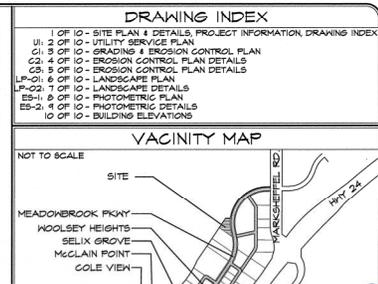
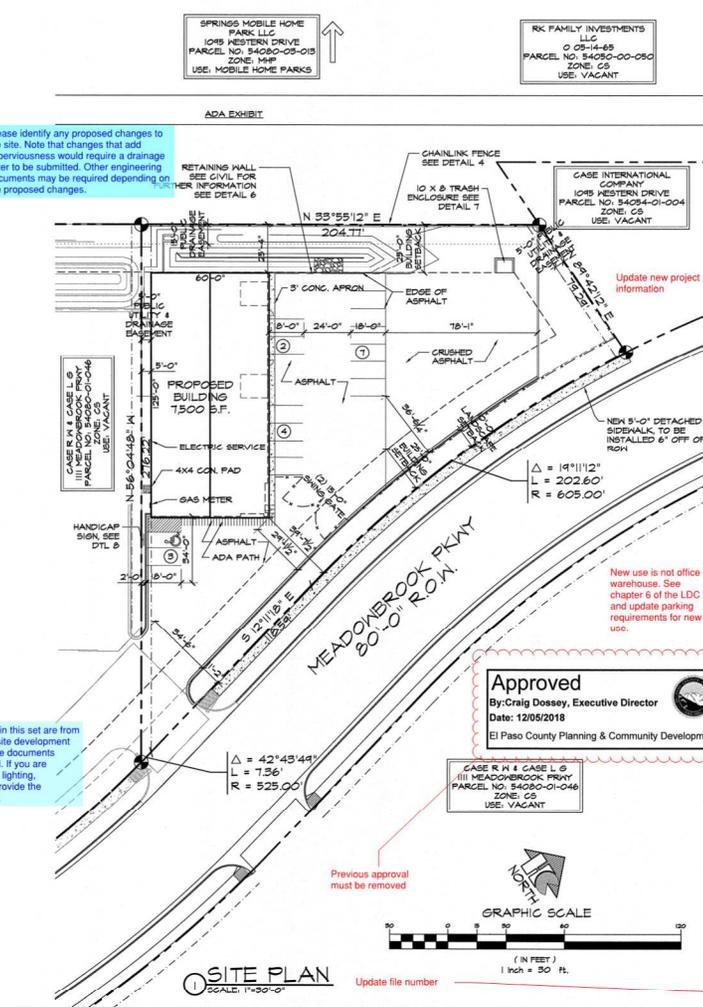


GENERAL NOTES

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE AMERICAN DISABILITY ACT AND THE STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. THE PLAN IS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR SPECIFICATIONS ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.



PROJECT INFORMATION

PROPERTY INFORMATION	HAMMERS CONSTRUCTION INC
OWNER NAME:	1411 WOOLSEY HEIGHTS COLORADO SPRINGS, CO 80915
LEGAL DESCRIPTION:	LOT 3 PADMARK BUSINESS PARK, FL NO 84081-02-056
PARCEL NUMBER:	CS
ZONING:	27,906 SF (0.87 ACRES)
LOT SIZE:	VACANT
CURRENT USE:	ZONE X (MAP NO. 080410786F, DATED MARCH 11, 1991)
FLOODPLAIN STATEMENT:	
BUILDING INFORMATION	7500 SF
NEW BUILDING AREA:	B/B-2
BUILDING COVERAGE:	1/8
TYPE OF CONSTRUCTION:	NOT SPRINKLED
FIRE SYSTEM:	NONE
AREA SEPARATION WALLS:	
ZONING CODE STATE PROPOSED PRINCIPAL USE:	OFFICE WAREHOUSE
STRUCTURAL COVERAGE OF LOT:	20%
NEW BUILDING STRUCTURAL HEIGHT:	14'-0 3/8"
FRONT YARD SETBACK:	25'-0"
SIDE YARD SETBACK:	25'-0"
REAR YARD SETBACK:	25'-0"
REQUIRED PARKING SPACES	
OFFICE (1 SPACE/200 SF)	4
WAREHOUSE (1 SPACE/1000 SF)	6
5,700 / 1000 SF	6
H-2 (1 SPACE/250 SF)	16
TOTAL PARKING SPACES REQUIRED:	26
TOTAL PARKING SPACES PROVIDED:	16
NEW STANDARD SPACES PROVIDED:	16
H.C. SPACES PROVIDED:	14' x 16' AREA PROVIDED
LOADING SPACES PROVIDED (SEE DETAIL 3 FOR DIMENSIONS)	
DEVELOPMENT SCHEDULE	FALL 2018
CONSTRUCTION:	SPRING 2019
LANDSCAPING:	
DEVELOPMENT APPLICANT COMPANY:	HAMMERS CONSTRUCTION INC.
PHONE NUMBER:	719-570-1948
FAX NUMBER:	719-570-1008
APPLICANT NAME:	LISA PETERSON
APPLICANT E-MAIL:	lpeterson@hammersconstruction.com

SITE LEGEND

PROPERTY LINE	RIGHT OF WAY	BUILDING SETBACK	LANDSCAPE SETBACK	UTILITY EASEMENT	DRAINAGE EASEMENT	CONSTRUCTION LIMIT LINE	ACCESS EASEMENT	OPFAGE CHAINLINK FENCE	6" HIGH WROUGHT IRON FENCE	GAS LINE	WATER LINE	ELECTRICAL LINE	SANITARY SEWER LINE	STORM SEWER LINE	RETAINING WALL	NEW SIDEWALK LOCATIONS W/ CONTROL JOINTS @ 5'-0" O.C.
PROPERTY CORNER	TRAFFIC FLOW	WALL PACK LIGHTING	SIGN	MANHOLE	ELECTRICAL TRANSFORMER	EXISTING FIRE HYDRANT	PROPOSED FIRE HYDRANT									

RESEMITTALS:

4-20-18 COMMENTS 8-8-18

10-17-18 COMMENTS 10-8-18

11-07-18 COMMENTS 10-30-18

EL PASO COUNTY FILE NO. PPR-18-034

1 of 10

SITE PLAN

HAMMERS CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS

CONTACT: DAVID J. HAMMERS
411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 80915
(719) 570-1948 FAX (719) 570-1008
www.hammersconstruction.com

PAD-3

PADMARK BUSINESS PARK-LOT 3
1190 MEADOWBROOK PKWY
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

Please update the construction schedule accordingly.

DATE: JULY 10, 2018
DRAWN BY: A. MCKENZIE
PROJ. MGR.: Z. CABBREE
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1060

1 of 10

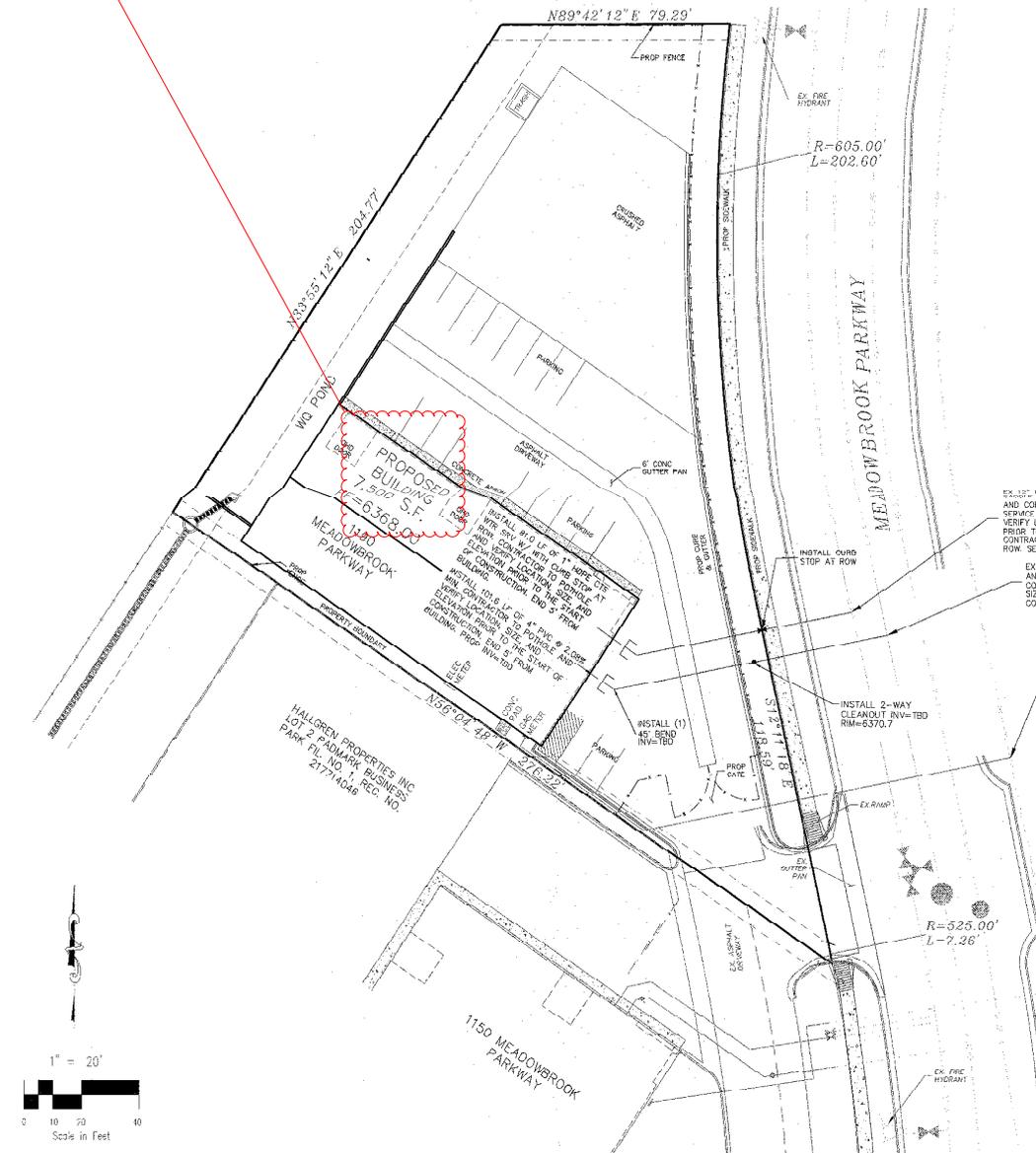
SITE PLAN

WATER AND SANITARY SEWER SERVICE INSTALLATIONS GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS OTHERWISE NOTED. IN THE EVENT OF CONFLICTING STANDARDS CHEROKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER ASTM C-110 AND 6 IN. LIPS SPECIFICATIONS EXCEPT WHERE NOTED. SPECIALLY SCHEDULED SECTIONS OF IRON PIPE THAT CROSS UNDER MAJOR DRAINAGEWAYS (SAND CREEK) OR MAJOR THROUGHFARES SHALL BE DUCTILE IRON PIPE.
3. ALL FITTINGS SHALL BE CONSTRUCTED OF 4047-IRON MATERIAL AND FINISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 3-MIL THICKNESS POLYETHYLENE MATERIAL PER ABOVE STANDARD GUID.
4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF 5 FEET (5) FEET BELOW FINISHED GRADE.
5. ALL BENDS, TEES, FIRE HYDRANTS, ELBOW-OFF, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
6. VALVE BOXES SHALL BE TYLER SLIP, TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 150 GALLON HOSE OR APPROVED EQUAL.
7. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-903. DISINTEGRATING WATER MAINS PRIOR TO ACCEPTANCE, THE CONTRACTOR SHALL PROVIDE A 2% NaOCL SOLUTION BY ADHERING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMITS CLEAR TRY INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A MICROBIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN MICROBIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
8. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FIELD PRESSURE TESTED TO A MINIMUM OF 150 PSI OF 1 1/2 HRS. THE QUALITY INSPECTION PRESURE, MEASUREMENT IS USUALLY INCREASED IN AN ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: *10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
9. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHEROKEE METROPOLITAN DISTRICT STANDARDS.
10. WHEN IT IS NECESSARY TO RAISE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL INSURE A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETERS OF PIPES.
11. WHILE CONSTRUCTING THE WATER AND WASTE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE APPROVED FIELD MODIFICATION SET OF UPDATED PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO THE PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR. THESE FIELD MODIFICATIONS SHALL BE SUBMITTED TO THE ENGINEER AND SUBMITTED TO THE ENGINEER OF RECORD. THE ENGINEER OF RECORD SHALL PROVIDE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND SOLICIT THE DATA TO THE CHEROKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.
12. PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SECURE AND RECEIVE APPROVAL FROM SAID TAP IN ACCORDANCE WITH THE CHEROKEE METROPOLITAN DISTRICT STANDARDS.
13. ALL NONMETALLIC PIPES SHALL HAVE TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 COPPER CONNECTIONS AND SHALL BE PERMANENTLY ATTACHED TO THE TOP OF THE PIPE USING TAPE AT 4" INTERVALS. TRACER WIRE SHALL BE JOINED 3-WAY OR 4-WAY LOCABLE MECHANICAL CONNECTORS SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACER WIRE INSTALLATIONS. NON-LOCABLE BRITON TAP, TAP-ON OR TAPED CONNECTIONS ARE NOT PERMITTED. THE TRACER WIRE SHALL ALSO BE CORROSION BY EPOXY OR GELCOAT COATING. ROUTE TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
14. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE CONDITION OF ALL UTILITIES DURING THE WORK. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO EXISTING UTILITIES.
15. CONTRACTOR SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 PIPE.
16. CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING MAINS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
17. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (AWW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1. EXCEPT AS NOTED ON THESE PLANS, WHERE REQUIRED ON THESE PLANS, UNDER TRAMP MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED BY COLORADO SPRINGS STANDARDS.
18. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE INSPECTOR.
19. OVERLIFT GRADING AND STREET SUB-GRADE MUST BE WITHIN +/- ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
20. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM THE MAIN LINE TO THE BUILDING STRUCTURE), AS OUTLINED IN COMMENT #13.
21. MINIMUM DEPTH OF SANITARY SEWER IS 6 FEET OF COVER. IF THIS MINIMUM CANNOT BE ACHIEVED DUE TO SHALLOW EXISTING STRUCTURE THE FOLLOWING APPLIES: OTHERWISE THE SEWER SERVICE MUST HAVE 6 FEET OF COVER:
DEPTH GREATER THAN 6 FEET: MATERIAL TYPE SDR 35
DEPTH BETWEEN 4 FEET AND 6 FEET: MATERIAL TYPE SCH 40 OR CAST IRON (CIP)
DEPTH LESS THAN 4 FEET: MATERIAL TYPE SDR 40 OR CIP WITH CONCRETE CAP.
22. WATER SERVICE MUST BE OVER THE SEWER AT ALL TIMES. SEWER SERVICE PIPE LOCATED WITHIN ONE FOOT OF THE WATER SERVICE LINE MUST BE CONSTRUCTED WITH SCH 40 PIPE OR CIP.
23. ALL EXTERIOR SEWER CLEAN OUTS (CO) MUST HAVE A CAST IRON, TRAFFIC RATED COVER, OR EQUIVALENT CONCRETE COLLAR.
24. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.
a. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS.
b. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
c. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPIING EQUIPMENT.
d. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN Adobe Acrobat PDF FORMAT.
e. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
f. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT.
g. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.

This is not a proposed building

PAD-3
EL PASO COUNTY, STATE OF COLORADO
UTILITY SERVICE PLAN



WATER INSTALLATION CORROSION CONTROL REQUIREMENTS

REQUIRED: RESISTERS AS PER AWWA. PROVIDE CATHODIC PROTECTION & WRAP ALL METAL JOINTS, VALVES, FITTINGS AND HYDRANTS.

WATER WASTEWATER PLAN APPROVAL

DATE: 12/14/18
CHEROKEE METROPOLITAN DISTRICT

CIMARRON HILLS FIRE DEPARTMENT

ACCORDING TO THE MODELED CALCULATIONS PROVIDED BY THE GOVERNING WATER DISTRICT AND/OR COLORADO REGISTERED CIVIL ENGINEER/DESIGNER, THE THEORETICAL AVAILABLE FIRE FLOW AT THIS SITE IS 1000 GALLONS PER MINUTE UNDER MAXIMUM DAILY DEMAND CONDITIONS AT 20PSI RESIDUAL. THE ACTUAL FIRE FLOW MAY VARY DUE TO VARIOUS PARAMETERS. UPON DETAILED REVIEW OF THE AVAILABLE WATER SUPPLY, FIRE HYDRANT LOCATIONS AND HOSE LAY DISTANCES, THESE PLANS ARE HEREBY CONSIDERED APPROVED.

FIRE DEPARTMENT SIGNATURE: A/G DATE:

PRIVATE WATER MAIN EXTENSIONS

THE UNDERSIGNED ENGINEER/DESIGNER ACKNOWLEDGES THAT THE INSTALLATION OF THESE PROPOSED WATER MAINS SHALL BE MADE IN ACCORDANCE WITH THE DISTRICT SPECIFICATIONS AND SHALL PROVIDE A MINIMUM OF FIVE FEET (5') AND A MAXIMUM OF SIX (6') OF COVER OVER THE WATER MAINS. THE UNDERSIGNED UNDERTAKES THAT ALL WATER MAINS, FIRE HYDRANTS AND APPURTENANCES AS INDICATED ON THIS REGULATORY PLAN SHALL REMAIN THE PROPERTY OF THE DISTRICT AND SHALL BE MAINTAINED BY THE DISTRICT.

OWNER: Hammers Construction
DATE: 12/14/18
ADDRESS: 1411 WOODLEY HEIGHTS, COLORADO SPRINGS, CO 80915

CONTACTS

OWNER	Hammers Construction Inc. 1411 WOODLEY HEIGHTS COLORADO SPRINGS, CO 80915
WATER AND WASTEWATER	20 BOULDER CRESCENT, SUITE 110 COLORADO SPRINGS, CO 80903 VIGOR A. SWANICK, P.E. 719-461-9515
FIRE DEPARTMENT	CHEROKEE METROPOLITAN DISTRICT 6550 FALMER PARK BOULEVARD COLORADO SPRINGS, CO 80915-1721 JANISHA SMITH 719-597-1000
TELEPHONE COMPANY	U.S. WEST COMMUNICATIONS (LEGATONS) 800-522-1887 AT&T (LOCATIONS) 719-436-3674

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND TO THE BEST OF MY KNOWLEDGE AND BELIEF, GOOD PLUMBING HAS BEEN PROVIDED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CHEROKEE METROPOLITAN DISTRICT. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY NEGLECT, ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS REPORT.

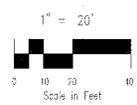
VIGOR A. SWANICK, REGISTERED P.E. #37150
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE:

UTILITY SERVICE PLAN
PAD-3
JOB NO. 44-031
DATE PREPARED: NOV. 15, 2018
DATE REVISED:

EL PASO COUNTY FILE NO. PPR 18-034

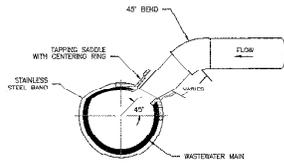
CIVIL CONSULTANTS, INC.
20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE 719.955.5465
SHEET 2 OF 10

FOR BURIED UTILITY INFORMATION
8 HRS BEFORE YOU DIG
CALL 1-800-922-1987
FOR LOCATING A MARKING GAS
ELECTRIC, WATER & TELEPHONE LINES
WATER EMERGENCY: 888-8350



LOT 3, PADMARK BUSINESS PARK FIL. NO. 1

EL PASO COUNTY, STATE OF COLORADO
UTILITY SERVICE PLAN

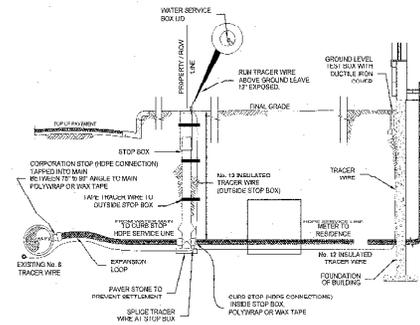


TYPICAL WASTEWATER SERVICE TAPPING SADDLE

NOTES:

1. WHEN THE WASTEWATER MAIN IS VOP, USE THE SDR 35 PVC SADDLE WITH A LARGER SADDLE. SADDLE SHALL BE ONE NOMINAL SIZE LARGER THAN THE WASTEWATER MAIN.
2. PIPE WILL BE CUT WITH AN O.D. HOLE SAW OR TAPPING MACHINE. A 4-1/2" O.D. HOLE SAW SHALL BE USED FOR 6" TAPS.
3. FOR 4" TAPS AND A 4-1/2" O.D. HOLE SAW SHALL BE USED FOR 6" TAPS.
4. ONLY 4" AND 6" VOP SIZES ARE ALLOWED.
5. WASTEWATER TAPPING SADDLES SHALL HAVE A CENTERING RING.
6. A GASKET SHALL BE USED TO ENSURE AN AIRTIGHT SEAL BETWEEN THE SADDLE AND THE PIPE.

H2PE SERVICE LINE AND TRACER WIRE DETAIL



WATER SERVICE LINE NOTES:

1. 1/2" O.D. INSULATED TRACER WIRE SHALL BE PLACED ALONG SERVICE LINE AND SHALL BE A CONTINUOUS (WITHOUT SPICES) LENGTH WITH THE EXCEPTION OF THE STOP BOX AT THE STOP BOX WITH SHALL BE WRAP WITH A COPPER CORNER FOR SPLIT BOX T CONNECTION.
2. WHEN A NEW SERVICE IS CONNECTED TO A PVC MAIN THE SERVICE LINE TRACER WIRE SHALL BE CONNECTED TO THE SERVICE LINE IN AT LEAST 1' LOCATING NOT TO EXCEED 18" SPACING AT THE CURB BOX. THE TRACER WIRE WILL BE TIED TO THE OUTSIDE OF THE CURB BOX IN AT LEAST THREE PLACES AND BOUND TO THE EXISTING SERVICE ADJACENT TO THE CURB BOX COVER. 12" OF TRACER WIRE SHALL BE EXPOSED ABOVE GROUND THEN THE TRACER WIRE WILL BE SPICED AT THE STOP BOX AND TAPPED TO THE SERVICE LINE UNTIL IT REACHES THE FOUNDATION WALL. THE TRACER WIRE SHALL FOLLOW THE FOUNDATION WALL AND TERMINATE BY A WIREMESH LEVEL 100' BUT NO MORE THAN 12" FROM THE FOUNDATION WALL.
3. FITTINGS SHALL BE INSTALLED WITHIN THE PIPE SERVICE LINE AT THE CONNECTION POINTS OF THE FITTINGS.
4. A GASKET FOR PREVENTING AIR INLEAKS SHALL BE LOCATED BEFORE THE FIRST BRANCH LINE. FOR RAGGALOW PREVENTION ASSEMBLY THIS GASKET SHALL BE LOCATED BEFORE THE FIRST BRANCH LINE.
5. THE FINAL LOCATION AT THE FOUNDATION LEVEL SHALL BE 18" FROM THE FOUNDATION OR THE SAME DISTANCE FROM THE FOUNDATION AS THE WASTEWATER SERVICE LINE CLEAROUT.
6. SINCE THE WATER SERVICE LINE AND WASTEWATER SERVICE LINE ARE LOCATED IN THE SAME TRENCH, THE TRACER WIRE MAY BE WRAPPED AND TAPPED AROUND THE OUTSIDE OF THE WASTEWATER CLEANOUT.



FOR BURIED UTILITY INFORMATION
48 HRS. BEFORE YOU DIG
CALL 1-800-522-1987
FOR LOCATING & MARKING GAS,
ELECTRIC, WATER & TELEPHONE LINES
WATER EMERGENCIES 520-0300

UTILITY SERVICE PLAN
LOT 3, PADMARK BUSINESS PARK FIL. NO. 1
JOB NO. 44-031
DATE PREPARED: SEPTEMBER 24, 2018
DATE REVISED:

EL PASO COUNTY FILE NO. PFR 10-034



20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719-535-5485

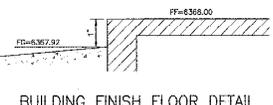
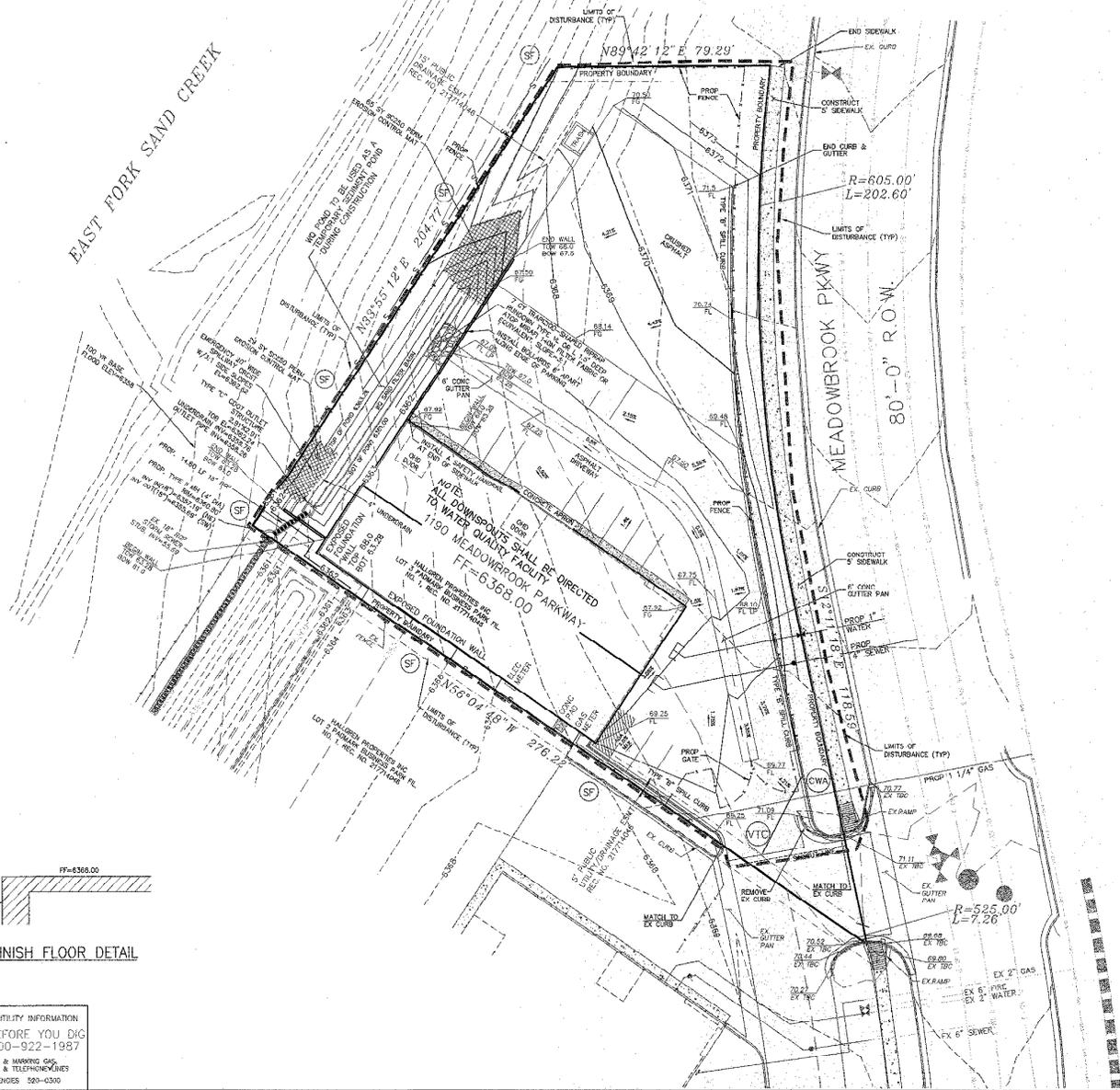
CIVIL CONSULTANTS, INC.

SHEET 2 OF 2

PAD-3

EL PASO COUNTY, STATE OF COLORADO GRADING & EROSION CONTROL PLAN

EAST FORK SAND CREEK



FOR BURIED UTILITY INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987

FOR LOCATING & MARKING GAS,
ELECTRIC, WATER & TELEPHONE LINES
WATER EMERGENCIES 500-0300

DESIGN ENGINEER'S STATEMENT

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CURRENT EDITIONS OF THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY INCURRED BY NEGLIGENT ACTS, OMISSIONS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.



WORK AS COUNSEL, COLORADO P.E. #37160
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE

OWNER/DEVELOPER'S STATEMENT:

I, THE OWNER/DEVELOPER HAVE READ AND AM AWARE OF ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

DATE: 11/13/2018

FOR: THOMAS CORPORATION
ADDRESS: 1411 WOODLEY HEIGHTS COLORADO SPRINGS, CO 80915

EL PASO COUNTY:

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

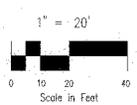
IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

Approved
11/13/2018 12:45:37 PM

JENNIFER IRVINE, P.E. DATE
COUNTY ENGINEER / EGM ADMINISTRATOR

LEGEND

- EX MAJ CONT
- EX MIN CONT
- PROP MAJ CONT
- PROP MIN CONT
- LP LOW POINT
- HP HIGH POINT
- EX EXISTING
- FI FLOWLINE
- TC TOP OF CURB
- FG FRESH GRADE
- FF FINISH FLOOR
- TOF TOP OF FOOTING
- S SILT FENCE
- SF VEHICLE TRACKING CONTROL
- VTC VEHICLE TRACKING CONTROL
- CWA COMPACTED WASH-OFF BASIN
- LIMITS OF DISTURBANCE



GRADING & EROSION CONTROL PLAN
PAD-3
JOB NO. 44-031
DATE PREPARED: OCT 10, 2018
DATE REVISED:

EL PASO COUNTY FILE NO. PPR 18-034

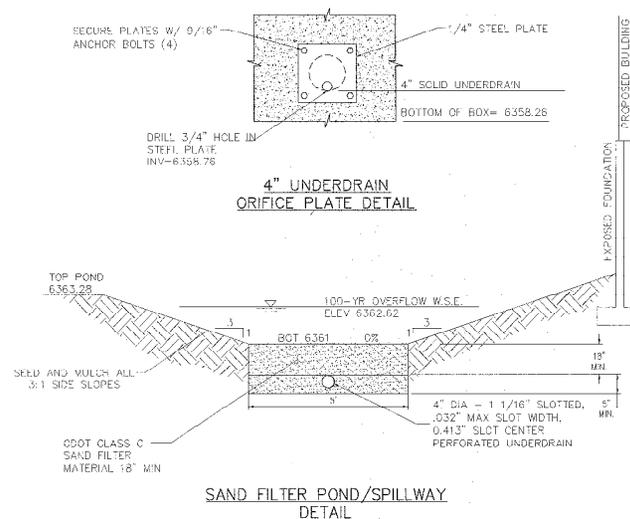
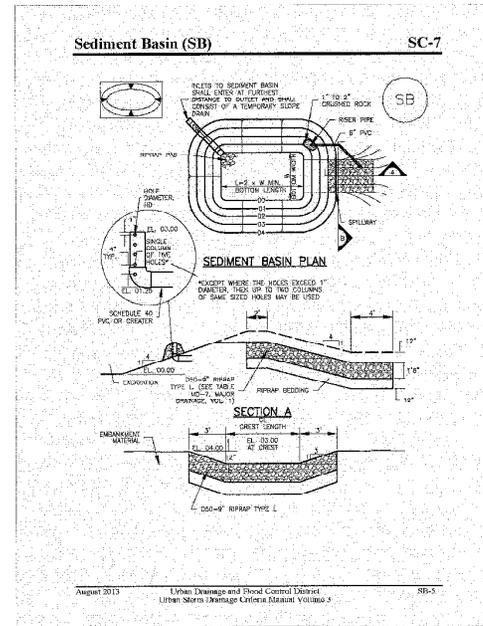
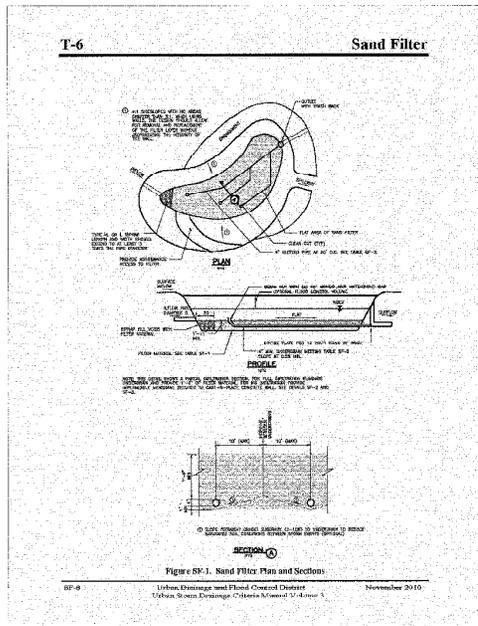


20 BOULDER CREEK, SUITE 110
COLORADO SPRINGS, CO 80902
PHONE: 719.553.5465

GRADING AND EROSION CONTROL NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND PATHS DISTURBED SHALL BE POINT IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED SUPERVISOR/MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMP'S AS INDICATED ON THE EDC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE HAS BEEN COMPLETED. RESTORED AREAS AND STOCKPILES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN EXPOSED FOR LONGER THAN 20 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMP'S SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATIONS PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMP'S IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME I AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMP'S AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION. ALL DISTURBANCES SHALL BE INSPECTED, CONSTRUCTED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A LOW FLOWING VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMP'S MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TREE, ROCK, STUMPS, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED AS MUCH AS PRACTICAL, TO THAT QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE EDC ADMINISTRATOR. IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND WARNINGS MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME II AND THE DCM APPENDIX I. ALL APPLICABLE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOIL REPORT FOR THIS SITE HAS BEEN PREPARED BY TERRACON # 23025071 MAY 30, 2006, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION (CONSISTING OF COMPLETION OF A STORMWATER MANAGEMENT PLAN (SWMP)), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
10000 PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT



PROPOSED BUILDING

FF=6368.0

PROPOSED FOUNDATION

WQCV SUMMARY	
WQCV REQUIRED =	915 CF
WQCV PROVIDED =	1002 CF
AREA REQUIRED =	402 SF
AREA PROVIDED =	409 SF
100 YR OUTLET =	CDOT TYPE C INLET TOP OF BOX=6362.24
100 YR WSE =	6362.62
EMERGENCY SPILLWAY EL =	6362.82



GRADING & EROSION CONTROL PLAN DETAILS
P10-3
JOB NO. 44-031
DATE PREPARED: OCT 10, 2018
DATE REVISION:
EL PASO COUNTY FILE NO. PPR 18-034



20 BOLDER CREEK DRIVE SUITE 110
COLORADO SPRINGS, CO 80902
PHONE: 719.555.5485

GENERAL SITE NOTES

- CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO DRAINAGE, IRRIGATION, LIGHTING, AND ELECTRICAL. COORDINATE WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL BE SLEEVED (CL 200 PVC) FOR DRIP IRRIGATION.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO DISCOVER EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH LOCAL STANDARDS AND SPECIFICATIONS AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
- THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXTENSION AGREEMENTS NEEDED FOR THE JOB, ON SITE AT ALL TIMES.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED, ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS TROLLING, REGARDING REPLANTING AS REQUIRED THROUGHOUT CONSTRUCTION PERIOD. RE-MULCH WITH NEWM MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR ANY BEEDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION PROVIDE AND MAINTAIN TEMPORARY SPRING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL AND IRRIGATION SYSTEM.

REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 10 DAYS. PLANT MATERIAL NECESSARY REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZING, WOOD MULCH OR ROCK MULCH APPLICATIONS, TRIMMING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

INSTALLATION NOTES

REMOVE EXISTING TRAFFIC, TERRAZZO AND WEDDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN)

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREV-GRO BIOGOMF CLASS 1 COMPOST.

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION BY THE OWNER.

LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS IN PLANTING BEDS BROADCAST PREEN PLANT SAFE PRE-EMERGENT WEED CONTROL IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

STEEL EDGING TO BE ROLL-TOP GALVANIZED (1/8" X 4" X 10") WITH SPINS (4 PER SECTION) OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3 (3) PROFESSIONAL GRADE POLY YSPIN WEPD BARRIER WITH STAPLES AT 9" O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

SOIL PREP NOTES

SOIL PREPARATION FOR UNDISTURBED AND/OR UNAPPROVED AREAS:

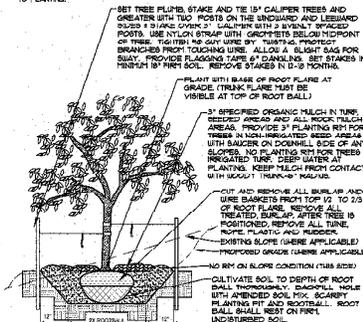
A. RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TIL TO A DEPTH. AREAS ADJACENT TO WALLS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.

B. REMOVE ALL RUBBLE, STONES AND EXTRANEIOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

FIRE SIGNAGE NOTE

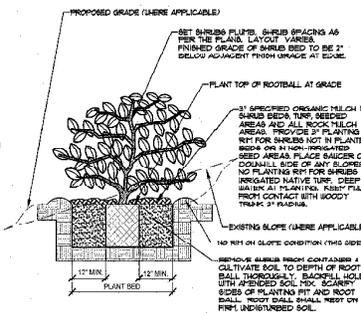
ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LANE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

- NOTES:
- MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
 - DO NOT REMOVE OR CUT LEAVES.
 - PLANT ONLY DEAD BRANCHED CROONAS OR LEAK BRANCHED (OR NARROW CROTCHES) IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXIST TO TREE.
 - CRONAS: CRONAS BRANCHED OR LEAK BRANCHED BRANCHED CROONAS OR LEAK BRANCHED CROTCHES.
 - KEEP PLANTS MOIST AND SUGGEST UNTIL PLANTING AND/OR RAIN. PLANTING IS POSSIBLE.
 - AMENDED BACKFILL SHALL BE TOP SOIL FROM PLANTING PIT AND NON ORGANIC MATERIAL.
 - WEED TREES OR SHRUBS WITH THE BRANCHED WITH NON ORGANIC MATERIAL.
 - WEED OCTOBER 5 AND REMOVE BY MARCH 31.
 - DO NOT FERTILIZE TREE DURING THE FIRST GROWING SEASON.
 - COORDINATE WITH CITY FORESTRY FOR CORRECT INSET. I-DISEASE RECOMMENDATIONS PRIOR TO PLANTING.



A DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

- NOTES:
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
 - KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
 - DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
 - CRONAS: CRONAS BRANCHED OR LEAK BRANCHED BRANCHED CROONAS OR LEAK BRANCHED CROTCHES.
 - TO TOP-BREED THE TWO HALVES OVER A TONIC OF SOIL IN PLANTING PIT.
 - FOR NOT BOARD PLANTS ONLY HAVE 45° VERTICAL CUTS IN ROOT BALL. DEEP PLANT IMMEDIATELY.



B SHRUB PLANTING DETAIL
NOT TO SCALE

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN THE LANDSCAPE AND UTILITIES MUST BE RESOLVED WITH OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT.

DOCUMENT NOTE

REVISIONS OF ANY OTHER TERMS IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVED BY THE LOCAL GOVERNMENT.

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN
8750 NORTH ACACIA BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Tel: 719-584-1122
Fax: 719-584-1122

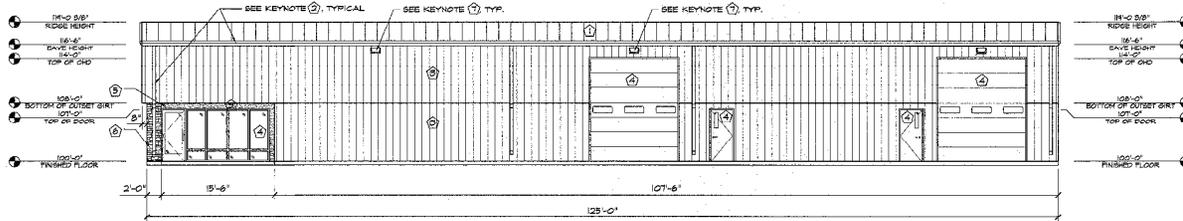


PAD-3
CLAREMONT BUSINESS PARK
1190 MEADOWBROOK PKWY
COLORADO SPRINGS, CO
EL PASO COUNTY, COLORADO

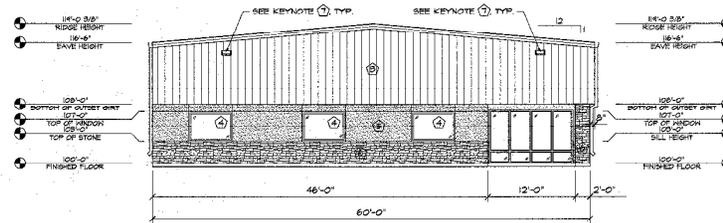
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PREPARED FOR:
HAMMERS CONSTRUCTION

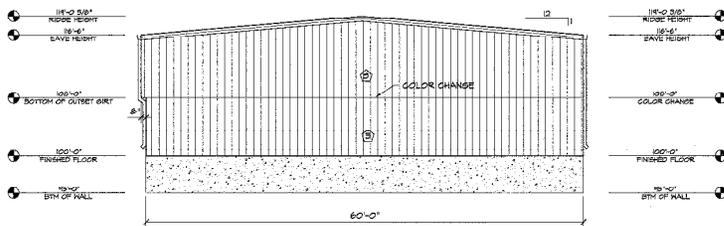
NOT FOR CONSTRUCTION	JOB NUMBER	778-18
	REVISIONS	
	3-18-18	REV COMMENTS
	10-18-18	REV COMMENTS
ORIGINAL DATE	7-2-18	
DRAWN BY	JM	
DESCRIPTION		
DETAILS AND NOTES		
SHEET NO.	7	OF 10



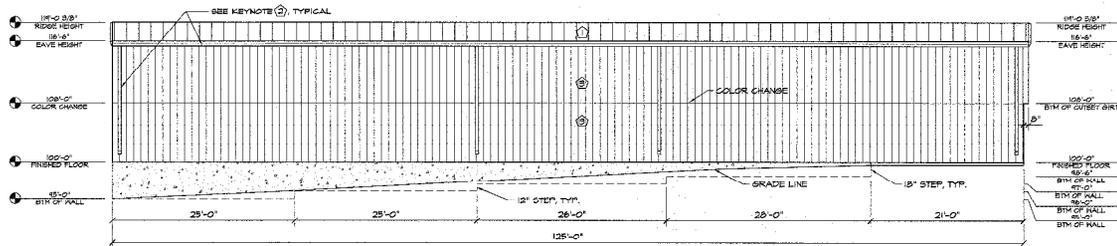
1 NORTH-EAST ELEVATION
SCALE: 1/8"=1'-0"



2 NORTH-WEST ELEVATION
SCALE: 1/8"=1'-0"



3 SOUTH-EAST ELEVATION
SCALE: 1/8"=1'-0"



4 SOUTH-WEST ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
①	PREFINISHED 24 GA. "FBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
②	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
③	PREFINISHED 26 GA. "FBR" METAL WALL PANELS BY METAL BUILDING PROVIDERS
④	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
⑤	3/4" STUCCO FINISH SYS. w/ EXPANSION JOINT-120 SQ. MAX AREA
⑥	STONE VENEER
⑦	WALL PACK LIGHT TOP OF LIGHT @ 15'-6" A.F.F. SEE ELECT. PLANS

HAMMERS CONSTRUCTION INC.
COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN RECREATIONAL
VICE PRES. DAVID J. HAMMERS
1411 WOODLEY HEIGHTS
EL PASO, TEXAS 79905
TEL: 915.732.7008
FAX: 915.732.7008
WWW.HAMMERSCONSTRUCTION.COM

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PAD-3
PADMARK BUSINESS PARK-LOT 3
1190 WEAVERBROOK PKWY
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO



DATE: JULY 10, 2018
DRAWN BY: A. MCKENZIE
PROJ. MGR: J. CRABTREE
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1060

RESUBMITTALS:

▲	5-20-18 COMMENTS 6-8-18
▲	
▲	
▲	
▲	

10 of 10
SITE PLAN