

Steve Schleiker
07/10/2026 02:40:29 PM
Doc \$0.00 13
Rec \$0.00 Pages



El Paso County, CO



226065947

MEGGAN HERINGTON, AICP, EXECUTIVE DIRECTOR

PLANNING AND COMMUNITY DEVELOPMENT

APPROVAL OF A CHANGE IN WATER SUPPLY FOR VILLAGES AT STERLING RANCH (PUDSP261)

WHEREAS, Classic SRJ Land LLC, did file an application with the El Paso County Planning and Community Development Department for the approval of a change in water supply in conjunction with a Preliminary Plan for the Villages at Sterling Ranch Subdivision for property in the unincorporated area of El Paso County as described in Exhibit A, which is attached hereto and incorporated herein by reference; and

WHEREAS, pursuant to § 8.4.7.E of the El Paso County Land Development Code ("Code"), amended by the Board of County Commissioners of El Paso County, Colorado ("Board") on August 27, 2019 pursuant to Resolution No. 19-329, delegates to the Planning and Community Development Department Director ("Director") the authority to approve Changes in Water Supply that are deemed NOT substantial pursuant to the provisions of the Code; and

WHEREAS, pursuant to § 30-28-133.5 (1.5), C.R.S., a Board of County Commissioners may delegate to one or more County administrative officials the authority to approve or deny Final Plats, amendments to Final Plats, and correction plats provided certain criteria have been met; and

WHEREAS, § 2.2.4 of the El Paso County Land Development Code ("Code"), amended by the Board of County Commissioners of El Paso County, Colorado ("Board") on August 27, 2019 pursuant to Resolution No. 19-329, delegates to the Planning and Community Development Department Director ("Director") the authority to approve Final Plats, Vacations, Replats, and Final Plat Amendments pursuant to the provisions of the Code; and

Record of Administrative Action
Villages at Sterling Ranch Change in Water Supply
PUDSP261

WHEREAS, based on the evidence, exhibits, documentation provided in support of the application, consideration of the master plan for the unincorporated area of the County, comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, and comments by the general public, the Director finds as follows:

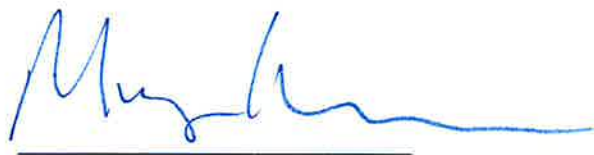
1. Administrative Determination of Whether Change is Not Substantial. Factors to consider in this determination included, but are not limited to:
 - i. The percent increase or decrease in water demand or water availability; or
 - ii. The absolute quantity increase or decrease in the water demand or water availability.

WHEREAS, Administrative Approval of Change is Granted.

The El Paso County Planning and Community Development Department Director, therefore, APPROVES the minor change to water supply for the Villages at Sterling Ranch Preliminary Plan.

DONE THIS 6th day of July 2026 at Colorado Springs, Colorado.

Meggan Herington, Executive Director
El Paso County Planning and Community Development Department



Record of Administrative Action
Villages at Sterling Ranch Change in Water Supply
PUDSP261

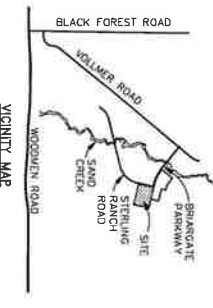
EXHIBIT A

Combined PUD Preliminary Plan As Amended

VILLAGES AT STERLING RANCH
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1

DEVELOPMENT DATA

Table with 2 columns: Item, Value. Includes acreage, number of lots, and other development statistics.



APPLICANT/DEVELOPER/PROPERTY OWNER: CLASSIC CONSTRUCTING, INC.
PROPERTY ADDRESS: 10000 N. 100th Ave., Suite 200, Denver, CO 80231

OWNER CERTIFICATION

I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original as the same appears in the records of the County of El Paso, State of Colorado.

COUNTY CERTIFICATION

I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original as the same appears in the records of the County of El Paso, State of Colorado.

CLERK AND RECORDER CERTIFICATION

I, the undersigned, being duly sworn, depose and say that the foregoing is a true and correct copy of the original as the same appears in the records of the County of El Paso, State of Colorado.

CLASSIC CONSTRUCTING logo and contact information.

PUD MODIFICATION TABLE (AS ALLOWED BY LOC SECTION 4.2.6.(1)(2)(g)). Table with 4 columns: Item, Description, Modification, and Remarks.

LEGAL DESCRIPTION

A PART OF LAND LOCATED IN THE WEST HALF OF SECTION 34, TOWNSHIP 12 SOUTH, RANGE 65 WEST OF THE 3RD PRINCIPAL MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO.

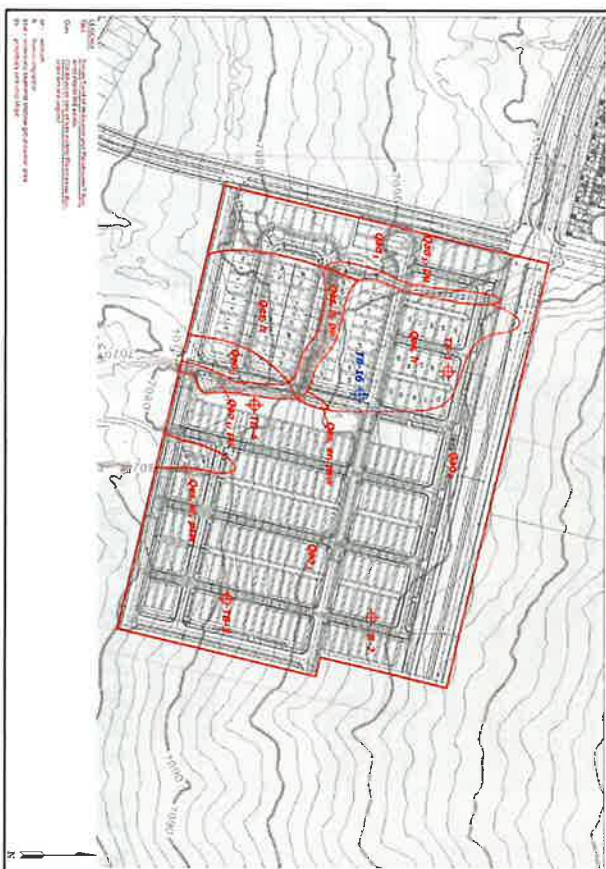
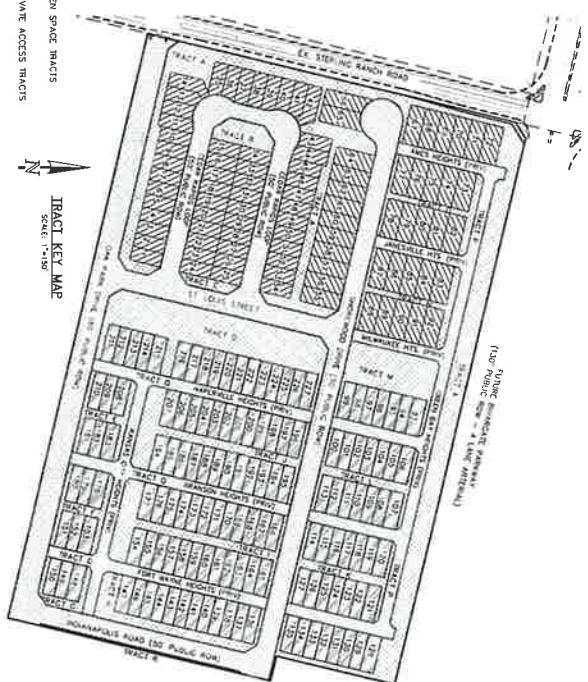
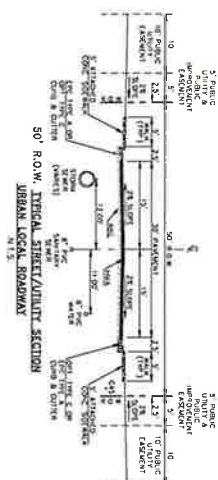
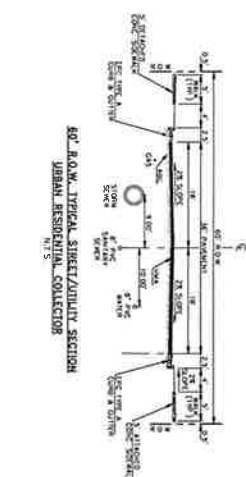
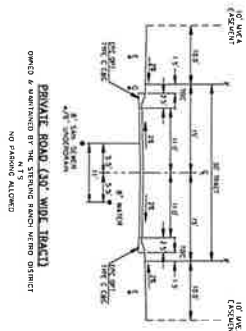
SHEET INDEX

Table with 2 columns: Sheet Number, Description.

GENERAL PROVISIONS SECTION
1. PURPOSE AND INTENT: The purpose of this PUD is to provide a framework for the development of the Sterling Ranch area...

VILLAGES AT STERLING RANCH DEVELOPMENT GUIDELINES. Table with 4 columns: Village Name, Density, Minimum Lot Size, and Other Guidelines.

Technical drawing of a fence section. The drawing shows a cross-section of a fence with a top rail, a bottom rail, and several vertical pickets. The top rail is labeled "Top Rail" and has a dimension of "5'". The bottom rail is labeled "Bottom Rail" and has a dimension of "1 1/2'". The pickets are labeled "Pickets" and have a dimension of "2'". The fence is shown with a "Bracket Hinge" and a "Final Hinge". The drawing is labeled "FINAL FENCE COLOR TO BE DETERMINED".



GEOLOGY/ENGINEERING GEOLOGY MAP
STERLING RANCH EAST
PRELIMINARY PLAN NO. 3
COLORADO SPRINGS, CO.
FOR: CLASSIC SRJ



ENTECH
ENGINEERING, INC.

[illegible]

54 LOTS		SINGLE FAMILY DUPLEX PRODUCT (LOTS 1-54)
38 LOTS		SINGLE FAMILY DETACHED W/ ADJ OPTION (LOTS 55-92)
135 LOTS		PREPAID PRODUCT SINGLE FAMILY DETACHED W/ ADJ OPTION ADJ DETACHED GARAGE ONLY (LOTS 93-222)

[illegible][illegible]

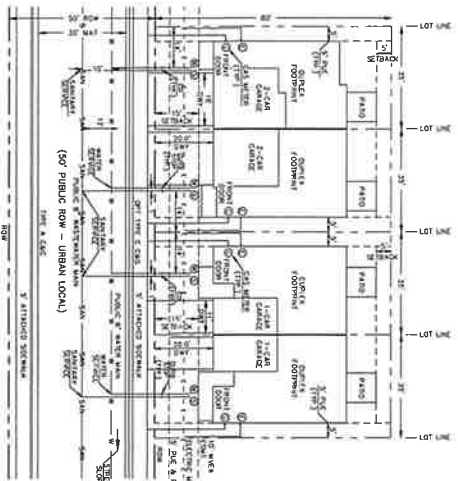
Age Group	Percentage
20	2
10	10
0	0
20	20
40	40

CLASSIC
CONSULTING

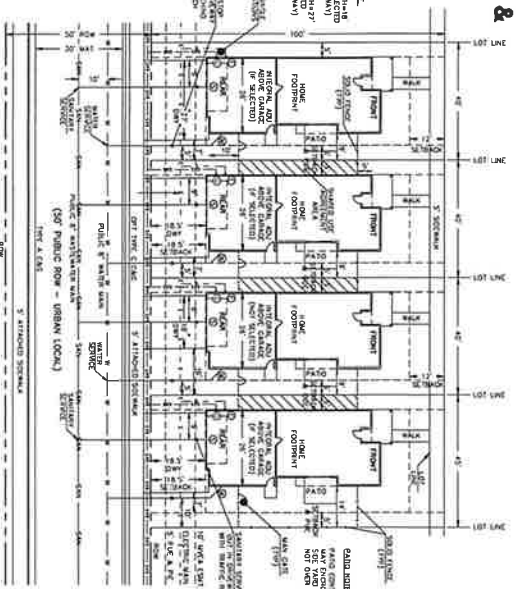
VILLAGES AT STERLING RANCH			
POD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT I			
TRACT USE TABLE / GEOLOGIC HAZARD MAP			
DESIGNED BY	EAS	SCALE	DATE

118 N. Canfield Avenue, Suite 220 Columbia, SC 29201 (803) 733-1111	CRAM BY	CAS	(M) 1 st = 20'	Sheet 2 of 26
	CR/COLO BY		(W) 1 st = N/A	JOB NO 118325

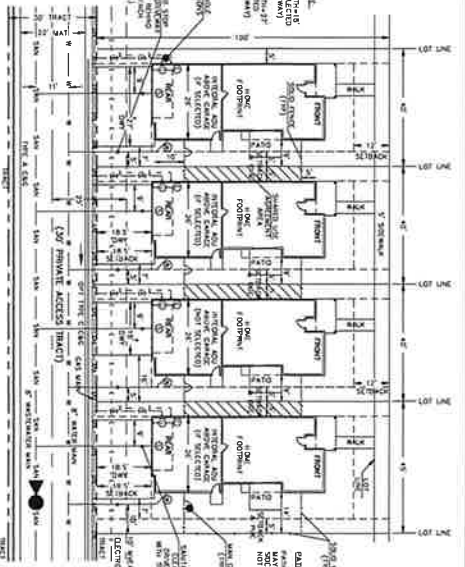
VILLAGES AT STERLING RANCH PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1



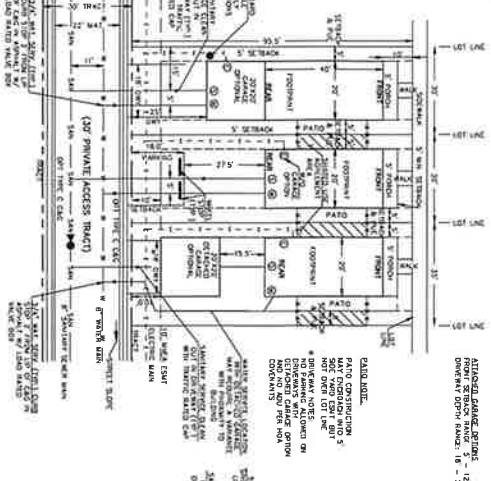
TYPICAL LOT CONFIGURATION DETAIL
(DUPLX PRODUCT)
SCALE: 1"=20' (H)
(LOTS 1-54)



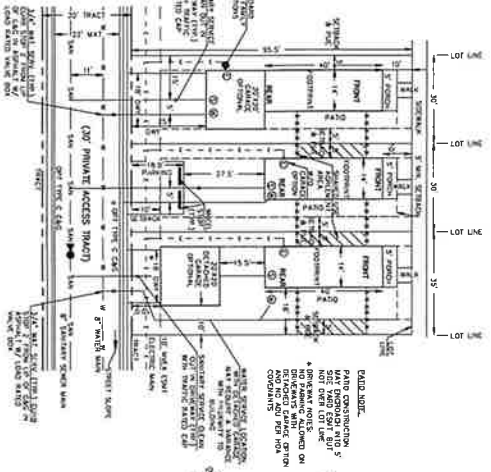
TYPICAL LOT CONFIGURATION DETAIL
(SINGLE FAMILY DETACHED W/ OPTIONAL ADU)
ACCESS FROM 50' PUBLIC ROW
SCALE: 1"=20' (H)
(LOTS 55-65)



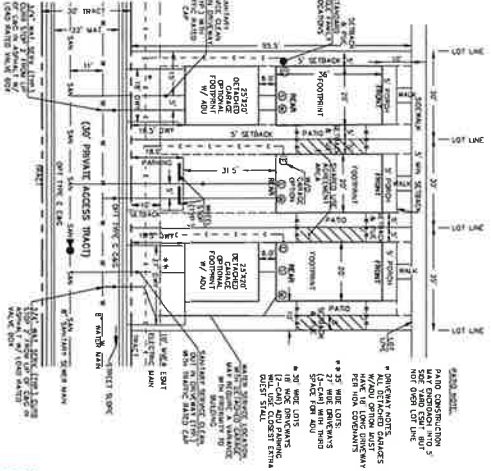
TYPICAL LOT CONFIGURATION DETAIL
(SINGLE FAMILY DETACHED W/ OPTIONAL ADU)
ACCESS FROM PRIVATE ROAD TRACT
SCALE: 1"=20' (H)
(LOTS 67-92)



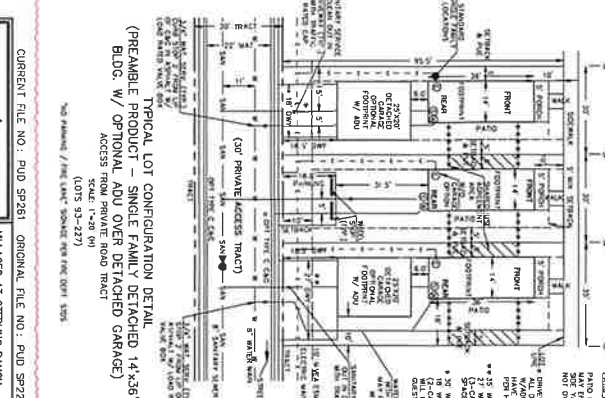
TYPICAL LOT CONFIGURATION DETAIL
(PREMABLE PRODUCT - SINGLE FAMILY DETACHED 20'x40' BLDG.
NO ADU OPTION)
ACCESS FROM PRIVATE ROAD TRACT
SCALE: 1"=20' (H)
(LOTS 93-227)



TYPICAL LOT CONFIGURATION DETAIL
(PREMABLE PRODUCT - SINGLE FAMILY DETACHED 14'x40' BLDG.
NO ADU OPTION)
ACCESS FROM PRIVATE ROAD TRACT
SCALE: 1"=20' (H)
(LOTS 93-227)



TYPICAL LOT CONFIGURATION DETAIL
(PREMABLE PRODUCT - SINGLE FAMILY DETACHED 20'x35' BLDG.
W/ OPTIONAL ADU OVER DETACHED GARAGE)
ACCESS FROM PRIVATE ROAD TRACT
SCALE: 1"=20' (H)
(LOTS 93-227)



TYPICAL LOT CONFIGURATION DETAIL
(PREMABLE PRODUCT - SINGLE FAMILY DETACHED 14'x35' BLDG.
W/ OPTIONAL ADU OVER DETACHED GARAGE)
ACCESS FROM PRIVATE ROAD TRACT
SCALE: 1"=20' (H)
(LOTS 93-227)

CLASSIC CONSULTING

CURRENT FILE NO.: PUD SP261 ORIGINAL FILE NO.: PUD SP226

VILLAGES AT STERLING RANCH

PUD DEVELOPMENT PLAN & PRELIMINARY PLAN

AMENDMENT 1

DEVELOPMENT STANDARD DETAILS

DESIGNED BY: EKS SCALE: 1/8"=1'-0"

CHECKED BY: EKS SCALE: 1/8"=1'-0"

DATE: 11/27/2023

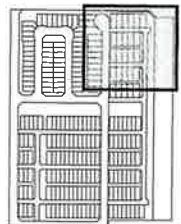
SHEET: 3 OF 23

PROJECT: Villages at Sterling Ranch

LOCATION: 118135

TRACT H
OWNER: CLASSIC SRU LAND, LLC
FOUR SQUARE AT STERLING RANCH FL. 1
CURRENT ZONING: PUD

VILLAGES AT STERLING RANCH
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65W
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1

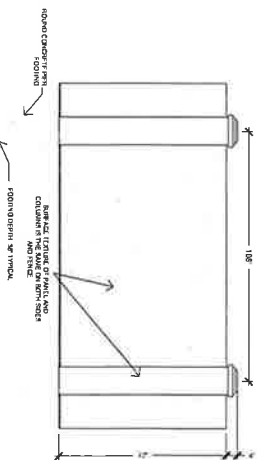


KEY MAP
NOT TO SCALE

LEGEND

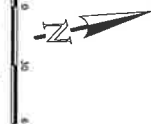
BOUNDARY LINE
PROPERTY LINE
EXISTING ST. BLACK LINE
LINE OF SIGHT
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING STORM LINE

NO PARKING ALONG CURB
WITH PRIVATE ACCESS ROADS
EXACT LOCATION OF "NO PARKING"
SIGN IS DETERMINED BY CDD.



6' CONCRETE BLOCK SCREEN WALL (NOISEWALL)
SCALE: NOT TO SCALE

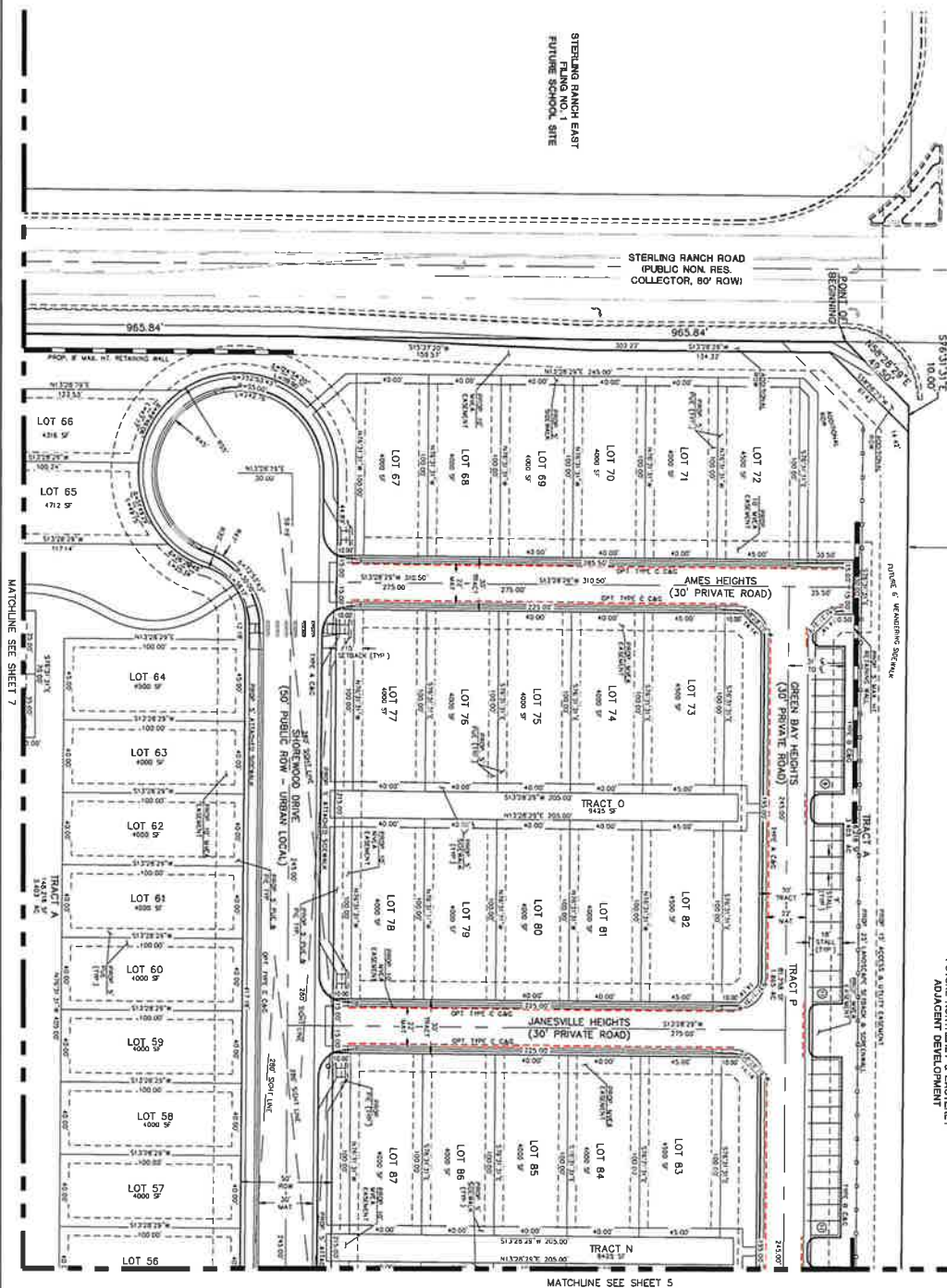
SCALE: 1" = 30'



CLASSIC CONSULTING

CURRENT FILE NO.: PUD SP761
ORIGINAL FILE NO.: PUD SP726
VILLAGES AT STERLING RANCH
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1
DRAWN BY: EAS (1) 1" = 30' SHEET 4 OF 28
CHECKED BY: (V) 1" = N/A SHEET NO. 1183.78
DATE: 11/27/202

1018 S. GARCIA LANE, SUITE 200
DALLAS, TEXAS 75215
TEL: 214.343.0000
WWW.CLASSICCONSULTING.COM



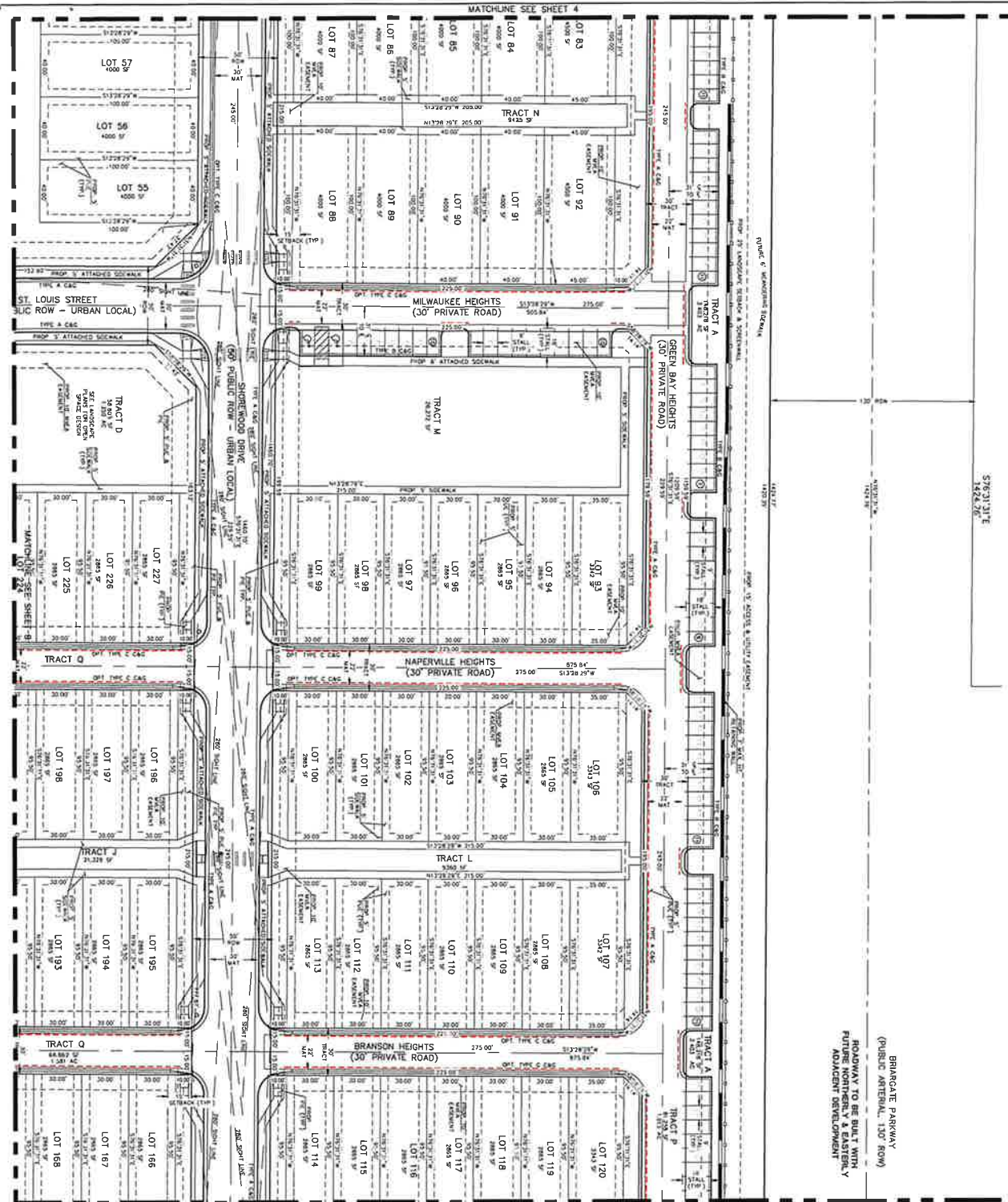
MATCHLINE SEE SHEET 5

MATCHLINE SEE SHEET 7

STERLING RANCH EAST
FLING NO. 1
FUTURE SCHOOL SITE

VILLAGES AT STERLING RANCH
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 63W
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1

5/26/2017
1424.20'



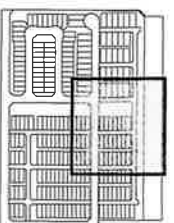
BRIARGATE PARKWAY
(PUBLIC ARTERIAL, 120' ROW)
ROADWAY TO BE BUILT WITH
FUTURIOUS PAVING & EXISTING
ADJACENT DEVELOPMENT

LEGEND

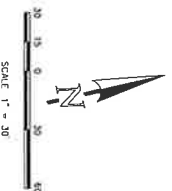
- BOUNDARY LINE
- PROPERTY LINE
- EXISTING SETBACK LINE
- LINE OF 50' FT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM LINE



NO PARKING ALONG CURB
WITHIN PRIVATE ACCESS ROADS
EXACT LOCATION OF "NO PARKING"
SIGNS DETERMINED ON GPS



KEY MAP
NOT TO SCALE



SCALE 1" = 30'

CURRENT FILE NO.: PUD SP251
ORIGINAL FILE NO. PUD SP250

VILLAGES AT STERLING RANCH

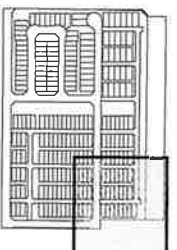
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1

CLASSIC CONSULTING

DESIGNED BY	EAS	SCALE	DATE
DRAWN BY	EAS	(1) 1" = 30'	11/27/2012
CHECKED BY	(V) 1" = 30'	N/A	09/05/2013

UNPLATTED
OWNER: CLASSIC SUB LAND, LLC
FUTURE SINGLE FAMILY RESIDENTIAL
CURRENT ZONING: R-5

VILLAGES AT STERLING RANCH
COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65W
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1



BRASGATE PARKWAY
(PUBLIC ARTERIAL, 150' ROW)
ROADWAY TO BE BUILT WITH
FUTURE BRASGATE PARKWAY
ADJACENT DEVELOPMENT

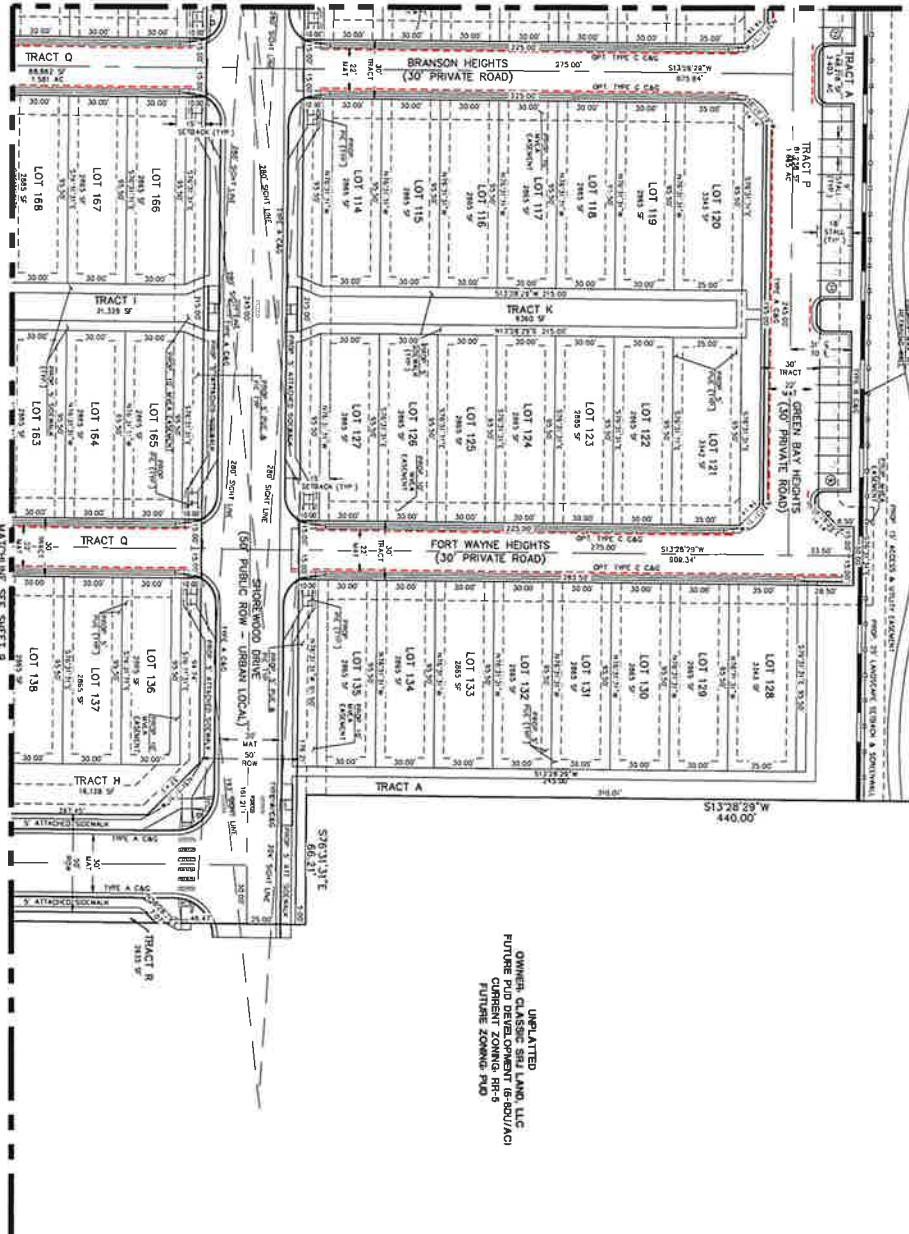
UNPLATTED
FUTURE BRASGATE PARKWAY
RIGHT OF WAY

LEGEND

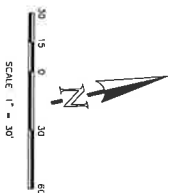
- BOUNDARY LINE
- PROPERTY LINE
- EXISTING SETBACK LINE
- LINE OF RIGHT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM LINE

NO PARKING
NO PARKING
NO PARKING ALONG CURBS
WITH PRIVATE ACCESS ROADS
SIGNS DETERMINED ON CDS

MATCHLINE SEE SHEET 5



UNPLATTED
OWNER: CLASSIC SUB LAND, LLC
FUTURE PUD DEVELOPMENT IS BOD/ACI
CURRENT ZONING: R-5
FUTURE ZONING: PUD



CURRENT FILE NO.: PUD SP261
ORIGINAL FILE NO.: PUD SP226
VILLAGES AT STERLING RANCH
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1
DESIGNED BY: CAG SCALE: DATE: 11/27/2002
DRAWN BY: CAG (10' = 1") SHEET: 6 OF 29
CHECKED BY: (10' = 1") (10' = 1") (10' = 1") (10' = 1")
DESIGNED BY: CAG SCALE: DATE: 11/27/2002
DRAWN BY: CAG (10' = 1") SHEET: 6 OF 29
CHECKED BY: (10' = 1") (10' = 1") (10' = 1") (10' = 1")



BOUNDARY LINE
PROPERTY LINE
EASEMENT SETBACK LINE
LINE OF SIGHT
EXISTING WATER LINE
EXISTING SANITARY SEWER
EXISTING STORM LINE

NO PARKING ALONG CURB
WITHIN PRIVATE ACCESS ROADS
EXACT LOCATION OF "NO PARKING"
SIGNS DETERMINED ON CDS





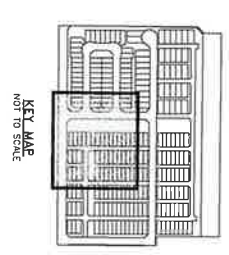
VILLAGES AT STERLING MANOR

PHD DEVELOPMENT PLAN & PRELIMINARY PLAN
REVISION 1

DRAWN BY	EAS	SCALE	DATE	CHECKED BY	DATE
646	104	1" = 30'	5/26/77	104	6/2/77
104	1" = 30'	5/26/77	104	6/2/77	104

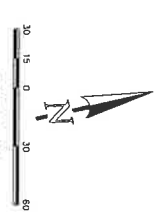


VILLAGES AT STERLING RANCH COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65W PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1



LEGEND

- BOUNDARY LINE
- PROPERTY LINE
- EASEMENT SETBACK LINE
- LINE OF SIGHT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM LINE
- NO PARKING, NO GRASS, TRACT LOCATION OF "NO PARKING" SIGNS DETERMINED ON CDS



CLASSIC CONSULTING

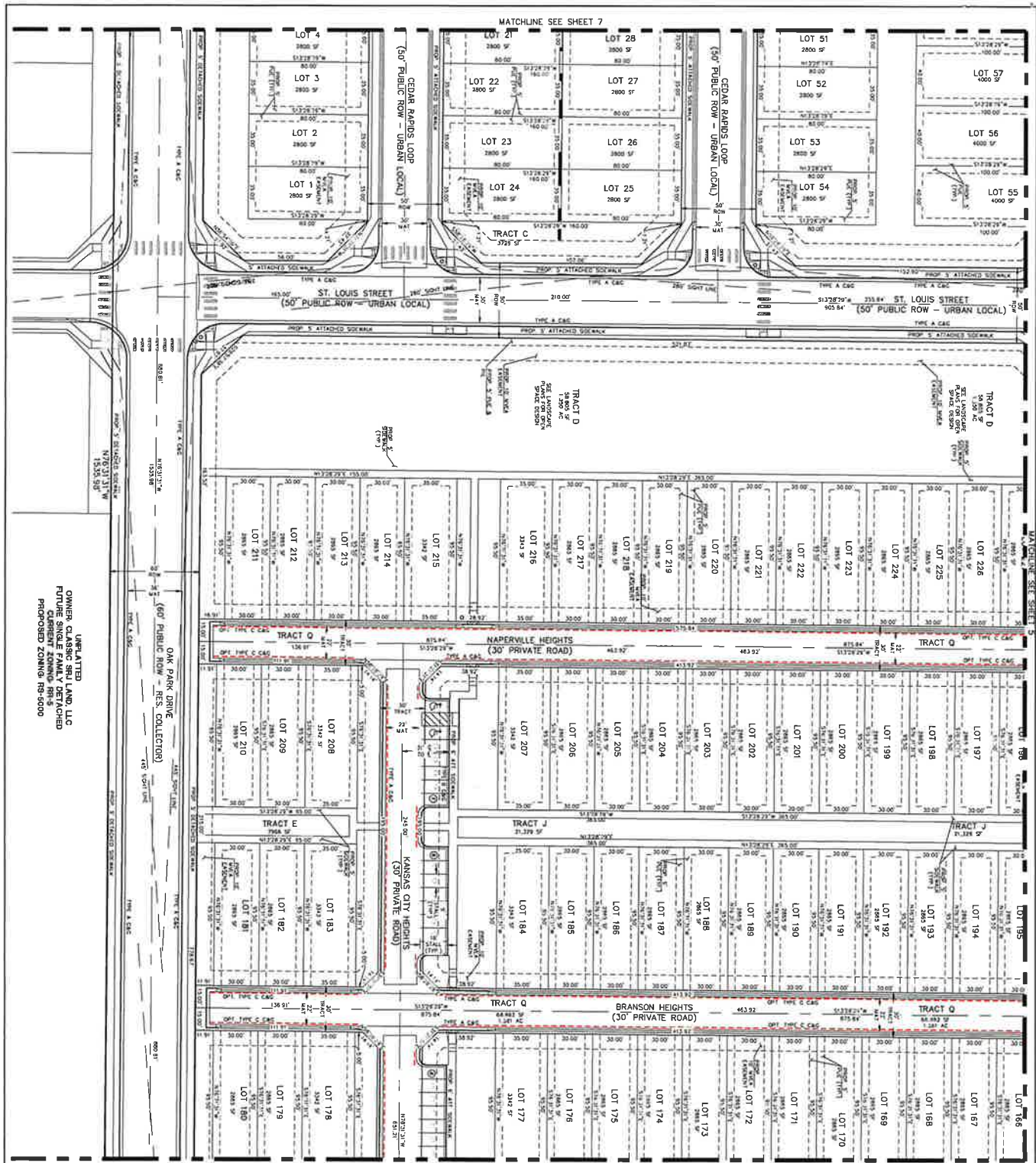
CURRENT FILE NO.: PUD SP761
ORIGINAL FILE NO.: PUD SP726

VILLAGES AT STERLING RANCH

PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1

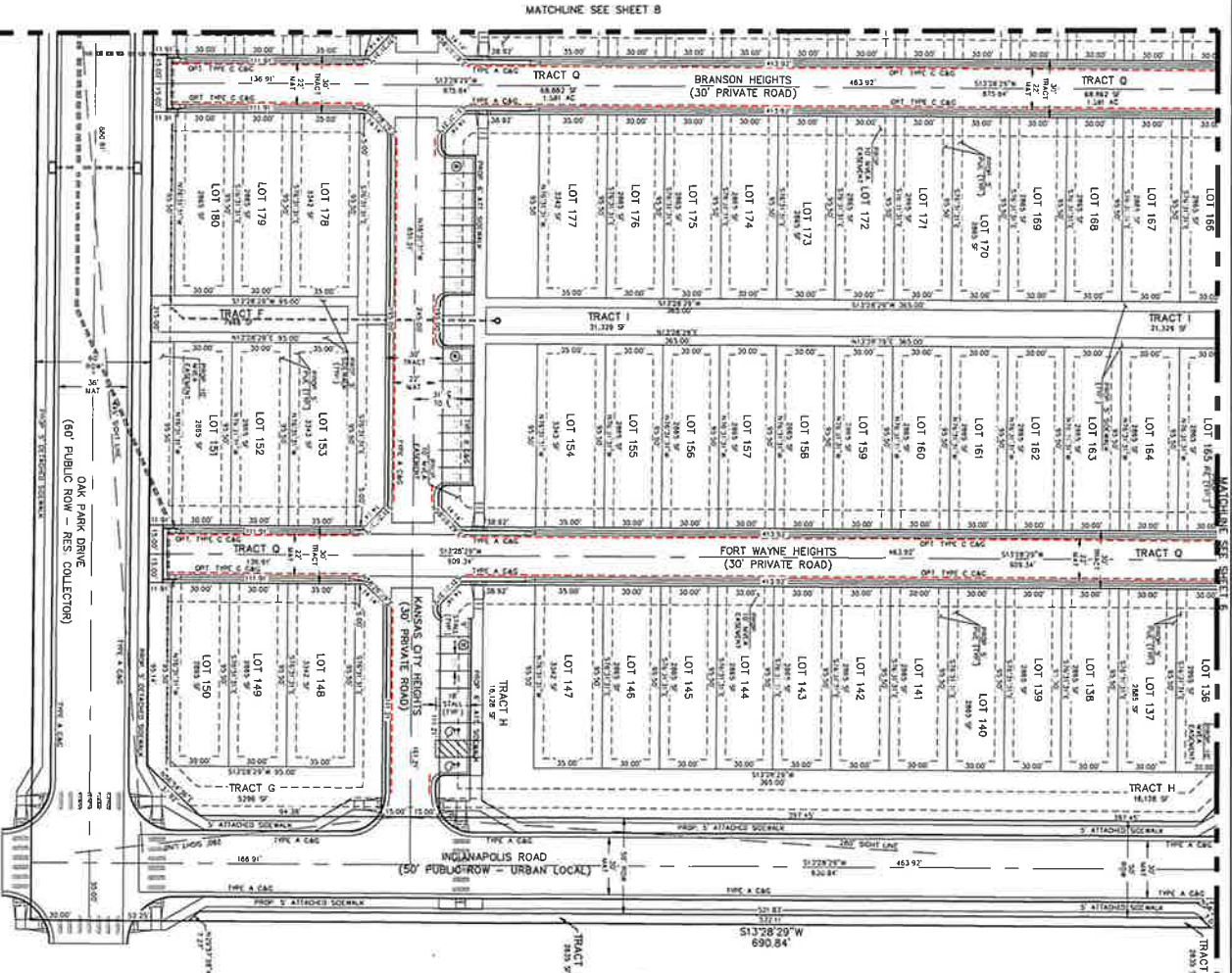
DESIGNED BY: EAS SCALE: 1/8" = 20'
CHECKED BY: EAS SCALE: 1/8" = 20'
DATE: 11/27/2022

OWNER: CLASSIC SRL LAND, LLC
FUTURE SUELF FARM, DETACHED
CASEROY HOME 2500 SQ. FT.
PROPOSED ZONING: RS-5000



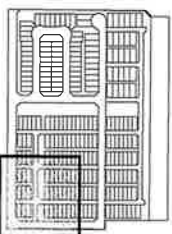
UNPLATTED
OWNER: CLASSIC SRL LAND, LLC
FUTURE SUELF FARM, DETACHED
CASEROY HOME 2500 SQ. FT.
PROPOSED ZONING: RS-5000

VILLAGES AT STERLING RANCH COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 65W PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1



UNPLATTED
OWNER: CLASSIC SRJ LAND, LLC
FUTURE SINGLE FAMILY DETACHED
LOT ZONING: RS-6000
PROPOSED ZONING: RS-6000

UNPLATTED
OWNER: CLASSIC SRJ LAND, LLC
FUTURE PUD DEVELOPMENT (6-80U/AC)
LOT ZONING: RS-6000
PROPOSED ZONING: RS-6000



LEGEND

- BOUNDARY LINE
- PROPERTY LINE
- EXISTING SETBACK LINE
- LINE OF SIGHT
- EXISTING WATER LINE
- EXISTING SANITARY SEWER
- EXISTING STORM LINE
- NO PARKING ALONG CURB WITHIN PRIVATE ACCESS ROADS EXACT LOCATION OF "NO PARKING" SIGNS DETERMINED ON DIS.



SCALE: 1" = 30'

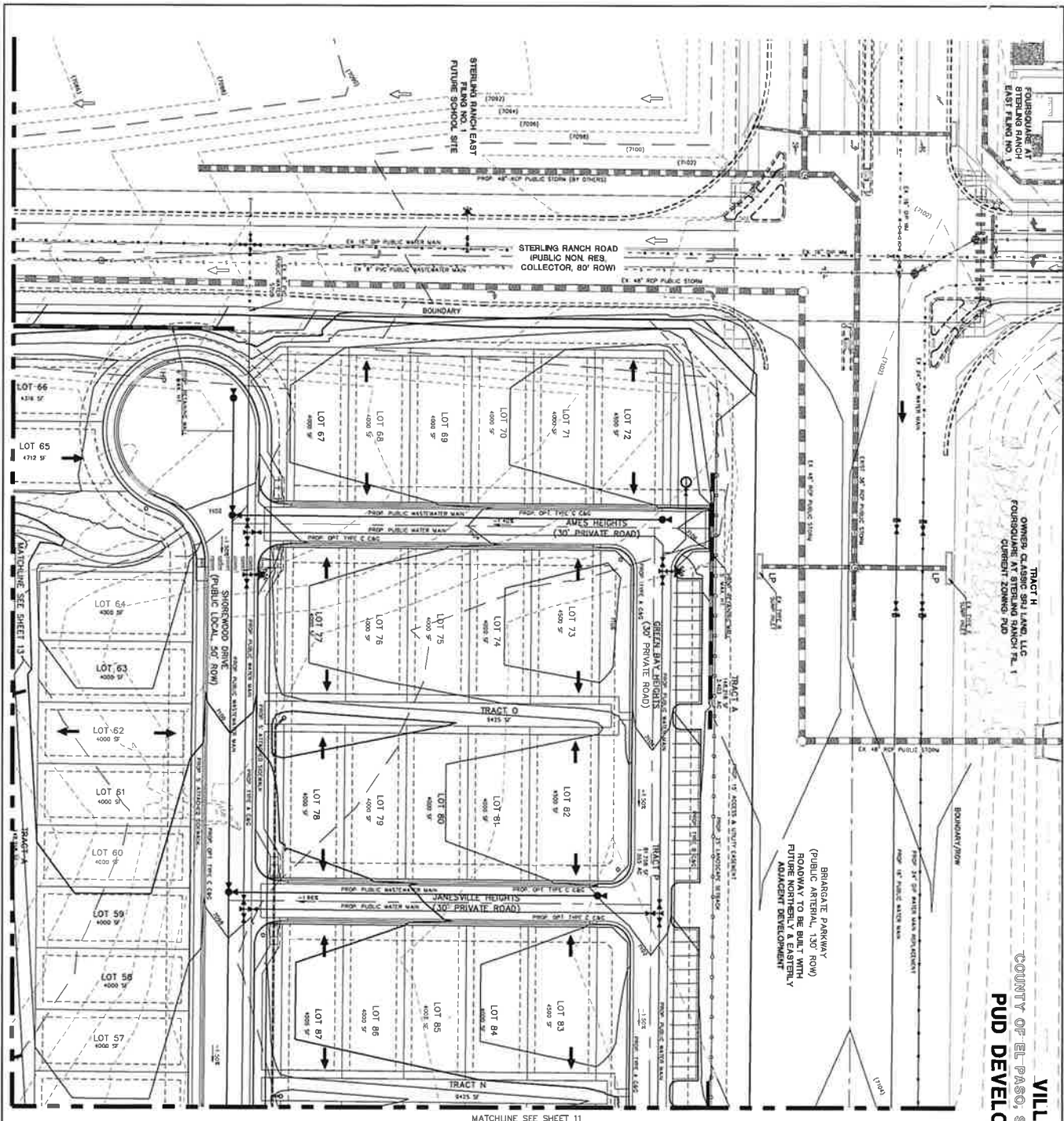
CURRENT FILE NO.: PUD SP261
ORIGINAL FILE NO.: PUD SP226
VILLAGES AT STERLING RANCH



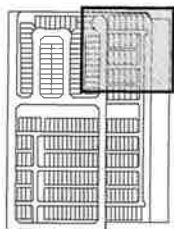
PUD DEVELOPMENT PLAN & PRELIMINARY PLAN
AMENDMENT 1

DESIGNED BY	SCALE	DATE	SHEET
CLASSIC CONSULTING	1" = 30'	11/27/2021	9 OF 29
DRAWN BY	SCALE	DATE	SHEET
CLASSIC CONSULTING	1" = 30'	11/27/2021	9 OF 29
CHECKED BY	SCALE	DATE	SHEET
CLASSIC CONSULTING	1" = 30'	11/27/2021	9 OF 29

VILLAGES AT STERLING RANCH COUNTY OF EL PASO, STATE OF COLORADO SECT. 34, TOWNSHIP 12S, RANGE 03W PUD DEVELOPMENT PLAN & PRELIMINARY PLAN AMENDMENT 1

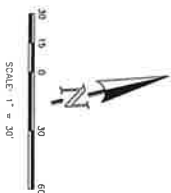


MATCHLINE SEE SHEET 11



LEGEND

- (9710) PAVING CONTOUR
- 0770 PROPOSED CONTOUR
- 0770 EXISTING CONTOUR
- EXISTING ROW DIRECTION
- PROPOSED ROW DIRECTION
- PROPOSED INLET
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- PROPOSED HIGH POINT
- PROPOSED LOW POINT
- HP
- LP



CLASSIC CONSULTING

PRELIMINARY GRADING AND UTILITY PLAN

AMENDMENT 1

DESIGNED BY: C&S (W) 38

DRAWN BY: C&S (W) 38

CHECKED BY: C&S (W) 38

DATE: 11/07/2020

SHEET: 10 OF 29

PROJECT NO: 118226

CURRENT FILE NO.: PUD SP261

ORIGINAL FILE NO.: PUD SP228

VILLAGES AT STERLING RANCH

After recording return to:
Colin H. Wooten
5120 Acton Ct.,
Colorado Springs, CO 80919

Steve Schleiker
07/10/2026 03:01:28 PM
Doc \$0.00 1
Rec \$43.00 Page

El Paso County, CO



226065969

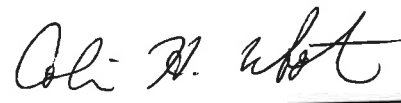
STATEMENT OF AUTHORITY

1. This Statement of Authority relates to an entity named: **WOOTEN LLC #1.**
2. The type of entity is a **LIMITED LIABILITY COMPANY.**
3. The entity is formed under the laws of the **STATE OF COLORADO.**
4. The mailing address of the entity is **5120 ACTON CT., COLORADO SPRINGS, CO 80919.**
5. The name/position of each person authorized to execute instruments conveying, encumbering, or otherwise affecting title to real property on behalf of the entity is **CAMERON E. GERMANN, COLIN H. WOOTEN, AND MIRIAM C. HARRIS, CO-TRUSTEES OF THE ANN E. WOOTEN REVOCABLE TRUST, MANAGING MEMBERS.**
6. The authority of the foregoing persons to bind the entity is **UNLIMITED.**
7. Other matters concerning the manner in which the entity deals with interests in real property: **THE MANAGING MEMBERS MAY DEAL WITH REAL PROPERTY WITHOUT LIMITATION.**
8. This Statement of Authority is executed on behalf of the entity pursuant to the provisions of C.R.S. § 38-30-172.

Executed this 10th day of July, 2026.

The Ann E. Wooten Revocable Trust


Cameron E. Germann, Co-Trustee, Managing Member

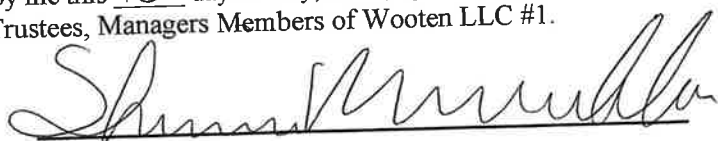

Colin H. Wooten, Co-Trustee, Managing Member


Miriam C. Harris, Co-Trustee, Managing Member

STATE OF COLORADO)
) ss.
COUNTY OF EL PASO)

The foregoing instrument was acknowledged by me this 10th day of July, 2026, by Cameron E. Germann, Colin H. Wooten, and Miriam C. Harris, Co-Trustees, Managers Members of Wooten LLC #1.




Notary Public

