

WINDERMERE FILING NO. 2 SITE DEVELOPMENT PLAN 7653 MARDALE LN. TRACT B, WINDERMERE FILING NO. 1 COUNTY OF EL PASO, STATE OF COLORADO

GENERAL NOTES

1. THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.
2. THE OWNER AGREES ON BEHALF OF HIM/HERSELF AND ANY DEVELOPER OR BUILDER SUCCESSORS AND ASSIGNEES THAT SUBDIVIDER AND/OR SAID SUCCESSORS AND ASSIGNS SHALL BE REQUIRED TO PAY TRAFFIC IMPACT FEES IN ACCORDANCE WITH THE EL PASO COUNTY ROAD IMPACT FEE PROGRAM RESOLUTION (RESOLUTION NO. 19-471), OR ANY AMENDMENTS THERETO, AT OR PRIOR TO THE TIME OF BUILDING PERMIT SUBMITTALS. THE FEE OBLIGATION, IF NOT PAID AT FINAL PLAT RECORDING, SHALL BE DOCUMENTED ON ALL SALES DOCUMENTS AND ON PLAT NOTES TO ENSURE THAT A TITLE SEARCH WOULD FIND THE FEE OBLIGATION BEFORE SALE OF THE PROPERTY.

SITE DATA

PROPOSED ZONING CLASSIFICATION:	RESIDENTIAL MULTI-DWELLING (RM-30)
CURRENT LAND USE:	VACANT
JURISDICTION:	EL PASO COUNTY
TAX SCHEDULE NO.:	53294-16-011
MINIMUM SETBACKS:	25' FRONT SETBACK 15' REAR SETBACK 15' SIDE SETBACK
MAXIMUM BUILDING HEIGHT:	40 FT
MIN. LOT SIZE:	5,000 SF
WIDTH AT FRONT SETBACK LINE:	75 FT
MAX LOT COVERAGE:	60%
MAXIMUM DENSITY:	30 DU/AC
OPEN SPACE:	2.88 ACRES
IMPERMEABLE SURFACE:	1.58 ACRES
LOT AREA COVERAGE:	3.19 ACRES
EXISTING/PROPOSED ZONE:	RM-30
EXISTING/PROPOSED LAND USE:	VACANT/RESIDENTIAL
TOTAL GROSS BUILDING SQUARE FOOTAGE:	131,987 SF
DWELLING UNITS (DU):	104 DU
DENSITY:	12 DU/ACRE
PARKING REQUIRED:	2 SPACES/DU & 1 GUEST SPACE/4 UNITS
PARKING PROVIDED:	246 SPACES

LAND AREA

TOTAL PROPERTY AREA: ±9.13 ACRES

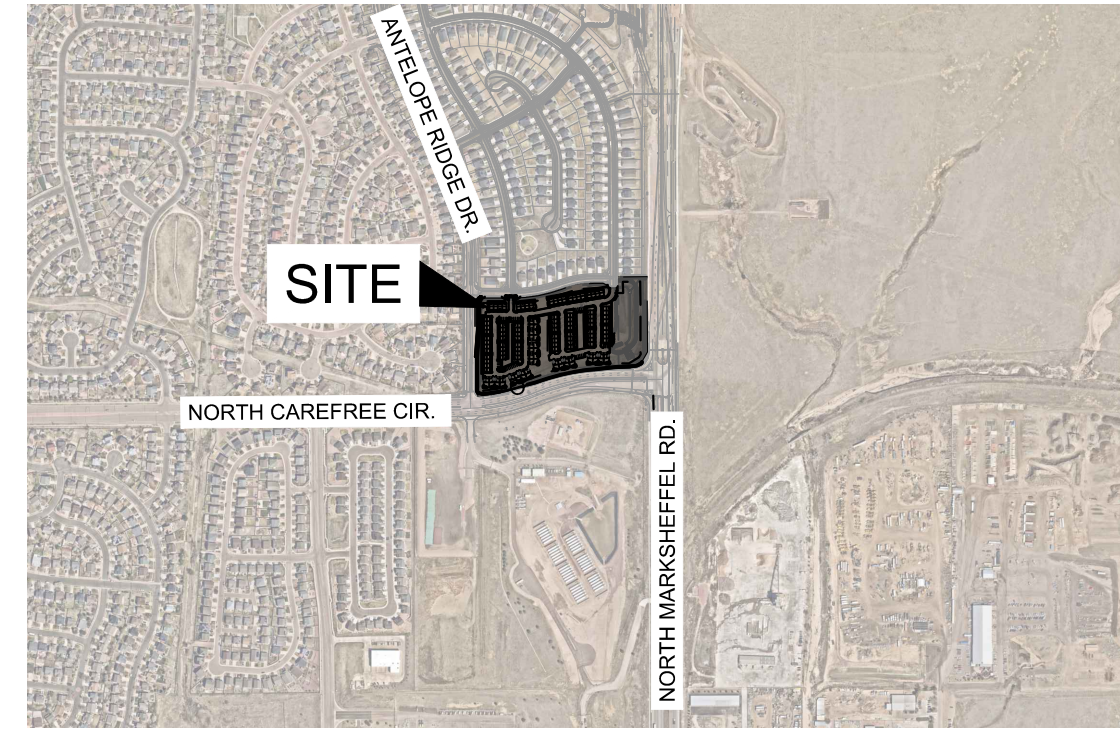
GEOLOGICAL HAZARDS NOTE:

A "SOILS AND GEOLOGY STUDY" WAS PREPARED BY ROCKY MOUNTAIN GROUP, DATED JANUARY 18, 2021. THE FOLLOWING SECTIONS PRESENT GEOLOGIC CONSTRAINTS THAT HAVE BEEN IDENTIFIED ON THE PROPERTY:

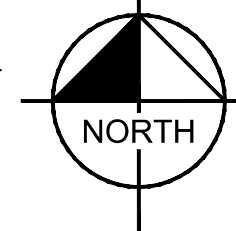
- EXPANSIVE SOILS AND BEDROCK
- COMPRESSIBLE SOILS
- HARD BEDROCK
- FLOODPLAIN AND DRAINAGE AREAS
- CORROSIVE MINERALS
- FILL SOILS
- PROPOSED GRADING, EROSION CONTROL, CUTS AND MASSES OF FILL
- RADON

PER "SOILS AND GEOLOGY STUDY":

IT IS OUR OPINION THE EXISTING GEOLOGIC AND ENGINEERING GEOLOGIC CONDITIONS WILL LIKELY IMPOSE SOME LIMITATIONS ON THE PROPOSED DEVELOPMENT AND CONSTRUCTION, THE MOST SIGNIFICANT CONDITIONS AFFECTING DEVELOPMENT WILL BE THE HARD SANDSTONE BEDROCK AND POTENTIALLY SHALLOW GROUNDWATER. HOWEVER, IT IS OUR OPINION THAT ALL OF THE IDENTIFIED CONDITIONS CAN BE MITIGATED WITH AVOIDANCE OR PROPER ENGINEERING DESIGN AND CONSTRUCTION PRACTICES.



VICINITY MAP
1" = 1000'



CONTACTS:

OWNER:
COLO WINDERMERE #2, LLC
4164 AUSTIN BLUFFS PKWY. #361
COLORADO SPRINGS, CO 80918
TEL: (719) 499-6136
EMAIL: TODD@WINDSORRIDGEHOMES.COM
CONTACT: JAMES TODD STEPHENS

SURVEYOR:
DREXEL, BARRELL & CO.
3 SOUTH 7TH STREET
COLORADO SPRINGS, CO 80905
TEL: (719) 260-0887
CONTACT: JOHN C. DAY, P.L.S.

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: NOAH BREHMER, P.E.

EL PASO COUNTY:
EL PASO COUNTY
DEVELOPMENT SERVICES DEPARTMENT
2880 INTERNATIONAL CIRCLE, SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: (719) 520-3600

PLANNER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JIM HOUK

PRELIMINARY CONSTRUCTION PLANS	
SHEET NUMBER	SHEET TITLE
1	COVER SHEET
2	SITE MAP
3	PRELIMINARY SITE PLAN
4	PRELIMINARY GRADING AND DRAINAGE PLAN
5	PRELIMINARY UTILITY PLAN
6	TRACT PLAN
7	PRELIMINARY LANDSCAPE PLAN
8	PRELIMINARY LANDSCAPE PLAN
9	PRELIMINARY LANDSCAPE PLAN
10	PRELIMINARY LANDSCAPE PLAN
11	PRELIMINARY LANDSCAPE PLAN
12	PRELIMINARY LANDSCAPE PLAN
13	LANDSCAPE NOTES
14	LANDSCAPE DETAILS
15	LANDSCAPE DETAILS

LEGAL DESCRIPTION

TRACT B, WINDERMERE FILING NO. 1

SOIL TYPE:

±100% OF THE SOILS ON SITE ARE CLASSIFIED AS HYDROLOGIC SOIL GROUP 'A'

FEMA CLASSIFICATION:

THE PROPOSED PROJECT SITE IS LOCATED IN ZONE X, AN "AREA OF MINIMAL FLOOD HAZARD", FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP (FIRM), PANEL #08041C0543G EFFECTIVE DATE DECEMBER 7, 2018.

NO.	REVISION	BY	DATE	APPR

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2024 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: NMB
DRAWN BY: DPM
CHECKED BY: NMB
DATE: 11/04/2024

WINDERMERE FILING NO. 2
SITE DEVELOPMENT PLAN
COVER SHEET

EL PASO COUNTY PCD APPROVAL:

MEGGAN HERINGTON, EXECUTIVE DIRECTOR
PLANNING AND COMMUNITY DEVELOPMENT

DATE _____



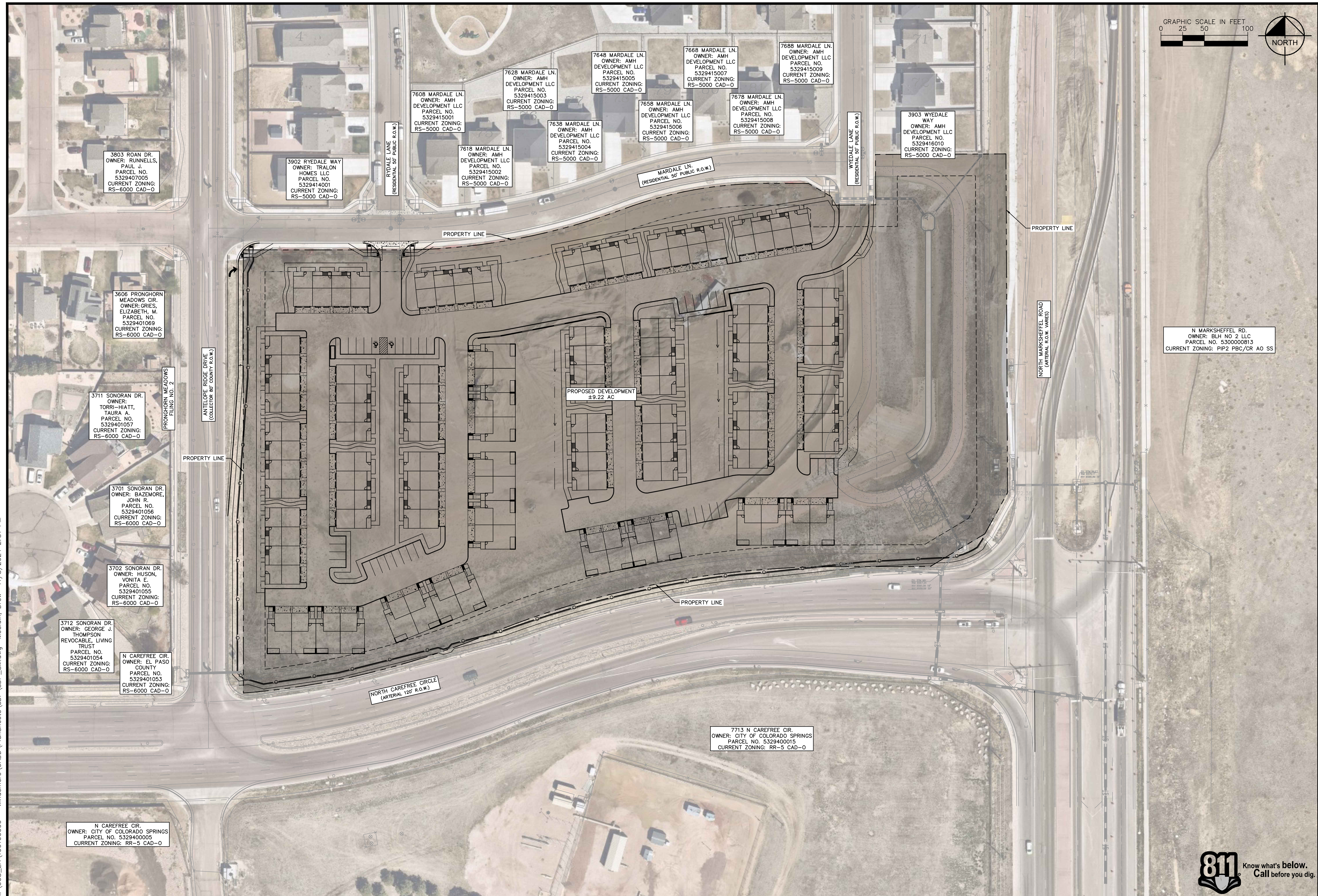
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PROJECT NO.
196160000

SHEET
1

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N MARKSHEFFEL RD.
 OWNER: BLH NO 2 LLC
 PARCEL NO. 5300000813
 CURRENT ZONING: PIP2 PBC/CR AO SS

N CAREFREE CIR.
 OWNER: CITY OF COLORADO SPRINGS
 PARCEL NO. 5329400005
 CURRENT ZONING: RR-5 CAD-O

3712 SONORAN DR.
 OWNER: GEORGE J. THOMPSON REVOCABLE LIVING TRUST
 PARCEL NO. 5329401054
 CURRENT ZONING: RS-6000 CAD-O

3702 SONORAN DR.
 OWNER: HUSON, VONITA E.
 PARCEL NO. 5329401055
 CURRENT ZONING: RS-6000 CAD-O

3701 SONORAN DR.
 OWNER: BAZEMORE, JOHN R.
 PARCEL NO. 5329401056
 CURRENT ZONING: RS-6000 CAD-O

3711 SONORAN DR.
 OWNER: TORRI-HIATT, TAURA A.
 PARCEL NO. 5329401057
 CURRENT ZONING: RS-6000 CAD-O

3606 PRONGHORN MEADOWS CIR.
 OWNER: GRIES, ELIZABETH M.
 PARCEL NO. 5329401068
 CURRENT ZONING: RS-6000 CAD-O

3803 ROAN DR.
 OWNER: RUNNELLS, PAUL J.
 PARCEL NO. 5329407005
 CURRENT ZONING: RS-6000 CAD-O

3902 RYEDALE WAY
 OWNER: TRALON HOMES LLC
 PARCEL NO. 5329414001
 CURRENT ZONING: RS-5000 CAD-O

7608 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415001
 CURRENT ZONING: RS-5000 CAD-O

7628 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415003
 CURRENT ZONING: RS-5000 CAD-O

7648 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415005
 CURRENT ZONING: RS-5000 CAD-O

7668 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415007
 CURRENT ZONING: RS-5000 CAD-O

7688 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415009
 CURRENT ZONING: RS-5000 CAD-O

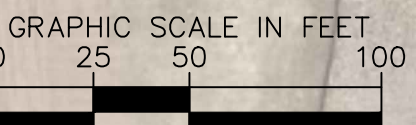
7638 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415004
 CURRENT ZONING: RS-5000 CAD-O

7658 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415006
 CURRENT ZONING: RS-5000 CAD-O

7678 MARDALE LN.
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329415008
 CURRENT ZONING: RS-5000 CAD-O

3903 WYEDALE WAY
 OWNER: AMH DEVELOPMENT LLC
 PARCEL NO. 5329416010
 CURRENT ZONING: RS-5000 CAD-O

7713 N CAREFREE CIR.
 OWNER: CITY OF COLORADO SPRINGS
 PARCEL NO. 5329400015
 CURRENT ZONING: RR-5 CAD-O



Kimley»Horn

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DESIGNED BY: NMB
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 CHECKED BY: NMB
 DATE: 11/04/2024

WINDERMERE FILING NO. 2
 SITE DEVELOPMENT PLAN
 SITE MAP

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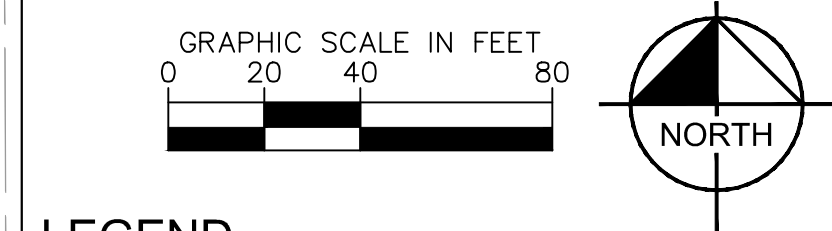
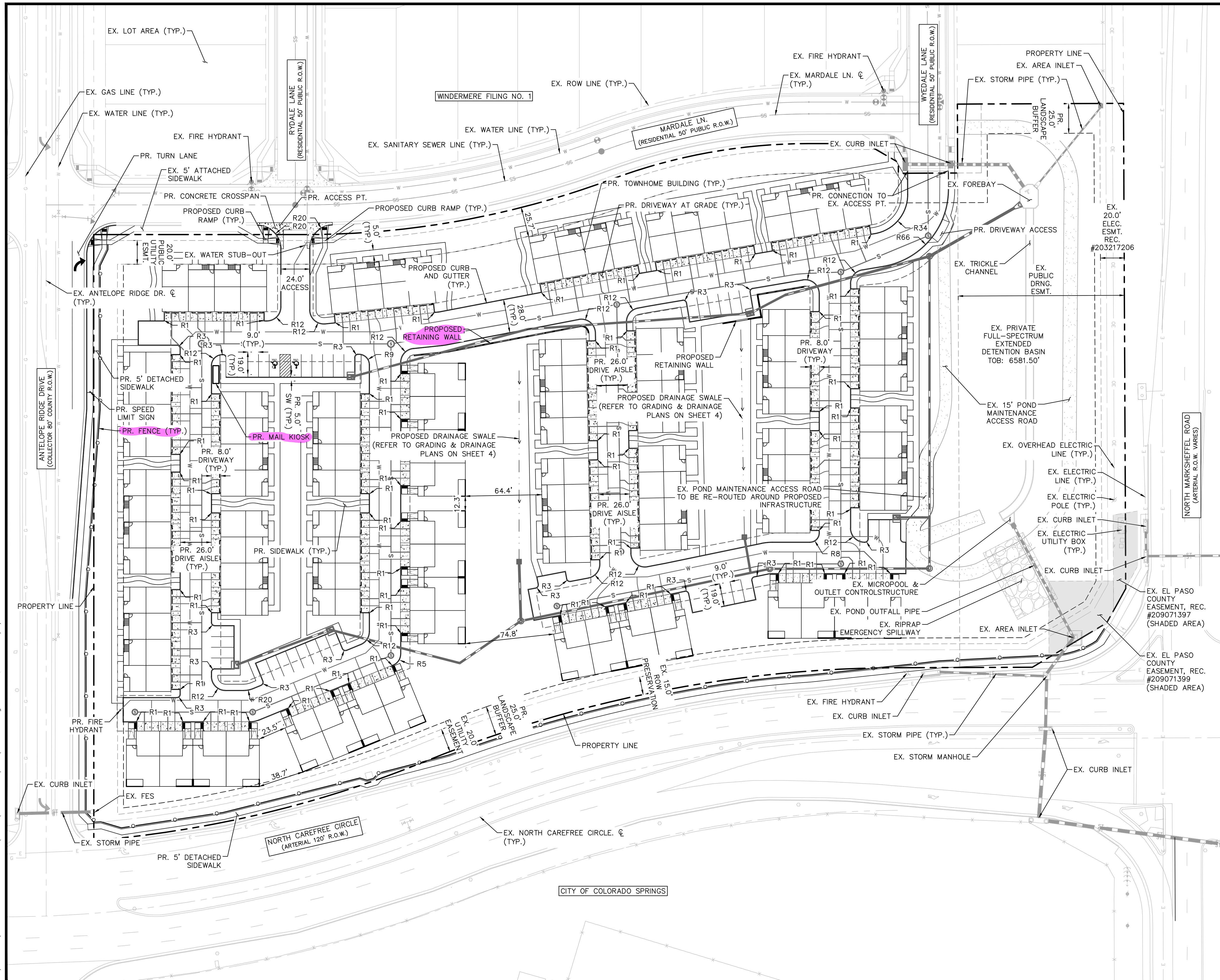
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- LEGEND**
- PROPERTY LINE
 - EXISTING WATER LINE
 - EXISTING GAS LINE
 - EXISTING OVERHEAD ELECTRIC
 - EXISTING ELECTRIC UTILITY
 - EXISTING SANITARY SEWER
 - EXISTING STORM PIPE
 - PROPOSED WATER LINE
 - PROPOSED SANITARY SEWER
 - PROPOSED STORM PIPE
 - PROPOSED DRAINAGE SWALE
 - PROPOSED FENCE
 - EXISTING POND MAINTENANCE ACCESS ROAD
 - PROPOSED POND MAINTENANCE ACCESS ROAD
 - EXISTING SPILLWAY/RIPRAP
 - PROPOSED CONCRETE
 - PROPOSED LANDSCAPING

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WINDERMERE FILING NO. 2
 SITE DEVELOPMENT PLAN
 PRELIMINARY SITE PLAN

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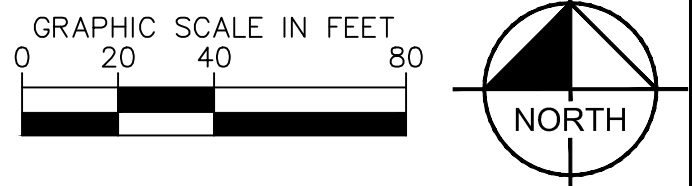
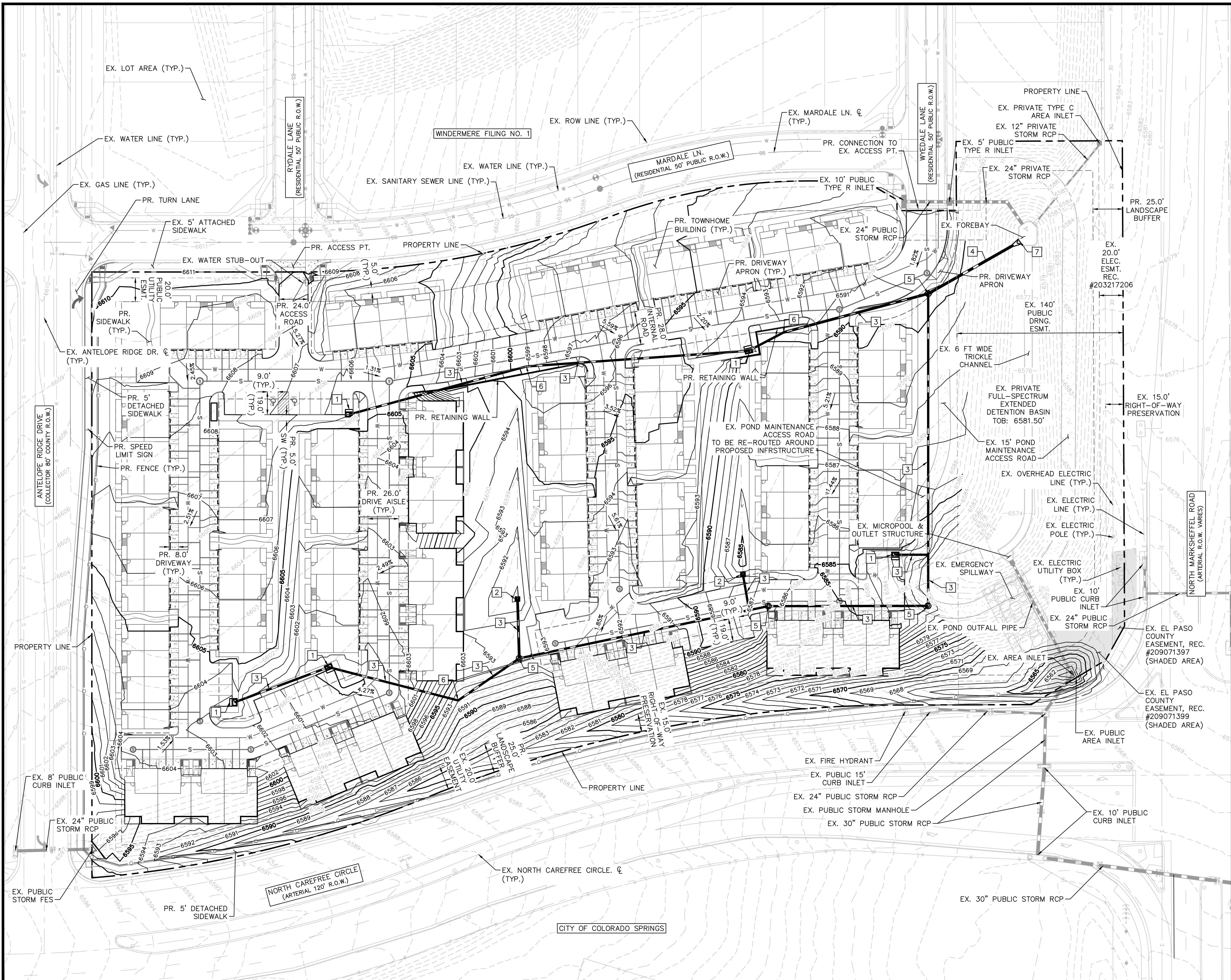
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- LEGEND**
- PROPERTY LINE
 - W — EXISTING WATER LINE
 - G — EXISTING GAS LINE
 - OE — EXISTING OVERHEAD ELECTRIC
 - E — EXISTING ELECTRIC UTILITY
 - SS — EXISTING SANITARY SEWER
 - EXISTING STORM PIPE
 - W — PROPOSED WATER LINE
 - S — PROPOSED SANITARY SEWER
 - PROPOSED STORM PIPE
 - — PROPOSED DRAINAGE SWALE FLOW DIRECTION
 - — PROPOSED FENCE
 - — EXISTING POND MAINTENANCE ACCESS ROAD
 - — PROPOSED POND MAINTENANCE ACCESS ROAD
 - ▨ — EXISTING SPILLWAY/RIPRAP
 - ▨ — PROPOSED CONCRETE
 - ▨ — PROPOSED LANDSCAPING
 - - - - - EXISTING MAJOR CONTOUR
 - - - - - EXISTING MINOR CONTOUR
 - XXXX — PROPOSED MAJOR CONTOUR
 - XXXX — PROPOSED MINOR CONTOUR

- KEY NOTES - PROPOSED**
- 1 PROPOSED PRIVATE 5' CDOT TYPE-R CURB INLET
 - 2 PROPOSED PRIVATE CDOT TYPE-C AREA INLET
 - 3 PROPOSED PRIVATE 18" STORM PIPE
 - 4 PROPOSED PRIVATE 24" STORM PIPE
 - 5 PROPOSED PRIVATE 5' DIA. STORM MANHOLE
 - 6 PROPOSED PRIVATE STORM BEND
 - 7 PROPOSED PRIVATE STORM FES

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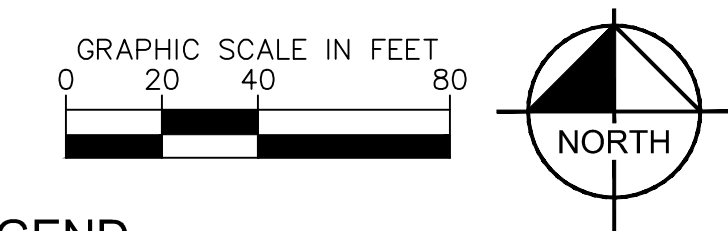
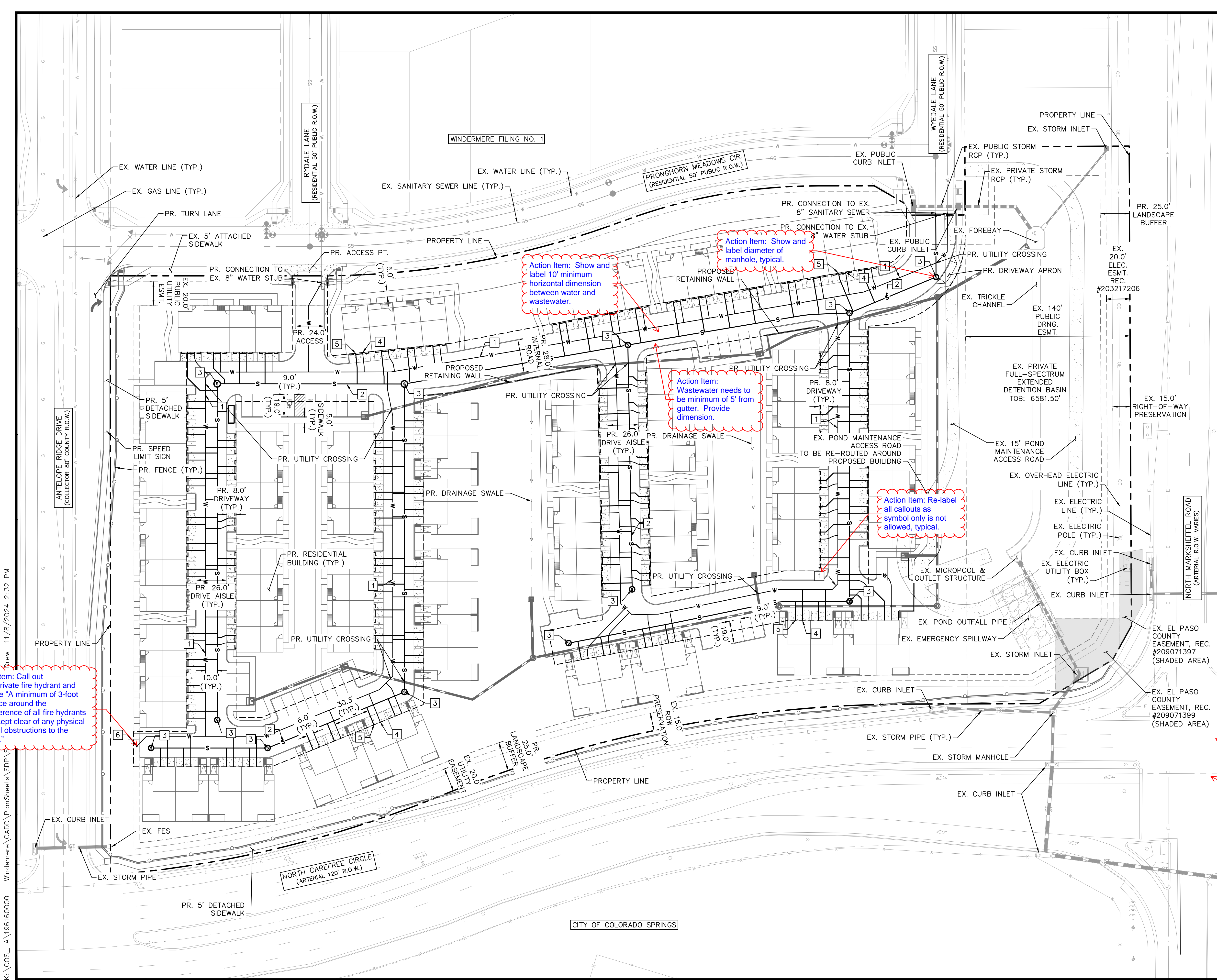
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WINDERMERE FILING NO. 2
 SITE DEVELOPMENT PLAN
 PRELIMINARY GRADING AND DRAINAGE PLAN

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LEGEND

---	PROPERTY LINE
W	EXISTING WATER LINE
G	EXISTING GAS LINE
OE	EXISTING OVERHEAD ELECTRIC
E	EXISTING ELECTRIC UTILITY
SS	EXISTING SANITARY SEWER
---	EXISTING STORM PIPE
W	PROPOSED WATER LINE
S	PROPOSED SANITARY SEWER
---	PROPOSED STORM PIPE
---	PROPOSED DRAINAGE SWALE
---	PROPOSED FLOW DIRECTION
O	PROPOSED FENCE
---	EXISTING POND MAINTENANCE ACCESS ROAD
---	PROPOSED POND MAINTENANCE ACCESS ROAD
---	EXISTING SPILLWAY/RIPRAP
---	PROPOSED CONCRETE
---	PROPOSED LANDSCAPING

KEY NOTES

- PROPOSED PUBLIC 8" PVC WATER MAIN
- PROPOSED PUBLIC 8" PVC SANITARY SEWER MAIN
- PROPOSED PUBLIC 5' DIA. SANITARY SEWER MANHOLE
- PROPOSED PRIVATE WATER SERVICE, TYP.
- PROPOSED PRIVATE SANITARY SEWER SERVICE, TYP.
- PROPOSED FIRE HYDRANT

Action Item: Call out public/private fire hydrant and add note "A minimum of 3-foot clearance around the circumference of all fire hydrants will be kept clear of any physical or visual obstructions to the hydrant."

Action Item: Show and label 10' minimum horizontal dimension between water and wastewater.

Action Item: Show and label diameter of manhole, typical.

Action Item: Wastewater needs to be minimum of 5' from gutter. Provide dimension.

Action Item: Re-label all callouts as symbol only is not allowed, typical.

CSU staff reserves the right to add new comments on subsequent submittals.

Add Informational Items.....!!!!

Action Item: Show and label all proposed utility service lines with diameter, material, and either Public and/or private.

Action Item: Submit "Hydraulic Grade Line" and "Wastewater Master Facilities" forms; see the following links:
<https://www.csu.org/Documents/HydraulicGradeLineRequest.pdf>
<https://www.csu.org/Documents/WastewaterMasterFacilitiesForm.pdf>

Action Item: Gas and electric meter locations on plan view and building elevations must be shown and labeled.

Action Item: Show and label all proposed public/private fire hydrants.

Action Item: Show and label all proposed trash enclosures.

Action Item: Re-label as "Preliminary Utility and Public Facilities Plan"

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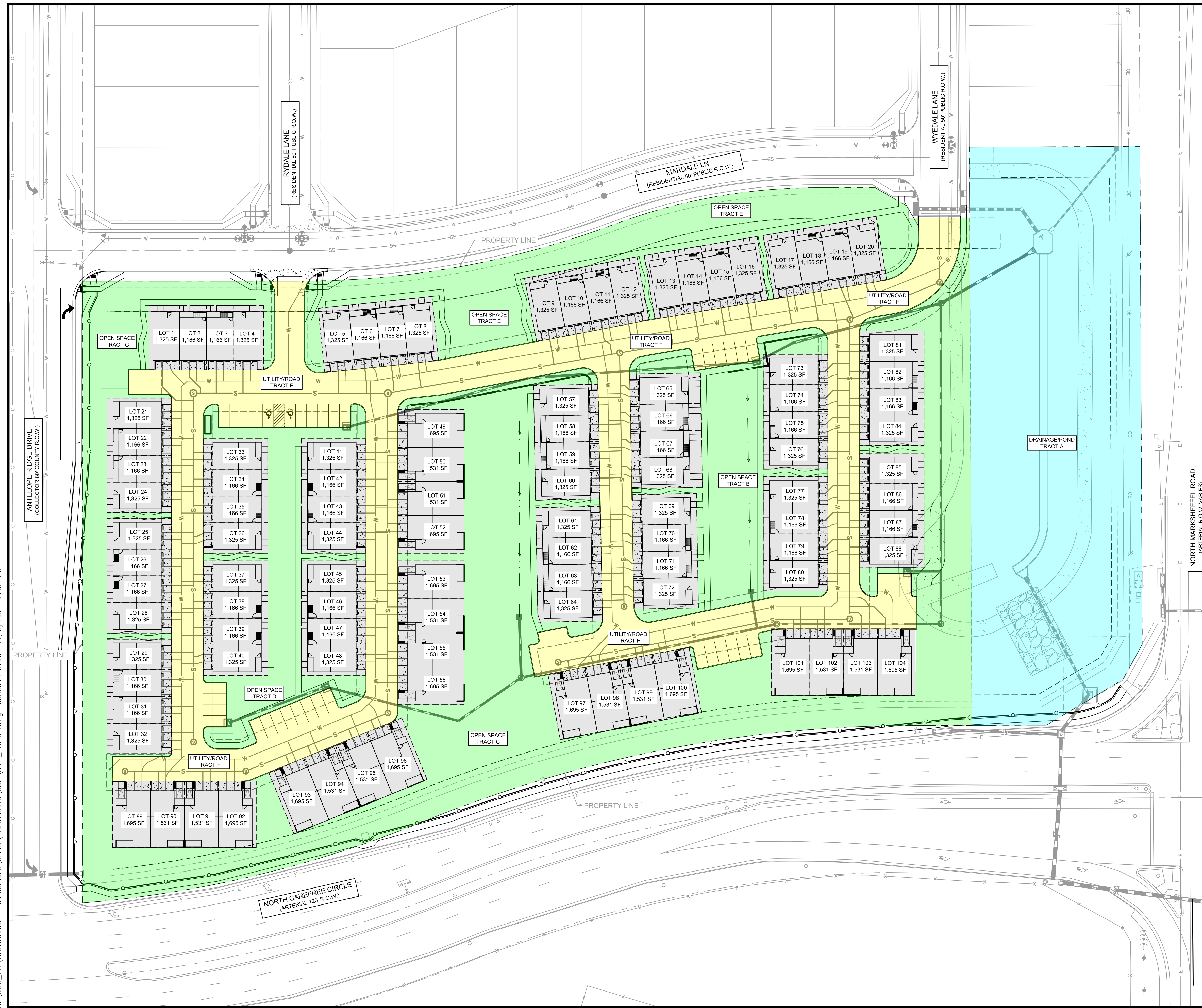
WINDERMERE FILING NO. 2
 SITE DEVELOPMENT PLAN
 PRELIMINARY UTILITY PLAN

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LEGEND

- PROPERTY LINE
- DRAINAGE/POND TRACT
- OPEN SPACE TRACT
- ROADWAY/UTILITY TRACT
- LOT TRACT

TRACT TABLE

TRACT	DESCRIPTION	SIZE (AC)
A	DRAINAGE/POND	1.48 AC
B	OPEN SPACE	0.31 AC
C	OPEN SPACE	1.84 AC
D	OPEN SPACE	0.27 AC
E	OPEN SPACE	0.46 AC
F	UTILITY/ROAD	1.58 AC
LOT	PROPOSED LOTS	3.19 AC
TOTAL		9.13 AC

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WINDERMERE FILING NO. 2
 SITE DEVELOPMENT PLAN
 TRACT PLAN

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