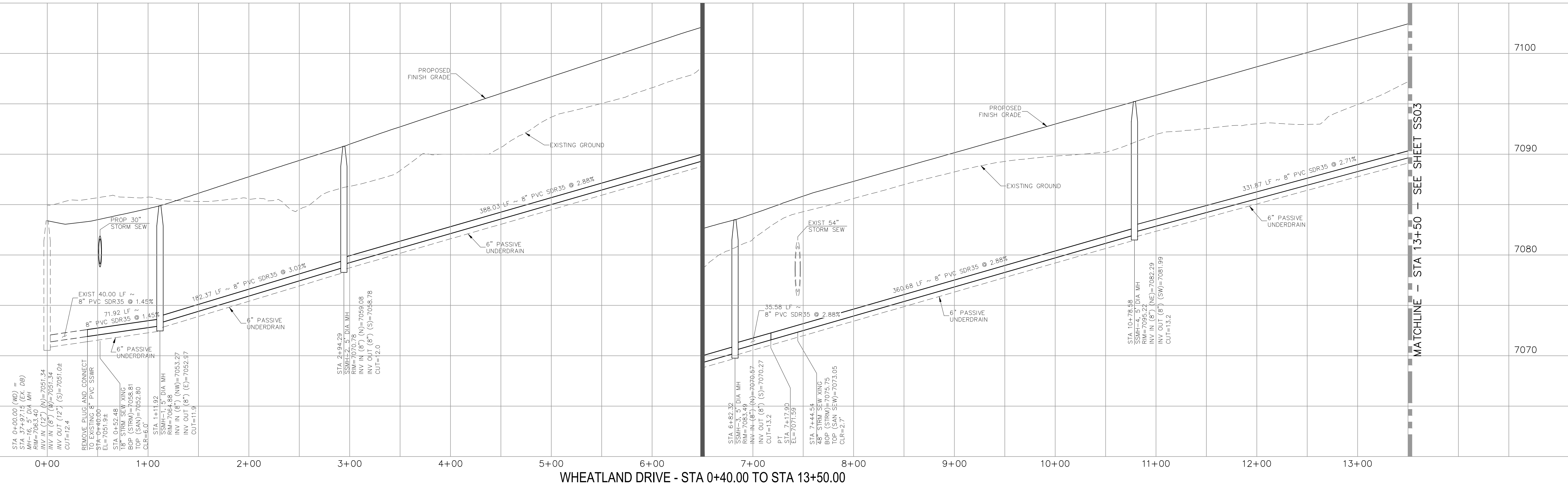
SANITARY SEWER LINE TABLE		
LINE	LENGTH	DIRECTION
L1	71.92'	N72°19'01"W
L2	388.03'	N1°09'24"W
L3	360.68'	N38°06'42"E
L4	331.87'	N38°06'42"E

SANITARY SEWER CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C1	40°29'59"	258.00'	182.37'
C2	20°23'00"	100.00'	35.58'

WHEATLAND DRIVE
STA 0+40.00 TO STA 13+50.00

- ABBREVIATION LEGEND
- CL-CL CENTERLINE INTERSECTION
 - FL-FL FLOWLINE INTERSECTION
 - BT BEGIN TRANSITION
 - ET END TRANSITION
 - PC POINT OF CURVE
 - PCC POINT OF COMPOUND CURVE
 - PCR POINT OF CURB RETURN
 - PRC POINT OF REVERSE CURVE
 - PT POINT OF TANGENT
 - EL ELEVATION
 - LT LEFT
 - RT RIGHT

- STREET ABBREVIATIONS
- CBW CUT BANK WAY
 - RW RYEGATE WAY
 - SC SCOOBY COURT
 - WD WHEATLAND DRIVE
 - DB DINES BOULEVARD (EX.)
 - CDS CUL-DE-SAC
 - KN KNUCKLE



WHEATLAND DRIVE - STA 0+40.00 TO STA 13+50.00



HOMESTEAD AT STERLING RANCH FILING NO. 1

SANITARY SEWER PLANS

PROJECT NO. 09-005

DESIGNED BY: DLM

DRAWN BY: ELY

CHECKED BY: GW

DATE: 11/10/2017

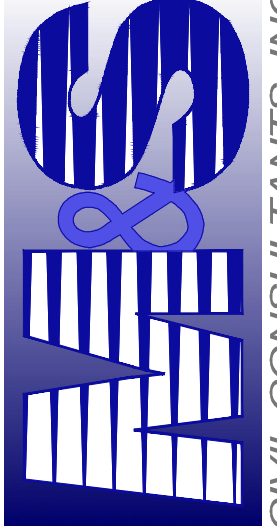
SHEET 2 OF 5

SS02

20 BOULDER CRESCENT SUITE 110

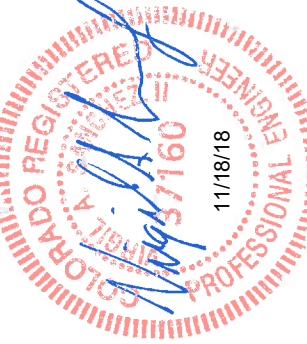
COLORADO SPRINGS, CO 80903

PHONE: 719.555.5485



CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

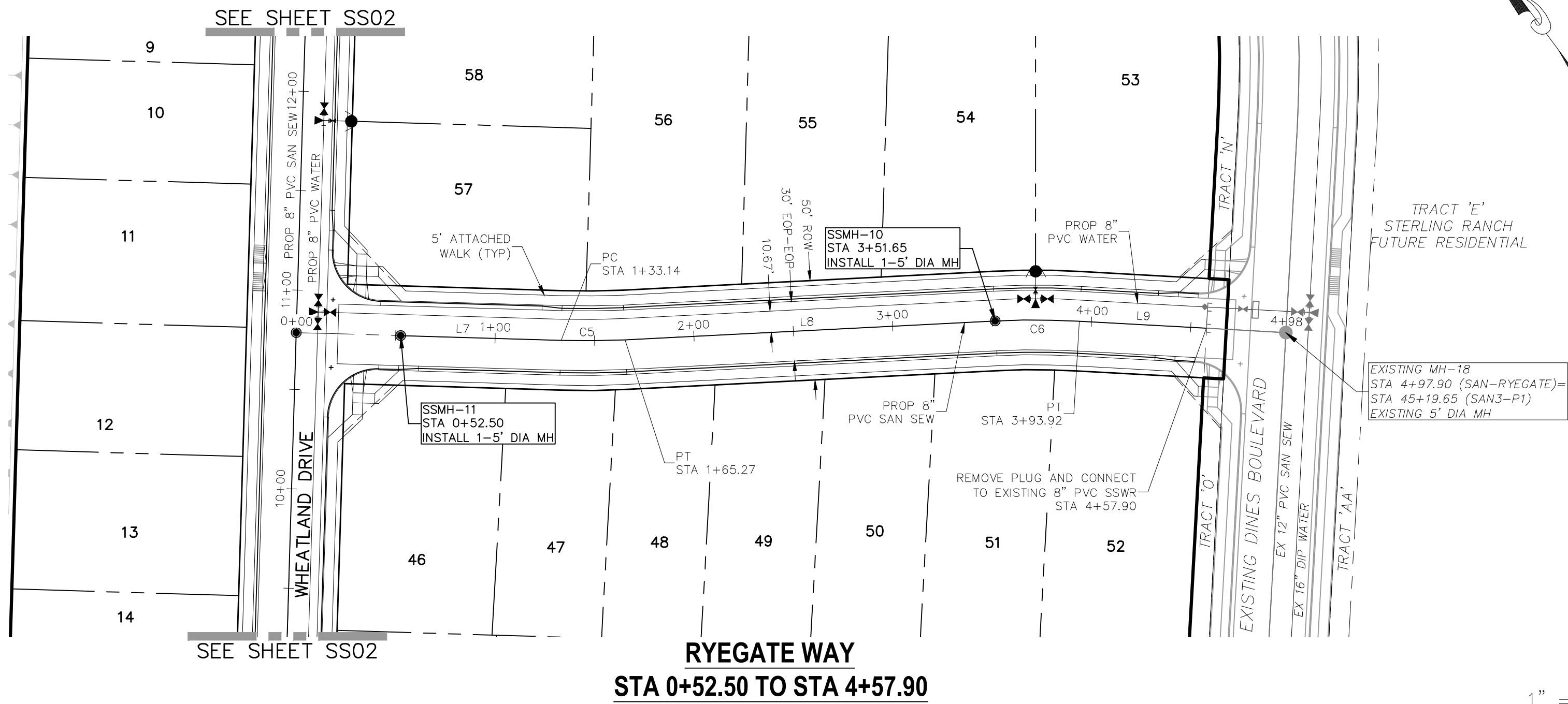


REVISIONS:

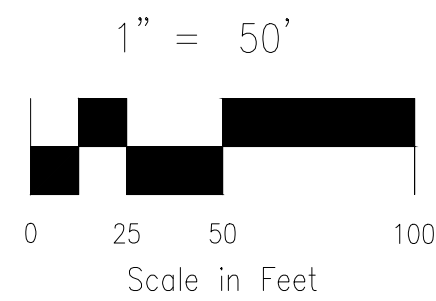
NO.	DATE:	BY:	DESCRIPTION:	APPROVED BY:	DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION

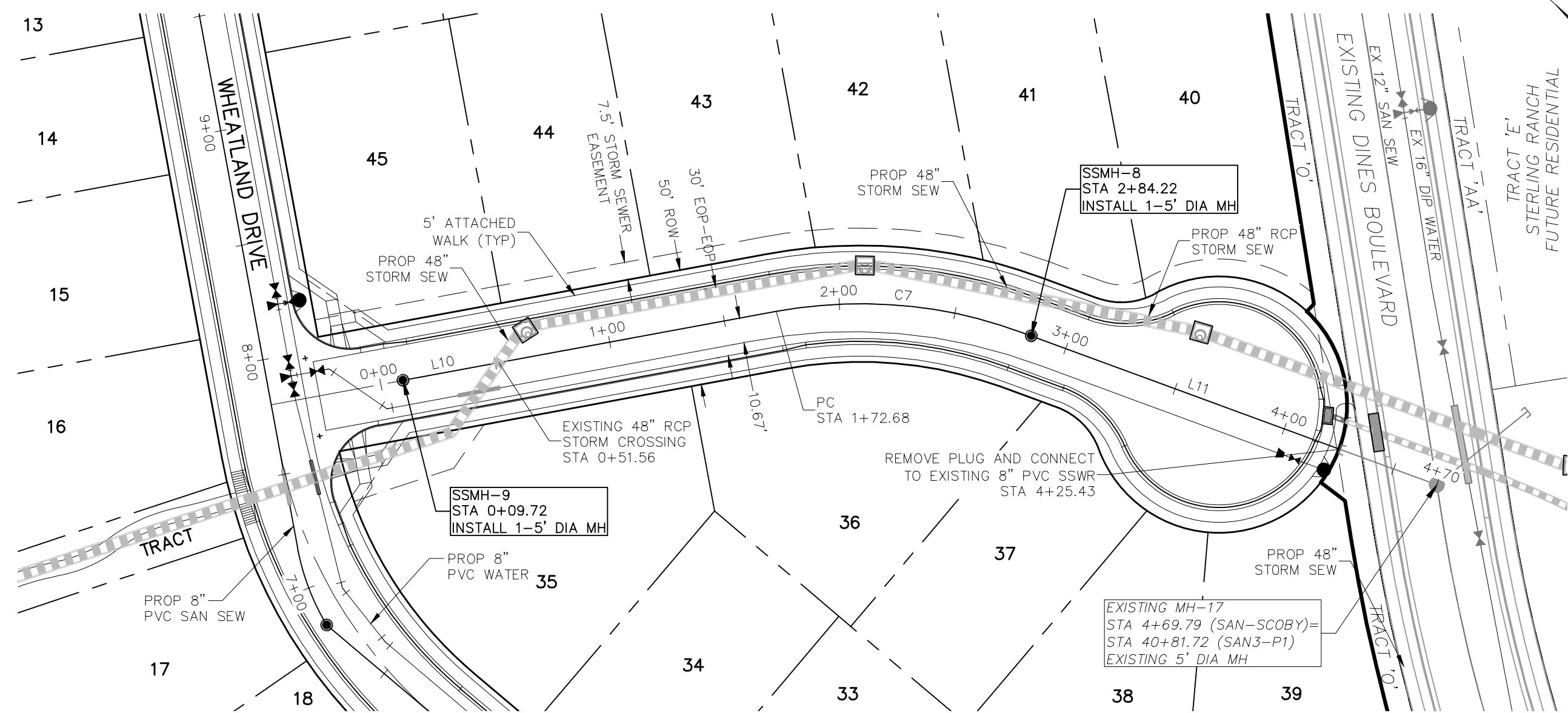


RYEGATE WAY
STA 0+52.50 TO STA 4+57.90

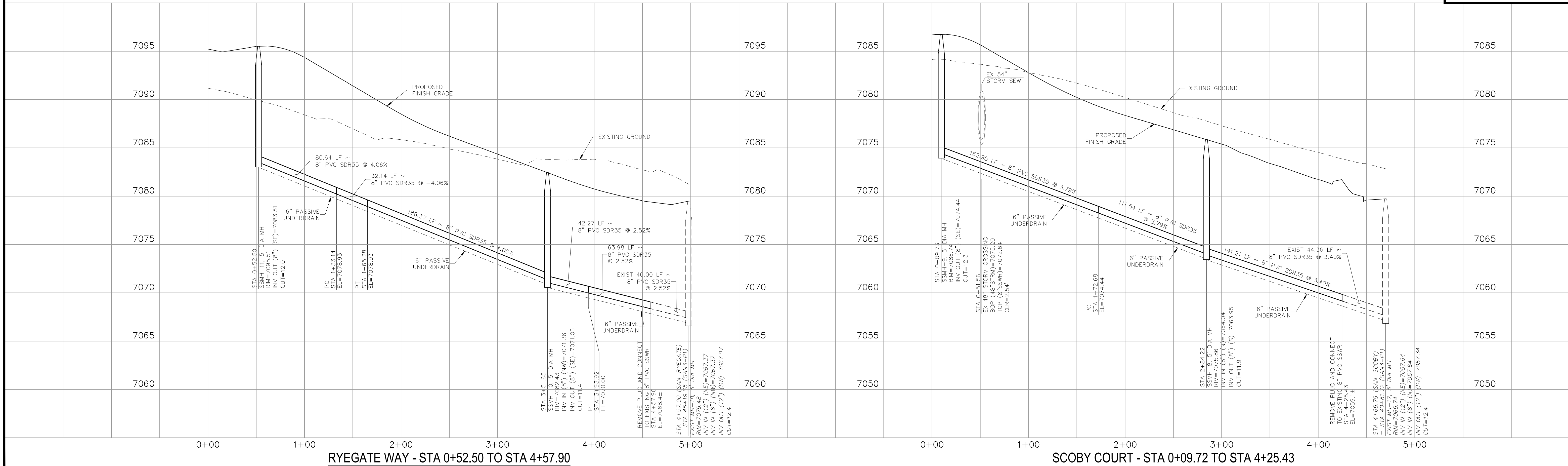


SANITARY SEWER LINE TABLE		
LINE	LENGTH	DIRECTION
L7	80.64'	S51°53'18"E
L8	186.37'	S56°29'31"E
L9	63.98'	S50°26'12"E
L10	162.95'	S51°53'18"E
L11	185.57'	S21°15'56"E

SANITARY SEWER CURVE TABLE			
CURVE	DELTA	RADIUS	LENGTH
C5	4°36'13"	400.00'	32.14'
C6	6°03'19"	399.99'	42.27'
C7	31°50'51"	200.67'	111.54'



SCOBY COURT
STA 0+09.72 TO STA 4+25.43



RYEGATE WAY - STA 0+52.50 TO STA 4+57.90

SCOBY COURT - STA 0+09.72 TO STA 4+25.43

HOMESTEAD AT STERLING RANCH FILING NO. 1

SANITARY SEWER PLANS

PROJECT NO. 09-005

DESIGNED BY: DLM

DRAWN BY: ELY

CHECKED BY: GW

DATE: 11/10/2017

SCALE: HORIZONTAL: 1"=50'

VERTICAL: 1"=5'

SHEET 4 OF 5

SS04

20 BOULDER CRESCENT SUITE 110

COLORADO SPRINGS, CO 80903

PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

11/18/18

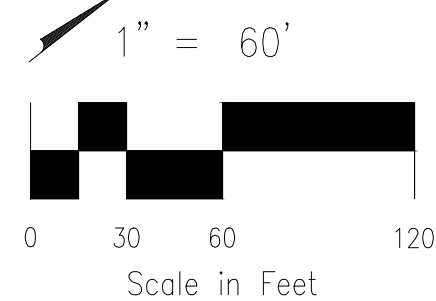
PROFESSIONAL

REVISIONS:

NO.	DATE:	BY:	DESCRIPTION:	APPROVED BY:	DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

CAUTION



1. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF THE STERLING RANCH SANITATION DISTRICT.
2. ALL UTILITY SERVICES WHICH CROSS THE 54" STORM SEWER MAIN (LOTS 16, 40, 41, 42, 43, 44, AND 45) MUST BE SLEEVED.

