

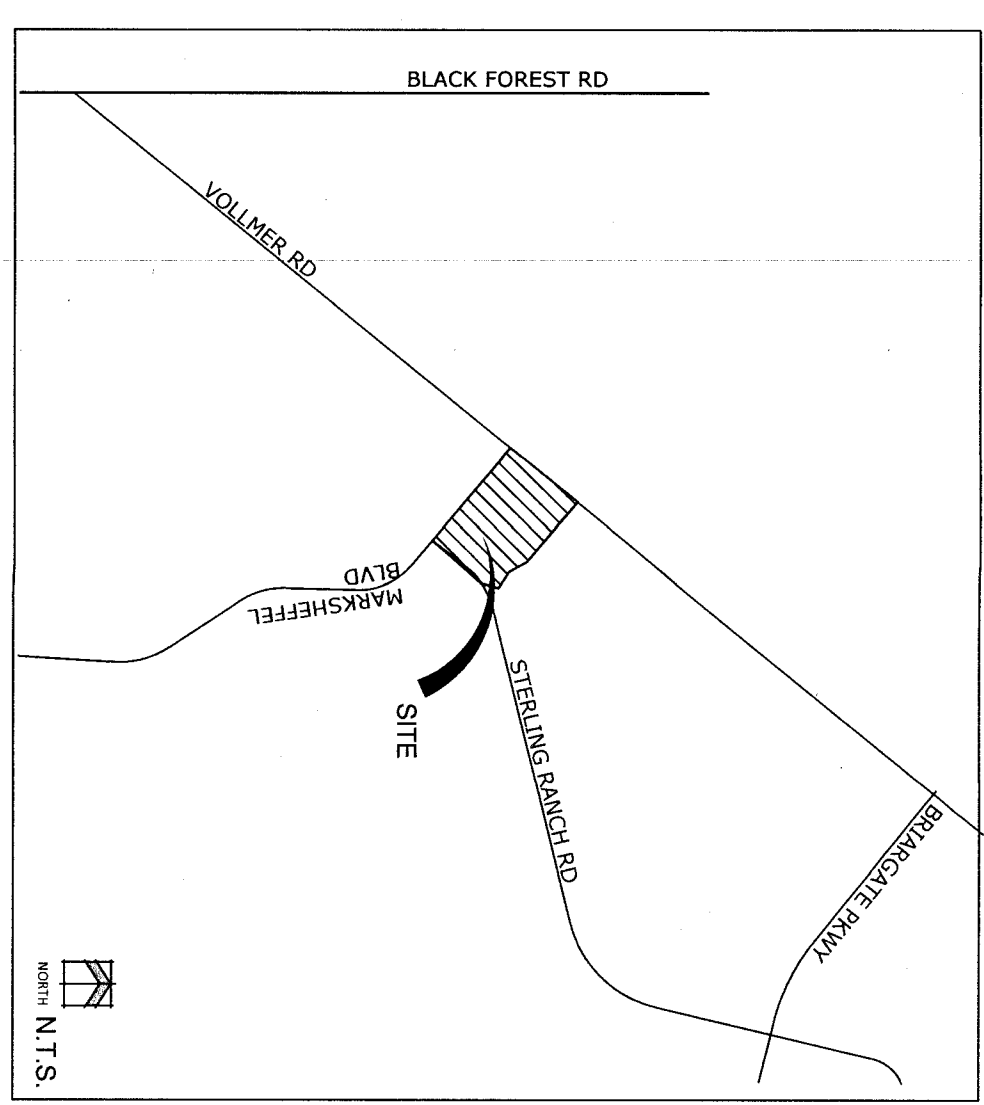


COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.
PUD DEVELOPMENT/PRELIMINARY PLAN

VICINITY MAP

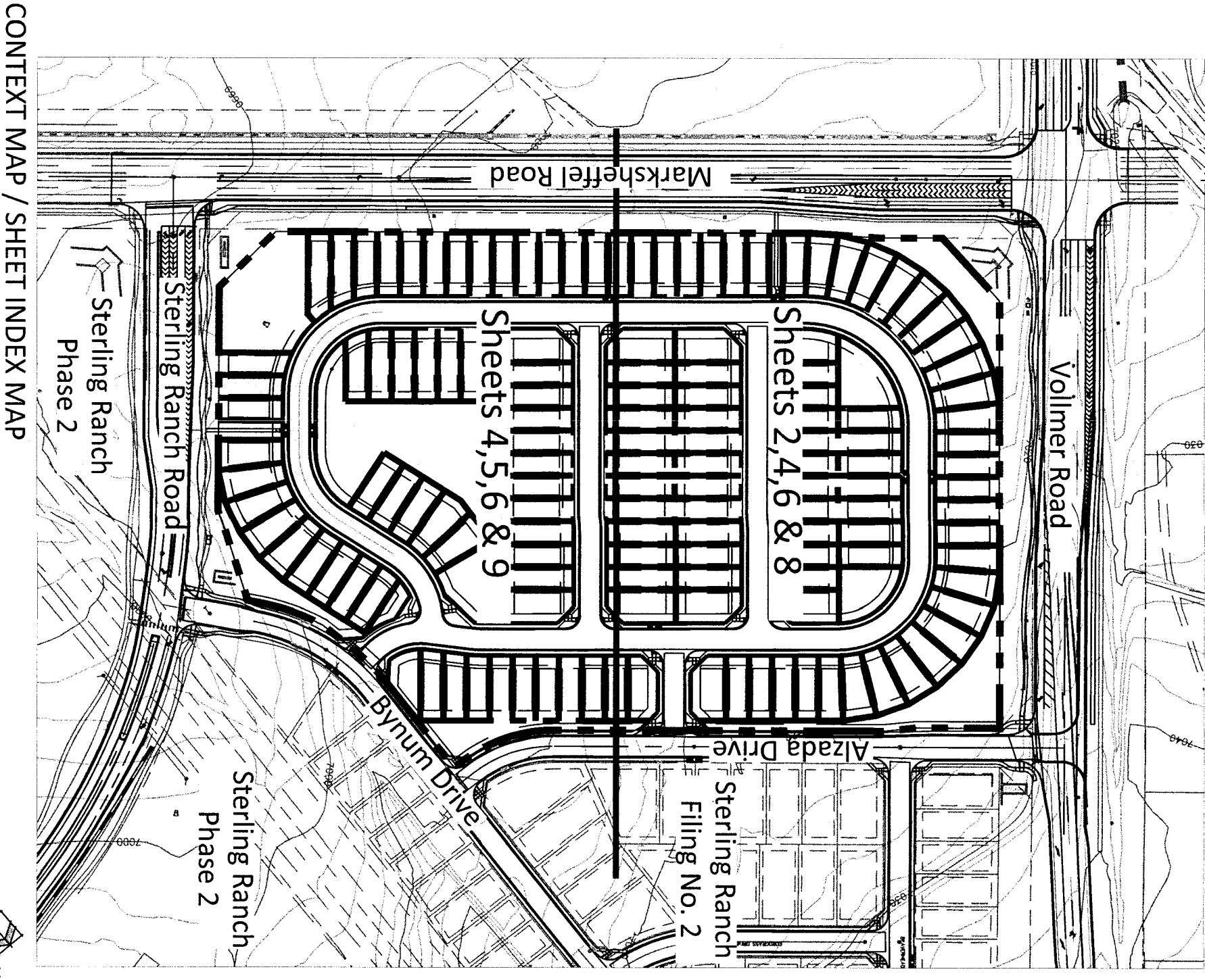


SITE DATA

Total # of Units:	5334/2093
Total Area:	10,651 AC
Development Schedule:	FAI 2023
Design Plan:	SPR 18-803 Approved 2018 Density Range: 5-8 DU/AC
Proposed Zoning:	PUD 800
Current Use:	Vacant
Proposed Use:	Single Family Residential
Proposed Gross Density:	7.0 DU/AC
Proposed Net Density:	11.5 DU/AC
PUD Open Space:	10% of 10,651 AC
Formula:	1.965 AC
Required:	4.9 AC (75%)
Provisional:	1.89 AC (71%)
Usable:	

LAND USE DATA TABLE

LAND USE	ACRES	% OF LAND
SINGLE FAMILY	12.0	0.1%
PUBLIC ROADS	4.8	0.0%
OPEN SPACE TRACTS	3,471	19%
TOTAL	19,651	100%



ROAD DEVIATIONS TABLE (AS ALLOWED BY ECM SECTION 5.8)

IDC/ECM Section	Category	Standard	Modification	Justification
2 ECM Section 2.3.3.C.4	Field Level Berms on Icon Roadways	Access ramps at field level berms shall be spaced no greater than 600 feet apart.	ECM Section 2.3.3.C.4 mid-block crossing.	Promote a reasonable sidewalk layout to accommodate pedestrian traffic and provide a safe and comfortable path for all users to that of the ECM standards.
3 ECM Section 2.3.2, Table 2-7	Minimum Centerline Radius & Intersection Spacing Standards	Minimum centerline radius (CCR) and minimum intersection spacing for urban local roadways	100' Minimum Centerline Radius and 100' Minimum Intersection Spacing	Create a more efficient development in terms of land devoted to transportation facilities and to maximize land for single family land uses on an irregularly shaped infill development parcel.
4 ECM Section 2.3.3.C.3	Field Back Berms on Icon Roadways	All TTI intersections shall have a minimum of four curb ramps.	2 FEB ramps at Blue Feather north-south intersection, 2 FEB ramps at Blue Feather Loop and Sun Road Drive, 2 FEB ramps at Blue Feather Loop and Blue Feather Loop intersection.	Promote safer pedestrian circulation paths that function similar to or superior to those of the ECM standards. 2 FEB ramps at Blue Feather north-south intersection, 2 FEB ramps at Blue Feather Loop and Sun Road Drive, 2 FEB ramps at Blue Feather Loop and Blue Feather Loop intersection. Similar circulation paths can be achieved with this solution. Does not impede pedestrian movements.
5 ECM Section 2.3.3	Broken Back Curve	Two curves in the same direction separated by a tangent with a length of at least two times the minimum radius. For local roadways, a minimum tangent of 200' shall be used to connect broken back curves.	Two curves separated with a tangent length of 88'.	The deviation is being requested to create a more efficient development in terms of land devoted to transportation facilities and to maximize land for development parcel. The intersection spacing of Sterling Ranch Rd and Alzada Blvd restricts where Blue Feather Loop can intersect Brynum Dr., restricting the broken back curve tangent requirement.

PROJECT TEAM

Owner/Developer:	Challenger Communities, LLC 8605 Explorer Drive, Suite 230 Colorado Springs, CO 80920 (719) 599-9235
Applicant:	N.E.S. Inc. 619 N. Cascade Ave, Suite 210 Colorado Springs, CO 80903 (719) 471-0073

SHEET INDEX

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GENERAL PROVISIONS

- Authority: This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
- Applicability: The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Director or Board of County Commissioners.
- Addition: The developer of this development plan shall reduce the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan is a valid and enforceable general plan for the El Paso County, Colorado, and that the El Paso County Board of County Commissioners shall approve this Development Plan, as authorized under the provisions of the El Paso County Land Development Code; and that the El Paso County Board of County Commissioners shall approve this development plan consistent with the Colorado Planned Unit Development Act of 1972, as amended.
- Relationship to County Regulations: The provisions of this Development Plan shall prevail and govern the development of Copper Chase at Sterling Ranch, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of this PUD approval (or owner acknowledgment of the PUD) changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
- Enforcement: To enforce the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation normally granted by law.
- Conflict: Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
- Maximum Level of Development: The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning area is the maximum development requested for planning or construction (plus any approved density transferred). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
- Project Tracking: At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limits are not exceeded.
- Overall Project Standards: The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.
- Utility Provisions: The following utility providers will serve the Copper Chase at Sterling Ranch PUD Preliminary Plan area:
Water: FAWMA
Wastewater: FAWMA
Gas: Colorado Springs Utilities
Electric: Mountain View Electric

DEVELOPMENT GUIDELINES: COPPER CHASE AT STERLING RANCH PUD DEVELOPMENT PLAN

- Project Description: Copper Chase at Sterling Ranch is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as parks and open space, and trails for residents to enjoy. Overall Sterling Ranch common landscape have been located in areas of higher density so more of the residents can access them by walking and provide a focal element to the neighborhoods. Lot sizes, setbacks, and landscape tracts are designed to provide a wide variety of housing options and prices within the development while retaining open space and visually interesting streetscapes for the community.
- Permitted and Accessory Uses: Permitted and accessory uses are as identified in the use table below.

PRINCIPAL USES	STANDARD
CHURCH, RECREATION, COMMUNITY CENTER	S**
HOME OCCUPATION, RESIDENTIAL	A
INDUSTRIAL, MANUFACTURING, SERVICE OFFICE	T**
PUBLIC PARK, OPEN SPACE	A
AVIARY SITES	T**

ACCESSORY USES	STANDARD
DAY CARE CENTER	A*
HOME OCCUPATION, RESIDENTIAL	A
ACCESSORY LIVING QUARTERS	A
PERSONAL USE OVERSTORAGE	A
RECREATIONAL ACCESSORY STRUCTURES & USES	A
REAR YARD USES	A
STORAGE	A
STREET USES	A

* Day Care & Storage uses may be an Allowed Use or a Special Use depending on the site as defined in Table 5.2.2 of the El Paso County Land Development Code. ** Special uses are subject to the requirements of the El Paso County Land Development Code, Section 5.2.2 OR as otherwise defined in the El Paso County Land Development Code. *** Other uses are not permitted, unless otherwise authorized.

TRACT TABLE

Tract	Area (sq ft)	Area (Ac)	Use	Ownership/Maintenance
A	12,880	0.296	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
B	19,564	0.449	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
C	12,268	0.282	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
D	11,955	0.275	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
E	21,068	0.484	Landscape, Utilities, Stormwater, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
F	2,925	0.067	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
G	11,623	0.267	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
H	55,311	1.27	Park, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
I	17,218	0.396	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
J	6,303	0.145	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
Total Tract Area:		3,471		

- Development Requirements:
 - Maximum lot coverage: sixty-five (65) percent
 - Minimum lot area: one acre
 - Setback (minimum height): thirty-five (35) feet.
 - Front yard: twenty (20) feet
 - Side yard: five (5) feet
 - End Corner: The side yard setback shall be fifteen (15) feet along the corner adjacent to the ROW
 - Rear yard: fifteen (15) feet.
- Accessory buildings must comply with the setbacks established above.
 - Pavos, landings, utility wells and other similar features may project into rear setbacks a maximum of 3' provided they do not interfere with utility services and drainage assessments
- Lot Sizes:
 - Minimum lot size is 3,200 square feet.
 - The lot sizes, dimensions, and bearings will be established with the final plat and may vary from that shown on the PUD Development/Preliminary Plan.
 - The final plat will not create any additional building lots.
 - Development/Preliminary Plan.
 - Lot line adjustments, per Chapter 7 of the Land Development Code or as amended will not require an amendment of this PUD Development/Preliminary Plan.
- Streets:
 - Public streets within the Copper Chase at Sterling Ranch subdivision provide general vehicular circulation throughout the development. All streets shall be paved with curb and gutter. Sidewalks shall be provided on both sides of all internal streets illustrated on this plan.
 - All streets will be public and maintained by El Paso County.
- Signs:
 - Signs shall be permitted to identify entryways to Copper Chase at Sterling Ranch community. The maximum size of the Community Entryway Sign for double-sided signs, one sign face shall contribute to the maximum size.
- Essentials:
 - Indicated all side, front, and rear lot lines are hereby defined for a 7-foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby vested with a 7-foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owner. A ten (10) foot front-line MEVA utility easement will be provided for any public improvement easement, in addition to the side and rear lot utility easements and all tracts.

Land Owner Certification

I, DM OF November 11, 2023
2023 A.D., A COLORADO LIMITED LIABILITY COMPANY
 AUTHORIZED AGENT: MANAGER
 State of Colorado
 County of El Paso
 Signed before me on November 11, 2023
 by Jim Byers (name(s) of individual(s) making statement).
Erin Ganaway
 Notary Public
 My Commission Expires 02-27-2027
 (Commission Expiration)

Board of County Commissioners Certification

This PUD/Preliminary plan for Copper Chase at Sterling Ranch, was approved for filing by the El Paso County, Colorado Board of County Commissioners on the 12th day of Oct., 2023, subject to any notes specified hereon and any conditions, included in the resolution of approval. The dedications of land to the public easements are the responsibility of El Paso County. The Board of County Commissioners certifies that the improvements in accordance with the requirements of the Land Development Code and Engineering Orders, and the Subdivision Improvements Agreement.

Carrie Roman
 Board of County Commissioners
 Director, Planning & Community Development Department
 Date: 11/11/23

Clerk and Recorder Certification

I hereby certify that this Plan was filed in my office on this 11 (day) of Nov (month), 2023 at 10:00 o'clock a.m./p.m. and was recorded per Reception No. 22-002

El Paso County Clerk and Recorder



N.E.S. Inc.
619 N. Cascade Avenue, Suite 210
Colorado Springs, CO 80903
Tel: 719.471.0073
Fax: 719.471.0267
www.nescolorado.com

PLANNER / LANDSCAPE ARCHITECT
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Copper Chase at Sterling Ranch

8335 Volmer Road

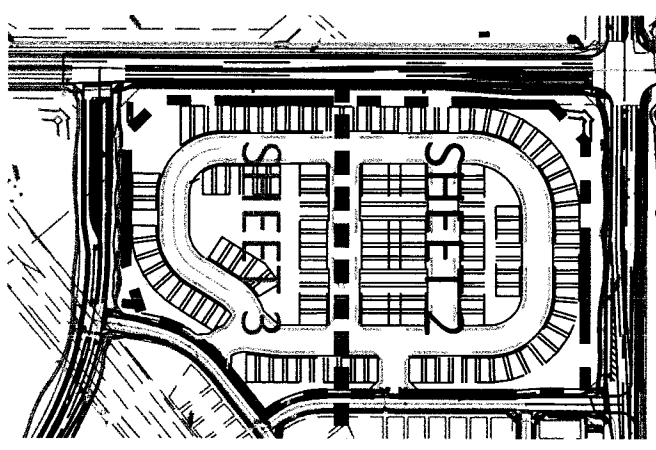
DATE: 02/22/2022
 PREPARED BY: B. Berens

Entitlement

DATE: 07/21/2022
 BY: PER. COUNTY COMMENT
 05/12/2023 J.S./A.L. PER. COUNTY COMMENT
 08/07/2023 J.S./A.L. PER. COUNTY COMMENT

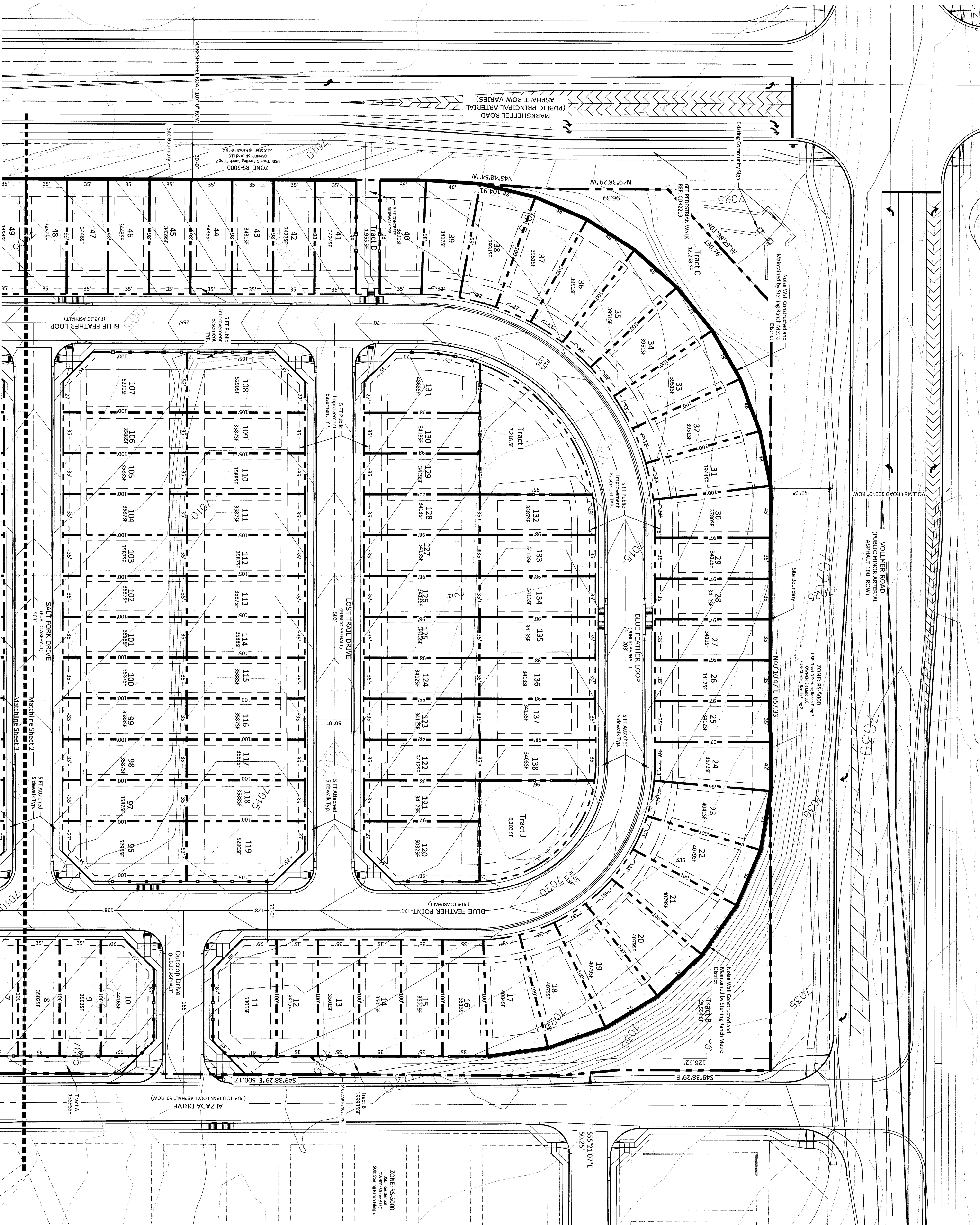
1 OF 10
 PUDSP 22-002

SHEET KEY MAP



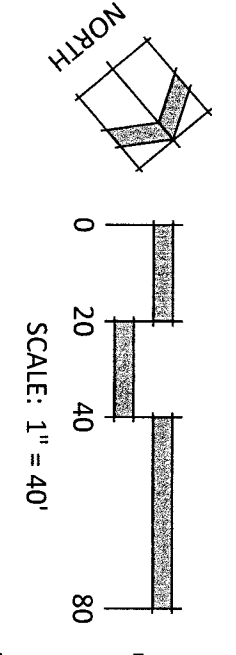
LINE TYPE LEGEND

- 6" CONCRETE BLOCK NOISE WALL
- BUILDING SETBACK
- MEFA EASEMENT
- PUBLIC IMPROVEMENT EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 5 FT CEDAR FENCE
- RIGHT OF WAY



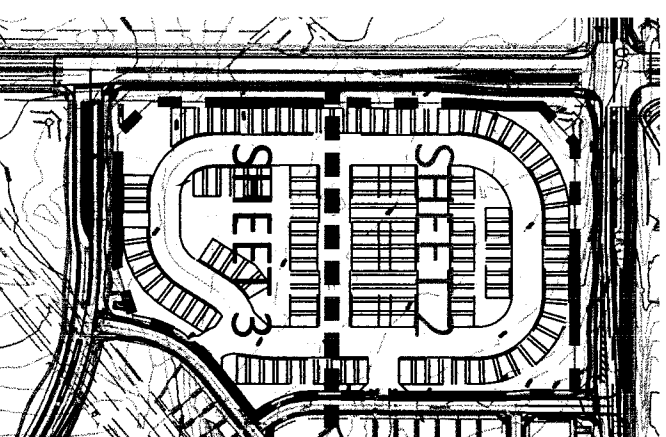
A PORTION OF THE E 1/2 SE 1/4 OF SECTION 33 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 13 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF THE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH & 7TH PAGO COUNTY, COLORADO
PUD DEVELOPMENT/PRELIMINARY PLAN

12.30.99 BLD
12.04.2023



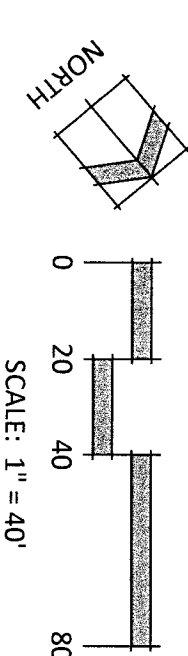
<p>PLANNING / LANDSCAPE ARCHITECT</p> <p>N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012, All Rights Reserved.</p>	<p>PROJECT INFO</p> <p>DATE: 03/25/2022 PROJECT MGR: A. Behlow PREPARED BY: B. Perkins</p>	<p>IN ASSOCIATION WITH</p> <p>8335 Volmer Road</p>	<p>STAMP</p> <p>Entitlement</p>	<p>ISSUE INFO</p> <p>DATE: 07.21.2022 BY: B.H. PER COUNTY COMMENT</p> <p>05.12.2023 J.S./A.L. PER COUNTY COMMENT</p> <p>08.07.2023 J.S./A.L. PER COUNTY COMMENT</p>	<p>SHEET TITLE</p> <p>PUD Site Plan</p>	<p>SHEET NUMBER</p> <p>2 OF 10</p>	<p>PLAN FILE #</p> <p>PUDSP 22-002</p>
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SHEET KEY MAP



LINE TYPE LEGEND

- 6" CONCRETE BLOCK NOISE WALL
- BUILDING SETBACK
- MEVA EASEMENT
- PUBLIC IMPROVEMENT EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 6 FT VINYL FENCE
- RIGHT OF WAY



PLAN FILE # SHEET NUMBER SHEET TITLE ISSUE / REVISION ISSUE INFO STAMP PROJECT INFO DATE: 03/25/2022 PROJECT MGR: A. Behr PREPARED BY: B. Perkins IN ASSOCIATION WITH 8335 Volmer Road Copper Chase at Sterling Ranch N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012, All Rights Reserved.	DATE: 07/21/2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT 05/12/2023 J.S./A.L. PER COUNTY COMMENT 08/07/2023 J.S./A.L. PER COUNTY COMMENT
	SHEET NUMBER 3 OF 10 PUDSP 22-002

COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO
1.2.30.9.840
12.04.2023

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.
PUD DEVELOPMENT/PRELIMINARY PLAN

LANDSCAPE NOTES

1. ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT ORANGE CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
2. SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2A1 ORGANIC PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR ORGANIC COMPOST) TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
3. FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
4. CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
5. CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
6. ALL SOD SHALL BE TALL FESCUE BLEND.
7. NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADE.
8. FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
9. ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED. AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
10. A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
11. NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
12. ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
13. COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS.
14. GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH, INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
15. ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOVED STRIP, WITHOUT STEEL EDGING.
16. SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
17. ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT.
18. ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
19. THESE PLANS ARE FOR COUNTY APPROVAL ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
20. ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, ANY SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERRIES, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATION IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

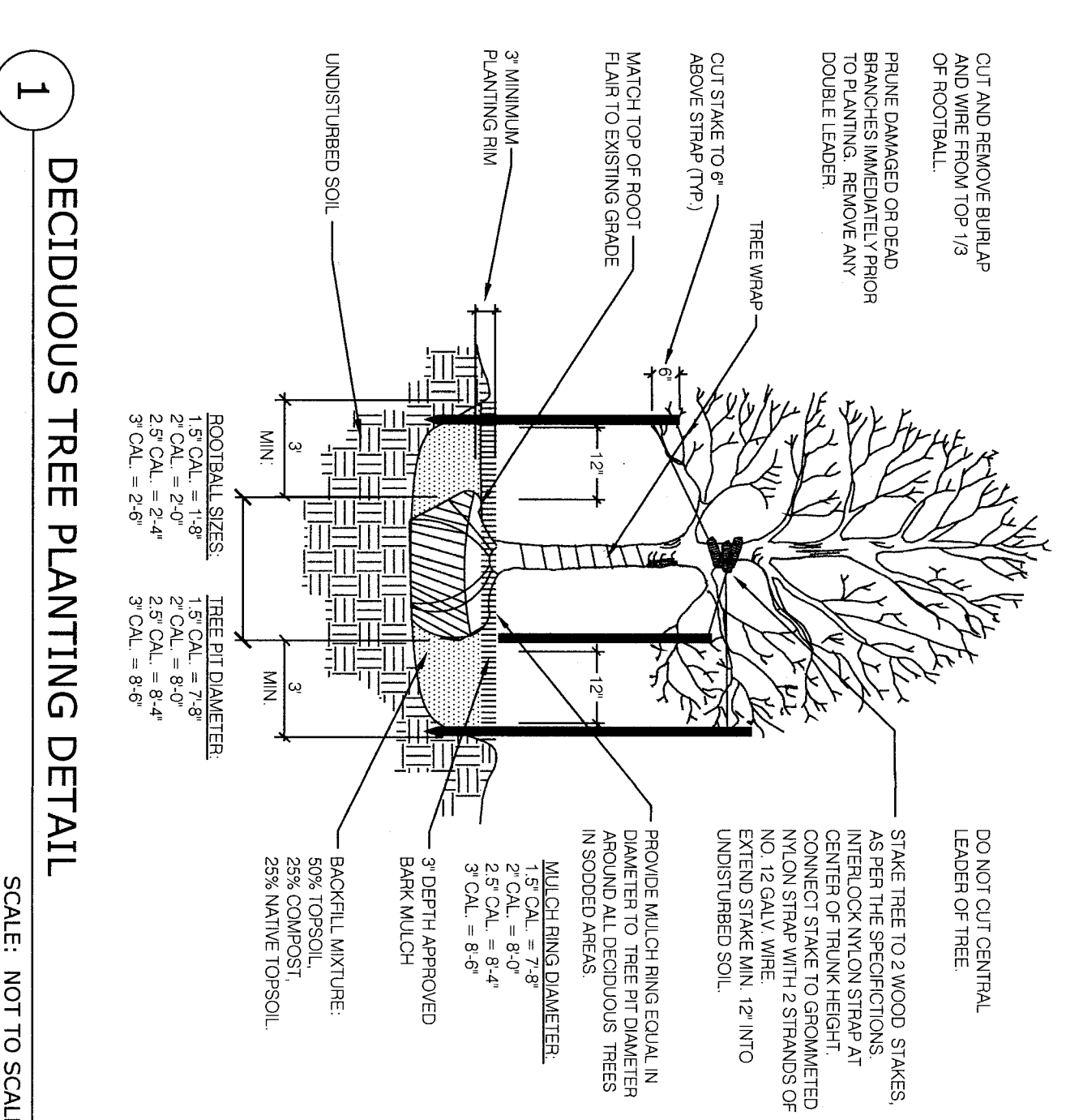
GROUND COVER SCHEDULE

Symbol	Material	Quantity
	COBBLE 2-3" Cripple Creek Gold Ore	6,907 sf
	NATIVE GRASSES Upland Native Seed Mix	89,355 sf
	ROCK MULCH 3/4" Cimarron Granite	10,717 sf
	TALL FESCUE SOD	49,033 sf

PLANT SCHEDULE

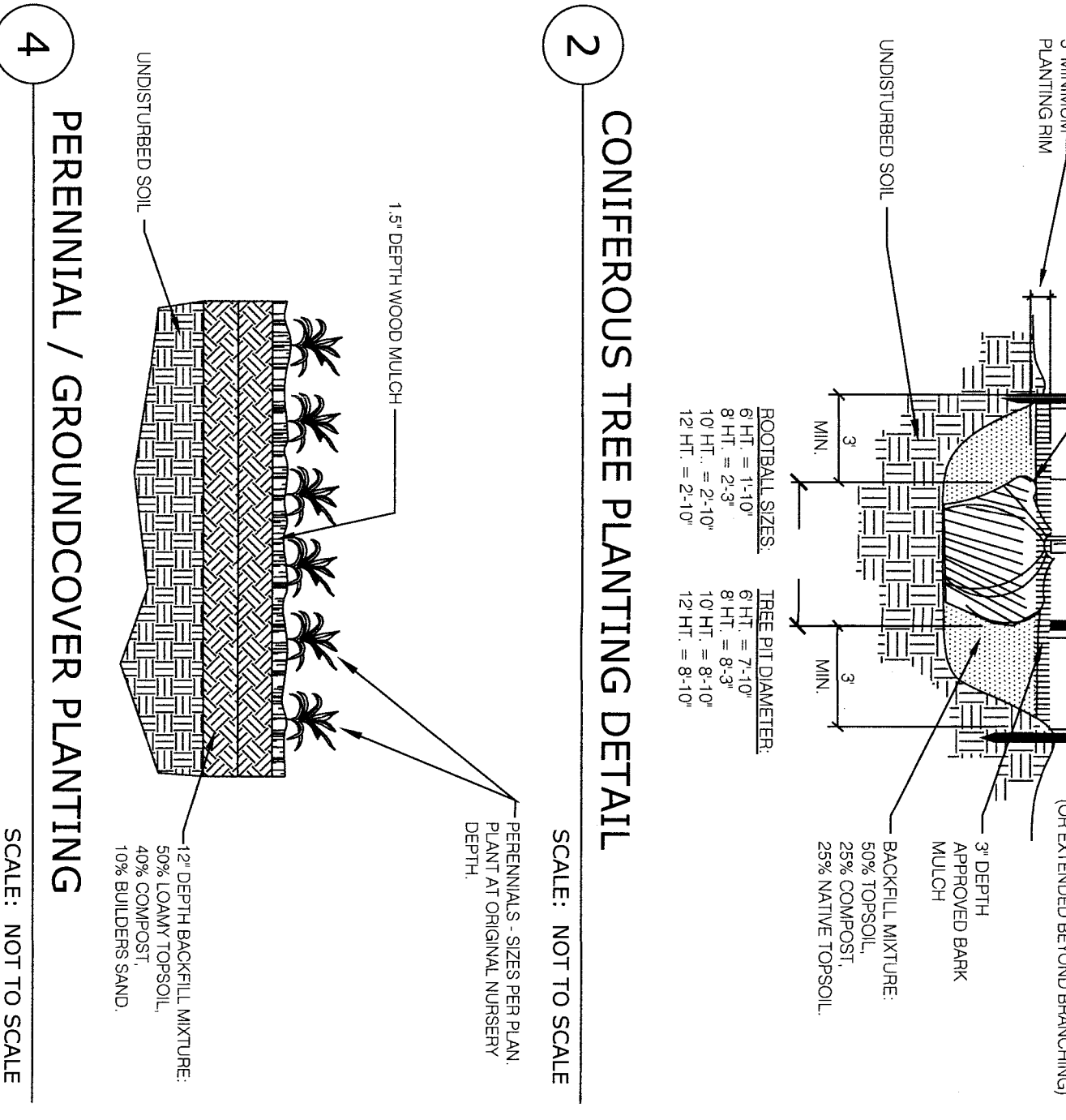
Symbol	Code	Qty	Botanical / Common Name	Height	Width	Size	Contd
	DECIDUOUS TREES						
	Apr	24	Acer grandidentatum / Bigtooth Maple	30'	30"	2' Cal.	B8B
	Coc	5	Celtis occidentalis / Common Hackberry	60'	50"	2' Cal.	B8B
	Ccr	1	Crataegus crug-galli / Cockspur Hawthorn	30'	30"	2' Cal.	B8B
	Mxr	13	Malus x 'Radiant' / Radiant Crabapple	25'	20"	2' Cal.	B8B
	Qma	4	Quercus macrocarpa / Bur Oak	60'	50"	2' Cal.	B8B
	EVERGREEN TREES						
	Ped	30	Pinus edulis / Pinon Pine	30'	20"	6' HT	B8B
	Pfl	11	Pinus flexilis / Lumber Pine	50'	30"	6' HT	B8B
	Ppo	2	Pinus ponderosa / Ponderosa Pine	80'	40"	6' HT	B8B
	SHRUBS						
	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Csc	82	Cornus sericea / Redosier Dogwood	4'	4"	5 GAL.	CONT
	Je	14	Juniperus virginiana 'Globose' / Globe Eastern Redcedar	3'	3"	5 GAL.	CONT
	Ppd	11	Physocarpus opulifolius 'Diablo' / Diablo Minibark	8'	8"	5 GAL.	CONT
	Pm	34	Pinus mugo 'Big Top' / Mountain Pine	5'	6"	5 GAL.	CONT
	Pn	166	Pinus nigra 'Compressa' / Dwarf Mugo Pine	3'	3"	5 GAL.	CONT
	Psy	11	Pinus sylvestris 'Hilsida Creeper' / Hilsida Creeper Scotch Pine	2'	6"	5 GAL.	CONT
	Rsk	17	Rosula x 'Knockout' TH / Rose	3'	3"	5 GAL.	CONT
	DECIDUOUS SHRUBS						
	Fm	10	Forestiera neomexicana / New Mexico Privet	12'	12"	5 GAL.	CONT
	Cca	310	Calamagrostis x acedifolia 'Vest Forester' / Feather Reed Grass	5'	2"	1 GAL.	CONT
	Ch	44	Chamaenerion arifolium 'Little Ticker' / Little Ticker Northern Sea Oats	2'	2"	1 GAL.	CONT

1 DECIDUOUS TREE PLANTING DETAIL



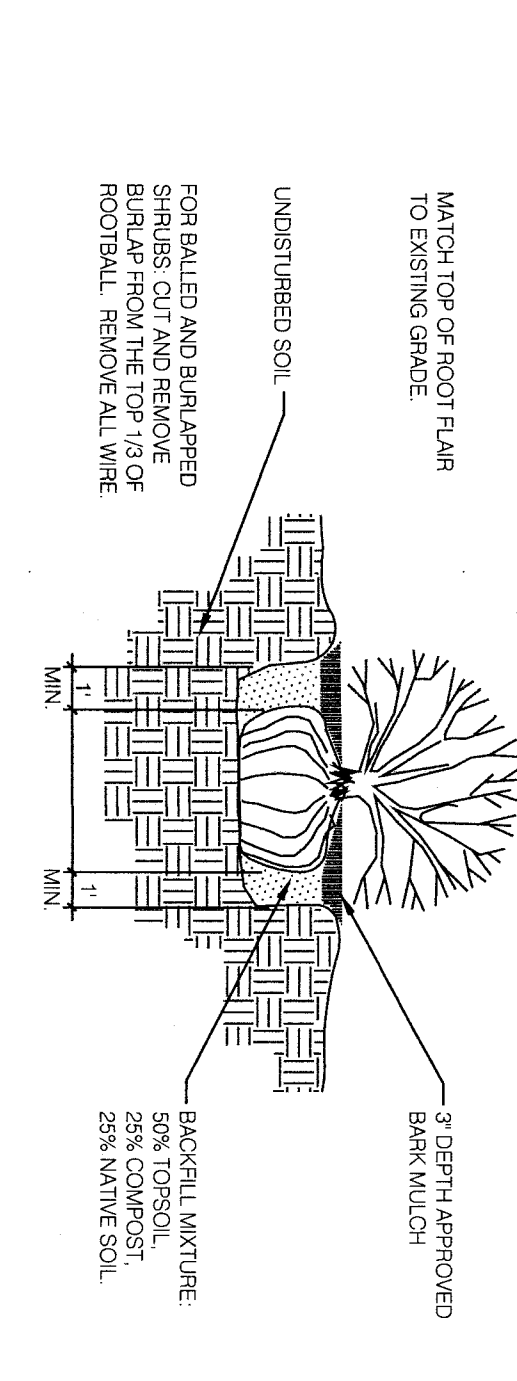
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2 CONFEROUS TREE PLANTING DETAIL



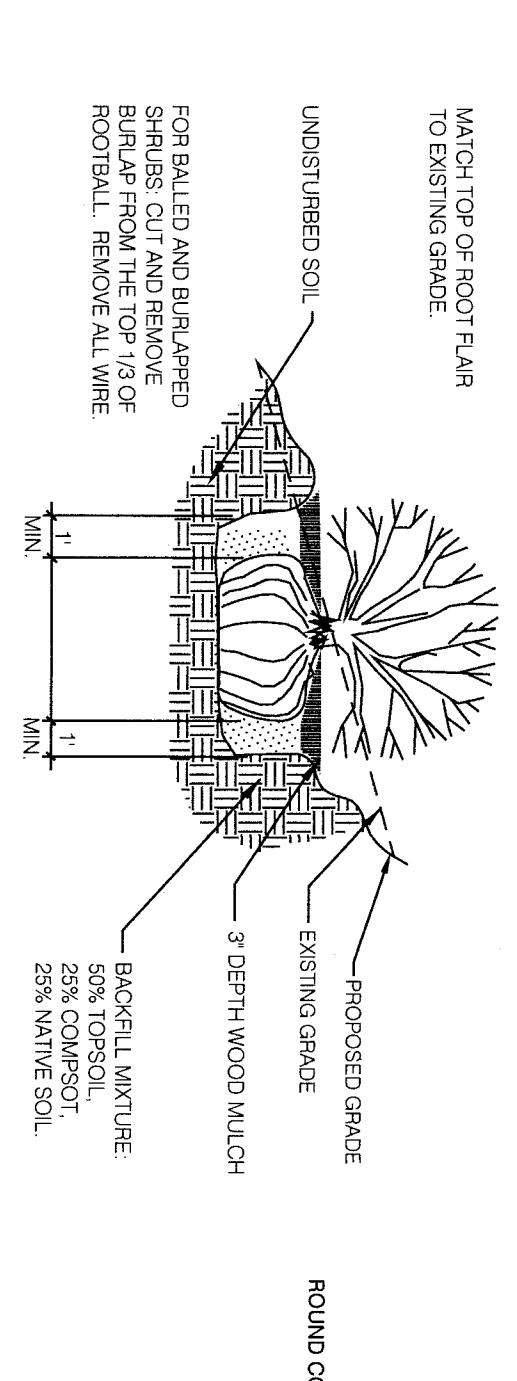
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3 SHRUB PLANTING DETAIL



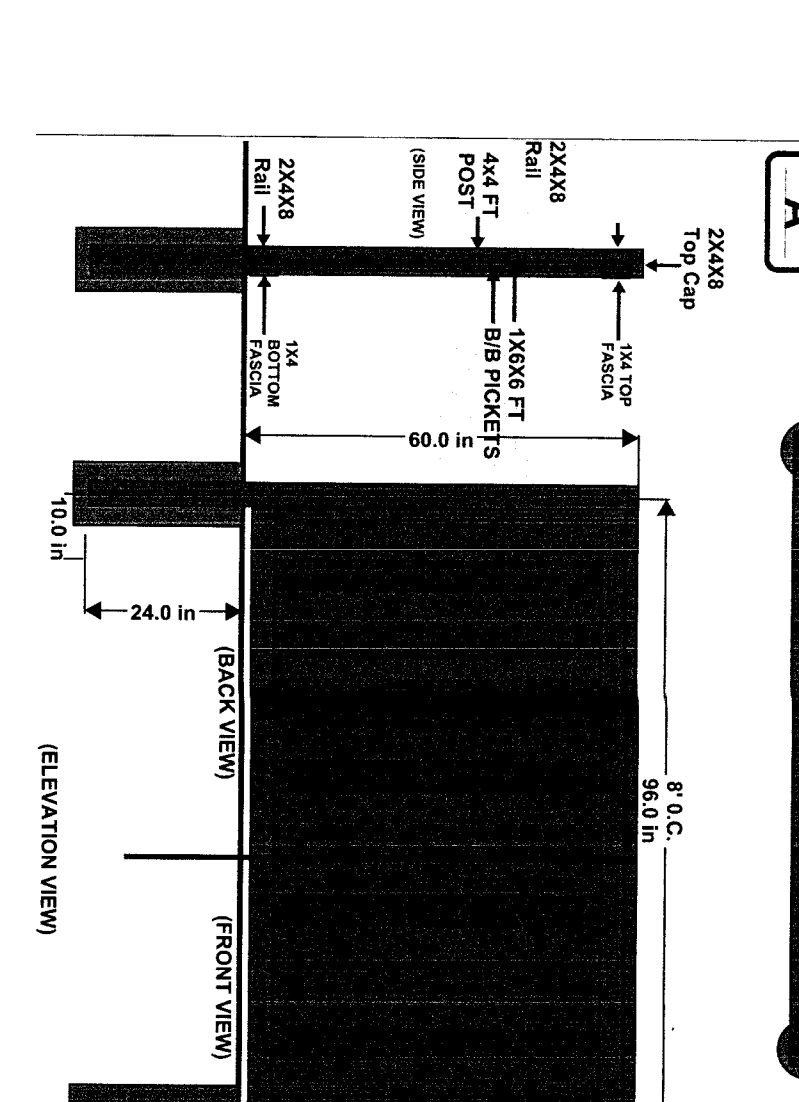
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4 PERENNIAL / GROUNDCOVER PLANTING



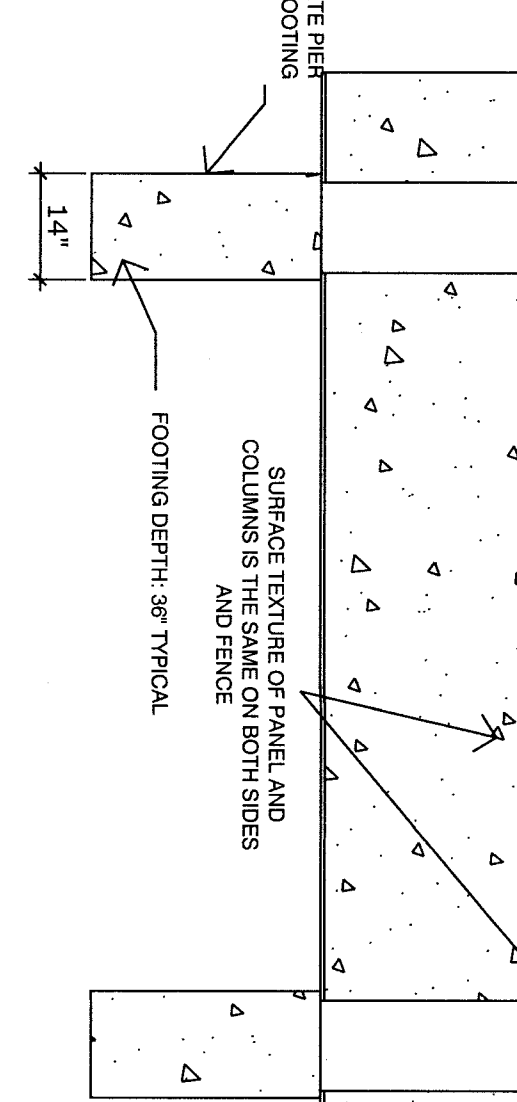
SCALE: NOT TO SCALE

5 CEDAR FENCE



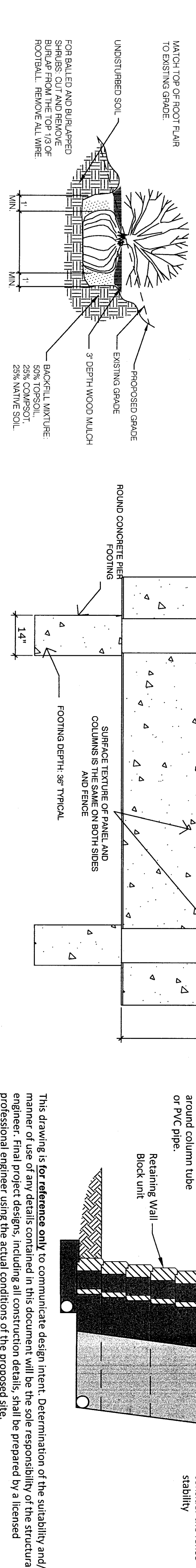
SCALE: NOT TO SCALE

6 CONCRETE BLOCK NOISE WALL



SCALE: NOT TO SCALE

7 RETAINING WALL WITH FENCE



SCALE: NOT TO SCALE



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903
Tel: 719.471.0073
Fax: 719.471.0267
www.nescolorado.com
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Copper Chase
at Sterling
Ranch

8335 Volmer Road

Entitlement

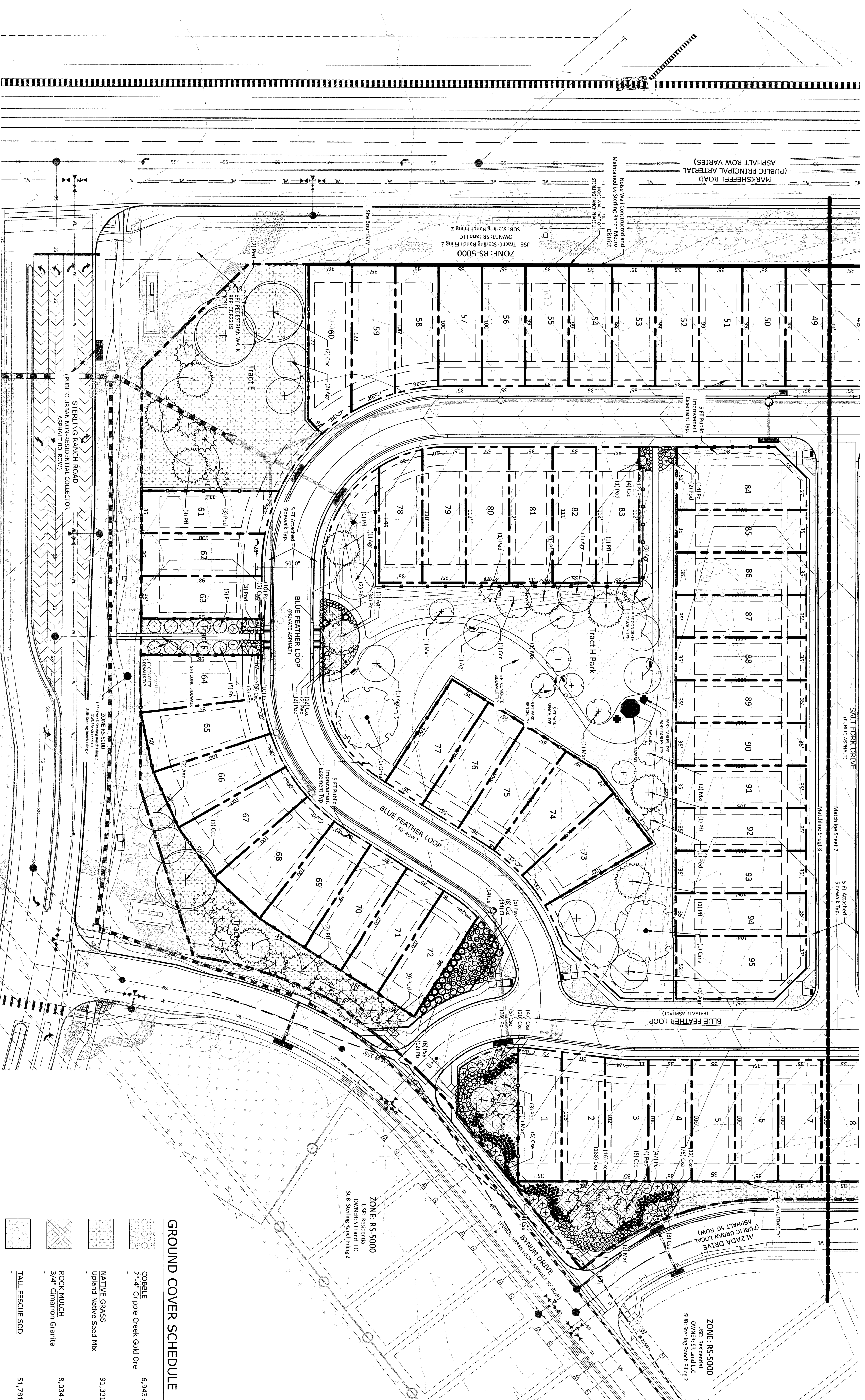
DATE: 03.25.2022
PREPARED BY: B. Smith
PROJECT INFO: 8335 Volmer Road

DATE: 07.21.2022
BY: B.H.
PER. COUNTY COMMENT: 05.12.2023 J.S./A. L/PER COUNTY COMMENT
08.07.2023 J.S./A. L/PER COUNTY COMMENT

PLAN FILE #
SHEET NUMBER
6 OF 10
PUDSP 22-002

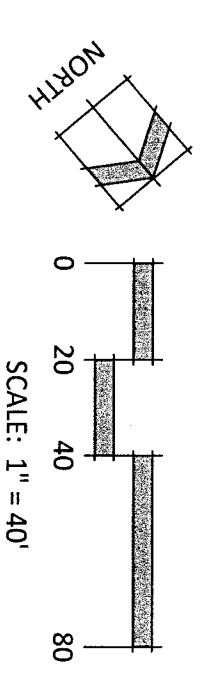
COPPER CHASE AT STERLING RANCH
 EL PASO COUNTY, COLORADO A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH,
 RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.
PUD DEVELOPMENT/PRELIMINARY PLAN

22-3-0978-40
 12.06.2023



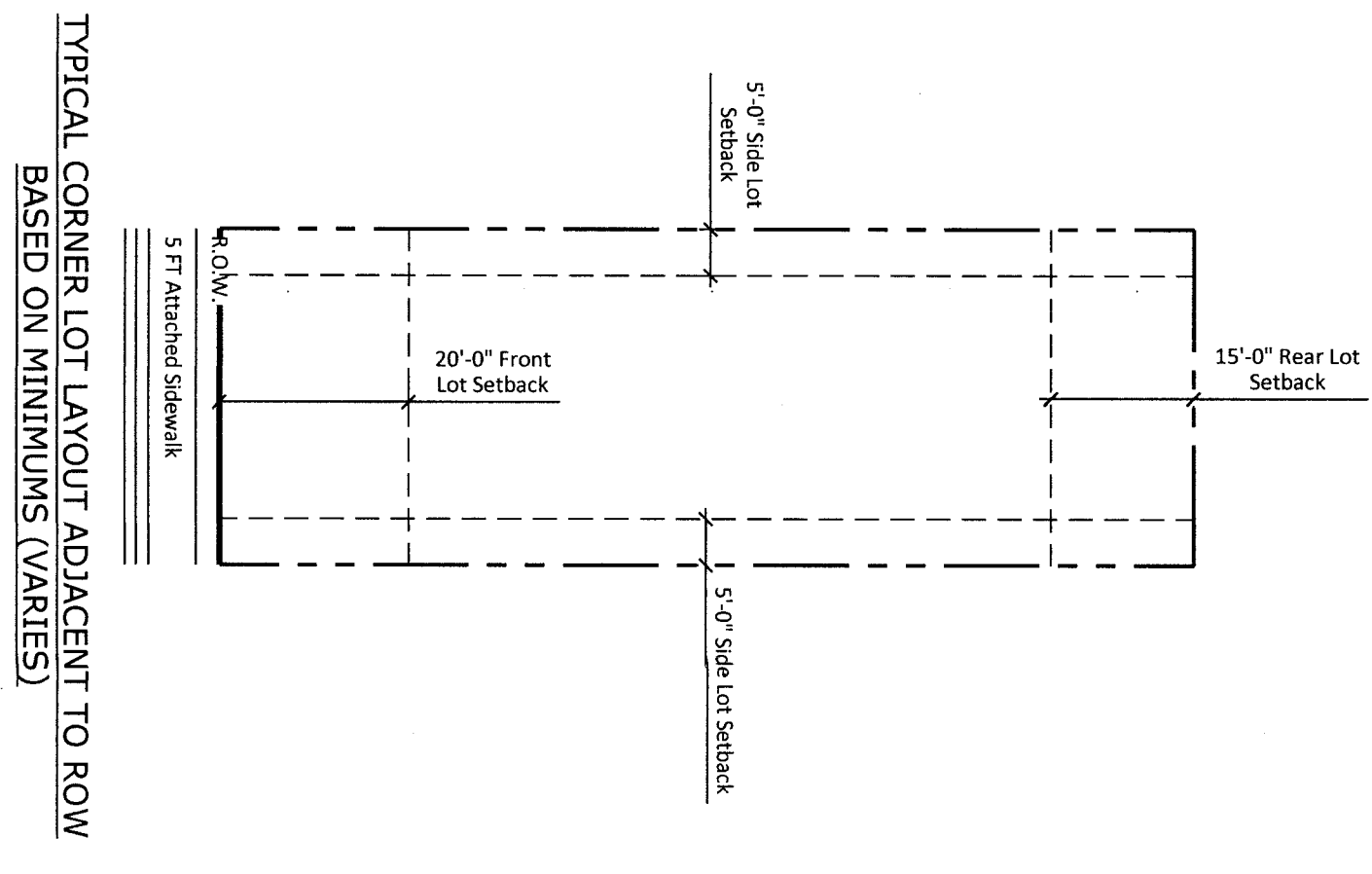
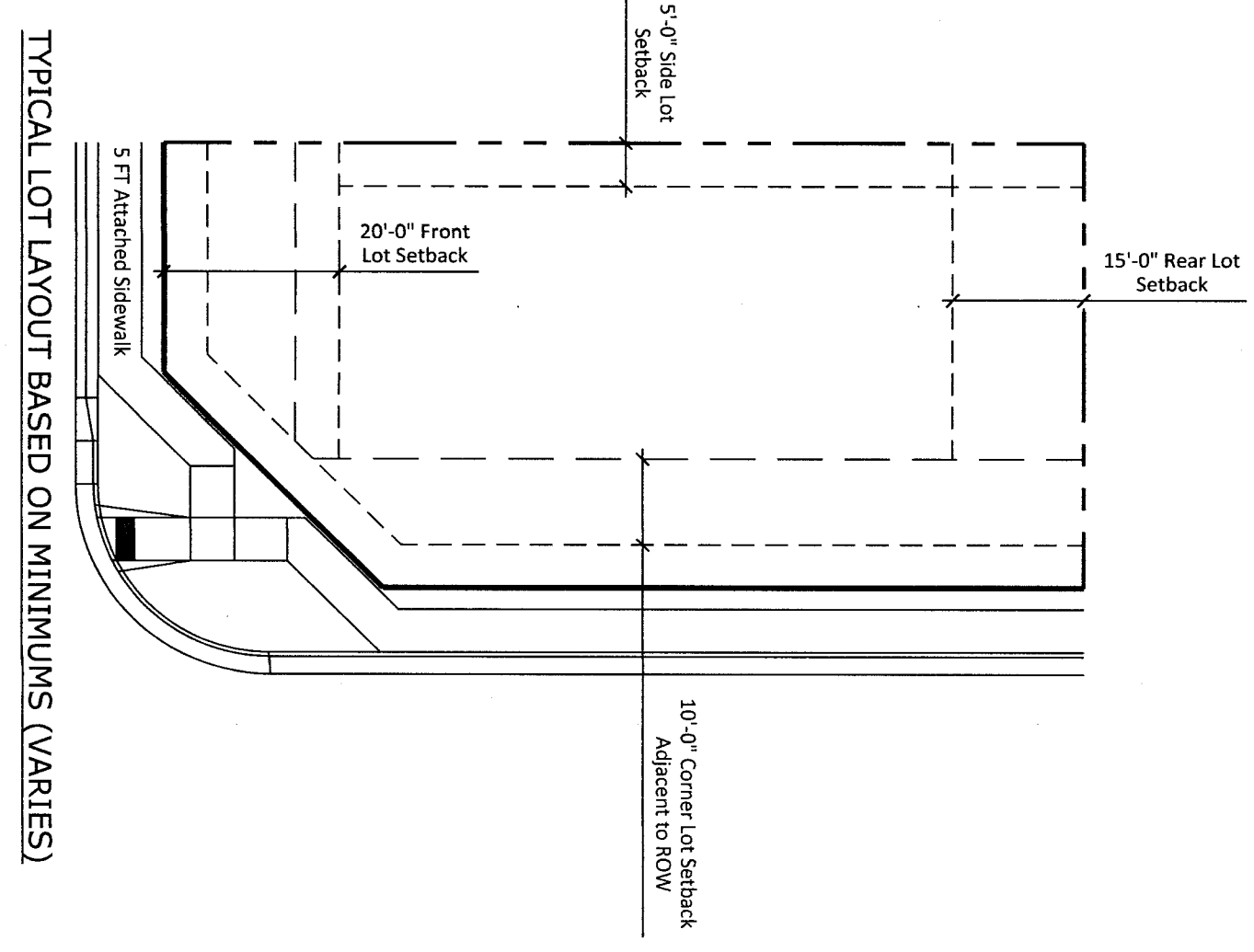
GROUND COVER SCHEDULE

	COBBLE	6,943 SF
	2"-4" Chippie Creek Gold Ore	91,331 SF
	NATIVE GRASS Upland Native Seed Mix	8,034 SF
	ROCK MULCH 3/4" Cimarron Granite	51,781 SF
	TALL FESCUE SOD	



<p>PLANNED BY: N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012, All Rights Reserved.</p>	<p>Copper Chase at Sterling Ranch</p> <p>8335 Volmer Road</p>	<p>PROJECT INFO DATE: 03.25.2022 PROJECT NGR: B. Swenson PREPARED BY: J. Smith</p>	<p>ISSUE INFO</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>DATE</th> <th>BY</th> <th>DESCRIPTION</th> </tr> <tr> <td>07.21.2022</td> <td>B.H.</td> <td>PER COUNTY COMMENT</td> </tr> <tr> <td>05.12.2023</td> <td>J.S.A./L.P.R.</td> <td>PER COUNTY COMMENT</td> </tr> <tr> <td>07.14.2023</td> <td>J.S.A./L.P.R.</td> <td>PER COUNTY COMMENT</td> </tr> </table> <p>ISSUE / REVISION</p> <p>SHEET TITLE Landscape Plan</p> <p>SHEET NUMBER 8 OF 10</p> <p>PLAN FILE # PUDSP 22-002</p>	DATE	BY	DESCRIPTION	07.21.2022	B.H.	PER COUNTY COMMENT	05.12.2023	J.S.A./L.P.R.	PER COUNTY COMMENT	07.14.2023	J.S.A./L.P.R.	PER COUNTY COMMENT
DATE	BY	DESCRIPTION													
07.21.2022	B.H.	PER COUNTY COMMENT													
05.12.2023	J.S.A./L.P.R.	PER COUNTY COMMENT													
07.14.2023	J.S.A./L.P.R.	PER COUNTY COMMENT													

2230998410
 12.01.2023

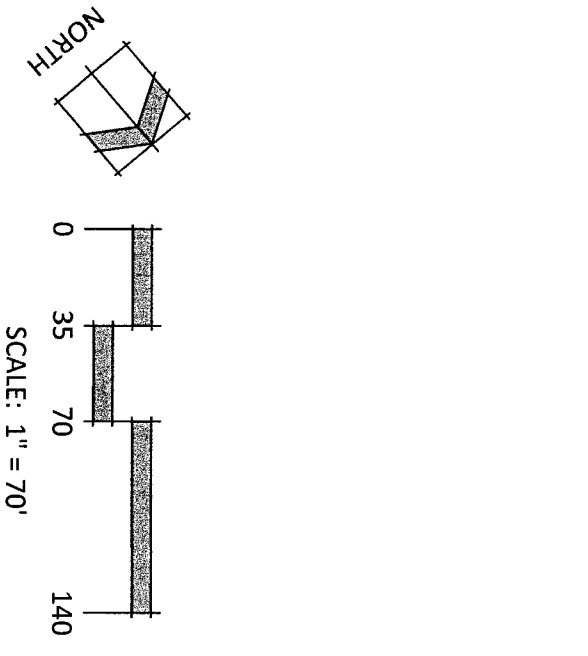
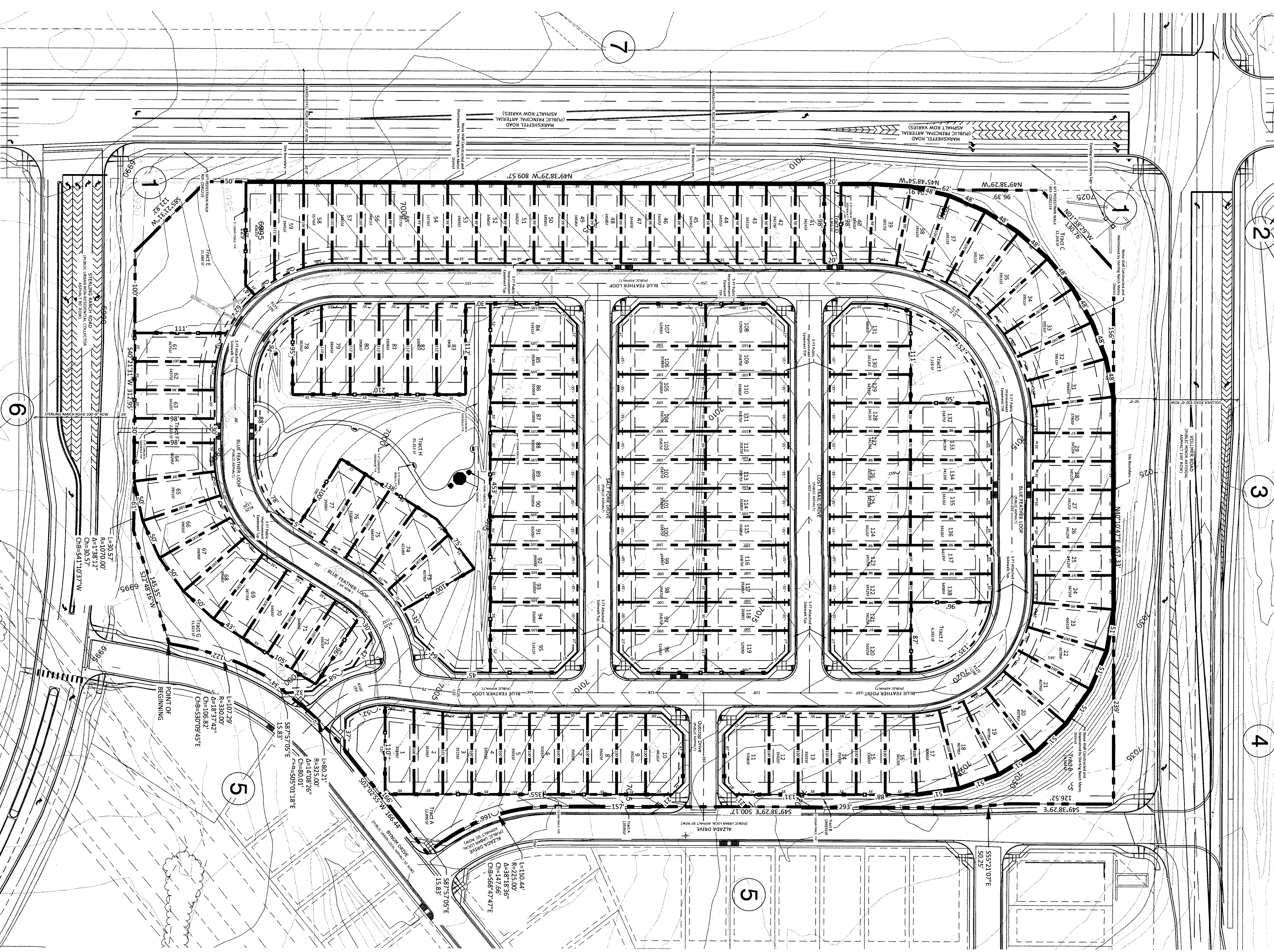


TRACT TABLE

Tract	Area (SF)	Area (AC)	Use	Ownership/Maintenance
A	12,890	0.296	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
B	19,564	0.449	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
C	12,288	0.282	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
D	12,955	0.295	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
E	22,098	0.504	Landscape, Utilities, Stormwater, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
F	22,925	0.527	Landscape, Utilities, Stormwater, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
G	11,623	0.267	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
H	55,311	1.27	Park, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
I	7,218	0.166	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
J	6,303	0.145	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
Total Tract Area: 3,471				

ADJACENT OWNERS

Name	Mailing Address	City, State, Zip
1	SRI LAND LLC 20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO. 80903
2	EL PASO COUNTY 200 S CASCADE AVE	COLORADO SPRINGS CO. 80903
3	TYNONE & ECUELA SMITH 6145 PAPER CT	COLORADO SPRINGS CO. 80922
4	ALBINO FLETCHER & SANJARA HIGHERA REBOULDER 9225 BEN TIRMAN CT	COLORADO SPRINGS CO. 80908
5	SRI LAND LLC 20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO. 80903
6	SRI LAND LLC 20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO. 80903
7	SRI LAND LLC 20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO. 80903



<p>N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012. All Rights Reserved.</p>	<p>PLANNER / LANDSCAPE ARCHITECT</p>
	<p>IN ASSOCIATION WITH</p>
<p>PROJECT INFO</p> <p>DATE: 02/25/2022 PROJECT MGR: A. Bahlow PREPARED BY: B. Perkins</p>	<p>8335 Volmer Road</p>
<p>ISSUE INFO</p> <p>DATE: 07/21/2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT</p> <p>05/12/2023 3.5 A.L. PER COUNTY COMMENT 08/07/2023 3.5 A.L. PER COUNTY COMMENT</p>	<p>STAMP</p> <p>Entitlement</p>
<p>PLAN FILE #</p> <p>SHEET NUMBER</p> <p>SHEET TITLE</p> <p>ISSUE / REVISION</p>	<p>9 OF 10</p> <p>PUDSP 22-002</p> <p>Tract Exhibit</p>

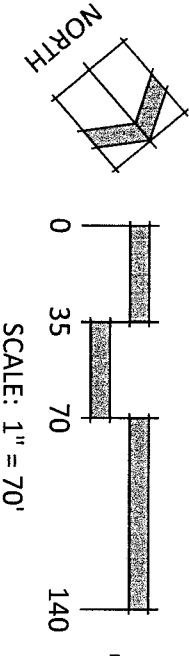
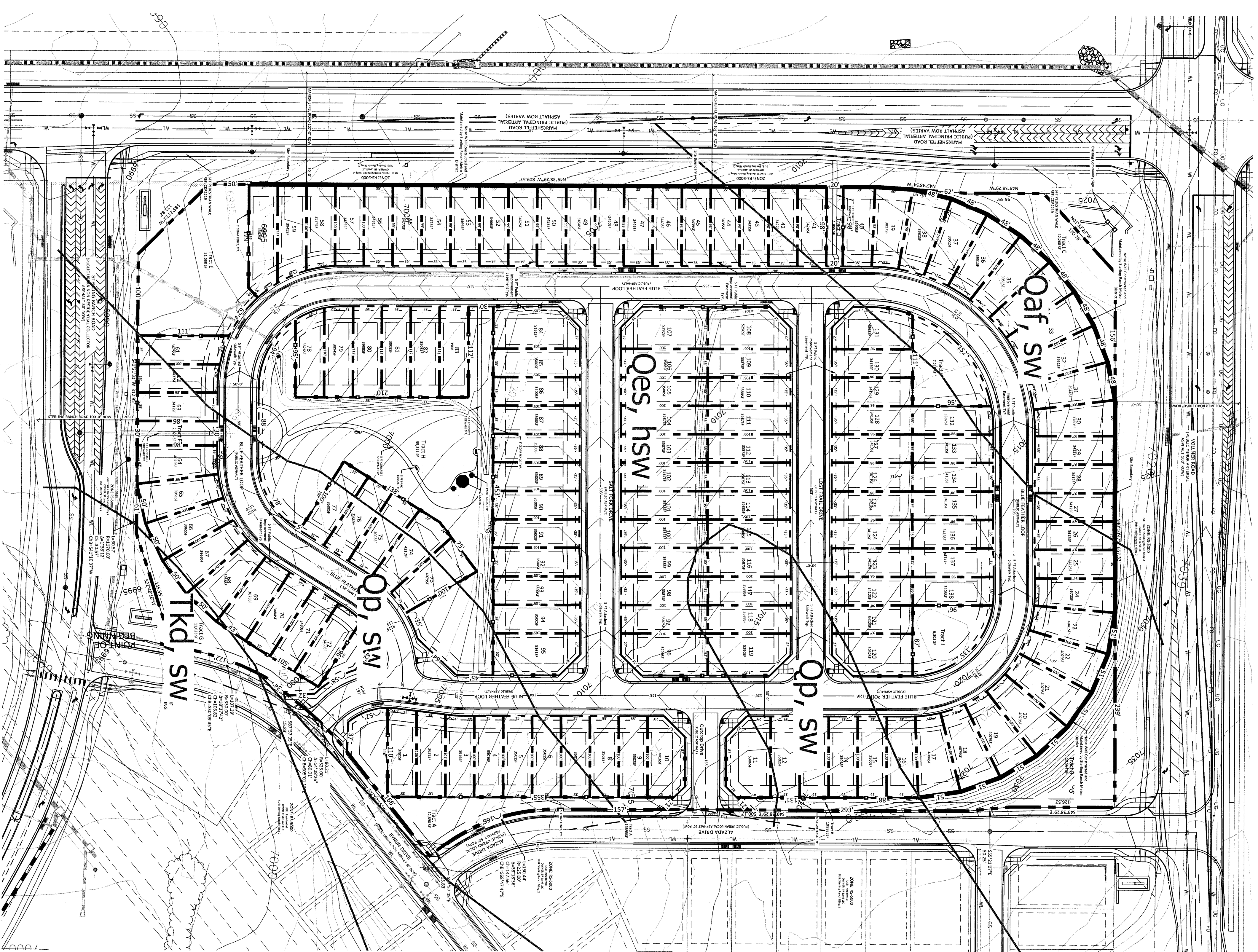
- Legend:**
- Qaf - Artificial Fill of Holocene Age:
 - Qes - Man-made fill deposits
 - Qp - wind deposited sands
 - TKd - Piney Creek Alluvium of Quaternary Age:
 - h - water deposited sands and clays
 - sw - Dawson Formation of Tertiary to Cretaceous Age:
 - h - arkosic sandstone with interbedded claystone and siltstone
 - sw - hydrocompaction
 - sw - shallow groundwater area

GEOLOGIC CONSTRAINTS &/OR HAZARD DISCLOSURE STATEMENT

1. Geologic Hazard Note: The following has been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in 12-002 available at the El Paso County Planning and Community Development Department.
 Potential Shallow Groundwater (All lots)
 Artificial Fill (All lots)
 Potential Expansive Soil (Spondia)
 Hydrocompaction (lots 5-12, 15-28, 41-63, 73-115 and 120, 138)
 In Areas of Expansive Soil: Foundations will require special foundation design.
 In Areas of High Groundwater: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.

GEOLOGIC CONSTRAINTS NOTES

1. IF ANY DISCREPANCIES ARE FOUND BETWEEN PLAN AND SAID REPORTS, THE REPORT'S SUPERSEDES.
2. ALL BOUNDARIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. THEY ARE BASED UPON A SUBJECTIVE INTERPRETATION OF THE REPORT'S FINDINGS. BOUNDARIES SHOWN ARE POSSIBLE AND SHOULD BE EXPECTED WITH MORE DETAILED WORK AND FURTHER INFORMATION. ALL INTERPRETATIONS AND CONDITIONS SHOWN ARE PRELIMINARY AND FOR LAND-USE PLANNING ONLY.



<p>PLANNED / LANDSCAPE ARCHITECT</p> <p>N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903 Tel. 719.471.0073 Fax 719.471.0267 www.nescolorado.com © 2012, All Rights Reserved.</p>	<p>IN ASSOCIATION WITH</p> <p>Copper Chase at Sterling Ranch</p> <p>8335 Volmer Road</p>	<p>PROJECT INFO</p> <p>DATE: 03/25/2022 PROJECT MGR: A. Bahlow PREPARED BY: B. Perkins</p>	<p>ISSUE INFO</p> <p>ISSUE: Entitlement</p>	<p>STAMP</p>	<p>SHEET TITLE</p> <p>Constraints Exhibit</p>	<p>SHEET NUMBER</p> <p>10 OF 10</p>	<p>PLAN FILE #</p> <p>PUDSP 22-002</p>
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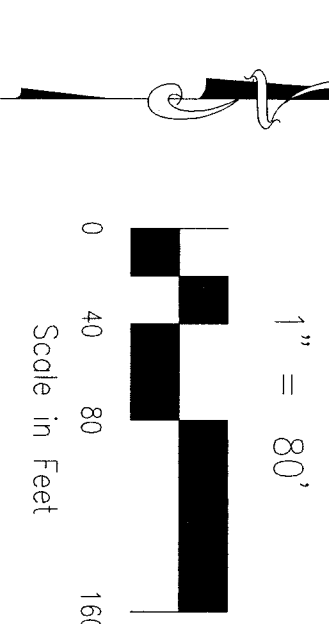
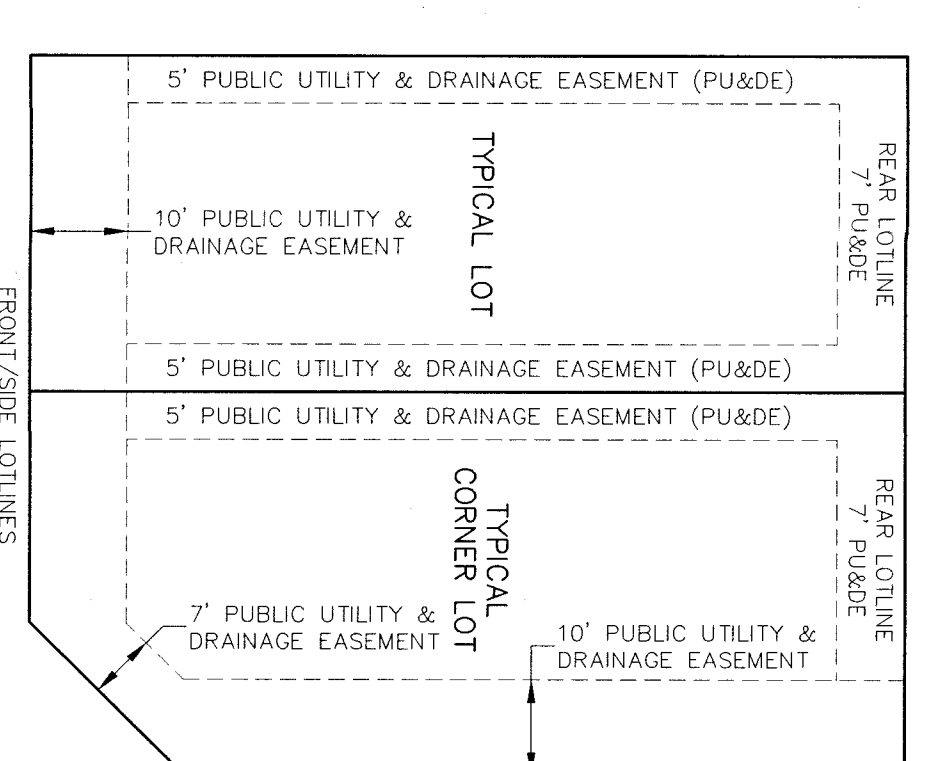
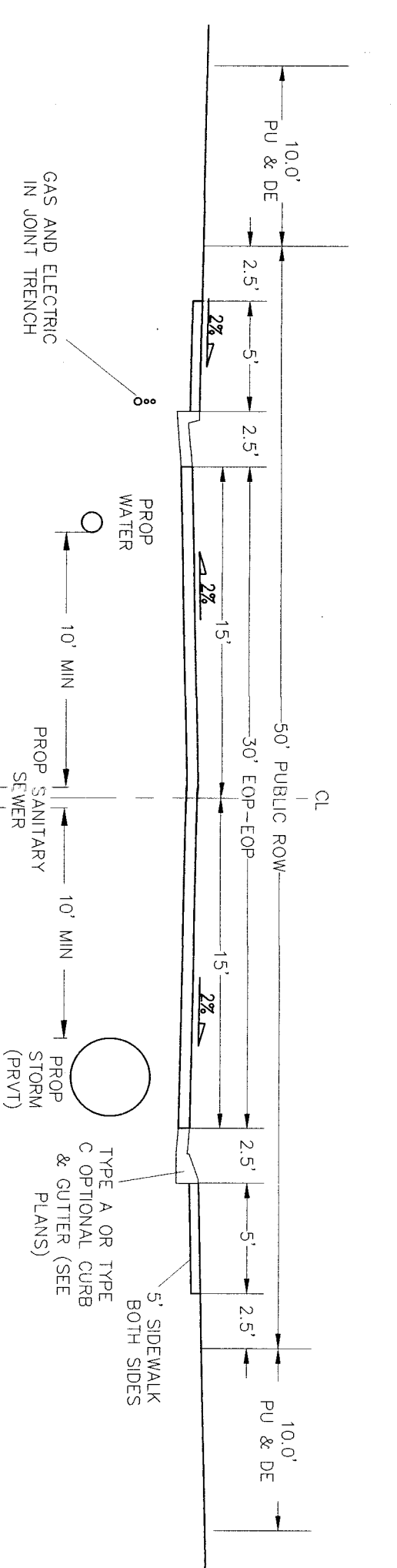
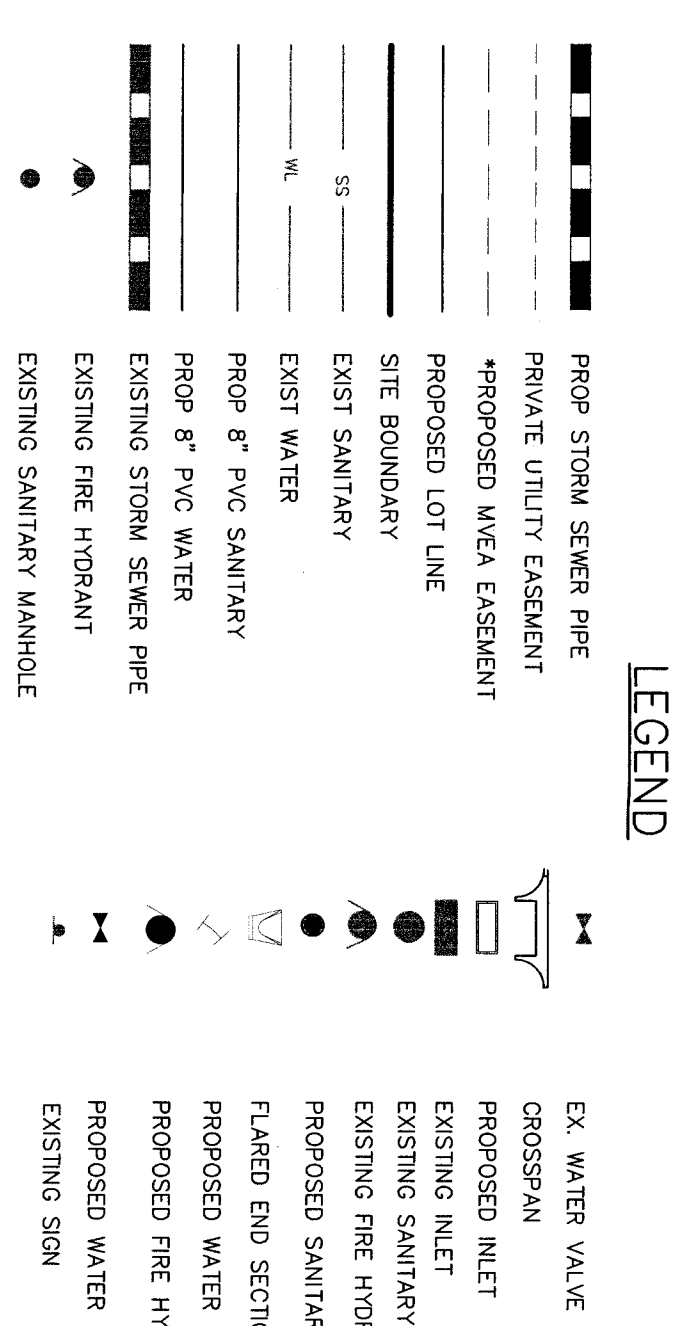
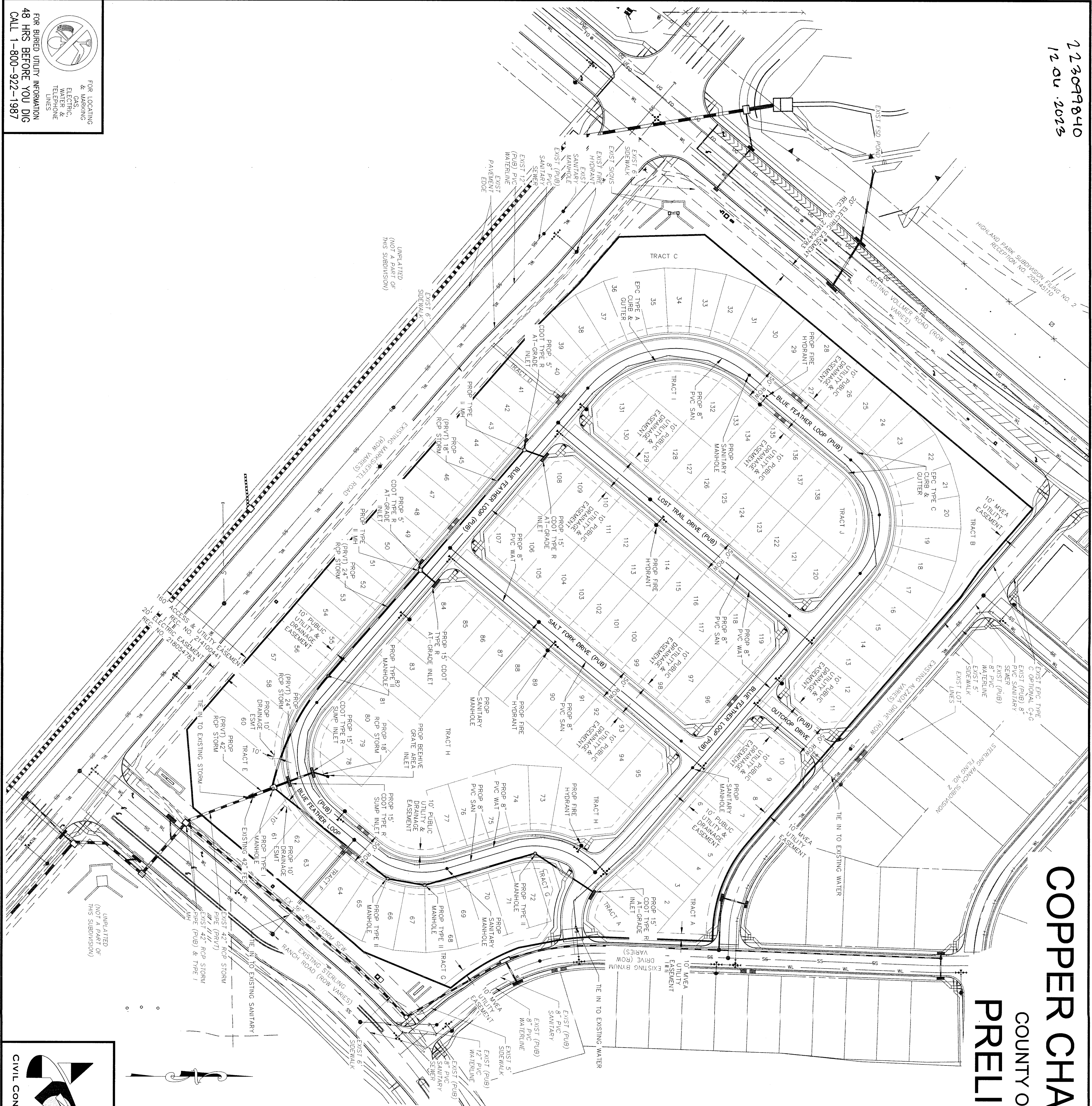
1230998410
12.01.2023

COPPER CHASE AT STERLING RANCH

COUNTY OF EL PASO, STATE OF COLORADO

PRELIMINARY UTILITIES

AUGUST 2023



FOR BARRIED UTILITY INFORMATION
CALL 1-800-922-1987
48 HRS BEFORE YOU DIG
ELECTRIC, WATER & TELEPHONE LINES

CIVIL CONSULTANTS, INC.
212 N. WASHACHE AVE., STE 303
COLORADO SPRINGS CO 80903
PHONE: 719.555.5485

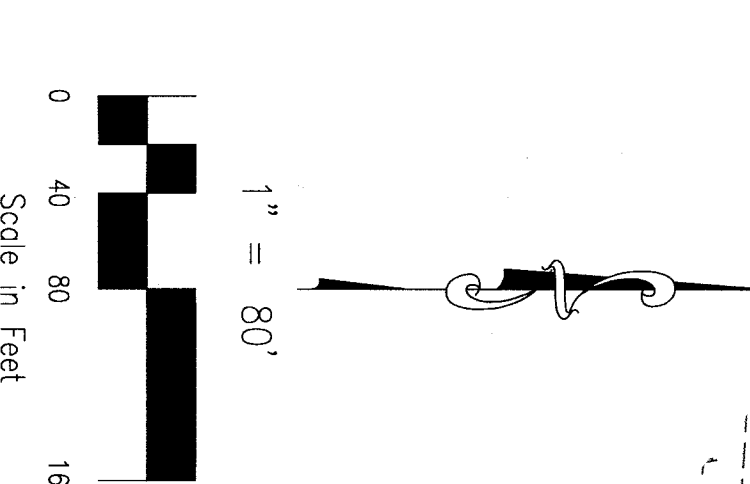
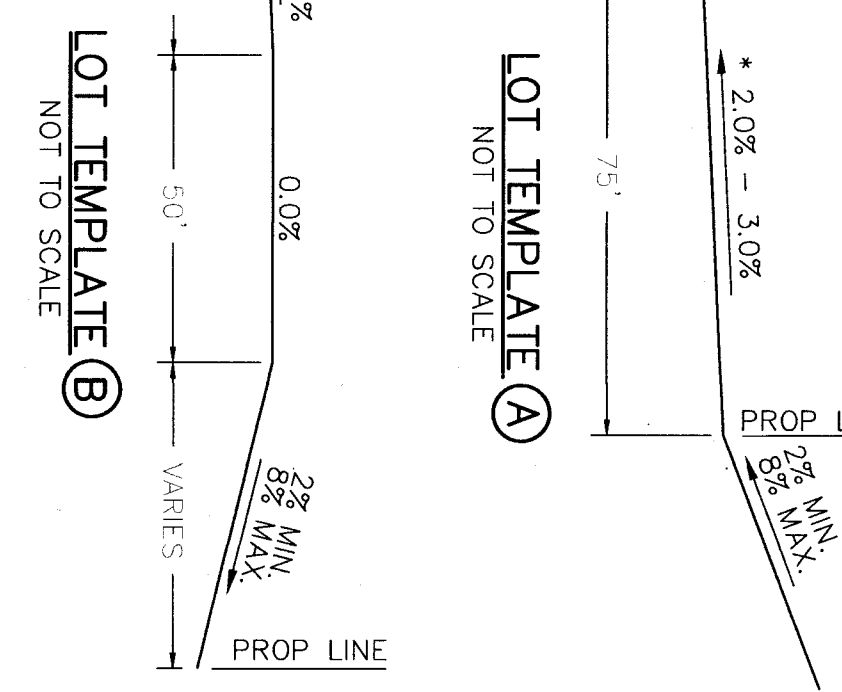
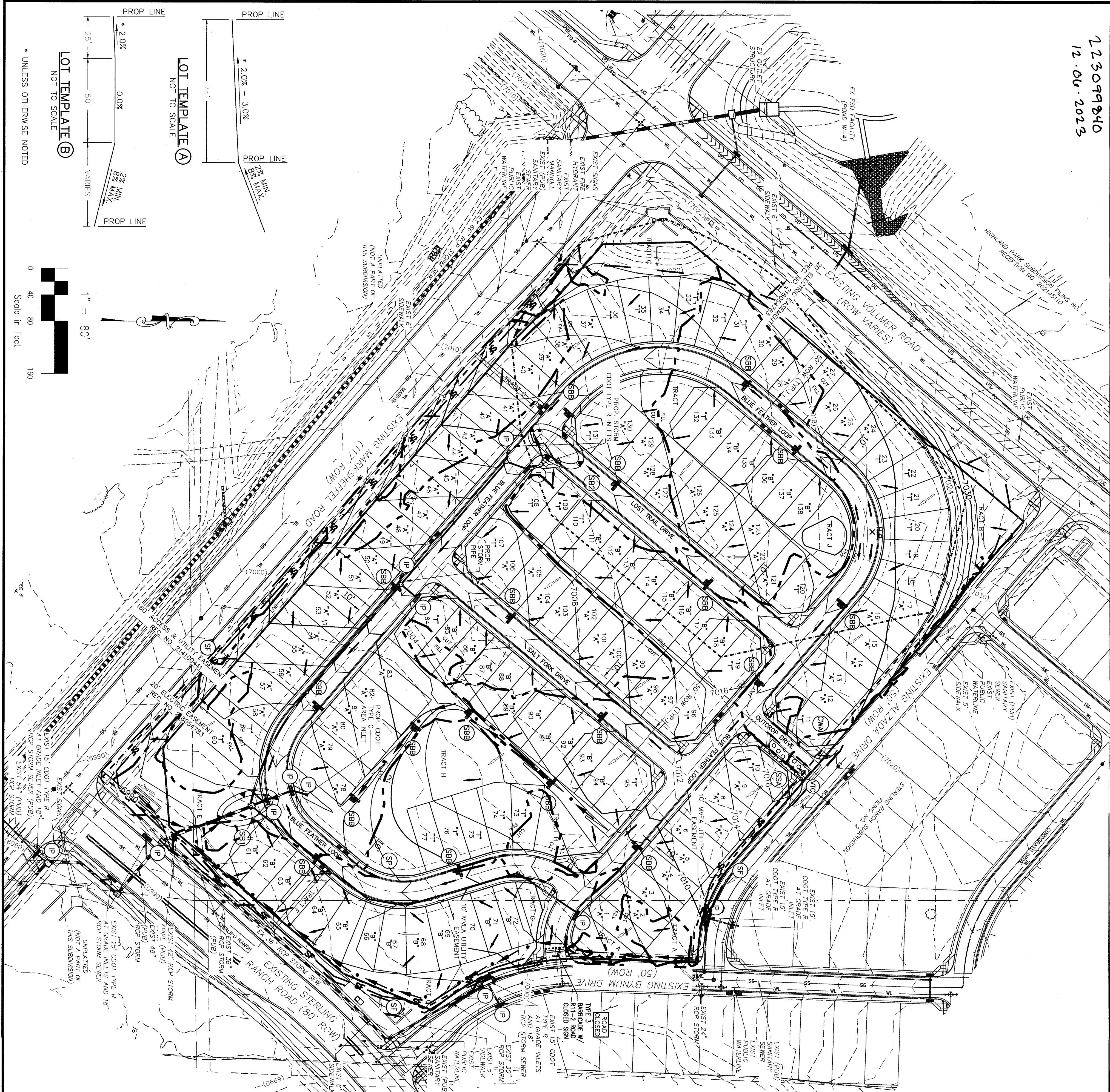
COPPER CHASE AT STERLING RANCH
PRELIMINARY UTILITIES

PROJECT NO: 09-014
DESIGNED BY: GW
DRAWN BY: GW
CHECKED BY: VAS

SCALE: HORIZONTAL: 1"=80'
VERTICAL: N/A

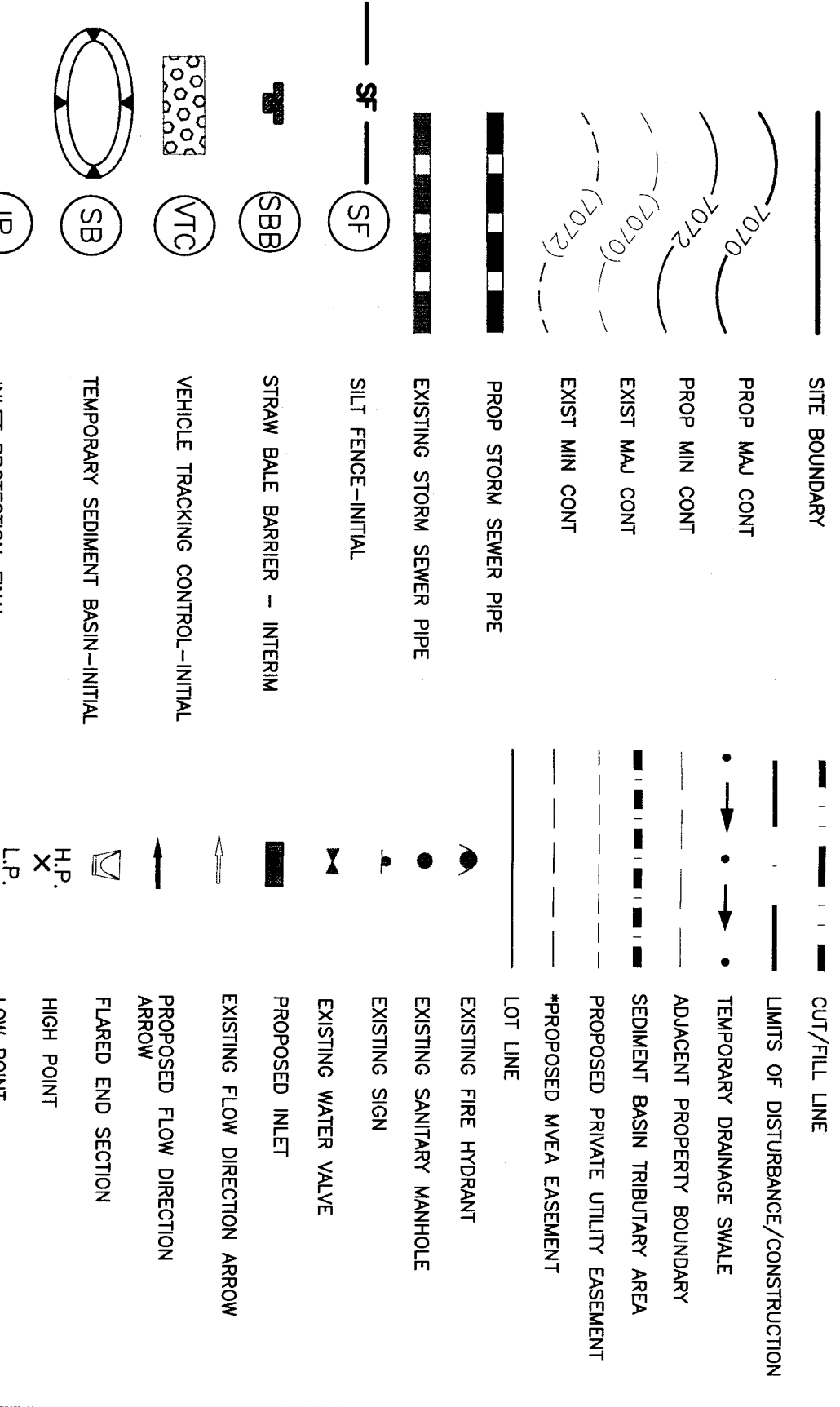
DATE: 08/10/2023
SHEET 1 OF 1
PU01

123099840
12.00.2023



UNLESS OTHERWISE NOTED

LEGEND



SEDIMENT BASIN TABLE:

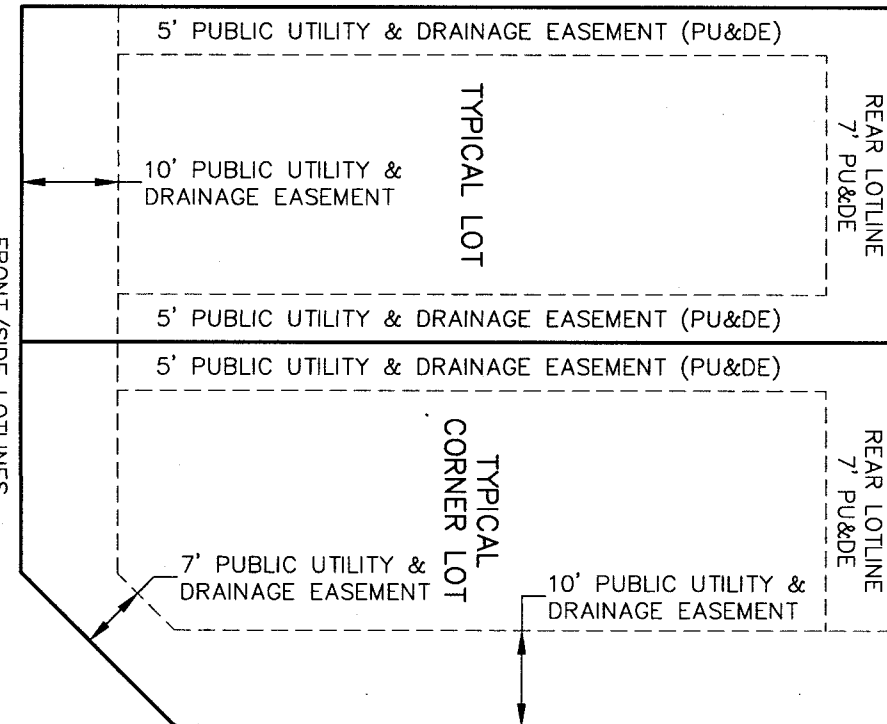
SEDIMENT BASIN NO.	UPSTREAM DRAINAGE AREA AC.	Basin Width FT.	Basin Length FT.	Antic Max Water Ht FT.	Reed Volume C.F.	Spillway Length FT.	Hole Dia. IN.	Rings of Holes IN.	Standpipe IN.
SBA1	12	47.25	94.5	3	13.386	11	25/32	1	
SBA2	7	64	128	3	24.576	18	1		

ADDITIONAL NOTES:

1. STAGING AREA TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.
2. THE EROSION CONTROL DELIVERED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEERING REPORT AND KEEP A COPY ON-SITE DURING ALL EARTHWORK OPERATIONS.
4. THE CONTRACTOR SHALL PROVIDE SUFFICIENT BUFFER BETWEEN THE LIMITS OF DISTURBANCE AND AREAS IN WHICH NO GRADING SHALL OCCUR TO MAKE SUFFICIENT IN BETWEEN THE PROPOSED GRADE AND EXISTING GRADE WHICH MAY NOT BE CLEARLY ILLUSTRATED ON THIS PLAN.
5. EXISTING VEGETATION CONSISTS OF SPARSE NATIVE GRASSES AND SHRUBS. A VISUAL POST CONSTRUCTION COMPARISON CAN BE PERFORMED WITH ADJACENT UNDEVELOPED LAND.

NARRATIVE NOTES:

1. LOCATION OF STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. ALL STOCKPILES SHALL REMAIN WITHIN THE CONSTRUCTION BOUNDARIES AS INDICATED ON THE SITE MAP.
2. THE EXACT LOCATION FOR THE STABILIZED STAGING AREA, STORAGE EQUIPMENT AND TEMPORARY DISPOSAL AREAS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. PLAN SHALL BE UPDATED BY CONTRACTOR UPON DETERMINATION OF EXACT LOCATION.
3. FINAL STABILIZATION SHALL BE COMPLETED AT THE END OF THE CONSTRUCTION ACTIVITIES. ALL AREAS DISTURBED WITHIN THE CONSTRUCTION BOUNDARY/LIMITS OF DISTURBANCE AREA SHALL BE RESEEDING WITH NATIVE SEEDS.
4. NO PORTION OF THE PROPOSED COPPER CHASE AT STERLING RANCH SITE LIES WITH A FEMA EFFECTIVE 100-YR FLOODPLAIN.
5. EROSION CONTROL BLANKET SHALL BE USED ON SLOPES GREATER THAN 4:1.



TYPICAL LOT PUBLIC EASEMENT DETAIL (UNLESS OTHERWISE NOTED)

FOR BUREAU UTILITY INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

NO.	DATE	BY	DESCRIPTION	APPR'D. BY	DATE

VIRGIL A. SANCHEZ, COLORADO P.E. NO. 37160

FOR AND ON BEHALF OF
M&S CIVIL CONSULTANTS, INC.

212 N. WAHSATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

COPPER CHASE AT STERLING RANCH
GRADING & EROSION CONTROL PLAN

PROJECT NO. 09-014
DESIGNED BY: CWV
DRAWN BY: CWV
CHECKED BY: VAS

SCALE:
HORIZONTAL: N/A
VERTICAL: N/A

DATE: 08/08/2023
SHEET 2 OF 6

GR02

CAUTION: THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.