

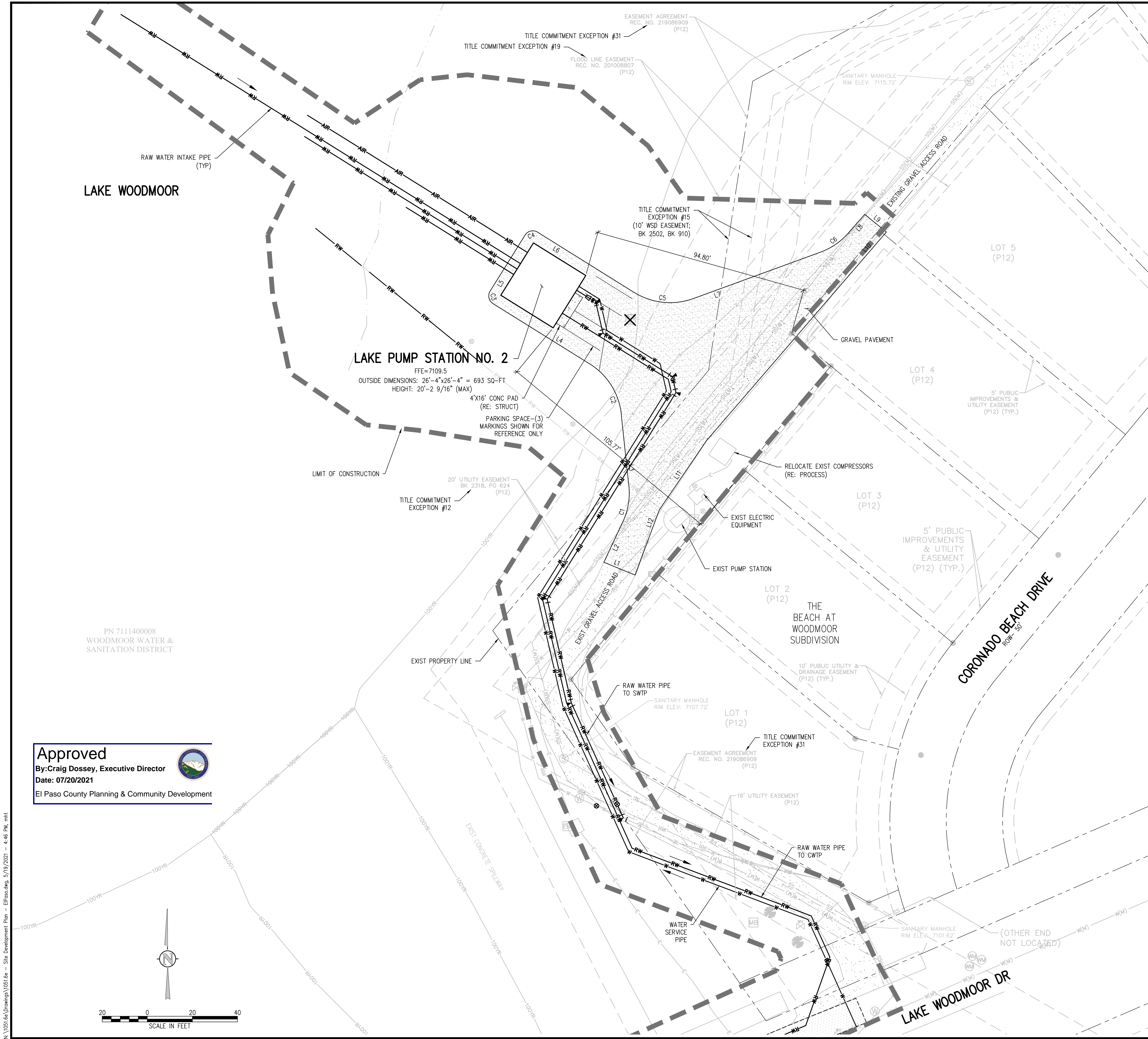
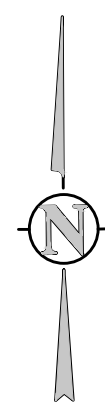
N:\10516a\Drawings\10516a - Site Development Plan - El Paso.dwg, 5/19/2021 - 4:46 PM, mnt

Approved

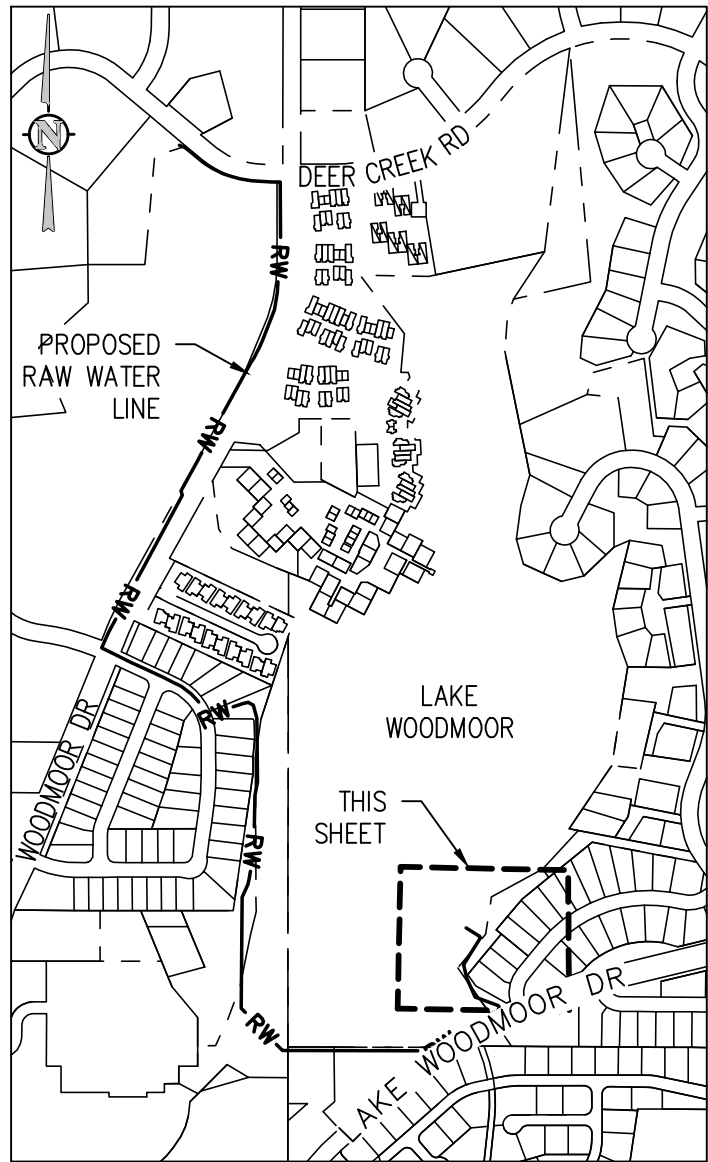
By: Craig Dossey, Executive Director

Date: 07/20/2021

El Paso County Planning & Community Development



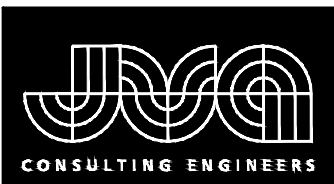
- NOTES:
- SEE ATTACHED OVERALL KEY MAP FOR PARCEL INFORMATION.
 - TITLE COMMITMENT EXCEPTIONS #18, #23, AND #38 ARE OUTSIDE OF THE PROJECT AREA.
 - EASEMENTS ASSOCIATED WITH TITLE COMMITMENT EXCEPTION #14 ARE SHOWN (FROM THE PLAT OF THE BEACH AT WOODMOOR).
 - TITLE COMMITMENT EXCEPTIONS #10 AND #32 ARE BLANKET EASEMENTS WITHIN THE PROJECT AREA.
 - TITLE COMMITMENT EXCEPTION #35 COVERS THE AREA OF THIS WHOLE SHEET.
 - TITLE COMMITMENT EXCEPTION #37 IS SHOWN (THE PLAT OF THE BEACH AT WOODMOOR FILING NO. 1).



LINE TABLE			
LINE	LENGTH	DIRECTION	START (N, E)
L1	14.96	S67° 44' 34"E	(1461094.15, 3182617.07)
L2	19.83	S25° 04' 30"W	(1461112.11, 3182625.47)
L3	31.99	S6° 03' 47"E	(1461159.80, 3182624.75)
L4	50.56	S58° 03' 40"E	(1461208.84, 3182567.88)
L5	29.33	S31° 56' 20"W	(1461239.24, 3182582.12)
L6	50.56	N58° 03' 40"W	(1461213.77, 3182630.54)
L7	60.12	S69° 56' 27"W	(1461231.67, 3182713.17)
L8	11.14	S41° 20' 13"W	(1461248.41, 3182732.77)
L9	12.38	S50° 44' 06"E	(1461248.41, 3182732.77)
L10	122.05	N40° 46' 58"E	(1461148.15, 3182662.64)
L11	37.23	N34° 16' 58"E	(1461117.39, 3182641.67)
L12	30.85	N20° 24' 32"E	(1461088.48, 3182630.91)

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD LEN
C1	16.30	30.00	31°08'18"	N9°30'21"E	16.10
C2	27.23	30.00	51°59'53"	N32°03'44"W	26.30
C3	6.28	4.00	90°00'00"	S13°03'40"E	5.66
C4	6.28	4.00	90°00'00"	S76°56'20"W	5.66
C5	27.23	30.00	51°59'53"	S84°03'36"E	26.30
C6	14.98	30.00	28°36'14"	N55°38'20"E	14.82

- Legend**
- (P1) AS PER THE PLAT OF WOODMOOR BUSINESS/TECHNOLOGICAL PARK REC. NO. 848443, 12/09/1971
- (P2) AS PER THE PLAT OF PATRIOT PLACE SUBDIVISION REC. NO. 2301134, 05/27/1993
- (P3) AS PER THE PLAT OF LLS SUBDIVISION REC. NO. 95009206, 01/26/1995
- (P4) AS PER THE PLAT OF TRI-LAKES SUBDIVISION REC. NO. 95046346, 05/12/1995
- (P5) AS PER THE PLAT OF WOODMOOR OAKS REC. NO. 440762, 10/19/1985
- (P6) AS PER THE PLAT OF WATERSIDE CONDOMINIUMS SUBDIVISION BOOK 2, PAGE 47, 02/13/1981
- (P7) AS PER THE PLAT OF LAKE WOODMOOR TOWNHOUSES II REC. NO. 200101026, 08/24/2000
- (P8) AS PER THE PLAT OF THE VILLAGE AT MOOR-WOOD FILING NO. 5 REC. NO. 200101026, 08/24/2000
- (P9) AS PER THE PLAT OF THE DUNES AT WOODMOOR FILING NO. 2 REC. NO. 216713876, 12/09/2016
- (P10) AS PER THE PLAT OF BROOKMOOR OFFICE PARK REC. NO. 202126563, 08/01/2002
- (P11) AS PER THE PLAT OF BROOKMOOR FILING NO. 2 REC. NO. 98094279, 07/07/1998
- (P12) AS PER THE PLAT OF THE BEACH AT WOODMOOR FILING NO. 1 REC. NO. 219714409, 09/26/2019
- (P13) AS PER THE PLAT POULIN SUBDIVISION REC. NO. 96054033, 05/03/1996



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WOODMOOR WSD NO.1
LAKE PUMP STATION NO. 2 AND PIPELINE
EL PASO COUNTY, COLORADO
SITE DEVELOPMENT PLAN

SHEET NO.

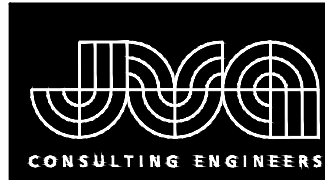
FIG-1

N:\10516a\Drawings\10516a - Site Development Plan - Key Map.dwg, 5/21/2021 - 11:37 AM, mht



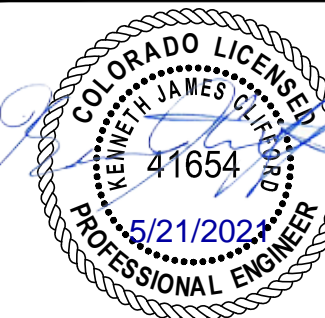
NOTES:

1. PARCELS AFFECTED BY THE PUMP STATION AND/OR THE TRANSMISSION MAIN ARE HIGHLIGHTED IN YELLOW. INFORMATION REGARDING THESE PARCELS IS INCLUDED IN THE "SITE DEVELOPMENT PLAN SUBJECT PROPERTY" AND "PROPERTIES AFFECTED BY TRANSMISSION PIPELINE" TABLES BELOW. EACH AFFECTED PARCEL IS ASSIGNED A REFERENCE LETTER FOR CLARITY. LEGAL DESCRIPTIONS ARE ATTACHED FOR REFERENCE.
2. ADJACENT PARCELS ARE SHOWN FOR REFERENCE. INFORMATION REGARDING THESE PARCELS IS INCLUDED IN THE "ADJACENT PROPERTIES" TABLES BELOW. EACH ADJACENT PARCEL IS ASSIGNED A REFERENCE NUMBER FOR CLARITY



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NO.	DATE	DES'D	DWN	REVISION DESCRIPTION



DESIGNED BY: RAH/MHT
DRAWN BY: MHT
CHECKED BY: JJM
JOB #: 1051.6e
DATE: MAY 2021
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WOODMOOR WSD NO.1
LAKE PUMP STATION NO. 2 AND PIPELINE
EL PASO COUNTY, COLORADO

VICINITY MAP

SHEET NO.

C0.1

SITE DEVELOPMENT PLAN SUBJECT PROPERTY						
REFERENCE LETTER	PARCEL NUMBER	ADDRESS	PARCEL OWNER	ZONING DESIGNATION	LAND USE	PARCEL SIZE (AC)
A	7111400008	1596 LAKE WOODMOOR DRIVE	WOODMOOR WATER & SANITATION	R-4	PLANNED DEVELOPMENT	43.19

PROPERTIES AFFECTED BY TRANSMISSION PIPELINE						
REFERENCE LETTER	PARCEL NUMBER	ADDRESS	PARCEL OWNER	ZONING DESIGNATION	LAND USE	PARCEL SIZE (AC)
B	7114107034	1592 LAKE WOODMOOR DRIVE	BEACH AT WOODMOOR HOA	PUD	HOMEOWNERS ASSOCIATION	0.66
C	7114112002	1640 LAKE WOODMOOR DRIVE	CS LAND COMPANY LLC	PUD	VACANT COMMERCIAL LOTS	1.20
D	7114112001	1680 LAKE WOODMOOR DRIVE	CS LAND COMPANY LLC	PUD	VACANT COMMERCIAL LOTS	1.34
E	7114200041		WOODMOOR WATER & SANITATION	C-2; RR-5	POLITICAL SUBDIVISION	4.68
F	7114205030	1754 WILLOW PARKWAY	DUNES AT WOODMOOR HOA	PUD	HOMEOWNERS ASSOCIATION	2.62
G	7111304014	1776 WOODMOOR DRIVE	LEWIS PALMER SCHOOL DISTRICT #38	RR-5	POLITICAL SUBDIVISION	21.63
H	7111304015	1765 DEER CREEK ROAD	WOODMOOR WATER & SANITATION	I-2	POLITICAL SUBDIVISION	2.32

ADJACENT PROPERTIES				
REFERENCE NUMBER	PARCEL NUMBER	PARCEL OWNER	ZONING DESIGNATION	LAND USE
1	7111301009	REDNER FAMILY TRUST	CC	SPECIAL PURPOSE
2	7111301010	TRI-LAKES CHAPEL INC	A-5	RELIGIOUS WORSHIP
3	7111406056	WOODMOOR LAKEHOUSE ASSN INC	R-4	HOMEOWNERS ASSOCIATION
4	7111406055	WOODMOOR LAKEHOUSE ASSN INC	R-4	HOMEOWNERS ASSOCIATION
5	7111305005	WOODMOOR WATER & SANITATION	RR-5	POLITICAL SUBDIVISION
6	7111305034	VILLAGE AT MOOR-WOOD OWNERS ASSN	R-4	HOMEOWNERS ASSOCIATION
7	7114204018	TAHSEK LLC	CC	RECREATION
8	7114205032	DUNES AT WOODMOOR HOMEOWNERS ASSN	R-4; PUD	HOMEOWNERS ASSOCIATION
9	7114207014	DUNES AT WOODMOOR HOMEOWNERS ASSN	R-4; PUD	HOMEOWNERS ASSOCIATION
10	7114208019	DUNES AT WOODMOOR HOMEOWNERS ASSN	PUD	HOMEOWNERS ASSOCIATION
11	7114205011	FORRISTAL JEFFREY	PUD	SINGLE FAMILY RES
12	7114205012	ILARRAZA ERIC	PUD	SINGLE FAMILY RES
13	7114205013	MATEA MELISSA	PUD	SINGLE FAMILY RES
14	7114205014	FRIEND EVA K	PUD	SINGLE FAMILY RES
15	7114205015	MCGOUGH ALBERT C	PUD	SINGLE FAMILY RES

ADJACENT PROPERTIES				
REFERENCE NUMBER	PARCEL NUMBER	PARCEL OWNER	ZONING DESIGNATION	LAND USE
16	7114205016	TRASK CRAIG	PUD	SINGLE FAMILY RES
17	7114205017	HARRIS NATHAN P	PUD	SINGLE FAMILY RES
18	7114205018	FLORIA JOHN JR	PUD	SINGLE FAMILY RES
19	7114205019	KRAEMER MAX W	PUD	SINGLE FAMILY RES
20	7114205020	ULRICH DAN L	PUD	SINGLE FAMILY RES
21	7114205021	HAMILTON-SMITH DAVID	PUD	SINGLE FAMILY RES
22	7114109007	JONES JENNIFER KRISTEN	PUD	VACANT RESIDENTIAL LOTS
23	7114109008	SARGENT GREGORY LEE	PUD	SINGLE FAMILY RES
24	7114100015	WOODMOOR WATER & SANITATION	RR-5	POLITICAL SUBDIVISION
25	7114109034	BEACH AT WOODMOOR HOA	PUD	HOMEOWNERS ASSOCIATION
26	7114107019	CAMPBELL HOMES LLC	PUD	SINGLE FAMILY RES
27	7114107020	CASEY JEFFREY S	PUD	SINGLE FAMILY RES
28	7114107021	KANGAS GARY E JR	PUD	SINGLE FAMILY RES
29	7114107022	MAGILL ROBERT T	PUD	SINGLE FAMILY RES

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ABBREVIATIONS

AASHTO	AMERICAN ASSOC. OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS	INCL	INCLUDED
ABAN	ABANDON	ID	INSIDE DIAMETER
AC	ASPHALTIC CONCRETE PAVING	IN	INLET
ADDL	ADDITIONAL	INSUL	INSULATION
ADDM	ADDENDUM	INV	INVERT
ADJ	ADJUSTABLE	IRR	IRRIGATION
AL	ALUMINUM	JTS	JOINTS
ALT	ALTERNATE		
AMT	AMOUNT	KO	KNOCKOUT
APPROX	APPROXIMATE	KPL	KICK PLATE
ARCH	ARCHITECT(URAL)	KWY	KEYWAY
ARV	AIR RELIEF VALVE		
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	L	LEFT OR LITER
ASPH	ASPHALT	LSCAPE	LANDSCAPE(ING)
ASSY	ASSEMBLY	LF	LINEAR FOOT
ASYM	ASYMMETRICAL	LP	LOW POINT
AUTO	AUTOMATIC	LT	LIGHT
AVG	AVERAGE	LWL	LOW WATER LEVEL
AWWA	AMERICAN WATER WORKS ASSOC.		
		MAINT	MAINTENANCE
BC	BACK OF CURB	MAN	MANUAL
BFV	BUTTERFLY VALVE	MATL	MATERIAL
BG	FINISHED GRADE ADJACENT TO BOTTOM OF WALL	MAX	MAXIMUM
BLDG	BUILDING	ME	MATCH EXISTING
BLK	BLOCK	MECH	MECHANICAL
BM	BENCH MARK	MFR	MANUFACTURER
BMP	BEST MANAGEMENT PRACTICE	MH	MANHOLE
BS	BACKSIGHT	MIN	MINIMUM
BOS	BOTTOM OF STEP	MISC	MISCELLANEOUS
BOT	BOTTOM	MJ	MECHANICAL JOINT
BSMT	BASEMENT		
BVCE	BEGIN VERTICAL CURVE ELEVATION	N	NORTH
BVCS	BEGIN VERTICAL CURVE STATION	NA	NOT APPLICABLE
BW	BOTTOM OF WALL	NIC	NOT IN CONTRACT
		NPT	NATIONAL PIPE THREAD
		NTS	NOT TO SCALE
CB	CATCH BASIN		
CCW	COUNTER CLOCKWISE	OC	ON CENTER
CDOT	COLORADO DEPARTMENT OF TRANSPORTATION	OD	OUTSIDE DIAMETER
CIP	CAST IRON PIPE	OPP	OPPOSITE
CJ	CONSTRUCTION JOINT	OPT	OPTIONAL
CL	CENTER LINE OR CHAIN LINK		
CLR	CLEAR	PC	POINT OF CURVATURE
OMP	CORRUGATED METAL PIPE	PCO	PRESSURE CLEAN OUT
OMU	CONCRETE MASONRY UNIT	PCR	POINT OF CURVE RETURN
CO	CLEANOUT	PI	POINT OF INTERSECTION
CONC	CONCRETE	PVI	POINT OF VERTICAL INTERSECTION
CONST	CONSTRUCTION	PL	PROPERTY LINE
CONT	CONTINUOUS(ATION)	PE	POLYETHYLENE
COR	CORNER	PREFAB	PREFABRICATED
CR	CONCENTRIC REDUCER	PRELIM	PRELIMINARY
CTR	CENTER	PREP	PREPARATION
CY	CUBIC YARDS	PROP	PROPOSED
		PRV	PRESSURE REDUCING VALVE OR PRESSURE RELIEF VALVE
DEMO	DEMOLITION	PSF	POUNDS PER SQUARE FOOT
DIA	DIAMETER	PSI	POUNDS PER SQUARE INCH
DIAG	DIAGONAL	PT	POINT OF TANGENCY
DIP	DUCTILE IRON PIPE	PV	PLUG VALVE
DOM	DOMESTIC	PVC	POLYVINYL CHLORIDE OR
DN	DOWN	PVT	POINT OF VERTICAL CURVATURE
DWG	DRAWING	PVMT	PAVEMENT
DWL	DOWEL		
		QTY	QUANTITY
E	EAST		
EA	EACH	R	RIGHT
ECC	ECCENTRIC	RAD	RADIUS
EJ	EXPANSION JT	RCP	REINFORCED CONCRETE PIPE
EL	ELEVATION	RD	ROOF DRAIN
ELB	ELBOW	RE	REFERENCE
ELEC	ELECTRICAL	RECT	RECTANGULAR
ENGR	ENGINEER	REINF	REINFORCE (D) (ING) (MENT)
EOP	EDGE OF PAVEMENT	REQD	REQUIRED
EQ	EQUAL	ROW	RIGHT OF WAY
EQUIP	EQUIPMENT		
EQUIV	EQUIVALENT	SAN	SANITARY
ESMT	EASEMENT	SD	STORM DRAIN
EST	ESTIMATE	SECT	SECTION
EVCE	END VERTICAL CURVE ELEVATION	SPD	STANDARD PROCTOR DENSITY
EVCS	END VERTICAL CURVE STATION	SPEC	SPECIFICATION
EW	EACH WAY	SO	SQUARE
EXP JT	EXPANSION JOINT	SO IN	SQUARE INCH
EXIST	EXISTING	SO FT	SQUARE FOOT
		SO YD	SQUARE YARD
FND	FOUNDATION	SS	SANITARY SEWER
FES	FLARED END SECTION	SST	STAINLESS STEEL
FF	FINISH FLOOR	STA	STATION
FG	FINISH GRADE	STD	STANDARD
FH	FIRE HYDRANT	STL	STEEL
FL	FLOW LINE	STRUCT	STRUCTURAL
FN	FENCE	SVC	SERVICE
FOC	FACE OF CONCRETE	SWMP	STORMWATER MANAGEMENT PLAN
FPM	FEET PER MINUTE	SYM	SYMMETRICAL
FPS	FEET PER SECOND		
FT	FEET	TB	THRUST BLOCK
FTG	FOOTING OR FITTING	TBC	TOP BACK OF CURB
		TBM	TEMPORARY BENCH MARK
G	GAS	TEMP	TEMPORARY
GA	GAUGE	TG	FINISHED GRADE ADJACENT TO TOP OF WALL
GAL	GALLON	THK	THICK
GALV	GALVANIZED	TOB	TOP OF BANK
GCO	GRADE CLEANOUT	TOC	TOP OF CONCRETE OR TOP OF CURB
GIP	GALVANIZED IRON PIPE	TOS	TOP OF STEP
GND	GROUND	TOT	TOTAL
GPD	GALLONS PER DAY	TW	TOP OF WALL OR CAP OF WALL
GPM	GALLONS PER MINUTE	TYP	TYPICAL
GR	GRATE		
GRG	GRATING	UBC	UNIFORM BUILDING CODE
GSP	GALVANIZED STEEL PIPE	UGE	UNDERGROUND ELECTRIC
GV	GATE VALVE	UTIL	UTILITY
H	HIGH	VERT	VERTICAL
HB	HOSE BIB	VC	POINT OF VERTICAL CURVATURE
HE	HORIZONTAL ELLIPTICAL	VCP	VITRIFIED CLAY PIPE
HDWL	HEADWALL		
HNDRL	HAND RAIL	W	WIDE OR WIDTH
HORIZ	HORIZONTAL	W/O	WITHOUT
HP	HIGH POINT	WOCE	WATER QUALITY CONTROL ELEVATION
HR	HOUR	WSE	WATER SURFACE ELEVATION
HVAC	HEATING, VENTILATION, AIR CONDITIONING	WW	WASTEWATER
HWY	HIGHWAY		
HWL	HIGH WATER LINE	X SECT	CROSS SECTION
HYD	HYDRANT	XMR	ELECTRONIC TRANSFORMER
		YH	YARD HYDRANT

DESIGN LEGEND

	BENCHMARK		FENCE
	MANHOLE		FLOW LINE OF DITCH OR WASH
	AREA DRAIN		SLOPE ARROW
	COMBINATION INLET		PROPOSED SPOT ELEVATION
	TYPE R INLET		EXIST SPOT ELEVATION
	TYPE 13 FIELD INLET		EXIST INDEX CONTOUR
	FLARED END SECTION W/ RIPRAP		EXIST INTERMEDIATE CONTOUR
	TEE W/ THRUST BLOCK		PROPOSED INDEX CONTOUR
	BEND W/ THRUST BLOCK		PROPOSED INTERMEDIATE CONTOUR
	END CAP W/ THRUST BLOCK		
	GATE VALVE		
	REDUCER/INCREASER		
	WATER METER		CURB AND GUTTER
	FIRE HYDRANT		SPILL/CATCH CURB TRANSITION
	SANITARY SEWER		SIGN W/ POST
	FORCE MAIN		SIDEWALK
	WATER		CONCRETE PAVING
	NON POTABLE WATER		HEAVY DUTY CONCRETE PAVING
	POTABLE WATER		HEAVY DUTY ASPHALT PAVING
	IRRIGATION		LIGHT DUTY ASPHALT PAVING
	CABLE TV		GRAVEL
	DRAIN		PROPOSED BUILDING
	ELECTRIC		BUILDING ACCESS
	UNDERGROUND ELECTRIC		RETAINING WALL
	OVERHEAD ELECTRIC		BOULDER/ROCK WALL
	TELEPHONE		LIMITS OF SAWCUT
	FIBER OPTIC		LIMITS OF WORK
	GAS		EASEMENT LINE
			PROPERTY LINE
			ADJACENT PROPERTY LINE/ROW
			MATCHLINE

DEMOLITION LEGEND

	DEMO SUBSURFACE FEATURE
	DEMO SURFACE FEATURE
	DEMO BUILDING
	ABANDON SUBSURFACE FEATURE
	LIMITS OF SAWCUT
	REMOVE EXISTING TREE
	PROTECT EXISTING TREE

DETAIL TITLE

	DETAIL NUMBER IDENTIFICATION
	SHEET WHERE THE SECTION OR ELEVATION IS CUT OR CALLED OUT - INDICATES SAME DRAWING

	DETAIL NUMBER IDENTIFICATION
	SHEET WHERE THE DETAIL IS DRAWN - INDICATES SAME DRAWING

DUCTILE IRON PIPE LEGEND

	TEE		BUTTERFLY VALVE
	CROSS		WAFER LEVER
	TEE/CROSS (UP)		BUTTERFLY VALVE
	TEE (DOWN)		WAFER LEVER (FRONT)
	90° BEND		BUTTERFLY VALVE
	90° BEND (UP)		WAFER LEVER (SIDE)
	90° BEND (DOWN)		BUTTERFLY VALVE
	45° BEND		WAFER
	45° BEND (UP)		BUTTERFLY VALVE
	45° BEND (DOWN)		WAFER (FRONT)
	REDUCER		BUTTERFLY VALVE
	REDUCER (UP)		WAFER (SIDE)
			CHECK VALVE
			CHECK VALVE (FRONT)
			CHECK VALVE (SIDE)
			PLUG VALVE
			PLUG VALVE (FRONT)
			PLUG VALVE (SIDE)

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE LATEST STANDARDS AND SPECIFICATIONS OF EL PASO COUNTY, COLORADO, WOODMOOR WATER AND SANITATION DISTRICT, COLORADO DEPARTMENT OF TRANSPORTATION, TRI-LAKES MONUMENT FIRE PROTECTION DISTRICT REQUIREMENTS, AND APPLICABLE STATE AND LOCAL STANDARDS AND SPECIFICATIONS. THE CONTRACTOR SHALL HAVE IN POSSESSION AT THE JOB SITE AT ALL TIMES ONE (1) SIGNED COPY OF APPROVED PLANS, STANDARDS AND SPECIFICATIONS. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN EMERGENCY ACCESS ROUTES TO THE SITE AND STRUCTURE AT ALL TIMES PER THE APPLICABLE TRI-LAKES MONUMENT FIRE PROTECTION DISTRICT REQUIREMENTS. THE CONTRACTOR SHALL OBTAIN WRITTEN APPROVAL FOR ANY VARIANCE TO THE ABOVE DOCUMENTS. NOTIFY ENGINEER OF ANY CONFLICTING STANDARDS OR SPECIFICATIONS. IN THE EVENT OF ANY CONFLICTING STANDARD OR SPECIFICATION, THE MORE STRINGENT OR HIGHER QUALITY STANDARD, DETAIL OR SPECIFICATION SHALL APPLY.
- THE CONTRACTOR SHALL OBTAIN, AT HIS OWN EXPENSE, ALL APPLICABLE CODES, LICENSES, STANDARD SPECIFICATIONS, PERMITS, BONDS, ETC., WHICH ARE NECESSARY TO PERFORM THE PROPOSED WORK, INCLUDING, BUT NOT LIMITED TO A LOCAL AND STATE GROUNDWATER DISCHARGE AND COLORADO DEPARTMENT OF HEALTH AND ENVIRONMENT (CDPHE) STORMWATER DISCHARGE PERMIT ASSOCIATED WITH CONSTRUCTION ACTIVITY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE REQUIRED PARTY (OWNER AND ENGINEER) AT LEAST 48 HOURS PRIOR TO START OF ANY CONSTRUCTION, PRIOR TO BACKFILLING, AND AS REQUIRED BY JURISDICTIONAL AUTHORITY AND/OR PROJECT SPECIFICATIONS. THE CONTRACTOR SHALL CONTINUE WITH NOTIFICATIONS THROUGHOUT THE PROJECT AS REQUIRED BY THE STANDARDS AND SPECIFICATIONS.
- THE LOCATIONS OF EXISTING UTILITIES ARE SHOWN IN THE APPROXIMATE LOCATION BASED ON INFORMATION BY OTHERS. NOT ALL UTILITIES MAY BE SHOWN. THE CONTRACTOR SHALL DETERMINE THE EXACT SIZE, LOCATION AND TYPE OF ALL EXISTING UTILITIES WHETHER SHOWN OR NOT BEFORE COMMENCING WORK. THE ENGINEER AND/OR OWNER ASSUMES NO RESPONSIBILITY FOR THE ACCURACY OR COMPLETENESS SHOWN ON PLANS. THE CONTRACTOR SHALL BE FULLY AND SOLELY RESPONSIBLE FOR ANY AND ALL DAMAGES AND COSTS WHICH MIGHT OCCUR BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY COMPANIES AND DETERMINE THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO PROCEEDING WITH GRADING AND CONSTRUCTION. ALL WORK PERFORMED IN THE AREA OF UTILITIES SHALL BE PERFORMED AND INSPECTED ACCORDING TO THE REQUIREMENTS OF THE UTILITY OWNER. LIKEWISE, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING AND MAPPING ANY EXISTING UTILITY (INCLUDING DEPTH) WHICH MAY CONFLICT WITH THE PROPOSED CONSTRUCTION, AND FOR RELOCATING ENCOUNTERED UTILITIES AS DIRECTED BY THE ENGINEER. CONTRACTOR SHALL CONTACT AND RECEIVE APPROVAL FROM UTILITY OWNER AND ENGINEER BEFORE RELOCATING ANY ENCOUNTERED UTILITIES. CONTRACTOR RESPONSIBLE FOR SERVICE CONNECTIONS, AND RELOCATING AND RECONNECTING AFFECTED UTILITIES AS COORDINATED WITH UTILITY OWNER AND/OR ENGINEER, INCLUDING NON-MUNICIPAL UTILITIES (TELEPHONE, GAS, CABLE, ETC., WHICH SHALL BE COORDINATED WITH THE UTILITY OWNER). THE CONTRACTOR SHALL IMMEDIATELY CONTACT ENGINEER UPON DISCOVERY OF A UTILITY DISCREPANCY OR CONFLICT. AT LEAST 48 HOURS PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE UTILITY NOTIFICATION CENTER OF COLORADO (1-800-922-1987, WWW.UCCO.ORG). SEE SURVEY UTILITY LOCATION INFORMATION BELOW.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS AT AND ADJACENT TO THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING THE PERFORMANCE OF THE WORK. THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN FOR OWNER AND/OR CITY APPROVAL AND PROVIDE ALL LIGHTS, SIGNS, BARRICADES, FENCING, FLAGMEN OR OTHER DEVICES NECESSARY TO PROVIDE FOR PUBLIC SAFETY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR AGREES TO COMPLY WITH THE PROVISIONS OF THE TRAFFIC CONTROL PLAN AND THE LATEST EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES," PART VI, FOR CONSTRUCTION SIGNAGE AND TRAFFIC CONTROL. ALL TEMPORARY AND PERMANENT TRAFFIC SIGNS SHALL COMPLY TO THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) WITH REGARD TO SIGN SHAPE, COLOR, SIZE, LETTERING, ETC. UNLESS OTHERWISE SPECIFIED. IF APPLICABLE, PART NUMBERS ON SIGNAGE DETAILS REFER TO MUTCD SIGN NUMBERS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING ANY GROUNDWATER ENCOUNTERED DURING THE CONSTRUCTION OF ANY PORTION OF THIS PROJECT. GROUNDWATER SHALL BE PUMPED, PIPED, REMOVED AND DISPOSED OF IN A MANNER WHICH DOES NOT CAUSE FLOODING OF EXISTING STREETS NOR EROSION ON ADJUTING PROPERTIES IN ORDER TO CONSTRUCT THE IMPROVEMENTS SHOWN ON THESE PLANS. GROUNDWATER TO BE PUMPED SHALL BE TESTED, PERMITTED, AND PUMPED PER THE STATE OF COLORADO AND LOCAL GROUNDWATER DISCHARGING PERMIT REQUIREMENTS.
- RIM AND GRATE ELEVATIONS SHOWN ON PLANS ARE APPROXIMATE ONLY AND ARE NOT TO BE TAKEN AS FINAL ELEVATIONS. THE CONTRACTOR SHALL ADJUST RIMS AND OTHER IMPROVEMENTS TO MATCH FINAL PAVEMENT AND FINISHED GRADE ELEVATIONS.
- THE EXISTING AND PROPOSED ELEVATIONS OF FLATWORK, SIDEWALKS, CURBS, THRESHOLDS, PAVING, ETC. AS SHOWN HEREON ARE BASED ON EXTRAPOLATION OF FIELD SURVEY DATA, EXISTING CONDITIONS, AND DATA PROVIDED BY OTHERS. AT CRITICAL AREAS AND SITE FEATURES, CONTRACTOR SHALL HAVE FORMWORK INSPECTED AND APPROVED BY OWNER, OWNER'S REPRESENTATIVE, OR ENGINEER PRIOR TO PLACING CONCRETE. MINOR ADJUSTMENTS, AS APPROVED, TO PROPOSED GRADES, INVERTS, ETC. MAY BE REQUIRED TO PREVENT PONDING OR SLOPE NOT IN CONFORMANCE WITH MUNICIPAL STANDARDS. ALL FLATWORK MUST PREVENT PONDING AND PROVIDE POSITIVE DRAINAGE AWAY FROM EXISTING AND PROPOSED BUILDINGS, WALLS, ROOF DRAIN OUTFALLS, ACROSS DRIVES AND WALKS, ETC., TOWARDS THE PROPOSED INTENDED DRAINAGE FEATURES AND CONVEYANCES. EARTHEN FORM WORK SHALL NOT BE ALLOWED.
- FINAL LIMITS OF REQUIRED ASPHALT SAWCUTTING AND PATCHING MAY VARY FROM LIMITS SHOWN ON PLANS. CONTRACTOR TO PROVIDE SAWCUT AND PATCH WORK TO ACHIEVE POSITIVE DRAINAGE AND A SMOOTH TRANSITION TO EXISTING ASPHALT WITHIN SLOPES ACCEPTABLE TO THE ENGINEER AND WITHIN MUNICIPAL STANDARDS. CONTRACTOR SHALL PROVIDE ADDITIONAL SAWCUTTING AND PATCHING AT UTILITY WORK, CONNECTION POINTS TO EXISTING PAVEMENT AND FEATURES, ETC. THAT MAY NOT BE DELINEATED ON PLANS.
- ANY EXISTING MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC. TO BE PROTECTED AND TO REMAIN IN SERVICE. IF FEATURES EXIST, EXTEND OR LOWER TO FINAL SURFACE WITH LIKE KIND CAP WITH STANDARD CAST ACCESS LID WITH SAME MARKINGS. IN LANDSCAPED AREAS PROVIDE A CONCRETE COLLAR (18"x18"x6" THICK) AT ALL EXISTING AND PROPOSED MONITORING WELLS, CLEANOUTS, VALVE BOXES, ETC.
- OWNER TO APPROVE ALL PRIVATE CONCRETE FINISHING, JOINT PATTERNS AND COLORING REQUIREMENTS PRIOR TO CONSTRUCTION. SUBMIT JOINT LAYOUT PLAN TO OWNER FOR APPROVAL PRIOR TO CONSTRUCTION.
- PIPE LENGTHS AND HORIZONTAL CONTROL POINTS SHOWN ARE FROM CENTER OF STRUCTURES; END OF FLARED END SECTIONS, ETC. SEE STRUCTURE DETAILS FOR EXACT HORIZONTAL CONTROL LOCATION. CONTRACTOR IS RESPONSIBLE FOR ADJUSTING ACTUAL PIPE LENGTHS TO ACCOUNT FOR STRUCTURES AND LENGTH OF FLARED END SECTIONS.
- ALL SURPLUS MATERIALS, TOOLS, AND TEMPORARY STRUCTURES, FURNISHED BY THE CONTRACTOR, SHALL BE REMOVED FROM THE PROJECT SITE BY THE CONTRACTOR. ALL DEBRIS AND RUBBISH CAUSED BY THE OPERATIONS OF THE CONTRACTOR SHALL BE REMOVED, AND THE AREA OCCUPIED DURING CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO ITS ORIGINAL CONDITION, WITHIN 48 HOURS OF PROJECT COMPLETION, UNLESS OTHERWISE DIRECTED BY THE MUNICIPALITY OR OWNER'S REPRESENTATIVE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE AND MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN ACCORDANCE WITH THE LOCAL JURISDICTION, THE STATE OF COLORADO, THE U.S. STANDARD PLANS OF THE COLORADO DEPARTMENT OF TRANSPORTATION, AND THE APPROVED EROSION CONTROL PLAN. JURISDICTIONAL AUTHORITY MAY REQUIRE THE CONTRACTOR TO PROVIDE EROSION CONTROL MEASURES AT THE CONTRACTOR'S EXPENSE DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE PLANS DO NOT FUNCTION AS INTENDED. THE CONTRACTOR IS RESPONSIBLE FOR PROHIBITING SILT AND DEBRIS LADEN RUNOFF FROM LEAVING THE SITE, AND FOR KEEPING ALL PUBLIC AREAS FREE OF MUD AND DEBRIS. THE CONTRACTOR IS RESPONSIBLE FOR RE-ESTABLISHING FINAL GRADES AND FOR REMOVING ACCUMULATED SEDIMENTATION FROM ALL AREAS INCLUDING SWALES AND DETENTION/WATER QUALITY AREAS. CONTRACTOR SHALL REMOVE TEMPORARY EROSION CONTROL MEASURES AND REPAIR AREAS AS REQUIRED AFTER VEGETATION IS ESTABLISHED AND ACCEPTED BY OWNER AND MUNICIPALITY.
- PROTECT ALL TREES AND VEGETATION. PLACE CONSTRUCTION FENCING AT DRIP LINE OF TREES AND PLANTS NEAR THE WORK ZONE. DEEP WATER TREES WEEKLY. HAND EXCAVATION REQUIRED AT ROOT ZONES WHERE PROPOSED PAVING OR UTILITY WORK IS WITHIN DRUPLINE OF TREES.

- SURVEY INFORMATION:
 - BENCHMARK INFORMATION: TOPOGRAPHIC INFORMATION WAS PROVIDED BY FLATIRON SURVEYING, INC. SEE "EFILE-C19-75763-LSR_2021-01-19" DATED 01/19/2021. PROJECT BENCHMARK ELEVATION: 7111.32' AT NGS CONTROL POINT T 395 (STAINLESS STEEL ROD). THE DATUM IS NAVD88 PER SURVEY. COORDINATE AND VERIFY ALL VERTICAL AND HORIZONTAL DATA SHOWN IN SURVEY AND REPORT ANY IRREGULARITIES OR DISCREPANCIES TO ENGINEER PRIOR TO CONSTRUCTION.
 - BASIS OF BEARINGS: GPS DERIVED BEARINGS BASED ON A BEARING OF S64°36'08"E ALONG THE NORTHERLY LINE OF THE DUNES AT WOODMOOR, FILING NO. 2 AS DESCRIBED IN THE RECORDS OF EL PASO COUNTY, RECORDED ON DECEMBER 09, 2016 AT RECEPTION NO. 216713876, BETWEEN A FOUND #4 REBAR WITH 1 1/4" YELLOW PLASTIC CAP "EDWARD JAMES L 33196" AT THE NORTHWESTERLY CORNER OF LOT 14 OF SAID PLAT AND A FOUND #4 REBAR WITH 1 1/4" YELLOW PLASTIC CAP "LS 31548" AT THE NORTHEASTERLY CORNER OF LOT 20 OF SAID PLAT AS SHOWN HEREON. COLORADO STATE PLANE COORDINATE SYSTEM, CENTRAL ZONE, NORTH AMERICAN DATUM 1983 (NAD83). ALL BEARINGS SHOWN HEREON ARE RELATIVE THERETO.
 - HORIZONTAL CONTROL INFORMATION: HORIZONTAL CONTROL COORDINATES ARE BASED ON THE REFERENCED SURVEY AND ARE PROVIDED BY THE FOLLOWING POINTS AS SHOWN ON THE PLANS:

CP-1	N1463889.46	E3181603.53	ELEV 7146.81	
CP-3	N1463758.58	E318955.55	ELEV 7147.60	
CP-4	N1463758.57	E3181955.58	ELEV 7147.85	
CP-28	N1461914.45	E3181634.98	ELEV 7096.08	PIN 4RBR 1.25IN YPC EDWARD JAMES LS 33196
(NAD83) 38	N1461267.86	E3181664.59	ELEV 7098.36	PIN 4RBR 1.25IN YPC EDWARD JAMES LS 33196
CP-45	N1460943.23	E3182734.55	ELEV 7102.66	PIN 4RBR 1.5IN OPC LS 25966
- SURVEY UTILITY LOCATION INFORMATION PER THE SURVEYOR: SUBSURFACE UTILITIES ARE SHOWN IN APPROXIMATE HORIZONTAL AND VERTICAL LOCATIONS CONSISTENT WITH ASCE 38-02 QUALITY LEVEL "B" (INFORMATION OBTAINED BY THE APPLICATION OF APPROPRIATE SURFACE GEOPHYSICAL METHODS TO DETERMINE THE EXISTENCE AND HORIZONTAL POSITION OF VIRTUALLY ALL UTILITIES WITHIN THE PROJECT LIMITS. THE INFORMATION OBTAINED IN THIS MANNER IS SURVEYED TO PROJECT CONTROL.) AND QUALITY LEVEL "C" (INFORMATION OBTAINED BY SURVEYING AND PLOTTING VISIBLE ABOVE-GROUND UTILITY FEATURES AND BY USING PROFESSIONAL JUDGMENT IN CORRELATING THIS INFORMATION TO QUALITY LEVEL D; INFORMATION DERIVED FROM EXISTING RECORDS OR ORAL RECOLLECTIONS), AND BASED ON FIELD MEASUREMENTS PROVIDED BY THE OWNER AND THE CONTRACTOR. SUBSURFACE UTILITIES ARE NOT DEPICTED TO THE EXTENT SET FORTH IN ASCE 38-02 QUALITY LEVELS "A" (INFORMATION OBTAINED THROUGH THE NONDESTRUCTIVE EXPOSURE OF UNDERGROUND UTILITIES, AND ALSO PROVIDES THE TYPE, SIZE, CONDITION, MATERIAL AND OTHER CHARACTERISTICS OF UNDERGROUND FEATURES.). TO THE EXTENT DEEMED NECESSARY FOR THE PROTECTION OF PERSONS AND PROPERTY, POTHOLES OR OTHER PRECISE MAPPING MAY BE COMPLETED TO CONFIRM THE EXACT LOCATION OF ANY SUBSURFACE UTILITIES. NOTIFY OWNER AND ENGINEER WITH ALL UTILITY INFORMATION PRIOR TO CONSTRUCTION. VISIT [HTTPS://WWW.FHWA.DOT.GOV/PROGRAMADMIN/SUIN/INDEX.CFM](https://www.fhwa.dot.gov/programadmin/suin/index.cfm) FOR MORE INFORMATION.

- THE CONTRACTOR AT THE CONTRACTORS EXPENSE SHALL FURNISH THE OWNER AND ENGINEER OF RECORD A COMPLETE SET OF CONSTRUCTION RECORD DRAWINGS ("AS-BUILTS") FOR THE CONSTRUCTED IMPROVEMENTS. THE AS-BUILT SET SHALL SHOW SUFFICIENT DIMENSION TIES TO PERMANENT SURFACE FEATURES OR NORTHING/EASTING POINTS FOR ALL BURIED FACILITIES TO ALLOW FOR FUTURE LOCATING. THE AS-BUILT SET SHALL SHOW AS-BUILT CONTOURS AND ELEVATIONS OF ASPHALT AND CONCRETE FLATWORK, FLOWLINES, GRADE BREAKS, STAIRS, CROSSES-SLOPES, HIGH AND LOW POINTS, AND ADDITIONAL ELEVATIONS TO DEMONSTRATE IMPROVEMENTS WERE CONSTRUCTED PER PLANS. THE AS-BUILT SET SHALL SHOW ELEVATIONS OF ALL DETENTION/WATER QUALITY FACILITIES, INCLUDING BUT NOT LIMITED TO BERMS, SPILLWAYS, BASIN BOTTOM, PIPE INVERTS, AND CONTROL STRUCTURE FEATURES (AS SURVEYED AND STAMPED BY A CERTIFIED P.L.S.). THE AS-BUILT SET SHALL ALSO INCLUDE ELEVATIONS OF MANHOLES, PIPES, INLETS, GRATES, AND SIZES OF ALL UTILITIES. THE AS-BUILT SET SHALL SHOW ANY AND ALL VARIATIONS FROM THE APPROVED PLAN. ENGINEER WILL PRODUCE FINAL RECORD DRAWINGS.

DEMOLITION NOTES:

- CONTRACTOR TO FIELD VERIFY ALL EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION. REFER TO GENERAL NOTES FOR UTILITY LOCATION AND PROTECTION.
- ACTUAL LIMITS MAY VARY, CONTRACTOR IS RESPONSIBLE FOR ADJUSTING LIMITS OF DEMOLITION AND CONSTRUCTION AS NECESSARY. COORDINATE DEMOLITION REQUIREMENTS, LIMITS OF DEMOLITION, SALVAGE ITEMS, PROTECTION OF ITEMS TO REMAIN, TREES, FENCING, ETC. WITH OWNER, ARCHITECT, ENGINEER, AND RELEVANT CONSTRUCTION AND PHASING PLANS.
- REPLACE EXISTING FLATWORK AT UTILITY TRENCHES AS REQUIRED.
- ALL SAWCUTTING AND PAVEMENT REMOVAL SHALL BE TO THE NEAREST JOINT.
- ALL DRY UTILITY AND ELECTRIC DEMOLITION OR RELOCATION SHOULD BE COORDINATED WITH PROPERTY OWNER, UTILITY OWNER, MECHANICAL ENGINEER, AND ARCHITECT PRIOR TO CONSTRUCTION.
- ALL NECESSARY EROSION AND SEDIMENTATION CONTROLS MUST BE INSTALLED PRIOR TO CONSTRUCTION.
- CONTRACTOR TO COMPLY WITH ALL REGULATORY REQUIREMENTS FOR HAZARDOUS MATERIAL REMOVAL AND DISPOSAL.
- REFER TO GENERAL NOTES FOR TREE PROTECTION. COORDINATE WITH LANDSCAPE ARCHITECT FOR TREE REMOVAL.
- CONTRACTOR TO MAINTAIN SAFE PEDESTRIAN ACCESS. PROVIDE TEMPORARY ROUTE AND SIGNAGE AS NEEDED.
- CONTRACTOR TO TAKE NECESSARY PRECAUTIONS TO PROTECT AND MAINTAIN SERVICES DURING CONSTRUCTION.
- CONTRACTOR TO REPAIR/REPLACE ALL DAMAGE TO EXISTING FLATWORK OR SITE FEATURES NOT INTENDED FOR DEMOLITION.

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WOODMOOR WSD NO.1
LAKE PUMP STATION NO. 2 AND PIPELINE
EL PASO COUNTY, COLORADO
LEGEND, NOTES, & ABBREVIATIONS
SHEET NO.
G0.1

REVISION DESCRIPTION
NO. DATE DESD OWN

