EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

GENERAL PROVISIONS A. <u>Authority</u>. This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit

B. Applicability. The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Director or Board of County Commissioners.

Adoption. The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for Copper Chase at Sterling Ranch is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan; is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.

Relationship to County Regulations. The provisions of this Development Plan shall prevail and govern the development of Copper Chase at Sterling Ranch, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or

Enforcement. To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.

F. Conflict. Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

G. Maximum Level of Development. The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners

H. Project Tracking. At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limits are not exceeded

Overall Project Standards. The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.

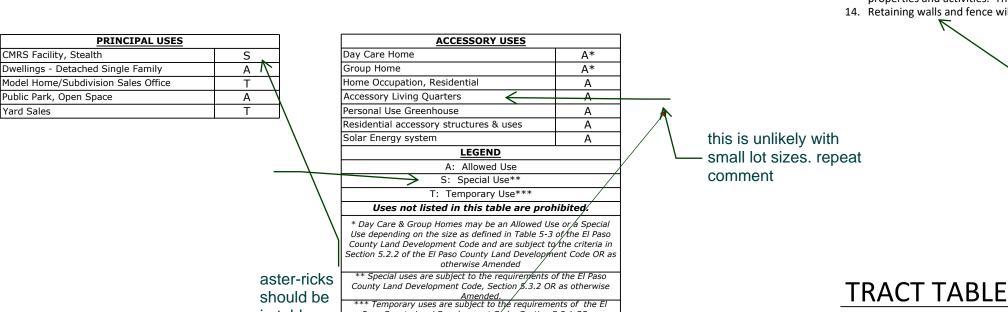
<u>Utility Providers.</u> The following utility providers will serve the Copper Chase at Sterling Ranch PUD Preliminary Plan area: Water: FAWWA

Wastewater: FAWWA Gas: Colorado Springs Utilities Electric: Mountain View Electric

DEVELOPMENT GUIDELINES: COPPER CHASE AT STERLING RANCH PUD DEVELOPMENT PLAN

Copper Chase at Sterling Ranch is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as parks and open space, and trails for residents to enjoy. Overall Sterling Ranch common landscape elements such as fencing, street tree plantings, landscaping, and signage will establish a unique sense of place for this development. The parks have been located in areas of higher density so more of the residents can access them by walking and provide a focal element to the neighborhoods. Lot sizes, setbacks, and landscape tracts are designed to provide a wide variety of housing options and prices within the development while ensuring open space and visually interesting streetscapes for the community

B. Permitted and Accessory uses: Permitted and accessory uses are as identified in the use table below.



Paso County Land Development Code, Section 5.3.1 OR as

otherwise Amended.

C. Development Requirements

- 1. Maximum lot coverage: sixty-five (65) percent 2. Maximum building height: thirty-five (35) feet. footprint at 65% the plan unnecessarily depicts building the plan unnecessarily depicts building 3. Setback minimums: envelopes on the PUD a. Front yard: twenty (20) feet
- b. Side yard: five (5) feet code requires 30 End/Corner lot: The side yard setback shall be ten (10) feet along the corner adjacent to a tract The side yard setback shall be fifteen (122 feet along the corner adjacent to the ROW_ frontage at road so c. Rear yard: fifteen (15) feet. this is not necessary-
- 5. Accessory buildings must comply with the setbacks established above. 6. Projections into setbacks are governed by the Land Development Code, as may be amended, and as stated below: a. Patios, landings, window wells and other similar features may project into rear setbacks a maximum of 3' provided they do
- not interfere with utility services and drainage easments

4. Minimum Lot Width: 32 feet as measured from the front setback line or as otherwise shown on the PUD.

in table

- The minimum lot size is 3,200 square feet.
- The lot sizes, dimensions, and bearings, shown on the PUD Development Preliminary Plan are conceptual only. The lot sizes, dimensions, and bearings will be established with the Final Plat and may vary from that shown on the PUD Development/Preliminary
- 3. The Final Plat will not create any additional building lots. 4. No subdivision of any lot will be allowed if such subdivision results in the creation of additional building lots. 5. Lot line adjustments, per Chapter 7 of the Land Development Code or as amended will not require an amendment of this PUD

for maintenance of these easements is hereby vested with the individual property owners.

Development/Preliminary Plan.

Public streets within the Copper Chase at Sterling Ranch Subdivision provide general vehicular circulation throughout the development. All streets shall be paved with curb and gutter. Sidewalks shall be provided on both sides of all internal streets illustrated on this plan.

All streets will be public and maintained by El Paso County.

Signs shall be permitted to identify entryways to Copper Chase at Sterling Ranch community. The maximum size of the Community Entryway Sign shall be 100 square feet with a maximum height of (6) feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall contribute to the maximum size.

Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 5 foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 7 foot public utility and drainage easement. The sole responsibility

> MVEA is still requesting perimeter easement

PUD DEVELOPMENT/PRELIMINARY PLAN

A PORTION OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (SE 1/4, SE 1/4) OF SECTION 32, AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW 1/4, SW 1/4) OF SECTION 33, T12S, R65W OF THE 6TH P.M., AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4, NE 1/4) OF SECTION 5, T13S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING TRACT E, "STERLING RANCH FILING NO. 2" AS RECORDED UNDER RECEPTION NO. 222714894 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE.

SAID PARCEL CONTAINS 856.016 SQUARE FEET (19.651 ACRES, MORE OR LESS). **GENERAL NOTES**

- All sidewalks shown on development plan are to be 5' concrete unless otherwise specified. Federal Emergency Management Agency, Flood Insurance Rate Map number 08041C0533G, effective date, December 7
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year

- 4. Landscape entry features, open space tracts, parks and trails shall be owned and maintained by the Sterling Ranch Metropolitan District. 5. All open space/trail/landscape tracts shall be limited to non-motorized use only, except for maintenance and emergency
- There shall be no direct lot access to Vollmer Road, Marksheffel Road and Sterling Ranch Road.
- The public roads as shown on this PUD will be maintained by El Paso County. 8. Noise wall along Vollmer Road and Marksheffel Road is not a part of this PUD. Noise wall to be installed, owned and
- maintained by the Sterling Ranch Metropolitan District. 9. Minor changes such as minor lot or tract line adjustments upon final engineering will not require a PUD or Preliminary Plan
- 10. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:
- Potential Shallow Groundwater (All Lots) Artificial Fill (All Lots) Shallow Bedrock (All Lots)

Tract Area (SF)

A 13595

B 19935

C 12270

D 1955

E 21337

F 2925

G 12624

H 60347

| 7218

J 6303

that language is to

vague. delete

- Potential Expansive Soil (Sporadic)
- Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138) In Areas of Expansive Soil:
- Mitigation of expansive soils will require special foundation design.
- Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site. NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: This serves as notice of
- potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal
- 13. NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof.
- Retaining walls and fence will be maintained by individual lot owners. installed by developer this a not realistic because a retaining wall can not be maintained by one lot adj to a lot that doesnt want to existing noise wall maintain it.

Landscape, Utilities, Mail Boxes

0.28 Landscape, Utilities, Mail Boxes

1.39 Landscape, Utilities, Mail Boxes

0.17 Landscape, Utilities, Mail Boxes

Area (AC)

0.31

0.46

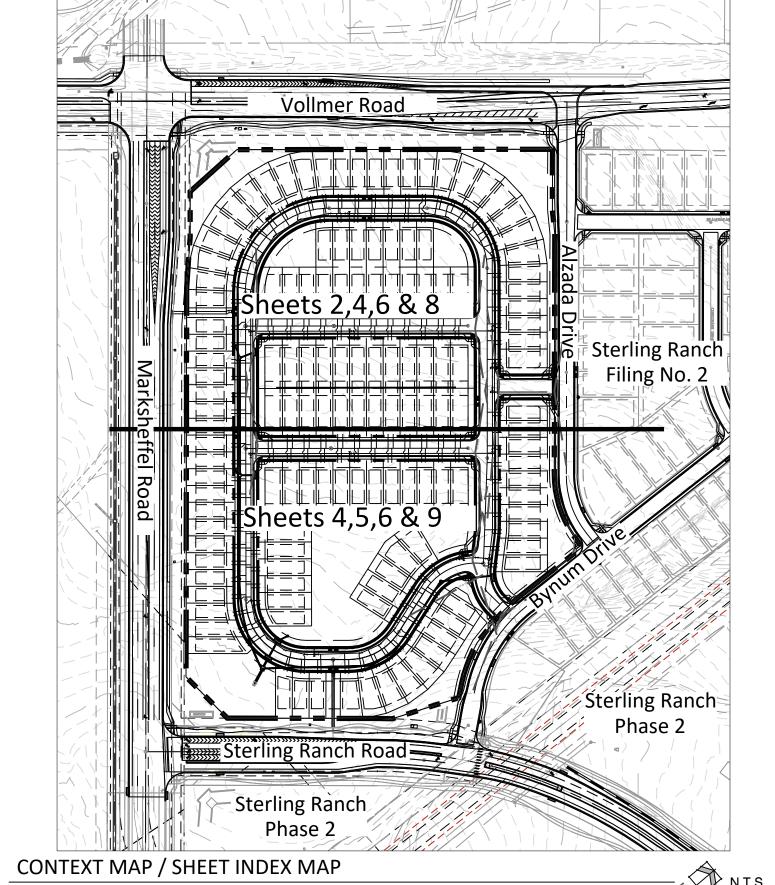
0.04

0.07

0.29

0.14

Total Tract Area: 3.64



NO mods requested

REPEAT comment

provide a letter or

email that District is now O and M of tracts

and etc..this is new

change for review 3

Board of County Commissioners Certification

Director, Planning & Community Development Department

I hereby certify that this Plan was filed in my office on this _____(day) of

___(month), 20____ at ______ o'clock a.m./p.m. and was recorded per

President, Board of County Commissioners

Clerk and Recorder Certification

State of Colorado)

El Paso County

Reception No.

This PUD/preliminary plan for Copper Chase at Sterling Ranch was approved for filing

of ______, 20___, subject to any notes specified hereon and any conditions included in

the resolution of approval. The dedications of land to the public (easements) are

improvements in accordance with the requirements of the Land Development Code

and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

accepted, but public improvements thereon will not become the maintenance

responsibility of El Paso County until preliminary acceptance of the public

by the El Paso County, Colorado Board of County Commissioners on the _____

from 2

 φ PUD MODIFICATION TABLE \longleftarrow

LDC/ECM Section

ECM Section 2.5.2.C.4

ECM Section 2.5.2.C.3

(AS ALLOWED BY LDC SECTION 4.2.6.(F)(2)(g))

ECM Section 2.3.2, Table | Minimum Centerline

Category

Mid-block Ramps on

Radius & Intersection

Spacing Standards

Mid-Block Ramps on

Local Roadways "T"

Local Roadways

STERLING RANCH RD

619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012. All Rights Reserved.

SITE DATA

Modification

100' Minimum Centerline

Intersection Spacing

Radius and 100' Minimum

VICINITY MAP

Tax ID Number:	5232410003		
Total Area:	19.651 AC		
Development Schedule:	Fall 2023		
Sketch Plan:	SKP 18-803 (Approved 2018 Density Range: 5-8 DU/AC)		
Current Zoning:	RS-5000		
Proposed Zoning:	PUD		
Current Use:	Vacant		
Proposed Use:	Single Family Residential		
Number of Lots:	138		
Proposed Gross Density:	7.0 DU/AC		
Proposed Net Density:	11.5 DU/AC		

PUD Open Space: 10% of 855.998 SI 85,600 SF Required: 21.400 SF (25%) 158,558 SE>_ (Ilour (shootty)

LAND USE DATA TABLE 12.0 SINGLE FAMILY 4.011 PUBLIC ROADS this is now different than sub summary

Justification

Copper Chase at Sterling

8335 Vollmer Road

03.25.2022

B. Swenson

B. Halsten

DATE:

PROJECT MGR:

PREPARED BY:

noted roads are to be public now, not private at review 3; these will NOT fall under a PUD modification: iust deviations so relabel as deviations...or just delete table and supply deviation forms and language in LOI as

.	
commodate pedestrian traffic	
	 _

sheet- (private to

611 feet maximum without a Promote a reasonable sidewalk layout to acco from a logical access point that is considered comparable or superior to that of the ECM standards. Create a more efficient development in terms of land devoted to transportation facilities and to maximize land for single family land uses on an irregularly shaped infill development parcel. All "T" intersections shall 2 PED ramps at Blue Feather | Promote safer pedestrian circulation paths that function similar to or superior

Point and Lost Trail Point to that of the ECM standards and responds to market demands of lot density and various site constraints. Proposed crossing location provides midpoint northeastern intersection. 2 PED ramps at Blue Feather | access coming from both sides. Reduces number of conflict points between pedestrian and vehicle traffic paths resulting from proximity of intersections Point and Salt Fork Point northeastern intersection. and lot density. Lot geometry, density, and associated features such as 2 PED ramps at Blue Feather | driveways promote the desire for a solution to the original Point and Blue Feather Point | problem. Similar circulation paths can be achieved with this solution. Does not impede pedestrian movements

Entitlement

07.21.2022	B.H.	PER (COUNTY	COMMENT
05.12.2023	J.S./A.L.	PER (COUNTY	COMMENT

PUD Site Plan Sheet 2 of 10: PUD Site Plan Sheet 3 of 10: Sheet 4 of 10: Preliminary Grading Plan

Preliminary Utility Plan Landscape Notes & Details Landscape Plan

Sheet 8 of 10: Sheet 10 of 10: Constraints Exhibit

PROJECT TEAM

Challenger Communities, LLC 8605 Explorer Drive, Suite 250 Colorado Springs, CO 80920 (719) 598-5192

Standard

Access ramps on local

no greater than 600 feet

Minimum centerline

minimum intersection

spacing standards (175')

for urban local roadways

have a minimum of four

radius (200') and

roadways shall be spaced | mid-block crossing.

N.E.S. Inc. Applicant: 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903 (719) 471-0073

SHEET INDEX

Sheet 1 of 10: Cover Sheet

Sheet 5 of 10: Sheet 6 of 10: Sheet 7 of 10:

Landscape Plan Sheet 9 of 10: Tract Exhibit

Cover Sheet

PUDSP 22-002

Challenger Communities, LLC Name of Landowner Landowner's Signature, notarized _ a (one of the following: qualified title insurance company, title company, title attorney, or attorney at law) duly qualified, insured, or licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple Notarized signature OR Name of Attorney and registration number

Ownership Certification

El Paso County Clerk and Recorder

should be a district O

Ownership/Maintenance

terling Ranch Metro District

Sterling Ranch Metro District

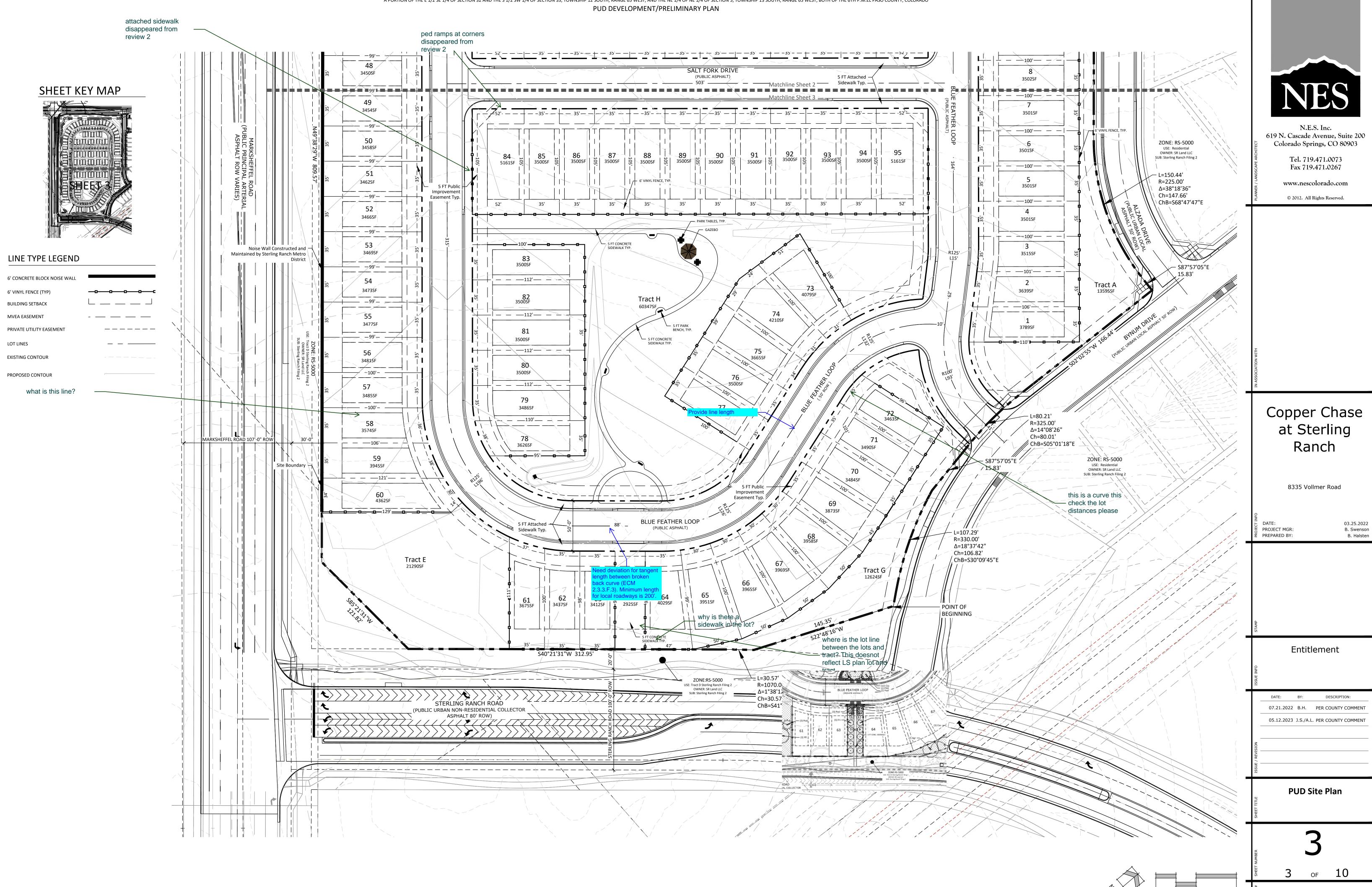
if district is O and M

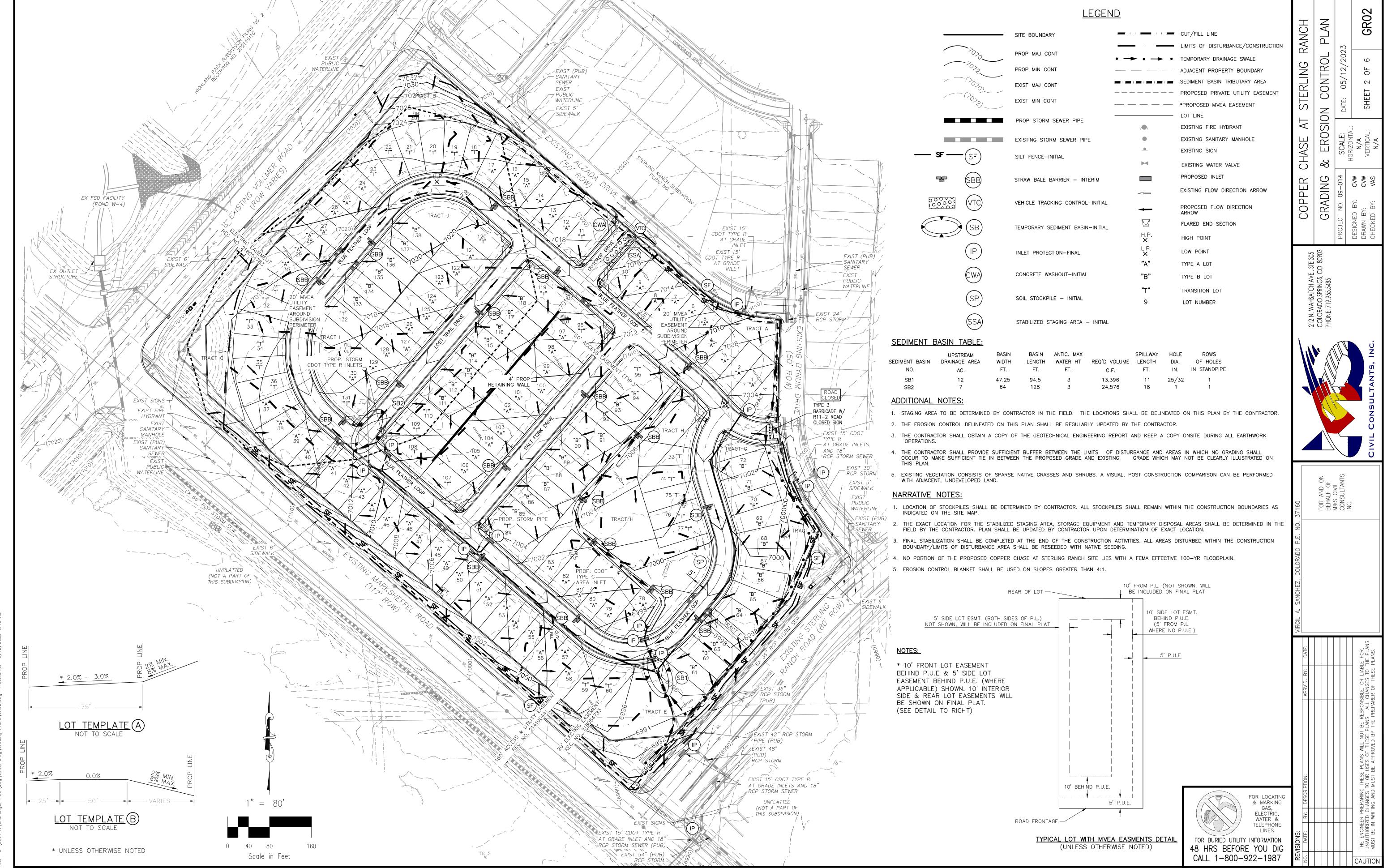
of these they should

likely do the retaining

walls if not fences.

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.EL PASO COUNTY, COLORADO





File: 0:\09014A\Challenger PUD\dwq\Const Dwq\Grading Plans\GR02.dwq Plotstamp: 5/12/2023 9:18

EL PASO COUNTY, COLORADO

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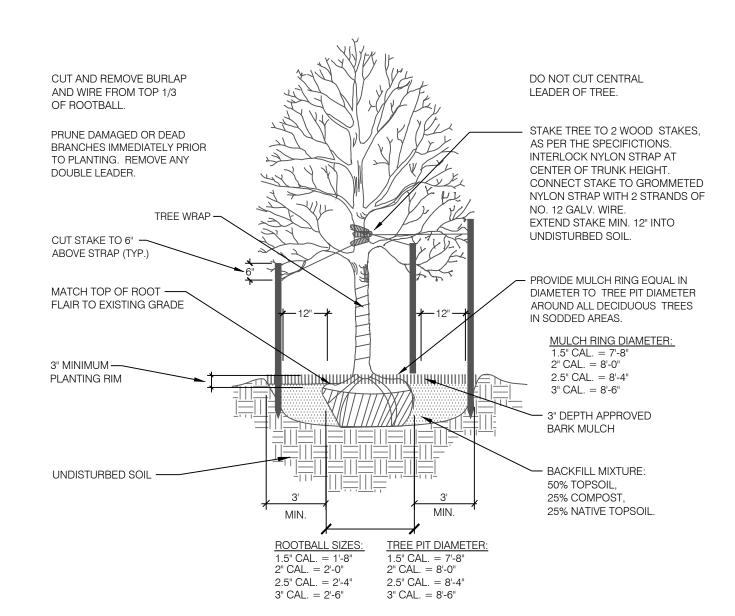
PUD DEVELOPMENT/PRELIMINARY PLAN

LANDSCAPE NOTES

IRRIGATION SYSTEM.

- 1. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- 2. SOIL AMENDMENT INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANICS PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- 3. FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- 5. CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- 6. ALL SOD SHALL BE TALL FESCUE BLEND.7. NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- 8. FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
 9. ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP
- 10. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- 11. NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.12. ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE
- SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.

 13. COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS.
- 13. COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS.
 INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- 14. GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
 15. ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- 16. SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- 17. ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- 18. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
 19. THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- 20. ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.



DECIDUOUS TREE PLANTING DETAIL

MATCH TOP OF ROOT FLAIR
TO EXISTING GRADE.

WATCH TOP OF ROOT FLAIR
TO EXISTING GRADE.

BARK MULCH

BARK MULCH

BARK MULCH

BACKFILL MIXTURE:
50% TOPSOIL,
25% COMPOST,
25% COMPOST,
25% NATIVE SOIL.

3 SHRUB PLANTING DETAIL

SCALE: NOT TO SCALE

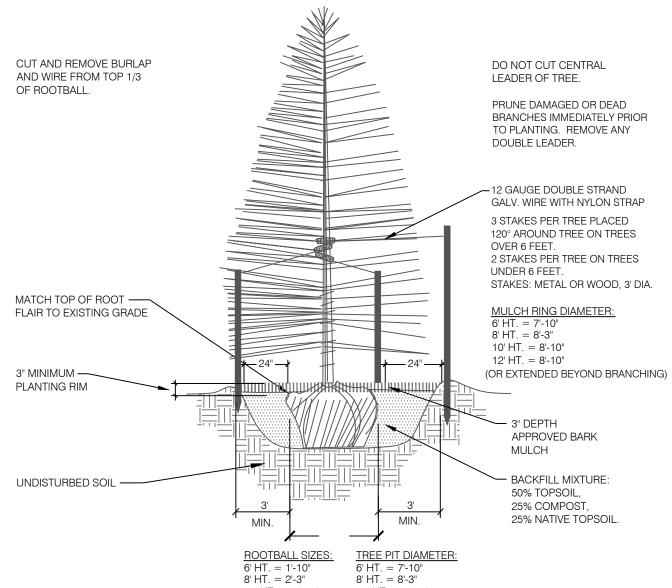
COBBLE
2"-4" Cripple Creek Gold Ore

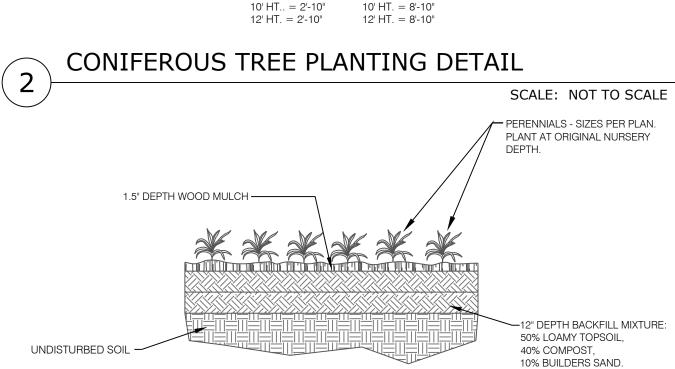
NATIVE GRASS
Upland Native Seed Mix
-

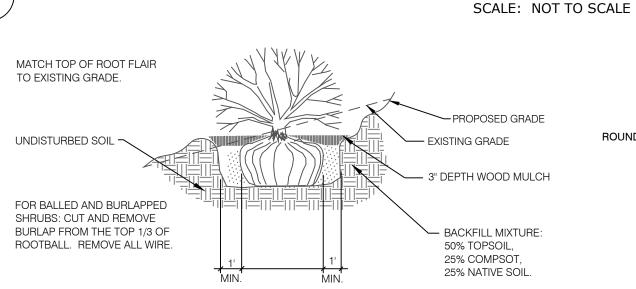
TALL FESCUE SOD 49,033 sf

3/4" Cimarron Granite

GROUND COVER SCHEDULE







SHRUB PLACEMENT ON SLOPES

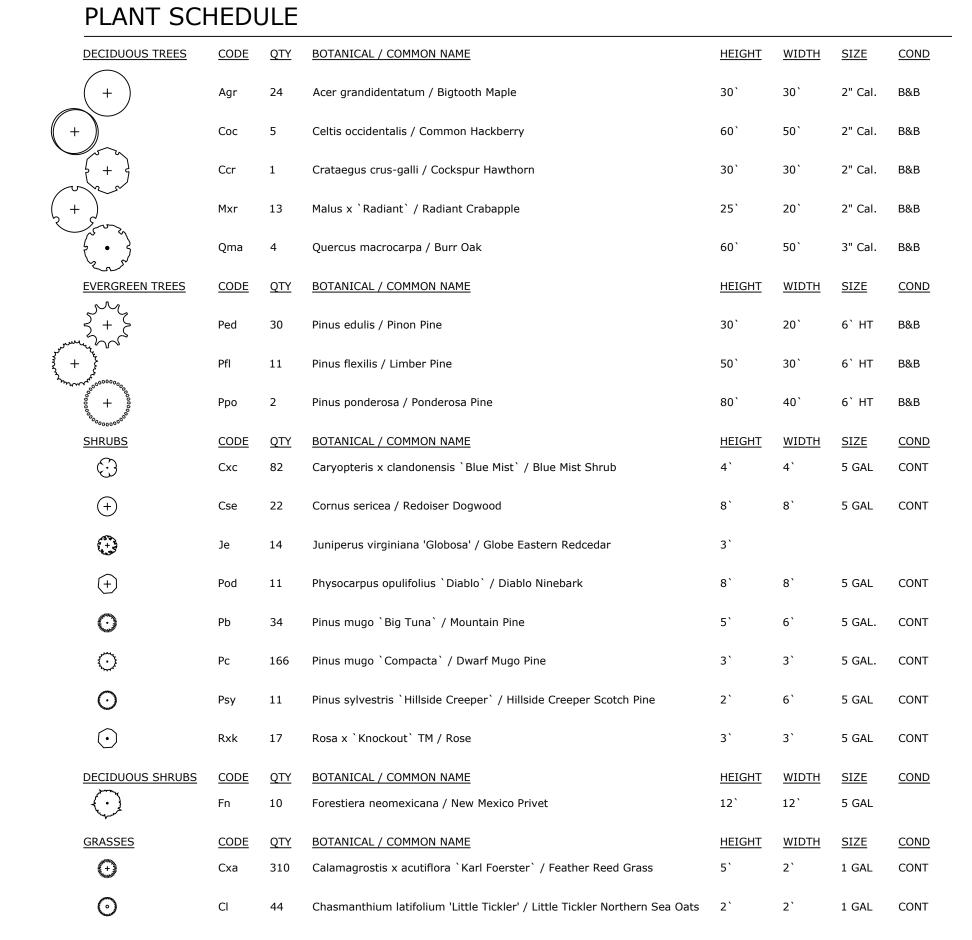
PERENNIAL / GROUNDCOVER PLANTING

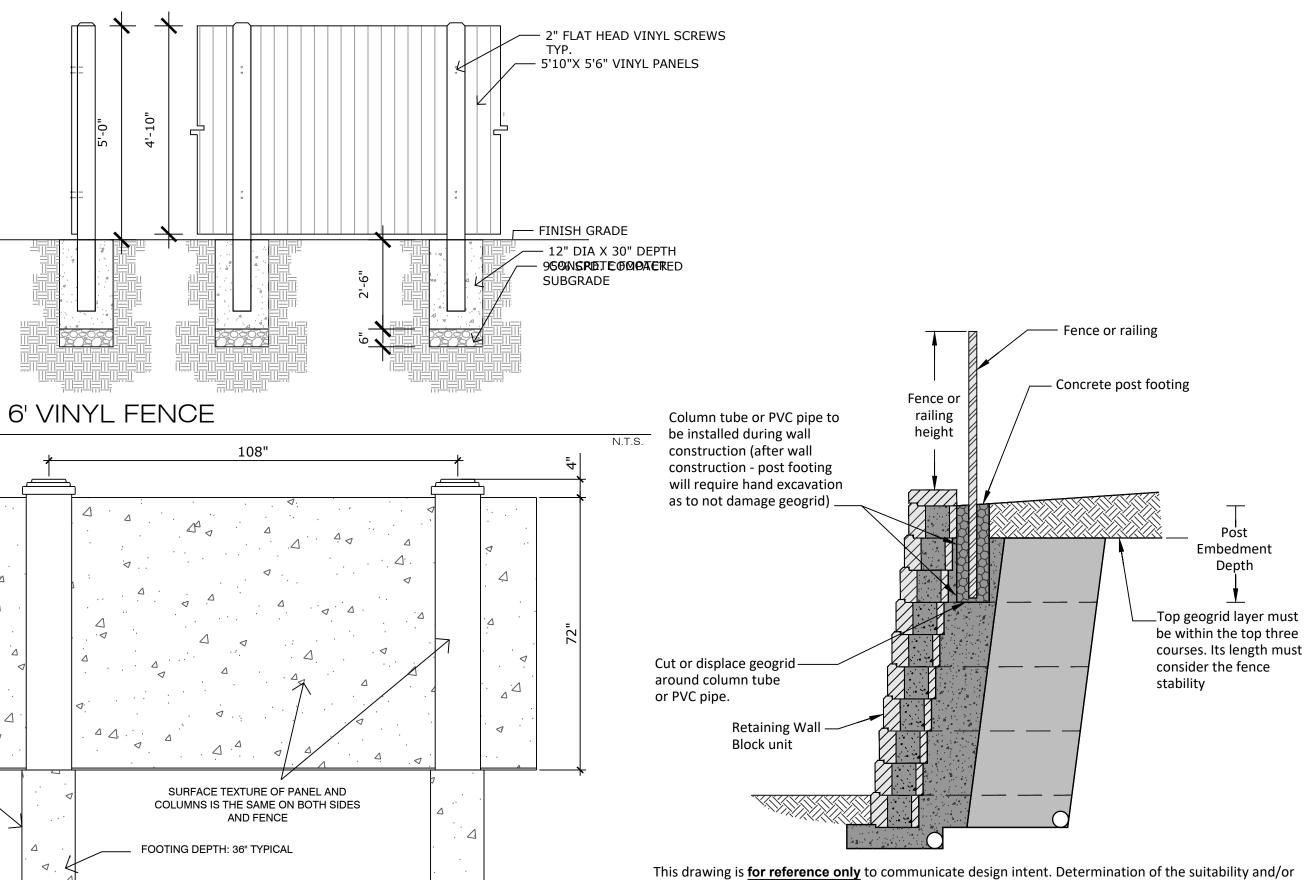
SCALE: NOT TO SCALE 6 CO

ROUND CONCRETE PIER

FOOTING

6' CONCRETE BLOCK NOISE WALL





SCALE: NOT TO SCALE

manner of use of any details contained in this document will be the sole responsibility of the structural

engineer. Final project designs, including all construction details, shall be prepared by a licensed

professional engineer using the actual conditions of the proposed site.

RETAINING WALL WITH FENCE

N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com
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Copper Chase at Sterling Ranch

8335 Vollmer Road

03.25.2022

B. Swenson

J. Smith

DATE:
PROJECT MGR:
PREPARED BY:

Entitlement

DATE: BY: DESCRIPTION:

07.21.2022 B.H. PER COUNTY COMMENT

05.12.2023 J.S./A.L.PER COUNTY COMMENT

Landscape Notes &
Details

6

OF

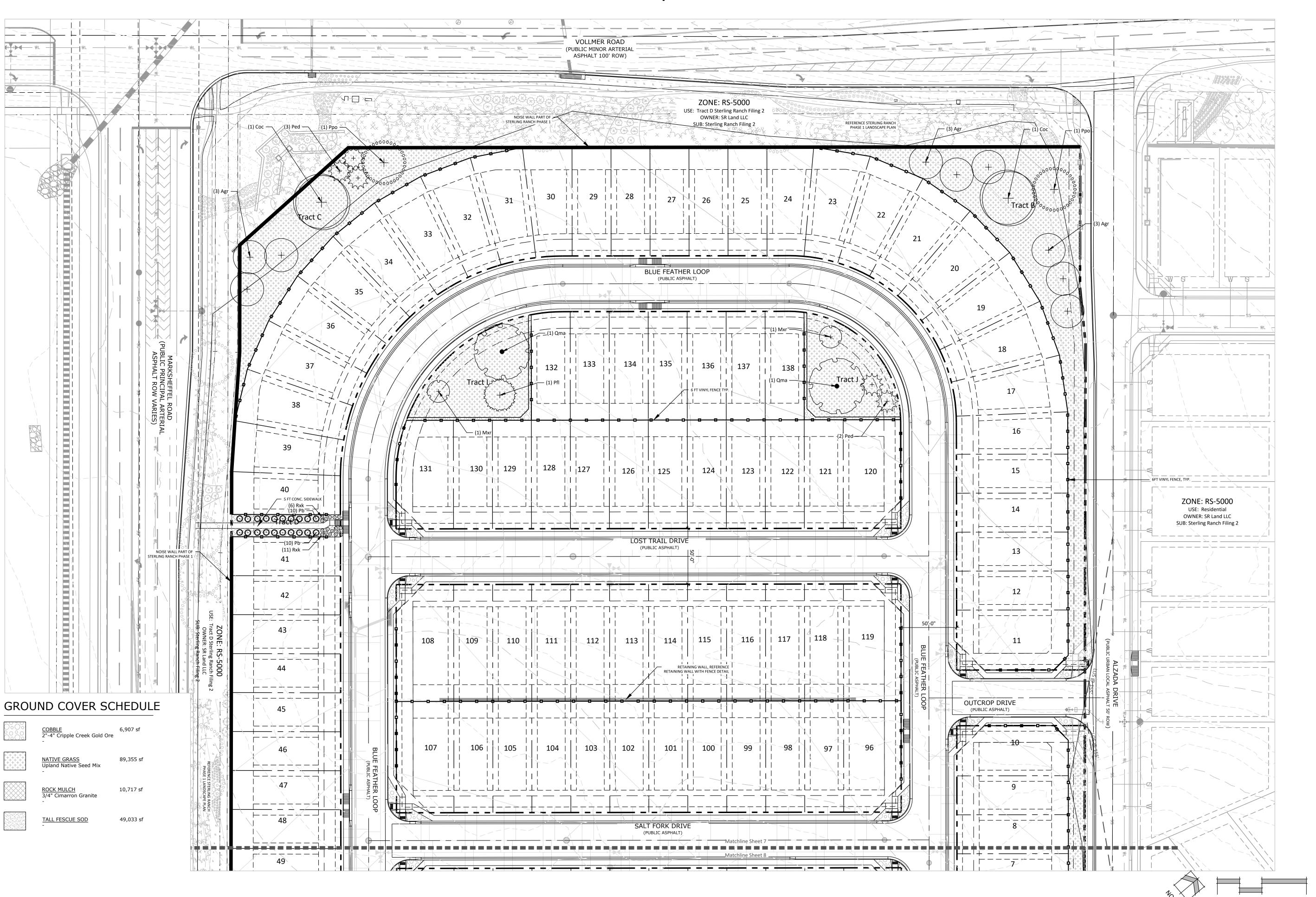
PUDSP 22-002

DETAIL-FILE

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN





Colorado Springs, CO 80903

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Copper Chase at Sterling Ranch

8335 Vollmer Road

03.25.2022

B. Swenson

PROJECT MGR: PREPARED BY:

Entitlement

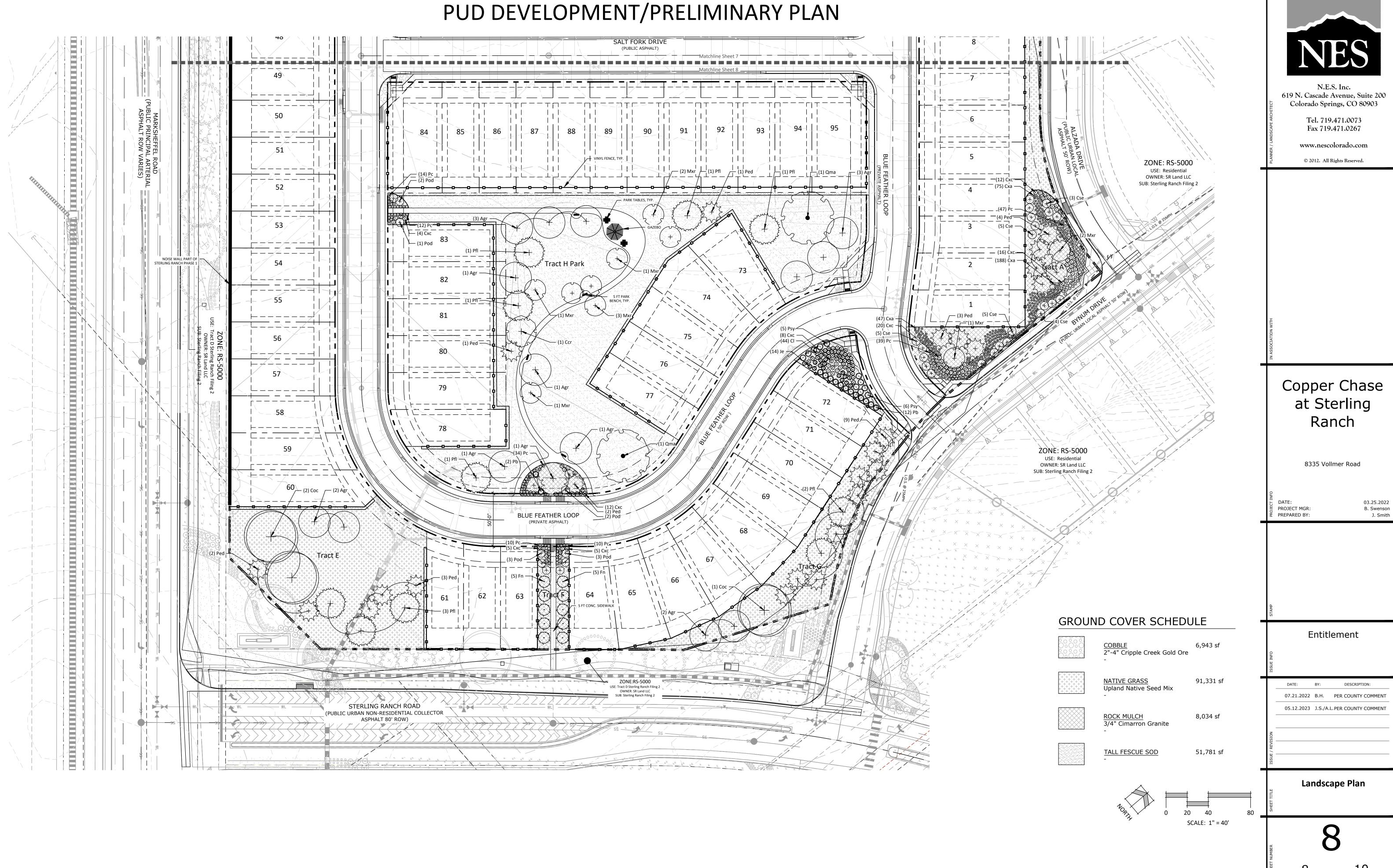
07.21.2022 B.H. PER COUNTY COMMENT 05.12.2023 J.S./A.L.PER COUNTY COMMENT

Landscape Plan

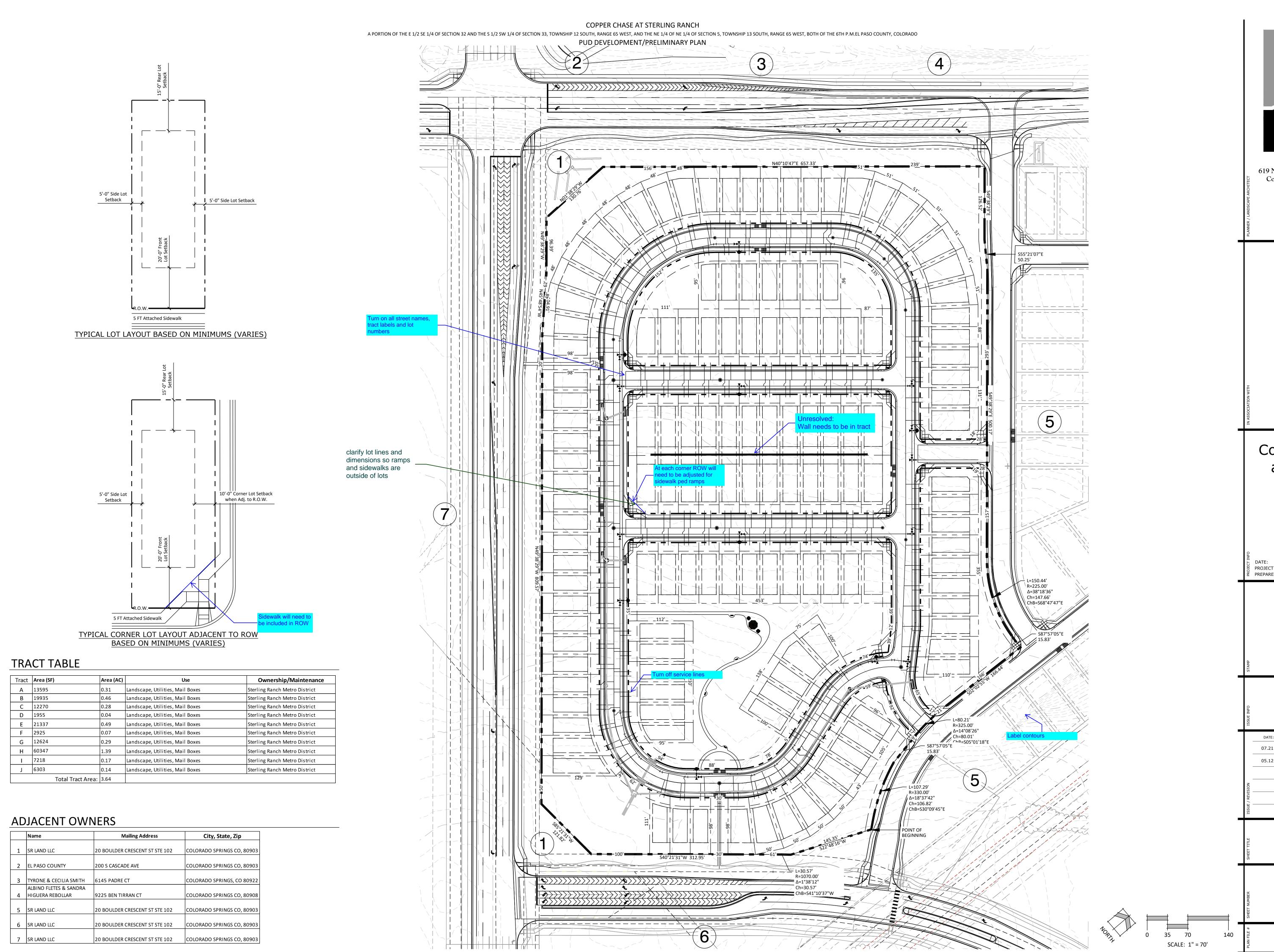
PUDSP 22-002

SCALE: 1" = 40'

EL PASO COUNTY, COLORADO A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.



of **10**



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> Tel. 719.471.0073 Fax 719.471.0267

www.nescolorado.com

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Copper Chase at Sterling Ranch

8335 Vollmer Road

03.25.2022

B. Swenson

B. Halsten

PROJECT MGR: PREPARED BY:

Entitlement

07.21.2022 B.H. PER COUNTY COMMENT 05.12.2023 J.S./A.L. PER COUNTY COMMENT

Tract Exhibit

Legend:

Qaf - <u>Artificial Fill of Holocene Age:</u>

Man-made fill deposits

Qes - <u>Eolian Sand of Quaternary Age:</u>

wind deposited sands

Qp - Piney Creek Alluvium of Quaternary Age:

water deposited sands and clays

Tkd - Dawson Formation of Tertiary to Cretaceous Age:

arkosic sandstone with interbedded claystone and siltstone

h - hydrocompaction

sw - shallow groundwater area

22-002 available at the El Paso County Planning and Community Development Department:

GEOLOGIC CONSTRAINTS &/OR HAZARD DISCLOSURE STATEMENT

11. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP

Potential Shallow Groundwater (All Lots) Artificial Fill (All Lots) Shallow Bedrock (All Lots)

Potential Expansion (Sporadic)

Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138) In Areas of Expansive Soil:

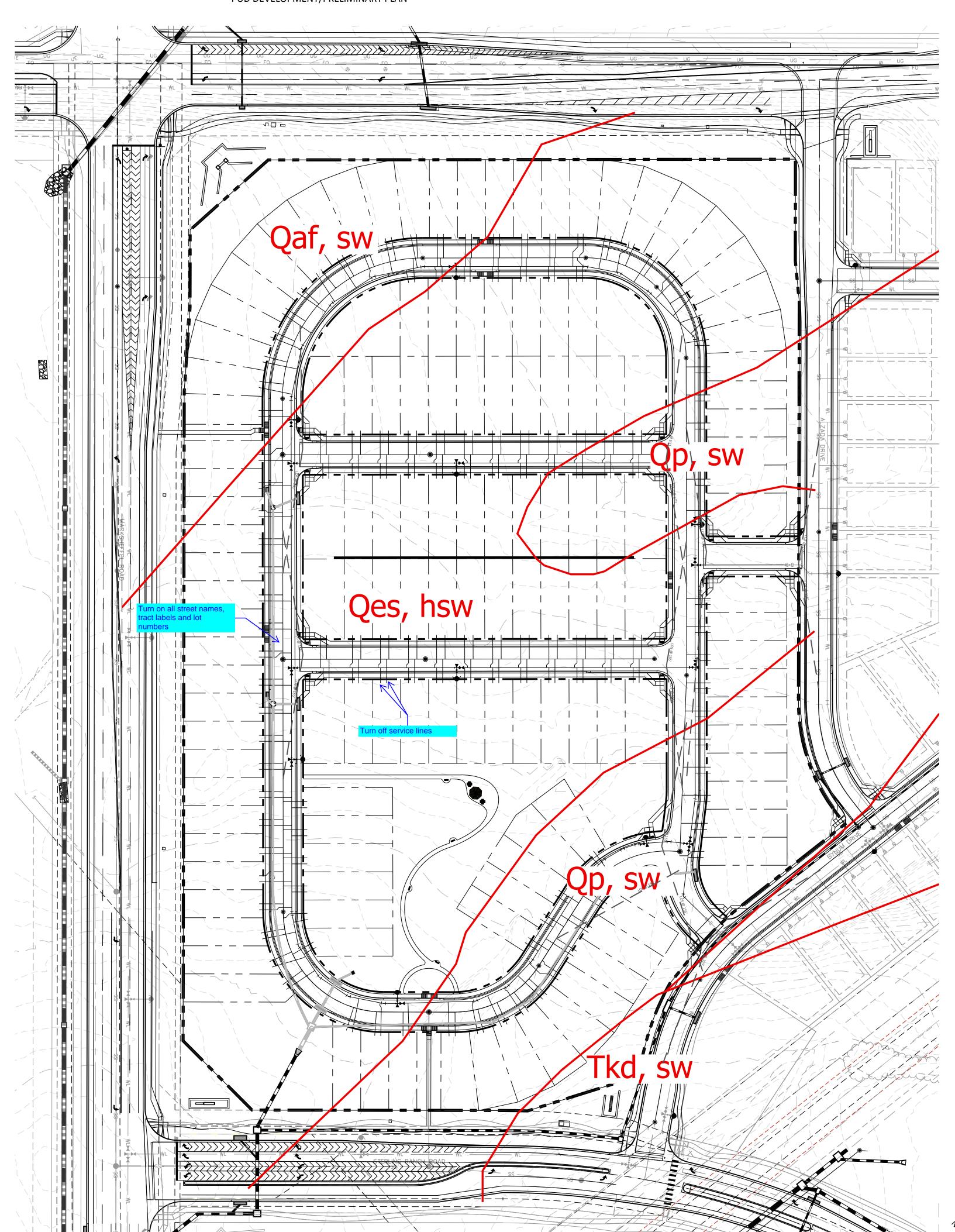
Mitigation of expansive soils will require special foundation design.

In Areas of High Groundwater:

Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.

GEOLOGIC CONSTRAINTS NOTES

IF ANY DISCREPANCIES ARE FOUND BETWEEN PLAN AND SAID REPORTS, THE REPORTS SUPERSEDE.
 ALL BOUNDARIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. THEY ARE BASED UPON A SUBJECTIVE INTERPRETATION OF PUBLISHED MAPS, AERIAL PHOTOGRAPHS AND AN INITIAL FIELD RECONNAISSANCE. CHANGES IN THE MAPPED BOUNDARIES SHOWN ARE POSSIBLE AND SHOULD BE EXPECTED WITH MORE DETAILED WORK AND FURTHER INFORMATION. ALL INTERPRETATIONS AND CONDITIONS SHOWN ARE PRELIMINARY AND FOR LAND-USE PLANNING ONLY.





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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE:

PROJECT MGR:
PREPARED BY:

03.25.2022

B. Swenson

B. Halsten

Entitlement

07.21.2022 B.H. PER COUNTY COMMENT
05.12.2023 J.S./A.L. PER COUNTY COMMENT

Constraints Exhibit

10

10 OF 10

V3_PUD Plan.pdf Markup Summary 6-6-2023

Carlos (5)

LOTUMES
DISTING CONTOUR

MACHINES CONTOUR

Liabel the elevations for proposed and existing contours.

Subject: Text Box

Page Label: Copper Chase PUD-Site-2

Author: Carlos

Date: 6/1/2023 10:17:53 AM

Status: Color: Layer: Space: Label the elevations for proposed and existing

contours.



Subject: Callout

Page Label: PUD UTL REV (002)

Author: Carlos

Date: 6/1/2023 12:49:00 PM

Status: Color: Layer: Space: Update cross section details. Revised TIS and PUD plan show roads being public now.



Subject: Callout

Page Label: PUD UTL REV (002)

Author: Carlos

Date: 6/1/2023 10:49:26 AM

Status: Color: Layer: Space: Revise to ROW if internal roads are going to be

public



Subject: Image

Page Label: PUD UTL REV (002)

Author: Carlos

Date: 6/1/2023 10:55:24 AM

Status: Color: Layer: Space:



Subject: Callout

Page Label: PUD UTL REV (002)

Author: Carlos

Date: 6/1/2023 10:56:34 AM

Status: Color: Layer: Space: See comment response from MS. Would we resolve this. I will look for MVEA responses regarding cutting into their easements.

CDurham (14)



Subject: Callout

Page Label: [1] Cover-1 Author: CDurham

Date: 6/1/2023 12:43:32 PM

Status: Color: Layer: Space: Update street suffixes



Page Label: Copper Chase PUD-Site-3

Author: CDurham

Date: 6/1/2023 12:45:19 PM

Status: Color: Layer: Space: Provide line length



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: CDurham

Date: 6/1/2023 12:49:01 PM

Status: Color: Layer: Space: Need deviation for tangent length between broken back curve (ECM 2.3.3.F.3). Minimum length for

local roadways is 200'.



Subject: Callout

Page Label: PUD UTL REV (002)

Author: CDurham

Date: 6/6/2023 9:36:29 AM

Status: Color: Layer: Space: Change to P.I.E.



Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/6/2023 7:20:51 AM

Status: Color: Layer: Space: Sidewalk will need to be included in ROW



Subject: Line

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:34:55 PM

Status: Color: Layer: Space:



Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:36:23 PM

Status: Color: Layer: Space: Unresolved:

Wall needs to be in tract



Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:40:21 PM

Status: Color: Layer: Space: Turn on all street names, tract labels and lot

numbers



Subject: Line

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:37:35 PM

Status: Color: Layer: Space:





Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/6/2023 7:20:34 AM

Status: Color: Layer: Space: At each corner ROW will need to be adjusted for

sidewalk ped ramps



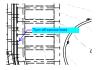
Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:41:02 PM

Status: Color: Layer: Space: Label contours



Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: CDurham

Date: 6/1/2023 12:41:30 PM

Status: Color: Layer: Space: Turn off service lines



Subject: Callout

Page Label: Copper Chase PUD-SC Exhibit-10

Author: CDurham

Date: 6/1/2023 12:39:54 PM

Status: Color: Layer: Space: Turn on all street names, tract labels and lot

numbers

Turn off service lines

Subject: Callout

Page Label: Copper Chase PUD-SC Exhibit-10

Author: CDurham

Date: 6/1/2023 12:39:07 PM

Status: Color: Layer: Space: Turn off service lines

dsdparsons (45)



Subject: Callout

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:15:03 AM

Status: Color: ■ Layer: Space: noted roads are to be public now, not private at review 3; these will NOT fall under a PUD modification; just deviations so relabel as deviations...or just delete table and supply deviation forms and language in LOI as deviations.



Subject: Callout

Page Label: [1] Cover-1
Author: dsdparsons

Date: 6/6/2023 10:02:13 AM

Status: Color: Layer: Space: this is now different than sub summary sheet-(private to public)



Subject: Image

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:00:43 AM

Status: Color: Layer: Space:

NO mods requested REPEAT comment from 2



Subject: Callout

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:14:54 AM

Status: Color: Layer: Space:



Subject: Arrow

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:01:27 AM

Status: Color: Layer: Space:



Subject: Arrow

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:01:32 AM

Status: Color: ■ Layer: Space:

7.0 DU/AC L1.5 DU/AC

10% of 855,998 SF 85,600 SF 21,400 SF (25%) 158,558 S % 90,548 SF Tract H (38%)

% OF LAND

Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons

Date: 6/6/2023 11:03:09 AM

Status: Color: Layer: Space: %

insection for injury-parties yet interest manifesting that are of the support for insected to include a contract of the support for injury and interest of the support for injury and interest on the support for such contract and in access of the support for such contracts and individual to the support for such and such are of the support for such as such as the such as the

Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:17:33 AM

Status: Color: Layer: Space: this a not realistic because a retaining wall can not be maintained by one lot adj to a lot that doesnt

want to maintain it.

MANCT ASSOCIATIO WITH ABPORT: This serves as notice of try due to the close persivity to an airprot, which he being at this property for residential and other purposes. This arriving and departing around funding the course of normal dust, furnes, and light pollution caused by adjacent industrial reason of this potentiality and the randifications thereof. It owners:—

installed by developer Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:16:48 AM

Status: Color: Layer: Space: installed by developer



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:18:01 AM

Status: Color: Layer: Space:



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:27:17 AM

Status: Color: Layer: Space: the lines on the lots,may not relect this; the plan unnecessarily depicts building envelopes on the

PUD

Subject: Callout and drainage easments Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:19:22 AM Status: Color: Layer: Space: Subject: Pen Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:20:21 AM Status: Color: Layer: Space: Subject: Callout 2080 foundation footprint at 65% Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:21:26 AM itback shall be ten (10) feet along the corner adjacer atback shall be fifteen (15) feet along the corner adja-Status: Color: Layer: Space: Subject: Arrow Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:21:40 AM Status: Color: Layer: Space: Subject: Callout this is unlikely with small lot sizes. repeat comment Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:30:34 AM Status: Color: Layer: Space: Subject: Callout

either side with a 5 foot public utility and drainage easement a 7 foot public utility and drainage easement. The side respon yoursers.

MVEA is still

RVEA is still

requesting perimeter

Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:22:43 AM

Status: Color: Layer: Space: MVEA is still requesting perimeter easement

Sub Page
Authorized Space State
Color
Layer
Space
File of the Color Space
File

Subject: Callout
Page Label: [1] Cover-1
that language is to vague. delete

Author: dsdparsons Date: 6/6/2023 11:23:25 AM Status:

Status: Color: Layer: Space:

necessary-

, and as stated below:

Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons

Author: dsdparsons **Date:** 6/6/2023 11:30:56 AM

Status: Color: Layer: Space:

Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:27:04 AM

Status: Color: Layer: Space:



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:29:17 AM

Status: Color: Layer: Space:

.....



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:30:00 AM

Status: Color: Layer: Space: aster-ricks should be in table



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:32:28 AM

Status: Color: Layer: Space: if district is O and M of these they should likely do the retaining walls if not fences.

code requires 30 frontage at road so this is not



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:33:32 AM

Status: Color: Layer: Space: provide a letter or email that District is now O and M of tracts and etc..this is new change for review 3



Subject: Callout Page Label: [1] Cover-1 Author: dsdparsons Date: 6/6/2023 11:38:09 AM

Status: Color: ■ Layer: Space: existing noise wall should be a district O and M



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:11:19 AM

Status: Color: ■ Layer: Space: lot dimensions are missing on some lots now.



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:12:21 AM

Status: Color: ■ Layer: Space: is this a tract or part of th elot? Label tract and SF

or clarify



Subject: Arrow

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons **Date:** 6/6/2023 8:12:25 AM

Status: Color: Layer: Space:



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:13:43 AM

Status: Color: ■ Layer: Space: this dimension is not correct, dimension the lot lines; the sidewalks are not in the lots..(corner lots

throughout)



Subject: Arrow

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:13:26 AM

Status: Color: ■ Layer: Space:



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:17:31 AM

Status: Color: Layer: Space: is this the lot line? if its not an easement or lot line remove it to clarify lot lines verses row, fencing, walls- the dimensions have been moved to these lines so its unclear which is the lot line now from

version 2- i



Subject: Arrow

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 8:17:35 AM

Status: Color: Layer: Space:



Subject: Image

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons

Date: 6/6/2023 11:09:12 AM

Status: Color: Layer: Space:



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 11:09:15 AM

Status: Color: Layer: Space: verify there is not a trail adj to Marksheffel- final design was approved for Marksheffel, and i

thought it had a pedestrian way.



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons **Date:** 6/6/2023 11:09:50 AM

Status: Color: Layer: Space: walkway per crosssection



Page Label: Copper Chase PUD-Site-2

Author: dsdparsons Date: 6/6/2023 11:12:33 AM

Status: Color: Layer: Space: if this is a tract then the lines dont match the

setbacks in guidelines



Subject: Callout

Page Label: Copper Chase PUD-Site-2

Author: dsdparsons

Date: 6/6/2023 11:13:27 AM

Status: Color: ■ Layer: Space: asa general note lot lines are very hard to

determine



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:18:34 AM

Status: Color: Layer: Space: this is a curve this check the lot distances please



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:32:01 AM

Status: Color: Layer: Space: where is the lot line between the lots and tract? This doesnot reflect LS plan lot and tract



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:20:56 AM

Status: Color: Layer: Space: why is there a sidewalk in the lot?



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:24:07 AM

Status: Color: Layer: Space: ped ramps at corners disappeared from review 2

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons **Date:** 6/6/2023 8:24:47 AM

Status: Color: Layer: Space:



Subject: Callout

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:25:33 AM

Status: Color: Layer: Space: what is this line?



Subject: Image

Page Label: Copper Chase PUD-Site-3

Author: dsdparsons Date: 6/6/2023 8:31:40 AM

Status: Color: E Layer: Space:

Subject: Callout

Page Label: Copper Chase PUD-Tracts-9

Author: dsdparsons

Date: 6/6/2023 11:36:12 AM

Status: Color: Layer: Space: clarify lot lines and dimensions so ramps and

attached sidewalk disappeared from review 2

sidewalks are outside of lots

dsdrice (3)



Subject:

Page Label: PUD UTL REV (002)

Author: dsdrice

Date: 6/5/2023 2:29:18 PM

Status: Color: Layer: Space:

Subject:

Page Label: PUD UTL REV (002)

Author: dsdrice

Date: 6/5/2023 2:29:20 PM

Status: Color: Layer: Space:



Subject:

Subject:
Page Label: PUD UTL REV (002)
Author: dsdrice
Date: 6/5/2023 2:29:34 PM
Status:
Color: Layer:
Space: