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A SPECIAL USE SITE PLAN FOR:
STARLIGHT AUTO SALES

205 MAIN ST.
COLORADO SPRINGS, CO 80911

NOT FOR
CONSTRUCTION

STORAGE ADDITION
STARLIGHT AUTO SALES
205 MAIN ST.
COLORADO SPRINGS, CO 80911

NO.	Revision	SPECIAL USE REVISIONS	Date
1			1/26/2026

Sheet Title:
**SITE / PARKING
PLAN**

Drawn by: JHS Checked by: JHS

Project Status:
CD SET

DATE:
11/04/25

A0.1

PROJECT DATA

APPLICABLE CODES

2023 RBC (PIKES PEAK REGIONAL BUILDING CODE)
2021 IBC (INTERNATIONAL BUILDING CODE)
2021 IFC (INTERNATIONAL FIRE CODE)
2021 IMC (INTERNATIONAL MECHANICAL CODE)
2021 IPC (INTERNATIONAL PLUMBING CODE)
2023 NEC (NATIONAL ELECTRICAL CODE)
2021 IECC (INTERNATIONAL ENERGY CONSERVATION CODE)
2017 ICC A117.1 (ACCESSIBLE & USABLE BUILDINGS & FACILITIES)

SITE DATA

PROJECT NAME: STARLIGHT AUTO SALES SPECIAL USE
PROJECT ADDRESS: 205 MAIN ST.
COLORADO SPRINGS, CO 80911
TAX SCHEDULE NO: 6514103020
LEGAL DESCRIPTION: THAT PART OF BLK 14 AS FOLS, BEG AT MOST WLY COR OF SD BLK, NELY ALG SLY LN OF MAIN ST 215.0 FT, ANG R 90< SELY 165 FT, ANG R 90< SWLY 215 FT, ANG R 90< NWLY 165.0 TO POB SECURITY ADD 6.
CITY ZONING: CC
LOT AREA: 35,475 SF
FIRE JURISDICTION: SECURITY FIRE
BLDG SETBACKS: FRONT = 25' MIN. - 71'-11" MIN. PROVIDED
REAR = 25' MIN. - 44'-4" MIN. PROVIDED
W SIDE = 25' MIN. - 99' MIN. PROVIDED
E SIDE = 0' - 75'-9" PROVIDED
MAX. HEIGHT: +/-12' EXISTING, 13'-0" PROPOSED
40' MAX ALLOWED
ALLOWABLE AREA: B, BASIC ALLOWED = 9,000 SF (MOST RESTRICTIVE)
S-2, BASIC ALLOWED = 13,500 SF
TOTAL, NON-SEPARATED MIXED USE = 1,608 SF
PARKING: AUTO SALES: 1 SP / 1,000SF DISPLAY + 1 SP PER 450 SF OFFICE
AUTO DISPLAY = 4,048 SF / 1000 = 4.1 SPACES
OFFICE AREA = 860SF / 450 = 1.9 SPACES
TOTAL SPACES REQUIRED = 6.0 SPACES
TOTAL SPACES PROVIDED = 6 SPACES + 1 H.C.

BUILDING DATA

PROJECT DESCRIPTION:
NEW DETACHED UNCONDITIONED STORAGE BUILDING ADDITION FOR EXISTING AUTO SALES OFFICE BUILDING.

EXIST. BLDG. AREA: 960 SF GFA EXISTING
NEW BLDG. AREA: 648 SF - 1,608 SF TOTAL
BUILDING HEIGHT: ±12'-0" (1-STORY), EXISTING
13'-9 1/2" (1-STORY), PROPOSED
CONSTRUCTION TYPE: V-B
OCCUPANCY: B, EXISTING, S-2 PROPOSED - NON-SEPARATED USES
OCCUPANT LOAD: (EX) OFFICE AREA = 860 SF / 150 = 5.7
(EX) STORAGE = 100 SF / 300 = 0.3
(NEW) STORAGE AREA = 648 SF / 300 = 2.2
TOTAL OCCUPANT LOAD = 8.2 (9)
FIRE SPRINKLERS: NOT PROVIDED
FIRE ALARMS: NOT PROVIDED
BUILDING RISK CAT: II

PROJECT TEAM

OWNER

STARLIGHT AUTO SALES
205 MAIN STREET
COLORADO SPRINGS, CO 80911
(719) 368-6194

ARCHITECT

SHOUDSIGN, LLC
3472 RESEARCH PKWY #104-123
COLORADO SPRINGS, CO 80920
CONTACT: JASON SHOUDIS, ARCHITECT
(719) 400-1114

DRAWING INDEX

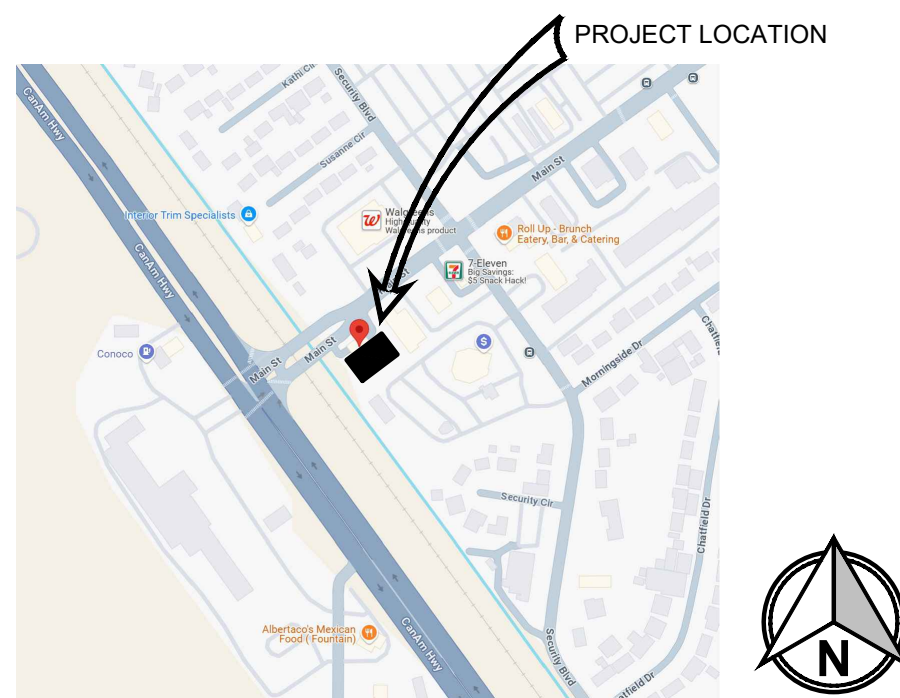
ARCHITECTURE

A0.1 SITE PLAN AND CODE DATA
A0.2 SITE NOTES AND DETAILS

LANDSCAPE

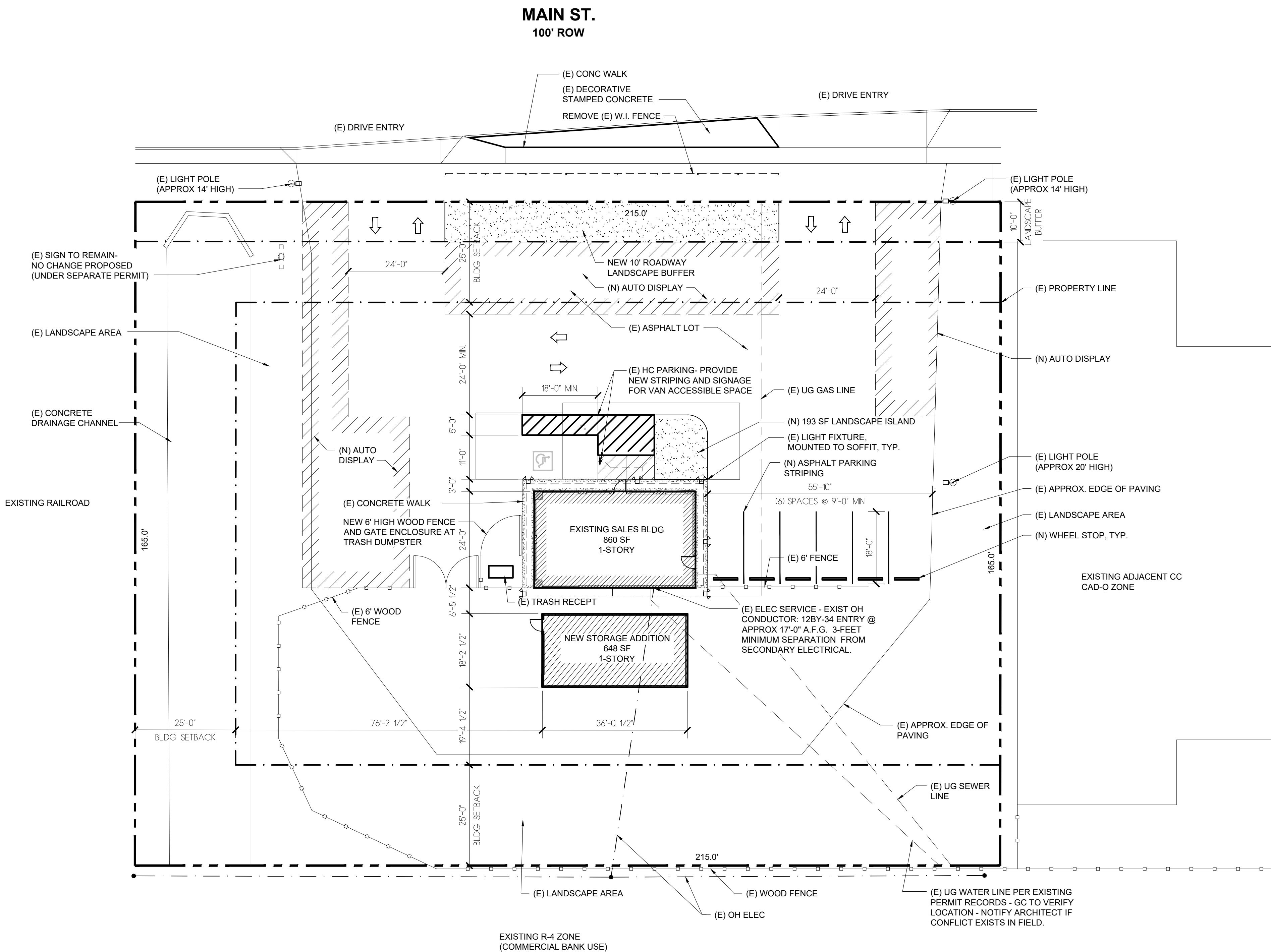
L1.1 LANDSCAPE PLAN
A1.2 LANDSCAPE PLAN - NOTES AND DETAILS

VICINITY MAP

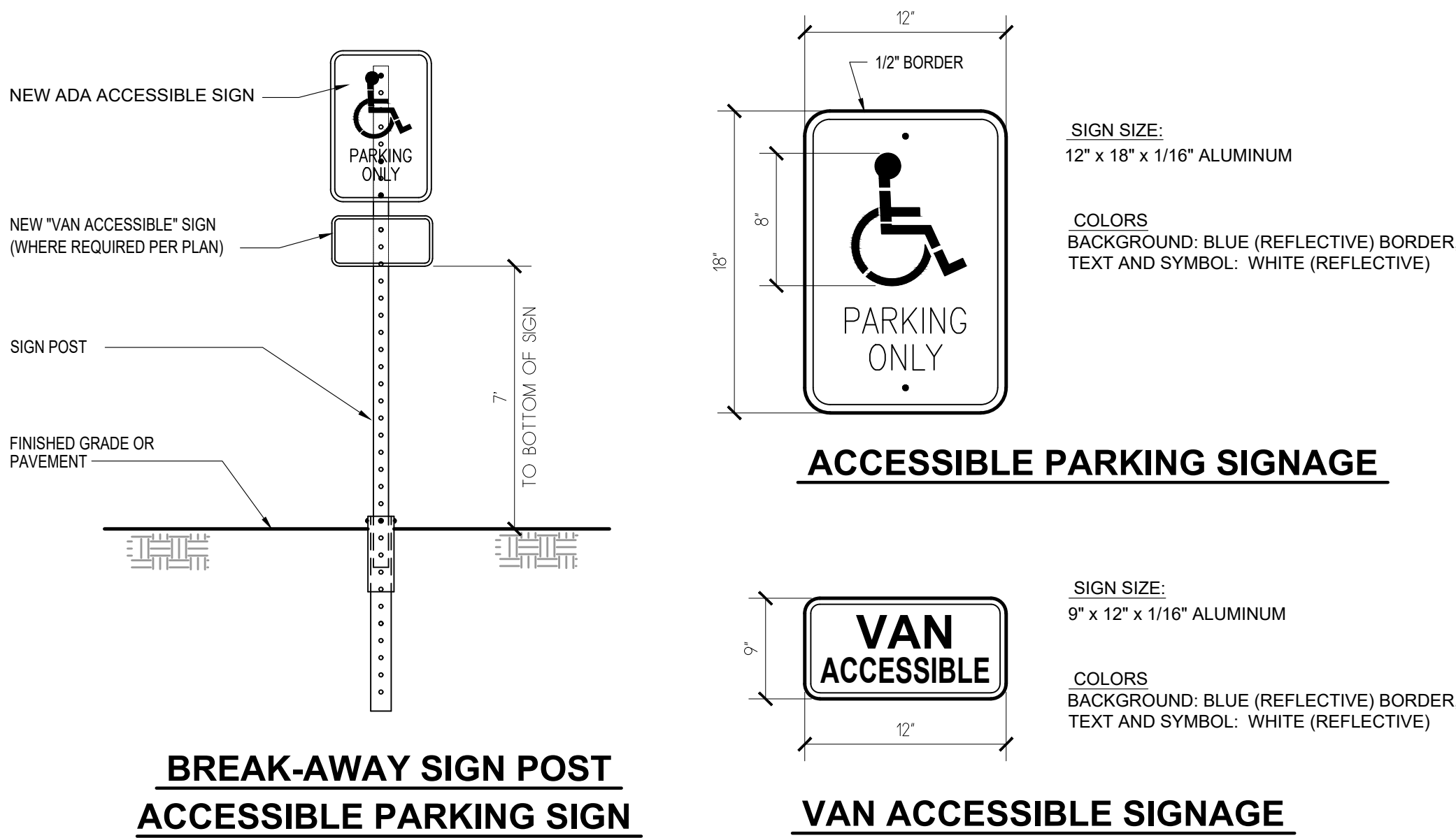


GENERAL NOTES

- Reference, discrepancies and omissions: These notes shall apply to all drawings unless otherwise shown or noted. Features of construction shown are typical and they shall apply generally throughout similar conditions. In the event of omissions, their construction shall be similar to conditions shown and detailed.
- All work and materials shall be in full accordance with the rules and regulations of the Applicable Codes noted above, and all local codes and ordinances. Nothing in these plans is to be construed to permit work not conforming to these codes.
- Dimensions:
 - Do not scale these drawings.
 - Contractor to verify site and building conditions prior to bid and construction.
 - Unless otherwise indicated, dimensions shown are to face of concrete, face masonry, face of stud lines; or, in case of steel construction, to the center line of member.
- Upon completion of each sub-contractor's work, remove all waste, debris, excess materials, tools and equipment from the premises. Leave entire structure and involved portions of the site in a neat, clean and acceptable condition.
- Do not drill, cut or alter any structural member.
- Workmanship, methods, and operations shall conform to the best standard and accepted practices of the trades involved and shall include all items of fabrication, construction or installation required for the completion and successful operation as intended. All work shall be completed by mechanics skilled in their respective lines of work.
- Failure of the contractor to acquaint himself/herself with all available information concerning these field conditions will not relieve him/her from the responsibility for properly estimating the scope of work.
- Failure of the contractor to acquaint himself/herself with all available information concerning these field conditions will not relieve him/her from the responsibility for properly estimating the scope of work.
- The contractor shall verify all conditions in the field and shall notify the architect of any conflicts and/or discrepancies before proceeding with the work.
- Utility locations shown are based on field surface observations, permit records, and utility service cards. Contractor shall locate and coordinate with utility providers for any/all alterations.
- The parties responsible for this plan have familiarized themselves with applicable current accessibility criteria and specifications and the proposed plan reflects site elements required by the respective applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.
- The owner agrees on behalf of him/herself and any developer or building successors and assignees that Subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program Resolution (Resolution No. 24-377), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documented on all sales documents and on plat notes to ensure that a title search would find the fee obligation before sale of the property.
- CSU Field Engineer to determine any new final electric meter, transformer, and service lines, as work may be applicable. Contact Field Engineering at (719) 668-5564 (Electric) with any questions.
- Accessible parking stalls shall be provided with a 2% max cross slope in all directions. Provide either free-standing or wall mounted signage as detailed.



1. CONTRACTOR SHALL COORDINATE WITH SOILS REPORT BY "A BETTER SOIL SOLUTION" REPORT #25-0372 FOR PROPER DRAINAGE CRITERIA AND REQUIRED INSPECTIONS.
2. FINISHED GRADE SHALL HAVE A POSITIVE SLOPE AWAY FROM THE BUILDING WITH AN INITIAL SLOPE OF 6" IN 10'-0". IF THIS IS NOT POSSIBLE ON THE UPSLOPE SIDE OF THE STRUCTURE, A WELL DEFINED SWALE SHOULD BE CREATED A MINIMUM OF 5-FEET FROM THE FOUNDATION AND SLOPED PARALLEL WITH THE WAL AT A 2% GRADE.
3. DOWNSPOUTS SHALL HAVE EXTENSIONS THAT WILL REMOVE RUNOFF TO THE OUTSIDE OF BACKFILLED AREAS.
4. EXTERIOR GRADING AND DOWNSPOUT LOCATIONS SHALL BE INSPECTED BY A BETTER SOIL SOLUTION.
5. A PERIMETER FOUNDATION DRAIN MAY BE REQUIRED AND WILL BE DETERMINED BY THE GEOTECHNICAL ENGINEER AT TIME OF OPEN HOLE INSPECTION.
6. NO NEW IMPERVIOUS AREA IS PROPOSED. THE NEW BUILDING AREA IS PROPOSED IN PLACE OF EXISTING ASPHALT PAVED DRIVE. EXISTING SITE DRAINAGE PATTERNS ARE EXPECTED TO BE MAINTAINED.
7. SITE LAYOUT BASED ON EXISTING PERMIT RECORDS AND FIELD OBSERVATION.

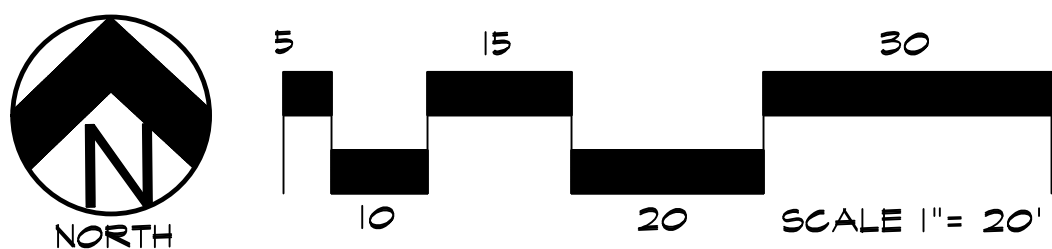


2 ADA PARKING SIGNAGE

NO.	Revision	Date
△	SPECIAL USE REVISIONS	1/26/2026

A0.2

LANDSCAPE PLAN



UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COUNTY UTILITIES GUIDELINES "LANDSCAPING AROUND ELECTRICAL EQUIPMENT". SEE COUNTY UTILITIES CONSTRUCTION STANDARD DRAWINGS CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

DOCUMENT NOTE

IRRESPECTIVE OF ANY OTHER TERM IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ERRORS OR OMISSIONS OR FOR ANY OTHER PARTIES' FAILURE TO COMPLETE THEIR WORK OR SERVICES IN ACCORDANCE WITH LANDSCAPE ARCHITECT'S DOCUMENTS.

LAYOUT NOTES

CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL LANDSCAPE SHOWN ON THIS PLAN. ANY DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. DEVIATIONS FROM THE APPROVED PLAN WILL REQUIRE APPROVAL BY EL PASO COUNTY AND OWNER REPRESENTATIVE.

CODE REQUIREMENTS

LANDSCAPE SETBACKS (LS)					
STREET NAME OR ZONE BOUNDARY (ELEV.)	STREET CLASSIFICATION	WIDTH (FT.) REQ./PROV.	LINEAR FOOTAGE	TREE/FEET REQUIRED	NO. OF TREES REQ./PROVIDED
MAIN STREET	NON ARTERIAL	10/10 FT	215'-48'+16'	1/30 FT	6/6

MOTOR VEHICLE LOTS (MV)			
NO. OF VEHICLE SPACES PROVIDED	SHADE TREES (1/15 SPACES) REQ./PROV.	VEHICLE LOT FRONTAGE(S)	2/3 LENGTH OF FRONTAGE (FT)
8	1/1	NOT REQUIRED	0
MIN. 3' SCREENING PLANTS REQ./PROV.	EVERGREEN PLANTS REQ. 50%/PROV.		
NA	NA		

INTERNAL LANDSCAPING (IL)			
INTERNAL LANDSCAPE AREA INCLUDES ALL LANDSCAPE AREAS NOT INCLUDING SETBACKS, BUFFERS OR MOTOR VEHICLE ISLANDS. INTERNAL LANDSCAPE AREA IS CALCULATED USING THE ENTIRE LOT. MAXIMUM OF 50% OF REQUIRED TREES MAY BE SUBSTITUTED WITH 10 SHRUBS (LESS PUBLIC ROW).			
NET SITE AREA (SQ)	PERCENT MINIMUM	INTERNAL AREA (SQ) REQ./PROV.	INTERNAL TREES (15,000 SQ) (EXCLUDING DRIVEWAYS)
39,415 SF	NON-RESIDENTIAL	1114/1998 SF	4/4 (12 EXISTING ELM TREES)
SHRUB SUBSTITUTES REQ./PROV.		INTERNAL PLANT ABBR. DENOTED ON PLAN	PERCENT GROUND PLANE VEG. REQ./PROV.
0/0		IL	50%/50%

LANDSCAPE BUFFERS AND SCREENS (LB) NOT REQUIRED			
STREET NAME OR PROPERTY LINE (ELEV.)	LINEAR FOOTAGE	SETBACK BUFFER (B) REQ. / PROV.	BUFFER TREES (1/20') REQ./PROV.

PLANT SCHEDULE

Symbol	Abbr.	Quantity	Botanical Name	Common Name	Mature Size w x h	B & B Planting Size
DECIDUOUS TREES:						
	GB	1	Gymnocladus dioica 'Expresso'	Expresso Kentucky Coffeetree	30'x40'	1-1/2" cal.
	MS	3	Malus 'Spring Snow'	Spring Snow Crabapple	15' X 15'	1-1/2" cal.
	QAC	3	Quercus robur 'Crimschmidt'	Crimson Spire Oak	15' x 45'	1-1/2" cal.
DECIDUOUS SHRUBS:						
	BCP	6	Berberis thunbergii 'Crimson Pygmy'	Crimson Pygmy Barberry	2-3' x 1-2'	5 gal.
	CC	2	Caryopteris x clandonensis 'Drk Knt'	Dark Knight Blue Mist Spirea	2' x 2-4'	5 gal.
	PFW	4	Potentilla fruticosa 'McKay's White'	McKay's White	2-3' x 2-3'	5 gal.
	SJ	8	Spirea japonica 'Majic Carpet'	Majic Carpet, Spirea	1-2' x 1-2'	5 gal.
ORNAMENTAL GRASSES:						
	BG	6	Bouteloua gracilis 'blond ambition'	Blonde Ambition Grass	2' x 2'	1 gal.

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

GROUND COVER LEGEND

SYMBOL	DESCRIPTION	APPROX. SF
	Clear Creek Rock: 1.5" Diameter (with weed barrier) Submit sample to owner prior to ordering material	1,024 SF
	Display Area: See site plan	4,049 SF
	Protect Existing Landscape: Re-seed all disturbed areas	15,234 SF

NOTE: QUANTITIES SHOWN IN LEGEND ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL MATERIALS PER PLAN.

GRADE NOTE

GRADE SHALL BE ESTABLISHED BASED ON GRADING PLAN BY OTHERS, AND FOR LANDSCAPE MATERIALS PER PLAN. FINAL SOIL GRADE FOR 5-12" DIAMETER ROCK AREAS SHALL BE 4" BELOW TOP OF SIDEWALK/CURB/PAVING. AT ALL OTHER ROCK AREAS GRADE SHALL BE 3" BELOW SIDEWALK/CURB. AT SOD/SEED AREAS GRADE SHALL BE 1" BELOW TOP OF SIDEWALK/CURB.

HIGHER GROUND DESIGNS, INC.

LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5350 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-466-1122



STARLIGHT AUTO SALES
205 MAIN ST., COLORADO SPRINGS, CO
EL PASO COUNTY, CO

THESE DRAWINGS ARE THE PROPERTY OF HIGHER GROUND DESIGNS, INC. AND SHALL NOT BE USED FOR ANY OTHER PROJECT WITHOUT THE WRITTEN AUTHORIZATION BY HIGHER GROUND DESIGNS, INC. THESE DRAWINGS ARE NOT FOR CONSTRUCTION.

PREPARED FOR:

NOT FOR CONSTRUCTION

JOB NUMBER
1308-26

REVISIONS

ORIGINAL DATE
1-20-26

DRAWN BY
JM

DESCRIPTION
LANDSCAPE PLAN

SHEET NO.

L1.1

INSTALLATION NOTES

REMOVE EXISTING TREES, DEBRIS AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN).

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) , 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTRACT OWNER/LANDSCAPE ARCHITECT FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL THEFTS OR DAMAGE TO PLANT MATERIAL ONCE PLANT MATERIAL IS DELIVERED TO JOB SITE.

LANDSCAPE ARCHITECT SHALL HAVE OPPORTUNITY TO INSPECT AND APPROVE ALL TREES AND ALL 1-15 GALLON MATERIAL AT JOB SITE PRIOR TO PLANTING, INCLUDING PLACEMENT INSPECTION.

ALL EDGING SEPARATING GRASS AND ROCK/MULCH AREAS TO BE GREEN PRO-STEEL OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" +/- ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. NO EDGING BETWEEN ROCK MULCHES.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH LANDSCAPE FABRIC WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

TREES AND SHRUBS TO RECEIVE ORGANIC MULCH PER DETAILS, INCLUDING ROCK AREAS-SEE DETAILS. ORGANIC MULCH TO BE 'CASCADE SHREDDED CEDAR' WITH NO LANDSCAPE FABRIC AND 4" DEPTH.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL).

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION.

LANDSCAPE CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

DECORATIVE BOULDERS SHALL BE BURIED 1/3 BELOW GRADE AND SHALL NOT OBSTRUCT VEHICULAR SIGHTLINES IF APPLICABLE.

PRIOR TO INSTALLING PLANTS OR GROUND COVER BROADCAST PREEN WEED PRE-EMERGENT IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.GREEN.COM

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED OR COMPACTED PLANTING AREAS:

- IF UNDISTURBED RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

SEEDING NOTES

SEED MIX 'A': NATIVE SEED TO BE EL PASO COUNTY LOW GROW MIX. REFER TO CHART. SEED TO BE APPLIED AT 4LBS/1,000 SF USING DRILL SEED PROCESS OR HYDRO-SEED PROCESS MINIMUM OR PER EL PASO GUIDELINES. SOIL SHALL BE AMENDED BREW-GRO BIOCOMP CLASS 1 (OR CITY APPROVED EQUAL) AT 2 C.Y./1000 SF TILLED INTO TOP 4-6" OF SOIL PRIOR TO SEEDING. REFER TO CHART 5-2 FOR IRRIGATED MIX.

DEPENDING ON WEATHER, SEED SHALL BE INSTALLED WITHIN THE FOLLOWING TIME FRAMES: SEPTEMBER 1 UNTIL CONSISTENT GROUND FREEZE FOR SPRING ESTABLISHMENT (DORMANT SEEDING); SPRING THAW UNTIL JUNE 1 FOR SPRING AND SUMMER ESTABLISHMENT (ACTIVE SEEDING).

FOR HYDRO-SEEDING ALL SEEDED AREAS SHALL RECEIVE NOT LESS THAN 1 TON PER ACRE (2000 LBS) OF VIRGIN WOOD CELLULOSE HYDRO-MULCH AND 100 LBS PER ACRE OF ORGANIC TACKIFIER.

SEEDED LANDSCAPE AREAS SHALL HAVE NO BARE AREAS LARGER THAN SIX (6) SQUARE INCHES 15 DAYS AFTER GERMINATION.

DRILL SEEDING: SEEDING EQUIPMENT USED FOR APPLYING SEED MIXTURES SHALL BE DESIGNED, MODIFIED OR EQUIPPED TO REGULATE THE APPLICATION RATE AND PLANTING DEPTH OF THE SEED MIXTURE. SEED SHALL BE UNIFORMLY DISTRIBUTED IN THE DRILL HOPPER DURING THE DRILLING OPERATION. A RANGELAND DRILL CAPABLE OF MIXING DIFFERENT SIZES AND WEIGHTS OF SEEDS SHALL BE USED. THE DRILL SHALL BE EQUIPPED WITH DOUBLE DISK FURROW OPENERS, DEPTH BANDS, PRESS WHEELS OR DRAG CHAINS.

THE SEED SHALL BE DRILLED APPROXIMATELY 1/2" INCH BELOW THE SOIL SURFACE. HALF OF THE TOTAL RATE OF SEED APPLICATION SHALL BE DRILLED IN 1 DIRECTION, WITH THE REMAINDER OF THE SEED RATE DRILLED AT 90 DEGREES FROM THE FIRST DIRECTION. DO NOT DRILL OR SOW SEED DURING HIGH WINDS OR WHEN THE GROUND IS FROZEN OR OTHERWISE UNABLE TO BE WORKED.

ALL SEEDED AREAS LESS THAN 3:1 SHALL RECEIVE NO LESS THAN 2 TONS PER ACRE (400 LBS) OF CERTIFIED WEED FREE STRAW MULCH. STRAW MULCH SHALL BE APPLIED IN A UNIFORM MANNER BY MULCH SPREADER OR BY HAND. STRAW MULCH SHALL BE CRIMPED OR ANCHORED INTO THE SEEDBED IMMEDIATELY FOLLOWING SPREADING BY USING A MULCH TILLER (CRIMPER). MULCH TILLERS SHALL HAVE ROUND, NOTCHED-BLADES SPACED 8-INCHES APART (MIN.) AND SHALL HAVE SUFFICIENT WEIGHT TO FORCE THE VEGETATIVE MULCH A MINIMUM DEPTH OF 3-INCHES INTO THE SOIL. ALL MULCH TILLING SHALL BE DONE PERPENDICULAR TO THE FLOW-LINE OF THE SLOPE (ALONG CONTOURS). HAND CRIMPING SHALL BE PERFORMED ON AREAS WHERE MECHANICAL METHODS CANNOT BE USED.

MULCH SHALL BE APPLIED TO SEEDED AREAS (INCLUDING DAMP GROUND) WITHIN 24 HOURS FOLLOWING THE COMPLETION OF SEEDING OPERATIONS FOR THE AREA. MULCHING SHALL NOT BE PERFORMED DURING ADVERSE WEATHER CONDITIONS OR WHEN WIND PREVENTS UNIFORM DISTRIBUTION. APPLICATION SHALL BE IN A MANNER TO NOT SERIOUSLY DISTURB THE SEEDBED SURFACE.

NATIVE GRASS MANAGEMENT NOTE

ON-GOING MAINTENANCE RECOMMENDATIONS FOR NATIVE GRASS

WELL ESTABLISHED SEEDED LAWN SHALL BE A HEALTHY, WELL-ROOTED, EVEN-COLORED, AND FREE OF WEEDS, BARE AREAS, AND SURFACE IRREGULARITIES.

THE MATURE HEIGHT OF NATIVE GRASS IS EXPECTED TO BE MAINTAINED AT ABOUT 6" HIGH AND MOWED TO 3" ONCE ANNUALLY IN THE LATE WINTER OR EARLY SPRING, AND IRRIGATED ON REDUCED WATER SCHEDULE.

THE SUCCESS OF PERMANENT NATIVE GRASS SEEDING CAN RARELY BE EVALUATED ACCURATELY PRIOR TO THE END OF ITS SECOND FULL GROWING SEASON. SEEDING SUCCESS DEPENDS UPON CONTROL OF WEED COMPETITION DURING THE FIRST TWO GROWING SEASONS. IN ADDITION, THE SITE SHOULD BE MONITORED ANNUALLY FOR UNDESIRABLE PLANT SPECIES.

THE SITE SHOULD BE MONITORED FOR UNDESIRABLE PLANT SPECIES. IF WEED CONTROL NEEDS TO BE PERFORMED DURING THE FIRST YEAR OF PLANT GROWTH, UTILIZE ONE OF TWO METHODS. REGARDLESS OF WHICH METHOD OF WEED CONTROL IS USED, COMPLETE BEFORE FLOWERING OF WEED SEED HEADS. SINCE WEED SPECIES MAY DEVELOP MATURE SEED HEADS AT DIFFERENT TIME OF THE GROWING SEASON, WEED CONTROL EFFORTS WILL BE REQUIRED.

- HAND PULL NOXIOUS WEEDS, REMOVING AS MUCH OF THE ROOT SYSTEM AS POSSIBLE.
- USE WEED EATERS TO SELECTIVELY CUT OFF THE SEED HEADS OF NOXIOUS WEEDS. USE SELECTIVE BROADLEAF HERBICIDE SUCH AS 2-4-D WITH A BACKPACK SPRAYER OR WICK APPLICATOR. BE CAREFUL NOT TO APPLY HERBICIDE ON MORE THAN ONE SQUARE FOOT IN ANY GIVEN AREA. CONTRACTOR TO NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE OF ANY SUSPECTED SOIL PROBLEMS AT THE END OF THE FIRST GROWING SEASON. BROADBAND APPLICATIONS OF HERBICIDE CAN BE COMPLETED AFTER NATIVE GRASS SPECIES REACH MATURE HEIGHT.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ON-GOING MAINTENANCE OF ALL COMPLETED LANDSCAPE AND IRRIGATION WORK AS DEFINED UNDER CONTRACT WITH OWNER.

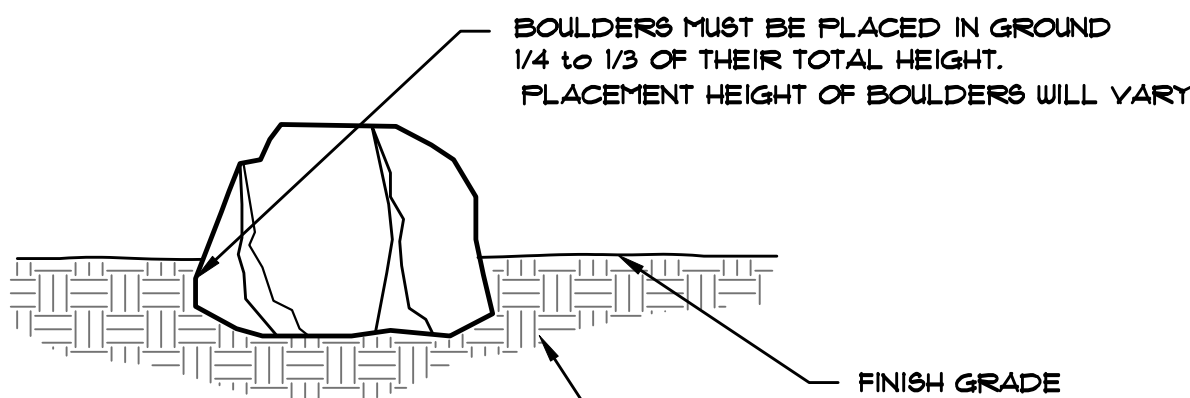
BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING. REGARDING, REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. REMULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR SEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER, CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL, GRASSES AND IRRIGATION SYSTEM. REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

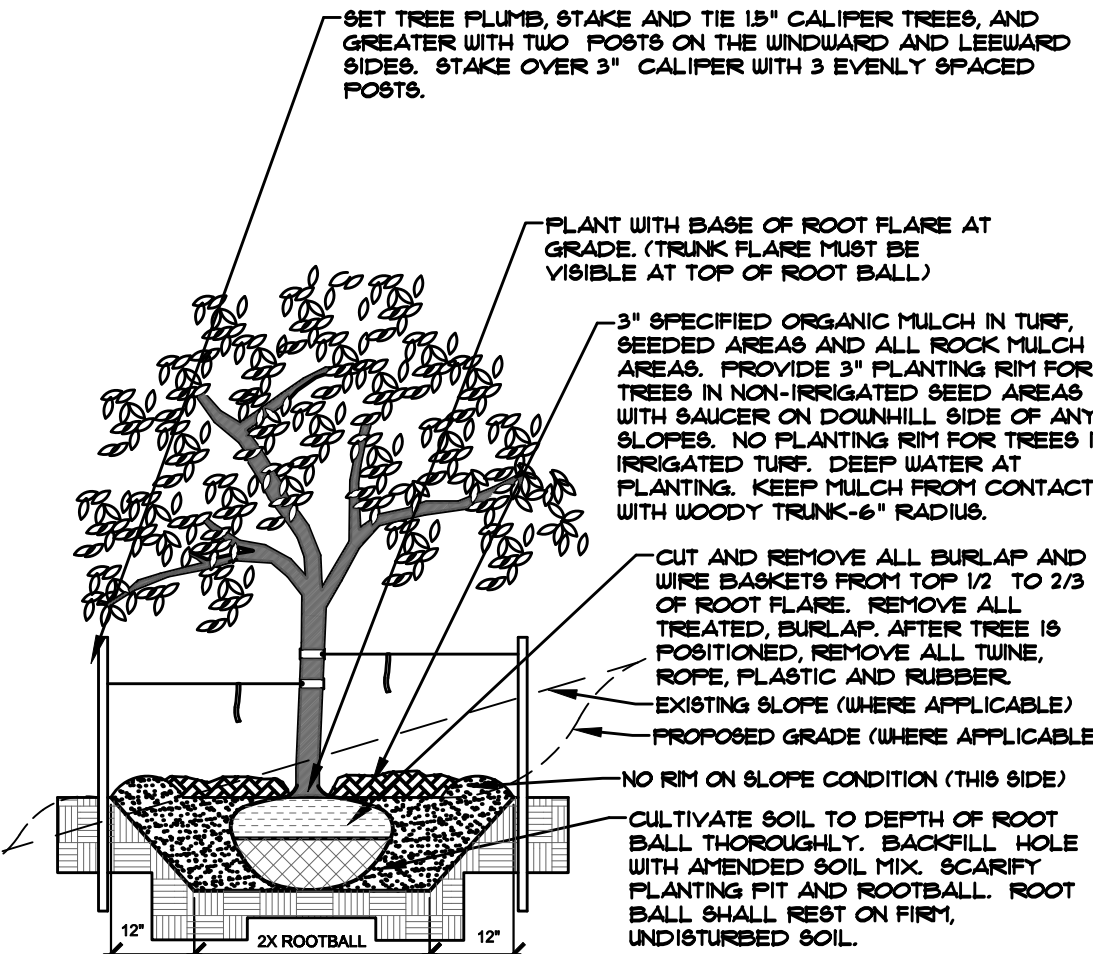
THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.



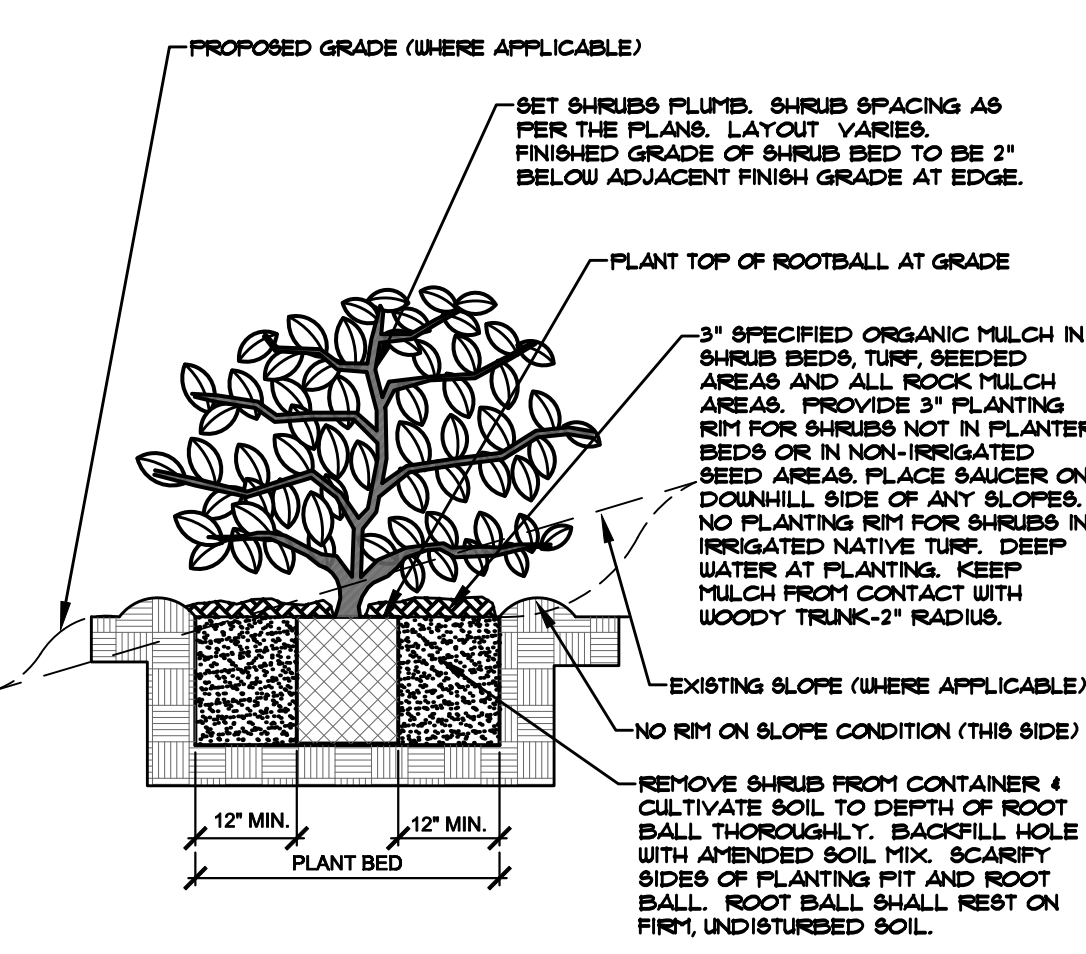
ACCENT BOULDER SECTION

NOT TO SCALE

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEADER.
 - PRUNE ONLY DEAD, BROKEN, CROSSING, OR WEAK BRANCHES (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
 - NO STRUCTURAL PRUNING OF TREE UNTIL AFTER ESTABLISHMENT PERIOD (2 GROWING SEASONS).
 - REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNER'S REPRESENTATIVE.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING, AVOID FALL PLANTING IF POSSIBLE.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - WRAP TRUNK ON EXPOSED SITES OR SPECIES WITH THIN BARK. USE ELECTRICAL TAPE, NOT TWINE.
 - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
 - COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT & DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - AMENDED BACK FILL SHALL BE 70% SOIL FROM PLANTING PIT AND 30% ORGANIC MATERIAL.
 - FOR ROOT BIND AT BOTTOM OF BALL, SPLIT ROOT BALL VERTICALLY FROM BOTTOM HALFWAY TO TOP. SPREAD THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
 - FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1\"/>



SEED MIX 'A'

Chapter 5
Native Vegetation Requirements and Guidelines

Table 5-2. El Paso County All-Purpose Low Grow Mix for Upland and Transition Areas

Common Name	Scientific Name	Growth Season / Form	% of Mix	Pounds PLS		
				• Irrigated broadcast • Irrigated hydroseeded	• Non-irrigated broadcast • Non-irrigated hydroseeded • Irrigated drilled	• Non-irrigated drilled
Buffalograss	<i>Buchloe dactyloides</i>	Warm, sod	25	80 seeds/sq ft	40 seeds/sq ft	20 seeds/sq ft
Gramma, blue	<i>Bouteloua gracilis</i>	Warm, bunch	20		5.4	2.7
Gramma, sideoats	<i>Bouteloua curtipendula</i>	Warm, bunch	29	5.6	2.8	1.4
Green needlegrass	<i>Nassella viridula</i>	Cool, bunch	5	3.2	1.6	0.8
Wheatgrass, western	<i>Pascopyrum smithii</i>	Cool, sod	20	12	6	3
Dropseed, sand	<i>Sporobolus cryptandrus</i>	Warm, bunch	1	0.8	0.4	0.2
Seed rate (lbs PLS/acre)				42	21	10.3



Know what's below.
Call before you dig.

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. TREE TRUNK PLACEMENT SHALL BE 6" MINIMUM DISTANCE FROM ANY GAS OR ELECTRIC AND 10' FROM GAS MAINS RATED AT 150PSI. FOR SANITARY SEWER AND WATER MAINLINES TREES SHALL NOT BE LOCATED WITHIN EASEMENTS AND WITHIN 15' OF ANY MAINLINE. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES SHOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANTING. ALL ELECTRICAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER COUNTY UTILITIES GUIDELINES 'LANDSCAPING AROUND ELECTRICAL EQUIPMENT'. SEE COUNTY UTILITIES CONSTRUCTION STANDARD DRAWINGS CLEARANCE REQUIREMENTS. ALL SHRUBS TO BE LOCATED 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE.

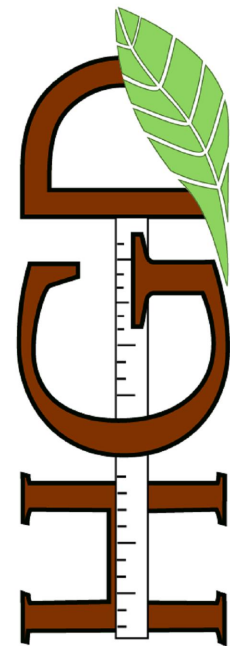
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LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

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EL PASO COUNTY, CO

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JOB NUMBER
1308-26

REVISIONS

ORIGINAL DATE
1-20-26

DRAWN BY
JM

DESCRIPTION
LANDSCAPE
PLAN

SHEET NO.

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