

COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN

GENERAL PROVISIONS

- Authority.** This PUD is authorized by Chapter 4 of the El Paso County Land Development Code, adopted pursuant to the Colorado Planned Unit Development Act of 1972, as amended.
- Applicability.** The provisions of this PUD shall run with the land. The landowners, their successors, heirs, or assigns shall be bound by this Development Plan as amended and approved by the Planning and Community Development Director or Board of County Commissioners.
- Adoption.** The adoption of this development plan shall evidence the findings and decisions of the El Paso County Board of County Commissioners that this Development Plan for Copper Chase at Sterling Ranch is in general conformity with the El Paso County Master Plan, El Paso County Policy Plan and applicable Small Area Plan; is authorized under the provision of the El Paso County Land Development Code; and that the El Paso County Land Development Code and this development plan complies with the Colorado Planned Unit Development Act of 1972, as amended.
- Relationship to County Regulations.** The provisions of this Development Plan shall prevail and govern the development of Copper Chase at Sterling Ranch, provided, however, that where the provisions of this Development Plan do not address a particular subject, the relevant provisions of the El Paso County Land Development Code in effect at the time of the PUD plan approval (or owner acknowledge the PUD changes with the Code), or any other applicable resolutions or regulations of El Paso County, shall be applicable.
- Enforcement.** To further the mutual interest of the residents, occupants, and owners of the PUD and of the public in the preservation of the integrity of this development plan, the provisions of this plan relating to the use of land and the location of common open space shall run in favor of El Paso County and shall be enforceable at law or in equity by the County without limitation on any power or regulation otherwise granted by law.
- Conflict.** Where there is more than one provision within the development plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.
- Maximum Level of Development.** The total number of dwellings or the total commercial, business, or industrial intensity shown on the development plan for development within the specified planning areas is the maximum development requested for planning or construction (plus any approved density transfers). The actual number of dwellings or level of development may be less due to subdivision or Site Development Plan requirements, land carrying capacity, or other requirements of the Board of County Commissioners.
- Project Tracking.** At the time of any final plat application, the applicant shall provide a summary of the development, to date, to Planning and Community Development, in order to assure maximum development limitations are not exceeded.
- Overall Project Standards.** The standard zoning requirements of El Paso County Land Development Code, as amended, including off-street parking, landscaping, site development, accessory and temporary uses, and use by special review and variance processes shall apply to this PUD, except as modified below.
- Utility Providers.** The following utility providers will serve the Copper Chase at Sterling Ranch PUD Preliminary Plan area:
 - Water: Sterling Ranch Metropolitan District No. 1
 - Wastewater: Sterling Ranch Metropolitan District No. 1
 - Gas: Colorado Springs Utilities
 - Electric: Mountain View Electric

DEVELOPMENT GUIDELINES: COPPER CHASE AT STERLING RANCH PUD DEVELOPMENT PLAN

A. Project Description
Copper Chase at Sterling Ranch is the continuation of a long-term development with a distinct vision. The project centers on a recreational lifestyle by providing opportunities such as parks and open space, and trails for residents to enjoy. Overall Sterling Ranch common landscape elements such as fencing, street tree plantings, landscaping, and signage will establish a unique sense of place for this development. The parks have been located in areas of higher density so more of the residents can access them by walking and provide a focal element to the neighborhoods. Lot sizes, setbacks, and landscaping tracts are designed to provide a wide variety of housing options and prices within the development while ensuring open space and visually interesting streetscapes for the community.

B. Permitted and Accessory uses: Permitted and accessory uses are as identified in the use table below. These uses are also subject to the Covenants and approval of the Copper Chase at Sterling Ranch Home Owners Association.

Are you sure you are allowing accessory living quarters? these are small lots.

PRINCIPAL USES		ACCESSORY USES	
CMRS Facility, Stealth	S	Day Care Home	A*
Dwellings - Detached Single Family	A	Crow Home	A*
Model Home/Subdivision Sales Office	T	Home Occupations, Residential	A
Public Park, Open Space	A	Accessory Living Quarters	A
Yard Sales	T	Personal Use Greenhouse	A
		Residential accessory structures & uses	A
		Solar Energy system	A

LEGEND	
A: Allowed Use	
S: Special Use**	
T: Temporary Use***	

Uses not listed in this table are prohibited.

* Day Care & Group Homes may be an Allowed Use or a Special Use depending on the size as defined in Table 5.2.3 of the El Paso County Land Development Code and are subject to the criteria in Section 5.2.2 of the El Paso County Land Development Code OR as otherwise Amended.

** Special uses are subject to the requirements of the El Paso County Land Development Code, Section 5.3.2 OR as otherwise Amended.

*** Temporary uses are subject to the requirements of the El Paso County Land Development Code, Section 5.3.1 OR as otherwise Amended.

Accessory uses must also meet the development requirements in (C) below. These uses are also subject to the Covenants and approval of the Copper Chase at Sterling Ranch Homeowners Association.

- C. Development Requirements**
- Maximum lot coverage: sixty-five (65) percent
 - Maximum building height: thirty-five (35) feet.
 - Setback minimums:
 - Front yard: twenty (20) feet
 - Side yard: five (5) feet
 - Corner lot: the side yard setback for the side street shall be ten (10) feet.
 - Rear yard: fifteen (15) feet.
 - Minimum Lot Width: 30 feet as measured from the front setback line or as otherwise shown on the PUD.
 - Accessory buildings must comply with the setbacks established above. Accessory structures shall be governed by architectural covenants regarding building colors and materials to be consistent with the primary structure of the site.
 - Projections into setbacks are governed by the Land Development Code, as may be amended.

- D. Lot Sizes**
- The minimum lot size is 3,200 square feet.
 - The lot sizes, dimensions, and bearings, shown on the PUD Development/Preliminary Plan are conceptual only. The lot sizes, dimensions, and bearings will be established with the Final Plat and may vary from that shown on the PUD Development/Preliminary Plan.
 - The Final Plat will not create any additional building lots.
 - No subdivision of any lot will be allowed if such subdivision results in the creation of additional building lots.
 - Lot line adjustments, per Chapter 7 of the Land Development Code or as amended will not require an amendment of this PUD Development/Preliminary Plan.

E. Streets
Private streets within the Copper Chase at Sterling Ranch Subdivision provide general vehicular circulation throughout the development. All streets shall be privately owned and maintained by the Copper Chase at Sterling Ranch Homeowners Association. All streets shall be paved with curb and gutter. Sidewalks shall be provided on both sides of all internal streets, illustrated on this plan.

F. Architectural Control Committee Review/Covenants
The Covenants govern the Copper Chase at Sterling Ranch Subdivision and owners of lots within Copper Chase at Sterling Ranch may need to obtain the prior written approval of The Design Committee before building an improvement on the lot or commencing with a particular use of the lot.

G. Covenant Provisions
The provisions of the Covenants shall prevail except where the provisions or guidelines of the Covenants do not address a particular subject or guideline, in which case the relevant provisions of the PUD Plan shall then be applicable. In the event of any conflict between this PUD Plan and the Covenants the Covenants shall prevail and govern. Where the provisions of the Covenants or the PUD Plan conflict with a statute or code the more restrictive shall apply.

H. Signs
Signs shall be permitted to identify entryways to Copper Chase at Sterling Ranch community. The maximum size of the Community Entryway Sign shall be 100 square feet with a maximum height of (6) feet. Sign size shall be measured by drawing the smallest rectangle around the text of the sign. For double sided signs, only one sign face shall contribute to the maximum size.

I. Easements
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

LEGAL DESCRIPTION

A PORTION OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SE 1/4, SE 1/4) OF SECTION 32, AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER (SW 1/4, SW 1/4) OF SECTION 33, T12S, R65W OF THE 6TH P.M., AND THE NORTHEAST QUARTER OF THE NORTHEAST QUARTER (NE 1/4, NE 1/4) OF SECTION 5, T13S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO, BEING TRACT E, "STERLING RANCH FILING NO. 2" AS RECORDED UNDER RECEIPT NO. 22 IN THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER'S OFFICE.

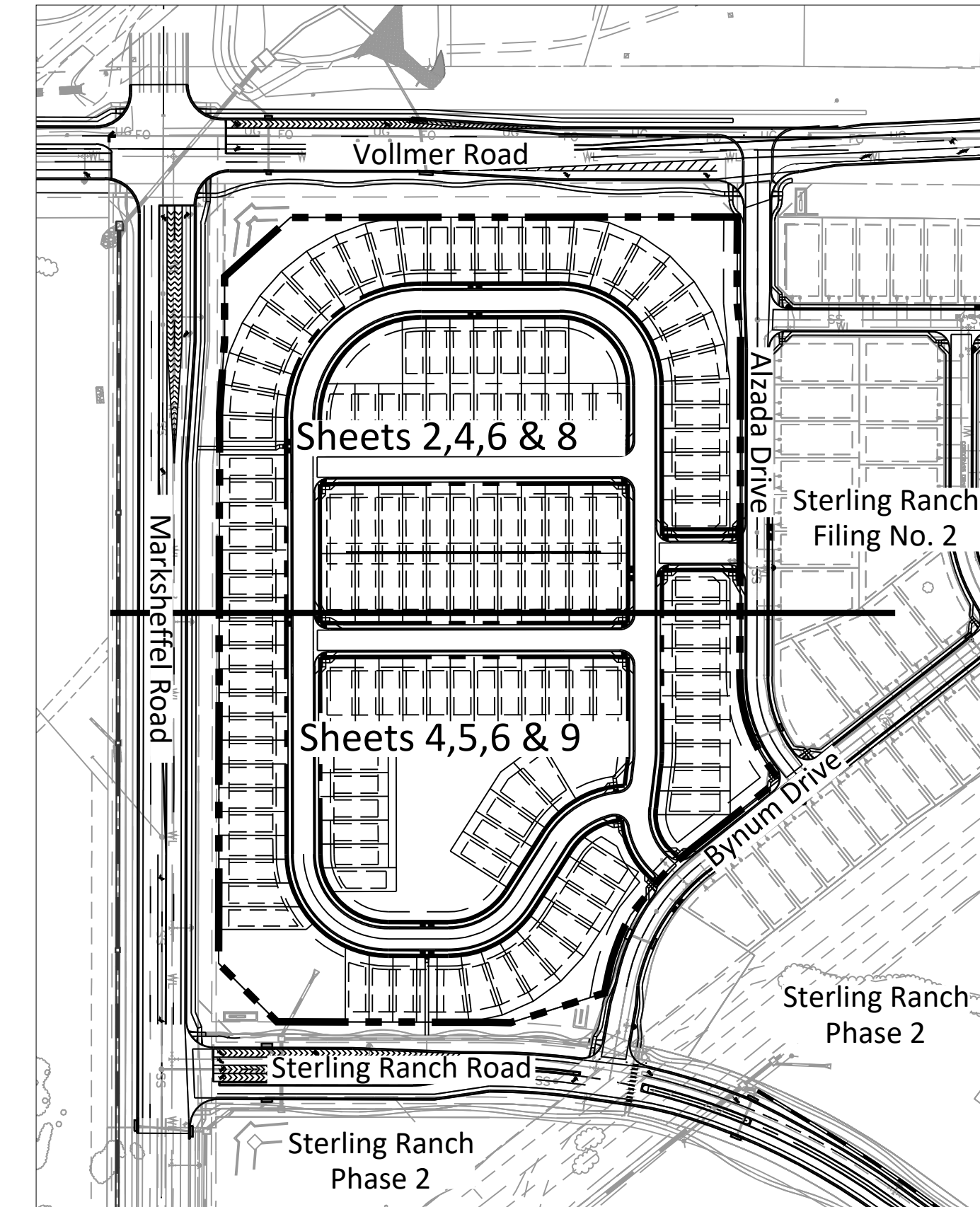
SAID PARCEL CONTAINS 856,016 SQUARE FEET (19.657 ACRES, MORE OR LESS).

GENERAL NOTES

- All sidewalks shown on development plan are to be 5' concrete unless otherwise specified.
- Federal Emergency Management Agency, Flood Insurance Rate Map number 0804LCO296C, effective date, December 7, 2018, indicates the area in the vicinity of this parcel of land to be a Zone X (area determined to be out of the 500 year floodplain).
- The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.
- Landscape entry features, open space tracts, parks and trails shall be owned and maintained by the Copper Chase at Sterling Ranch Home Owners Association.
- All open space/trail/landscape tracts shall be limited to non-motorized use only, except for maintenance and emergency vehicles.
- There shall be no direct lot access to Vollmer Road, Marksheffel Road and Sterling Ranch Road.
- The private roads as shown on this PUD will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.
- Noise wall along Vollmer Road and Marksheffel Road is not a part of this PUD. Noise wall to be installed, owned and maintained by the Sterling Ranch Metropolitan District.
- Unless otherwise indicated, all side, front, and rear lot lines will include 5 foot public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries include a 20 foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.
- Minor changes such as minor lot or tract line adjustments upon final engineering will not require a PUD or Preliminary Plan amendment.
- Geologic Hazard Note:** The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:
 - Potential Shallow Groundwater (All Lots)
 - Artificial Fill (All Lots)
 - Shallow Bedrock (All Lots)
 - Potential Expansive Soil (Sporadic)
 - Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138)In Areas of Expansive Soil: Mitigation of expansive soils will require special foundation design.
- In Areas of High Groundwater: Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.
- NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT ASSOCIATED WITH AIRPORT:** This serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations.
- NOTICE:** This property may be adversely impacted by noise, dust, fumes, and light pollution caused by adjacent industrial properties and activities. The buyer should research and be aware of this potentiality and the ramifications thereof.

state who is maintaining the retaining wall is it the District? or the HOA

you should have an easement for the wall so the maintenance entity can access for repairs when needed



CONTEXT MAP / SHEET INDEX MAP

VICINITY MAP



SITE DATA

rework math and percentages please; repeat comment

Tax ID Number: 5232410003
Total Area: 19,657 AC
Development Schedule: Fall 2022
Sketch Plan: 544-19-003 (Approved 2018 Density Range: 5-8 DU/AC)
Current Zoning: RS-5000
Proposed Zoning: PUD
Current Use: Vacant
Proposed Use: Single Family Residential
Number of Lots: 138
Proposed Gross Density: 7.0 DU/AC
Proposed Net Density: 11.5 DU/AC

PUD Open Space:
Formula: 10% of 856,016 SF = 85,602 SF
Required: 21,400 SF (25%)
Usable: 158,509 SF
Provided: 158,509 SF
Usable: 60,347 SF Tract H (38%)

43560 x 19.657 = 855997.56
43560 x 3.54 = 154554.4

LAND USE DATA TABLE

LAND USE	ACRES	% OF LAND
SINGLE FAMILY	12.0	61%
PRIVATE ROAD TRACTS	4.031	20%
OPEN SPACE TRACTS	3.64	19%

TRACT TABLE

Tract	Area (SF)	Area (AC)	Use	Ownership/Maintenance
A	13595	0.31	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
B	19935	0.46	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
C	12270	0.28	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
D	1955	0.04	Landscape, Drainage, Utilities	Copper Chase at Sterling Ranch HOA
E	21337	0.49	Landscape, Stormwater, Utilities	Copper Chase at Sterling Ranch HOA
F	2925	0.07	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
G	12624	0.29	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
H	60347	1.39	Park, Utilities	Copper Chase at Sterling Ranch HOA
I	7218	0.17	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
J	6303	0.14	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
K	174719	4.01	Private Street, Drainage/Utility/Access Easement	Copper Chase at Sterling Ranch HOA
Total Tract Area:		7.65		

PUD MODIFICATION TABLE (AS ALLOWED BY LDC SECTION 4.2.6.(F)(2)(g))

	LDC/ECM Section	Category	Standard	Modification	Justification
1	LDC Chapter 8.4.4(E)(2)	Private Roads	Use of private roads shall be limited	Private roads proposed to serve only this subdivision	Private road design provides more flexibility for the development and create a more compact community design that allows for more open space and internal sidewalk connectivity. The private roads will be owned and maintained by the Homeowners Associations.
2	ECM Section 2.3.3.F.3	Broken Back Curves	Minimum tangent length between broken back curves (200')	Blue Feather Point 101' minimum tangent length between broken back curves	Create a more efficient development in terms of land devoted to transportation facilities and to maximize land for single family and open space land uses on an irregularly shaped infill development parcel.
3	ECM Section 2.5.2.C.4	Mid-block Ramps on Local Roadways	Access ramps on local roadways shall be spaced no greater than 600 feet apart.	611 feet maximum without a mid-block crossing.	Promote a reasonable sidewalk layout to accommodate pedestrian traffic from a logical access point that is considered comparable or superior to that of the ECM standards.
4	ECM Section 2.3.2, Table 2-7	Minimum Centerline Radius & Intersection Spacing Standards	Minimum centerline radius (200') and minimum intersection spacing standards (175') for urban local roadways	100' Minimum Centerline Radius and 100' Minimum Intersection Spacing	Create a more efficient development in terms of land devoted to transportation facilities and to maximize land for single family land uses on an irregularly shaped infill development parcel.
5	ECM Section 2.5.2.C.3	Mid-Block Ramps on Local Roadways "T" Intersections	All "T" intersections shall have a minimum of four curb ramps	2 PED ramps at Blue Feather Point and Lost Trail Point northeastern intersection. 2 PED ramps at Blue Feather Point and Salt Fork Point northeastern intersection. 2 PED ramps at Blue Feather Point and Blue Feather Point intersection.	Promote safer pedestrian circulation paths that function similar to or superior to that of the ECM standards and responds to market demands of lot density and various site constraints. Proposed crossing location provides midpoint access coming from both sides. Reduces number of conflict points between pedestrian and vehicle traffic paths resulting from proximity of intersections and lot density. Lot geometry, density, and associated features such as driveways promote the desire for a solution to the original problem. Similar circulation paths can be achieved with this solution. Does not impede pedestrian movements.

this does not typically work out and delays the County issuing building permits please remove.

Ownership Certification

Challenger Communities, LLC
Name of Landowner

Landowner's Signature, notarized

I/we _____ a lone of the following: qualified title insurance company, title company, title attorney, or attorney at law duly qualified, insured, and licensed by the State of Colorado, do hereby certify that I/we have examined the title of all lands depicted and described hereon and that title to such land is owner in fee simple by _____ at the time of this application.

Notarized signature _____

OR Name of Attorney and registration number _____

Board of County Commissioners Certification

This PUD/preliminary plan for Copper Chase at Sterling Ranch was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 20____, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (easements) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

President, Board of County Commissioners _____ date _____

Director, Planning & Community Development Department _____ date _____

Clerk and Recorder Certification

State of Colorado)
) ss:
El Paso County)

I hereby certify that this Plan was filed in my office on this _____ (day) of _____ (month), 20____ at _____ o'clock a.m./p.m. and was recorded per Reception No. _____.

El Paso County Clerk and Recorder

PROJECT TEAM

Owner/Developer: Challenger Communities, LLC
8605 Explorer Drive, Suite 250
Colorado Springs, CO 80920
(719) 598-5192

Applicant: N.E.S. Inc.
619 N. Cascade Ave., Suite 200
Colorado Springs, CO 80903
(719) 471-0073

SHEET INDEX

- Sheet 1 of 10: Cover Sheet
- Sheet 2 of 10: PUD Site Plan
- Sheet 3 of 10: PUD Site Plan
- Sheet 4 of 10: Preliminary Grading Plan
- Sheet 5 of 10: Preliminary Utility Plan
- Sheet 6 of 10: Landscape Notes & Details
- Sheet 7 of 10: Landscape Plan
- Sheet 8 of 10: Landscape Plan
- Sheet 9 of 10: Tract Exhibit
- Sheet 10 of 10: Constraints Exhibit



N.E.S. Inc.
619 N. Cascade Avenue, Suite 200
Colorado Springs, CO 80903

Tel. 719.471.0073
Fax 719.471.0267

www.nescolorado.com

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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
PROJECT MGR: B. Swenson
PREPARED BY: B. Halsten

Entitlement

DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT

Cover Sheet

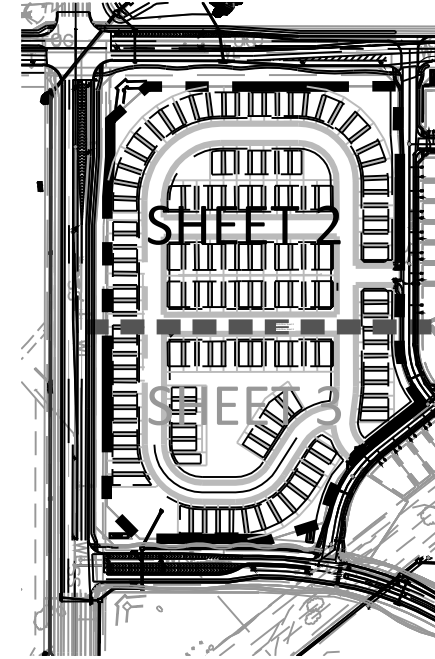
1 OF 10

PUDSP 22-002



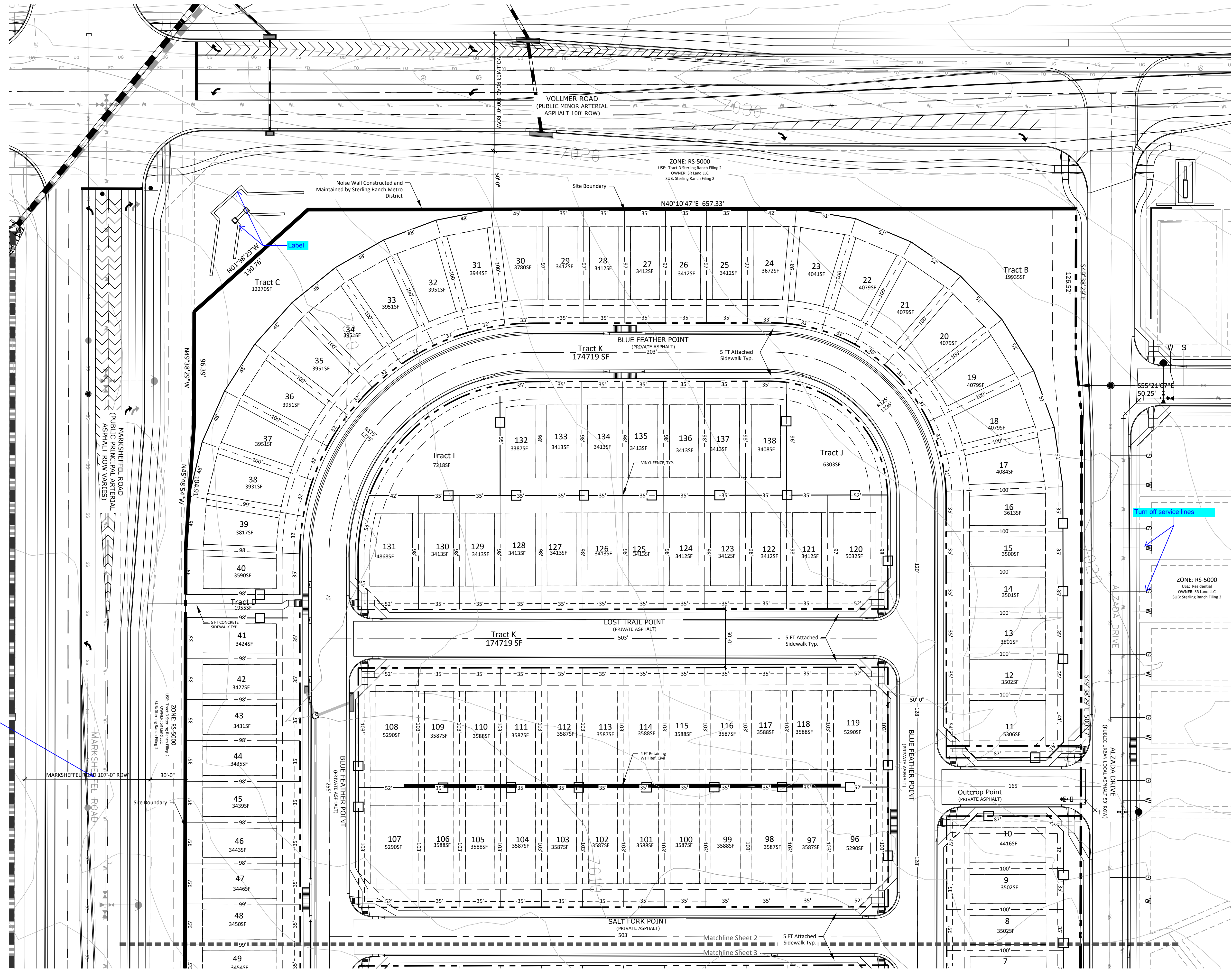
N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
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SHEET KEY MAP



Include legend

Show proposed contours, show existing contours as dashed.



Copper Chase at Sterling Ranch

8335 Vollermer Road

DATE: 03.25.2022
 PROJECT MGR: B. Swenson
 PREPARED BY: B. Halsten

Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT

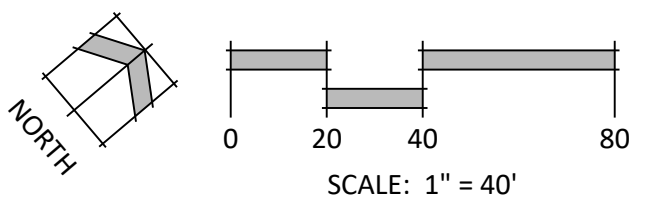
PUD Site Plan

2

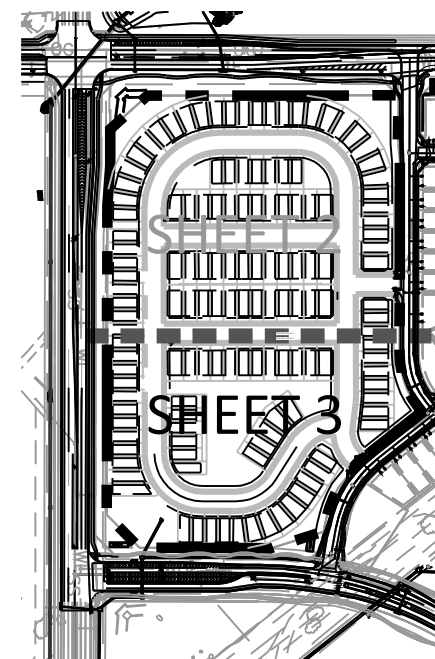
2 OF 10

PUDSP 22-002

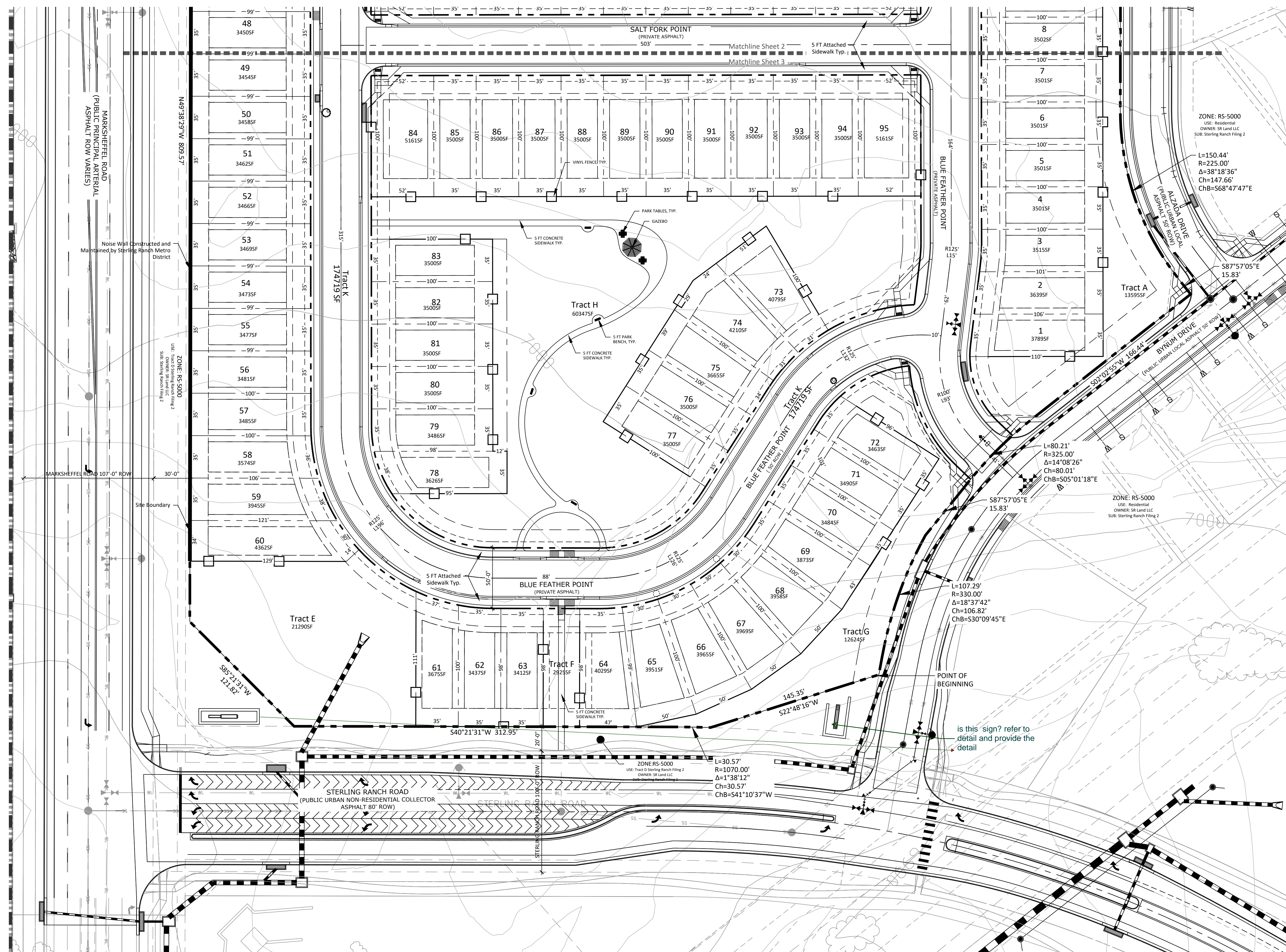
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SHEET KEY MAP



Show legend



N.E.S. Inc.
 619 N. Cascade Avenue, Suite 200
 Colorado Springs, CO 80903
 Tel. 719.471.0073
 Fax 719.471.0267
 www.nescolorado.com
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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
 PROJECT MGR: B. Swenson
 PREPARED BY: B. Halsten

Entitlement

DATE: 07.21.2022
 BY: B.H.
 DESCRIPTION: PER COUNTY COMMENT

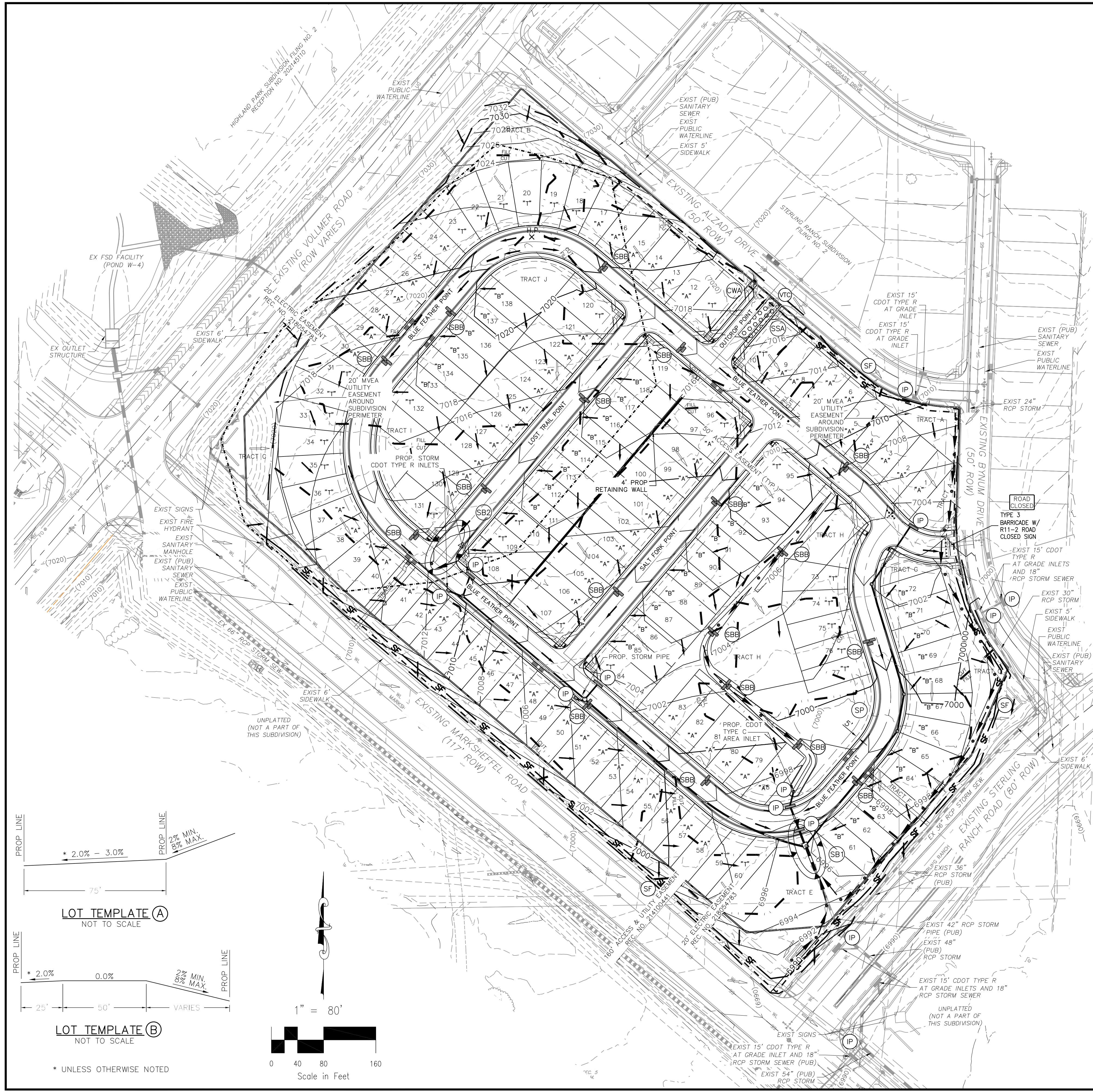
PUD Site Plan

3 OF 10

PUDSP 22-002

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File: C:\190144\Challenger_PUD\dwg\Const_Dwg\Grading Plans\GR02.dwg Plotstamp: 6/21/2022 11:37 AM



LEGEND

	SITE BOUNDARY		CUT/FILL LINE
	PROP MAJ CONT		LIMITS OF DISTURBANCE/CONSTRUCTION
	PROP MIN CONT		TEMPORARY DRAINAGE SWALE
	EXIST MAJ CONT		ADJACENT PROPERTY BOUNDARY
	EXIST MIN CONT		SEDIMENT BASIN TRIBUTARY AREA
	PROP STORM SEWER PIPE		PROPOSED PRIVATE UTILITY EASEMENT
	EXISTING STORM SEWER PIPE		LOT LINE
	SILT FENCE-INITIAL		EXISTING FIRE HYDRANT
	STRAW BALE BARRIER - INTERIM		EXISTING SANITARY MANHOLE
	VEHICLE TRACKING CONTROL-INITIAL		EXISTING SIGN
	TEMPORARY SEDIMENT BASIN-INITIAL		EXISTING WATER VALVE
	INLET PROTECTION-FINAL		PROPOSED INLET
	CONCRETE WASHOUT-INITIAL		EXISTING FLOW DIRECTION ARROW
	SOIL STOCKPILE - INITIAL		PROPOSED FLOW DIRECTION ARROW
	STABILIZED STAGING AREA - INITIAL		FLARED END SECTION
			H.P. HIGH POINT
			L.P. LOW POINT
			"A" TYPE A LOT
			"B" TYPE B LOT
			"T" TRANSITION LOT
			9 LOT NUMBER

SEDIMENT BASIN TABLE:

SEDIMENT BASIN NO.	UPSTREAM DRAINAGE AREA AC.	BASIN WIDTH FT.	BASIN LENGTH FT.	ANTIC. WATER HT. FT.	REQ'D VOLUME C.F.	SPILLWAY LENGTH FT.	HOLE DIA. IN.	ROWS OF HOLES IN STANDPIPE
SB1	12	47.25	94.5	3	13,396	11	25/32	1
SB2	7	64	128	3	24,576	18	1	1

ADDITIONAL NOTES:

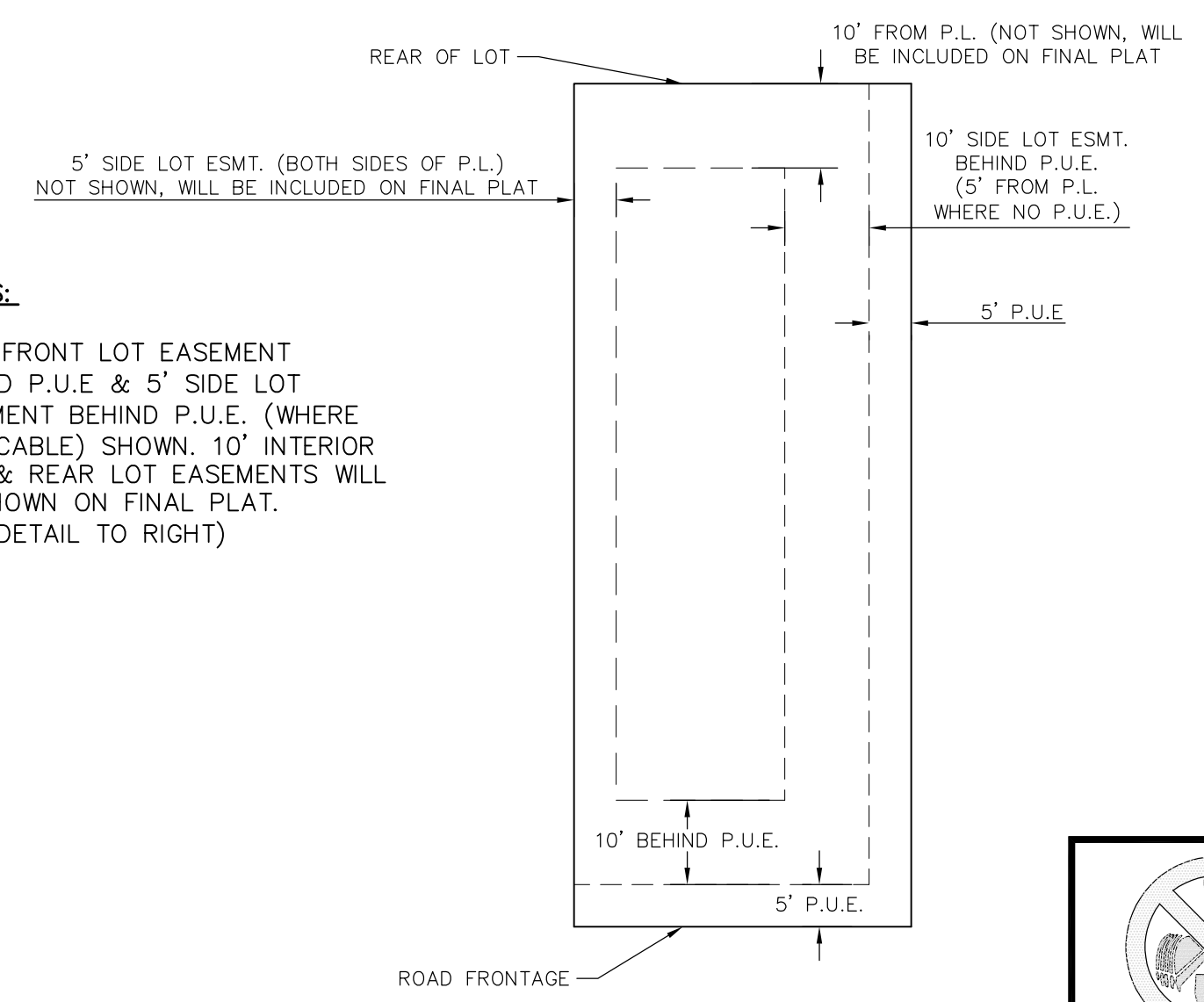
1. STAGING AREA TO BE DETERMINED BY CONTRACTOR IN THE FIELD. THE LOCATIONS SHALL BE DELINEATED ON THIS PLAN BY THE CONTRACTOR.
2. THE EROSION CONTROL DELINEATED ON THIS PLAN SHALL BE REGULARLY UPDATED BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL OBTAIN A COPY OF THE GEOTECHNICAL ENGINEERING REPORT AND KEEP A COPY ONSITE DURING ALL EARTHWORK OPERATIONS.
4. THE CONTRACTOR SHALL PROVIDE SUFFICIENT BUFFER BETWEEN THE LIMITS OF DISTURBANCE AND AREAS IN WHICH NO GRADING SHALL OCCUR TO MAKE SUFFICIENT TIE IN BETWEEN THE PROPOSED GRADE AND EXISTING GRADE WHICH MAY NOT BE CLEARLY ILLUSTRATED ON THIS PLAN.
5. EXISTING VEGETATION CONSISTS OF SPARSE NATIVE GRASSES AND SHRUBS. A VISUAL, POST CONSTRUCTION COMPARISON CAN BE PERFORMED WITH ADJACENT, UNDEVELOPED LAND.

NARRATIVE NOTES:

1. LOCATION OF STOCKPILES SHALL BE DETERMINED BY CONTRACTOR. ALL STOCKPILES SHALL REMAIN WITHIN THE CONSTRUCTION BOUNDARIES AS INDICATED ON THE SITE MAP.
2. THE EXACT LOCATION FOR THE STABILIZED STAGING AREA, STORAGE EQUIPMENT AND TEMPORARY DISPOSAL AREAS SHALL BE DETERMINED IN THE FIELD BY THE CONTRACTOR. PLAN SHALL BE UPDATED BY CONTRACTOR UPON DETERMINATION OF EXACT LOCATION.
3. FINAL STABILIZATION SHALL BE COMPLETED AT THE END OF THE CONSTRUCTION ACTIVITIES. ALL AREAS DISTURBED WITHIN THE CONSTRUCTION BOUNDARY/LIMITS OF DISTURBANCE AREA SHALL BE RESEEDED WITH NATIVE SEEDING.
4. NO PORTION OF THE PROPOSED COPPER CHASE AT STERLING RANCH SITE LIES WITH A FEMA EFFECTIVE 100-YR FLOODPLAIN.
5. EROSION CONTROL BLANKET SHALL BE USED ON SLOPES GREATER THAN 4:1.

NOTES:

* 10' FRONT LOT EASEMENT BEHIND P.U.E. & 5' SIDE LOT EASEMENT BEHIND P.U.E. (WHERE APPLICABLE) SHOWN. 10' INTERIOR SIDE & REAR LOT EASEMENTS WILL BE SHOWN ON FINAL PLAT. (SEE DETAIL TO RIGHT)



TYPICAL LOT WITH MVFA EASMENTS DETAIL
(UNLESS OTHERWISE NOTED)

FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES
FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

COPPER CHASE AT STERLING RANCH
GRADING & EROSION CONTROL PLAN

PROJECT NO. 09-014 DATE: 06/09/2022
SCALE: HORIZONTAL: N/A VERTICAL: N/A
DESIGNED BY: CWV DRAWN BY: CWV CHECKED BY: VAS

212 N. WAHATCH AVE, STE 305
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

CIVIL CONSULTANTS, INC.

FOR AND ON BEHALF OF MRS. CIVIL CONSULTANTS, INC.

VIRGIL A. SANCHEZ, COLORADO, P.E. NO. 371160

REVISONS:	NO.	DATE:	BY:	DESCRIPTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

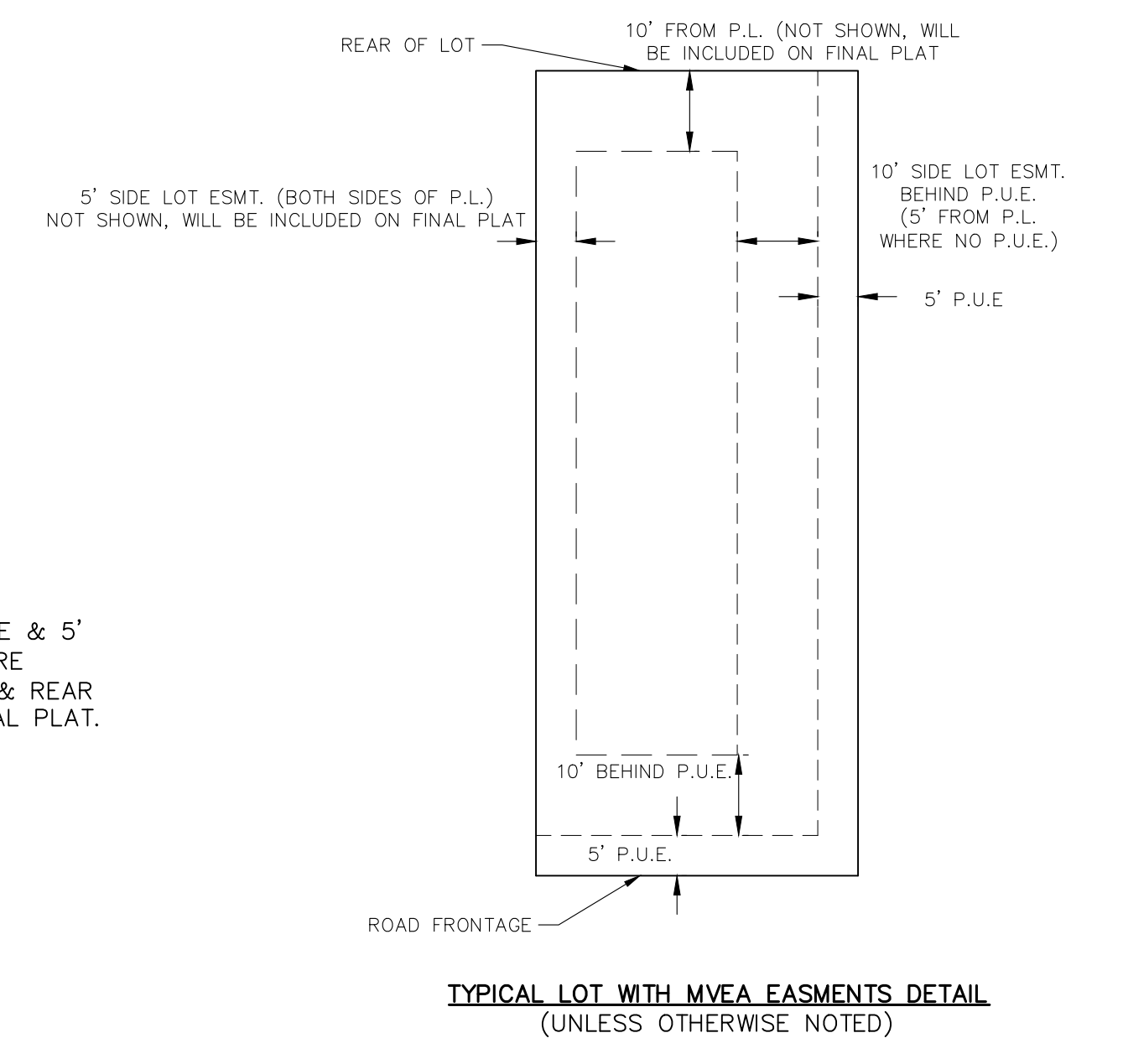
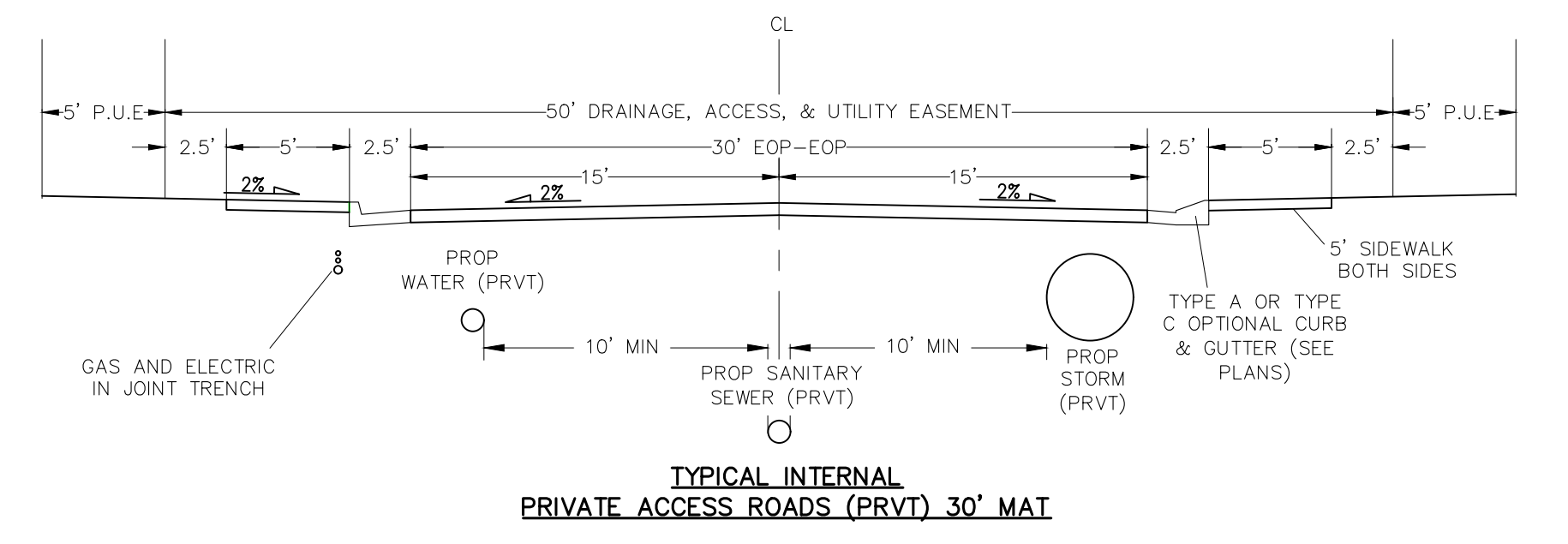
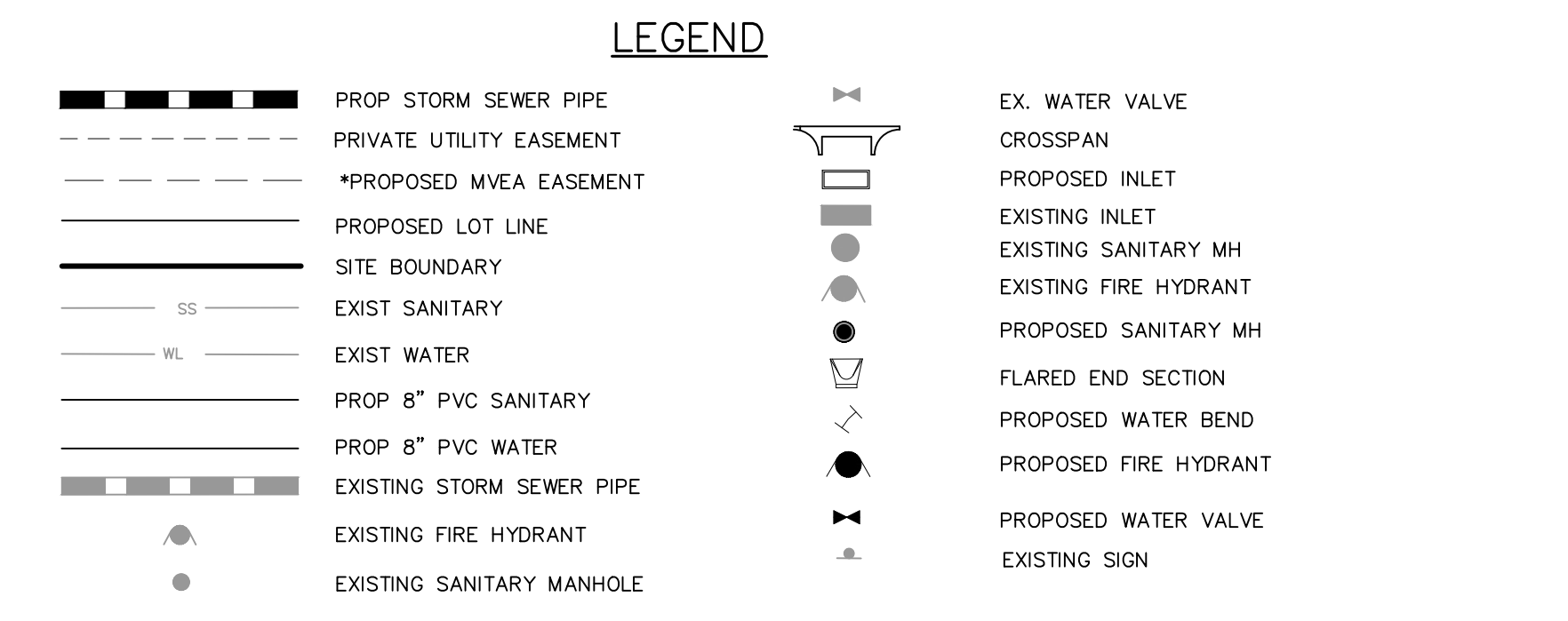
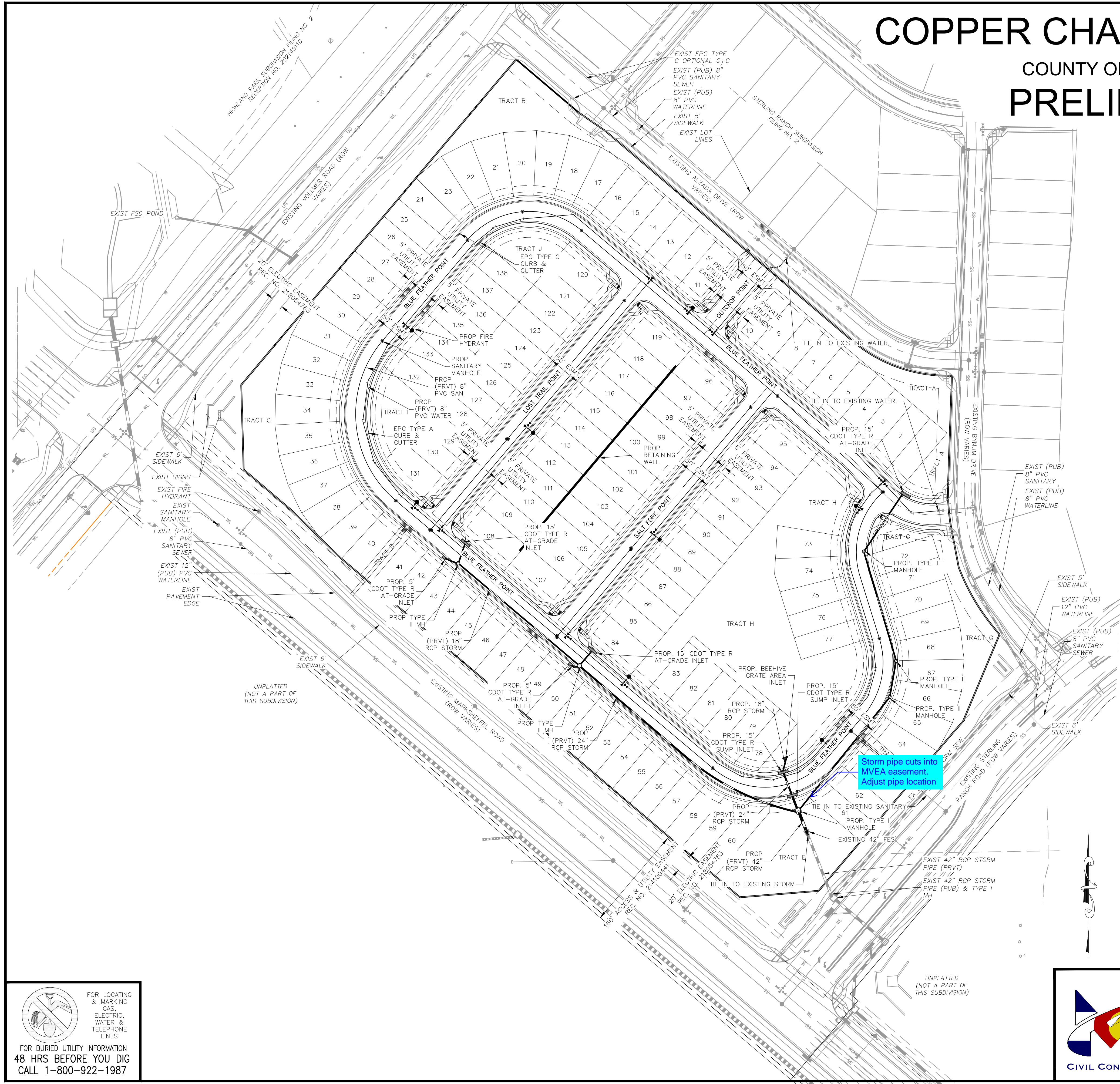
CAUTION

COPPER CHASE AT STERLING RANCH

COUNTY OF EL PASO, STATE OF COLORADO

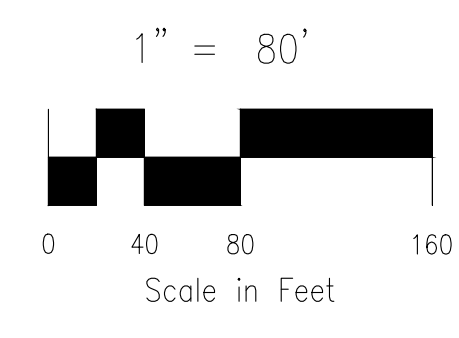
PRELIMINARY UTILITIES

JUNE 2022



NOTES:

- * 10' FRONT LOT EASEMENT BEHIND P.U.E. & 5' SIDE LOT EASEMENT BEHIND P.U.E. (WHERE APPLICABLE) SHOWN. 10' INTERIOR SIDE & REAR LOT EASEMENTS WILL BE SHOWN ON FINAL PLAT. (SEE DETAIL TO RIGHT)



FOR LOCATING & MARKING GAS, ELECTRIC, WATER & TELEPHONE LINES

FOR BURIED UTILITY INFORMATION 48 HRS BEFORE YOU DIG CALL 1-800-922-1987

212 N. WAHSATCH AVE., STE 305
 COLORADO SPRINGS, CO 80903
 PHONE: 719.955.5485

COPPER CHASE AT STERLING RANCH			
PRELIMINARY UTILITIES			
PROJECT NO. 09-014	SCALE: HORIZONTAL: 1"=80'	DATE: 06/16/2022	
DESIGNED BY: CVW	CHECKED BY: VAS	SHEET 1 OF 1	PU01

File: C:\90144\Challenger_PUD\Dev Plan\Preliminary Utilities\09-014_PU01.dwg Plotstamp: 6/21/2022 10:08 AM

COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

A PORTION OF THE E 1/2 SE 1/4 OF SECTION 32 AND THE S 1/2 SW 1/4 OF SECTION 33, TOWNSHIP 12 SOUTH, RANGE 65 WEST, AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN

LANDSCAPE NOTES

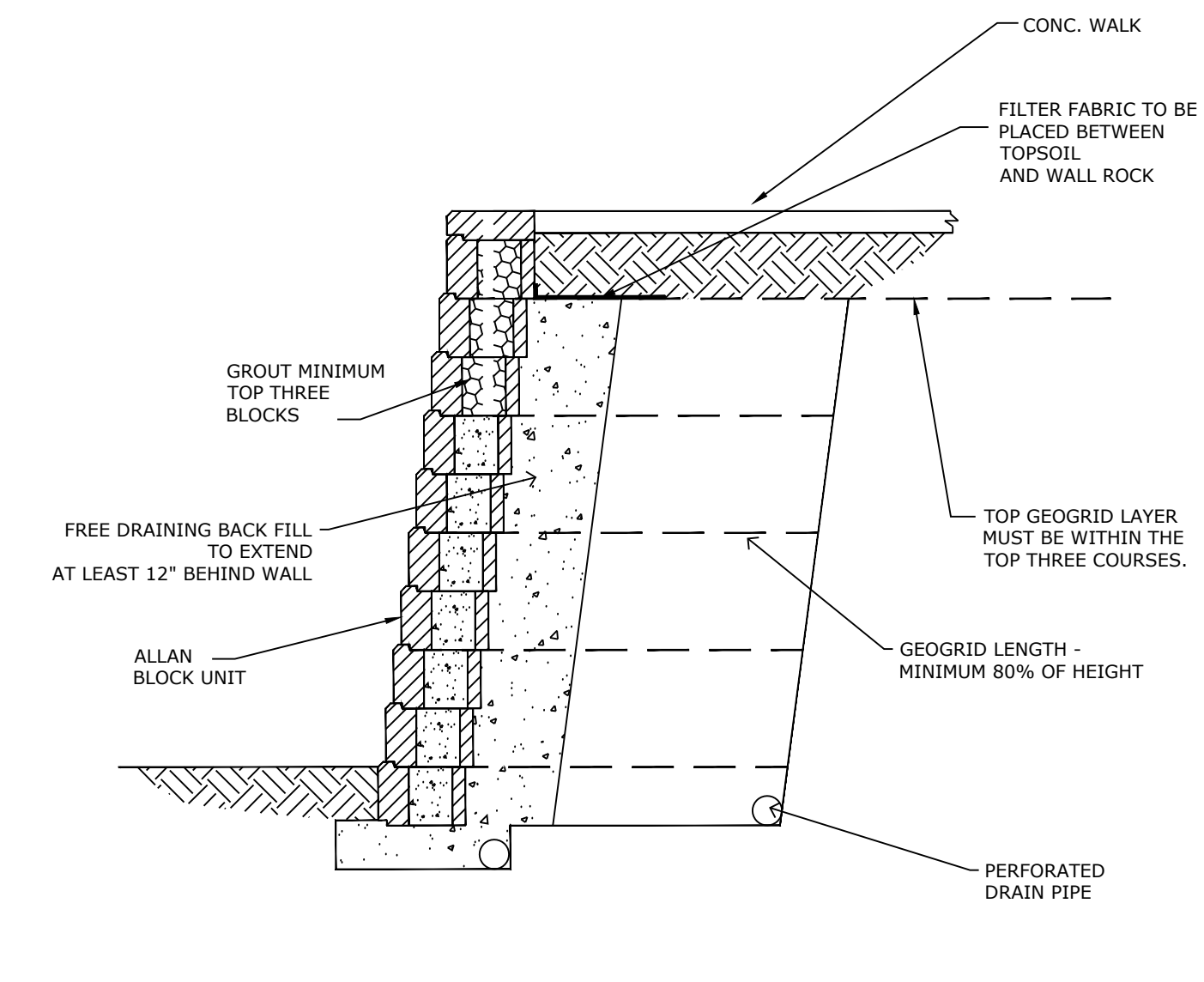
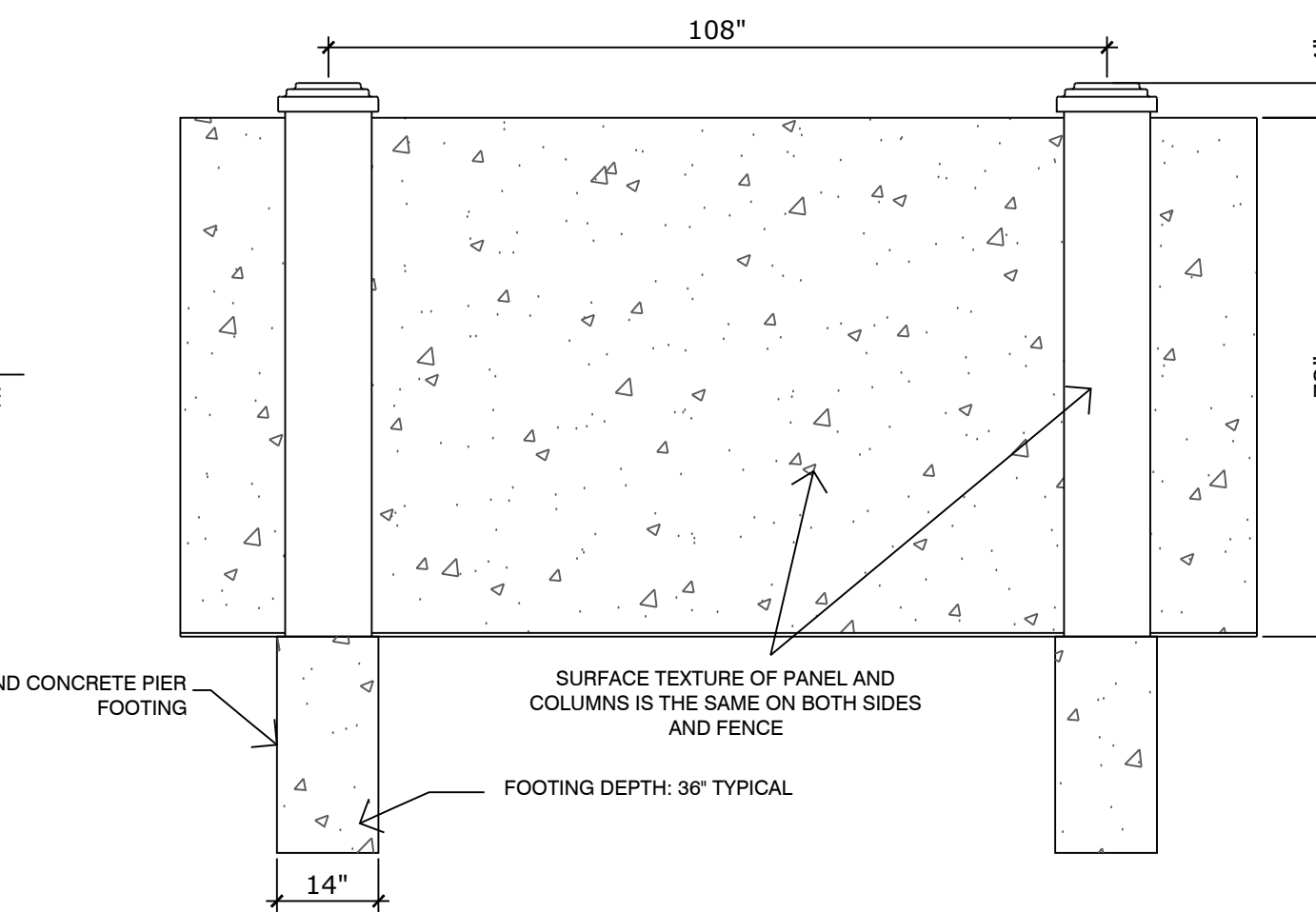
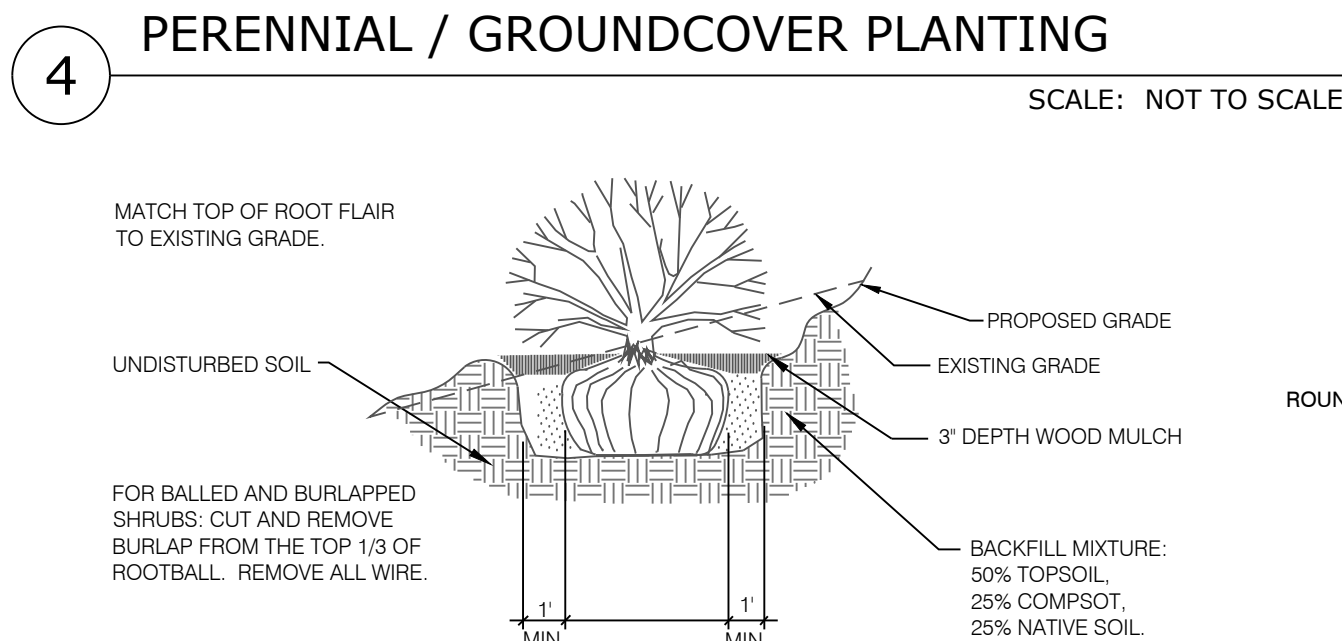
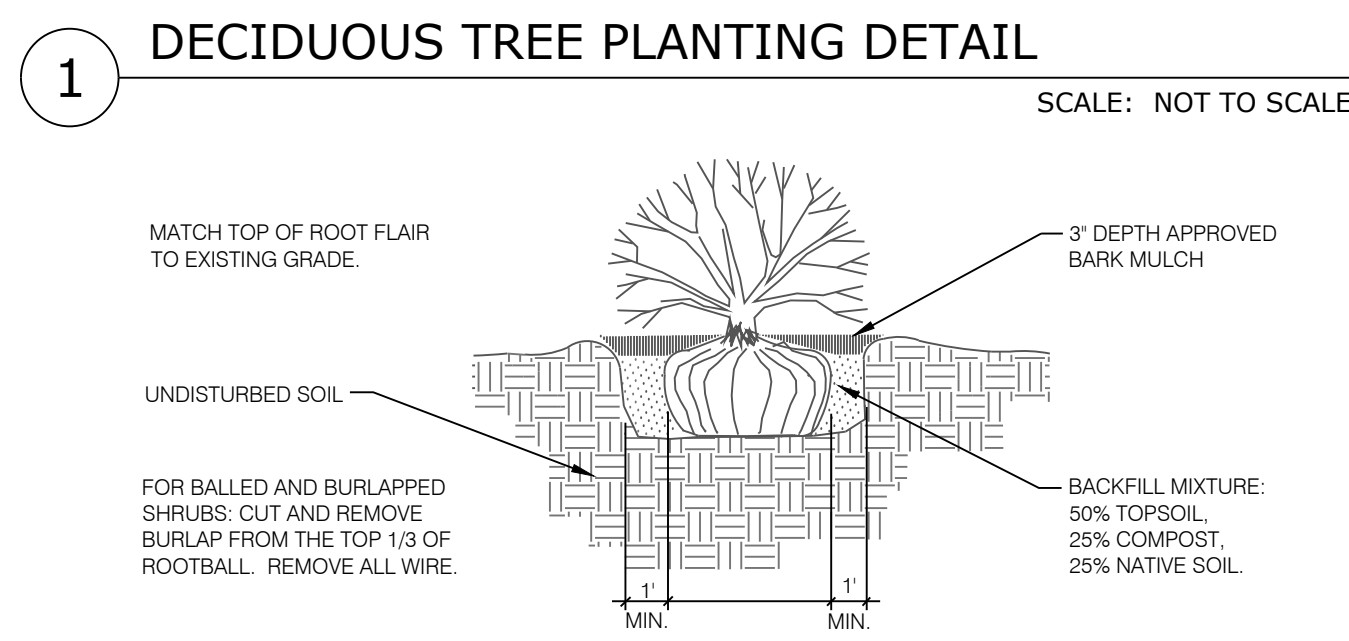
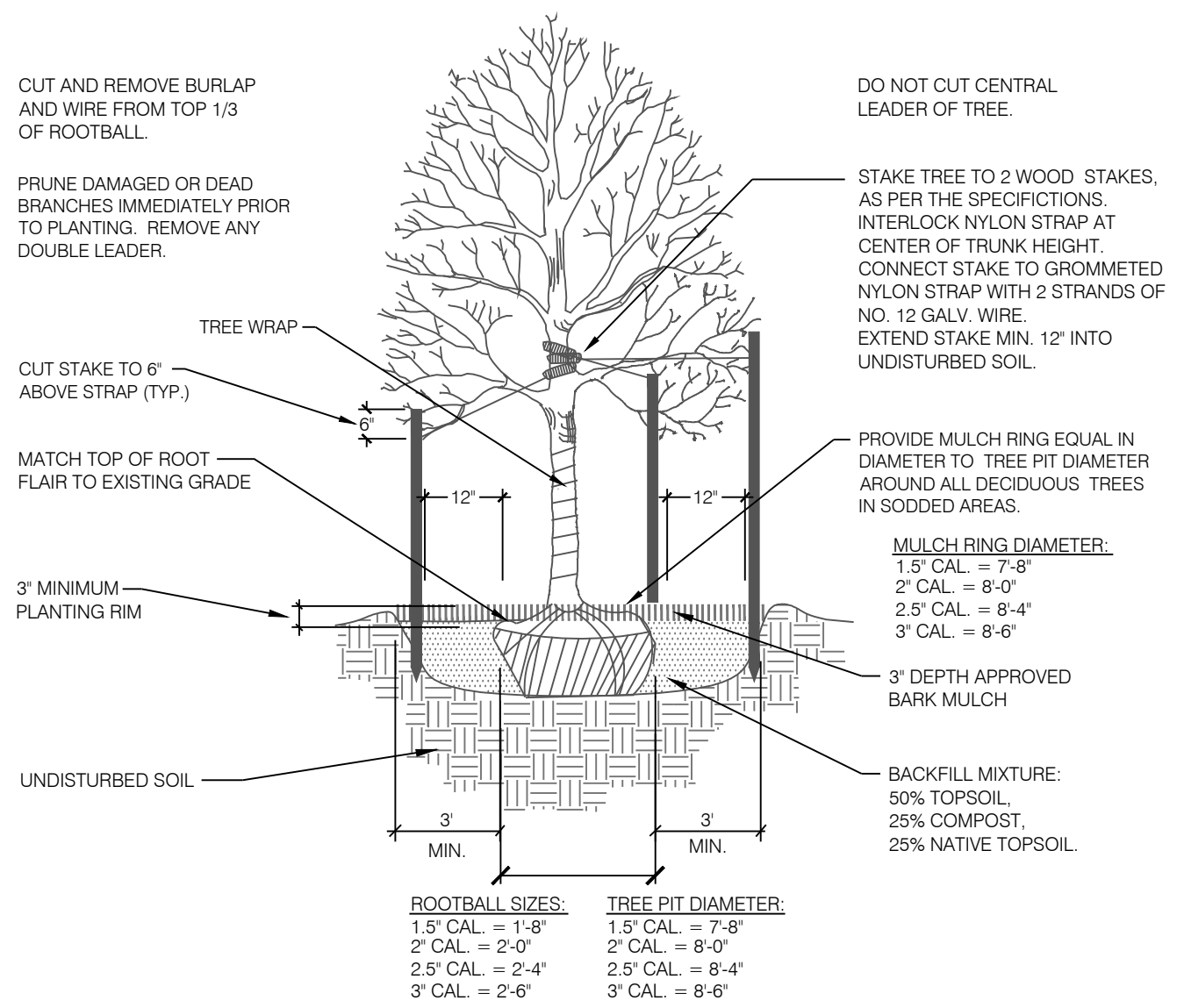
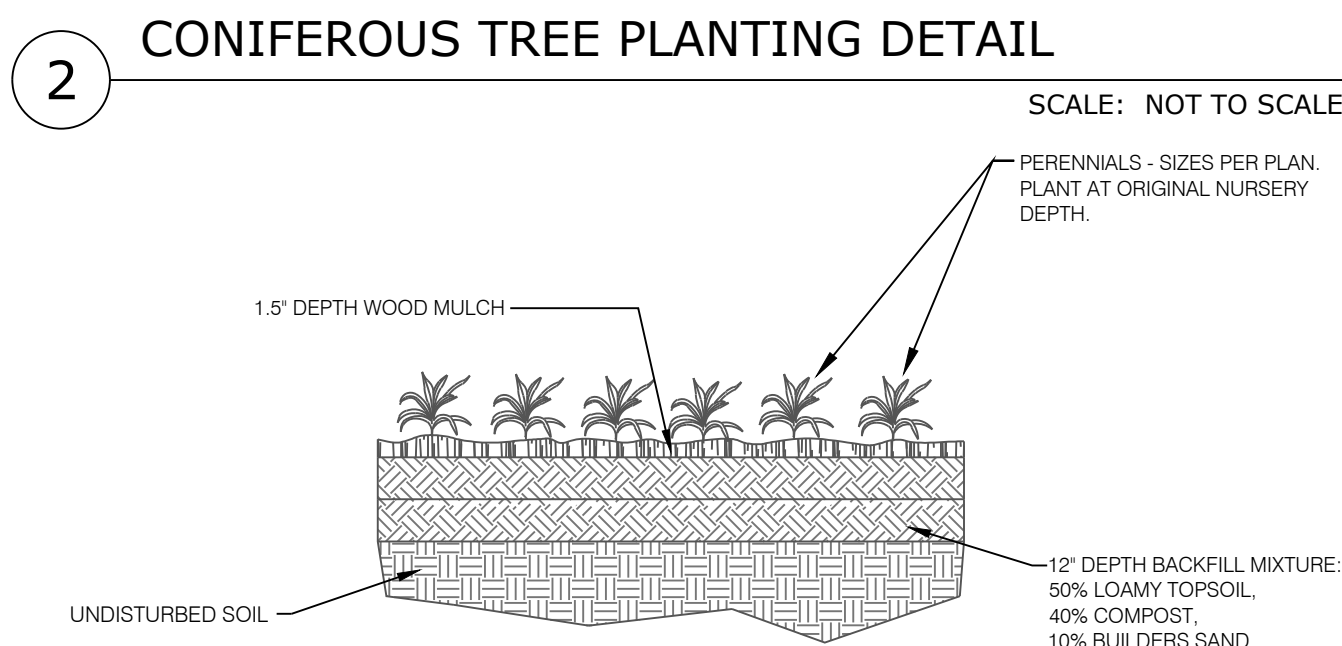
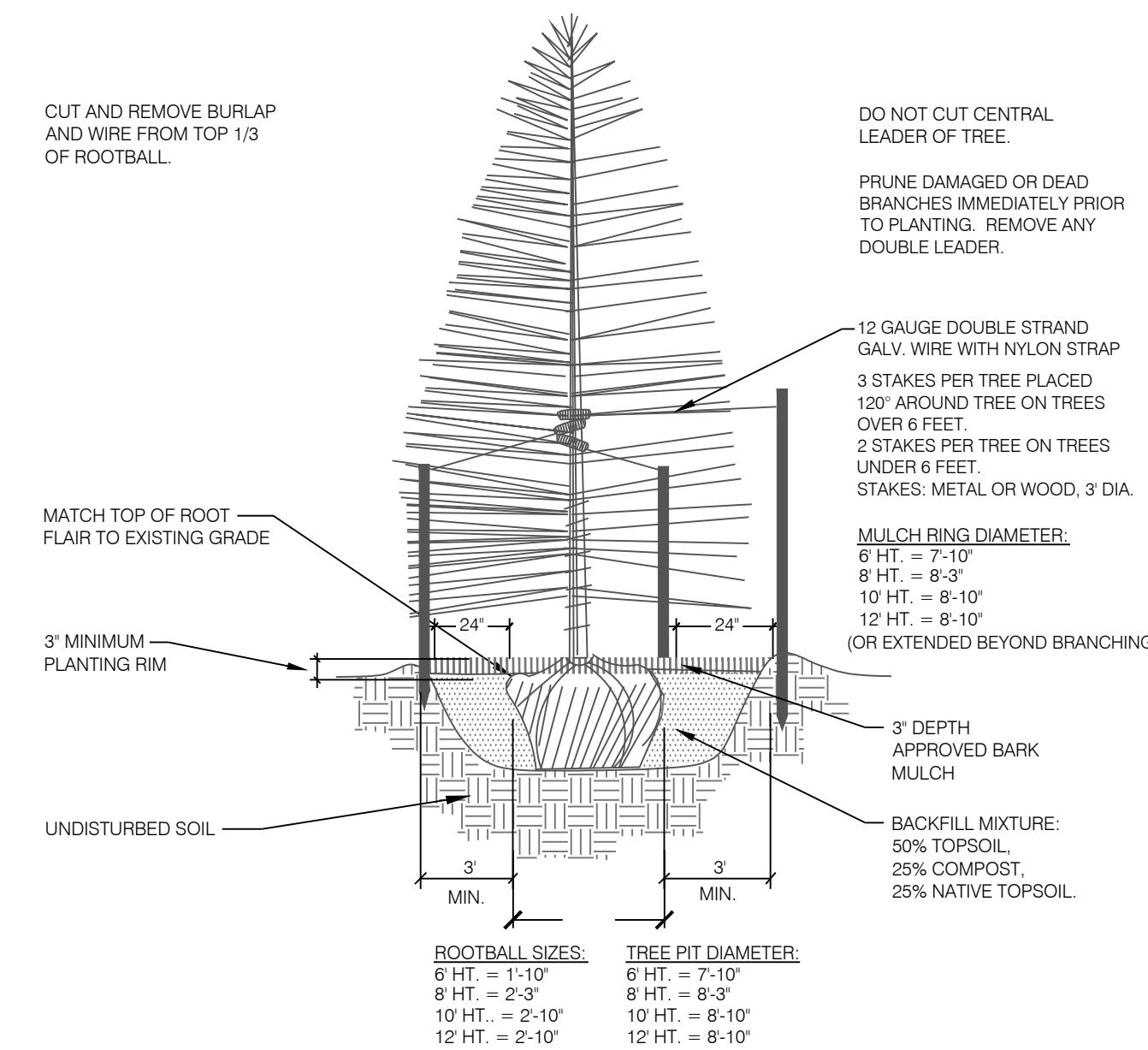
- ALL PRESERVATION AREAS CONTAINING VEGETATION DESIGNATED TO BE PRESERVED, SHALL BE FENCED OFF DURING CONSTRUCTION TO MINIMIZE DISTURBANCE IN THESE AREAS. ALL FENCING SHALL BE INSTALLED AROUND PRESERVED VEGETATION PRIOR TO ANY GRADING ON THE PROPERTY. A 4-FOOT, ORANGE, CONSTRUCTION SAFETY FENCE SHALL BE USED IN THIS APPLICATION.
- SOIL AMENDMENT - INCORPORATE 3 CUBIC YARDS/1000 S.F. AREA OF CLASS 2 A1 ORGANICS PREMIUM ORGANIC COMPOST ON TALL FESCUE SOD AREAS. INCORPORATE 2 CUBIC YARDS/1000 S.F. AREA OF CLASS 3 COMPOSTED COW MANURE (AGED 1 YEAR) ORGANIC COMPOST TO ALL SEED AREAS. AMENDMENTS MAY CHANGE TO BE BASED ON SOIL ANALYSIS OF FINAL INFILL.
- FOR GRADES REFER TO CIVIL ENGINEERING DRAWINGS.
- CONTRACTOR TO UTILIZE STOCKPILED TOPSOIL FROM GRADING OPERATION AS AVAILABLE. TILL INTO TOP 6" OF SOIL.
- CONTRACTOR TO APPLY EROSION CONTROL BLANKET TO ALL AREAS WITH 3:1 SLOPES.
- ALL SOD SHALL BE TALL FESCUE BLEND.
- NO SOD SHALL BE PLANTED ON SLOPES IN EXCESS OF 6:1 GRADIENT.
- FOR ALL SEED AREAS REFER TO SEED MIXES SPECIFIED ON THIS SHEET.
- ALL NATIVE SEED AREAS SHALL HAVE A TEMPORARY ABOVE-GROUND SPRAY IRRIGATION SYSTEM UTILIZED UNTIL SEED IS ESTABLISHED, AND ALL TREES AND SHRUBS WITHIN NATIVE SEED AREAS SHALL HAVE A PERMANENT DRIP IRRIGATION SYSTEM.
- A FULLY AUTOMATED SPRINKLER IRRIGATION SYSTEM WILL DRIP IRRIGATE ALL TREE, SHRUB, AND GROUND COVER PLANTINGS, AND SPRAY ALL TALL FESCUE SOD AND LOW ALTERNATIVE TURF AREAS. AN IRRIGATION PLAN WILL BE PREPARED AT A LATER DATE AND WILL INCLUDE AN IRRIGATION SCHEDULE THAT NOTES APPLICATION RATES BASED ON TURF TYPE, RATES FOR NEWLY INSTALLED PLANTS VS. ESTABLISHED PLANTS, AND GENERAL RECOMMENDATIONS REGARDING SEASONAL ADJUSTMENTS.
- NO TREES AND NO PLANTS OVER 2 FEET TALL SHALL BE INSTALLED WITHIN 5 FEET OF ANY FIRE HYDRANTS.
- ALL PLANTS TO RECEIVE 3 INCH DEPTH OF GORILLA HAIR SHREDDED CEDAR WOOD MULCH UNLESS OTHERWISE SPECIFIED. FOLLOW PLANTING DETAILS FOR MULCH RING DIMENSIONS WITHIN ROCK, SOD, OR SEED AREAS.
- COBBLE: 2-3" CRIPPLE CREEK ORE, AT 3-4" DEPTH, AT ALL INTERSECTION CORNERS BETWEEN HANDICAP RAMPS. INSTALL GEOTEXTILE FABRIC UNDER ALL COBBLE AREAS.
- GRAVEL ROCK: 3/4" CIMARRON GRANITE, AT 3-4" DEPTH. INSTALL GEOTEXTILE FABRIC UNDER ALL ROCK AREAS.
- ALL SHRUB BEDS TO BE ENCLOSED BY SOLID STEEL EDGING, AS A SEPARATOR FROM SOD, SEED, AND ALTERNATIVE TURF. SEPARATION BETWEEN SOD AND SEED, AND BETWEEN ALTERNATIVE TURF AND SEED SHALL BE A MOWED STRIP, WITHOUT STEEL EDGING.
- SCHEDULE PLANTS SIZES IN TABLE ARE SUGGESTED. PLANTS TO BE CONSIDERED FOR FULFILLING COUNTY LANDSCAPE REQUIREMENTS SHALL HAVE A MINIMUM CALIPER SIZE (MEASURED SIX INCHES ABOVE GROUND) FOR DECIDUOUS SHADE TREES SHALL BE 1-1/2 INCHES AND FOR DECIDUOUS ORNAMENTAL TREES 1 INCH. EVERGREEN TREES SHALL BE A MINIMUM OF 6 FEET IN HEIGHT ABOVE GROUND. SHRUBS SHALL BE A MINIMUM OF 5 GALLON SIZE.
- ALL PLANTS SHOWN IN PRELIMINARY LANDSCAPE PLAN ARE FULFILLING A COUNTY LANDSCAPE REQUIREMENT. ADDITIONAL AND INTERIOR PLANTING WILL BE SHOWN IN FINAL LANDSCAPE PLAN.
- ANY FIELD CHANGES OR DEVIATIONS TO THESE PLANS WITHOUT PRIOR COUNTY APPROVAL OF AN AMENDED SITE DEVELOPMENT PLAN MAY RESULT IN A DELAY OF FINAL APPROVAL AND ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- THESE PLANS ARE FOR COUNTY APPROVALS ONLY AND ARE NOT TO BE UTILIZED FOR CONSTRUCTION.
- ANY OBJECT WITHIN THE SIGHT DISTANCE TRIANGLE OR EASEMENT MORE THAN 30 INCHES ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY SHALL CONSTITUTE A SIGHT OBSTRUCTION, AND SHALL BE REMOVED OR LOWERED. THE OBJECTS MAY INCLUDE BUT ARE NOT LIMITED TO BERMS, BUILDINGS, PARKED VEHICLES ON PRIVATE PROPERTY, CUT SLOPES, HEDGES, TREES, BUSHES, UTILITY CABINETS OR TALL CROPS. TREES MAY BE PERMITTED AT THE DISCRETION OF THE ECM ADMINISTRATOR IF PRUNED TO AT LEAST 8 FEET ABOVE THE FLOWLINE ELEVATION OF THE ADJACENT ROADWAY.

GROUND COVER SCHEDULE

	COBBLE 2"-4" Cripple Creek Gold Ore	43,140 sf
	NATIVE GRASS Upland Native Seed Mix	89,626 sf
	ROCK MULCH 3/4" Cimarron Granite	11,831 sf
	TALL FESCUE SOD	14,957 sf

PLANT SCHEDULE

DECIDUOUS TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Agr	21	Acer grandidentatum / Bigtooth Maple	30'	30'	2" Cal.	B&B
	Coc	5	Celtis occidentalis / Common Hackberry	60'	50'	2" Cal.	B&B
	Ccr	1	Crataegus crus-galli / Cockspur Hawthorn	30'	30'	2" Cal.	B&B
	Mxr	13	Malus x 'Radiant' / Radiant Crabapple	25'	20'	2" Cal.	B&B
	Qma	4	Quercus macrocarpa / Burr Oak	60'	50'	3" Cal.	B&B
EVERGREEN TREES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Ped	33	Pinus edulis / Pinon Pine	30'	20'	6" HT	B&B
	Pfl	10	Pinus flexilis / Limber Pine	50'	30'	6" HT	B&B
	Pr	54	Pinus mugo rostrata / Rostrata Mugo Pine	15'	8'	6" HT	B&B
	Ppo	2	Pinus ponderosa / Ponderosa Pine	80'	40'	6" HT	B&B
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Cxc	75	Caryopteris x clandonensis 'Blue Mist' / Blue Mist Shrub	4'	4'	5 GAL	CONT
	Cse	14	Cornus sericea / Redosier Dogwood	8'	8'	5 GAL	CONT
	Je	10	Juniper virginiana 'Globosa' / Globe Eastern Redcedar	3'			
	Pod	9	Physocarpus opulifolius 'Diablo' / Diablo Ninebark	8'	8'	5 GAL	CONT
	Pb	18	Pinus mugo 'Big Tuna' / Mountain Pine	5'	6'	5 GAL	CONT
	Pc	215	Pinus mugo 'Compacta' / Dwarf Mugo Pine	3'	3'	5 GAL	CONT
DECIDUOUS SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Fn	32	Forestiera neomexicana / New Mexico Privet	12'	12'	5 GAL	
GRASSES	CODE	QTY	BOTANICAL / COMMON NAME	HEIGHT	WIDTH	SIZE	COND
	Cxa	310	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	5'	2'	1 GAL	CONT
	Cl	43	Chasmanthium latifolium 'Little Tickler' / Little Tickler Northern Sea Oats	2'	2'	1 GAL	CONT



N.E.S. Inc.
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Tel. 719.471.0073
Fax 719.471.0267
www.nescolorado.com

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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
PROJECT MGR: B. Swenson
PREPARED BY: J. Smith

Entitlement

DATE:	BY:	DESCRIPTION:
07.21.2022	B.H.	PER COUNTY COMMENT
10.18.2022	J.S.	PER COUNTY COMMENT

Landscape Notes & Details

6 OF 10

PUDSP 22-002

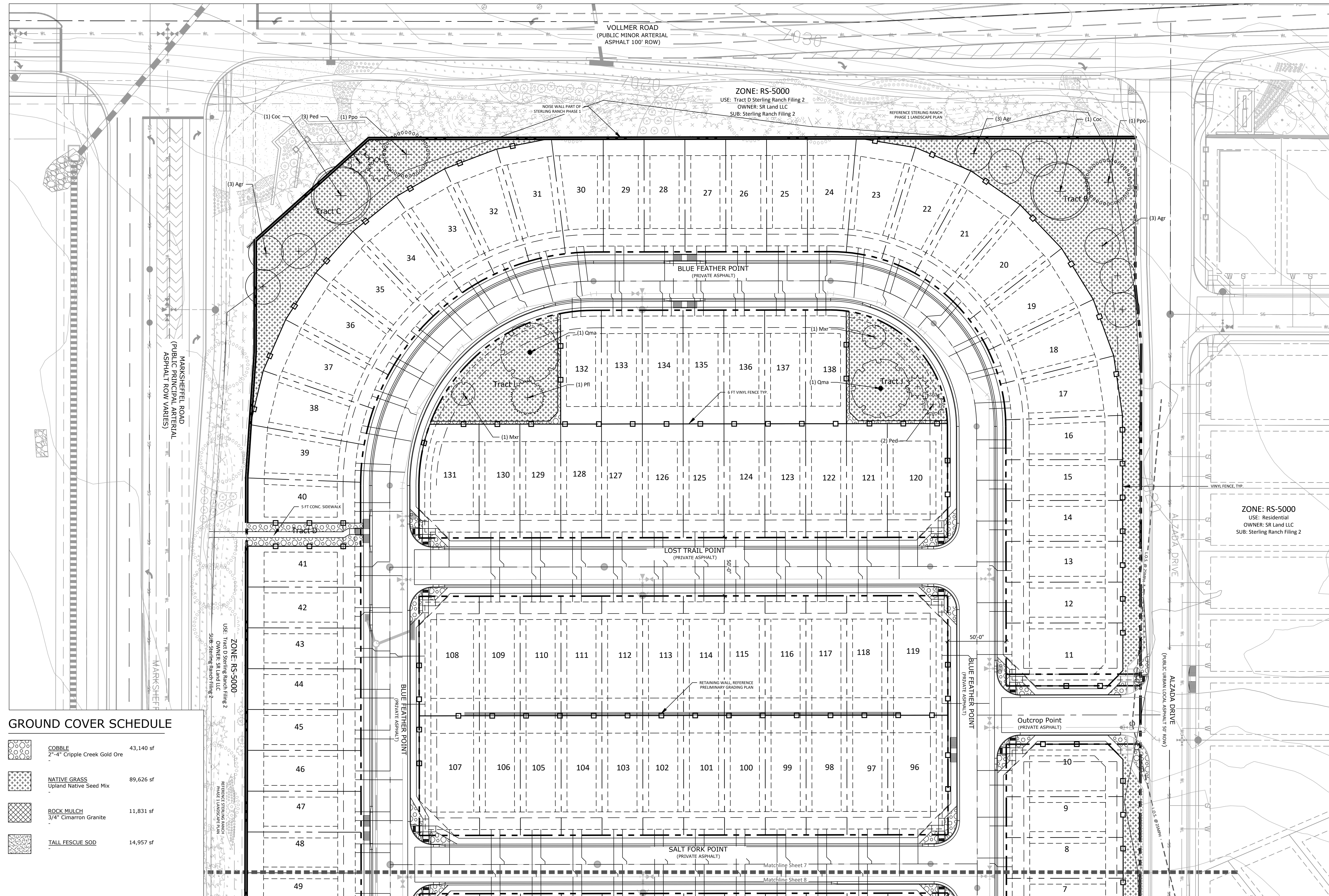
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COPPER CHASE AT STERLING RANCH

EL PASO COUNTY, COLORADO

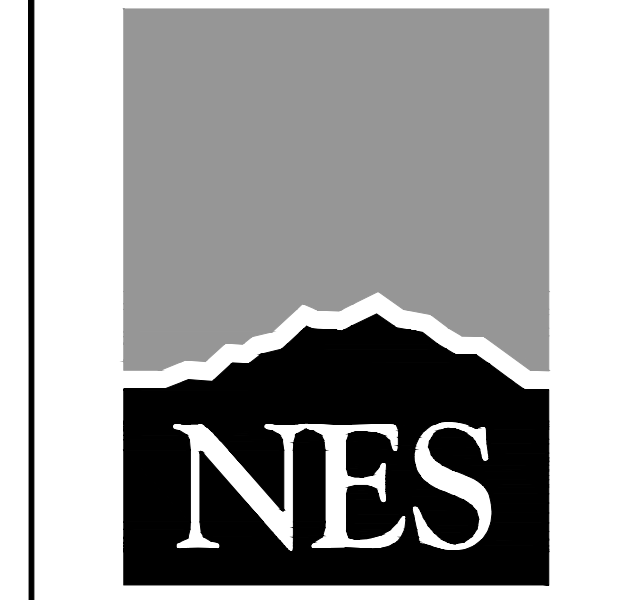
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AND THE NE 1/4 OF NE 1/4 OF SECTION 5, TOWNSHIP 13 SOUTH, RANGE 65 WEST, BOTH OF THE 6TH P.M.

PUD DEVELOPMENT/PRELIMINARY PLAN



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Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
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07.21.2022	B.H.	PER COUNTY COMMENT
10.18.2022	J.S.	PER COUNTY COMMENT

Landscape Plan

7

7 OF 10

PUDSP 22-002

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COPPER CHASE AT STERLING RANCH

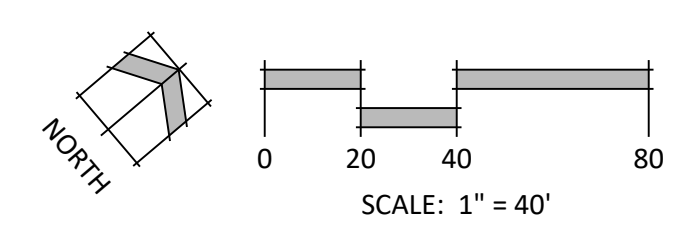
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PUD DEVELOPMENT/PRELIMINARY PLAN



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repeat comment-
provide noise wall
protecting these lots
from
Vollmer/Marksheffel
detail and retaining
wall detail please;
also provide the sign
details since they
appear to be larger
than code allows so
they can be approved
with PUD and not
need a BOA.



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PLANNER / LANDSCAPE ARCHITECT
IN ASSOCIATION WITH

Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
PROJECT MGR: B. Swenson
PREPARED BY: J. Smith

Entitlement

DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT
10.18.2022 J.S. PER COUNTY COMMENT

Landscape Plan

8

8 OF 10

PUDSP 22-002



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PLANNER / LANDSCAPE ARCHITECT
 IN ASSOCIATION WITH

Copper Chase at Sterling Ranch

8335 Vollmer Road

DATE: 03.25.2022
 PROJECT MGR: B. Swenson
 PREPARED BY: B. Halsten

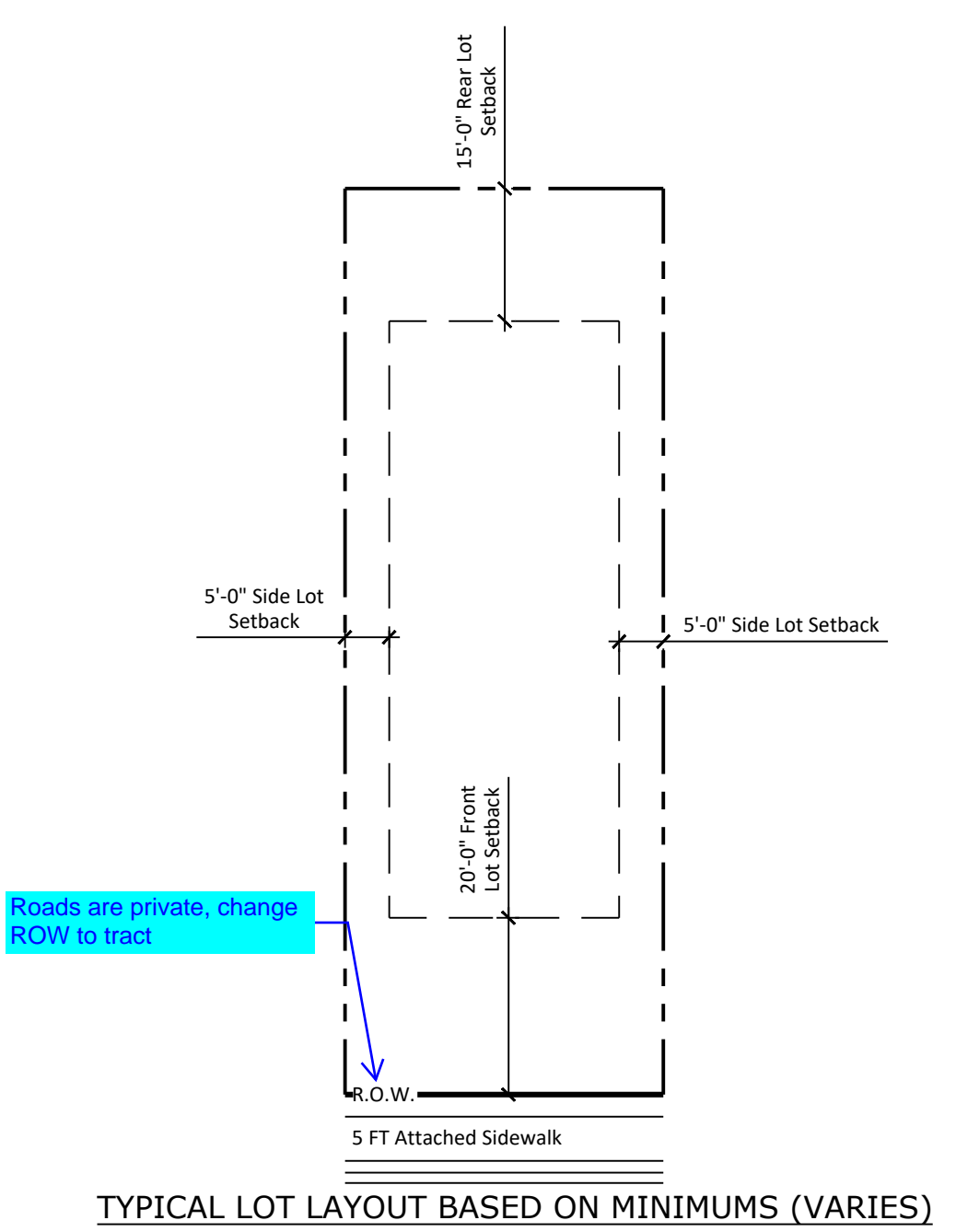
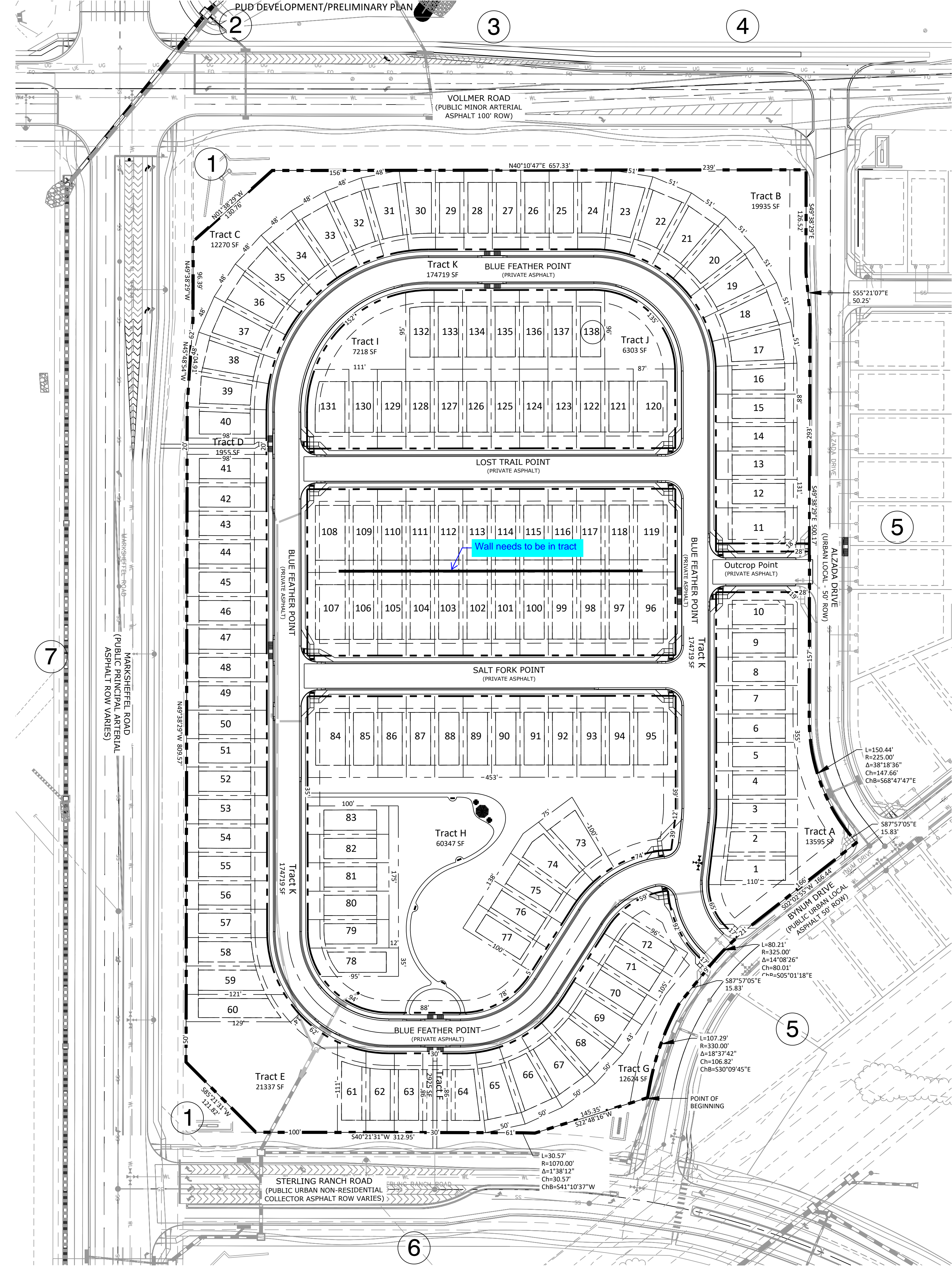
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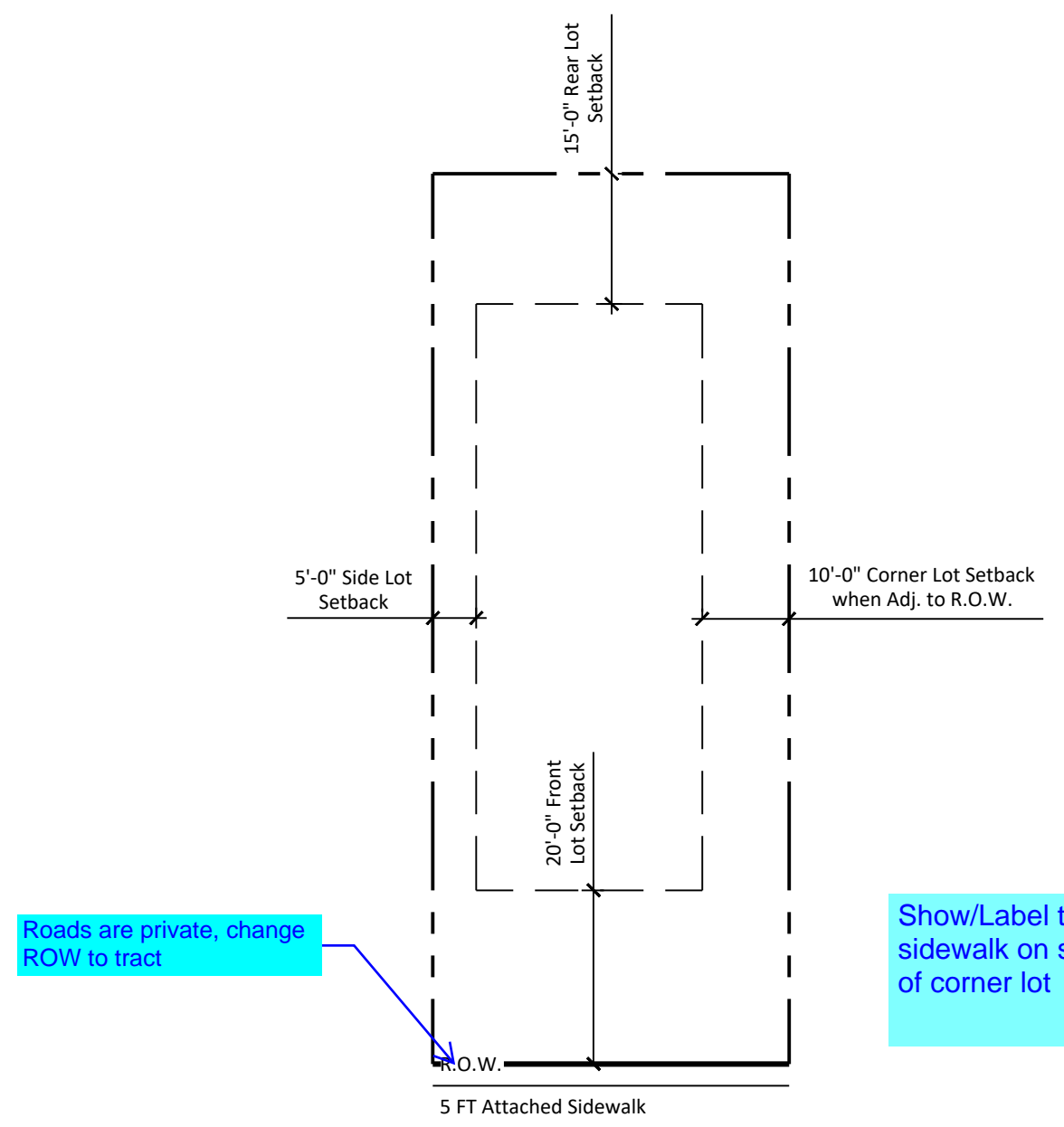
Tract Exhibit

9 OF 10

PUDSP 22-002



TYPICAL LOT LAYOUT BASED ON MINIMUMS (VARIES)



TYPICAL CORNER LOT LAYOUT ADJACENT TO ROW BASED ON MINIMUMS (VARIES)

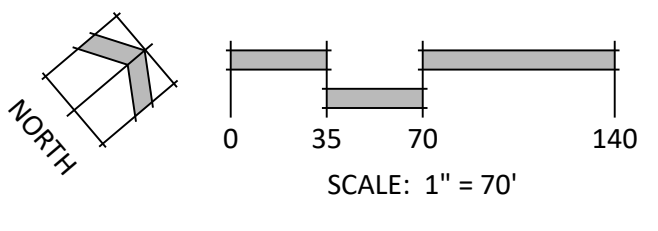
TRACT TABLE

Tract	Area (SF)	Area (AC)	Use	Ownership/Maintenance
A	13595	0.31	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
B	19935	0.46	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
C	12270	0.28	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
D	1955	0.04	Landscape, Drainage, Utilities	Copper Chase at Sterling Ranch HOA
E	21337	0.49	Landscape, Stormwater, Utilities	Copper Chase at Sterling Ranch HOA
F	2925	0.07	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
G	12624	0.29	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
H	60347	1.39	Park, Utilities	Copper Chase at Sterling Ranch HOA
I	7218	0.17	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
J	6303	0.14	Landscape, Utilities	Copper Chase at Sterling Ranch HOA
K	174719	4.01	Private Street, Drainage/Utility/Access Easement	Copper Chase at Sterling Ranch HOA
Total Tract Area: 7.65				

ADJACENT OWNERS

	Name	Mailing Address	City, State, Zip
1	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
2	EL PASO COUNTY	200 S CASCADE AVE	COLORADO SPRINGS CO, 80903
3	TYRONE & CECILIA SMITH	6145 PADRE CT	COLORADO SPRINGS, CO 80922
4	ALBINO FLETES & SANDRA HIGUERA REBOLLAR	9225 BEN TIRРАН CT	COLORADO SPRINGS CO, 80908
5	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
6	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903
7	SR LAND LLC	20 BOULDER CRESCENT ST STE 102	COLORADO SPRINGS CO, 80903

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Legend:

- Qaf - Artificial Fill of Holocene Age:
Man-made fill deposits
- Qes - Eolian Sand of Quaternary Age:
wind deposited sands
- Qp - Piney Creek Alluvium of Quaternary Age:
water deposited sands and clays
- Tkd - Dawson Formation of Tertiary to Cretaceous Age:
arkosic sandstone with interbedded claystone and siltstone

- h - hydrocompaction
- sw - shallow groundwater area

GEOLOGIC CONSTRAINTS &/OR HAZARD DISCLOSURE STATEMENT

11. Geologic Hazard Note: The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report Soil, Geology and Geologic Hazard Study Copper Chase at Sterling Ranch El Paso County, Colorado by Entech Engineering dated March 7, 2022 in file PUDSP 22-002 available at the El Paso County Planning and Community Development Department:

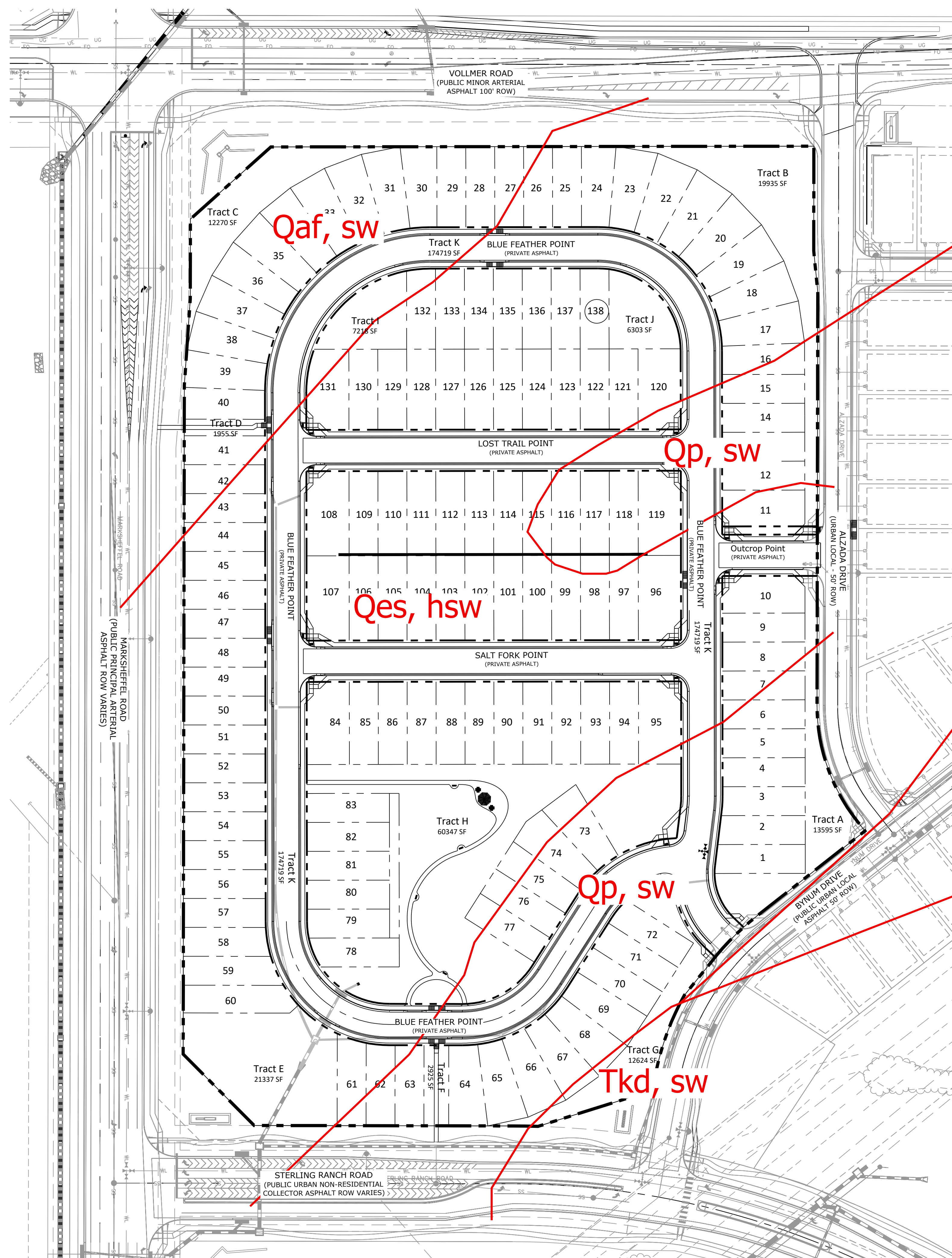
- Potential Shallow Groundwater (All Lots)
- Artificial Fill (All Lots)
- Shallow Bedrock (All Lots)
- Potential Expansive Soil (Sporadic)
- Hydrocompaction (Lots 6-12, 15-28, 41-63, 73-115 and 120-138)

In Areas of Expansive Soil:
Mitigation of expansive soils will require special foundation design.

In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system. No basements below grade are proposed for this site.

GEOLOGIC CONSTRAINTS NOTES

1. IF ANY DISCREPANCIES ARE FOUND BETWEEN PLAN AND SAID REPORTS, THE REPORTS SUPERSEDE.
2. ALL BOUNDARIES SHOWN SHOULD BE CONSIDERED APPROXIMATE. THEY ARE BASED UPON A SUBJECTIVE INTERPRETATION OF PUBLISHED MAPS, AERIAL PHOTOGRAPHS AND AN INITIAL FIELD RECONNAISSANCE. CHANGES IN THE MAPPED BOUNDARIES SHOWN ARE POSSIBLE AND SHOULD BE EXPECTED WITH MORE DETAILED WORK AND FURTHER INFORMATION. ALL INTERPRETATIONS AND CONDITIONS SHOWN ARE PRELIMINARY AND FOR LAND-USE PLANNING ONLY.



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Copper Chase at Sterling Ranch

8335 Voller Road

DATE: 03.25.2022
 PROJECT MGR: B. Swenson
 PREPARED BY: B. Halsten

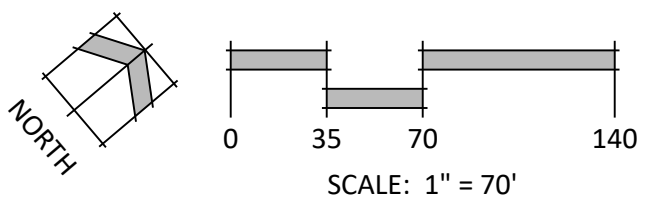
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DATE: 07.21.2022 BY: B.H. DESCRIPTION: PER COUNTY COMMENT

Constraints Exhibit

10
 10 OF 10

PUDSP 22-002



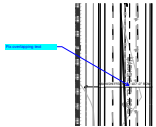
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CDurham (11)

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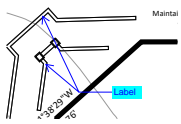
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Include legend



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Fix overlapping text



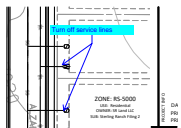
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Turn off service lines

Show legend

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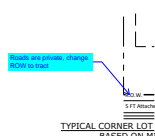
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Color: ■
Layer:
Space:

Storm pipe cuts into MVEA easement. Adjust pipe location

Show/Label tract and sidewalk on second side of corner lot

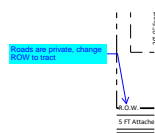
Subject: Text Box
Page Label: [1] Tracts-9
Author: CDurham
Date: 11/9/2022 11:29:44 AM
Status:
Color: ■
Layer:
Space:

Show/Label tract and sidewalk on second side of corner lot



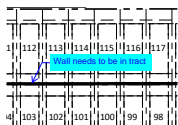
Subject: Callout
Page Label: [1] Tracts-9
Author: CDurham
Date: 11/9/2022 11:29:40 AM
Status:
Color: ■
Layer:
Space:

Roads are private, change ROW to tract



Subject: Callout
Page Label: [1] Tracts-9
Author: CDurham
Date: 11/9/2022 11:30:08 AM
Status:
Color: ■
Layer:
Space:

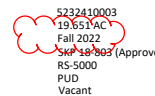
Roads are private, change ROW to tract



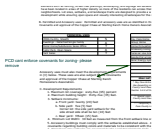
Subject: Callout
Page Label: [1] Tracts-9
Author: CDurham
Date: 11/9/2022 11:31:03 AM
Status:
Color: ■
Layer:
Space:

Wall needs to be in tract

dsdparsons (20)

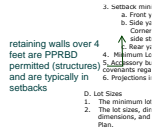


Subject: Cloud
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 11:07:50 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 12:02:44 PM
Status:
Color: ■
Layer:
Space:

PCD cant enforce covenants for zoning- please remove



Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 11:56:24 AM
Status:
Color: ■
Layer:
Space:

retaining walls over 4 feet are PPRBD permitted (structures) and are typically in setbacks



Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:22:42 AM
Status:
Color: ■
Layer:
Space:

PCD can not enforce ccrs; each site plan will either meet the development guidelines depicted on the PUD or not, we can not look at CCRS



Subject: Arrow
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 11:57:54 AM
Status:
Color: ■
Layer:
Space:

Are you sure you are allowing accessory living quarters? these are small lots

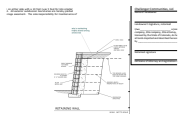


Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 12:03:33 PM
Status:
Color: ■
Layer:
Space:

non driveway access i think is what you meant to say.



Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 12:05:04 PM
Status:
Color: ■
Layer:
Space:



Subject: Image
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 5:19:11 PM
Status:
Color: ■
Layer:
Space:



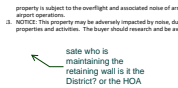
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 5:18:17 PM
Status:
Color: ■
Layer:
Space:

this does not typically work out and delays the County issuing building permits please remove.



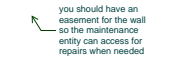
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 5:19:00 PM
Status:
Color: ■
Layer:
Space:

customize note



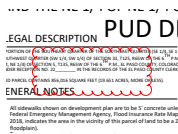
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 5:20:24 PM
Status:
Color: ■
Layer:
Space:

state who is maintaining the retaining wall is it the District? or the HOA

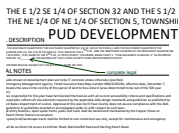


Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/14/2022 5:21:15 PM
Status:
Color: ■
Layer:
Space:

you should have an easement for the wall so the maintenance entity can access for repairs when needed

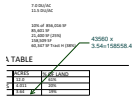


Subject: Cloud
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:23:29 AM
Status:
Color: ■
Layer:
Space:



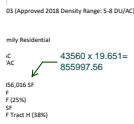
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:23:42 AM
Status:
Color: ■
Layer:
Space:

complete legal



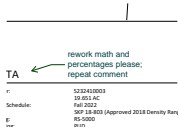
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:25:12 AM
Status:
Color: ■
Layer:
Space:

43560 x 3.54=158558.4



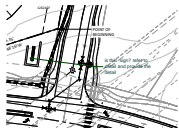
Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:26:52 AM
Status:
Color: ■
Layer:
Space:

43560 x 19.651= 855997.56



Subject: Callout
Page Label: [1] Cover-1
Author: dsdparsons
Date: 11/15/2022 7:27:35 AM
Status:
Color: ■
Layer:
Space:

rework math and percentages please; repeat comment

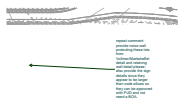


Subject: Callout
Page Label: [1] Site-3
Author: dsdparsons
Date: 11/15/2022 7:30:55 AM
Status:
Color: ■
Layer:
Space:

is this sign? refer to detail and provide the detail



Subject: Arrow
Page Label: [1] Site-3
Author: dsdparsons
Date: 11/15/2022 7:31:12 AM
Status:
Color: ■
Layer:
Space:



Subject: Callout
Page Label: Copper Chase at Sterling Ranch I Landscape
Copper Chase FLP-LS-8
Author: dsdparsons
Date: 11/15/2022 7:34:17 AM
Status:
Color: ■
Layer:
Space:

repeat comment- provide noise wall protecting these lots from Vollmer/Marksheffel detail and retaining wall detail please; also provide the sign details since they appear to be larger than code allows so they can be approved with PUD and not need a BOA.