

R121297



Planning and Community Development Department - SITE PLAN

Use for Additions to Property/Residence or Placement of Manufactured Homes/Mobile Homes

Applicant Name JAMES WOOLDRIDGE 719-650-7185 JWOODY46@GMAIL.COM
phone email

Contractor Name SAME AS ABOVE
phone email

Property Address 514 S KEARNEY AVE.

Zoning RS-6000 Parcel Number 7418 Legal Description LOT 29 WESTMARK FIL NO 1

Proposed Structure & Use SINGLE FAMILY HOME NEW New Structure sq. ft. 1,296

Lot sq. ft. 8353 Existing + new structure sq. ft. 1,296 % Lot coverage .15 New Structure height 27'

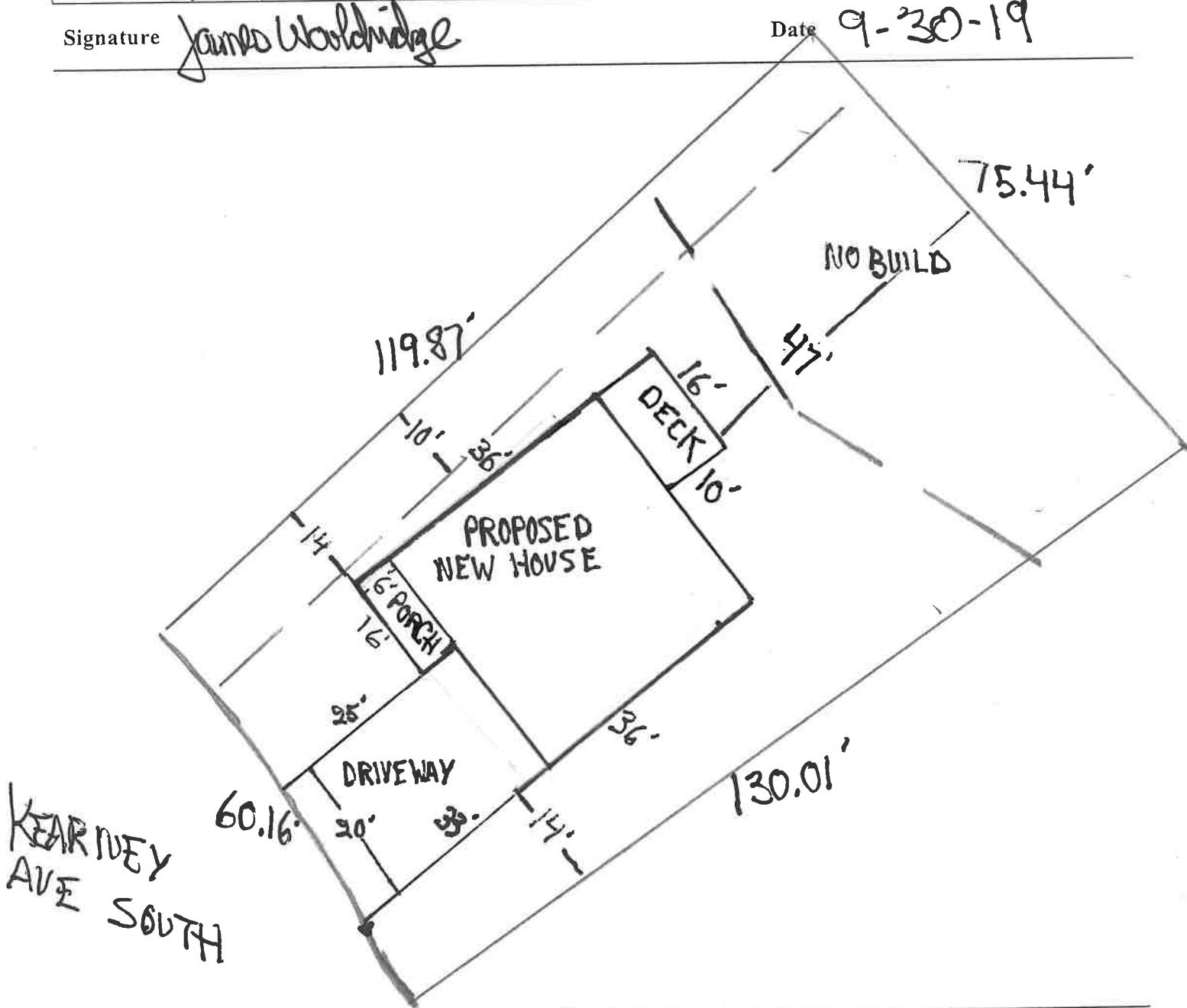
All Site Plans MUST include the following LEGIBLE minimum standards and drawn to a scale determined by applicant:

- Lot configuration and boundary measurements
- All streets, roads, or highways adjoining the property
- Dimensions & square footage of existing and proposed structures
- Building location with reference to distance from property lines
- Location of NO-BUILD areas, watercourses, drainage facilities
- Building setbacks, highways or rights-of-way
- Location of easements, driveway(s), well and septic system
- Contours if slope is greater than 10%
- Building coverage calculation (% of lot coverage)

Any approval given by El Paso County does not obviate the need to comply with applicable Federal, State or Local Laws or regulations. Planning and Community Development Department approval is contingent upon compliance with all applicable notes on the recorded plat. An access permit must be granted by the Planning and Community Development Engineering Division prior to the establishment of any Driveway onto a County road, or a waiver granted for access to a private road. Diversion or blockage of any drainage way is not permitted without the approval of the Planning and Community Development Engineering Division.

Fees are payable at the time of submittal and are NON-REFUNDABLE, regardless of approval or denial. Site Plans may be delayed or denied if information is omitted. APPLICANT IS RESPONSIBLE FOR ACCURACY OF SITE PLAN

Signature James Wooldridge Date 9-30-19



Office Use

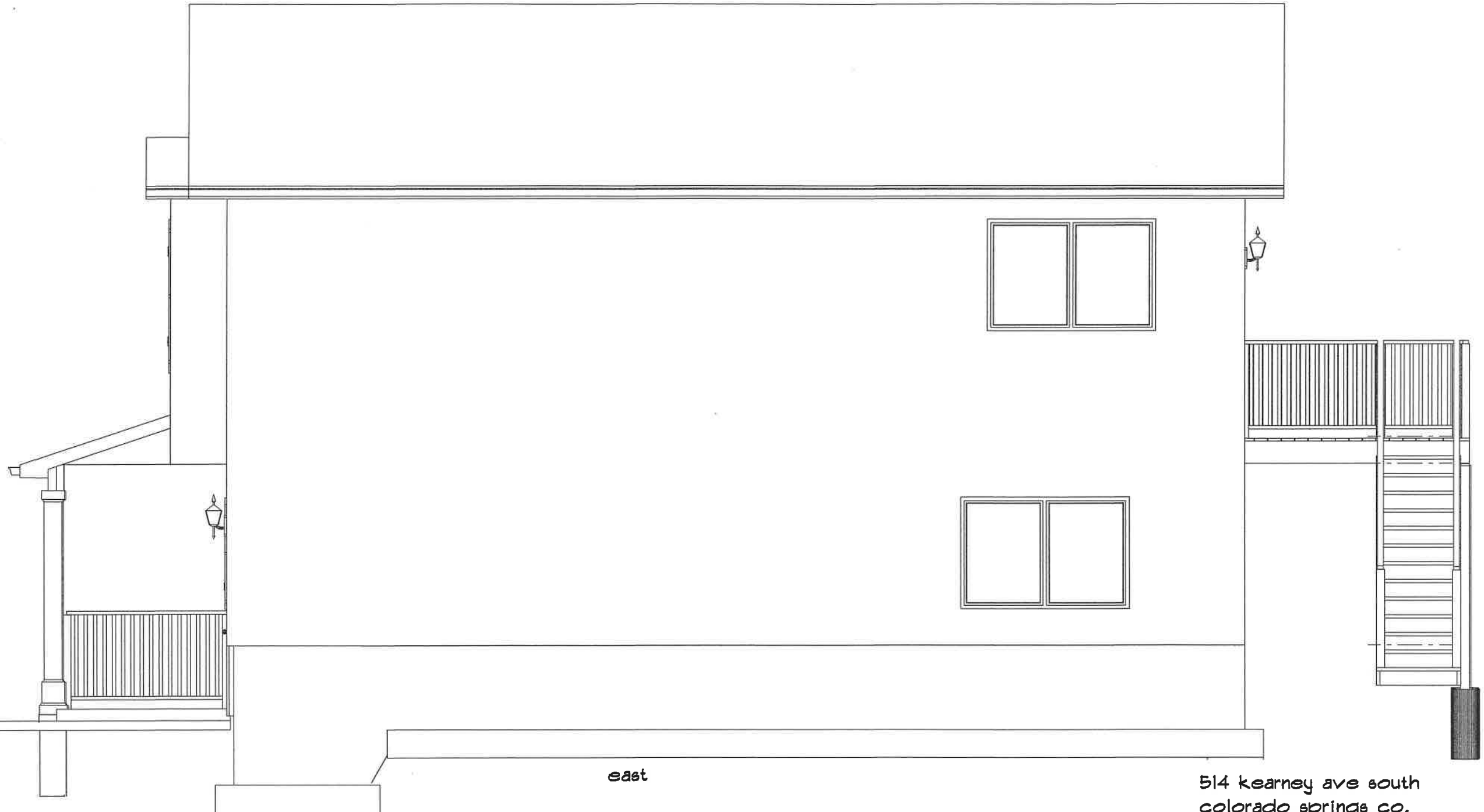
Plat No. _____

Note: _____



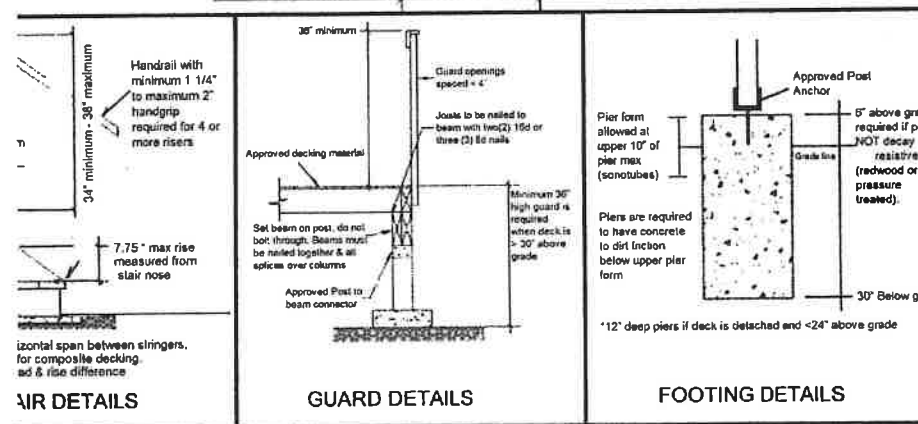
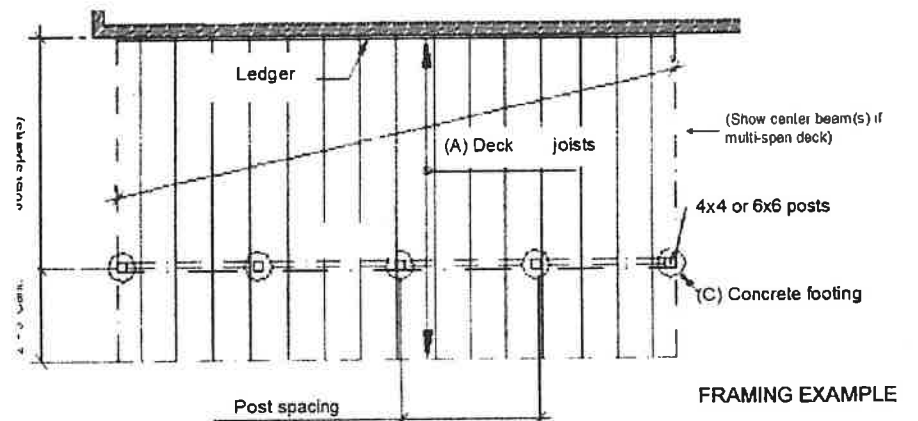
South

514 kearney ave south
Colorado Springs, co.
Jim Wooldridge
719-650-7185



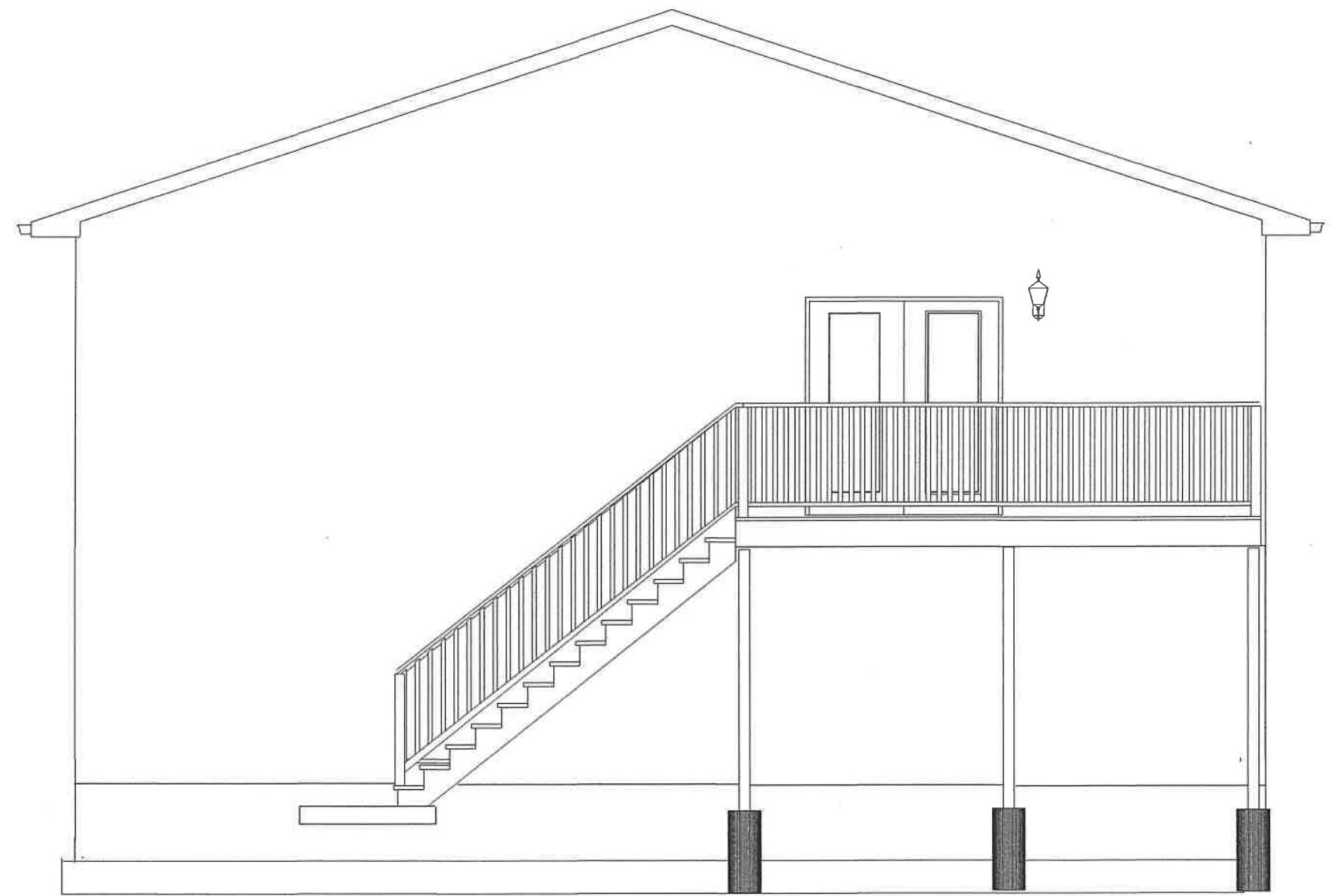
east

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SECTION VIEW

Extend ledger 8" and install (3) lags (min) each side of beam connection at ledger

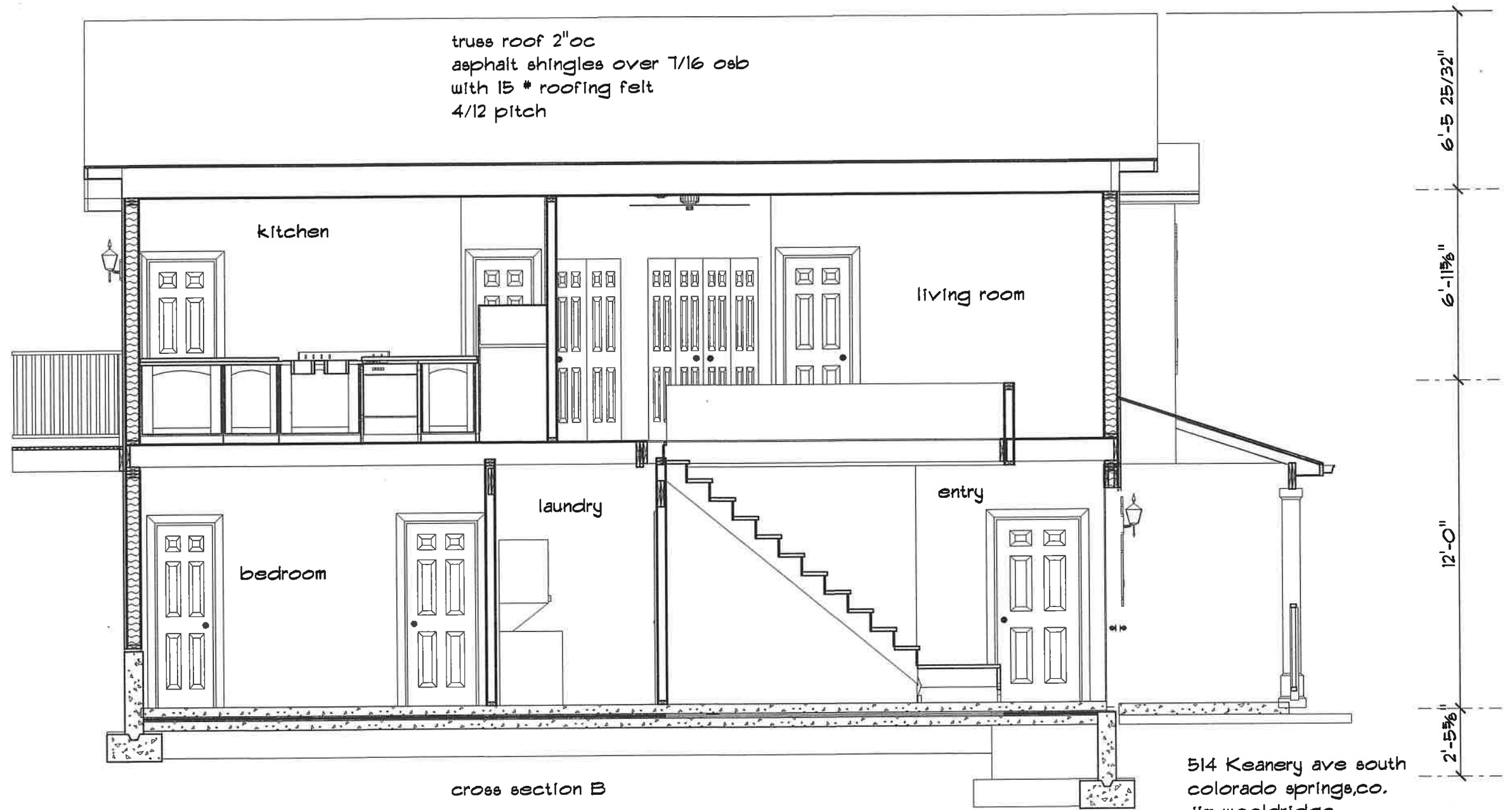


north

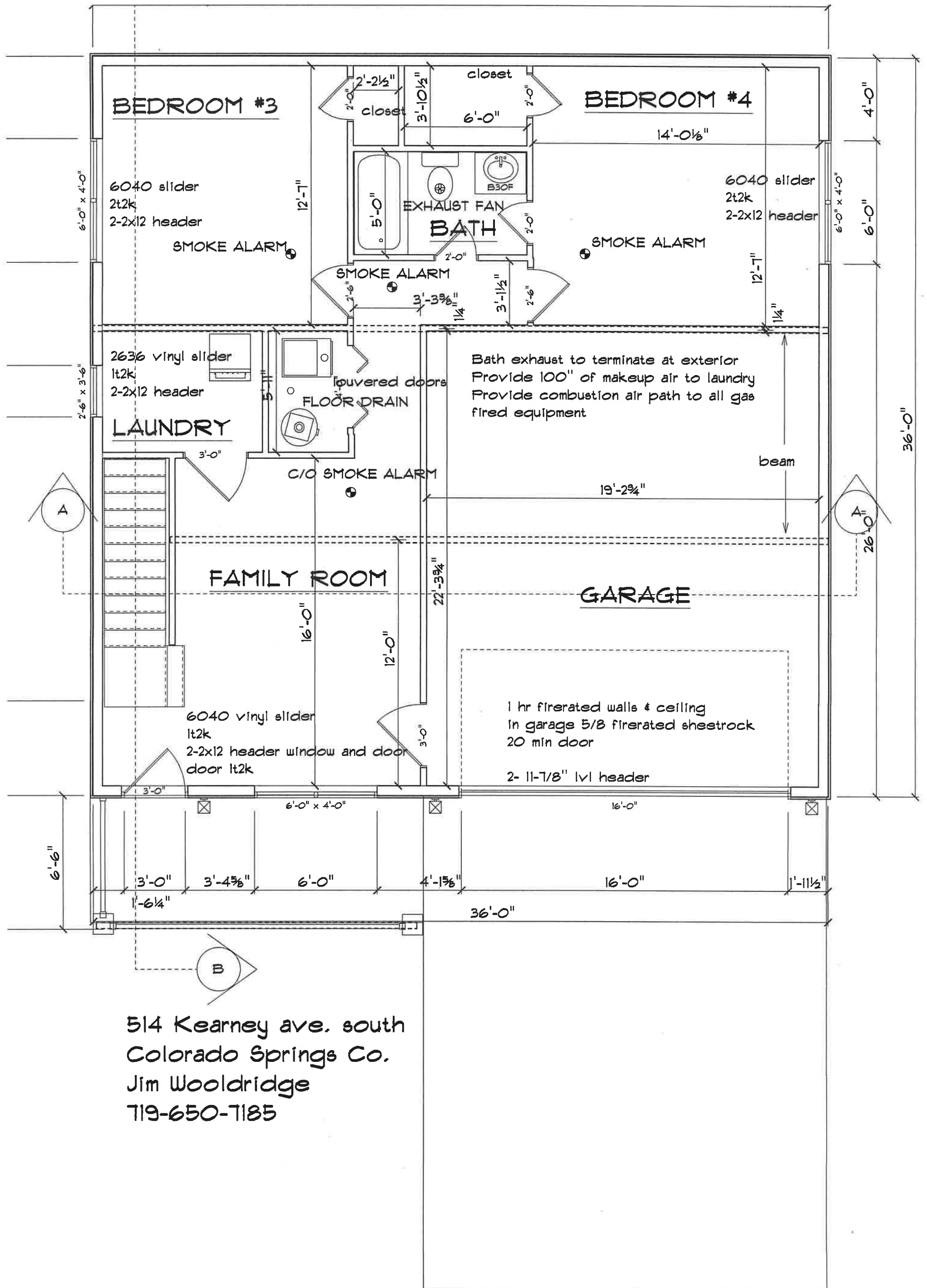
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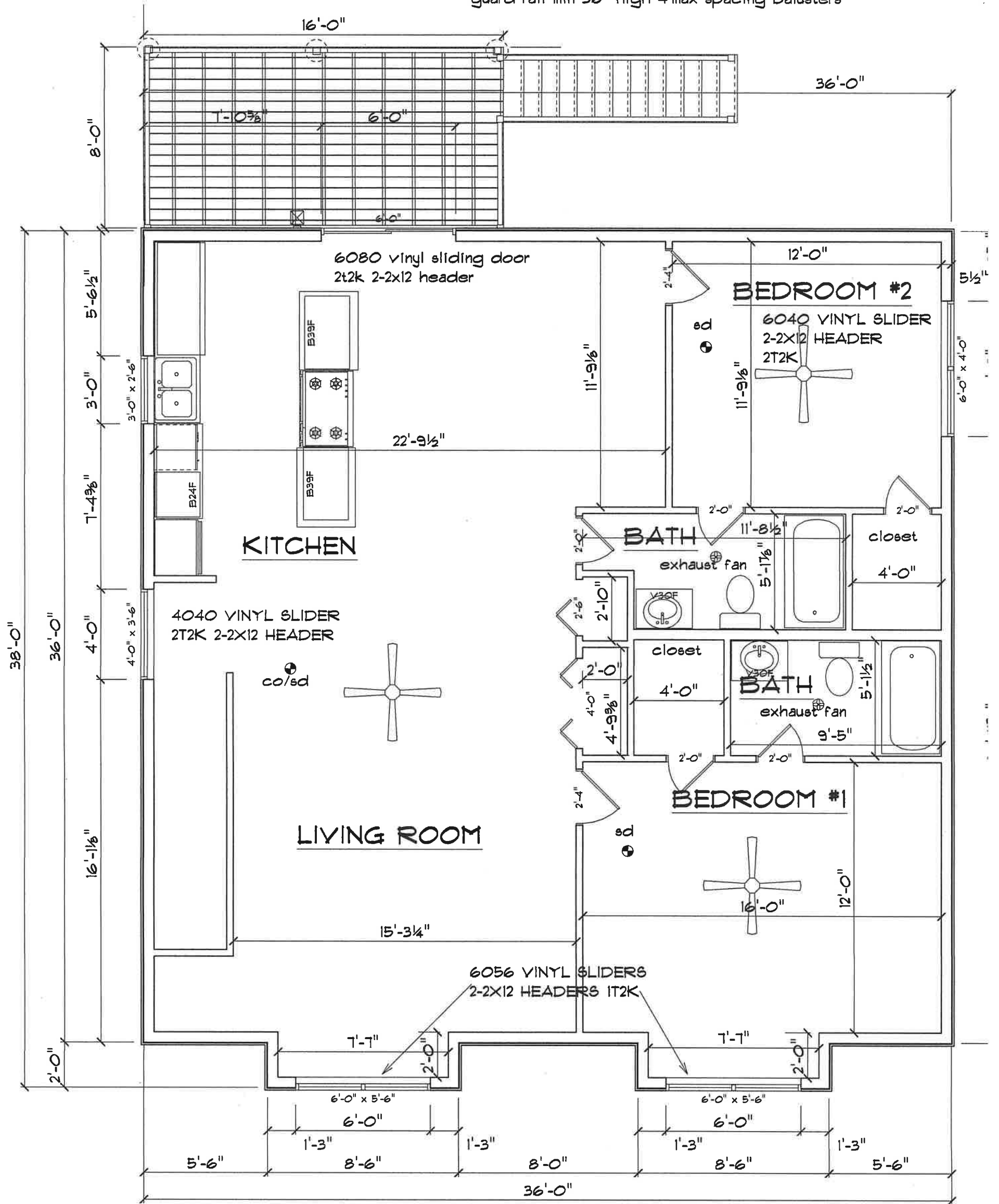
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end beam 2-2x8 treated
 8" end piers 10" center piers 8' oc
 piers 30" min depth

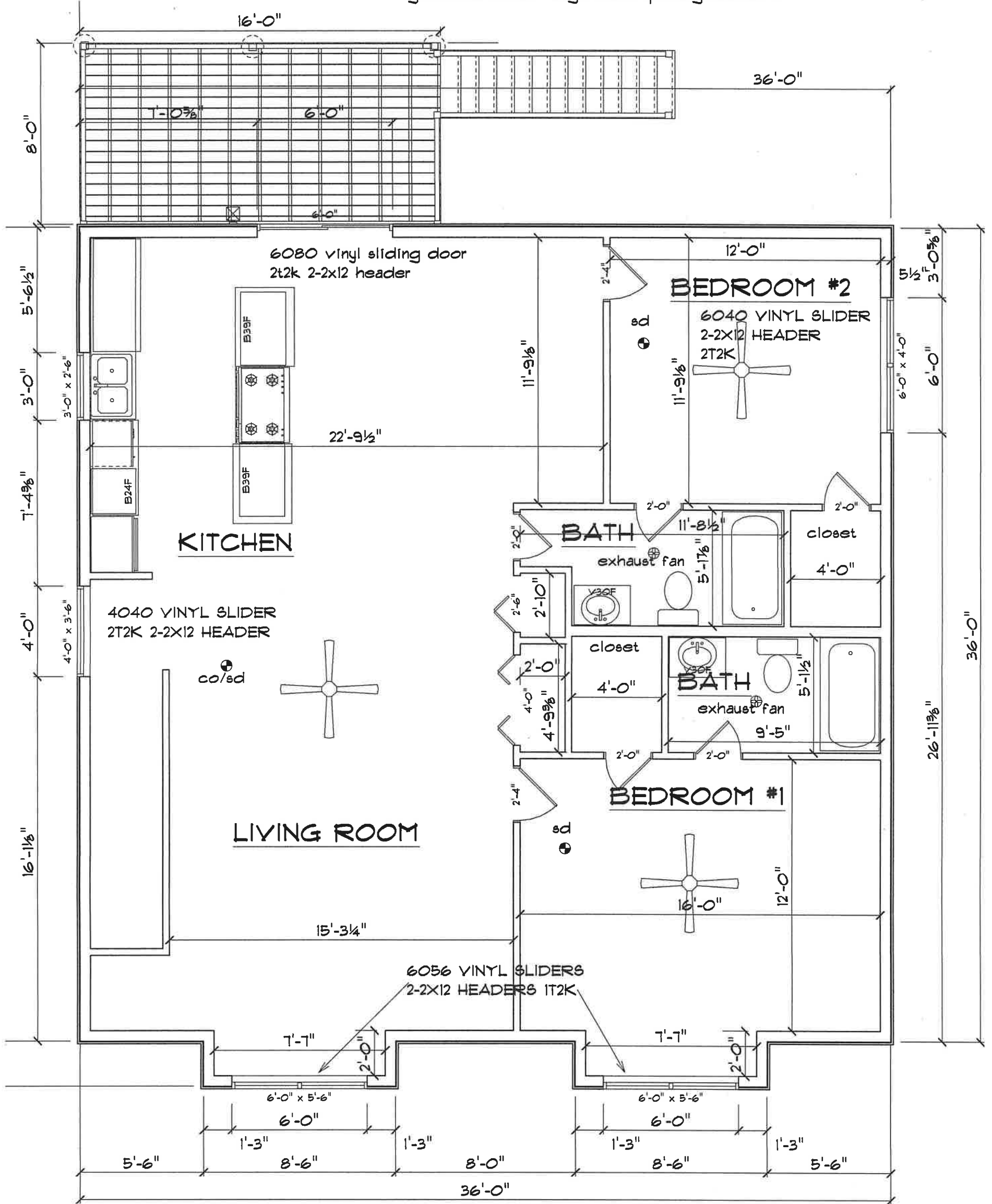
deck 2x8 treated joists ledger and beam
 ledger 2 5.5" ledger lock 16" oc
 4x4 treated posts
 composite decking
 stairs 12" oc stringers 7-3/4" max rise 10" min run max 3/8" dif rise/run
 guard rail min 36" high 4' max spacing balusters



upper level
 floor plan

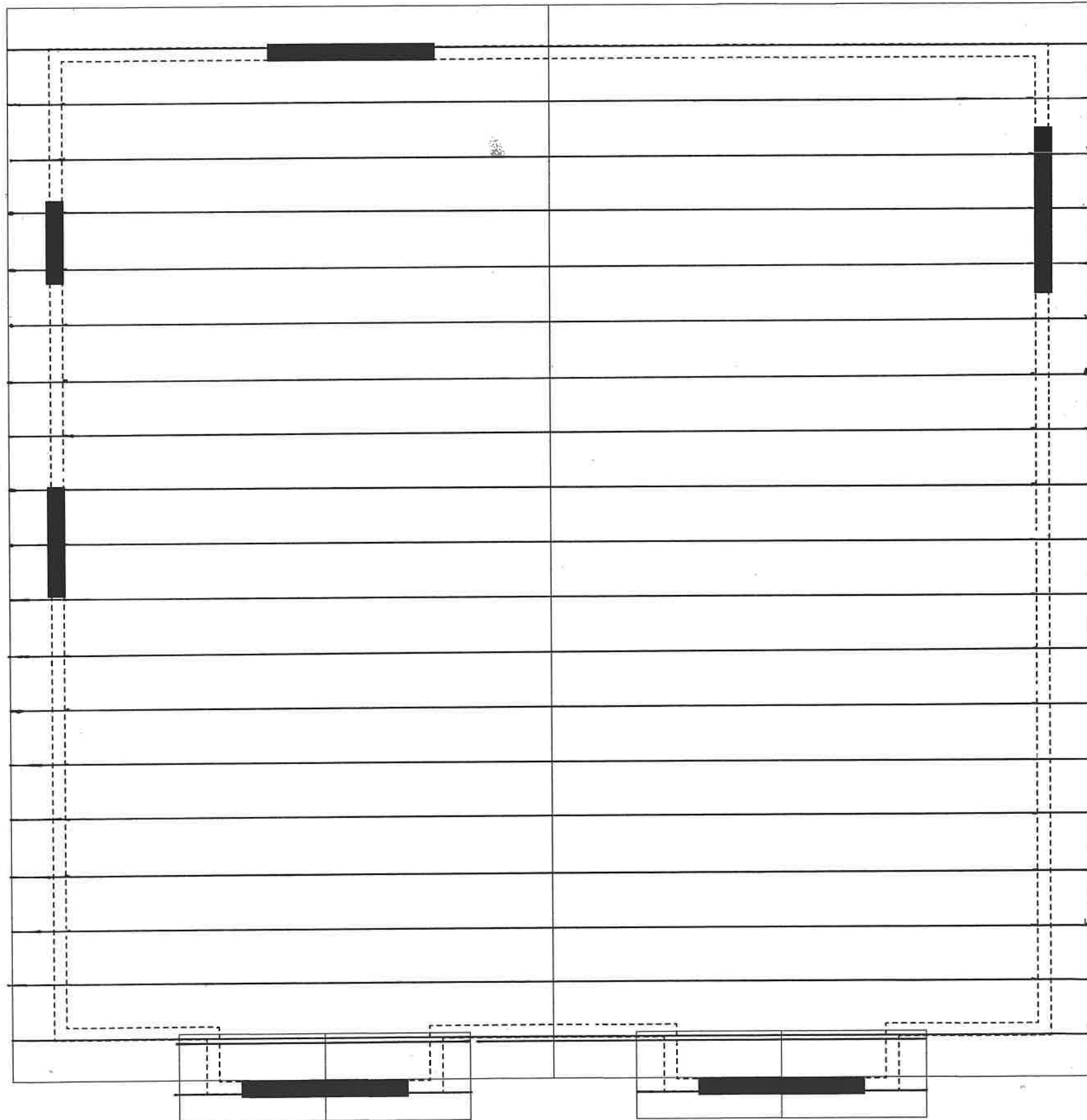
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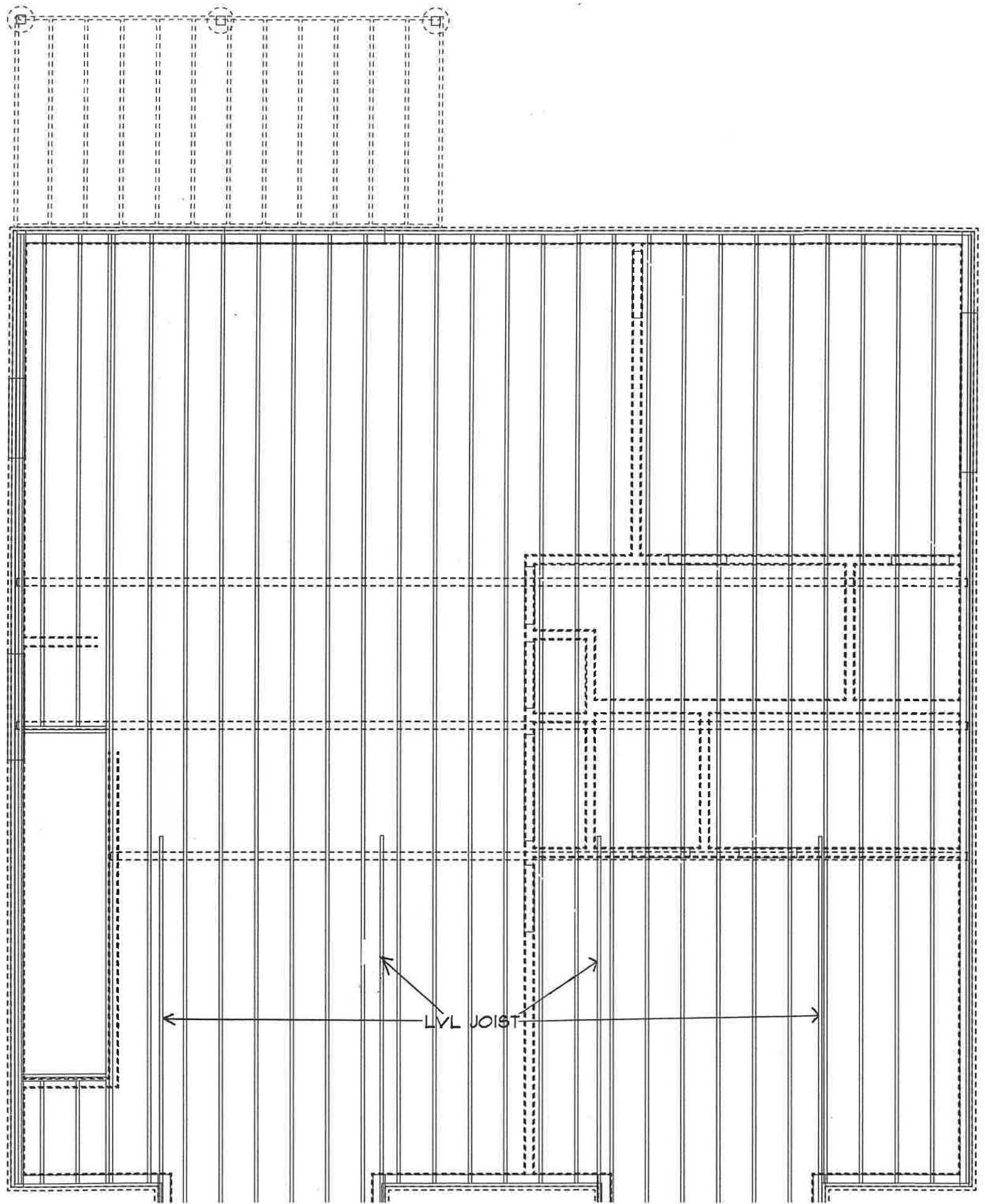
upper level
 floor plan

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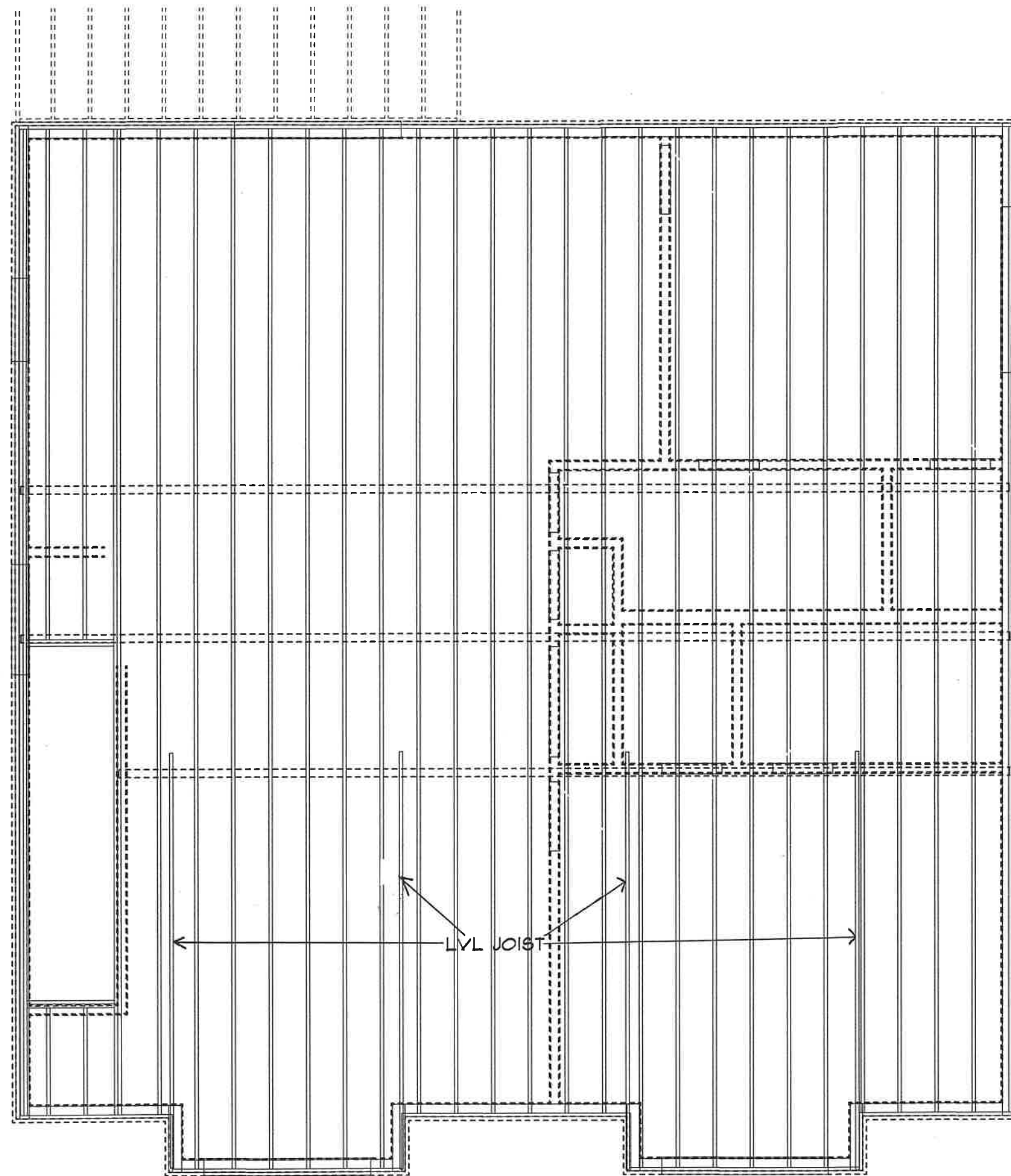


ROOF FRAMING

514 Kearney Ave. South
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719-650-7185



514 Kearney Ave. South
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James Wooldridge
719 450 7125



floor framing

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RESIDENTIAL

2017 PPRBC

Resubmittals: 1st _____ 2nd _____ 3rd _____



Parcel: 6504204063

Address: 514 S KEARNEY AVE, COLORADO SPRINGS

Plan Track #: 121297  Received: 02-Oct-2019 (RITA)

Description:

RESIDENCE

Contractor: PBP CONSTRUCTION

Permit # _____ Zone: RS-6000 EL PASO COUNTY

APPROVED FOR CONSTRUCTION

Date _____ By _____

Type of Unit:

Garage	429	
Main Level	867	
Upper Level 1	1296	
	2592	Total Square Feet

Plan-check Fee: \$156.75 (1634430)

Required PPRBD Departments (4)

	App	Dis	N/A	By
Enumeration	[]	[]	[]	_____
Floodplain	[]	[]	[X]	<u>RBD GIS</u>
Construction	[]	[]	[]	_____
Mechanical	[]	[]	[]	_____

Required Outside Departments (1)

County Zoning	[]	[]	[]	_____
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.

10-01-2019
 APPLICANT STATED
 ADDITIONAL ARCHITECTURAL
 DRWG'S NEEDED TO BE
 ADDED TO PLAN SET.
 DO NOT WALK PLAN SET TO
 PPRBD FOR REVIEW/
 APPROVAL.
 PER P. RANGEL W/EP/POD
 SITE PLAN REVIEW APPROVAL
 DONE AFTER PPRBD'S REVIEW