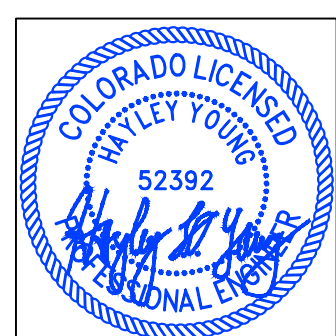
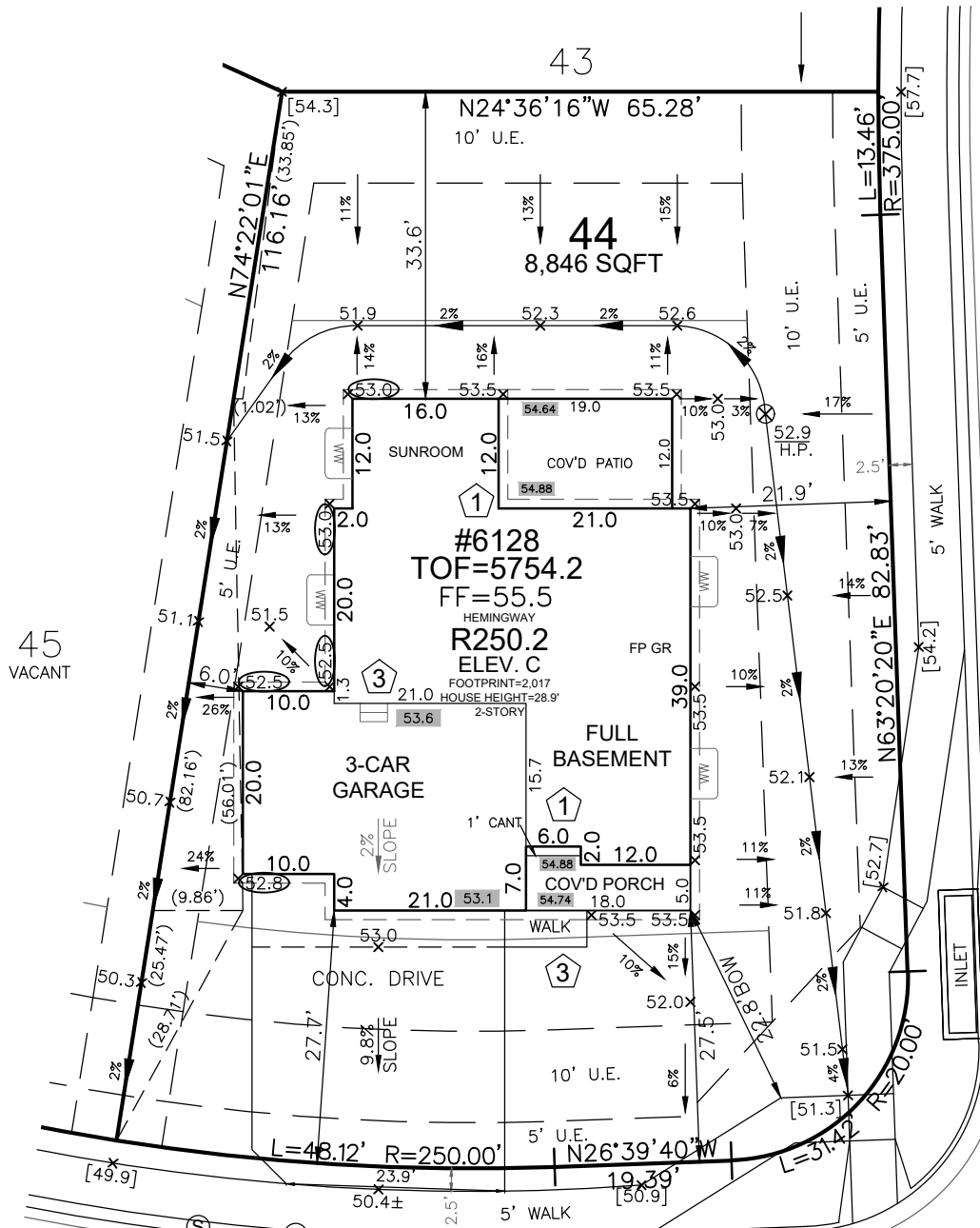


RICHMOND AMERICAN HOMES
PLOT PLAN

JOB#33030009
LOT 44
BLOCK 4



HAYLEY YOUNG, P.E.
DATE: 06.09.26
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.E.



T. CHRIS MADRID, P.L.S.
DATE: 06.09.26
I HEREBY CERTIFY ONLY THE ELEMENTS OF THIS DOCUMENT THAT FALL WITHIN THE SCOPE OF MY DUTIES AS A P.L.S.

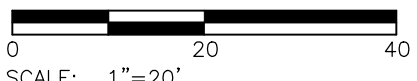
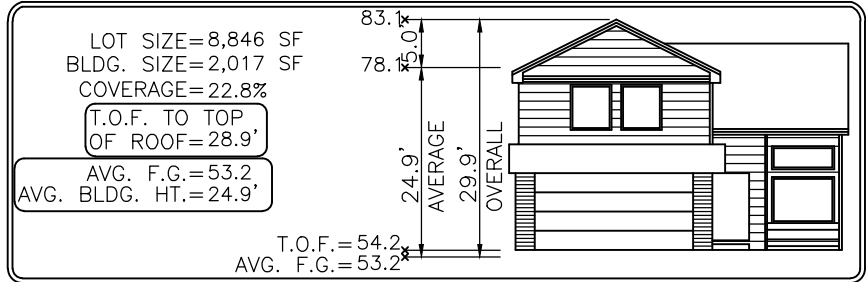
FRONT SETBACK DRIVE COVERAGE
FRONT SETBACK= 1,724 SF
DRIVE COVERAGE IN
FRONT SETBACK= 693 SF
COVERAGE=40.1 %

LEGEND

LOWERED FINISH GRADE:	
(XX.X)	HOUSE
[XX.X]	PORCH
(XX.X)	GARAGE/CRAWL SPACE
[XX.X]	FOUNDATION STEP
(XX)	CONCRETE
X	RISER COUNT
XX.XX	CONCRETE ELEVATION
[XX.X]	GRADING PLAN ELEVATION

SITE SPECIFIC PLOT PLAN NOTES:

TOF = 54.2
GARAGE SLAB = 53.1
GRADE BEAM = 17"
(54.2 - 53.1 = 01.1 * 12 = 13" + 4" = 17")
*FROST DEPTH MUST BE MAINTAINED
LOWERED FINISH GRADE ALONG HOUSE



MODEL OPTIONS: R250.2-C/3-CAR/FULL BSMT/SUNROOM/FP #2/COV'D PATIO

SUBDIVISION: PEACEFUL RIDGE AT FOUNTAIN VALLEY SUBDIVISION

COUNTY: EL PASO
06.09.26 / LEFT / NAIL TO NAIL=76.00'
Front 10': N=5794.5150 E=4716.8868
Address: 6128 PERIWINKLE PLACE
Rear 10': N=5762.8723 E=4647.7873

MINIMUM SETBACKS:
FRONT: 25'
REAR: 25'
CORNER: 15'
SIDE: 5'

DRAWN BY: DV
DATE: 06.09.26

Surveying, Inc.
Specializing in Home Builder Services Since 1985.

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Centennial, CO 80112 USA
Phone: (303) 850-0559
Fax: (303) 850-0711
E-mail: info@bjsurveying.net

- GENERAL NOTES:
- PLOT PLAN NOT TO BE USED FOR EXCAVATION PLAN OR FOUNDATION PLAN LAYOUT.
 - PLOT PLAN SUBJECT TO APPROVAL BY ZONING/BUILDING AUTHORITY PRIOR TO STAKEOUT.
 - EASEMENTS DISPLAYED ON THIS PLOT ARE FROM THE RECORDED PLAT AND MAY NOT INCLUDE ALL EASEMENTS OF RECORD.
 - PLOT PLAN MUST BE APPROVED BY BUILDER PRIOR TO ORDERING STAKEOUT.
 - LOT CORNER ELEVATION CHECK: NOT TAKEN