

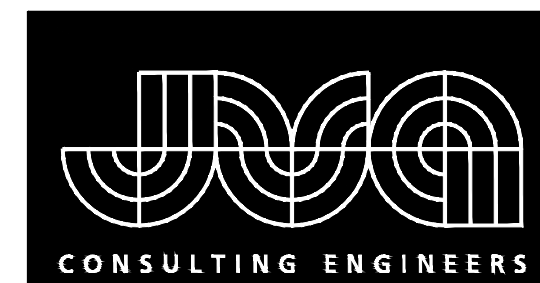
# WOODMOOR WATER AND SANITATION DISTRICT NO.1

## LAKE PUMP STATION NO. 2 AND TRANSMISSION PIPELINE

### EL PASO COUNTY, COLORADO

### GRADING AND EROSION CONTROL PLAN

Add text:  
PPR-21-019



JVA, Inc. 1512 Larimer Street, Suite 710  
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MARCH 2021

PREPARED UNDER THE SUPERVISION OF

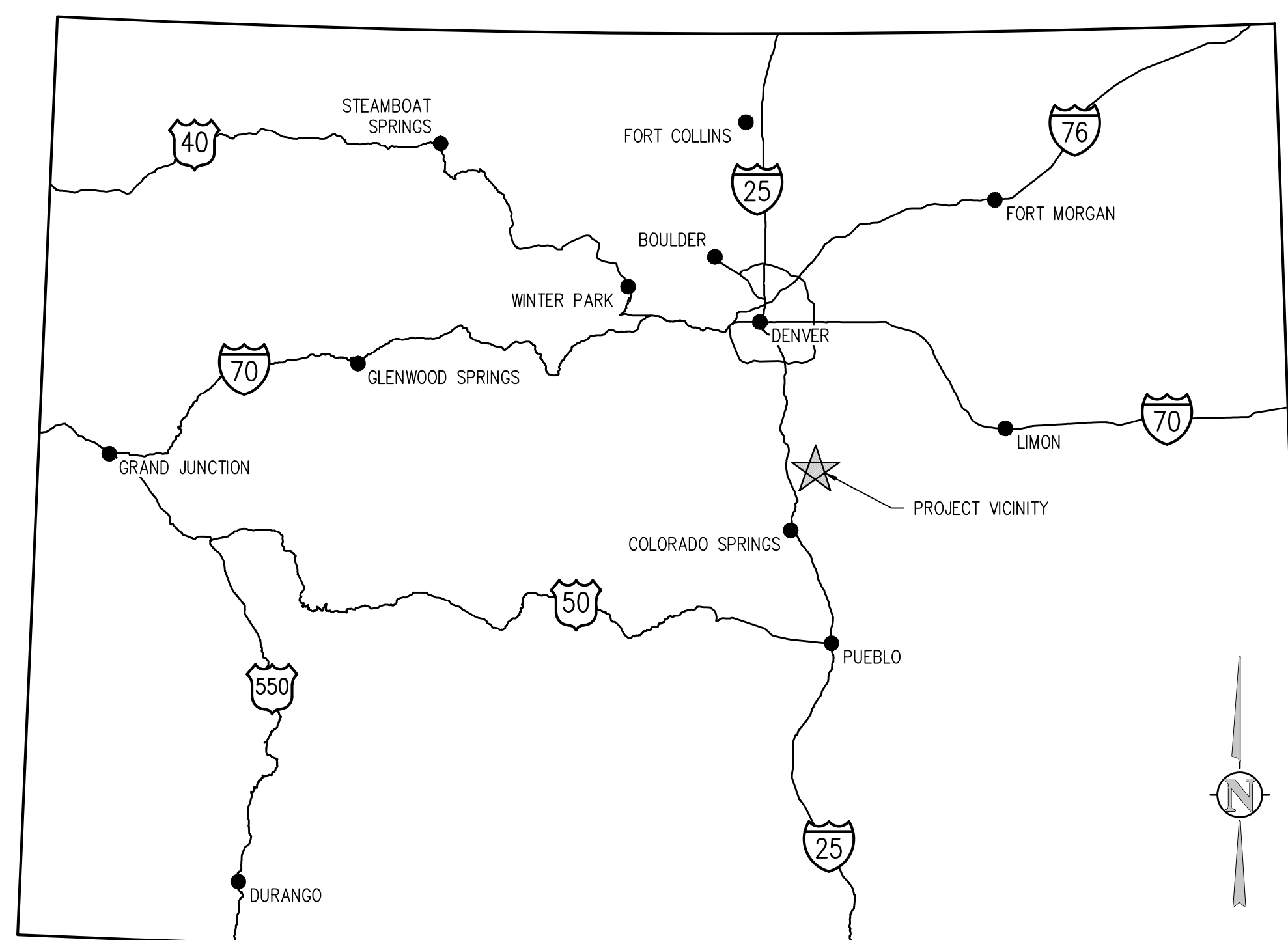
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#### CONTACTS

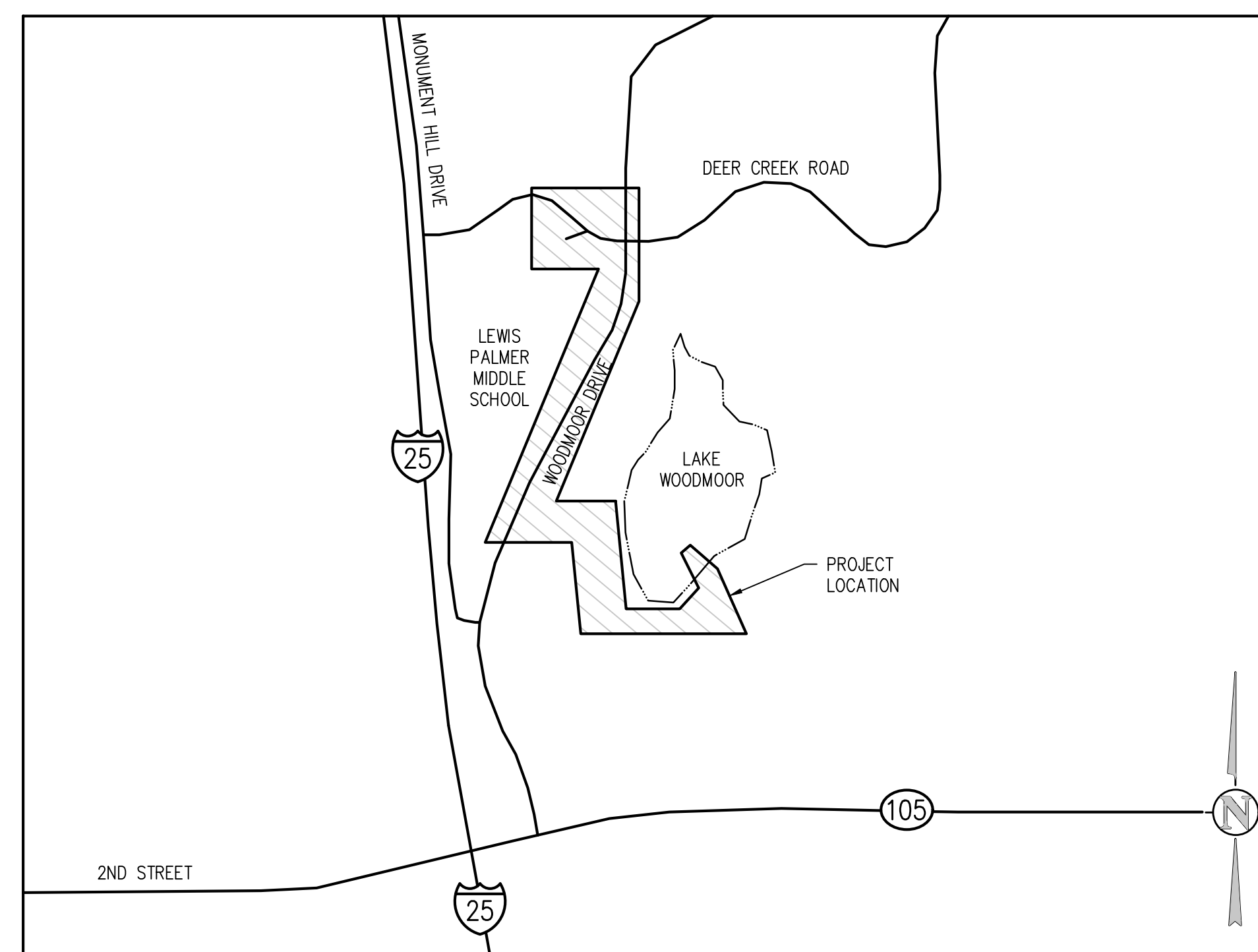
<b>OWNER:</b>	WOODMOOR WATER AND SANITATION DISTRICT NO. 1 1845 WOODMOOR DRIVE MONUMENT, CO 80132	JESSIE SHAFFER, P.E. (719) 488-2525 JESSIES@WOODMOORWATER.COM
<b>ENVIRONMENTAL ENGINEER:</b>	JVA, INC 1512 LARIMER STREET, SUITE 710 DENVER, CO 80202	RICHARD HOOD, P.E. (303) 565-4901 RHOOO@JVAJVA.COM
<b>STRUCTURAL ENGINEER:</b>	JVA, INC 1512 LARIMER STREET, SUITE 710 DENVER, CO 80202	ADAM TEUNISSEN, P.E. (303) 565-4936 ATEUNISSEN@JVAJVA.COM
<b>ELECTRICAL ENGINEER:</b>	BROWNS HILL ENGINEERING AND CONTROLS 8130 SHAFFER PARKWAY, SUITE A LITTLETON, CO 80127	TED WILLE, P.E. (720) 344-7771 TWILLE@BROWNSHILLENG.COM
<b>MECHANICAL ENGINEER:</b>	MEC, INC. 4919 W. 98TH WAY WESTMINSTER, CO 80031	BRYAN MOEN, P.E. (303) 907-4285 BMOEN@MECENGR.COM

#### DRAWING INDEX

SHEET NO.	TITLE
1	EROSION CONTROL PLAN
2	EROSION CONTROL PLAN
3	EROSION CONTROL PLAN
4	GRADING AND EROSION CONTROL PLAN
5	GRADING AND EROSION CONTROL NOTES



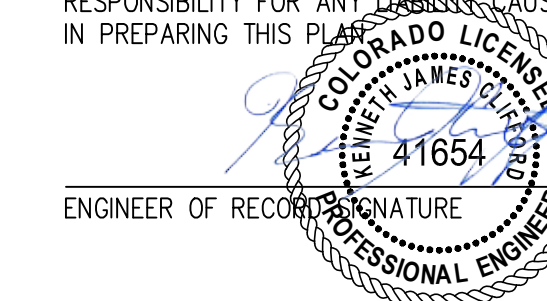
VICINITY MAP  
NTS



PROJECT LOCATION MAP  
NTS

#### ENGINEER'S STATEMENT:

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITIES CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.



ENGINEER OF RECORD SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

#### OWNER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH THE REQUIREMENTS OF THE GRADING AND EROSION CONTROL PLAN.

OWNER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

#### EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH THE COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/ OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE. DRAINAGE CRITERIA MANUAL VOLUMES 1 AND 2, AND ENGINEERING CRITERIA MANUAL, AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

COUNTY PROJECT ENGINEER SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_



Note: Final plans for approval will require PE Stamp/signature on all the sheets.

**EROSION AND SEDIMENTATION NOTES:**

- CONTRACTOR IS RESPONSIBLE FOR INSTALLING AND MAINTAINING ALL CONTROLS DURING INITIAL, INTERIM, AND FINAL CONDITIONS.
- ALL CONTROLS SHALL BE INSTALLED WITHIN THE PROPERTY LINES UNLESS OTHERWISE SPECIFIED. WHEN CONSTRUCTION ACTIVITIES DISTURB ADJACENT AND/OR RIGHT-OF-WAY PROPERTIES, COORDINATION WITH PROPERTY OWNERS IS REQUIRED PRIOR TO CONSTRUCTION.

- EROSION CONTROL LEGEND**
- EXISTING INDEX CONTOUR
  - EXISTING INTERMEDIATE CONTOUR
  - PROPOSED INDEX CONTOUR
  - PROPOSED INTERMEDIATE CONTOUR
  - LIMITS OF CONSTRUCTION
  - VEHICLE TRACKING CONTROL
  - SEDIMENT CONTROL LOG
  - ROCK SOCK
  - CONCRETE WASHOUT AREA
  - STABILIZED STAGING AREA
  - PERMANENT SEEDING

Provide a keymap



linework doesn't seem to match aerial photo.  
 Call out areas to be restriped and patched.

provide trench detail.  
 Provide pavement patch detail.  
 Show limits of pavement patch and rotomill along the RW.  
 NOTE: if the pavement patch extends to the wheel path then you must rotomill to the centerline of the road.

Label edge of asphalt.

Show a sediment control measure like rock check dams across roadside ditch at appropriate spacing. And update FAE form accordingly. Typical for all areas with roadside ditch within excavation area.

Typical all sheets:  
 - Checklist Item "b" - label some of the main adjacent Subdivision names/parcel numbers (and schools).  
 - Checklist Item "r" - Label specific areas on plans or just make a general note regarding condition of existing vegetation.  
 - Items f and g - show existing structures and utilities.  
 - Item p - Delineate cut/fill locations with linework on plans or make a note on plans (example: cut/fill not shown because most of the project will be excavating and backfilling a trench. However, mostly fill will take place around Pump Station #2.  
 - Item s - show stormwater flow direction areas (including on properties adjacent to Limits of Construction so it is clear where runoff/runon occurs), on plans and Legend.

Label adjacent property (owner, parcel, address) along the raw water

sheets not uploaded to EDARP.

In private properties, adjust limits of construction so it's within the public utility easement. WWSD must obtain permission/temporary construction easement from the property owner if construction extends beyond the easement.

STABILIZED STAGING AREA  
 RE: MHFCD SC-2 SHEET CE1.3  
 (COORDINATE LOCATION(S) WITH WSD)

SEDIMENT CONTROL LOG  
 RE: MHFCD SC-2 SHEET CE1.4  
 (TYP)

PERMANENT SEEDING IN DISTURB VEGETATED GROUND  
 RE: MHFCD EC-2 SHEET CE1.5  
 (TYP)

Identify any and all surface improvements that must be removed/replaced.  
 Identify the extents of removal & replacement

Label as "Moorwood Point"

Add crossspan detail

Add curb and gutter detail. See ECM appendix F for standard details

For legibility, update easement linework and label so it's darker.



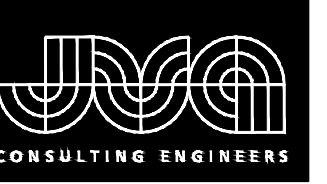
DESIGNED BY: RAH/MHT  
 DRAWN BY: MHT  
 CHECKED BY: JJM  
 JOB #: 1051.6e  
 DATE: MARCH 2021  
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WOODMOOR WSD NO.1  
 LAKE PUMP STATION NO. 2 AND PIPELINE  
 EL PASO COUNTY, COLORADO  
 EROSION CONTROL PLAN

SHEET NO.  
 1

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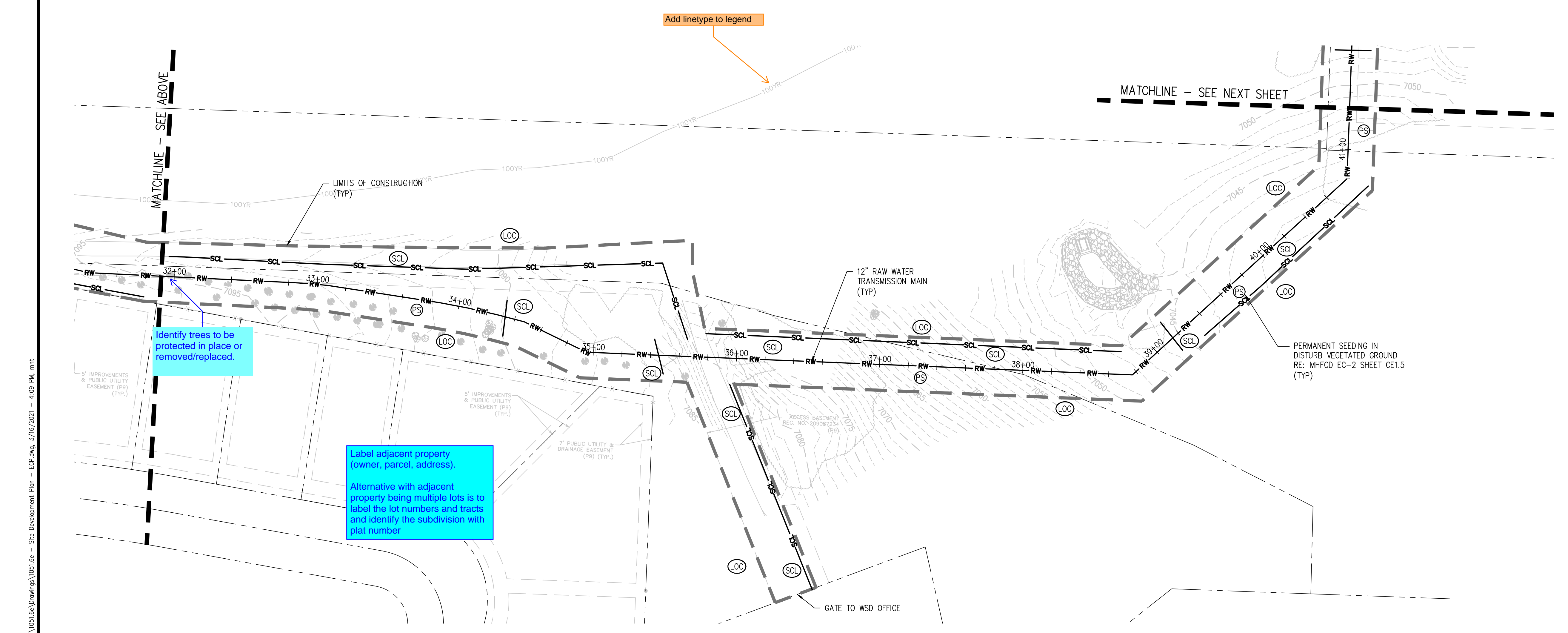
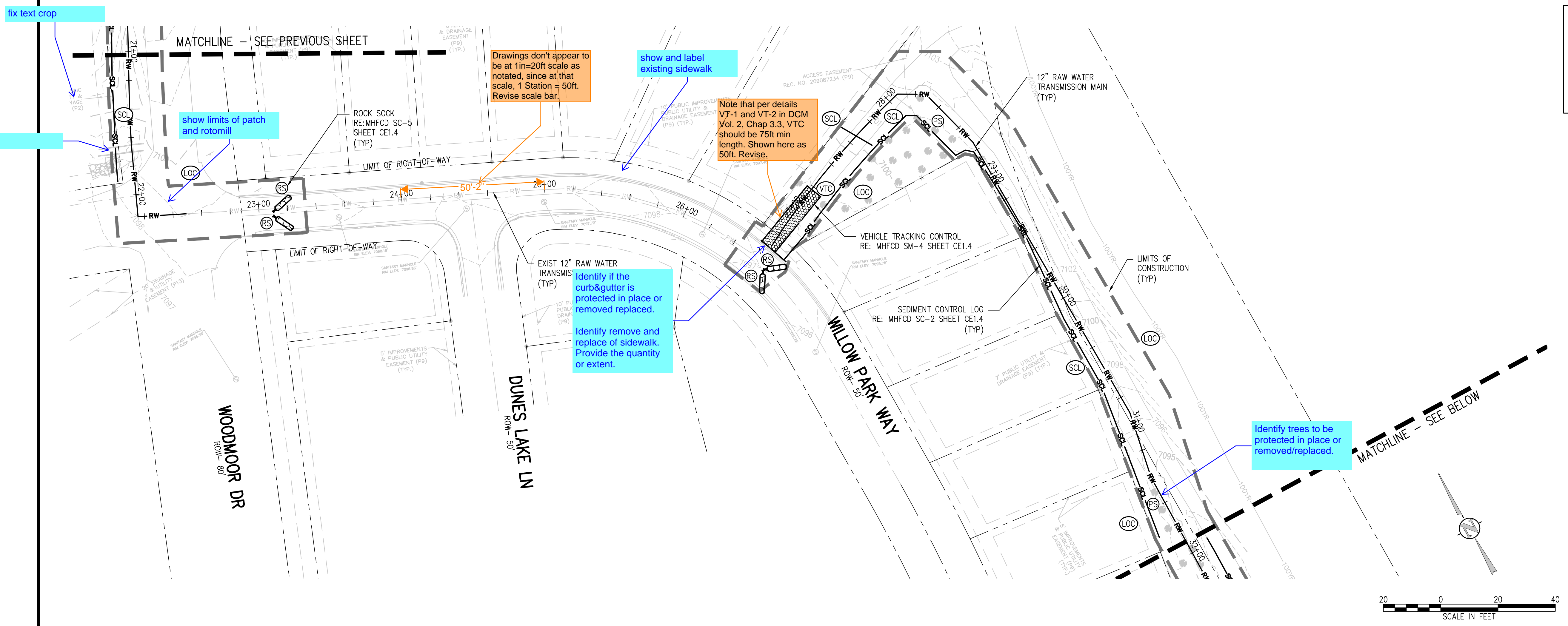


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  - STABILIZED STAGING AREA
  - PERMANENT SEEDING



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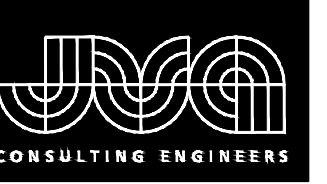
WOODMOOR WSD NO.1  
 LAKE PUMP STATION NO. 2 AND PIPELINE  
 EL PASO COUNTY, COLORADO

EROSION CONTROL PLAN

SHEET NO.  
**2**

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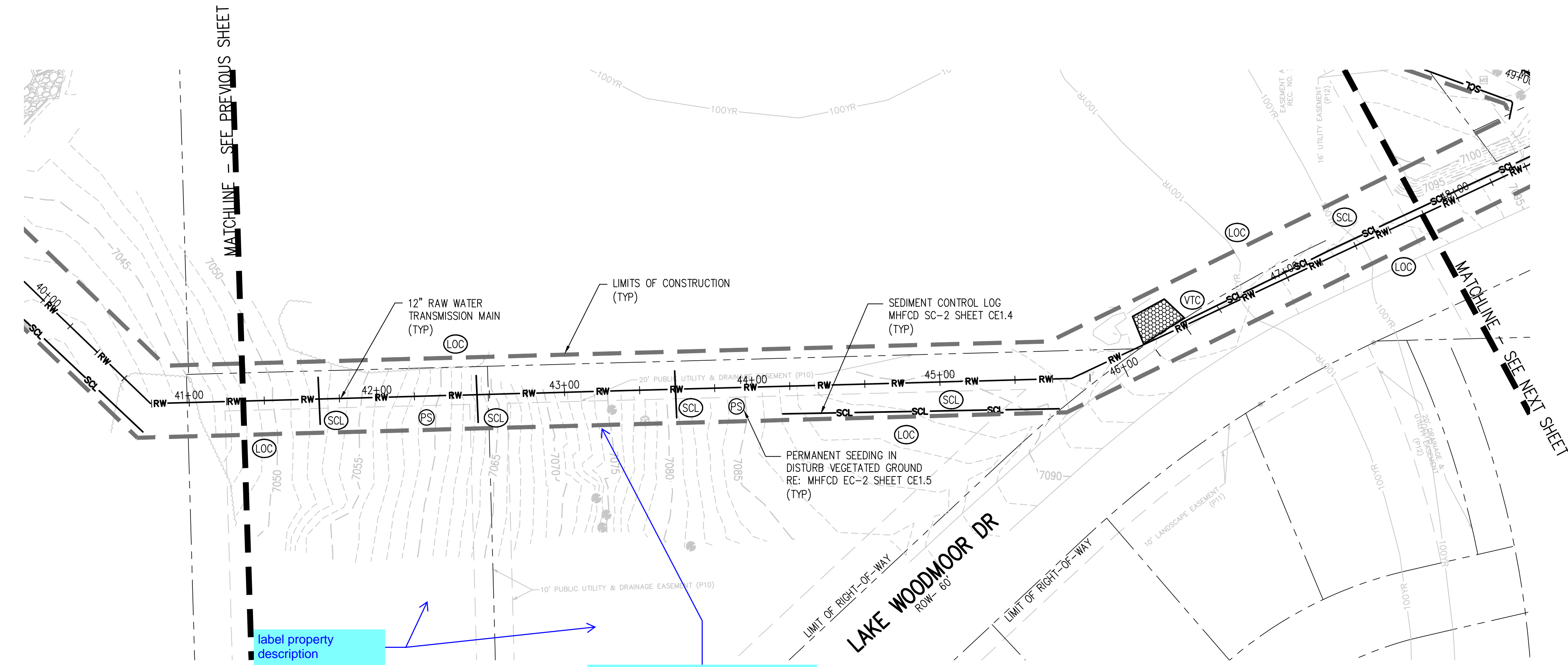


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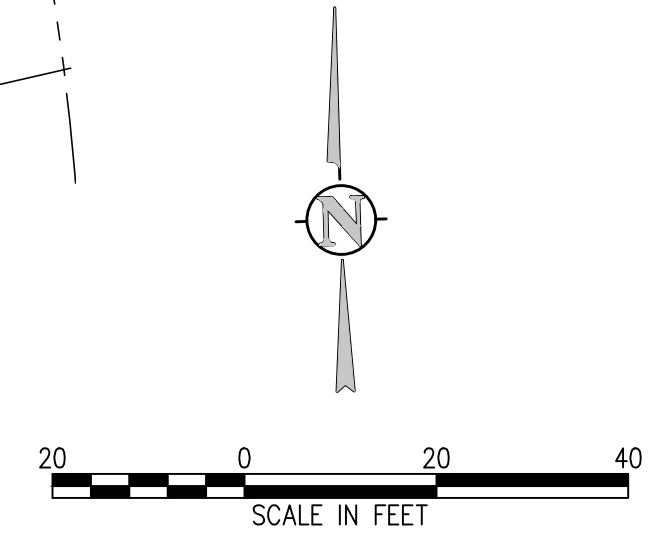
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- STABILIZED STAGING AREA
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label property description

In private properties, adjust limits of construction so it's within the public utility easement. WWSD must obtain permission/temporary construction easement from the property owner if construction extends beyond the easement.



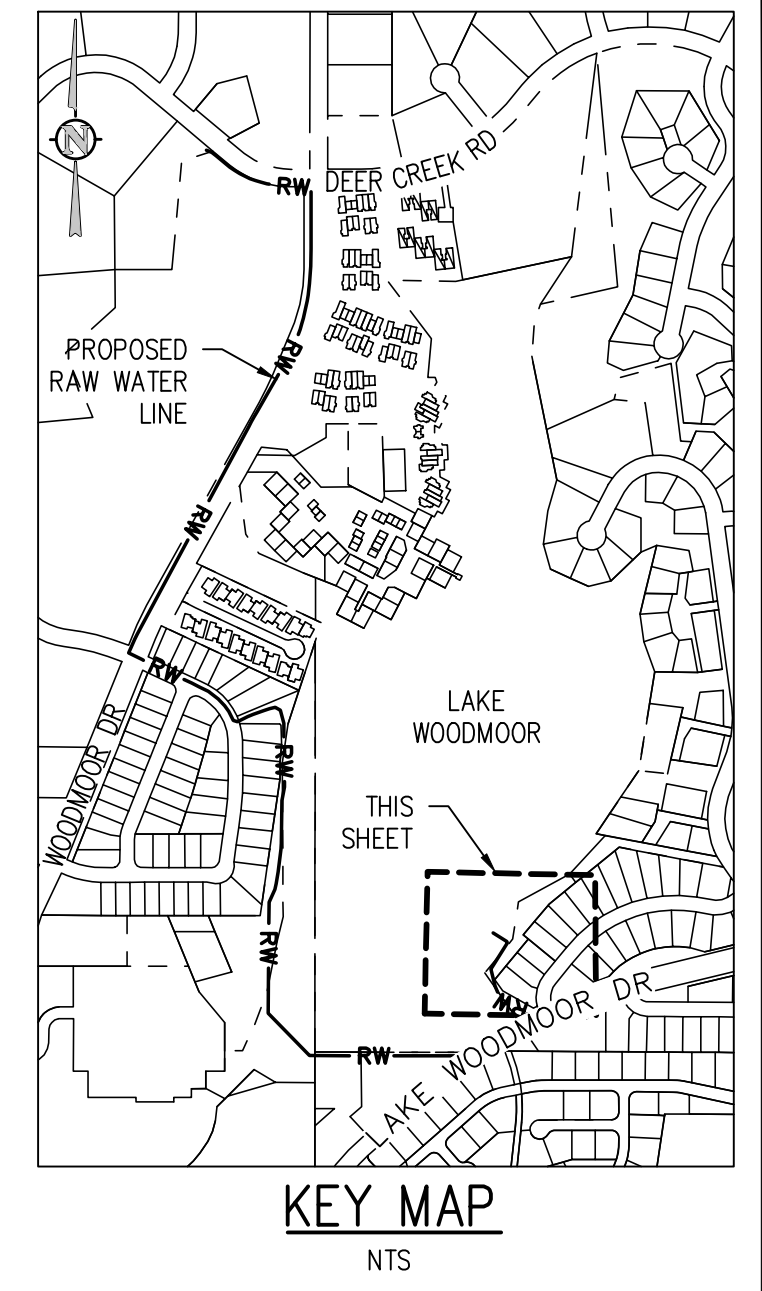
NO. DATE DESD DWN REVISION DESCRIPTION

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 CHECKED BY: JJM  
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 EROSION CONTROL PLAN

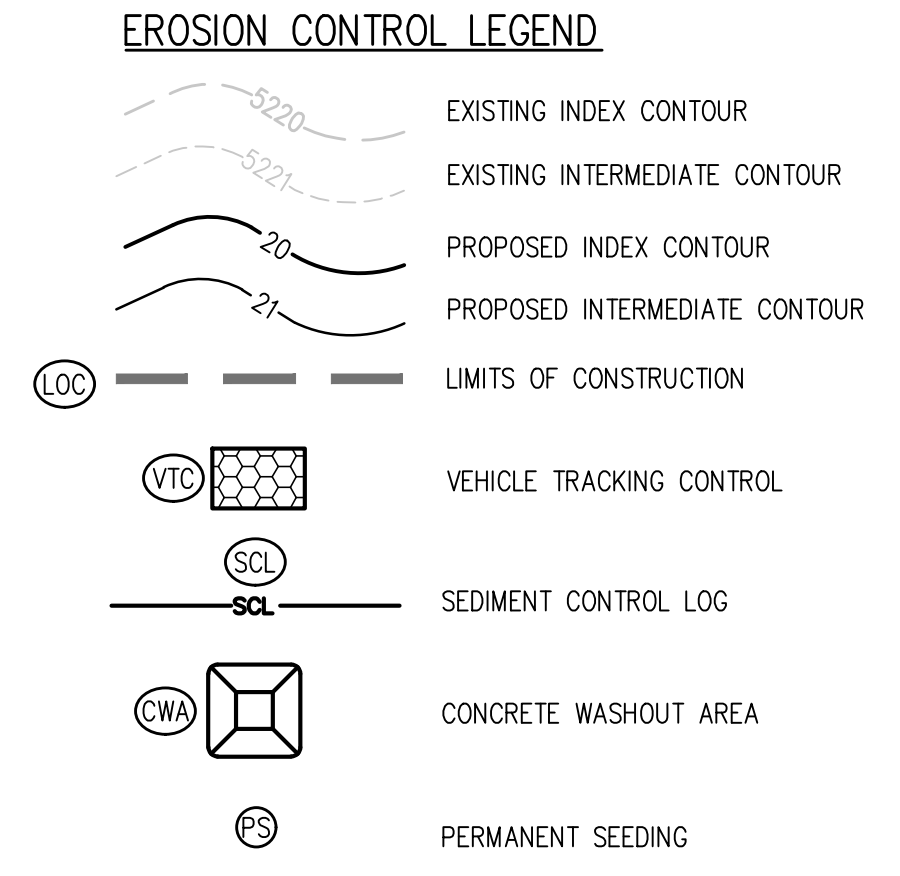
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**3**





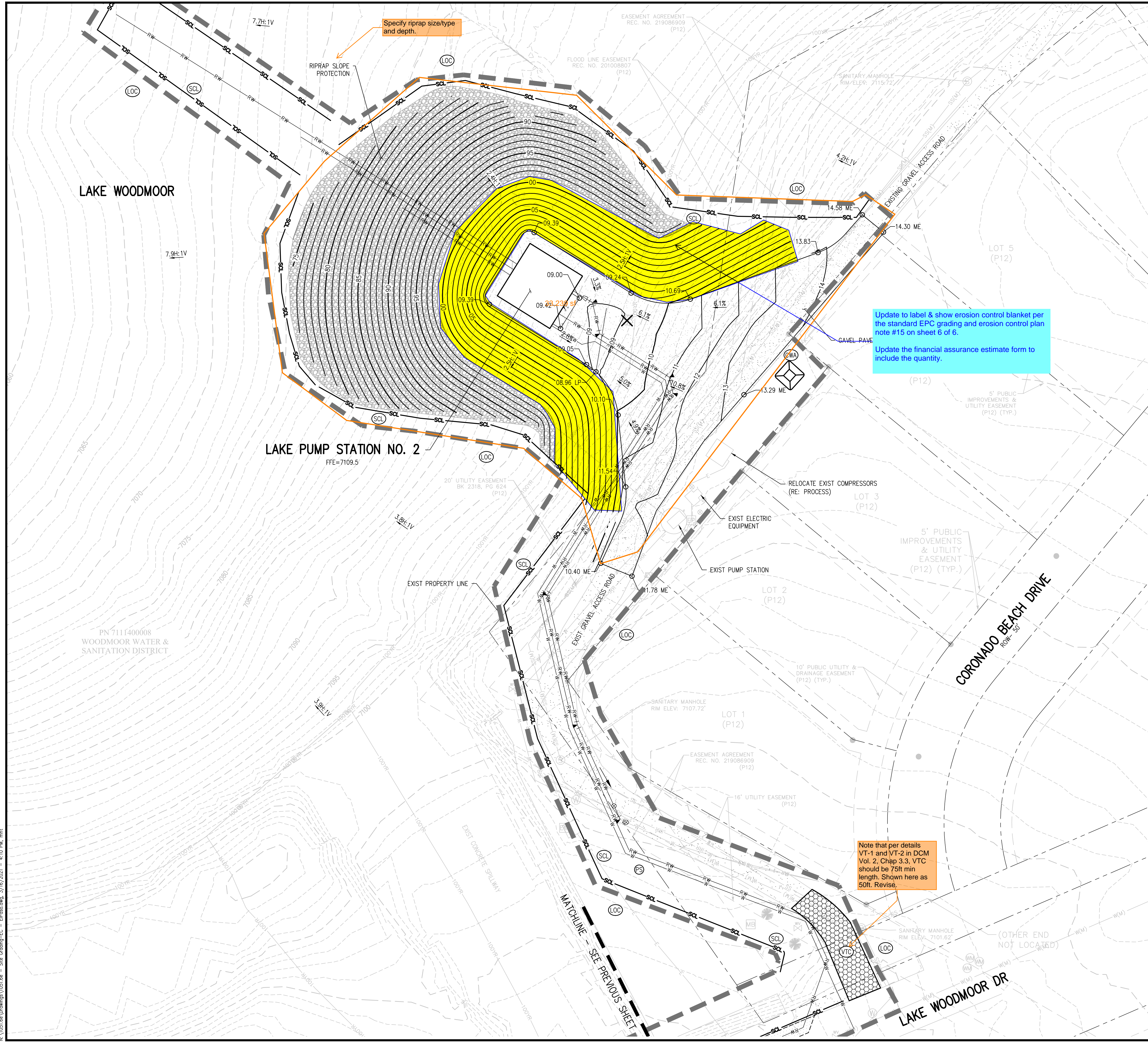
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DESIGNED BY:	KCT
DRAWN BY:	JGJ
CHECKED BY:	KJC
JOB #:	1051.0e
DATE:	MARCH 2021
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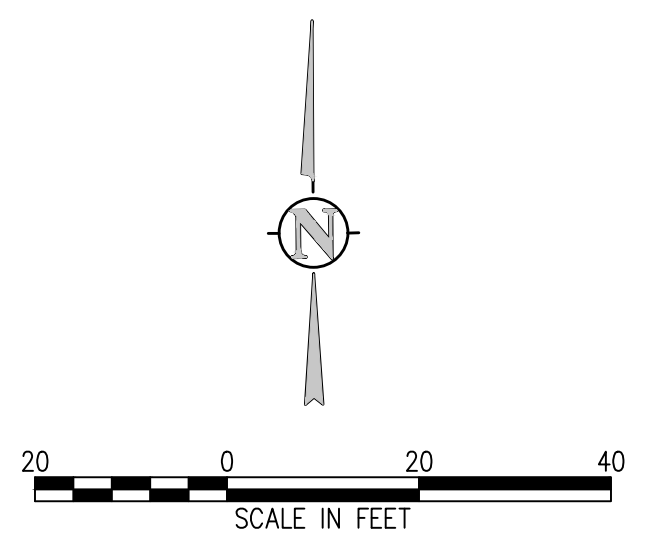
WOODMOOR WSD NO.1  
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 EL PASO COUNTY, COLORADO  
 GRADING AND EROSION CONTROL PLAN



Specify riprap size/type and depth.

Update to label & show erosion control blanket per the standard EPC grading and erosion control plan note #15 on sheet 6 of 6.  
 Update the financial assurance estimate form to include the quantity.

Note that per details VT-1 and VT-2 in DCM Vol. 2, Chap 3.3, VTC should be 75ft min length. Shown here as 50ft. Revise.



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**STANDARD NOTES FOR EL PASO COUNTY GRADING AND EROSION CONTROL PLANS**

- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE DONE IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFFSITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED QUALIFIED STORMWATER MANAGER OR CERTIFIED EROSION CONTROL INSPECTOR AND SHALL BE LOCATED ON SITE AT ALL TIMES DURING CONSTRUCTION AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP IS APPROVED AND A NOTICE TO PROCEED HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL MEASURES AS INDICATED ON THE APPROVED GEC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY STAFF.
- CONTROL MEASURES MUST BE INSTALLED PRIOR TO COMMENCEMENT OF ACTIVITIES THAT MAY CONTRIBUTE POLLUTANTS TO STORMWATER. TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED IMMEDIATELY UPON COMPLETION OF THE DISTURBANCE.
- ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE MAINTAINED AND REMAIN IN EFFECTIVE OPERATING CONDITION UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND FINAL STABILIZATION IS ESTABLISHED. ALL PERSONS ENGAGED IN LAND DISTURBANCE ACTIVITIES SHALL ASSESS THE ADEQUACY OF CONTROL MEASURES AT THE SITE AND IDENTIFY IF CHANGES TO THOSE CONTROL MEASURES IS NEEDED TO ENSURE THE CONTINUED EFFECTIVE PERFORMANCE OF THE CONTROL MEASURES. ALL CHANGES TO TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES MUST BE INCORPORATED INTO THE STORMWATER MANAGEMENT PLAN PRIOR TO IMPLEMENTATION.
- TEMPORARY STABILIZATION SHALL BE IMPLEMENTED ON DISTURBED AREAS AND STOCKPILES WHERE GROUND DISTURBING CONSTRUCTION ACTIVITY HAS PERMANENTLY CEASED OR TEMPORARILY CEASED FOR LONGER THAN 14 DAYS. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE STABILIZED.
- FINAL STABILIZATION MUST BE IMPLEMENTED AT ALL APPLICABLE CONSTRUCTION SITES. FINAL STABILIZATION IS ACHIEVED WHEN ALL GROUND DISTURBING ACTIVITIES ARE COMPLETE AND ALL DISTURBED AREAS EITHER HAVE A UNIFORM VEGETATIVE COVER WITH INDIVIDUAL PLANT DENSITY OF 70 PERCENT OF PRE-DISTURBANCE LEVELS ESTABLISHED OR EQUIVALENT PERMANENT ALTERNATIVE STABILIZATION METHOD IS IMPLEMENTED. ALL TEMPORARY SEDIMENT AND EROSION CONTROL MEASURES SHALL BE REMOVED UPON FINAL STABILIZATION AND BEFORE PERMIT CLOSURE.
- ALL PERMANENT STORMWATER MANAGEMENT FACILITIES SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS. ANY PROPOSED CHANGES THAT EFFECT THE HYDROLOGY OR HYDRAULICS OF A PERMANENT STORMWATER MANAGEMENT STRUCTURES MUST BE APPROVED BY THE ECM ADMINISTRATOR PRIOR TO IMPLEMENTATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY MINIMIZE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE DESIGNED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME. PRE-EXISTING VEGETATION SHALL BE PROTECTED AND MAINTAINED WITHIN 50 HORIZONTAL FEET OF A WATERS OF THE STATE, UNLESS INFEASIBLE.
- COMPACTION OF SOIL MUST BE PREVENTED IN AREAS DESIGNATED FOR INFILTRATION CONTROL MEASURES OR WHERE FINAL STABILIZATION WILL BE ACHIEVED BY VEGETATIVE COVER. AREAS DESIGNATED FOR INFILTRATION CONTROL SHALL ALSO BE PROTECTED FROM SEDIMENTATION DURING CONSTRUCTION UNTIL FINAL STABILIZATION IS ACHIEVED.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE A STABILIZED CONVEYANCE DESIGNED TO MINIMIZE EROSION AND THE DISCHARGE OF SEDIMENT OFF SITE.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES. CONCRETE WASHOUT SHALL NOT BE LOCATED IN AN AREA WHERE SHALLOW GROUNDWATER MAY BE PRESENT, OR WITHIN 50 FEET OF A SURFACE WATER BODY.
- DEWATERING OPERATIONS: UNCONTAMINATED GROUND WATER MAY BE DISCHARGED ON SITE, BUT MAY NOT LEAVE THE SITE IN THE FORM OF SURFACE RUNOFF.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TRASH, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE ECM ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND MONITORING MAY BE REQUIRED.
- BULK STORAGE OF PETROLEUM PRODUCTS OR OTHER LIQUID CHEMICALS IN EXCESS OF 55 GALLONS SHALL HAVE ADEQUATE SECONDARY CONTAINMENT PROTECTION TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCH FLOW LINE.
- INDIVIDUALS SHALL COMPLY WITH THE COLORADO WATER QUALITY CONTROL ACT (TITLE 25, ARTICLE 8, CRS), AND THE CLEAN WATER ACT (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE ECM APPENDIX I. ALL APPROPRIATE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY \_\_\_\_\_ AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN (10) DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION CONTAINS CERTIFICATION OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT  
 WATER QUALITY CONTROL DIVISION  
 WQCD - PERMITS  
 4300 CHERRY CREEK DRIVE SOUTH  
 DENVER, CO 80246-1530  
 ATTN: PERMITS UNIT

Fill in the blank

The following BMP's are included in the plans above. Please include details for each of them. Examples of acceptable details for each are provided:

BMP	Detail # and Source			
	ECM (Appendix E)	DCM (Vol 2: Chap 3.3)	MHFD (USDCM Vol 3: Chap 7)	CDOT Standard Plans on M-208
Concrete Washout	SD_3-84		MM-1	X
Rock Sock			SC-5	X
Seeding		TS-1	EC-2	
Sediment Control Log	SD_3-85 SD_3-86 SD_3-87		SC-2	X
Stabilized Staging Area			SM-6	
Vehicle Tracking Control		VT-1, VT-2	SM-4	X

VTC Detail: Make sure whichever VTC detail is selected is shown with a 75ft min length

Details should be included at a legible scale (generally about 4 to 6 pages of details per plan sheet)

Revise per notes shown in GEC Checklist.

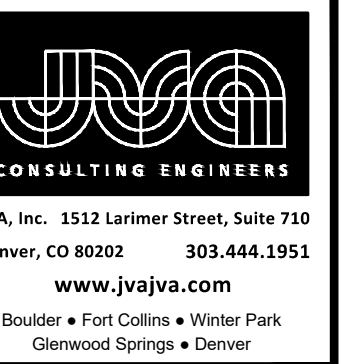
Add the El Paso County standard signage & striping notes:

- Signing and Striping Notes:**
- All signs and pavement markings shall be in compliance with the current Manual on Uniform Traffic Control Devices (MUTCD).
  - Removal of existing pavement markings shall be accomplished by a method that does not materially damage the pavement. The pavement markings shall be removed to the extent that they will not be visible under day or night conditions. At no time will it be acceptable to paint over existing pavement markings.
  - Any deviation from the striping and signing plan shall be approved by El Paso County Planning and Community Development.
  - All signs shown on the signing and striping plan shall be new signs. Existing signs may remain or be reused if they meet current El Paso County and MUTCD standards.
  - Street name and regulatory stop signs shall be on the same post at intersections.
  - All removed signs shall be disposed of in a proper manner by the contractor.
  - All street name signs shall have "D" series letters, with local roadway signs being 4" upper-lower case lettering on 8" blank and non-local roadway signs being 6" lettering, upper-lower case on 12" blank, with a white border that is not recessed. Multi-lane roadways with speed limits of 40 mph or higher shall have 8" upper-lower case lettering on 18" blank with a white border that is not recessed. The width of the non-recessed white borders shall match page 255 of the 2012 MUTCD "Standard Highway Signs".
  - All traffic signs shall have a minimum High Intensity Prismatic grade sheeting.
  - All local residential street signs shall be mounted on a 1.75" x 1.75" square tube sign post and stub post base. For other applications, refer to the CDOT Standard S-614-8 regarding use of the P2 tubular steel post signpost design.
  - All signs shall be single sheet aluminum with 0.100" minimum thickness.
  - All limit lines/stop lines, crosswalk lines, pavement legends, and arrows shall be a minimum 125 mil thickness preformed thermoplastic pavement markings with tapered leading edges per CDOT Standard S-627-1. Word and symbol markings shall be the narrow type. Stop bars shall be 24" in width. Crosswalks lines shall be 12" wide and 8' long per CDOT S-627-1.
  - All longitudinal lines shall be a minimum 15mil thickness epoxy paint. All non-local residential roadways shall include both right and left edge line striping and any additional striping as required by CDOT S-627-1.
  - The contractor shall notify El Paso County Planning and Community Development (719) 520-6819 prior to and upon completion of signing and striping.
  - The contractor shall obtain a work in the right of way permit from the El Paso County Department of Public Works (DPW) prior to any signage or striping work within an existing El Paso County roadway.

Add the following:

**Standard Notes for El Paso County Construction Plans**

- All drainage and roadway construction shall meet the standards and specifications of the City of Colorado Springs/El Paso County Drainage Criteria Manual, Volumes 1 and 2, and the El Paso County Engineering Criteria Manual.
- Contractor shall be responsible for the notification and field notification of all existing utilities, whether shown on the plans or not, before beginning construction. Location of existing utilities shall be verified by the contractor prior to construction. Call 811 to contact the Utility Notification Center of Colorado (UNCC).
- Contractor shall keep a copy of these approved plans, the Grading and Erosion Control Plan, the Stormwater Management Plan (SWMP), the soils and geotechnical report, and the appropriate design and construction standards and specifications at the job site at all times, including the following:
  - El Paso County Engineering Criteria Manual (ECM)
  - City of Colorado Springs/El Paso County Drainage Criteria Manual, Volumes 1 and 2
  - Colorado Department of Transportation (CDOT) Standard Specifications for Road and Bridge Construction
  - CDOT M & S Standards
- Notwithstanding anything depicted in these plans in words or graphic representation, all design and construction related to roads, storm drainage and erosion control shall conform to the standards and requirements of the most recent version of the relevant adopted El Paso County standards, including the Land Development Code, the Engineering Criteria Manual, the Drainage Criteria Manual, and the Drainage Criteria Manual Volume 2. Any deviations from regulations and standards must be requested, and approved, in writing. Any modifications necessary to meet criteria after-the-fact will be entirely the developer's responsibility to rectify.
- It is the design engineer's responsibility to accurately show existing conditions, both onsite and offsite, on the construction plans. Any modifications necessary due to conflicts, omissions, or changed conditions will be entirely the developer's responsibility to rectify.
- Contractor shall schedule a pre-construction meeting with El Paso County Planning and Community Development (PCD) – Inspections, prior to starting construction.
- It is the contractor's responsibility to understand the requirements of all jurisdictional agencies and to obtain all required permits, including but not limited to El Paso County Erosion and Stormwater Quality Control Permit (ESQCP), Regional Building Floodplain Development Permit, U.S. Army Corps of Engineers-issued 401 and/or 404 permits, and county and state fugitive dust permits.
- Contractor shall not deviate from the plans without first obtaining written approval from the design engineer and PCD. Contractor shall notify the design engineer immediately upon discovery of any errors or inconsistencies.
- All storm drain pipe shall be Class III RCP unless otherwise noted and approved by PCD.
- Contractor shall coordinate geotechnical testing per ECM standards. Pavement design shall be approved by El Paso County PCD prior to placement of curb and gutter and pavement.
- All construction traffic must enter/exit the site at approved construction access points.
- Sight visibility triangles as identified in the plans shall be provided at all intersections. Obstructions greater than 18 inches above flowline are not allowed within sight triangles.
- Signing and striping shall comply with El Paso County DOT and MUTCD criteria. [If applicable, additional signing and striping notes will be provided.]
- Contractor shall obtain any permits required by El Paso County DOT, including Work Within the Right-of-Way and Special Transport permits.
- The limits of construction shall remain within the property line unless otherwise noted. The owner/developer shall obtain written permission and easements, where required, from adjoining property owner(s) prior to any off-site disturbance, grading, or construction.



REVISION DESCRIPTION

LAKE PUM  
EL F  
GRADING

SHEET NO.