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STANDARD NOTES FOR EL PASO COUNTY:

1. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE WATERS, INCLUDING WETLANDS.
2. NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED IN WRITING.
3. A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. MANAGEMENT OF THE SWMP DURING CONSTRUCTION IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR. THE SWMP SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS IN THE FIELD.
4. ONCE THE ESQCP IS APPROVED AND A "NOTICE TO PROCEED" HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRE-CONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
5. CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT COULD CONTRIBUTE POLLUTANTS TO STORMWATER. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES AND DISTURBED LAND AREAS SHALL BE INSTALLED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
6. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES ARE NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN.
7. TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS.
8. FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLAN DENSITY OF 70% OF PRE-DISTURBED LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
9. ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DESIGNED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE DESIGN OR FUNCTION OF PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
10. EARTH DISTURBANCES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE UNLESS SHOWN TO BE INFEASIBLE AND SPECIFICALLY REQUESTED AND APPROVED.
11. COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED. IF COMPACTION PREVENTION IS NOT FEASIBLE DUE TO SITE CONSTRAINTS, ALL AREAS DESIGNATED FOR INFILTRATION AND VEGETATION CONTROL MEASURES MUST BE LOOSENEED PRIOR TO INSTALLATION OF THE CONTROL MEASURE(S).
12. ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
13. CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO ENTER STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUTS SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY, CREEK, OR STREAM.
14. DURING DEWATERING OPERATIONS OF UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT SHALL NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF UNLESS AN APPROVED STATE DEWATERING PERMIT IS IN PLACE.
15. EROSION CONTROL BLANKETING OR OTHER PROTECTIVE COVERING SHALL BE USED ON SLOPES STEEPER THAN 3:1.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
17. WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONTROL MEASURES MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
18. TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFF-SITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
19. THE OWNER/DEVELOPER SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, SOIL AND SAND THAT MAY ACCUMULATE IN ROADS, STORM DRAINS, AND OTHER DRAINAGE CONVEYANCE SYSTEMS AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
20. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
21. NO CHEMICAL(S) HAVING THE POTENTIAL TO BE RELEASED IN STORMWATER ARE TO BE STORED OR USED ONSITE UNLESS PERMISSION FOR THE USE OF SUCH CHEMICAL(S) IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING APPROVAL FOR THE USE OF SUCH CHEMICAL(S), SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
22. BULK STORAGE OF ALLOWED PETROLEUM PRODUCTS OR OTHER ALLOWED LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL REQUIRE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS ONSITE AND TO PREVENT ANY SPILLED MATERIALS FROM ENTERING STATE WATERS, ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR OTHER FACILITIES.
23. NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE CURB AND GUTTER OR DITCH EXCEPT WITH APPROVED SEDIMENT CONTROL MEASURES.
24. OWNER/DEVELOPER AND THEIR AGENTS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS OF THE LAND DEVELOPMENT CODE, DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (1041, NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND OTHER LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, LOCAL OR COUNTY AGENCIES, THE MOST RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
25. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE ONLY AT APPROVED CONSTRUCTION ACCESS POINTS.
26. PRIOR TO CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
27. A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND SHALL BE UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
28. THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY ENTECH ENGINEERING, INC. ON JANUARY 25, 2022, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
29. AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB ONE (1) ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
WQCD - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

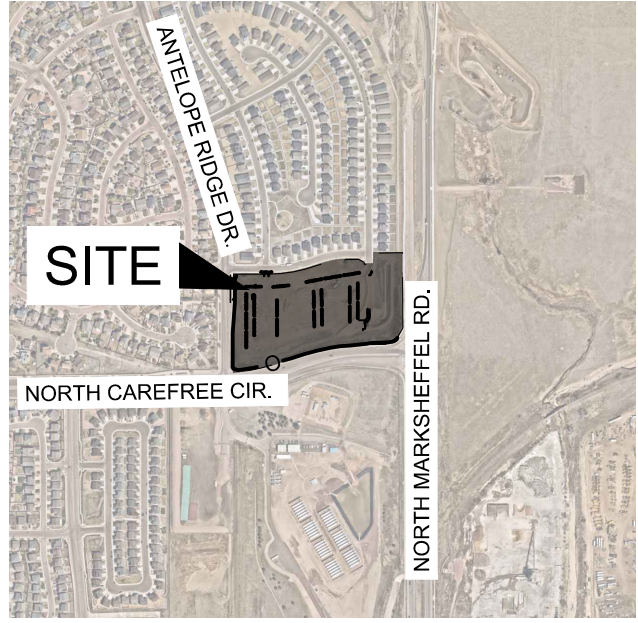
WINDERMERE FILING NO. 2

GRADING & EROSION CONTROL PLANS

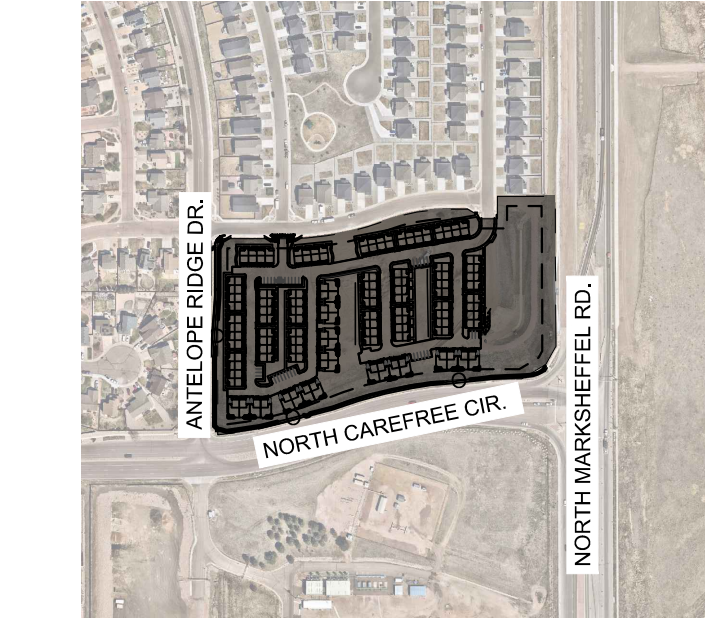
7653 MARDALE LN.

TRACT B, WINDERMERE FILING NO. 1

COUNTY OF EL PASO, STATE OF COLORADO



VICINITY MAP
1" = 1000'



PROJECT LAYOUT MAP
1" = 500'

DESIGN TEAM CONTACTS:

OWNER:
COLO WINDERMERE #2, LLC
4164 AUSTIN BLUFFS PKWY. #361
COLORADO SPRINGS, CO 80918
TEL: 719.200.9594
CONTACT: JAMES TODD STEPHENS

ENGINEER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: NOAH BREHMER, P.E.

SURVEYOR:
DREXEL, BARRELL & CO.
3 SOUTH 7TH STREET
COLORADO SPRINGS, CO 80905
TEL: (719) 260-0887
CONTACT: JOHN C. DAVY, P.L.S.

PLANNER:
KIMLEY-HORN AND ASSOCIATES, INC.
2 NEVADA NORTH AVE., SUITE 900
COLORADO SPRINGS, CO 80903
TEL: (719) 453-0180
CONTACT: JIM HOUK

AGENCY CONTACTS:

EL PASO COUNTY DEVELOPMENT
SERVICES DEPARTMENT:
2880 INTERNATIONAL CIRCLE
SUITE 110
COLORADO SPRINGS, CO 80910
PHONE: 719.520.3600

WATER & WASTEWATER:
CHEROKEE METROPOLITAN DISTRICT
6250 PALMER PARK BLVD.
COLORADO SPRINGS, CO 80910
PHONE: 719.595.5080

| Sheet List Table | |
|------------------|-----------------|
| Sheet Number | Sheet Title |
| 1.0 | COVER SHEET |
| 2.0 | INITIAL PLAN |
| 3.0 | INTERIM PLAN |
| 4.0 | FINAL PLAN |
| 5.0 | CUT & FILL PLAN |
| 6.0 | GENERAL NOTES |
| 7.0 | DETAILS |
| 8.0 | DETAILS |
| 9.0 | DETAILS |
| 10.0 | DETAILS |
| 11.0 | DETAILS |

LIMITS OF CONSTRUCTION

ONSITE IMPROVEMENTS = ±7.79 ACRES
OFFSITE IMPROVEMENTS = ±0.00 ACRES
TOTAL = ±7.79 ACRES
TOTAL AREA OF LAND DISTURBANCE = ±7.79 ACRES

LEGAL DESCRIPTION:
TRACT B, WINDERMERE FILING NO. 1

LAND AREA:
TOTAL PROPERTY AREA: ±9.22 ACRES

FLOOD PLAIN NOTE:
THE PROPOSED PROJECT SITE IS LOCATED IN ZONE X, AN "AREA OF MINIMAL FLOOD HAZARD". FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP (FIRM), PANEL #08041C0543G EFFECTIVE DATE DECEMBER 7, 2018.

SOIL TYPE:
100% +/- TYPE "A" SOILS ARE FOUND ON SITE.

SCHEDULE:
ANTICIPATED START DATE: 2ND QUARTER OF 2025
ANTICIPATED END DATE: 1ST QUARTER OF 2026

RECEIVING WATER:
THIS SITE IS TRIBUTARY TO SAND CREEK DRAINAGE BASIN

OWNER'S SIGNATURE BLOCK

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME DATE

ENGINEER'S SIGNATURE BLOCK

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

NOAH BREHMER, P.E. - KIMLEY-HORN AND ASSOCIATES, INC. DATE

EL PASO COUNTY REVIEW STATEMENT

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTIONS DISCRETION.

JOSHUA PALMER, COUNTY ENGINEER/ ECM ADMINISTRATOR

DATE

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

DESIGNED BY: NMB
DRAWN BY: DPM
CHECKED BY: NMB
DATE: 11/07/2024

WINDERMERE FILING NO. 2
GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO
COVER SHEET

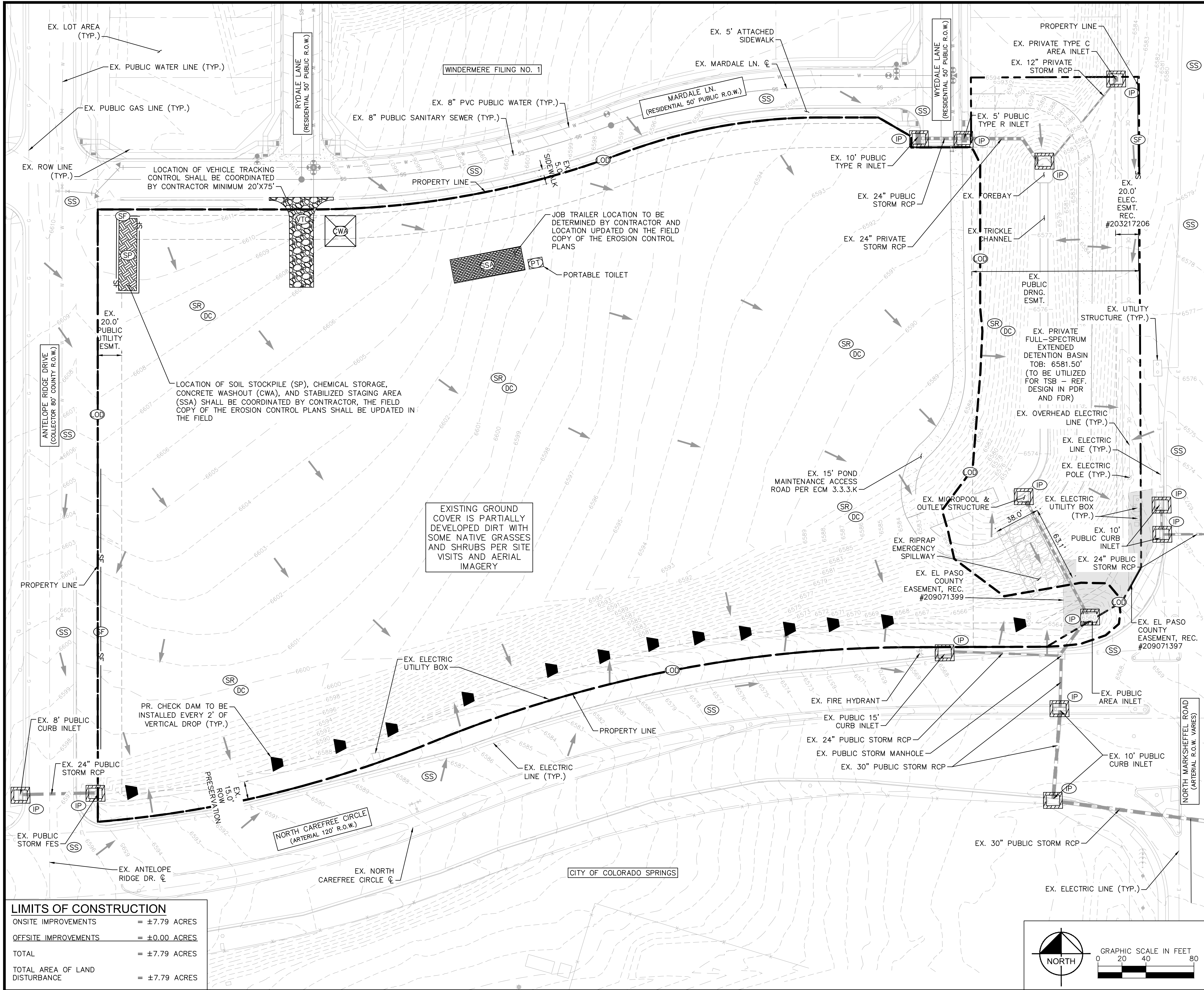
PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
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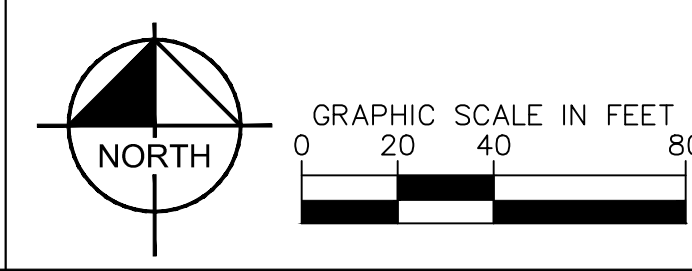
NO. REVISION BY DATE APPR



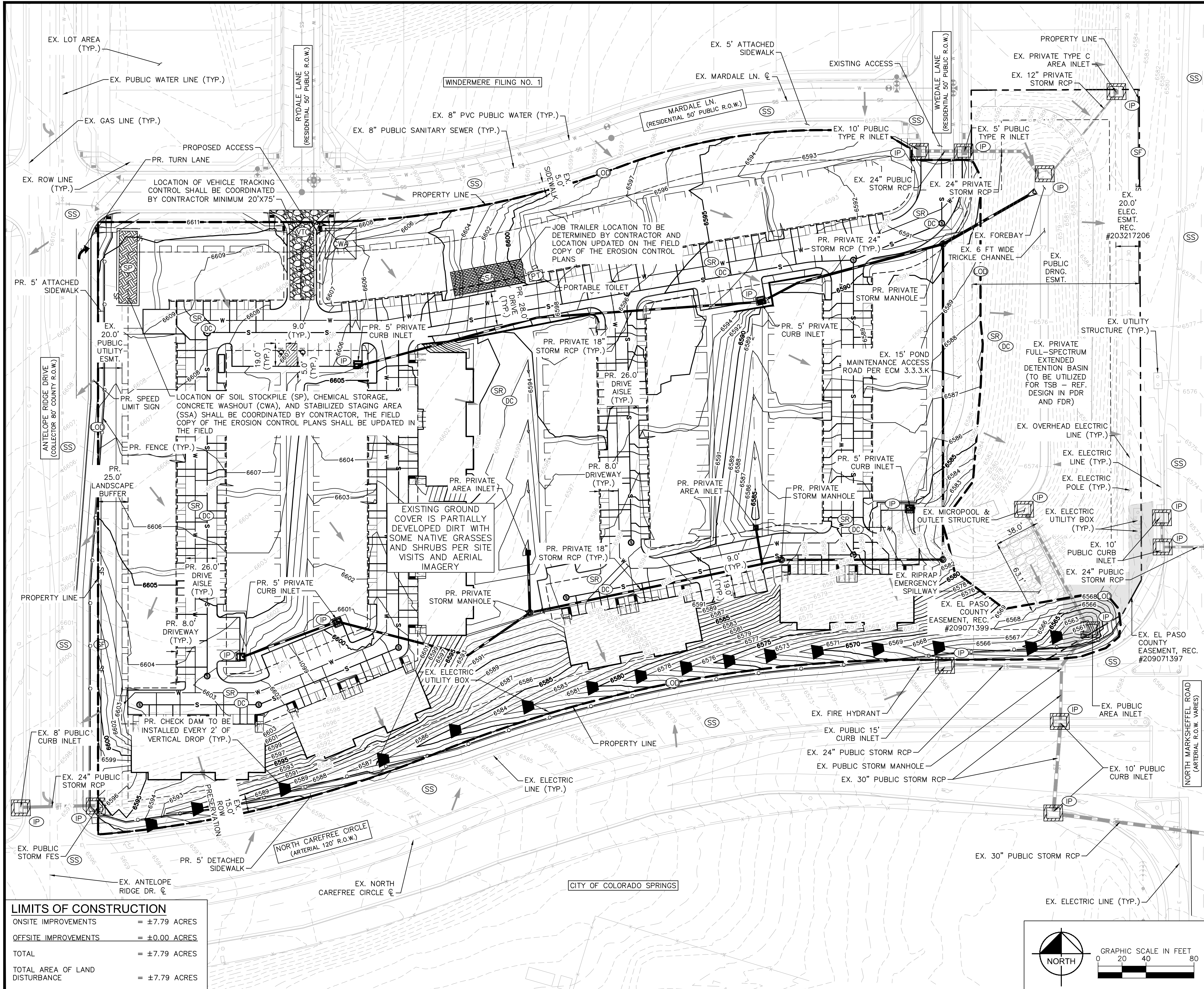
| LEGEND | |
|--------|--|
| | PROPERTY LINE |
| | EX. LOT LINE |
| | EX. EASEMENT LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | LIMITS OF CONSTRUCTION/DISTURBANCE |
| | SILT FENCE |
| | EXISTING SANITARY SEWER |
| | EXISTING WATER LINE |
| | EXISTING STORM SEWER PIPE |
| | EXISTING GAS LINE |
| | EXISTING OVERHEAD ELECTRIC LINE |
| | EXISTING UNDERGROUND ELECTRIC UTILITY |
| | SSA STABILIZED STAGING AREA |
| | CWA CONCRETE WASHOUT |
| | VTC VEHICLE TRACKING CONTROL |
| | SP SOIL STOCKPILE |
| | SR SURFACE ROUGHENING |
| | IP INLET PROTECTION |
| | EXISTING FLOW DIRECTION ARROW |
| | SS STREET SWEEPING AND VACUUMING PER UDFCD DETAIL SM-7 |
| | DC DUST CONTROL PER UDFCD DETAIL EC-14 |
| | EX. SPILLWAY/RIPRAP |

- ### NOTES
- THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
 - ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
 - TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
 - PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
 - CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
 - CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
 - ALL WORK IN THE NORTH CAREFREE CIRCLE/NORTH MARKSHEFFEL RD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
 - CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
 - SILT FENCE TO BE INSTALLED PRIOR TO COMMENCEMENT OF ONSITE GRADING AND CONSTRUCTION ACTIVITIES.
 - DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
 - CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
 - CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPs AS EXCAVATION SEQUENCING DICTATES.
 - CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL, AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
 - CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
 - SEE FINAL LANDSCAPING PLAN IN THE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.

| LIMITS OF CONSTRUCTION | |
|--------------------------------|---------------|
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| BY | DATE | APPROVED |
| NO. | REVISION | |
| Kimley»Horn | | |
| 2024 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue, Suite 900 Colorado Springs, Colorado 80903 (719) 453-0180 | | |
| DESIGNED BY: NMB DRAWN BY: DPM CHECKED BY: NMB DATE: 11/07/2024 | | |
| WINDERMERE FILING NO. 2 GRADING AND EROSION CONTROL PLANS EL PASO COUNTY, COLORADO INITIAL PLAN | | |
| PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION Kimley»Horn Kimley-Horn and Associates, Inc. | | |
| PROJECT NO. 196160000 | | |
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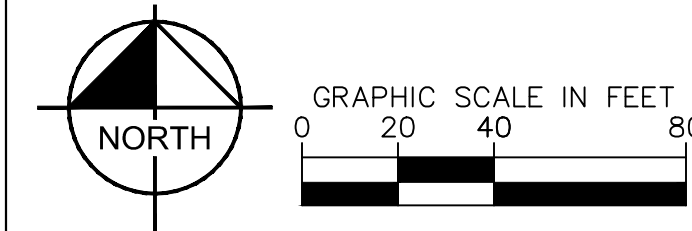
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| --- | SOIL STOCKPILE |
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- DEMOLITION, REMOVAL AND SOIL TREATMENT SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEER RECOMMENDATIONS AS NOTED IN THE APPROVED PROJECT GEOTECHNICAL REPORT.
- CONTRACTOR TO NOTE PROXIMITY OF EXISTING IMPROVEMENTS ADJACENT TO THE SITE AND PROVIDE NECESSARY MEASURES TO PROTECT ALL FACILITIES AND STRUCTURES IN PLACE.
- CONTRACTOR SHALL MAINTAIN STABILIZED STAGING AREA (SSA), VEHICLE TRACKING CONTROL (VTC), AND CONCRETE WASHOUT AREA (CWA) AT THE CONSTRUCTION ENTRANCE AT ALL TIMES. CONTRACTOR SHALL UPDATE THE EROSION CONTROL PLAN IN THE FIELD TO INDICATE THE LOCATION OF THE SSA, VTC, AND CWA BMPs AS EXCAVATION SEQUENCING DICTATES.
- CONTRACTOR MAY SUBSTITUTE SEDIMENT CONTROL LOGS (SCL) FOR SILT FENCE (SF) AS PERIMETER CONTROL, DEPENDING UPON SITE CONDITIONS. SCL AND SF MAY BE INTERCHANGED DEPENDING ON SITE CONDITIONS.
- CONTRACTOR SHALL OBTAIN R.O.W. PERMITS FOR ANY R.O.W. CLOSURES.
- SEE FINAL LANDSCAPING PLAN IN THE DEVELOPMENT PLAN FOR FINAL STABILIZATION MEASURES.

| LIMITS OF CONSTRUCTION | |
|-----------------------------------|---------------|
| ONSITE IMPROVEMENTS | = ±7.79 ACRES |
| OFFSITE IMPROVEMENTS | = ±0.00 ACRES |
| TOTAL | = ±7.79 ACRES |
| TOTAL AREA OF LAND DISTURBANCE | = ±7.79 ACRES |



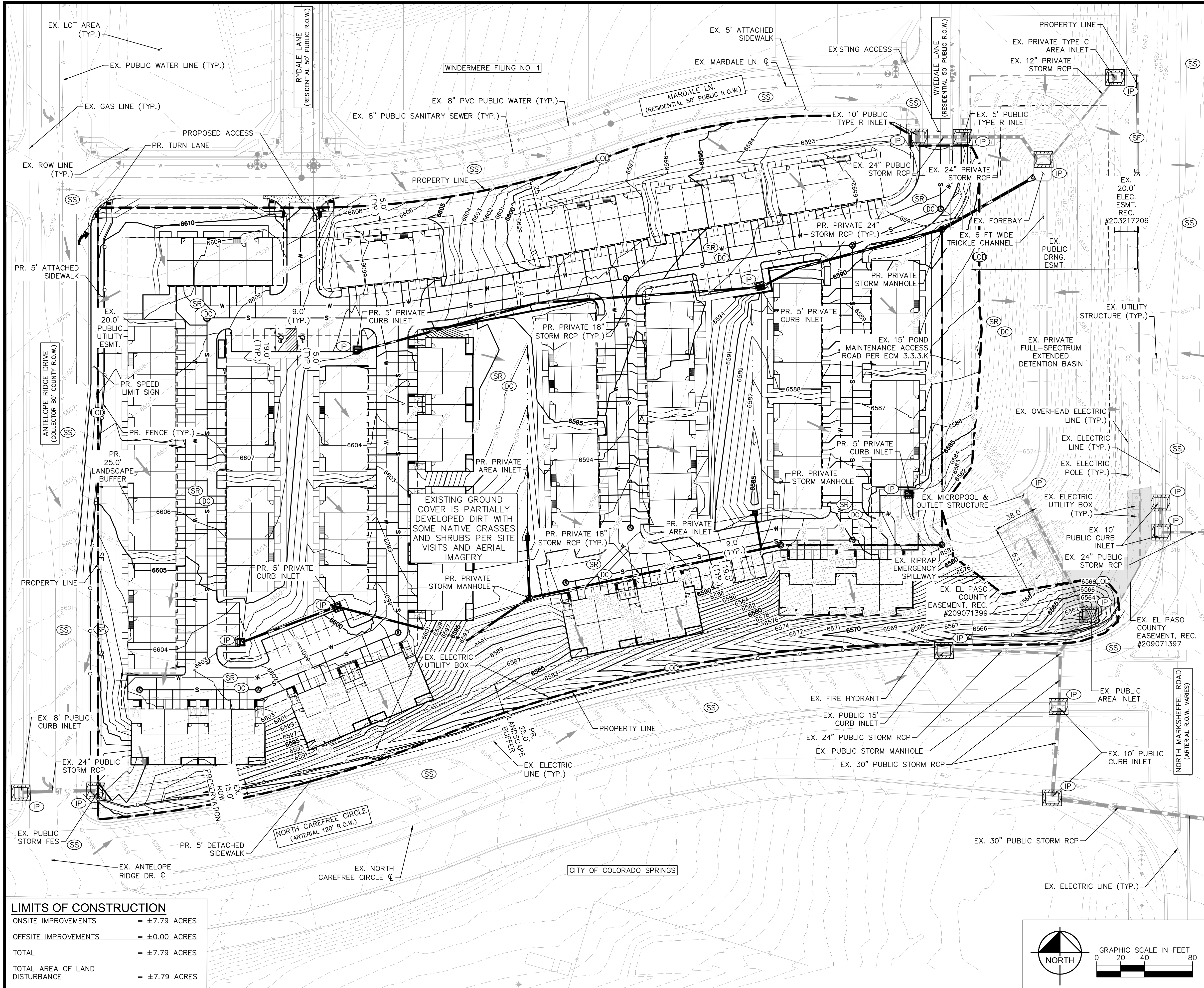
Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

WINDERMERE FILING NO. 2
GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO
INTERIM PLAN

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

PROJECT NO.
196160000
SHEET
3.0



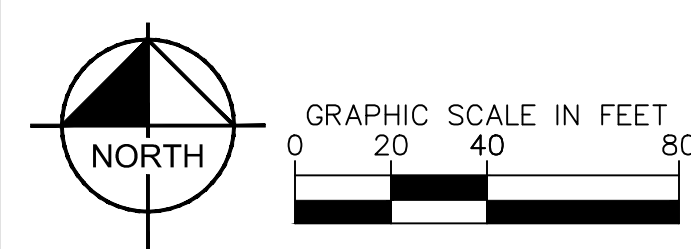
LEGEND

| | |
|---------|---|
| --- | PROPERTY LINE |
| - - - - | EX. LOT LINE |
| - - - - | EX. EASEMENT LINE |
| --- | EXISTING MAJOR CONTOUR |
| --- | EXISTING MINOR CONTOUR |
| --- | LIMITS OF CONSTRUCTION/ DISTURBANCE |
| --- | SILT FENCE |
| --- | EXISTING SANITARY SEWER |
| --- | EXISTING WATER LINE |
| --- | EXISTING STORM SEWER PIPE |
| --- | EXISTING GAS LINE |
| --- | EXISTING OVERHEAD ELECTRIC LINE |
| --- | EXISTING UNDERGROUND ELECTRIC UTILITY |
| --- | PR. STORM PIPE |
| --- | PR. WATER LINE |
| --- | PR. SANITARY SEWER LINE |
| --- | STABILIZED STAGING AREA |
| SSA | CONCRETE WASHOUT |
| CWA | VEHICLE TRACKING CONTROL |
| VTC | SOIL STOCKPILE |
| SF | SURFACE ROUGHENING |
| SR | INLET PROTECTION |
| IP | EXISTING FLOW DIRECTION ARROW |
| SS | PROPOSED FLOW DIRECTION ARROW |
| SS | STREET SWEEPING AND VACUUMING PER UDFCD DETAIL SM-7 |
| DC | DUST CONTROL PER UDFCD DETAIL EC-14 |
| SS | EX. SPILLWAY/RIPRAP |

NOTES

1. THE INTENT OF THIS PLAN IS TO IDENTIFY THE EROSION CONTROL PRACTICES RECOMMENDED. THE CONTRACTOR SHALL REFERENCE ADDITIONAL CONSTRUCTION PLANS FOR DEMOLITION OF EXISTING AND CONSTRUCTION OF PROPOSED IMPROVEMENTS.
2. ADJACENT STREETS AND SIDEWALK SHALL BE KEPT CLEAN AND FREE OF SEDIMENT AND/OR DEBRIS AT ALL TIMES. CONTRACTOR SHALL PERFORM STREET SWEEPING AT ALL TIMES DURING ACTIVE TRACKING AND AT A MINIMUM ON A DAILY BASIS AT THE END OF EACH CONSTRUCTION DAY.
3. TEMPORARY STABILIZATION (TS) SHALL BE IMPLEMENTED WITHIN THE DISTURBED PORTIONS OF THE PROJECT SITE NO LATER THAN 14 DAYS FOLLOWING THE CEASE OF CONSTRUCTION ACTIVITIES WITHIN THE DISTURBED AREAS.
4. PERMANENT STABILIZATION (PS) MAY BE USED WITHIN AREAS OF TEMPORARY STABILIZATION (TS) AT THE CONTRACTOR'S DISCRETION. STABILIZATION SHALL BE APPLIED IN ACCORDANCE WITH APPLICABLE TEMPORARY STABILIZATION SEQUENCING REQUIREMENTS.
5. CONTRACTOR SHALL UTILIZE ROLLED EROSION CONTROL PRODUCTS ON ALL SLOPES 3H:1V OR GREATER TO ACHIEVE REQUIRED STABILIZATION.
6. CONTRACTOR SHALL MAINTAIN ACCEPTABLE EROSION CONTROL PRACTICES WITHIN THE ANTICIPATED LIMITS OF CONSTRUCTION IDENTIFIED HEREIN. BEST MANAGEMENT PRACTICES AND STABILIZATION SHALL BE COMPLETED AS IDENTIFIED HEREIN IN ACCORDANCE WITH OWNER REQUIREMENTS.
7. ALL WORK IN THE NORTH CAREFREE CIRCLE/NORTH MARKSHEFFEL RD ROW REQUIRES A ROW PERMIT FROM COLORADO SPRINGS. CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY ROW PERMITS.
8. CONTRACTOR SHALL REFER TO THE APPROVED GEOTECHNICAL REPORT FOR OVEREXCAVATION REQUIREMENTS AND ADDITIONAL INFORMATION.
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Colorado Springs, Colorado 80909 (719) 453-0180

WINDERMERE FILING NO. 2
GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO
FINAL PLAN

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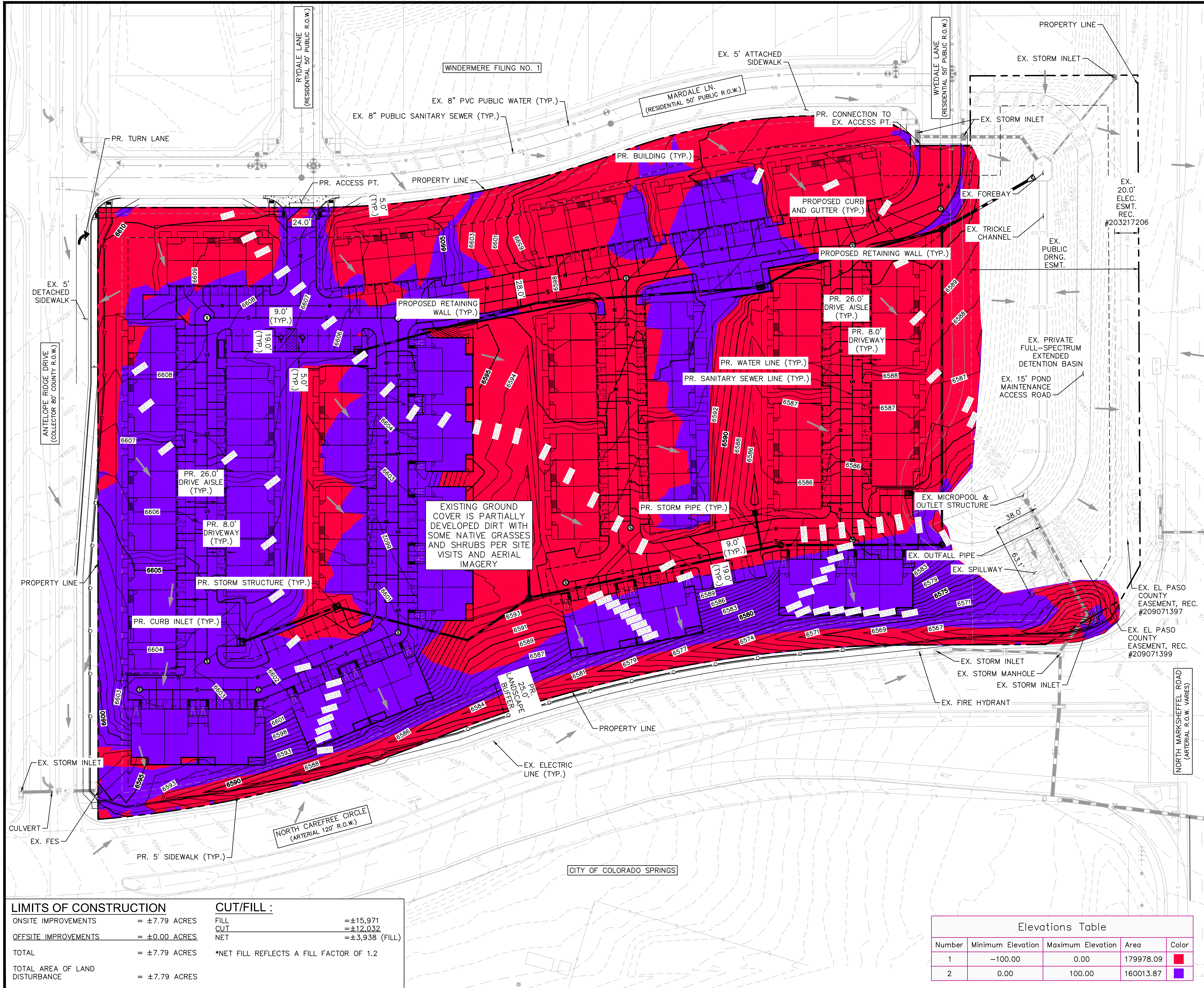
PROJECT NO.
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| LEGEND | |
|--------|---------------------------------------|
| | PROPERTY LINE |
| | EX. LOT LINE |
| | EX. EASEMENT LINE |
| | EXISTING MAJOR CONTOUR |
| | EXISTING MINOR CONTOUR |
| | EXISTING SANITARY SEWER |
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| TOTAL | = ±7.79 ACRES |
| TOTAL AREA OF LAND DISTURBANCE | = ±7.79 ACRES |

| CUT/FILL : | |
|---|----------------|
| FILL | =±15.971 |
| CUT | =±12.032 |
| NET | =±3.938 (FILL) |
| *NET FILL REFLECTS A FILL FACTOR OF 1.2 | |

| Elevations Table | | | | |
|------------------|-------------------|-------------------|-----------|-------|
| Number | Minimum Elevation | Maximum Elevation | Area | Color |
| 1 | -100.00 | 0.00 | 179978.09 | Red |
| 2 | 0.00 | 100.00 | 160013.87 | Blue |

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Colorado Springs, Colorado 80903 (719) 453-0180

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GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO
CUT & FILL PLAN

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Kimley-Horn and Associates, Inc.

PROJECT NO.
196160000

SHEET

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NO. BY DATE APPR

REVISION

ENGINEER NOTICE TO CONTRACTOR NOTES

1. NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, MAINTAIN, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
2. CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS; AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
3. THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS, THE FIELD STAFF OF THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF WORK AT 719-284-7272. THE CONTRACTOR SHALL ALSO TAKE THE NECESSARY STEPS TO PROTECT THE PROJECT AND ADJACENT PROPERTY FROM ANY EROSION AND SILTATION THAT RESULT FROM HIS OPERATIONS BY APPROPRIATE MEANS (SAND BAGS, HAY BALES, TEMPORARY DESILTING BASINS, DIKES, SHORING, ETC.) UNTIL SUCH TIME THAT THE PROJECT IS COMPLETED AND ACCEPTED FOR MAINTENANCE BY WHATEVER OWNER, AGENCY, OR ASSOCIATION IS TO BE ULTIMATELY RESPONSIBLE FOR MAINTENANCE.
4. EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
5. THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. ALL DAMAGES THERETO CAUSED BY THE CONTRACTOR SHALL BE REPAIRED TO THE APPROPRIATE SPECIFICATIONS AND STANDARDS AT THE EXPENSE OF THE CONTRACTOR.
6. LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS TO BE MET BY WORK TO BE DONE SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
7. CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
8. WHERE TRENCHES ARE WITHIN 10 FEET OF FUTURE BUILDING SITES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF WORK BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
9. ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
11. PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
12. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
13. SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN AND ASSOCIATES BEFORE PROCEEDING WITH THE WORK IN QUESTION.
14. APPROVAL OF THESE PLANS BY THE CITY DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
15. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF COLORADO SPRINGS DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, A LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE CITY OF COLORADO SPRINGS FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
17. AS-BUILT DRAWINGS MUST BE SUBMITTED TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF COLORADO SPRINGS.
18. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
19. EXISTING TOPOGRAPHY WAS BASED FROM THE ALTA SURVEY BY ENGINEERING SERVICE CO. DATED 08/02/2019
20. NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
21. IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA WILL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
22. STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS.
23. ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
24. DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
25. CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY A LICENSED LAND SURVEYOR.
26. ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
27. CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
28. WATER SHALL BE PROVIDED ONSITE AND USED TO CONTROL DUST DURING DEMOLITION AND CONSTRUCTION OPERATIONS.
29. STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
30. RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.

STANDARD GEC PLAN NOTES

3. NO CLEARING, GRADING, EXCAVATION, OR OTHER LAND DISTURBING ACTIVITIES SHALL BE ALLOWED (EXCEPT FOR WORK DIRECTLY RELATED TO THE INSTALLATION OF INITIAL CONTROL MEASURES) UNTIL A CITY GEC PERMIT HAS BEEN ISSUED.
2. ALL LAND DISTURBING ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH AND THE APPROVED GEC PLAN AND CSWMP.
3. INITIAL CONTROL MEASURES SHALL BE INSTALLED AND INSPECTED PRIOR TO ANY LAND DISTURBANCE ACTIVITIES TAKING PLACE. AN INITIAL SITE INSPECTION WILL NOT BE SCHEDULED UNTIL A CITY GEC PERMIT HAS BEEN "CONDITIONALLY APPROVED." CALL CITY STORMWATER INSPECTIONS, 385-5980, AT LEAST 48 HOURS PRIOR TO CONSTRUCTION TO SCHEDULE AN INITIAL INSPECTION AND OBTAIN A FULL PERMIT FOR CONSTRUCTION.
4. INDIVIDUALS WHO COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS) AND THE "CLEAN WATER ACT" (33 USC 1344), INCLUDING REGULATIONS PROMULGATED AND CERTIFICATIONS OR PERMITS ISSUED, IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE CITY'S MS4 PERMIT, STORMWATER CONSTRUCTION MANUAL, IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND WATER QUALITY CONTROL LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL OR STATE AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
5. STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS.
6. ALL CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION MEASURES ARE IMPLEMENTED. TEMPORARY CONSTRUCTION CONTROL MEASURES MUST BE REMOVED PRIOR TO PERMIT CLOSEOUT.
7. CONCRETE WASH WATER SHALL NOT BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS OR ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
8. BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. CONSTRUCTION CONTROL MEASURES MAY BE REQUIRED BY THE GEC INSPECTOR IF DEEMED NECESSARY BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES (E.G. ESTIMATED TIME OF EXPOSURE, ETC.).
9. ALL WASTES COMPOSED OF BUILDING MATERIALS MUST BE REMOVED FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
10. THE PERMITTEE SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AS A RESULT OF CONSTRUCTION ACTIVITIES.
11. THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS. MATERIALS SHALL NOT BE STORED IN A LOCATION WHERE THEY MAY BE CARRIED BY STORMWATER RUNOFF INTO THE STORM SEWER SYSTEM AT ANY TIME.
12. ALL SPILLS OF OIL, FUEL, OR OTHER HAZARDOUS MATERIALS SHALL BE IMMEDIATELY CLEANED UP AND EQUIPMENT SERVICING AREAS SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING THE MS4, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITY. BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE SECONDARY CONTAINMENT OR EQUIVALENT ADEQUATE PROTECTION. ALL SPILLS SHALL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY, OR CONTAINED UNTIL APPROPRIATE CLEANUP METHODS CAN BE EMPLOYED. MANUFACTURER'S RECOMMENDED METHODS FOR SPILL CLEANUP SHALL BE FOLLOWED, ALONG WITH PROPER DISPOSAL METHODS.
13. SEDIMENT (MUD AND DIRT) TRANSPORTED ONTO A PUBLIC ROAD, REGARDLESS OF THE SIZE OF THE SITE, SHALL BE CLEANED AS SOON AS POSSIBLE AFTER DISCOVERY.
14. NO CHEMICALS ARE TO BE ADDED TO THE DISCHARGE UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED BY THE STATE. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
15. CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN FOURTEEN (14) CALENDAR DAYS AFTER FINAL GRADING OR FINAL LAND DISTURBANCE HAS BEEN COMPLETED. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN DORMANT FOR LONGER THAN FOURTEEN (14) DAYS SHALL BE ROUGHENED, MULCHED, COVERED, OR WITH TARPS WITHIN FOURTEEN (14) DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN SIXTY (60) DAYS SHALL ALSO BE SEEDDED, UNLESS AN ALTERNATIVE STABILIZATION MEASURE IS ACCEPTED AT THE INSPECTOR'S DISCRETION. ALL TEMPORARY CONSTRUCTION CONTROL MEASURES SHALL BE MAINTAINED UNTIL FINAL STABILIZATION IS ACHIEVED.
16. THE GEC PLAN WILL BE SUBJECT TO RE-REVIEW AND RE-ACCEPTANCE BY THE STORMWATER ENTERPRISE SHOULD ANY OF THE FOLLOWING OCCUR: GRADING DOES NOT COMMENCE WITHIN TWELVE (12) MONTHS OF THE CITY'S ACCEPTANCE OF THE PLAN, THE CONSTRUCTION SITE IS IDLE FOR TWELVE (12) CONSECUTIVE MONTHS, A CHANGE IN PROPERTY OWNERSHIP OCCURS, THE PLANNED DEVELOPMENT CHANGES, OR ANY OTHER MAJOR MODIFICATIONS ARE PROPOSED AS DEFINED IN THE STORMWATER CONSTRUCTION MANUAL.
17. IT IS NOT PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH ON ANY UTILITY EASEMENT OR UTILITY RIGHT-OF-WAY WITHOUT WRITTEN APPROVAL FROM THE UTILITY OWNER. CITY ACCEPTANCE OF THE GEC PLAN AND CSWMP DOES NOT SATISFY THIS REQUIREMENT. THE PLAN SHALL NOT INCREASE OR DIVERT WATER TOWARDS UTILITY FACILITIES. ANY CHANGES TO EXISTING UTILITY FACILITIES OR ACCOMMODATE THE PLAN MUST BE APPROVED BY THE AFFECTED UTILITY OWNER PRIOR TO IMPLEMENTING THE PLAN. THE COST TO RELOCATE OR PROTECT EXISTING UTILITY OR TO REPAIR OR REPLACE ANY UTILITY SHALL BE THE APPLICANT'S EXPENSE.
18. APPLICANT REPRESENTS AND WARRANTS THAT THEY HAVE THE LEGAL AUTHORITY TO GRADE AND/OR CONSTRUCT IMPROVEMENTS ON ADJACENT PROPERTY. THE CITY HAS NOT REVIEWED THE DEVELOPER'S AUTHORITY TO MODIFY ADJACENT PROPERTY. AN APPROVED GEC PERMIT DOES NOT PROVIDE APPROVAL FOR THE APPLICANT TO PERFORM WORK ON ADJACENT PROPERTY.
19. "ALL UTILITY INSTALLATIONS WITHIN THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE COVERED UNDER THIS PLAN. LOCATIONS OF UTILITIES WITHIN THE LIMITS OF DISTURBANCE MAY BE MODIFIED AFTER PLAN APPROVAL AS A FIELD CHANGE. UTILITY INSTALLATIONS RELATED TO THE PRIVATE DEVELOPMENT THAT EXTEND BEYOND THE LIMITS OF DISTURBANCE SHOWN ON THIS PLAN ARE CONSIDERED TO BE PART OF THE LARGER DEVELOPMENT, AND THEREFORE REQUIRE A PLAN MODIFICATION OR SEPARATE PLAN FOR THE ADDITIONAL DISTURBANCE AREA."

[illegible]

K:\COS_LA\196160000 - Windermere\CADD\PlanSheets\GEC\GEC_DTL.dwg McClain, Drew 11/8/2024 2:26 PM

Stabilized Staging Area (SSA)

SM-6

Description

A stabilized staging area is a clearly designated area where construction equipment and vehicles, stockpiles, waste bins, and other construction-related materials are stored. The contractor office trailer may also be located in this area. Depending on the size of the construction site, more than one staging area may be necessary.

Appropriate Uses

Most construction sites will require a staging area, which should be clearly designated in SWMP drawings. The layout of the staging area may vary depending on the type of construction activity. Staging areas located in roadways due to space constraints require special measures to avoid materials being washed into storm inlets.

Design and Installation

Stabilized staging areas should be completed prior to other construction activities beginning on the site. Major components of a stabilized staging area include:

- Appropriate space to contain storage and provide for loading/unloading operations, as well as parking if necessary.
- A stabilized surface, either paved or covered, with 3-inch diameter aggregate or larger.
- Perimeter controls such as silt fence, sediment control logs, or other measures.
- Construction fencing to prevent unauthorized access to construction materials.
- Provisions for Good Housekeeping practices related to materials storage and disposal, as described in the Good Housekeeping BMP Fact Sheet.
- A stabilized construction entrance/exit, as described in the Vehicle Tracking Control BMP Fact Sheet, to accommodate traffic associated with material delivery and waste disposal vehicles.

Over-sizing the stabilized staging area may result in disturbance of existing vegetation in excess of that required for the project. This increases costs, as well as requirements for long-term stabilization following the construction period. When designing the stabilized staging area, minimize the area of disturbance to the extent practical.

| Stabilized Staging Area | |
|-------------------------|----------|
| Functions | |
| Erosion Control | Yes |
| Sediment Control | Moderate |
| Site/Material | Yes |

November 2010 Urban Drainage and Flood Control District SSA-1
Urban Storm Drainage Criteria Manual Volume 3

CHECK DAM

CD



City of Colorado Springs
Stormwater Enterprise



Construction Control Measures
December 2020

SM-6

Stabilized Staging Area (SSA)

Minimizing Long-Term Stabilization Requirements

- Utilize off-site parking and restrict vehicle access to the site.
- Use construction mats in lieu of rock when staging is provided in an area that will not be disturbed otherwise.
- Consider use of a bermed contained area for materials and equipment that do not require a stabilized surface.
- Consider phasing of staging areas to avoid disturbance in an area that will not be otherwise disturbed.

See Detail SSA-1 for a typical stabilized staging area and SSA-2 for a stabilized staging area when materials staging in roadways is required.

Maintenance and Removal

Maintenance of stabilized staging areas includes maintaining a stable surface cover of gravel, repairing perimeter controls, and following good housekeeping practices.

When construction is complete, debris, unused stockpiles and materials should be recycled or properly disposed. In some cases, this will require disposal of contaminated soil from equipment leaks in an appropriate landfill. Staging areas should then be permanently stabilized with vegetation or other surface cover planned for the development.

SSA-2 Urban Drainage and Flood Control District November 2010
Urban Storm Drainage Criteria Manual Volume 3

1.0 DESCRIPTION

- Check dams are small temporary rock dams constructed across a swale or drainage ditch.

2.0 PURPOSE

- Used to slow down the velocity of concentrated flow to limit erosion and to promote sedimentation.
- Placed in areas of concentrated flow, such as a ditch or swale.

3.0 IMPLEMENTATION

- Place check dams at regular intervals perpendicular to the direction of flow.
- Use check dams on mild or moderately steep slopes.
- Install wide enough check dams to reach from bank to bank of the ditch or swale.
- In general, the maximum spacing between check dams should be such that the toe of the upstream check dam is at the same elevation as the top of the downstream check dam.
- During installation, place rock mechanically or by hand.

4.0 TIMING

- Install prior to land disturbing activities.
- Remove after surrounding area has been permanently stabilized, or immediately prior to installation of a non-erodible lining. Permanently stabilize bare areas caused by check dams after removal.

5.0 MAINTENANCE

- Remove and properly dispose of sediment when it has accumulated to 1/2 of the height of the check dam crest.
- Replace missing rocks causing voids in the check dam.
- Inspect for erosion along the ends of check dams and repair when necessary.

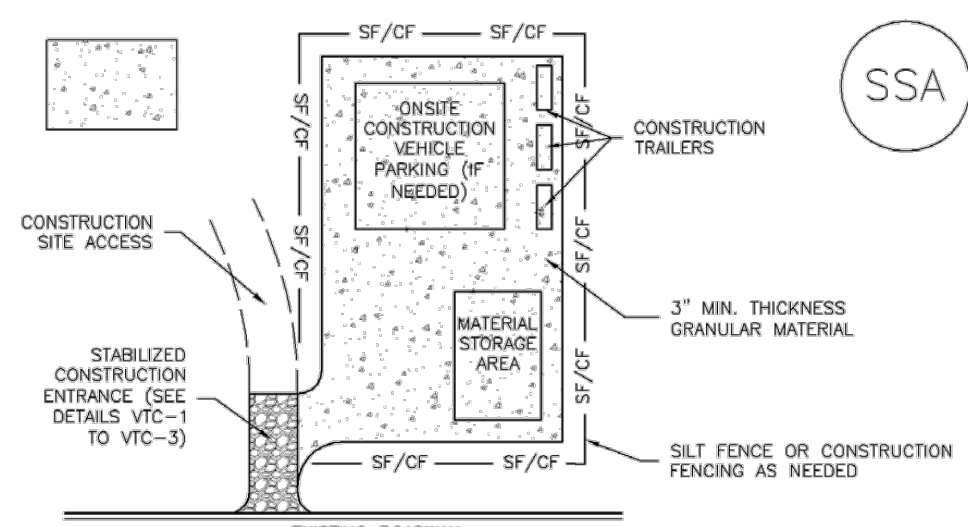
City of Colorado Springs
Stormwater Enterprise



Construction Control Measures
December 2020

Stabilized Staging Area (SSA)

SM-6



SSA-1. STABILIZED STAGING AREA

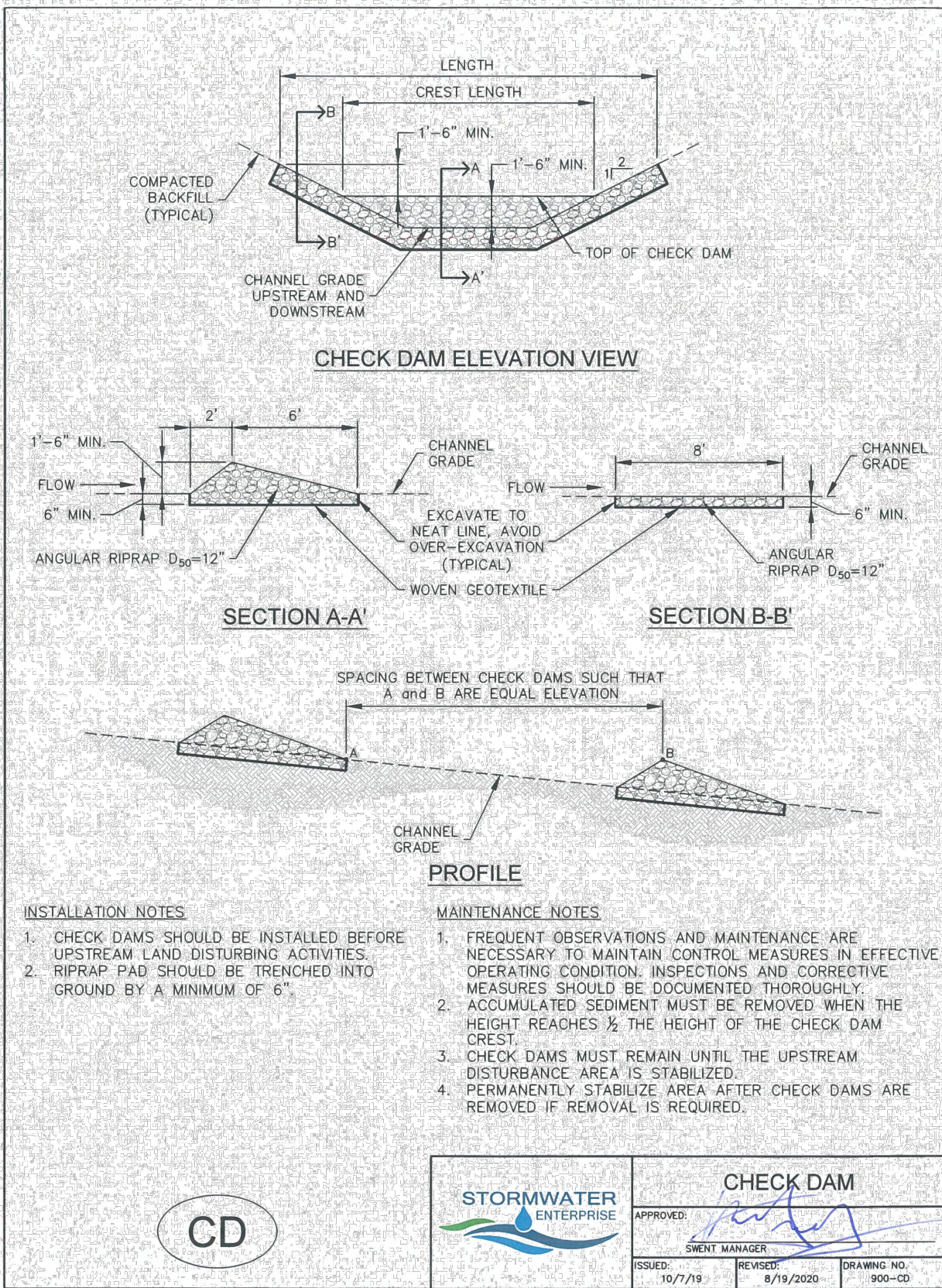
STABILIZED STAGING AREA INSTALLATION NOTES

- SEE PLAN VIEW FOR:
 - LOCATION OF STAGING AREA(S).
 - CONTRACTOR MAY ADJUST LOCATION AND SIZE OF STAGING AREA WITH APPROVAL FROM THE LOCAL JURISDICTION.
- STABILIZED STAGING AREA SHOULD BE APPROPRIATE FOR THE NEEDS OF THE SITE. OVERSIZING RESULTS IN A LARGER AREA TO STABILIZE FOLLOWING CONSTRUCTION.
- STAGING AREA SHALL BE STABILIZED PRIOR TO OTHER OPERATIONS ON THE SITE.
- THE STABILIZED STAGING AREA SHALL CONSIST OF A MINIMUM 3" THICK GRANULAR MATERIAL.
- UNLESS OTHERWISE SPECIFIED BY LOCAL JURISDICTION, ROCK SHALL CONSIST OF DOT SECT. #703, AASHTO #3 COARSE AGGREGATE OR 6" (MINUS) ROCK.
- ADDITIONAL PERIMETER BMPs MAY BE REQUIRED INCLUDING BUT NOT LIMITED TO SILT FENCE AND CONSTRUCTION FENCING.

STABILIZED STAGING AREA MAINTENANCE NOTES

- INSPECT BMPs EACH WORKDAY, AND MAINTAIN THEM IN EFFECTIVE OPERATING CONDITION. MAINTENANCE OF BMPs SHOULD BE PROACTIVE, NOT REACTIVE. INSPECT BMPs AS SOON AS POSSIBLE (AND ALWAYS WITHIN 24 HOURS) FOLLOWING A STORM THAT CAUSES SURFACE EROSION, AND PERFORM NECESSARY MAINTENANCE.
- FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN BMPs IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
- WHERE BMPs HAVE FAILED, REPAIR OR REPLACEMENT SHOULD BE INITIATED UPON DISCOVERY OF THE FAILURE.
- ROCK SHALL BE REAPPLIED OR REGRADED AS NECESSARY IF RUTTING OCCURS OR UNDERLYING SUBGRADE BECOMES EXPOSED.

November 2010 Urban Drainage and Flood Control District SSA-3
Urban Storm Drainage Criteria Manual Volume 3



CONCRETE WASHOUT AREA

CWA



City of Colorado Springs
Stormwater Enterprise



Construction Control Measures
December 2020

Kimley»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
2 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903 (719) 453-0180

WINDERMERE FILING NO. 2
GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO
DETAILS

PRELIMINARY
FOR REVIEW ONLY
NOT FOR CONSTRUCTION
Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
196160000

SHEET

7.0

NO. REVISION BY DATE APPR



SM



SEDIMENT CONTROL LOG

SCL



SCL-i

1.0 DESCRIPTION

- ## 2.0 PURPOSE

- ### 3.0 IMPLEMENTATION

- #### 4.0 TIMING

- ## 5.0 MAINTENANCE

- ## SILT FENCE

SF



Kimley»»Horn

2024 KIMLEY-HORN AND ASSOCIATES, INC.
22 North Nevada Avenue, Suite 900
Colorado Springs, Colorado 80903 (719) 45

WINDERMERE FILING NO. 2
GRADING AND EROSION CONTROL PLANS
EL PASO COUNTY, COLORADO

DETAILS

PRELIMINARY

FOR REVIEW ONLY
NOT FOR
CONSTRUCTION

Kimley»Horn
Kimley-Horn and Associates, Inc.

PROJECT NO.
196160000

SHEET

9.0

| | |
|-----|---|
| 1.0 | DESCRIPTION |
| | <ul style="list-style-type: none"> Silt fence is a temporary sediment barrier consisting of woven geotextile fabric attached to supporting posts and trenched into the soil. |
| 2.0 | PURPOSE |
| | <ul style="list-style-type: none"> Used to intercept sheet flow prior to leaving a construction site. May be used around the perimeter of a construction site. |
| 3.0 | IMPLEMENTATION |
| | <ul style="list-style-type: none"> Install silt fence to intercept sheet flow runoff from disturbed areas. Silt fence is not designed to be used as a filter fabric. Do not install silt fence across streams, channels, swales, ditches, or other drainageways. Install silt fence along the contour of slopes or in a manner to avoid creating concentrated flow (i.e. "J-hook" installation). The maximum tributary drainage area per 100 liner feet of silt fence is 1/4 acre. Properly installed silt fence should not be easily pulled out by hand and there should be no gaps between the ground and fabric. |
| 4.0 | TIMING |
| | <ul style="list-style-type: none"> Install prior to land disturbing activities. Remove silt fence after the upstream area has been permanently stabilized. |
| 5.0 | MAINTENANCE |

1/2" x 1/2" (RECOMMENDED) WOODEN FENCE POST WITH 10' MAX. SPACING

10' MAX. SPACING

18" MIN.

18" MIN.

36" - 48"

GEOTEXTILE

COMPACTED BACKFILL

FLOW

6"

4" MIN.

18" MIN.

SILT FENCE

FLOW

JOIN FIRST

THEN ROTATE

POSTS SHOULD OVERLAP SO THAT NO GAPS EXIST

J-HOOK INSTALLATION

SECTION A-A'

INSTALLATION NOTES

1. SILT FENCE MUST BE PLACED ON A FLAT SURFACE 2'-5' AWAY FROM TOE OF THE SLOPE TO ALLOW FOR PONDING AND DEPOSITION.
2. COMPACT THE TRENCH USING A JUMPING JACK OR WHEEL ROLLING TO THE POINT THAT THE FENCE RESISTS BEING PULLED OUT OF THE GROUND BY HAND.
3. SILT FENCE SHALL BE TAUT WITH NO GAPS AFTER IT HAD BEEN ANCHORED.
4. FABRIC SHALL BE ATTACHED TO POSTS WITH 1" HEAVY DUTY STAPLES OR 1" NAILS. THESE SHOULD BE PLACED VERTICALLY DOWN THE POST, 3" APART.
5. THE PREFERRED INSTALLATION METHOD USES A TRENCHER OR SILT FENCE INSTALLATION DEVICE.
6. INSTALL SILT FENCE ALONG THE CONTOUR OF THE SLOPES OR IN A MANNER TO AVOID CREATING CONCENTRATED FLOW (SUCH AS A "J-HOOK" INSTALLATION).

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. ACCUMULATED SEDIMENT MUST BE REMOVED WHEN THE HEIGHT REACHES 1/2 OF THE DESIGN HEIGHT OF THE SILT FENCE.
3. SILT FENCE MUST REMAIN UNTIL THE UPSTREAM DISTURBANCE AREA IS STABILIZED.
4. PERMANENTLY STABILIZE AREA AFTER SILT FENCE IS REMOVED.

STORMWATER ENTERPRISE

SILT FENCE

APPROVED: [Signature]

DATE: 8/17/19

DESIGNED: 8/19/2020

DRAWING NO.: 900-09

ORIENT DANGER

SCALE: 1" = 10'

STOCKPILE PROTECTION

SP

| | |
|-----|--|
| 1.0 | <p>DESCRIPTION</p> <ul style="list-style-type: none"> Perimeter control placed around stockpiles of soil and other erodible materials. |
| 2.0 | <p>PURPOSE</p> <ul style="list-style-type: none"> Used to avoid the migration of sediment and other materials from stockpiles. |
| 3.0 | <p>IMPLEMENTATION</p> <ul style="list-style-type: none"> Install perimeter control around stockpile on downgradient side. Stockpile perimeter controls may not be required for stockpiles on the interior portion of a construction site where other downgradient controls including perimeter control are in place. |
| 4.0 | <p>TIMING</p> <ul style="list-style-type: none"> Install immediately after stockpile has formed or limits are known, whichever occurs first. Remove stockpile protection after the stockpile has been removed. |
| 5.0 | <p>MAINTENANCE</p> <ul style="list-style-type: none"> Remove and properly dispose of sediment according to the perimeter control detail. If perimeter controls must be moved to access stockpile, replace perimeter controls by the end of the work day. Inspect for and repair and/or replace perimeter controls as needed to maintain functionality. |

STOCKPILE PROTECTION PLAN

STOCKPILE PROTECTION ELEVATION

INSTALLATION NOTES

1. INSTALL PERIMETER CONTROL AROUND STOCKPILE ON DOWNGRADIENT SIDE. PERIMETER CONTROL MUST BE SUITABLE TO SITE CONDITIONS AND INSTALLED ACCORDING TO THE RELEVANT DETAIL.
2. FOR STOCKPILES ON THE INTERIOR PORTION OF A CONSTRUCTION SITE, WHERE OTHER DOWNGRADIENT CONTROLS INCLUDING PERIMETER CONTROL ARE IN PLACE, STOCKPILE PERIMETER CONTROLS MAY NOT BE REQUIRED.

MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. IF PERIMETER CONTROLS MUST BE MOVED TO ACCESS STOCKPILE, REPLACE PERIMETER CONTROLS BY THE END OF THE WORK DAY.
3. ACCUMULATED SEDIMENT MUST BE REMOVED ACCORDING TO PERIMETER CONTROL DETAIL.

STOCKPILE PROTECTION

APPROVED: _____

INCH: 1/8" = 1'

DATE: 10/7/19

REVISED: 6/19/2020

DRAWING NO.: 900-2P

ISSUED BY: _____

DESIGNED BY: _____

CHECKED BY: _____


PROJECT NUMBER: _____

STORMWATER ENTERPRISE


SP

SURFACE ROUGHENING

SR



City of Colorado Springs
Stormwater Enterprise



SR-i

Construction Control Measures
December 2020

| Surface Roughening | |
|--------------------|--|
| 1.0 | <p>DESCRIPTION</p> <ul style="list-style-type: none"> Surface roughening is a practice where the soil surface is roughened by the creation of grooves and depressions that run parallel to the contour of the land. |
| 2.0 | <p>PURPOSE</p> <ul style="list-style-type: none"> Used to create variations in the soil surface that slow down the velocity of runoff, increase infiltration, reduce erosion, and trap soil. May be used to help establish vegetative cover by reducing runoff velocity and giving seed an opportunity to take hold. |
| 3.0 | <p>IMPLEMENTATION</p> <ul style="list-style-type: none"> Roughen soil in areas flatter than 3:1. Surface roughening may be completed by furrowing, scarifying, ripping, or disking soil. Grooves must be installed along contours to avoid concentrating flow. Do not use in areas with extremely sandy or rocky soils. |
| 4.0 | <p>TIMING</p> <ul style="list-style-type: none"> Install after overlot grading activities when area is in an interim condition or at final grade. Remove prior to permanent stabilization during soil preparation. |
| 5.0 | <p>MAINTENANCE</p> <ul style="list-style-type: none"> Inspect roughened areas for signs of erosion. Repeat surface roughening as needed. Do not allow vehicles to drive over surface roughened areas. |


SURFACE ROUGHENING


INSTALLATION NOTES

1. SURFACE ROUGHENING MAY BE USED IN AREAS FLATTER THAN 3:1. INSTALL FURROWS ALONG CONTOUR TO INTERCEPT SHEET FLOW.
2. SURFACE ROUGHENING MAY BE ACCOMPLISHED BY FURROWING, SCARIFYING, RIPPER OR DISKING THE SOIL.
3. FURROWS MUST BE A MINIMUM OF 4" IN DEPTH.
4. SURFACE ROUGHENING SHALL NOT BE USED ON EXTREMELY SANDY OR ROCKY SOILS.


MAINTENANCE NOTES

1. FREQUENT OBSERVATIONS AND MAINTENANCE ARE NECESSARY TO MAINTAIN CONTROL MEASURES IN EFFECTIVE OPERATING CONDITION. INSPECTIONS AND CORRECTIVE MEASURES SHOULD BE DOCUMENTED THOROUGHLY.
2. VEHICLES AND EQUIPMENT SHALL NOT BE DRIVEN OVER AREAS THAT HAVE BEEN SURFACE ROUGHENED.





SURFACE ROUGHENING

| | |
|---|--------------------|
| APPROVED:  | |
| DISTRICT MANAGER | |
| DESIGNED: 9/7/19 | REVISED: 9/19/2020 |
| DRAWING NO. 800-58 | |

