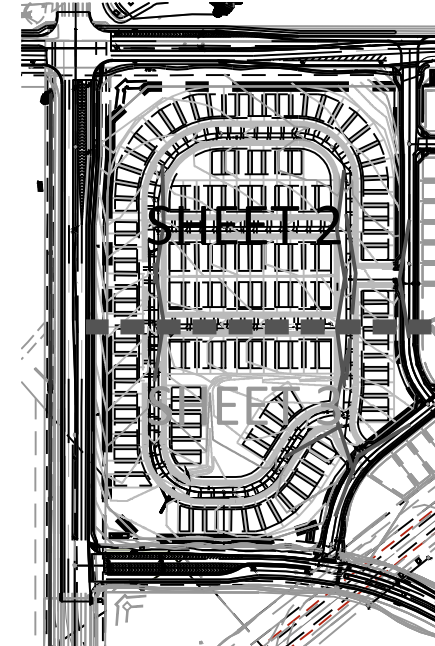






N.E.S. Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903  
 Tel. 719.471.0073  
 Fax 719.471.0267  
 www.nescolorado.com  
 © 2012. All Rights Reserved.

SHEET KEY MAP



LINE TYPE LEGEND

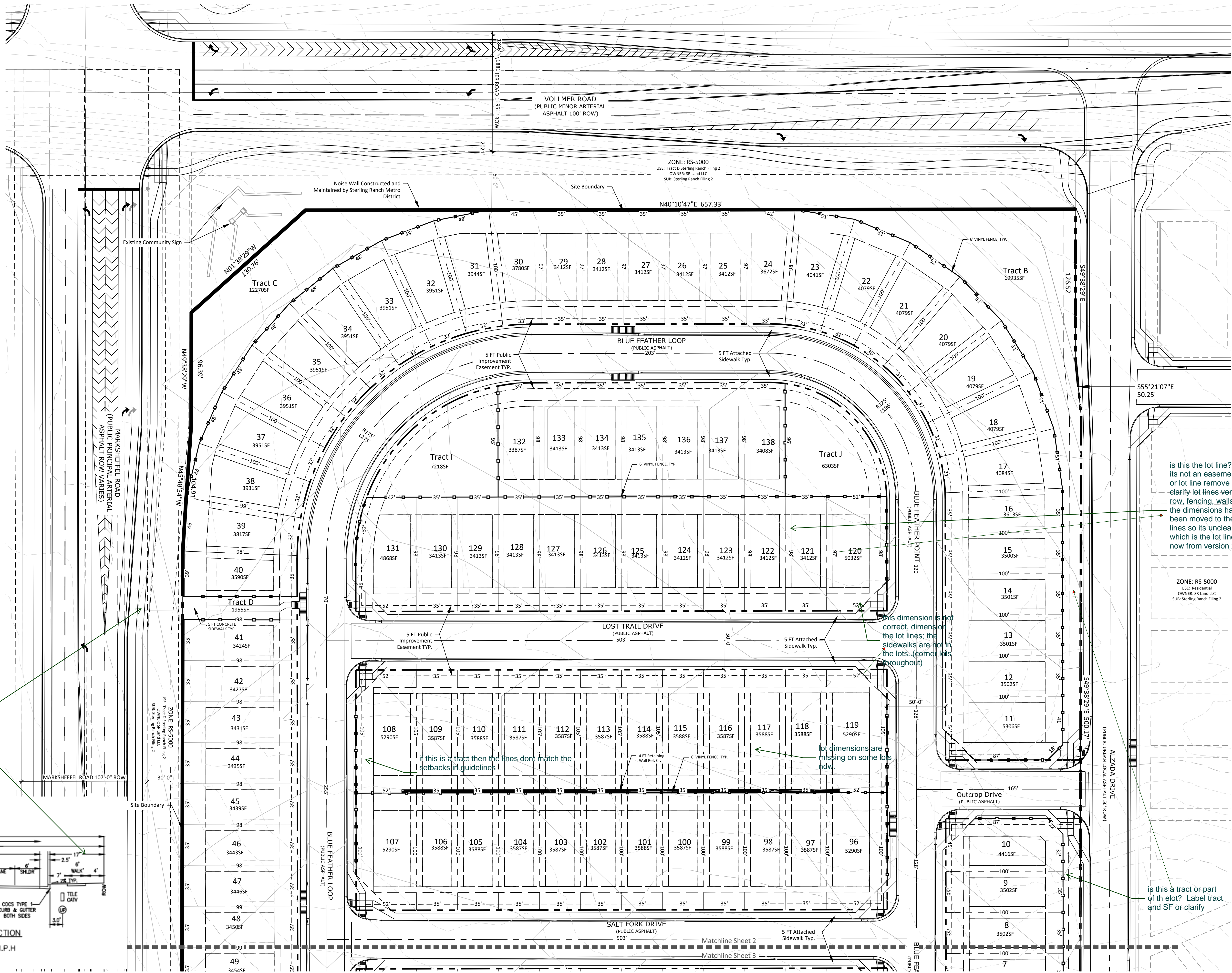
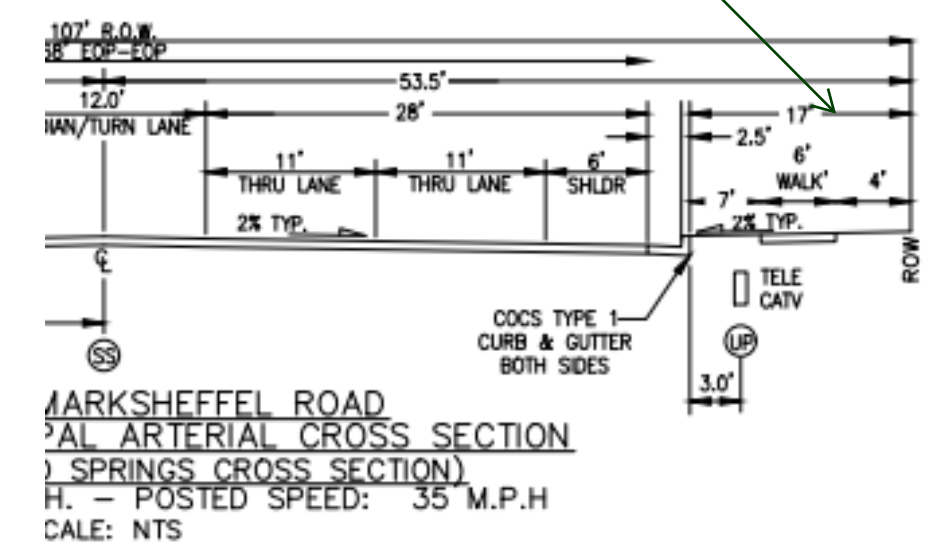
- 6" CONCRETE BLOCK NOISE WALL
- 6" VINYL FENCE (TYP)
- BUILDING SETBACK
- MVEA EASEMENT
- PRIVATE UTILITY EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR

Label the elevations for proposed and existing contours.

asa general note lot lines are very hard to determine

verify there is not a trail adj to Marksheffel- final design was approved for Marksheffel, and i thought it had a pedestrian way.

walkway per crosssection



is this the lot line? if its not an easement or lot line remove it to clarify lot lines verses row, fencing, walls- the dimensions have been moved to these lines so its unclear which is the lot line now from version 2-i

This dimension is not correct, dimension the lot lines, the sidewalks are not in the lots. (corner lots throughout)

if this is a tract then the lines dont match the setbacks in guidelines

lot dimensions are missing on some lots

is this a tract or part of th elot? Label tract and SF or clarify

Copper Chase at Sterling Ranch

8335 Vollmer Road

ZONE: RS-5000  
 USE: Residential  
 OWNER: SR Land LLC  
 SUB: Sterling Ranch Filing 2

DATE: 03.25.2022  
 PROJECT MGR: B. Swenson  
 PREPARED BY: B. Halsten

Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT  
 05.12.2023 J.S./A.L. PER COUNTY COMMENT

PUD Site Plan

2

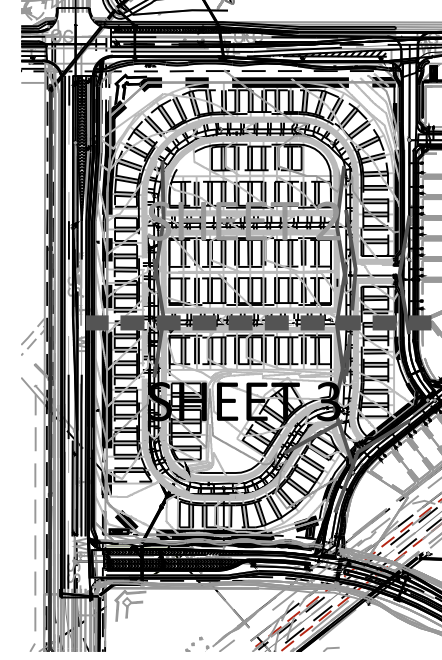
2 OF 10

PUDSP 22-002

attached sidewalk disappeared from review 2

ped ramps at corners disappeared from review 2

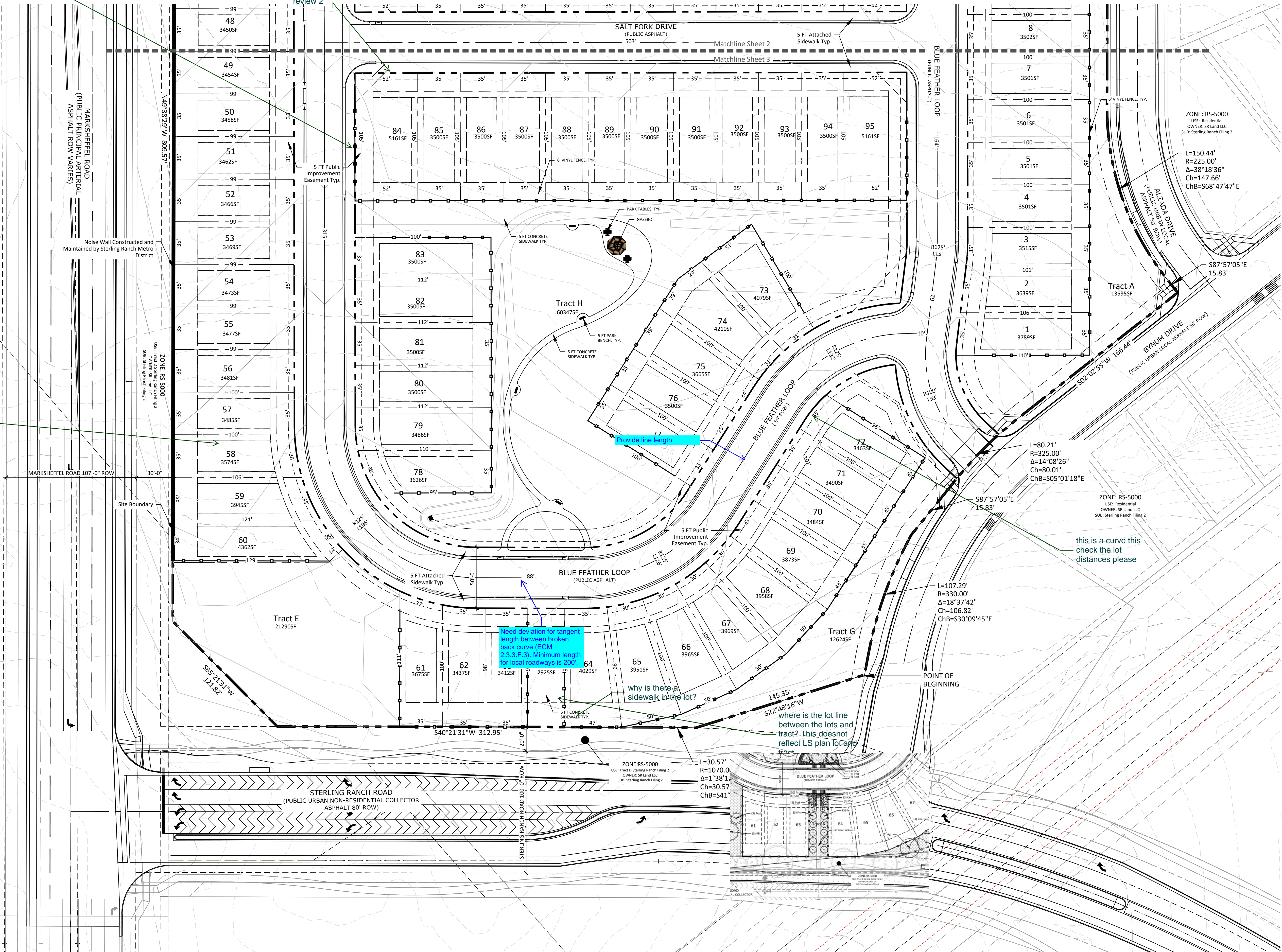
SHEET KEY MAP



LINE TYPE LEGEND

- 6" CONCRETE BLOCK NOISE WALL
- 6" VINYL FENCE (TYP)
- BUILDING SETBACK
- MVEA EASEMENT
- PRIVATE UTILITY EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR

what is this line?



N.E.S. Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903  
 Tel. 719.471.0073  
 Fax 719.471.0267  
 www.nescolorado.com  
 © 2012. All Rights Reserved.

Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022  
 PROJECT MGR: B. Swenson  
 PREPARED BY: B. Halsten

Entitlement

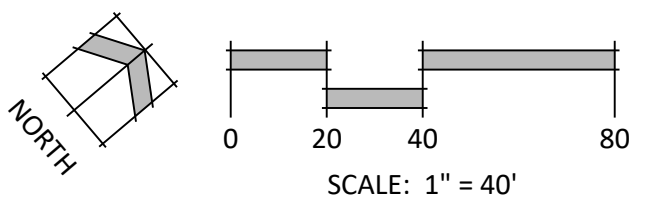
DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT
05.12.2023	J.S./A.L.	PER COUNTY COMMENT

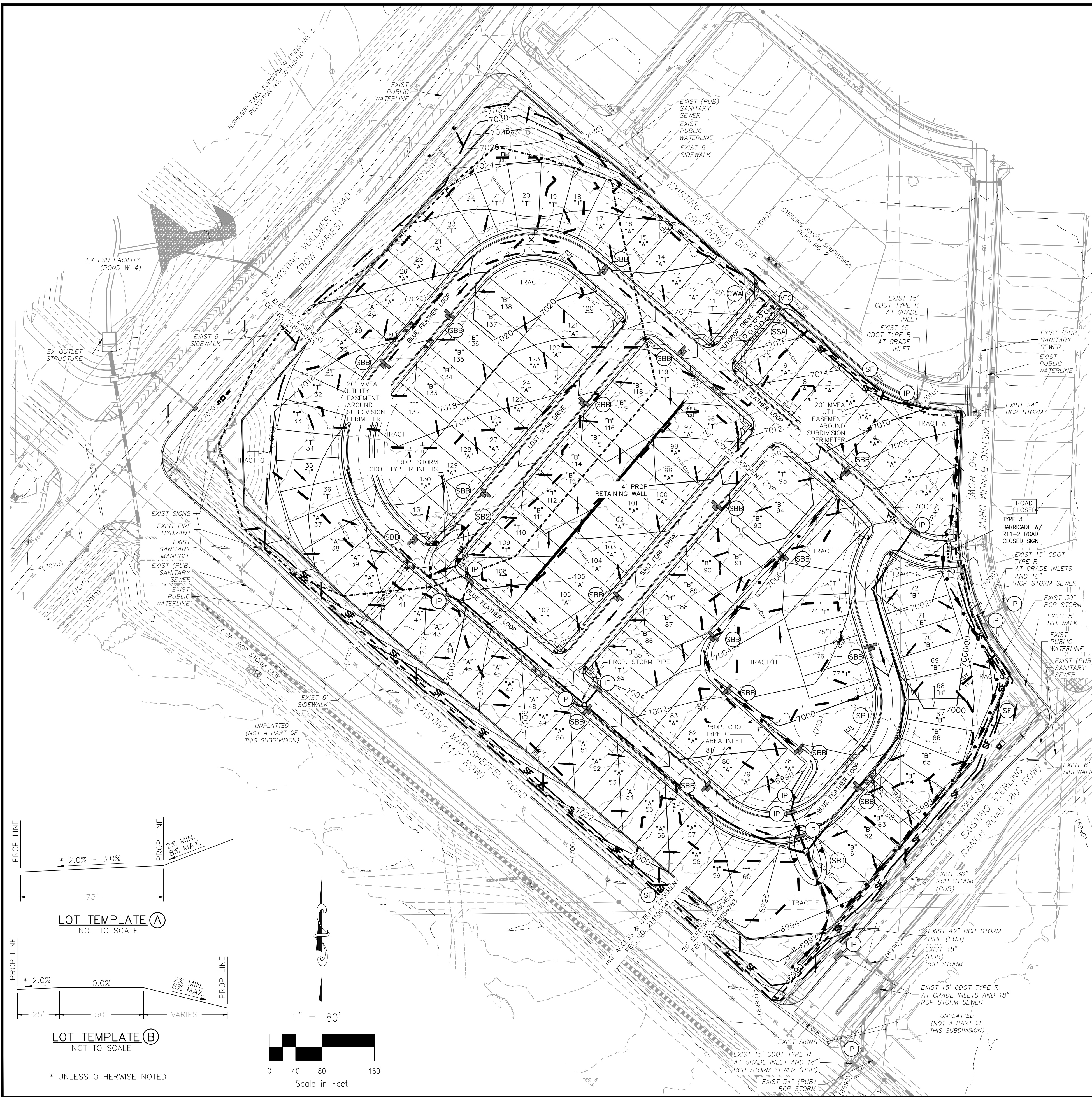
PUD Site Plan

3

3 OF 10

PUDSP 22-002





**LEGEND**

- SITE BOUNDARY
- PROP MAJ CONT
- PROP MIN CONT
- EXIST MAJ CONT
- EXIST MIN CONT
- PROP STORM SEWER PIPE
- EXISTING STORM SEWER PIPE
- SF — SF
- SBB
- VTC
- SB
- IP
- CWA
- SP
- SSA
- CUT/FILL LINE
- LIMITS OF DISTURBANCE/CONSTRUCTION
- TEMPORARY DRAINAGE SWALE
- ADJACENT PROPERTY BOUNDARY
- SEDIMENT BASIN TRIBUTARY AREA
- PROPOSED PRIVATE UTILITY EASEMENT
- \*PROPOSED MVEA EASEMENT
- LOT LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING SIGN
- EXISTING WATER VALVE
- PROPOSED INLET
- EXISTING FLOW DIRECTION ARROW
- PROPOSED FLOW DIRECTION ARROW
- FLARED END SECTION
- H.P.
- X.P.
- L.P.
- "A"
- "B"
- T
- 9

**SEDIMENT BASIN TABLE:**

SEDIMENT BASIN NO.	UPSTREAM DRAINAGE AREA AC.	BASIN WIDTH FT.	BASIN LENGTH FT.	ANTIC. WATER HT. FT.	REQ'D VOLUME C.F.	SPILLWAY LENGTH FT.	HOLE DIA. IN.	ROWS OF HOLES IN STANDPIPE
SB1	12	47.25	94.5	3	13,396	11	25/32	1
SB2	7	64	128	3	24,576	18	1	1

**ADDITIONAL NOTES:**

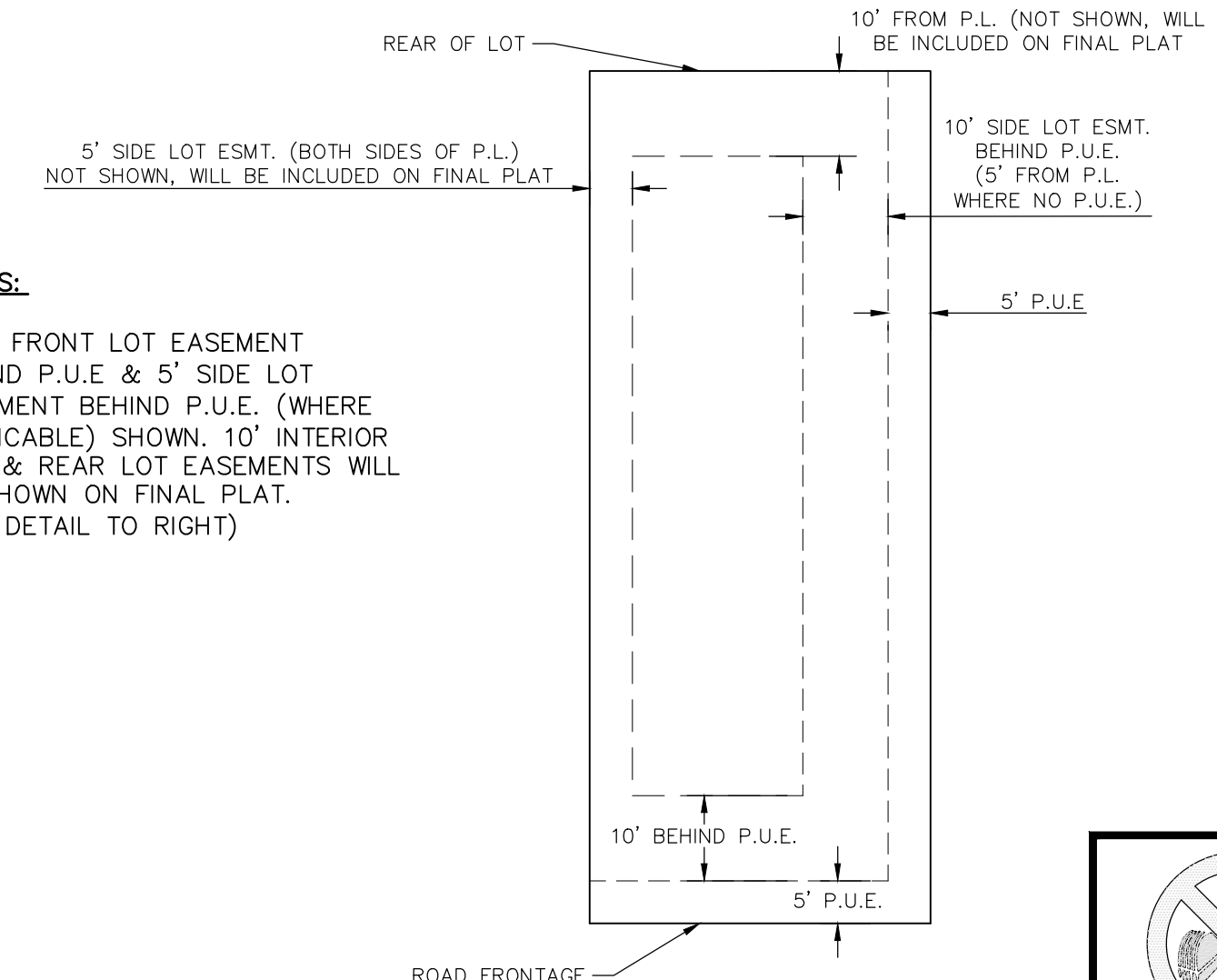
1. STAGING AREA TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.
2. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEERING REPORT AND KEEP A COPY ONSITE DURING ALL EARTHWORK OPERATIONS.
4. THE CONTRACTOR SHALL PROVIDE SUFFICIENT BUFFER BETWEEN THE LIMITS OF DISTURBANCE AND AREAS IN WHICH NO GRADING SHALL OCCUR TO MAKE SUFFICIENT TIE IN BETWEEN THE PROPOSED GRADE AND EXISTING GRADE WHICH MAY NOT BE CLEARLY ILLUSTRATED ON THIS PLAN.
5. EXISTING VEGETATION CONSISTS OF SPARSE NATIVE GRASSES AND SHRUBS. A VISUAL, POST CONSTRUCTION COMPARISON CAN BE PERFORMED WITH ADJACENT, UNDEVELOPED LAND.

**NARRATIVE NOTES:**

1. LOCATION OF STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. ALL STOCKPILES SHALL REMAIN WITHIN THE CONSTRUCTION BOUNDARIES AS INDICATED ON THE SITE MAP.
2. THE EXACT LOCATION FOR THE STABILIZED STAGING AREA, STORAGE EQUIPMENT AND TEMPORARY DISPOSAL AREAS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. PLAN SHALL BE UPDATED BY CONTRACTOR UPON DETERMINATION OF EXACT LOCATION.
3. FINAL STABILIZATION SHALL BE COMPLETED AT THE END OF THE CONSTRUCTION ACTIVITIES. ALL AREAS DISTURBED WITHIN THE CONSTRUCTION BOUNDARY/LIMITS OF DISTURBANCE AREA SHALL BE RESEEDED WITH NATIVE SEEDING.
4. NO PORTION OF THE PROPOSED COPPER CHASE AT STERLING RANCH SITE LIES WITH A FEMA EFFECTIVE 100-YR FLOODPLAIN.
5. EROSION CONTROL BLANKET SHALL BE USED ON SLOPES GREATER THAN 4:1.

**NOTES:**

\* 10' FRONT LOT EASEMENT BEHIND P.U.E & 5' SIDE LOT EASEMENT BEHIND P.U.E. (WHERE APPLICABLE) SHOWN. 10' INTERIOR SIDE & REAR LOT EASEMENTS WILL BE SHOWN ON FINAL PLAT. (SEE DETAIL TO RIGHT)



**TYPICAL LOT WITH MVEA EASEMENTS DETAIL**  
(UNLESS OTHERWISE NOTED)



**COPPER CHASE AT STERLING RANCH**  
**GRADING & EROSION CONTROL PLAN**

PROJECT NO. 09-014  
SCALE: HORIZONTAL: N/A  
DESIGNED BY: CWW  
DRAWN BY: CWW  
CHECKED BY: VAS

DATE: 05/12/2023  
SHEET 2 OF 6  
GR02

212 N WASHCATCH AVE, STE 305  
COLORADO SPRINGS, CO 80903  
PHONE: 719.555.5485

**CIVIL CONSULTANTS, INC.**

FOR AND ON BEHALF OF  
MRS. CIVIL CONSULTANTS, INC.

MIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

REVISIONS:

NO.	DATE:	BY:	DESCRIPTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

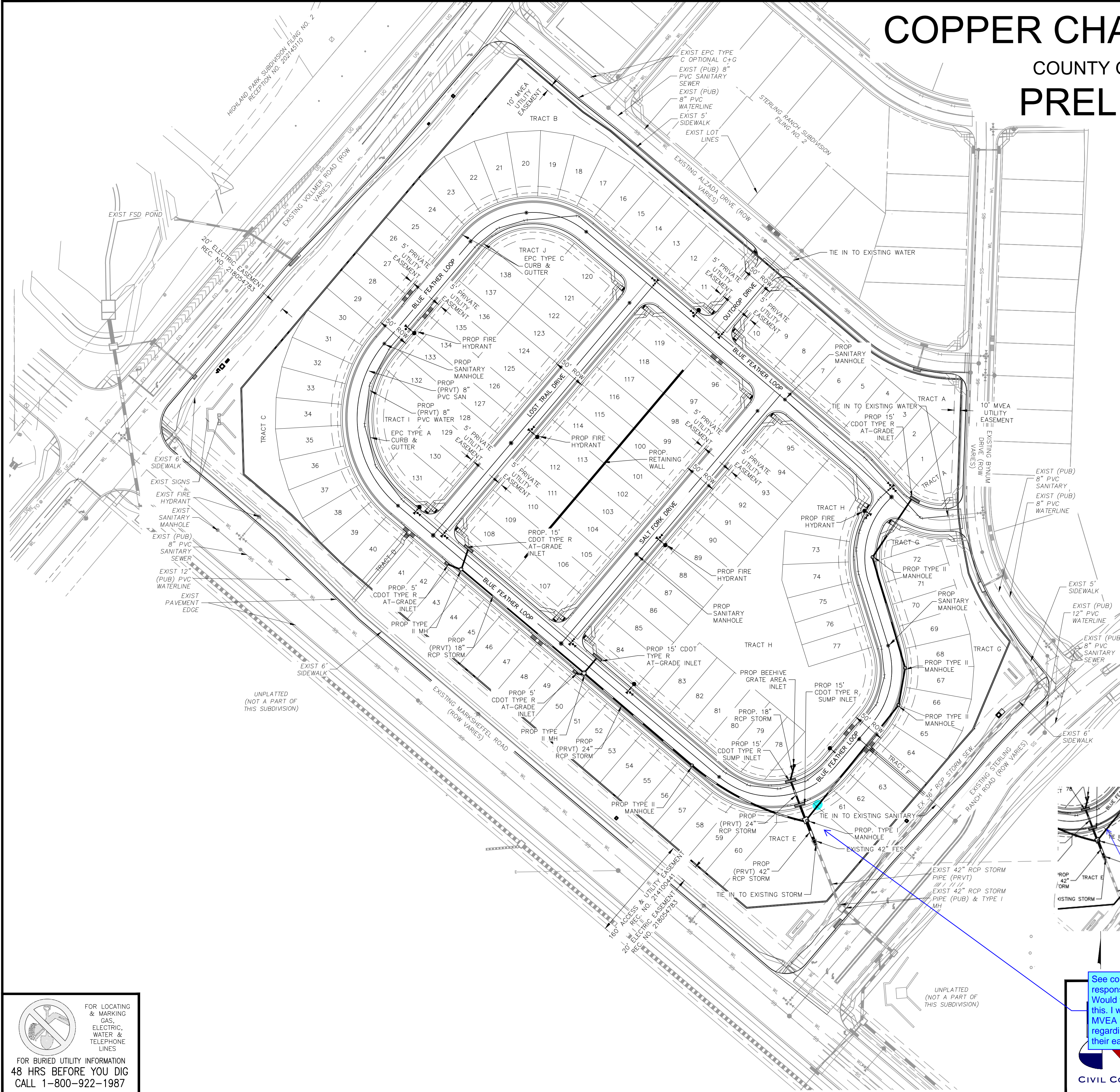
**CAUTION**

# COPPER CHASE AT STERLING RANCH

## COUNTY OF EL PASO, STATE OF COLORADO

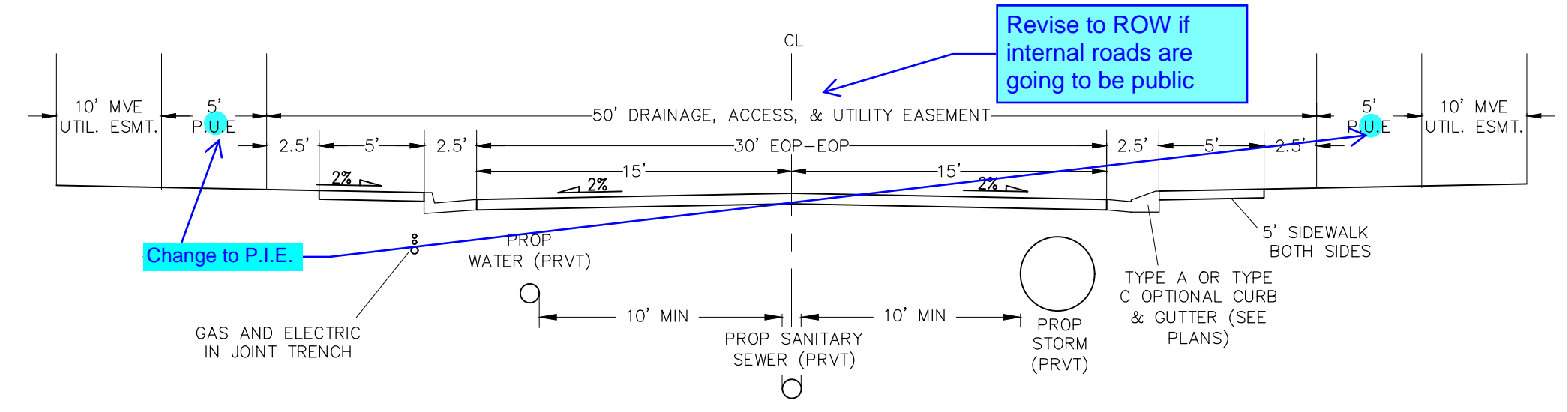
### PRELIMINARY UTILITIES

MAY 2023



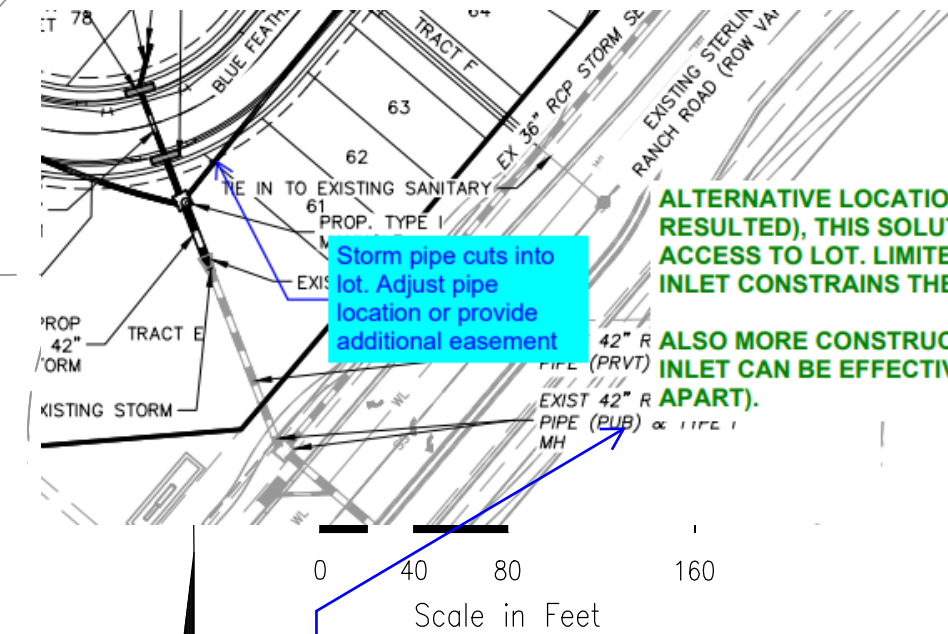
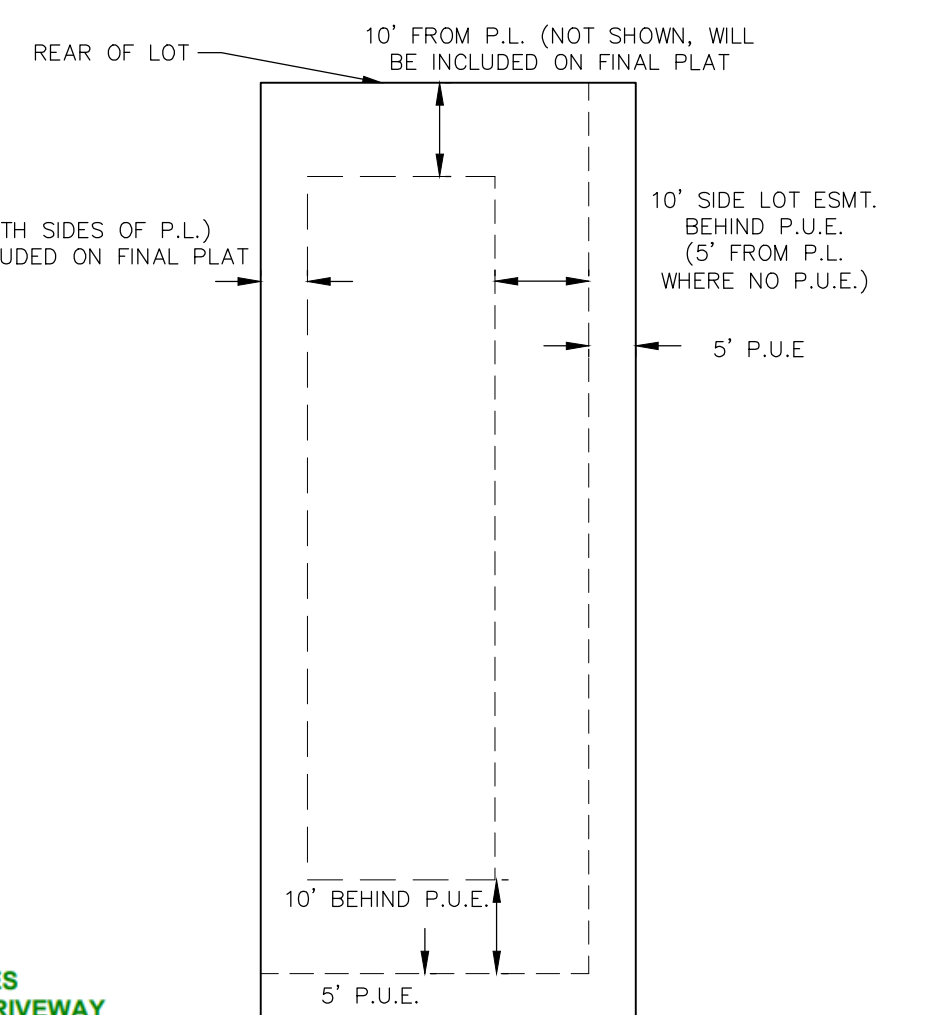
**LEGEND**

	PROP STORM SEWER PIPE		EX. WATER VALVE
	PRIVATE UTILITY EASEMENT		CROSSSPAN
	*PROPOSED MVE EASEMENT		PROPOSED INLET
	PROPOSED LOT LINE		EXISTING INLET
	SITE BOUNDARY		EXISTING SANITARY MH
	EXISTING SANITARY		EXISTING FIRE HYDRANT
	EXISTING WATER		PROPOSED SANITARY MH
	PROP 8" PVC SANITARY		FLARED END SECTION
	PROP 8" PVC WATER		PROPOSED WATER BEND
	EXISTING STORM SEWER PIPE		PROPOSED FIRE HYDRANT
	EXISTING FIRE HYDRANT		PROPOSED WATER VALVE
	EXISTING SANITARY MANHOLE		EXISTING SIGN



Update cross section details. Revised TIS and PUD plan show roads being public now.

**NOTES:**  
 \* 10' FRONT LOT EASEMENT BEHIND P.U.E. & 5' SIDE LOT EASEMENT BEHIND P.U.E. (WHERE APPLICABLE) SHOWN. 10' INTERIOR SIDE & REAR LOT EASEMENTS WILL BE SHOWN ON FINAL PLAT. (SEE DETAIL TO RIGHT)



See comment response from MS. Would we resolve this. I will look for MVEA responses regarding cutting into their easements.

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

FOR BURIED UTILITY INFORMATION  
 48 HRS BEFORE YOU DIG  
 CALL 1-800-922-1987

212 N. WAHSATCH AVE., STE 305  
 COLORADO SPRINGS, CO 80903  
 PHONE: 719.955.5485

**CIVIL CONSULTANTS, INC.**

COPPER CHASE AT STERLING RANCH  
 PRELIMINARY UTILITIES

PROJECT NO. 09-014	SCALE: HORIZONTAL: 1"=80'	DATE: 05/12/2023
DESIGNED BY: CWV	CHECKED BY: VAS	SHEET 1 OF 1
		PU01

File: C:\09014A\Challenger\_PUD\Dev Plan\Preliminary Utilities (09-014\_PU01.dwg) Plotstamp: 5/12/2023 9:12 AM

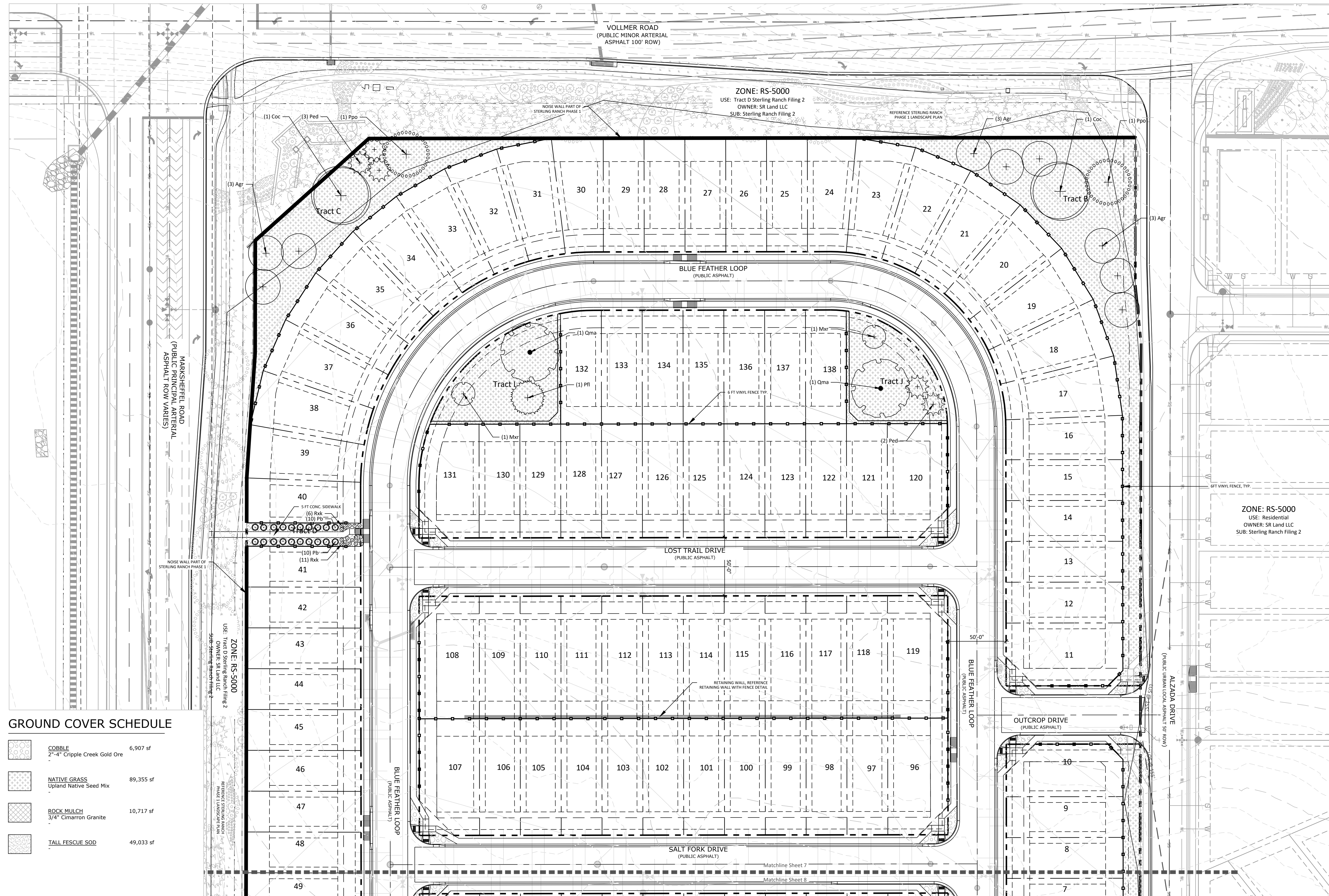


# COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST,  
AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

## PUD DEVELOPMENT/PRELIMINARY PLAN



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
© 2012. All Rights Reserved.

### Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022  
PROJECT MGR: B. Swenson  
PREPARED BY: J. Smith

### Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT  
05.12.2023 J.S./A.L. PER COUNTY COMMENT

### Landscape Plan

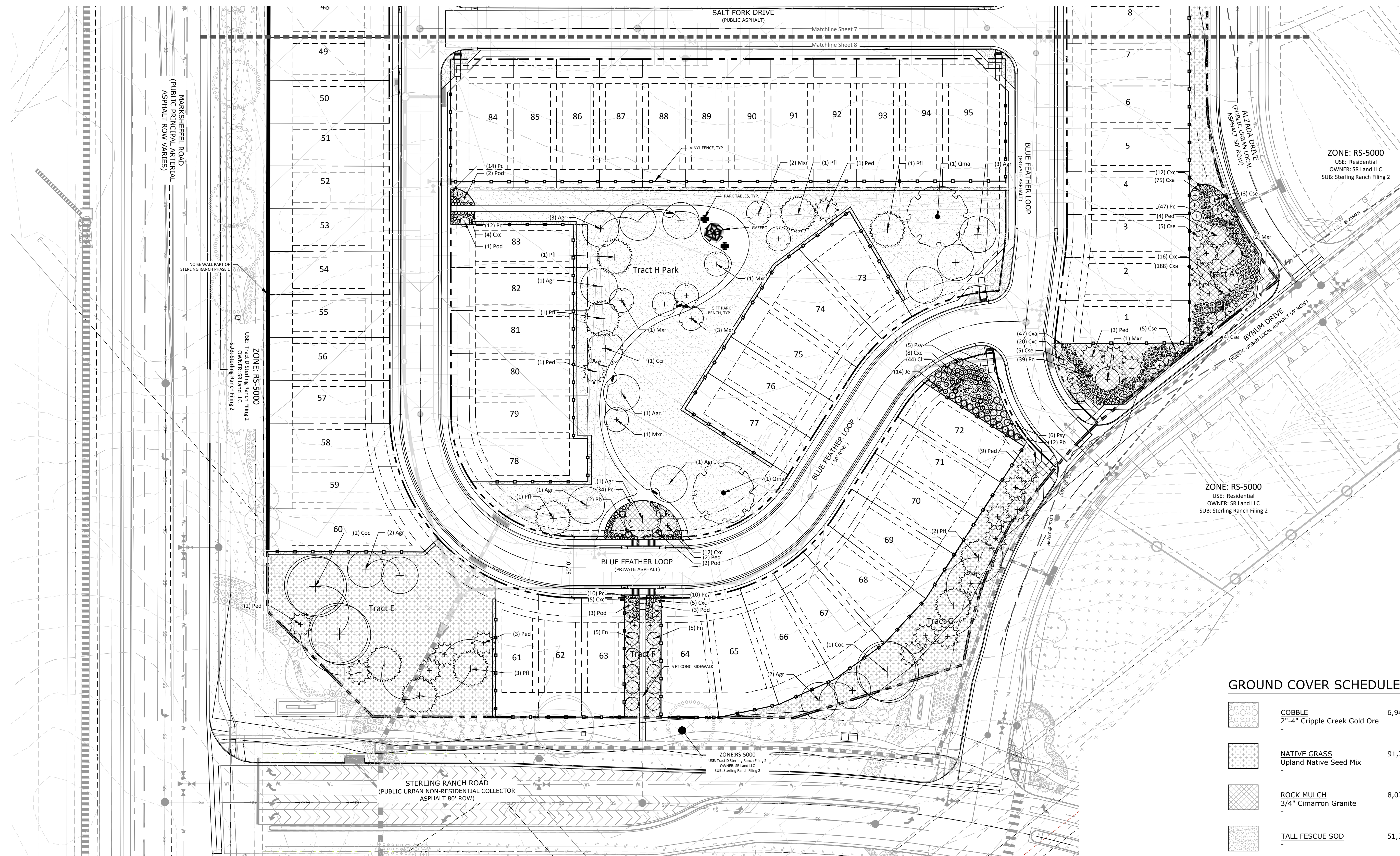
7  
7 OF 10  
PUDSP 22-002

P:\Challenges\Copper Chase at Sterling Ranch\Drawings\Planning\Final\Copper Chase PUP.dwg [LS:7] 5/15/2023 11:37:16 PM Jennifer Shagin

# COPPER CHASE AT STERLING RANCH

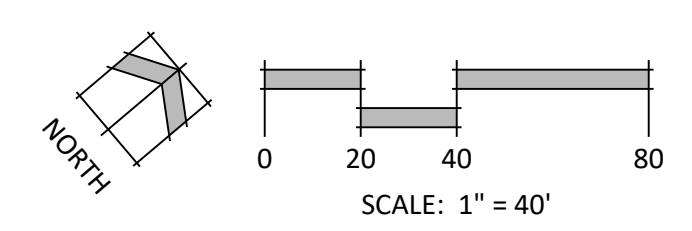
EL PASO COUNTY, COLORADO A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

## PUD DEVELOPMENT/PRELIMINARY PLAN



### GROUND COVER SCHEDULE

	COBBLE 2"-4" Cripple Creek Gold Ore	6,943 sf
	NATIVE GRASS Upland Native Seed Mix	91,331 sf
	ROCK MULCH 3/4" Cimarron Granite	8,034 sf
	TALL FESCUE SOD	51,781 sf



N.E.S. Inc.  
619 N. Cascade Avenue, Suite 200  
Colorado Springs, CO 80903  
Tel. 719.471.0073  
Fax 719.471.0267  
www.nescolorado.com  
© 2012. All Rights Reserved.

### Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022  
PROJECT MGR: B. Swenson  
PREPARED BY: J. Smith

### Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT  
05.12.2023 J.S./A.L. PER COUNTY COMMENT

### Landscape Plan

8  
8 OF 10  
PUDSP 22-002

P:\Challenges\Copper Chase at Sterling Ranch\Drawings\Planning\Final\Land\Copper Chase PUD.dwg [LS:8] 5/15/2023 1:47:15 PM Jennifer Shagin





N.E.S. Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903

Tel. 719.471.0073  
 Fax 719.471.0267

www.nescolorado.com

© 2012. All Rights Reserved.

PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

## Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022  
 PROJECT MGR: B. Swenson  
 PREPARED BY: B. Halsten

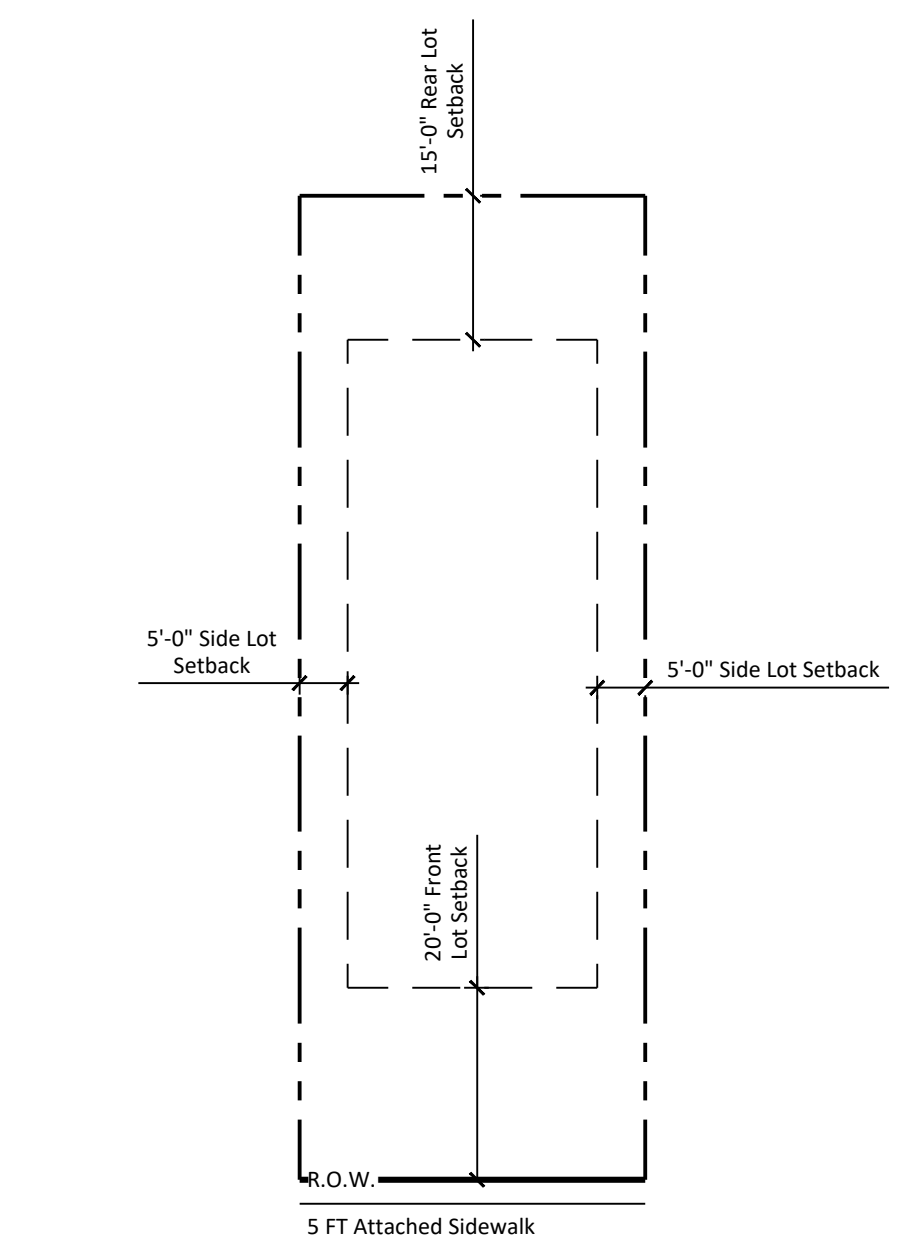
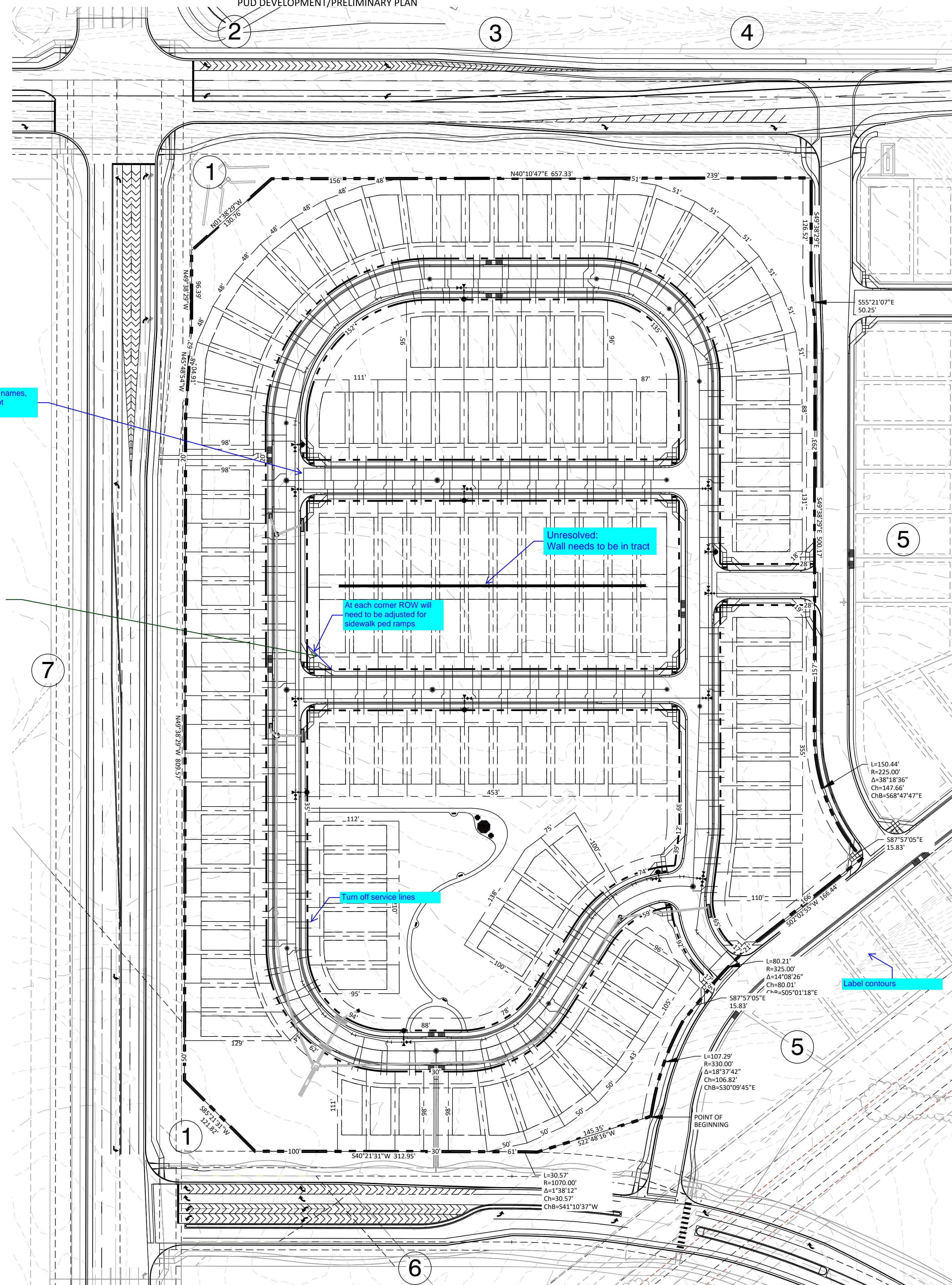
### Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT  
 05.12.2023 J.S./A.L. PER COUNTY COMMENT

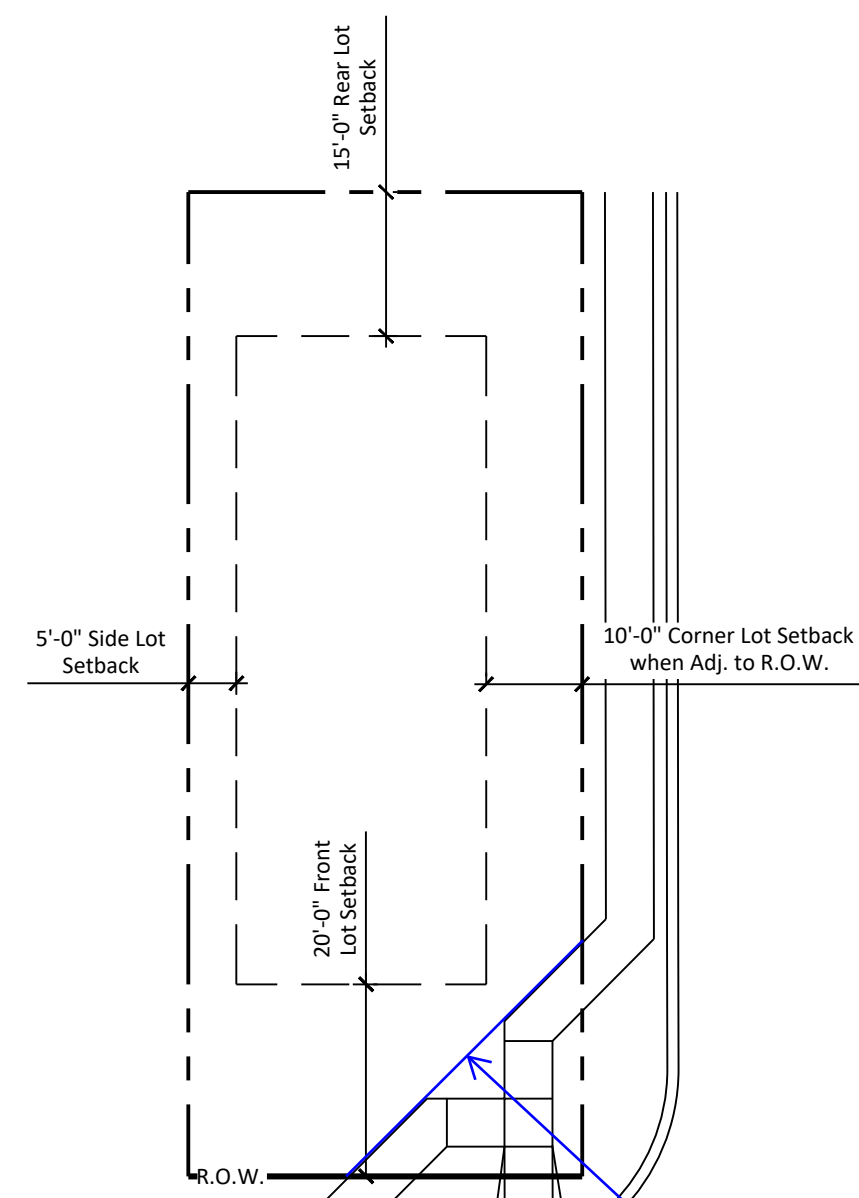
### Tract Exhibit

9 OF 10

PUDSP 22-002



TYPICAL LOT LAYOUT BASED ON MINIMUMS (VARIES)



TYPICAL CORNER LOT LAYOUT ADJACENT TO ROW BASED ON MINIMUMS (VARIES)

Turn on all street names, tract labels and lot numbers

clarify lot lines and dimensions so ramps and sidewalks are outside of lots

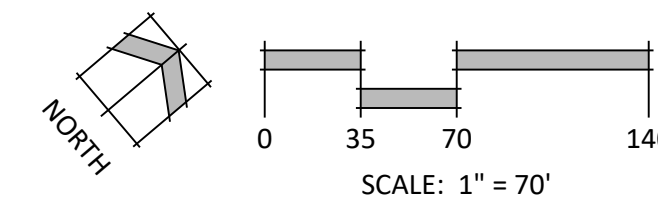
Sidewalk will need to be included in ROW

### TRACT TABLE

Tract	Area (SF)	Area (AC)	Use	Ownership/Maintenance
A	13595	0.31	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
B	19935	0.46	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
C	12270	0.28	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
D	1955	0.04	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
E	21337	0.49	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
F	2925	0.07	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
G	12624	0.29	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
H	60347	1.39	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
I	7218	0.17	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
J	6303	0.14	Landscape, Utilities, Mail Boxes	Sterling Ranch Metro District
Total Tract Area:		3.64		

### ADJACENT OWNERS

	Name	Mailing Address	City, State, Zip
1	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
2	EL PASO COUNTY	200 S CASCADE AVE	COLORADO SPRINGS CO, 80903
3	TYRONE & CECILIA SMITH	6145 PADRE CT	COLORADO SPRINGS, CO 80922
4	ALBINO FLETES & SANDRA FIGUERA REBOLLAR	9225 BEN TIRРАН CT	COLORADO SPRINGS CO, 80908
5	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
6	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
7	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903



Legend:

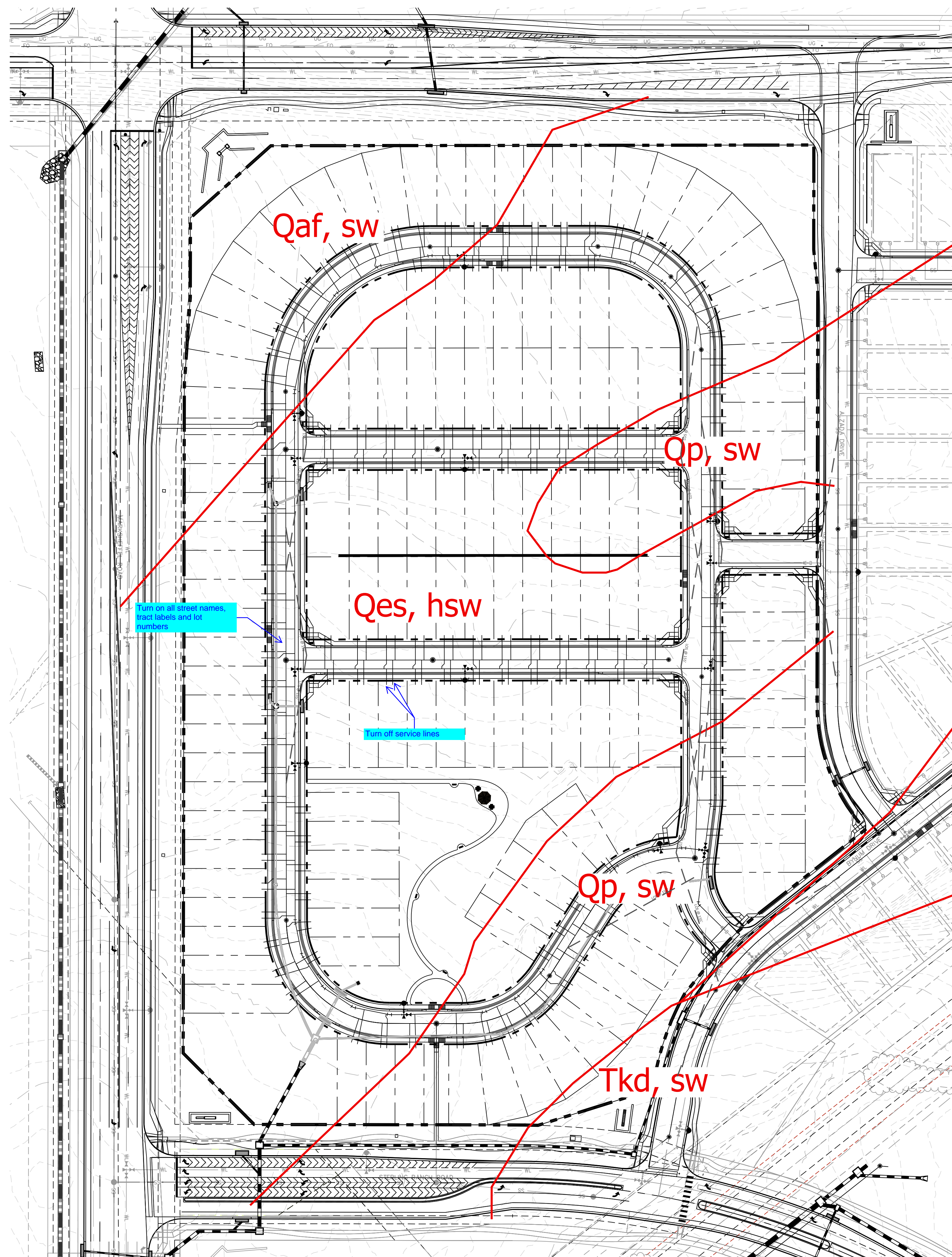
- Qaf - Artificial Fill of Holocene Age:  
Man-made fill deposits
- Qes - Eolian Sand of Quaternary Age:  
wind deposited sands
- Qp - Piney Creek Alluvium of Quaternary Age:  
water deposited sands and clays
- Tkd - Dawson Formation of Tertiary to Cretaceous Age:  
arkosic sandstone with interbedded claystone and siltstone
  
- h - hydrocompaction
- sw - shallow groundwater area

**GEOLOGIC CONSTRAINTS &/OR HAZARD DISCLOSURE STATEMENT**

11. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:  
 - Potential Shallow Groundwater (All Lots)  
 - Artificial Fill (All Lots)  
 - Shallow Bedrock (All Lots)  
 - Potential Expansive Soil (Sporadic)  
 - Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138)  
 In Areas of Expansive Soil:  
 Mitigation of expansive soils will require special foundation design.  
 In Areas of High Groundwater:  
 Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.

**GEOLOGIC CONSTRAINTS NOTES**

1. IF ANY DISCREPANCIES ARE FOUND BETWEEN PLAN AND SAID REPORTS, THE REPORTS SUPERSEDE.
2. ALL BOUNDARIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. THEY ARE BASED UPON A SUBJECTIVE INTERPRETATION OF PUBLISHED MAPS, AERIAL PHOTOGRAPHS AND AN INITIAL FIELD RECONNAISSANCE. CHANGES IN THE MAPPED BOUNDARIES SHOWN ARE POSSIBLE AND SHOULD BE EXPECTED WITH MORE DETAILED WORK AND FURTHER INFORMATION. ALL INTERPRETATIONS AND CONDITIONS SHOWN ARE PRELIMINARY AND FOR LAND-USE PLANNING ONLY.



N.E.S. Inc.  
 619 N. Cascade Avenue, Suite 200  
 Colorado Springs, CO 80903  
 Tel. 719.471.0073  
 Fax 719.471.0267  
 www.nescolorado.com  
 © 2012. All Rights Reserved.

**Copper Chase at Sterling Ranch**

8335 Vollmer Road

DATE: 03.25.2022  
 PROJECT MGR: B. Swenson  
 PREPARED BY: B. Halsten

**Entitlement**

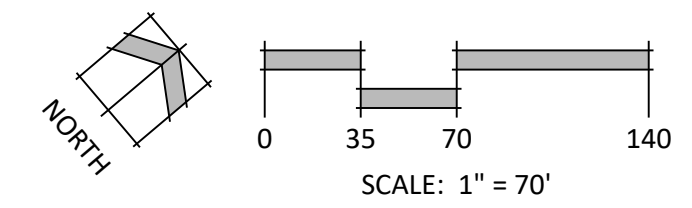
DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT  
 05.12.2023 J.S./A.L. PER COUNTY COMMENT

**Constraints Exhibit**

**10**

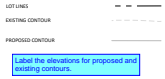
10 OF 10

PUDSP 22-002



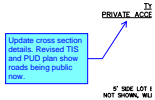
# V3\_PUD Plan.pdf Markup Summary 6-6-2023

Carlos (5)



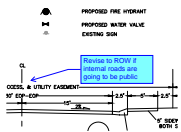
**Subject:** Text Box  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** Carlos  
**Date:** 6/1/2023 10:17:53 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Label the elevations for proposed and existing contours.



**Subject:** Callout  
**Page Label:** PUD UTL REV (002)  
**Author:** Carlos  
**Date:** 6/1/2023 12:49:00 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Update cross section details. Revised TIS and PUD plan show roads being public now.



**Subject:** Callout  
**Page Label:** PUD UTL REV (002)  
**Author:** Carlos  
**Date:** 6/1/2023 10:49:26 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Revise to ROW if internal roads are going to be public



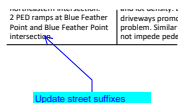
**Subject:** Image  
**Page Label:** PUD UTL REV (002)  
**Author:** Carlos  
**Date:** 6/1/2023 10:55:24 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** PUD UTL REV (002)  
**Author:** Carlos  
**Date:** 6/1/2023 10:56:34 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

See comment response from MS. Would we resolve this. I will look for MVEA responses regarding cutting into their easements.

CDurham (14)



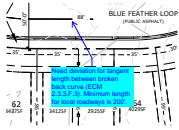
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** CDurham  
**Date:** 6/1/2023 12:43:32 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Update street suffixes



**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** CDurham  
**Date:** 6/1/2023 12:45:19 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Provide line length



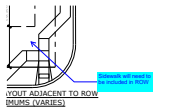
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** CDurham  
**Date:** 6/1/2023 12:49:01 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Need deviation for tangent length between broken back curve (ECM 2.3.3.F.3). Minimum length for local roadways is 200'.



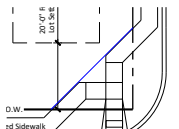
**Subject:** Callout  
**Page Label:** PUD UTL REV (002)  
**Author:** CDurham  
**Date:** 6/6/2023 9:36:29 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Change to P.I.E.



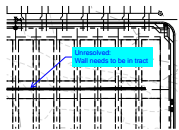
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/6/2023 7:20:51 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Sidewalk will need to be included in ROW

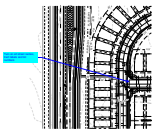


**Subject:** Line  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:34:55 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Unresolved:  
 Wall needs to be in tract

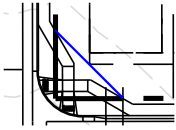


**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:36:23 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

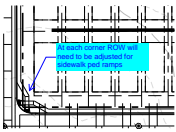


**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:40:21 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Turn on all street names, tract labels and lot numbers

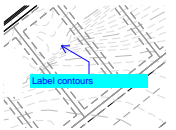


**Subject:** Line  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:37:35 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



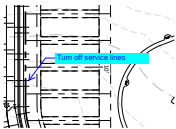
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/6/2023 7:20:34 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

At each corner ROW will need to be adjusted for sidewalk ped ramps



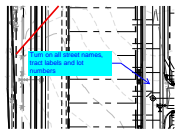
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:41:02 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Label contours



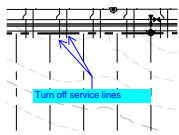
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** CDurham  
**Date:** 6/1/2023 12:41:30 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

Turn off service lines



**Subject:** Callout  
**Page Label:** Copper Chase PUD-SC Exhibit-10  
**Author:** CDurham  
**Date:** 6/1/2023 12:39:54 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

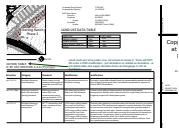
Turn on all street names, tract labels and lot numbers



**Subject:** Callout  
**Page Label:** Copper Chase PUD-SC Exhibit-10  
**Author:** CDurham  
**Date:** 6/1/2023 12:39:07 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

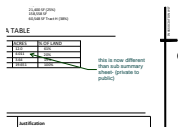
Turn off service lines

dsdparsons (45)



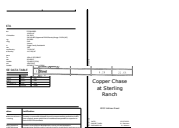
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:15:03 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

noted roads are to be public now, not private at review 3; these will NOT fall under a PUD modification ; just deviations so relabel as deviations...or just delete table and supply deviation forms and language in LOI as deviations.

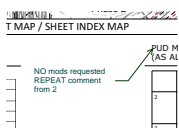


**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 10:02:13 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this is now different than sub summary sheet- (private to public)



**Subject:** Image  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:00:43 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:14:54 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

NO mods requested REPEAT comment from 2

ATA TABLE

ACRES	% OF LAND
12.0	61%
4.013	20%
3.64	19%
19.651	100%

**Subject:** Arrow  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:01:27 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

7.0 DU/AC  
 11.5 DU/AC  
 10% of \$55,988 SF  
 \$5,600 SF  
 21,600 SF (20%)  
 158,358 SF (15%)  
 92,548 SF (86% of 106,948)

Category	Value
...	...

**Subject:** Arrow  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:01:32 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

7.0 DU/AC  
 11.5 DU/AC  
 10% of \$55,988 SF  
 \$5,600 SF  
 21,600 SF (20%)  
 158,358 SF (15%)  
 92,548 SF (86% of 106,948)

% OF LAND	Value
2%	...

**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:03:09 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:** %

This is not realistic  
 because a retaining wall can not  
 be maintained by one lot adj  
 to a lot that doesnt want  
 to maintain it.

**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:17:33 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this a not realistic because a retaining wall can not be maintained by one lot adj to a lot that doesnt want to maintain it.

WHATCUT ASSOCIATED WITH AIRPORT: This serves as notice of the plan to the other property... installed by developer

**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:16:48 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

installed by developer

Category	Value
...	...

**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:18:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

the lines on the lots may not reflect this; the plan unnecessarily depicts building envelopes on the PUD

**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:27:17 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

the lines on the lots, may not reflect this; the plan unnecessarily depicts building envelopes on the PUD

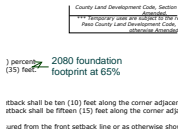


**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:19:22 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

and drainage easments

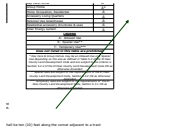


**Subject:** Pen  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:20:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:21:26 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

2080 foundation footprint at 65%

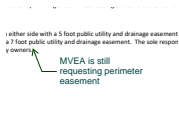


**Subject:** Arrow  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:21:40 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:30:34 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

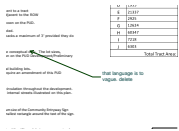
this is unlikely with small lot sizes. repeat comment



**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:22:43 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

MVEA is still requesting perimeter easement





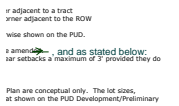
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:23:25 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

that language is to vague. delete



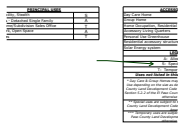
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:30:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

code requires 30 frontage at road so this is not necessary-

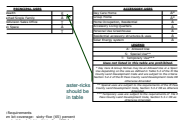


**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:27:04 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

, and as stated below:

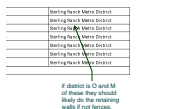


**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:29:17 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



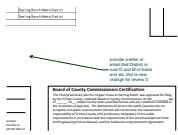
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:30:00 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

aster-ricks should be in table



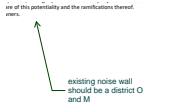
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:32:28 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if district is O and M of these they should likely do the retaining walls if not fences.



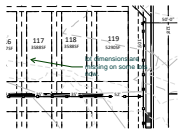
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:33:32 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

provide a letter or email that District is now O and M of tracts and etc..this is new change for review 3



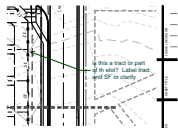
**Subject:** Callout  
**Page Label:** [1] Cover-1  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:38:09 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

existing noise wall should be a district O and M



**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:11:19 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

lot dimensions are missing on some lots now.



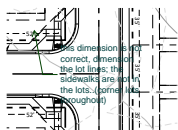
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:12:21 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

is this a tract or part of th elot? Label tract and SF or clarify

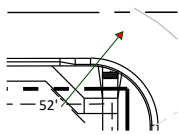


**Subject:** Arrow  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:12:25 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this dimension is not correct, dimension the lot lines; the sidewalks are not in the lots..(corner lots throughout)

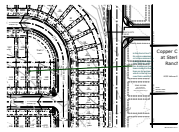


**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:13:43 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



---

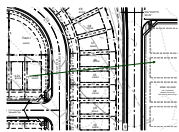
**Subject:** Arrow  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:13:26 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



---

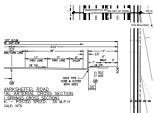
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:17:31 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

is this the lot line? if its not an easement or lot line remove it to clarify lot lines verses row, fencing, walls- the dimensions have been moved to these lines so its unclear which is the lot line now from version 2- i



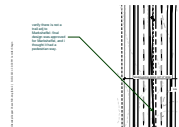
---

**Subject:** Arrow  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:17:35 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



---

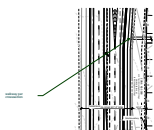
**Subject:** Image  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:09:12 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



---

**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:09:15 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

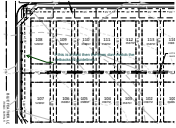
verify there is not a trail adj to Marksheffel- final design was approved for Marksheffel, and i thought it had a pedestrian way.



---

**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:09:50 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

walkway per crosssection



**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:12:33 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

if this is a tract then the lines dont match the setbacks in guidelines



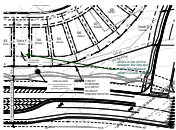
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-2  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:13:27 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

asa general note lot lines are very hard to determine



**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:18:34 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

this is a curve this check the lot distances please



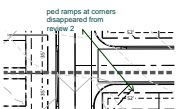
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:32:01 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

where is the lot line between the lots and tract?  
 This doesnot reflect LS plan lot and tract



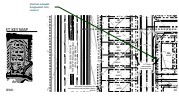
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:20:56 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

why is there a sidewalk in the lot?



**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:24:07 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

ped ramps at corners disappeared from review 2



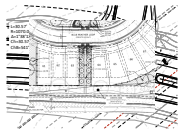
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:24:47 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

attached sidewalk disappeared from review 2

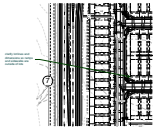


**Subject:** Callout  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:25:33 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

what is this line?



**Subject:** Image  
**Page Label:** Copper Chase PUD-Site-3  
**Author:** dsdparsons  
**Date:** 6/6/2023 8:31:40 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



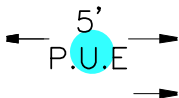
**Subject:** Callout  
**Page Label:** Copper Chase PUD-Tracts-9  
**Author:** dsdparsons  
**Date:** 6/6/2023 11:36:12 AM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**

clarify lot lines and dimensions so ramps and sidewalks are outside of lots

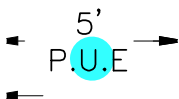
---

dsdrice (3)

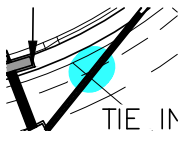
---



**Subject:**  
**Page Label:** PUD UTL REV (002)  
**Author:** dsdrice  
**Date:** 6/5/2023 2:29:18 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



**Subject:**  
**Page Label:** PUD UTL REV (002)  
**Author:** dsdrice  
**Date:** 6/5/2023 2:29:20 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**



---

**Subject:**  
**Page Label:** PUD UTL REV (002)  
**Author:** dsdrice  
**Date:** 6/5/2023 2:29:34 PM  
**Status:**  
**Color:** ■  
**Layer:**  
**Space:**