



N.E.S. Inc. 619 N. Cascade Avenue, Suite 200 Colorado Springs, CO 80903

Tel. 719.471.0073 Fax 719.471.0267

www.nescolorado.com

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COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN

GENERAL PROVISIONS

- A. Authority. This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
B. Applicability. The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan, as amended and approved by the Planning and Community Development Director or Board of County Commissioners.
C. Adoption. The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for Copper Chase at Sterling Ranch is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan; is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.
D. Relationship to County Regulations. The provisions of this Development Plan shall prevail and govern the development of Copper Chase at Sterling Ranch, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
E. Enforcement. To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.
F. Conflict. Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
G. Maximum Level of Development. The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for platting or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
H. Project Tracking. At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limits are not exceeded.
I. Overall Project Standards. The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.
J. Utility Providers. The following utility providers will serve the Copper Chase at Sterling Ranch PUD Preliminary Plan area:
Water: FAWWA
Wastewater: FAWWA
Gas: Colorado Springs Utilities
Electric: Mountain View Electric

DEVELOPMENT GUIDELINES: COPPER CHASE AT STERLING RANCH PUD DEVELOPMENT PLAN

- A. Project Description. Copper Chase at Sterling Ranch is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as parks and open space, and trails for residents to enjoy. Overall Sterling Ranch common landscape elements such as fencing, street tree plantings, landscaping, and signage will establish a unique sense of place for this development. The parks have been located in areas of higher density so more of the residents can access them by walking and provide a focal element to the neighborhoods. Lot sizes, setbacks, and landscape tracts are designed to provide a wide variety of housing options and prices within the development while ensuring open space and visually interesting streetscapes for the community.
B. Permitted and Accessory uses: Permitted and accessory uses are as identified in the use table below.

Table with PRINCIPAL USES and ACCESSORY USES columns, including CMRS Facility, Steath, Dwellings - Detached Single Family, etc.

- C. Development Requirements
1. Maximum lot coverage: sixty-five (65) percent
2. Maximum building height: thirty-five (35) feet.
3. Setback minimums:
a. Front yard: twenty (20) feet
b. Side yard: five (5) feet
c. Rear yard: fifteen (15) feet
End/Corner lot: The side yard setback shall be ten (5) feet along the corner adjacent to a tract.
The side yard setback shall be fifteen (15) feet along the corner adjacent to the ROW
4. Accessory buildings must comply with the setbacks established above.
5. Projections into setbacks are governed by the Land Development Code, as may be amended, and as stated below:
a. Patios, landings, window wells and other similar features may project into rear setbacks a maximum of 3' provided they do not interfere with utility services and drainage easements
D. Lot Sizes
1. The minimum lot size is 3,200 square feet.
2. The lot sizes, dimensions, and bearings will be established with the Final Plat and may vary from that shown on the PUD Development/Preliminary Plan.
3. The Final Plat will not create any additional building lots.
4. No subdivision of any lot will be allowed if such subdivision results in the creation of additional building lots.
5. Lot line adjustments, per Chapter 7 of the Land Development Code or as amended will not require an amendment of this PUD Development/Preliminary Plan.
E. Streets
Public streets within the Copper Chase at Sterling Ranch Subdivision provide general vehicular circulation throughout the development. All streets shall be paved with curb and gutter. Sidewalks shall be provided on both sides of all internal streets illustrated on this plan. All streets will be public and maintained by El Paso County.
F. Signs
Signs shall be permitted to identify entryways to Copper Chase at Sterling Ranch community. The maximum size of the Community Entryway Sign shall be 100 square feet with a maximum height of (6) feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall contribute to the maximum size.
G. Easements
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 5 foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 7 foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners. A ten (10) foot front line MVEA utility easement will be provided for any public improvement easement, in addition to the side and rear lot utility easements and all tracts.

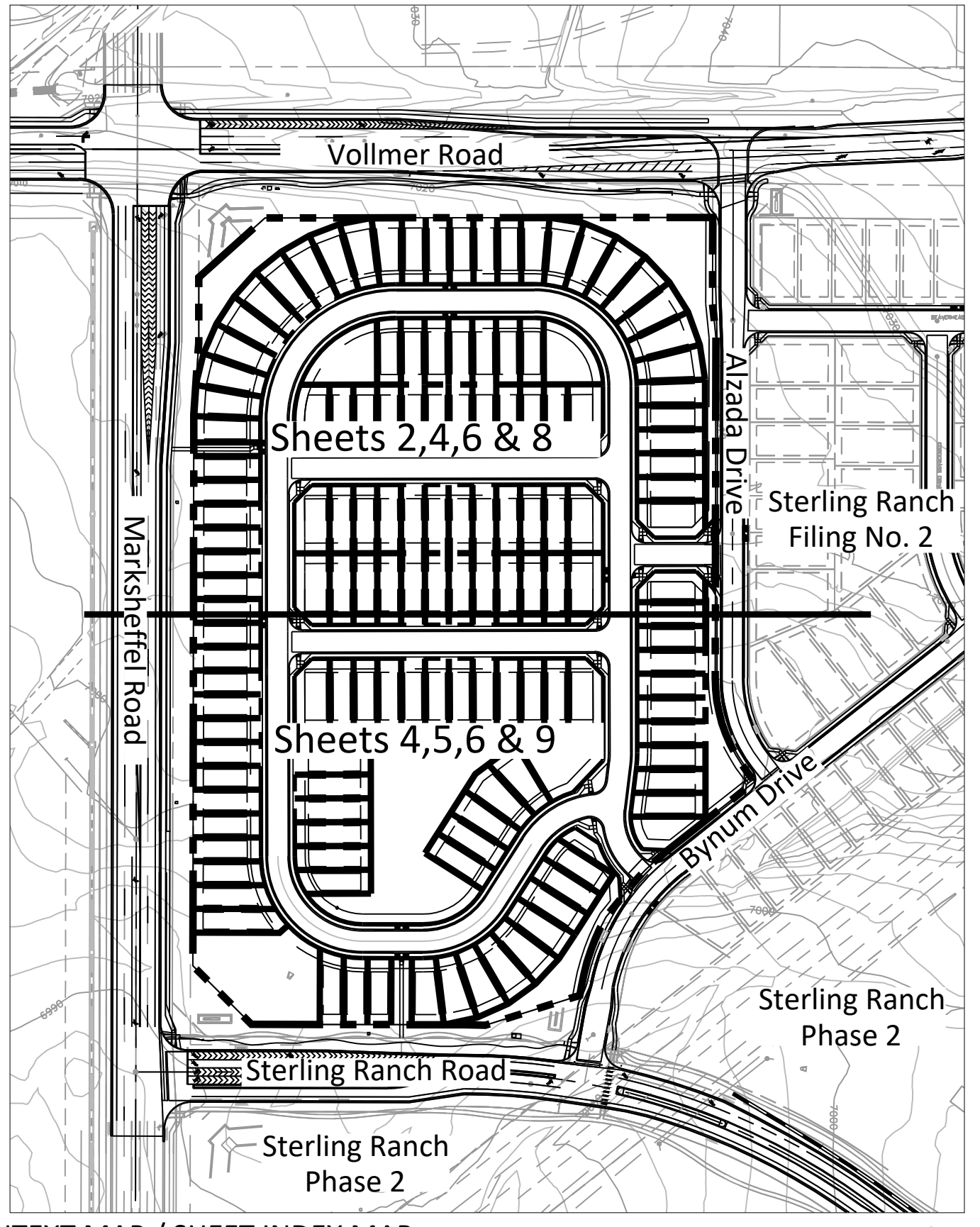
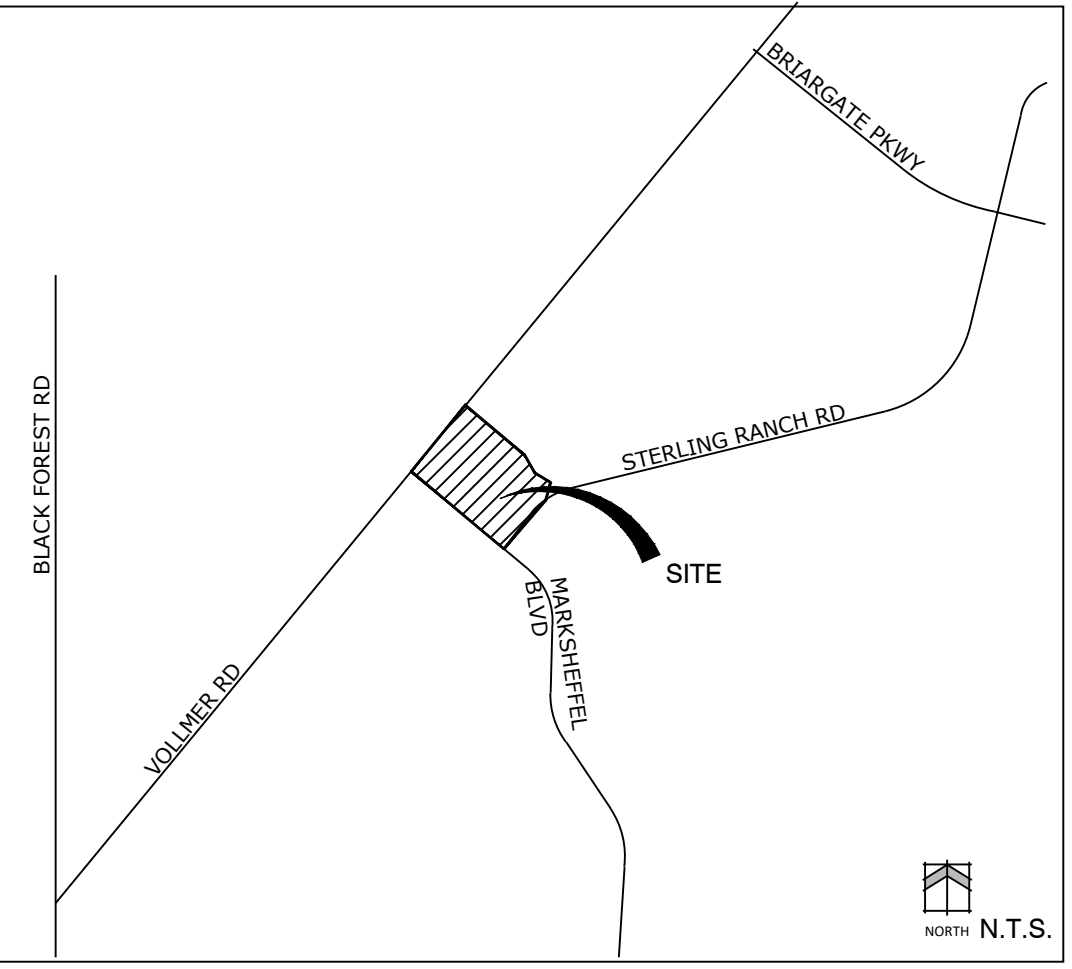
LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SE 1/4, SW 1/4) OF SECTION 32, AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW 1/4, SW 1/4) OF SECTION 33, T12S, R65W OF THE 6TH P.M., AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4, NE 1/4) OF SECTION 5, T13S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING TRACT L. "STERLING RANCH FILING NO. 2" AS RECORDED UNDER RECEPTION NO. 22271894 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE.

GENERAL NOTES

- 1. All sidewalks shown on development plan are to be 5" concrete unless otherwise specified.
2. Federal Emergency Management Agency, Flood Insurance Rate Map number 0804LCO333G, effective date, December 7, 2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year floodplain).
3. The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.
4. Landscape entry features, open space tracts, parks and trails shall be owned and maintained by the Sterling Ranch Metropolitan District.
5. All open space/trail/landscape tracts shall be limited to non-motorized use only, except for maintenance and emergency vehicles.
6. There shall be no direct lot access to Vollmer Road, Marksheffel Road and Sterling Ranch Road.
7. The public roads as shown on this PUD will be maintained by El Paso County.
8. Noise wall along Vollmer Road and Marksheffel Road is not a part of this PUD. Noise wall to be installed, owned and maintained by the Sterling Ranch Metropolitan District.
9. Minor changes such as minor lot or tract line adjustments upon final engineering will not require a PUD or Preliminary Plan amendment.
10. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:
• Potential Shallow Groundwater (All Lots)
• Artificial Fill (All Lots)
• Shallow Bedrock (All Lots)
• Potential Expansive Soil (Sporadic)
• Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138)
In Areas of Expansive Soil: Mitigation of expansive soils will require special foundation design.
In Areas of High Groundwater: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.
11. NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT: This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations.
12. NOTICE: This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof.

VICINITY MAP



SITE DATA

Table with Site Data including Tax ID Number, Total Area, Development Schedule, Sketch Plan, etc.

LAND USE DATA TABLE

Table with Land Use Data including Land Use, Acres, and % of Land for Single Family, Public Roads, and Open Space Tracts.

TRACT TABLE

Table with Tract Table including Tract, Area (SF), Area (AC), Use, and Ownership/Maintenance.

ROAD DEVIATIONS TABLE (AS ALLOWED BY ECM SECTION 5.8)

Table with Road Deviations Table including LDC/ECM Section, Category, Standard, Modification, and Justification.

Ownership Certification form for Challenger Communities, LLC, including fields for Landowner's Signature and Notarized signature.

Board of County Commissioners Certification form, including fields for President and Director signatures.

Clerk and Recorder Certification form, including fields for El Paso County Clerk and Recorder signature.

PROJECT TEAM

Owner/Developer: Challenger Communities, LLC 8605 Explorer Drive, Suite 250 Colorado Springs, CO 80920 (719) 598-5192
Applicant: N.E.S. Inc. 619 N. Cascade Ave., Suite 200 Colorado Springs, CO 80903 (719) 471-0073

SHEET INDEX

Table with Sheet Index listing sheets 1 through 10 and their corresponding titles like Cover Sheet, PUD Site Plan, etc.

Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03/25/2022
PROJECT MGR: A. Barlow
PREPARED BY: B. Perkins

Entitlement

Table with Entitlement table including Date, By, and Description columns.

Cover Sheet

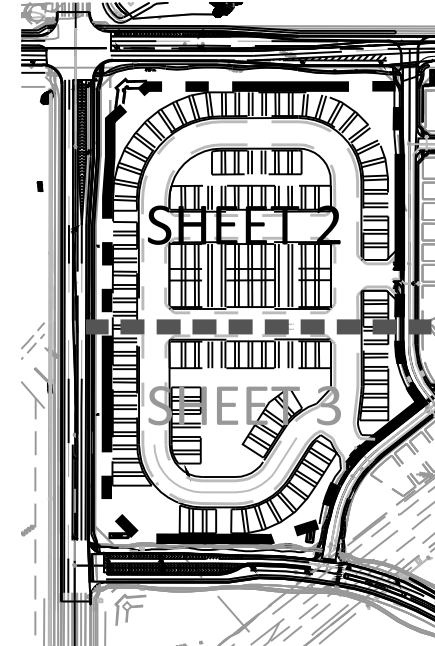
1 OF 10
PUDSP 22-002

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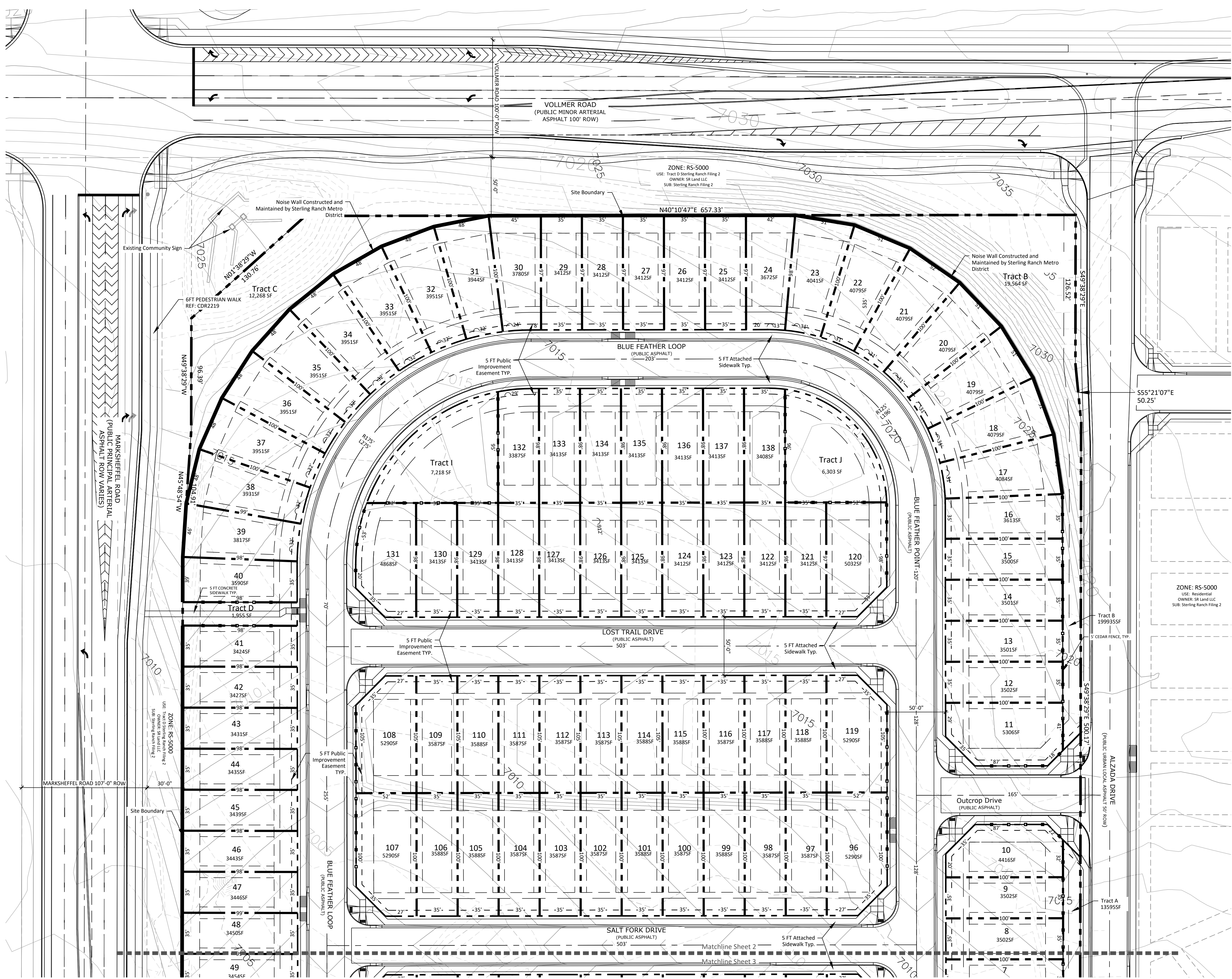
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SHEET KEY MAP



LINE TYPE LEGEND

- 6" CONCRETE BLOCK NOISE WALL
- BUILDING SETBACK
- MVEA EASEMENT
- PUBLIC IMPROVEMENT EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- SFT CEDAR FENCE
- RIGHT OF WAY



PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH

Copper Chase at Sterling Ranch

8335 Vollmer Road

ZONE: RS-5000
 USE: Residential
 OWNER: SR Land LLC
 SUB: Sterling Ranch Filing 2

DATE: 03/25/2022
 PROJECT MGR: A. Barlow
 PREPARED BY: B. Perkins

Entitlement

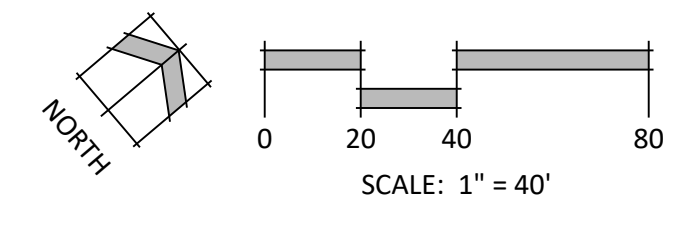
DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT
 05.12.2023 J.S./A.L. PER COUNTY COMMENT
 08.07.2023 J.S./A.L. PER COUNTY COMMENT

PUD Site Plan

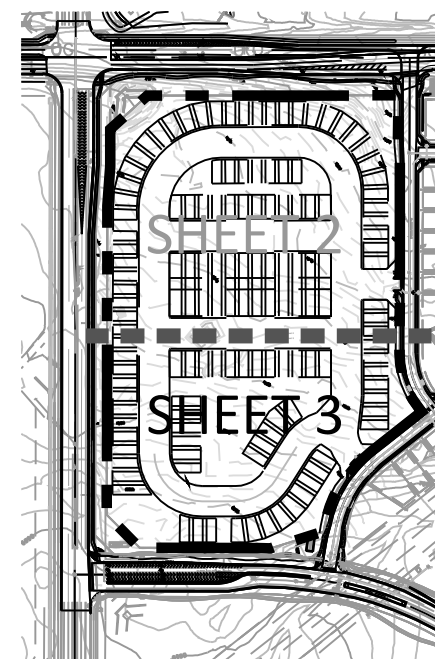
2 OF 10

2 OF 10
 PUDSP 22-002

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SHEET KEY MAP



LINE TYPE LEGEND

- 6" CONCRETE BLOCK NOISE WALL
- BUILDING SETBACK
- MVEA EASEMENT
- PUBLIC IMPROVEMENT EASEMENT
- LOT LINES
- EXISTING CONTOUR
- PROPOSED CONTOUR
- 6FT VINYL FENCE
- RIGHT OF WAY



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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03/25/2022
 PROJECT MGR: A. Barlow
 PREPARED BY: B. Perkins

Entitlement

DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT
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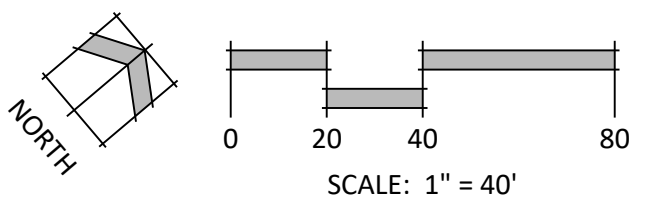
PUD Site Plan

3

3 OF 10

PUDSP 22-002

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LEGEND

- SITE BOUNDARY
- PROP MAJ CONT
- PROP MIN CONT
- EXIST MAJ CONT
- EXIST MIN CONT
- PROP STORM SEWER PIPE
- EXISTING STORM SEWER PIPE
- SF
- SBB
- VTC
- SB
- IP
- CWA
- SP
- SSA
- CUT/FILL LINE
- LIMITS OF DISTURBANCE/CONSTRUCTION
- TEMPORARY DRAINAGE SWALE
- ADJACENT PROPERTY BOUNDARY
- SEDIMENT BASIN TRIBUTARY AREA
- PROPOSED PRIVATE UTILITY EASEMENT
- *PROPOSED MVEA EASEMENT
- LOT LINE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- EXISTING SIGN
- EXISTING WATER VALVE
- PROPOSED INLET
- EXISTING FLOW DIRECTION ARROW
- PROPOSED FLOW DIRECTION ARROW
- FLARED END SECTION
- H.P.
- L.P.
- "A"
- "B"
- "T"
- 9

SEDIMENT BASIN TABLE:

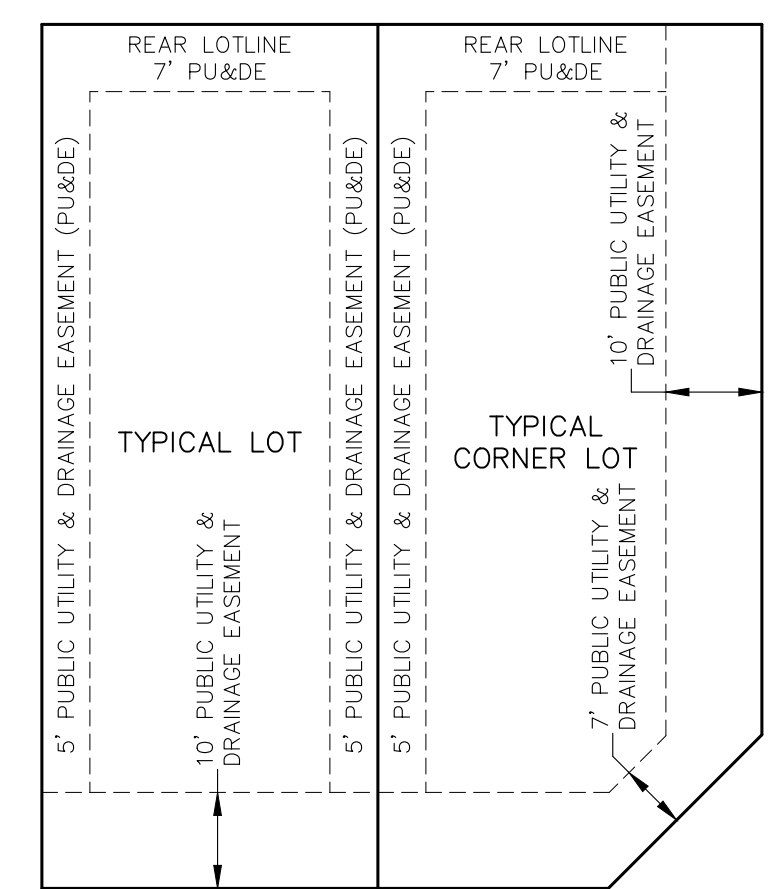
SEDIMENT BASIN NO.	UPSTREAM DRAINAGE AREA AC.	BASIN WIDTH FT.	BASIN LENGTH FT.	ANTIC. WATER HT FT.	REQ'D VOLUME C.F.	SPILLWAY LENGTH FT.	HOLE DIA. IN.	ROWS OF HOLES IN STANDPIPE
SB1	12	47.25	94.5	3	13,396	11	25/32	1
SB2	7	64	128	3	24,576	18	1	1

ADDITIONAL NOTES:

- STAGING AREA TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.
- THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.
- THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEERING REPORT AND KEEP A COPY ONSITE DURING ALL EARTHWORK OPERATIONS.
- THE CONTRACTOR SHALL PROVIDE SUFFICIENT BUFFER BETWEEN THE LIMITS OF DISTURBANCE AND AREAS IN WHICH NO GRADING SHALL OCCUR TO MAKE SUFFICIENT TIE IN BETWEEN THE PROPOSED GRADE AND EXISTING GRADE WHICH MAY NOT BE CLEARLY ILLUSTRATED ON THIS PLAN.
- EXISTING VEGETATION CONSISTS OF SPARSE NATIVE GRASSES AND SHRUBS. A VISUAL, POST CONSTRUCTION COMPARISON CAN BE PERFORMED WITH ADJACENT, UNDEVELOPED LAND.

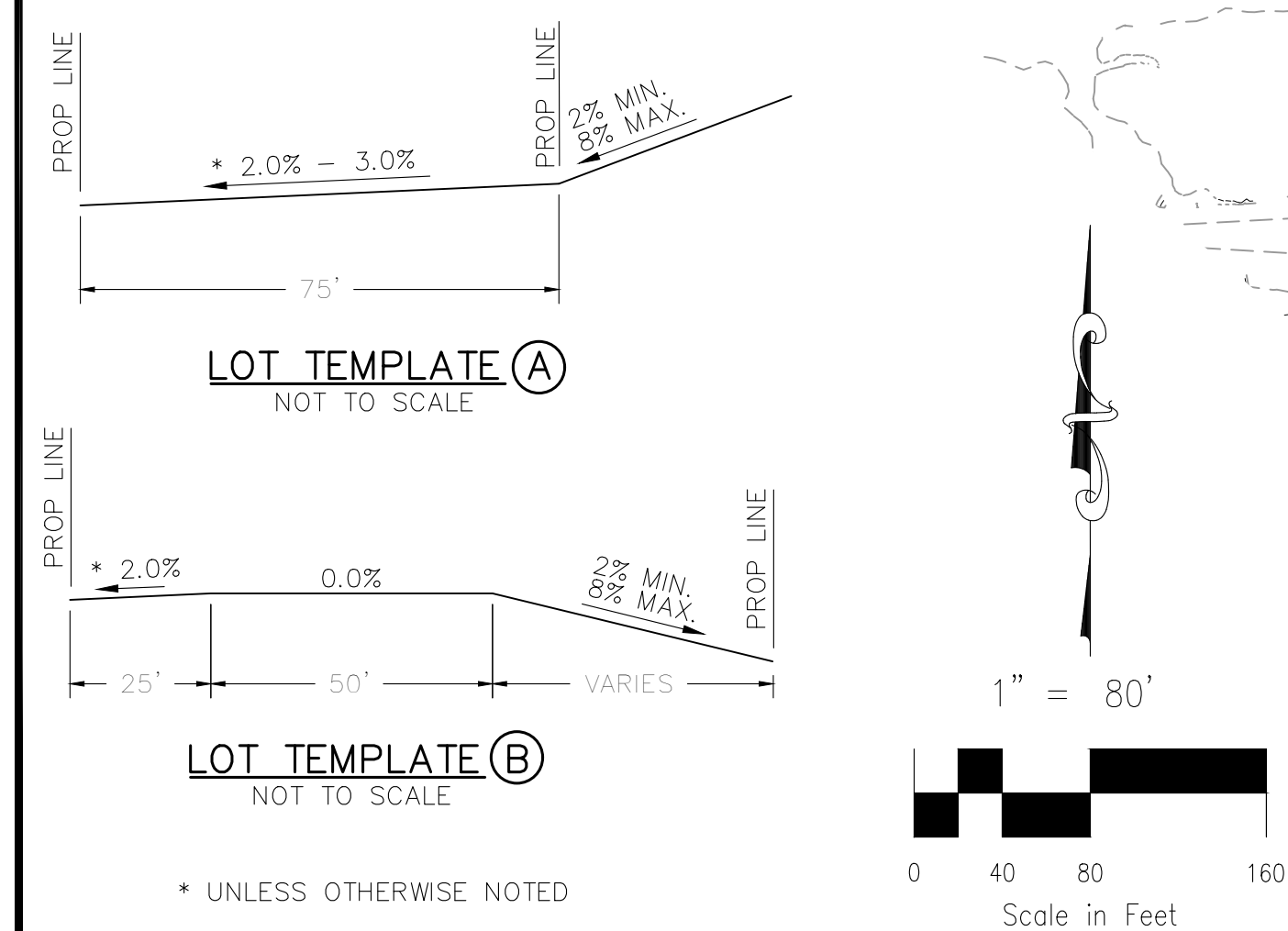
NARRATIVE NOTES:

- LOCATION OF STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. ALL STOCKPILES SHALL REMAIN WITHIN THE CONSTRUCTION BOUNDARIES AS INDICATED ON THE SITE MAP.
- THE EXACT LOCATION FOR THE STABILIZED STAGING AREA, STORAGE EQUIPMENT AND TEMPORARY DISPOSAL AREAS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. PLAN SHALL BE UPDATED BY CONTRACTOR UPON DETERMINATION OF EXACT LOCATION.
- FINAL STABILIZATION SHALL BE COMPLETED AT THE END OF THE CONSTRUCTION ACTIVITIES. ALL AREAS DISTURBED WITHIN THE CONSTRUCTION BOUNDARY/LIMITS OF DISTURBANCE AREA SHALL BE RESEEDED WITH NATIVE SEEDING.
- NO PORTION OF THE PROPOSED COPPER CHASE AT STERLING RANCH SITE LIES WITH A FEMA EFFECTIVE 100-YR FLOODPLAIN.
- EROSION CONTROL BLANKET SHALL BE USED ON SLOPES GREATER THAN 4:1.



TYPICAL LOT PUBLIC EASEMENT DETAIL
(UNLESS OTHERWISE NOTED)

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES
FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987



COPPER CHASE AT STERLING RANCH
GRADING & EROSION CONTROL PLAN

PROJECT NO. 09-014 DATE: 08/08/2023
SCALE: HORIZONTAL: N/A VERTICAL: N/A
DESIGNED BY: CWV CHECKED BY: VAS
DRAWN BY: CWV

212 N. WASHCATCH AVE., STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF M&S CIVIL CONSULTANTS, INC.

REGISTERED PROFESSIONAL ENGINEER
No. 37160
08-10-23

REVISIONS: NO. DATE: BY: DESCRIPTION: APPROV. BY: DATE:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

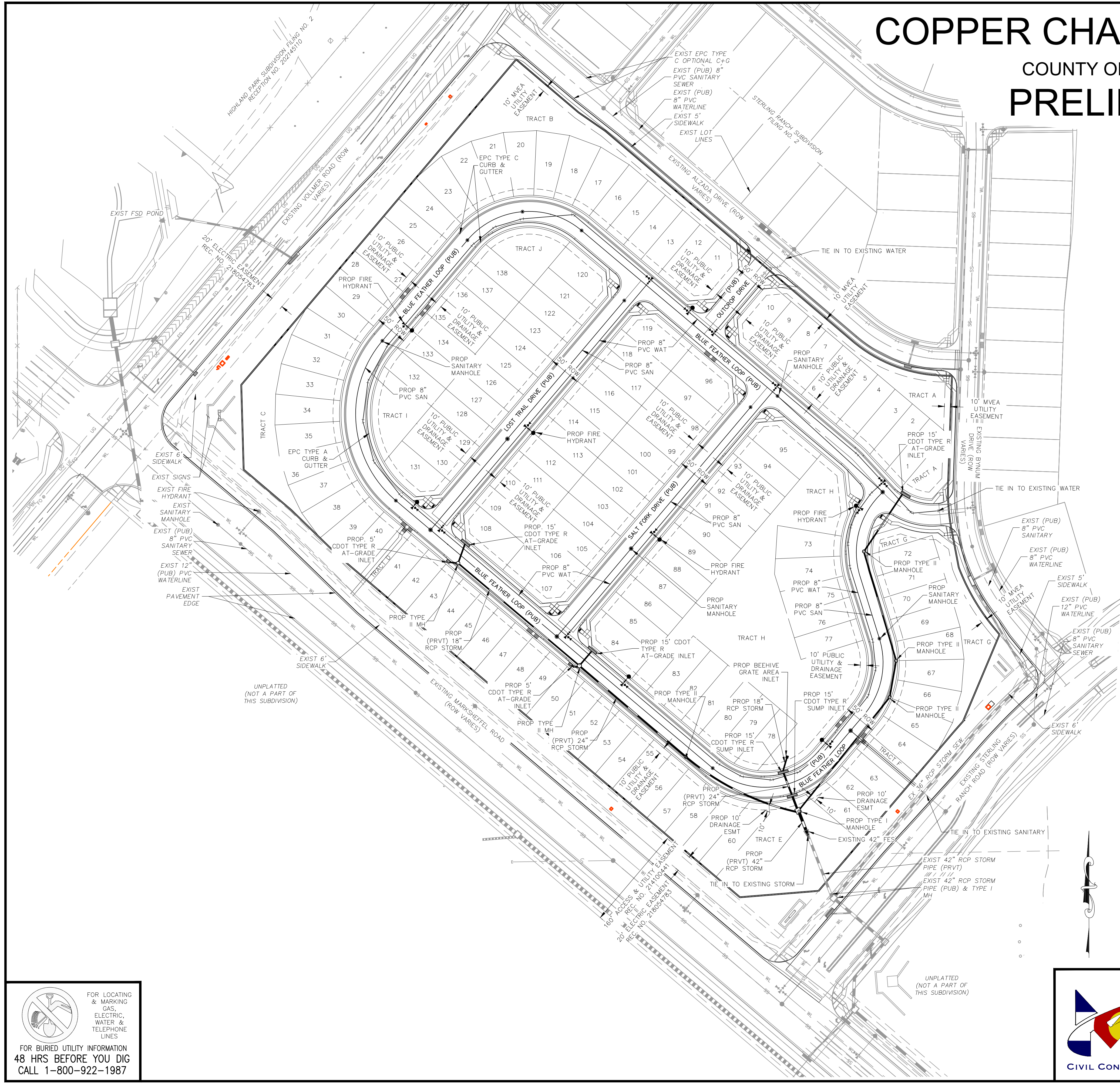
CAUTION

COPPER CHASE AT STERLING RANCH

COUNTY OF EL PASO, STATE OF COLORADO

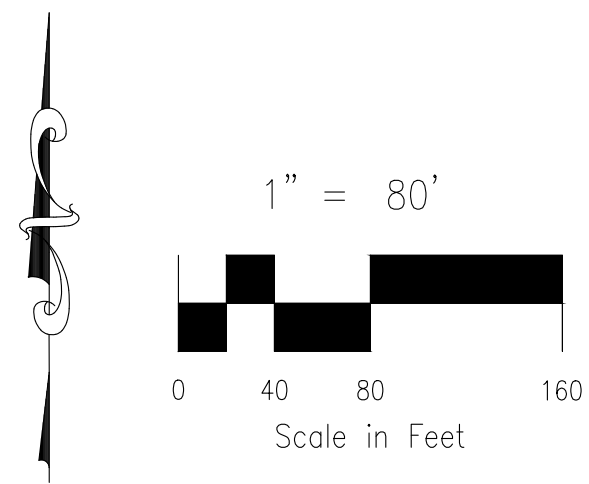
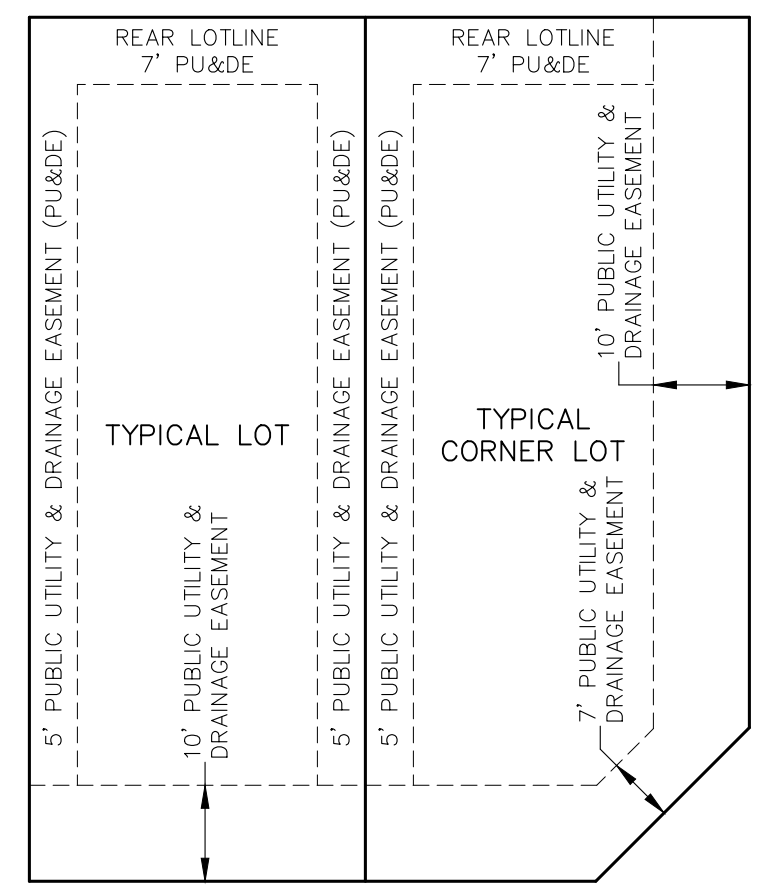
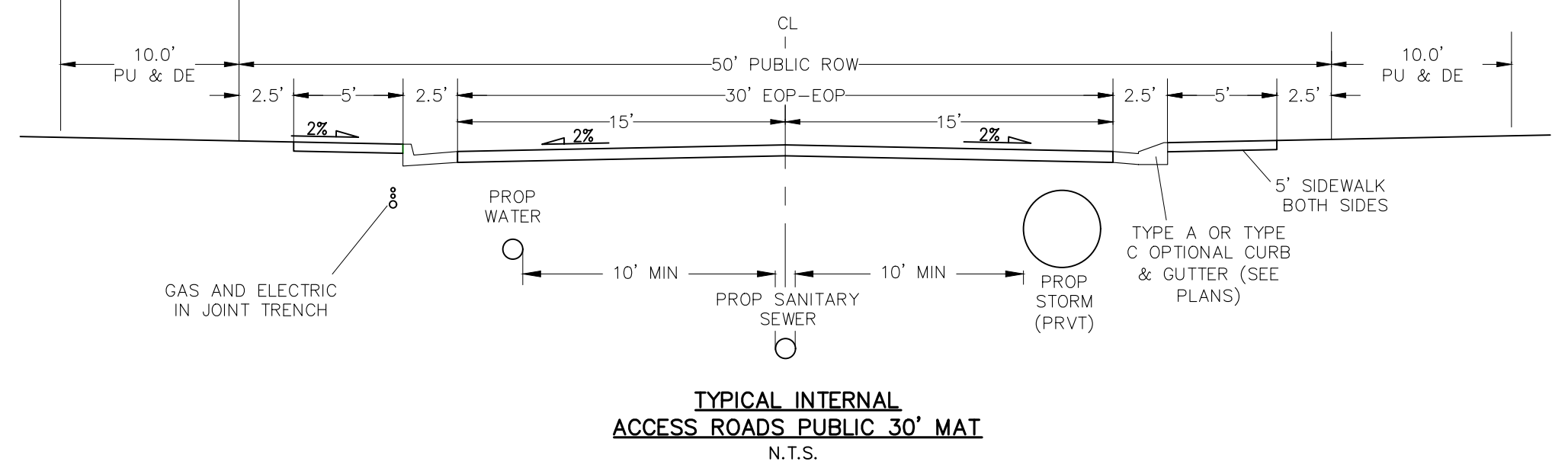
PRELIMINARY UTILITIES

AUGUST 2023



LEGEND

- PROP STORM SEWER PIPE
- PRIVATE UTILITY EASEMENT
- *PROPOSED MVEA EASEMENT
- PROPOSED LOT LINE
- SITE BOUNDARY
- EXIST SANITARY
- EXIST WATER
- PROP 8" PVC SANITARY
- PROP 8" PVC WATER
- EXISTING STORM SEWER PIPE
- EXISTING FIRE HYDRANT
- EXISTING SANITARY MANHOLE
- EX. WATER VALVE CROSSSPAN
- PROPOSED INLET
- EXISTING INLET
- EXISTING SANITARY MH
- EXISTING FIRE HYDRANT
- PROPOSED SANITARY MH
- FLARED END SECTION
- PROPOSED WATER BEND
- PROPOSED FIRE HYDRANT
- PROPOSED WATER VALVE
- EXISTING SIGN



FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

212 N. WAHSATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

COPPER CHASE AT STERLING RANCH			
PRELIMINARY UTILITIES			
PROJECT NO. 09-014	SCALE: HORIZONTAL: 1"=80'	DATE: 08/10/2023	
DESIGNED BY: GW	VERTICAL: N/A	SHEET 1 OF 1	PU01
DRAWN BY: GW			
CHECKED BY: VAS			

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COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN

PLANT SCHEDULE

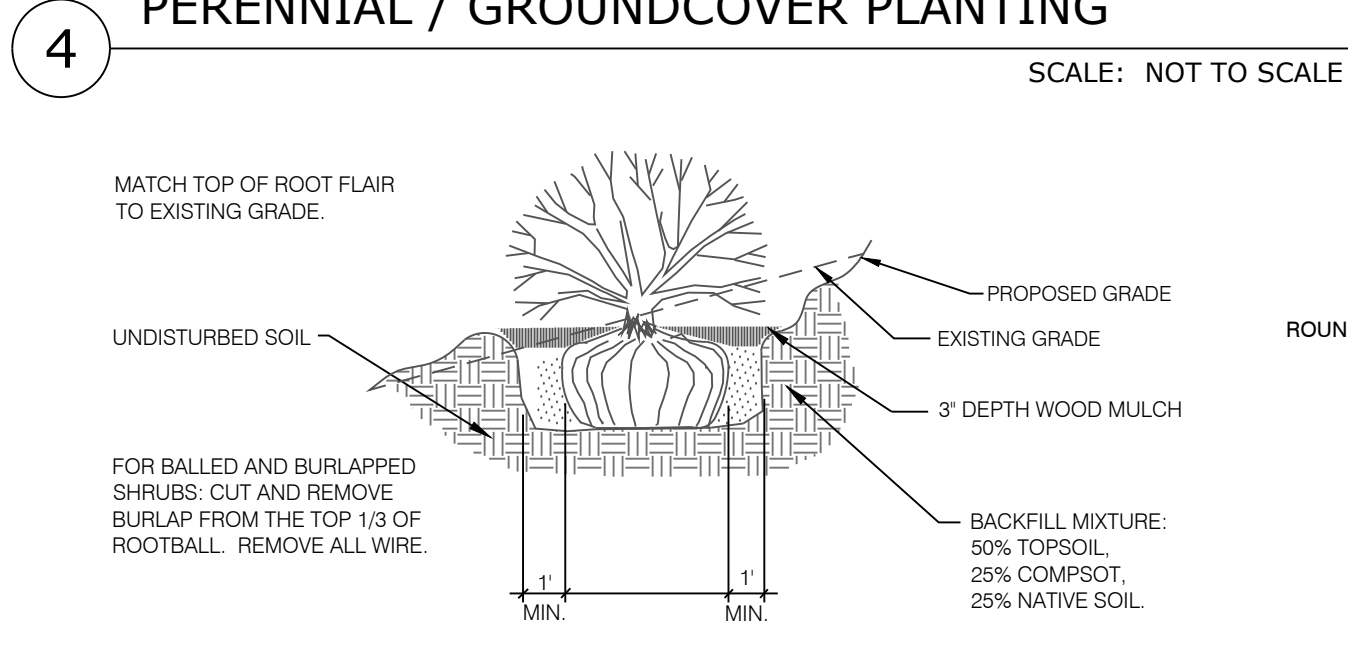
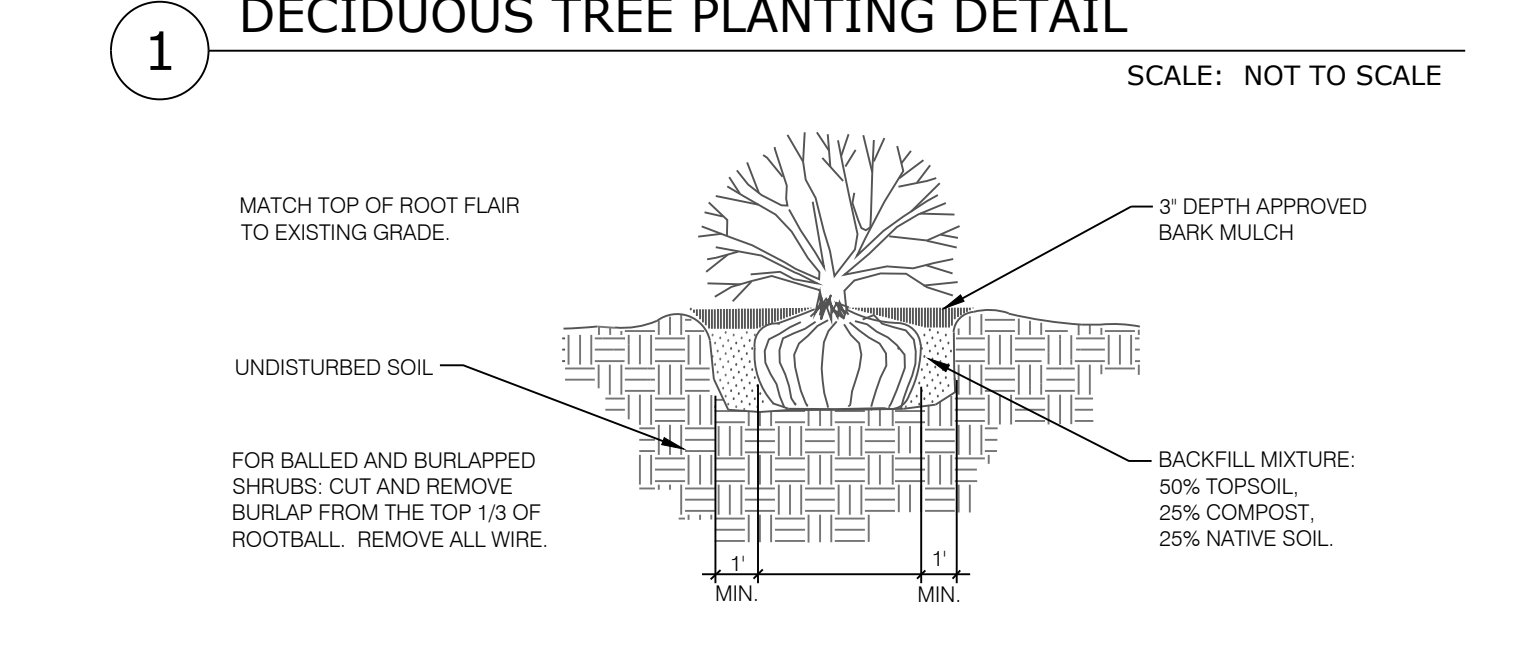
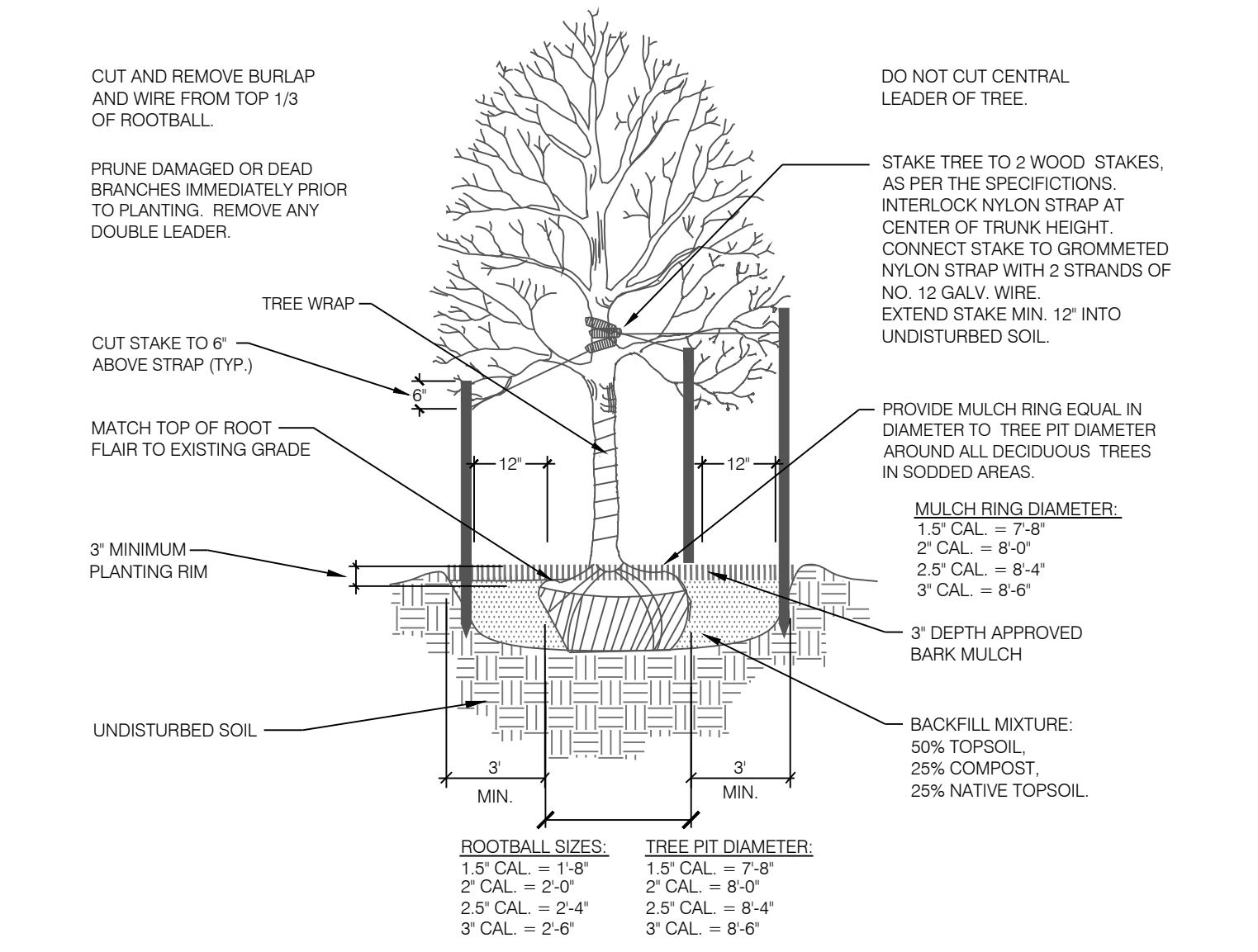
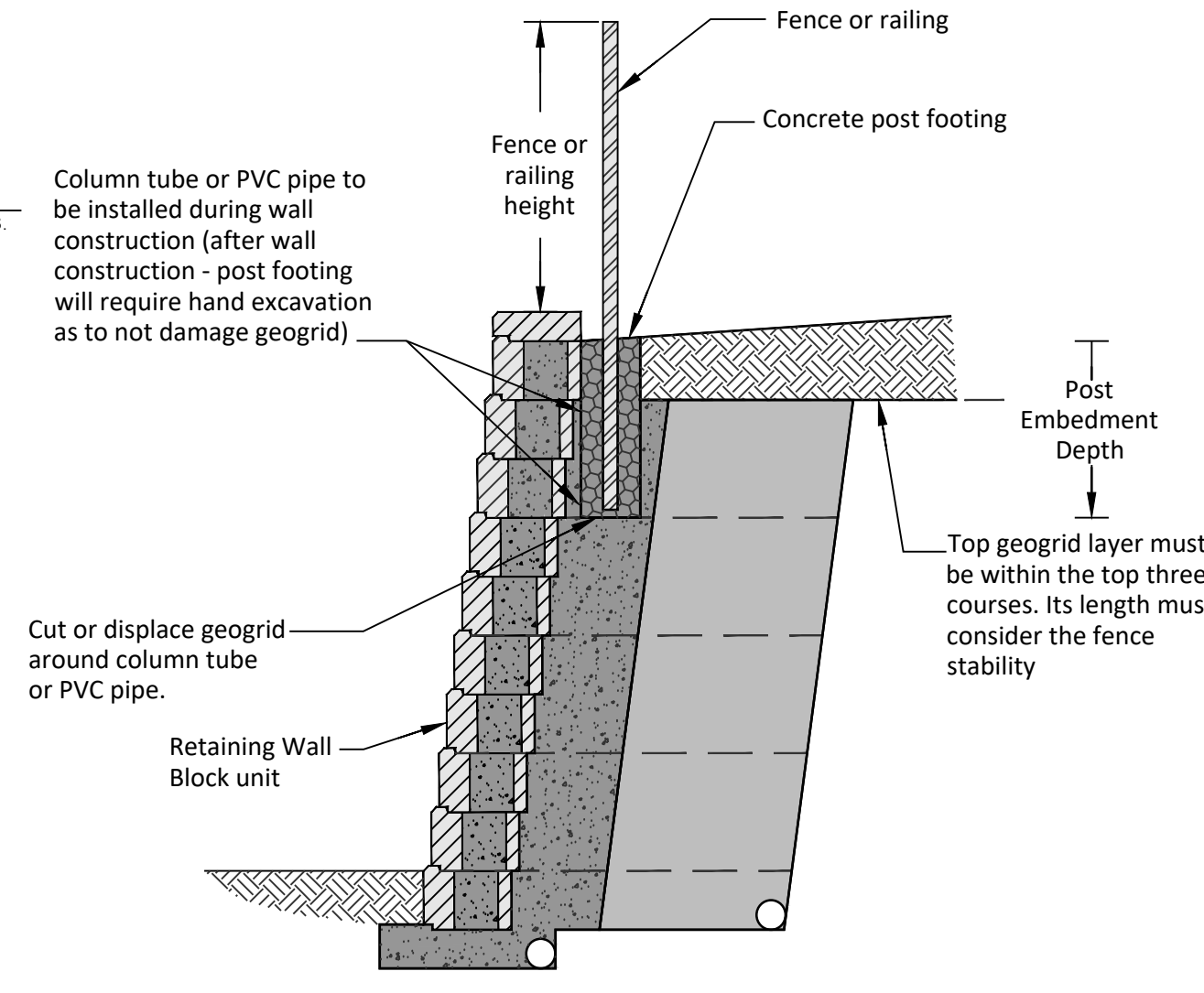
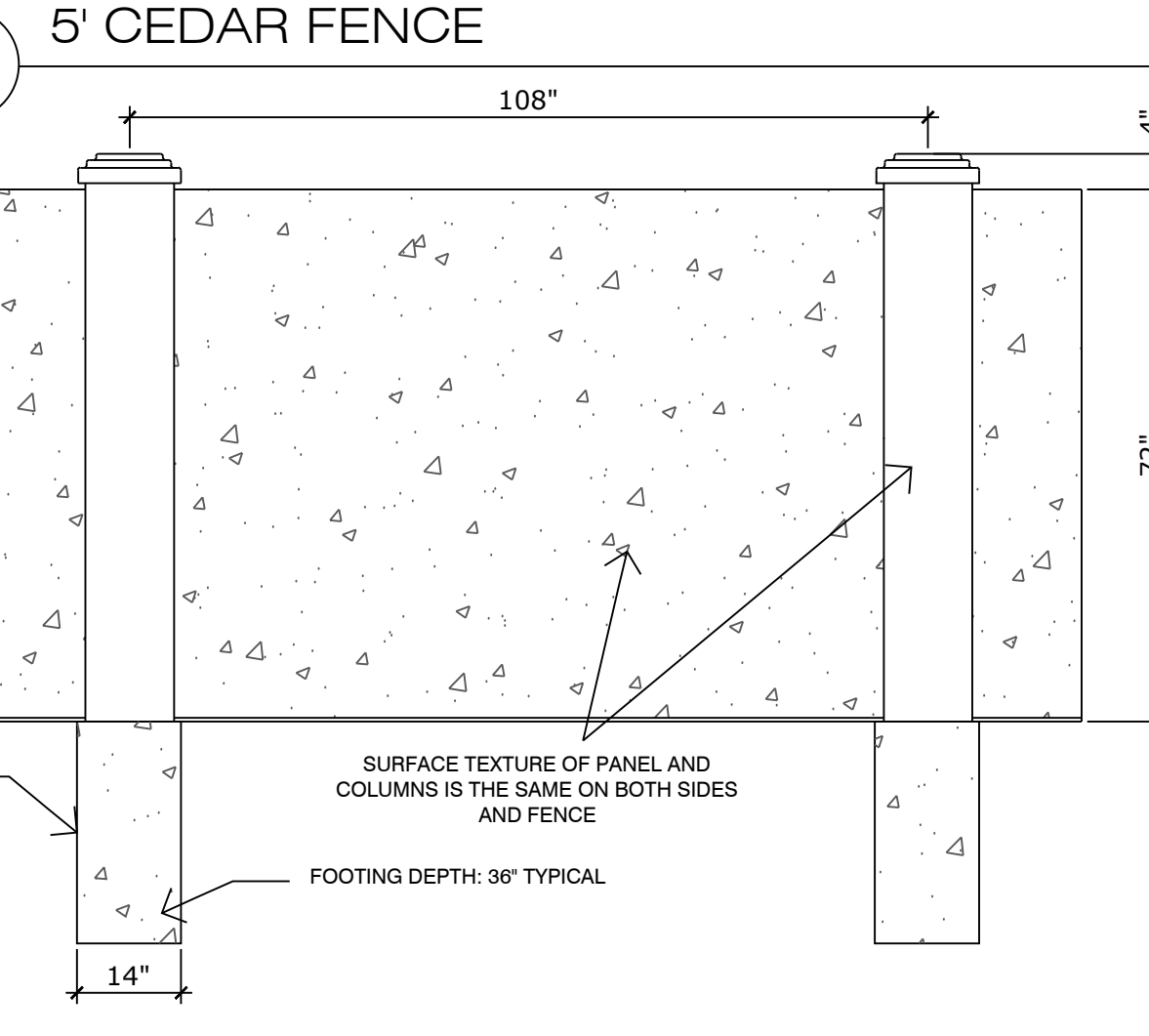
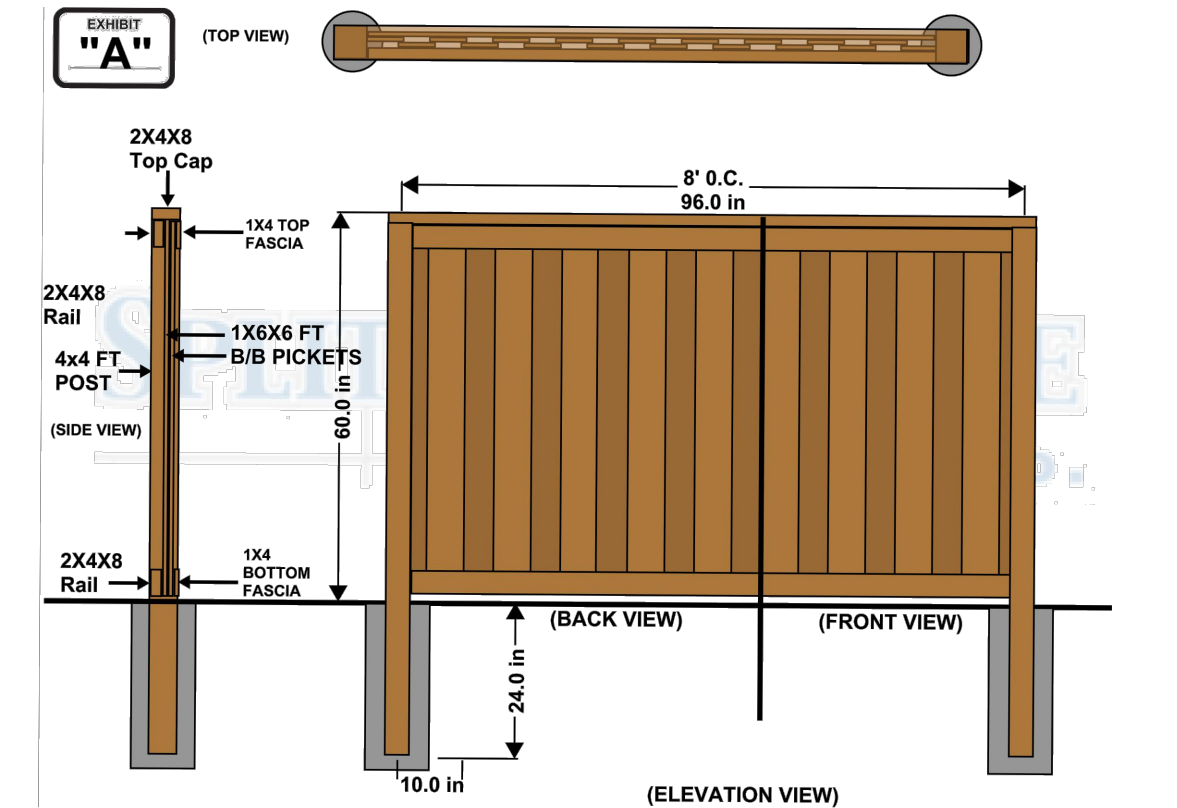
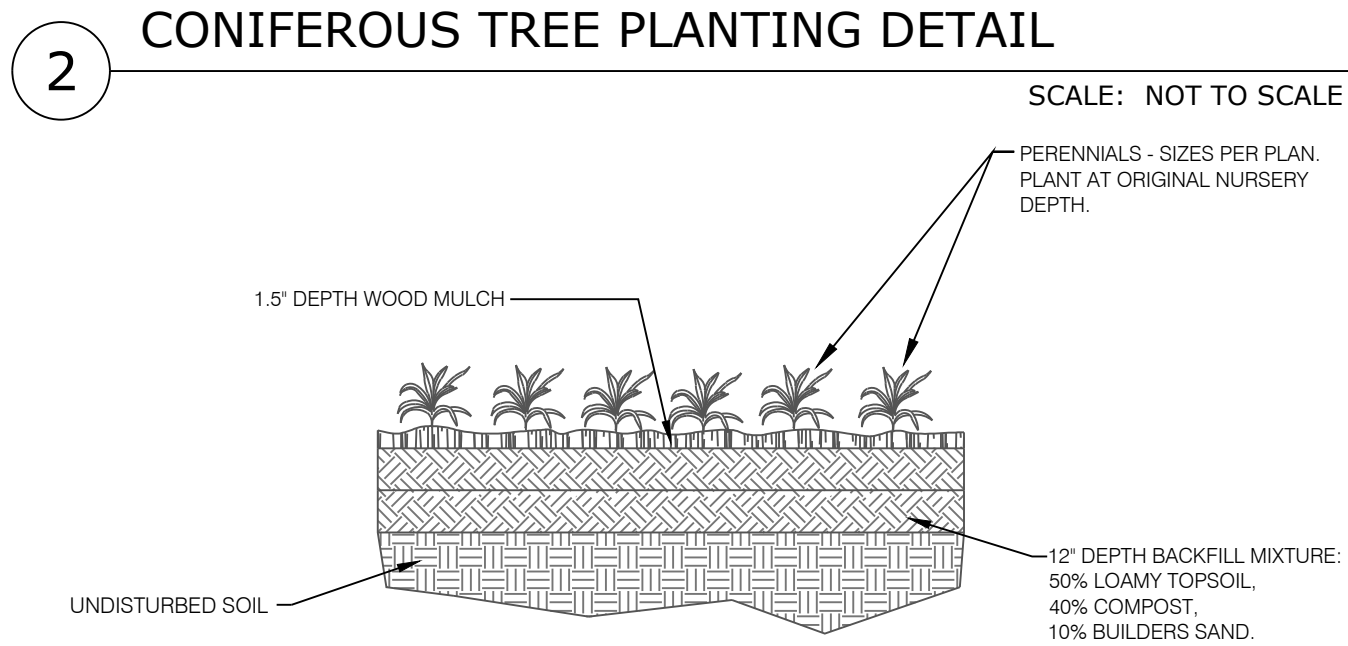
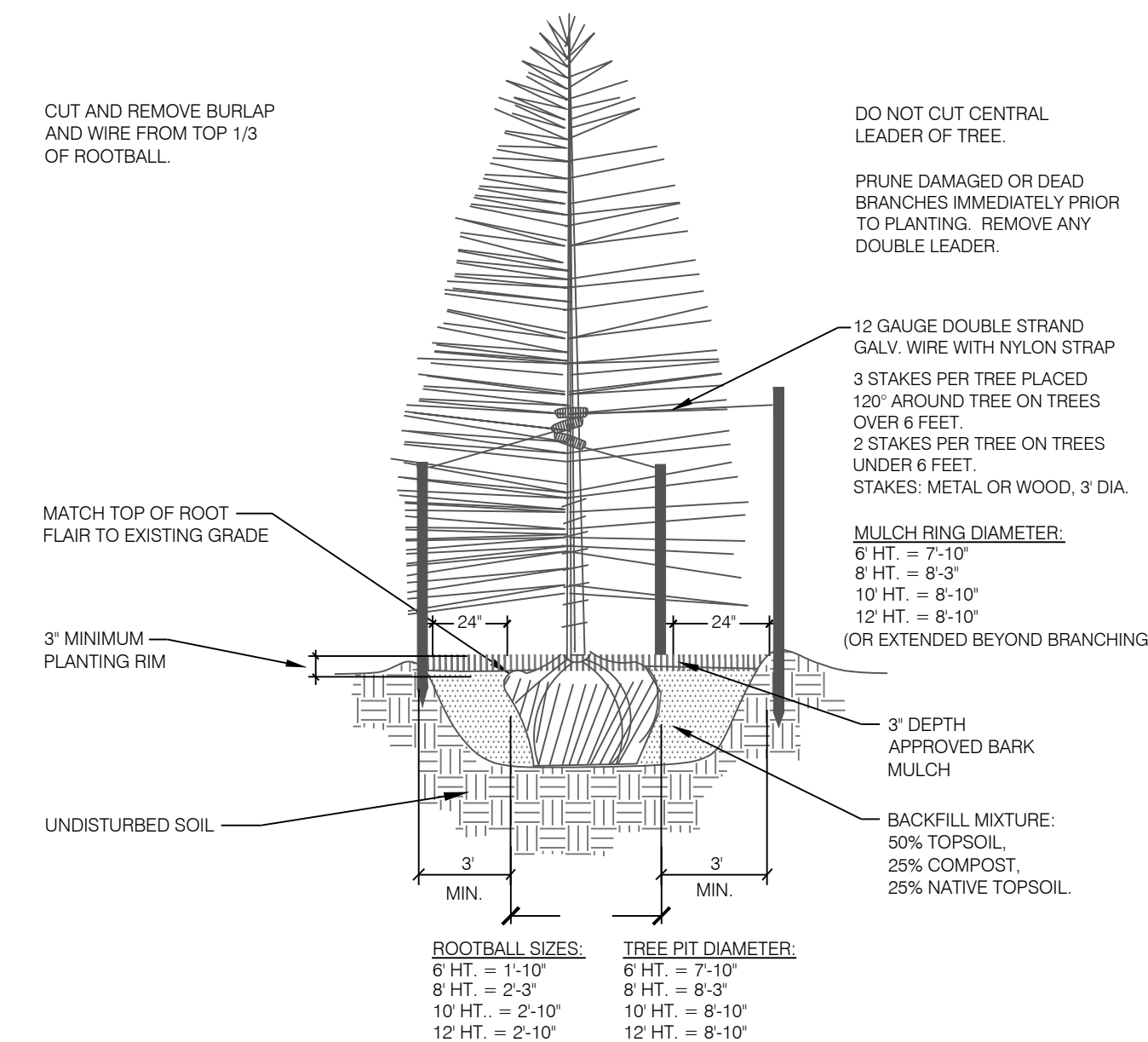
DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Agr	24	Acer grandidentatum / Bigtooth Maple	30'	30'	2" Cal.	B&B
	Coc	5	Celtis occidentalis / Common Hackberry	60'	50'	2" Cal.	B&B
	Ccr	1	Crataegus crus-galli / Cockspur Hawthorn	30'	30'	2" Cal.	B&B
	Mxr	13	Malus x 'Radiant' / Radiant Crabapple	25'	20'	2" Cal.	B&B
	Qma	4	Quercus macrocarpa / Burr Oak	60'	50'	3" Cal.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Ped	30	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B
	Pfl	11	Pinus flexilis / Limber Pine	50'	30'	6" HT	B&B
	Ppo	2	Pinus ponderosa / Ponderosa Pine	80'	40'	6" HT	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Cxc	82	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	4'	4'	5 GAL	CONT
	Cse	22	Cornus sericea / Redoiser Dogwood	8'	8'	5 GAL	CONT
	Je	14	Juniperus virginiana 'Globosa' / Globe Eastern Redcedar	3'			
	Pod	11	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	8'	8'	5 GAL	CONT
	Pb	34	Pinus mugo 'Big Tuna' / Mountain Pine	5'	6'	5 GAL	CONT
	Pc	166	Pinus mugo 'Compacta' / Dwarf Mugo Pine	3'	3'	5 GAL	CONT
	Psy	11	Pinus sylvestris 'Hillside Creeper' / Hillside Creeper Scotch Pine	2'	6'	5 GAL	CONT
	Rkk	17	Rosa x 'Knockout'™ / Rose	3'	3'	5 GAL	CONT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Fn	10	Forestiera neomexicana / New Mexico Privet	12'	12'	5 GAL	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Cxa	310	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5'	2'	1 GAL	CONT
	Cl	44	Chasmanthium latifolium 'Little Tickler' / Little Tickler Northern Sea Oats	2'	2'	1 GAL	CONT

LANDSCAPE NOTES

- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANIC PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- ALL SOD SHALL BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

GROUND COVER SCHEDULE

	COBBLE 2"-4" Cripple Creek Gold Ore	6,907 sf
	NATIVE GRASS Upland Native Seed Mix	89,355 sf
	ROCK MULCH 3/4" Cimarron Granite	10,717 sf
	TALL FESCUE SOD	49,033 sf



N.E.S. Inc.
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Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
PROJECT MGR: B. Swenson
PREPARED BY: J. Smith

Entitlement

DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT
05.12.2023	J.S./A.L.	PER COUNTY COMMENT
08.07.2023	J.S./A.L.	PER COUNTY COMMENT

Landscape Notes & Details

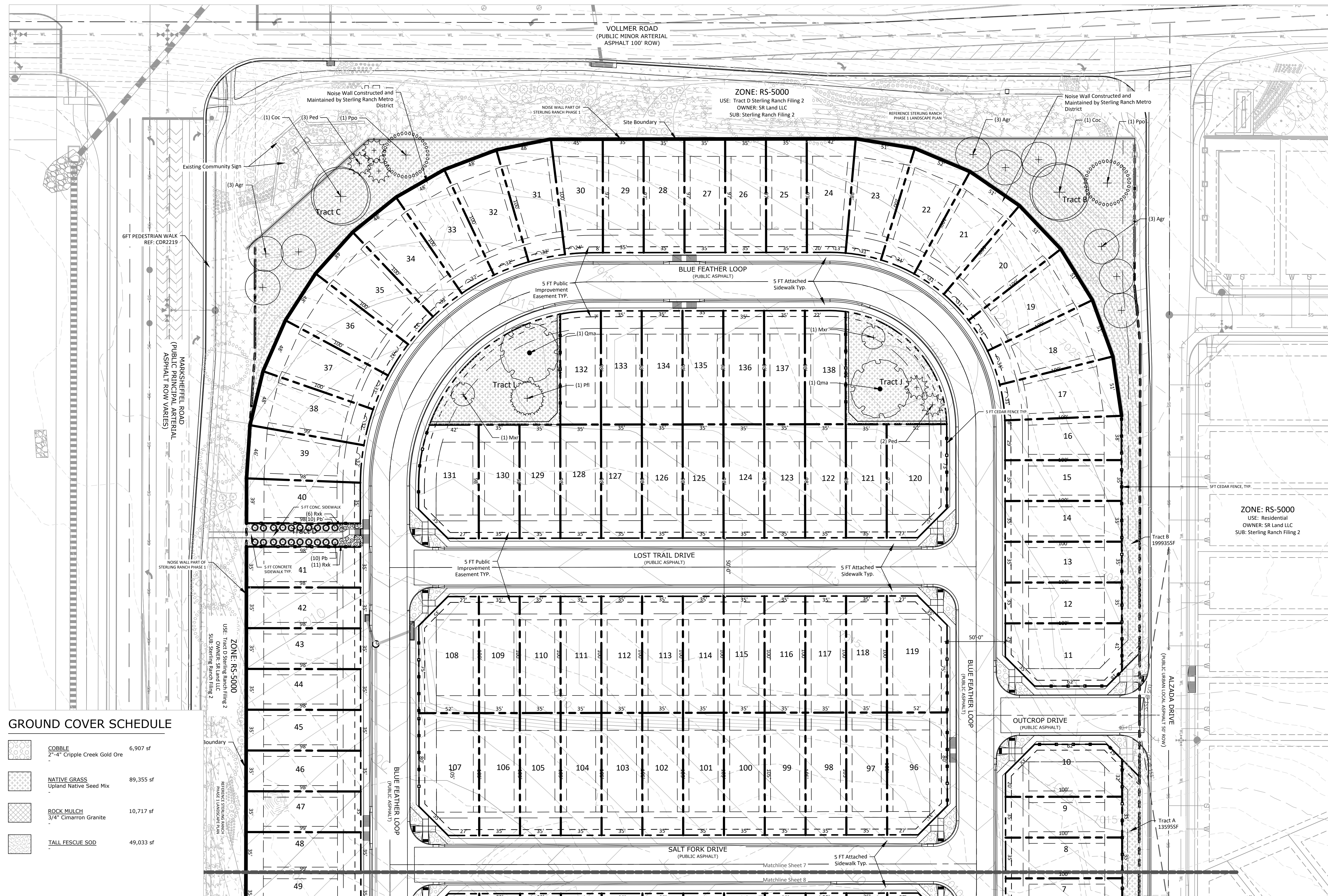
6 OF 10
PUDSP 22-002

COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

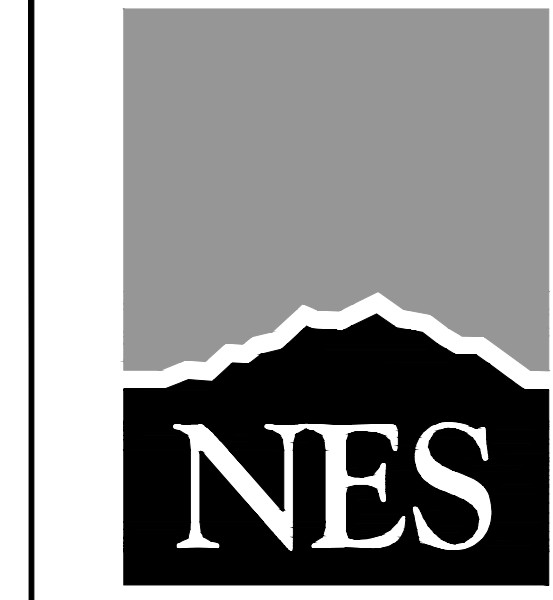
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AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN



GROUND COVER SCHEDULE

	COBBLE 2"-4" Cripple Creek Gold Ore	6,907 sf
	NATIVE GRASS Upland Native Seed Mix	89,355 sf
	ROCK MULCH 3/4" Cimarron Granite	10,717 sf
	TALL FESCUE SOD	49,033 sf



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PLANNER / LANDSCAPE ARCHITECT

IN ASSOCIATION WITH

Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
PROJECT MGR: B. Swenson
PREPARED BY: J. Smith

STAMP

Entitlement

DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT
05.12.2023	J.S./A.L.	PER COUNTY COMMENT
07.14.2023	J.S./A.L.	PER COUNTY COMMENT

ISSUE / REVISION

Landscape Plan

SHEET TITLE

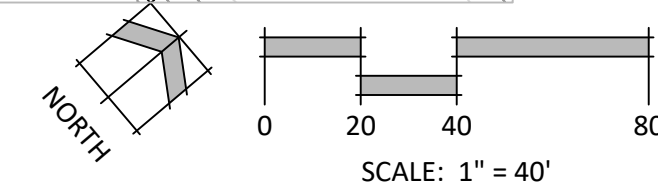
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SHEET NUMBER

7 OF 10

PLAN FILE #

PUDSP 22-002



COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.
PUD DEVELOPMENT/PRELIMINARY PLAN

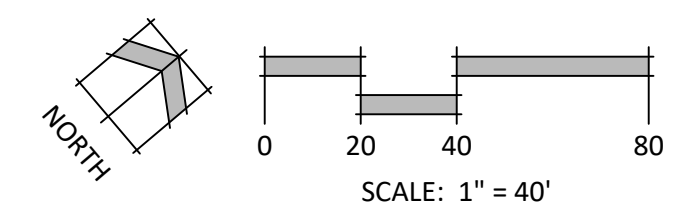


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GROUND COVER SCHEDULE

	COBBLE 2"-4" Cripple Creek Gold Ore	6,943 sf
	NATIVE GRASS Upland Native Seed Mix	91,331 sf
	ROCK MULCH 3/4" Cimarron Granite	8,034 sf
	TALL FESCUE SOD	51,781 sf



Copper Chase at Sterling Ranch

8335 Vollmer Road

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 PROJECT MGR: B. Swenson
 PREPARED BY: J. Smith

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07.21.2022	B.H.	PER COUNTY COMMENT
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Landscape Plan

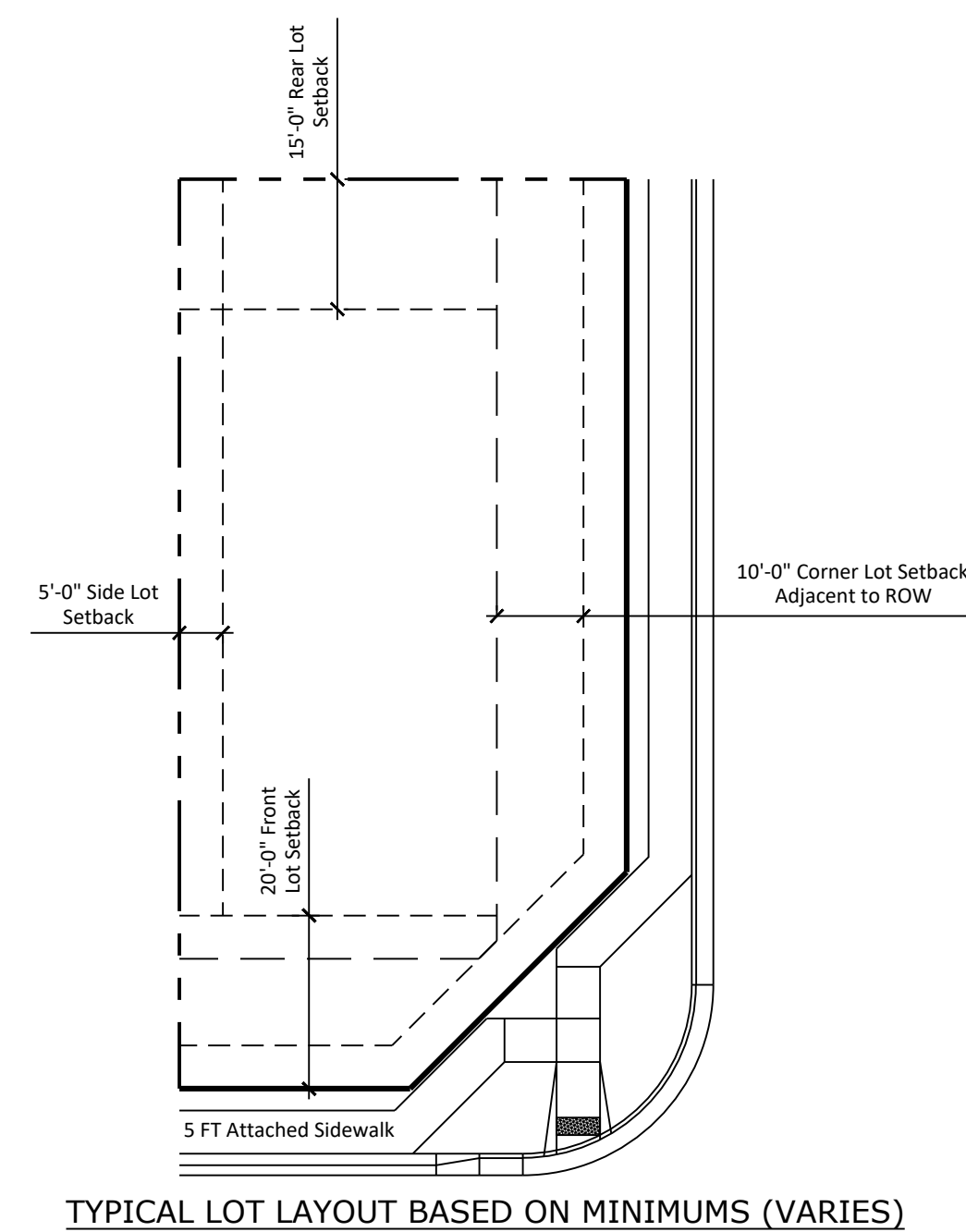
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8 OF 10

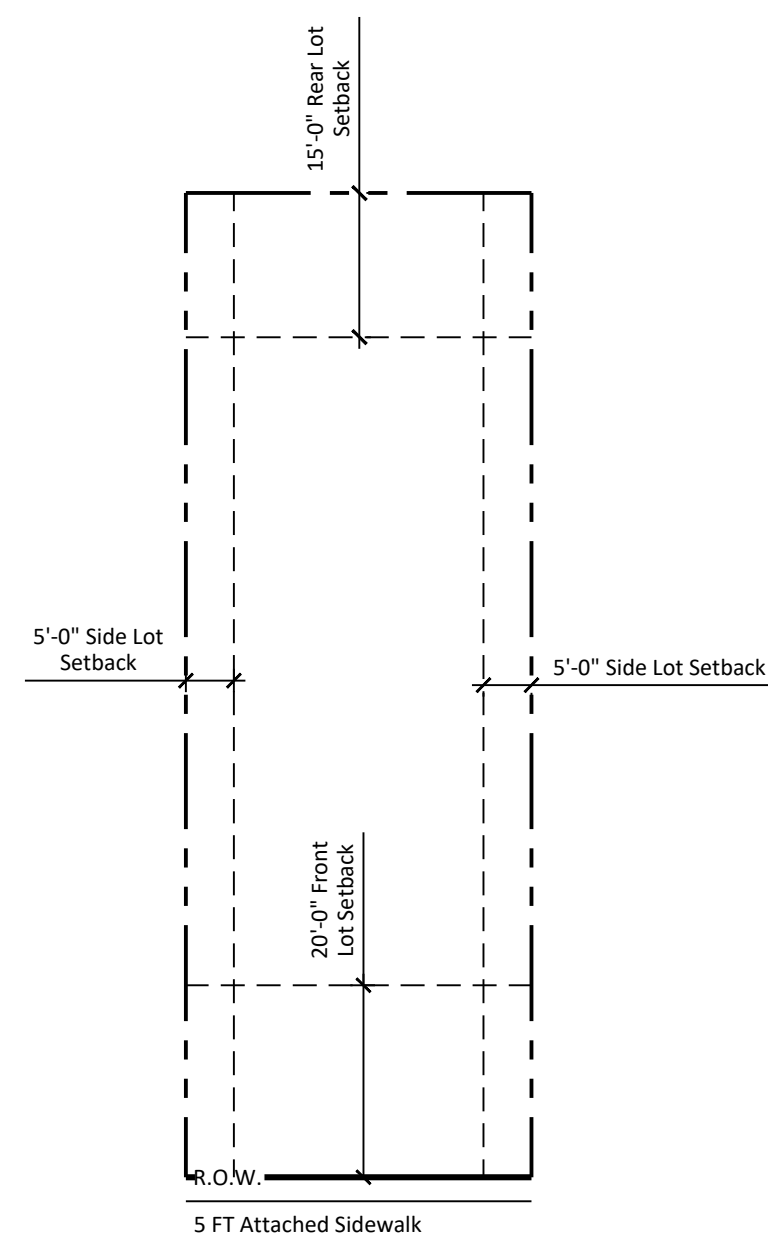
PUDSP 22-002

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COPPER CHASE AT STERLING RANCH
 A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M. EL PASO COUNTY, COLORADO
 PUD DEVELOPMENT/PRELIMINARY PLAN



TYPICAL LOT LAYOUT BASED ON MINIMUMS (VARIES)



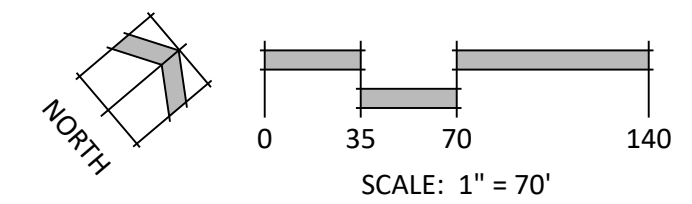
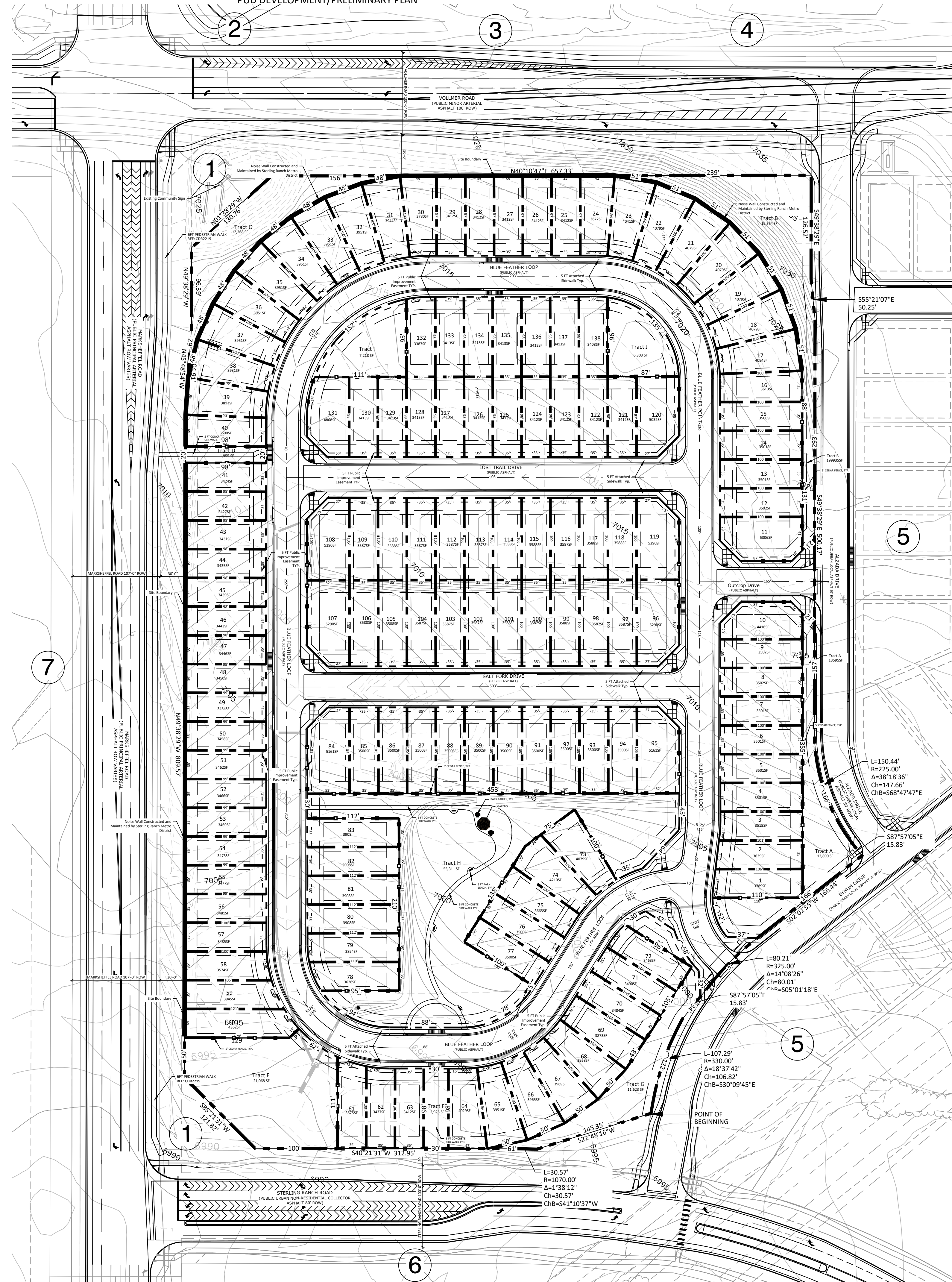
TYPICAL CORNER LOT LAYOUT ADJACENT TO ROW BASED ON MINIMUMS (VARIES)

TRACT TABLE

Tract	Area (SF)	Area (AC)	Use	Ownership/Maintenance
A	12,890	0.296	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
B	19,564	0.449	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
C	12,268	0.282	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
D	1,955	0.045	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
E	21,068	0.484	Landscape, Utilities, Stormwater, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
F	2,925	0.067	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
G	11,623	0.267	Landscape, Utilities, Drainage, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
H	55,311	1.27	Park, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
I	7,218	0.166	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
J	6,303	0.145	Landscape, Utilities, Trails, Sidewalk	Copper Chase at Sterling Ranch HOA
Total Tract Area:		3.471		

ADJACENT OWNERS

	Name	Mailing Address	City, State, Zip
1	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
2	EL PASO COUNTY	200 S CASCADE AVE	COLORADO SPRINGS CO, 80903
3	TYRONE & CECILIA SMITH	6145 PADRE CT	COLORADO SPRINGS, CO 80922
4	ALBINO FLETES & SANDRA HIGUERA REBOLLAR	9225 BEN TIRIRAN CT	COLORADO SPRINGS CO, 80908
5	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
6	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
7	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903



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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03/25/2022
 PROJECT MGR: A. Barlow
 PREPARED BY: B. Perkins

Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT
 05.12.2023 J.S./A.L. PER COUNTY COMMENT
 08.07.2023 J.S./A.L. PER COUNTY COMMENT

Tract Exhibit

9 OF 10
 PUDSP 22-002

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Legend:

- Qaf - Artificial Fill of Holocene Age:
Man-made fill deposits
- Qes - Eolian Sand of Quaternary Age:
wind deposited sands
- Qp - Piney Creek Alluvium of Quaternary Age:
fine deposited sands and clays
- Tkd - Dawson Formation of Tertiary to Cretaceous Age:
arkosic sandstone with interbedded claystone and siltstone

- h - hydrocompaction
- sw - shallow groundwater area

GEOLOGIC CONSTRAINTS &/OR HAZARD DISCLOSURE STATEMENT

11. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:

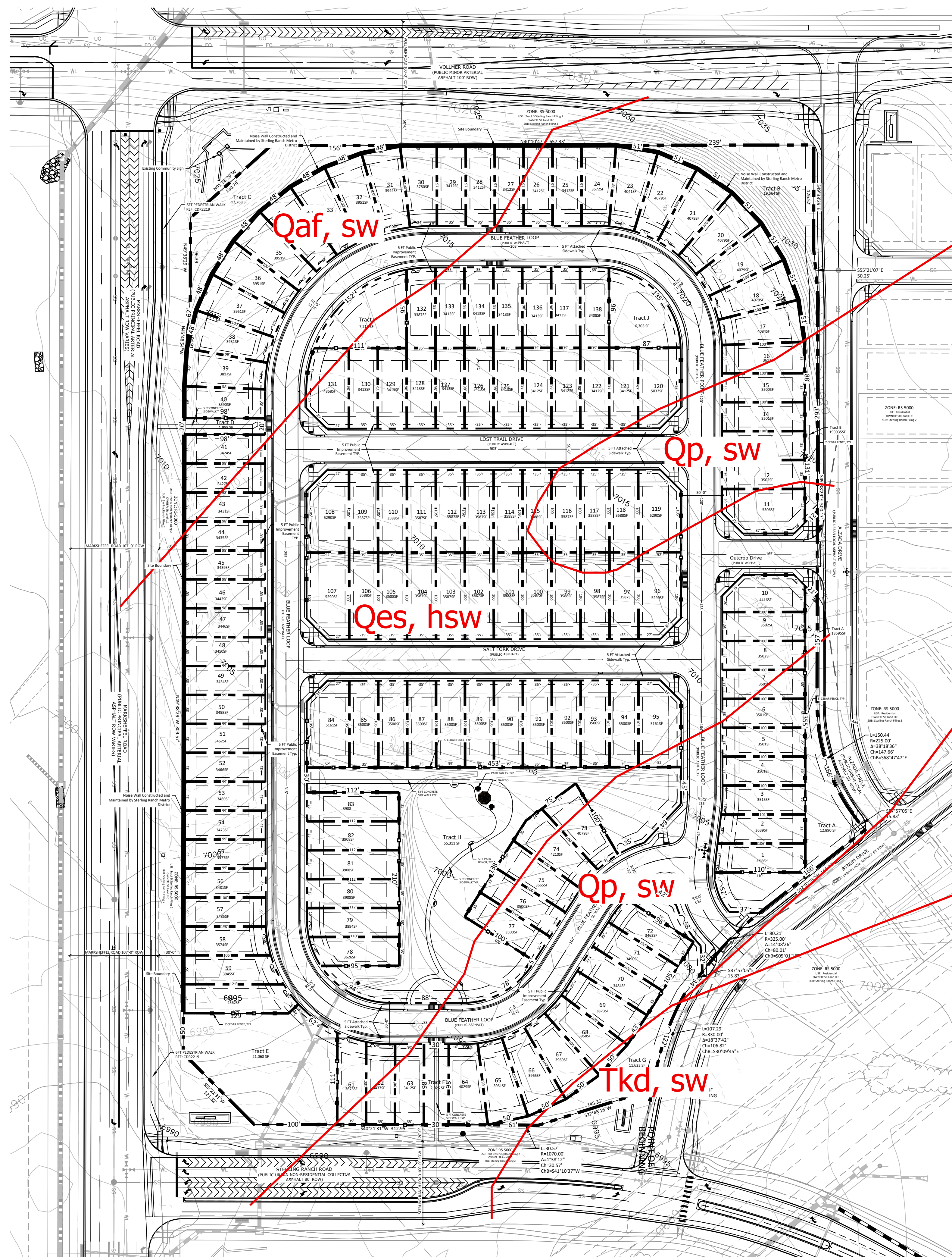
- Potential Shallow Groundwater (All Lots)
- Artificial Fill (All Lots)
- Shallow Bedrock (All Lots)
- Potential Expansive Soil (Sporadic)
- Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138)

In Areas of Expansive Soil:
Mitigation of expansive soils will require special foundation design.

In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.

GEOLOGIC CONSTRAINTS NOTES

1. IF ANY DISCREPANCIES ARE FOUND BETWEEN PLAN AND SAID REPORTS, THE REPORTS SUPERSEDE.
2. ALL BOUNDARIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. THEY ARE BASED UPON A SUBJECTIVE INTERPRETATION OF PUBLISHED MAPS, AERIAL PHOTOGRAPHS AND AN INITIAL FIELD RECONNAISSANCE. CHANGES IN THE MAPPED BOUNDARIES SHOWN ARE POSSIBLE AND SHOULD BE EXPECTED WITH MORE DETAILED WORK AND FURTHER INFORMATION. ALL INTERPRETATIONS AND CONDITIONS SHOWN ARE PRELIMINARY AND FOR LAND-USE PLANNING ONLY.



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Constraints Exhibit

SHEET TITLE

10

10 OF 10

PLAN FILE # PUDSP 22-002

SHEET NUMBER

