

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

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U1	2	OF	0	0	UTILITY SERVICE PLAN
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ES-2	1	OF	0	0	PHOTOMETRIC DETAILS
U1	10	OF	0	0	BUILDING ELEVATIONS

NOT TO SCALE

SITE

MEADOWBROOK PKWY

MOORELY HEIGHTS

SILX GROYE

MCCLAINE POINT

GOLE VIEW

WANDERHILL RD

Highway 24

Do you have consent from Hammers Construction and the other consultants that produced the plans?

IN

PROPERTY INFORMATION OWNER NAME:	HAMMERS CONSTRUCTION, INC 141 MOORE HEIGHTS GOLDENROD SPRINGS, CO 80405
LEGAL DESCRIPTION:	LOT 5 PADMAKIR HIGHWAY PARK, PHASE 1 N 01 T40S10 R02 S08 G5
PARCEL NUMBER:	5140657.01 (0.51 ACRES)
ZONING:	VACANT
LOT SIZE:	
CURRENT USE:	ZONE X (MAP NO. 080410G56P, DATED MARCH 11, 1981)
FLOODPLAIN STATEMENT:	
BUILDING INFORMATION BUILDING AREA:	7500 SF
BUILDING OCCUPANT:	B/S-B
TYPE OF CONSTRUCTION:	B-B
FIRE SYSTEMS:	NOT SPRINKLED
AREA SEPARATION WALLS:	

PROPOSED PRINCIPAL USE: OFFICE
HANDICAPPED: 2

STRUCTURAL COVERAGE OF LOT: 100%
PAVEMENT COVERAGE: 100%
NEW BUILDING STRUCTURAL HEIGHT: 11'-0" 3'5"
FRONT YARD SETBACK: 25'-0"
SIDE YARD SETBACK: 5'-0"
REAR YARD SETBACK: 25'-0"

REQUIRED PARKING SPACES:
OFFICE-1 (SPACE/200 SF)
1000 / 200 SF
HANDICAPPED-1 (SPACE/1000 SF)
1000 / 1000 SF
H.G.-1 (SPACE/25 REGIST)
TOTAL PARKING SPACES REQUIRED: 3
TOTAL PARKING PROVIDED: 6
NET STANDARD SPACES PROVIDED: 3
NET SPACES PROVIDED: 3
LOADING SPACE PROVIDED: 1
USE: 2 (SEE DISPOSITION) 14'X16' AREA PROVIDED

CONSTRUCTION: FALL 2018
LANDSCAPING: SPRING 2019

DEVELOPMENT APPLICANT
COMPANY:
HANNERS CONSTRUCTION, INC.
1411 MOOLEY HEIGHTS
GOLD, SFGS, CO 80415
(714)-570-1544
(714)-570-1008
LISA PETERSON
lpeter@hannersconstruction.com

PHONE NUMBER:
FAX NUMBER:
APPLICANT NAME:
APPLICANT E-MAIL:

PROPERTY LINE
 RIGHT OF WAY
 BUILDING SETBACK
 LANDSCAPE SETBACK
 UTILITY EASEMENT
 DRAINAGE EASEMENT
 CONSTRUCTION LIMIT LINE
 ACCESS EASEMENT
 OPAQUE CHAINLINK FENCE
 8' HIGH WROUGHT IRON FENCE
 GAS LINE
 WATER LINE
 ELECTRICAL LINE
 SANITARY SEWER LINE
 STORM SEWER LINE
 RETAINING WALL
 NEW SIDEWALK LOCATIONS
 W/ CONTROL JOINTS @ 5'-0" O.C.

PROPERTY CORNER
 TRAFFIC FLOW
 WALL PACK LIGHTING
 SIGN
 MANHOLE
 ELECTRICAL TRANSFORMER
 EXISTING FIRE HYDRANT
 PROPOSED FIRE HYDRANT



HAMMERS
CONSTRUCTION INC.

COMMERCIAL GENERAL CONTRACTORS SPECIALIZING IN DESIGN-BUILD

PRESIDENT: STEVE R. HAMMERS
VICE PRES: DAVID J. HAMMERS
1411 WOOLSEY HEIGHTS
COLORADO SPRINGS, CO 809015
(719) 570-1599 FAX (719) 570-7008
www.hammersconstruction.com

THIS DRAWING CONTAINS MATERIAL & INFORMATION WHICH MAY NOT BE REPRODUCED WITHOUT WRITTEN CONSENT OF HAMMERS CONSTRUCTION, INC. THESE DRAWINGS ARE INTENDED TO BE USED ONLY BY HAMMERS CONSTRUCTION & ITS REPRESENTATIVES. THESE DRAWINGS HAVE NOT BEEN PREPARED FOR ANY OTHER PURPOSE THAN TO INDICATE THE GENERAL FEATURES AND PLACEMENT OF THE PROPOSED PROJECT. COPYRIGHT © 2018 HAMMERS CONSTRUCTION

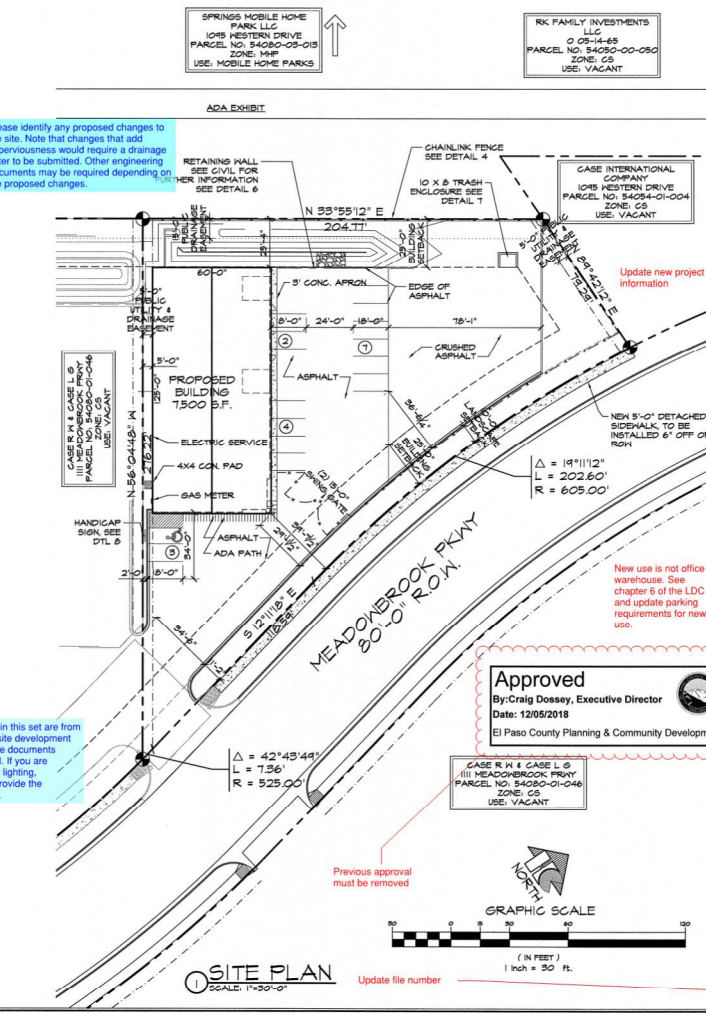
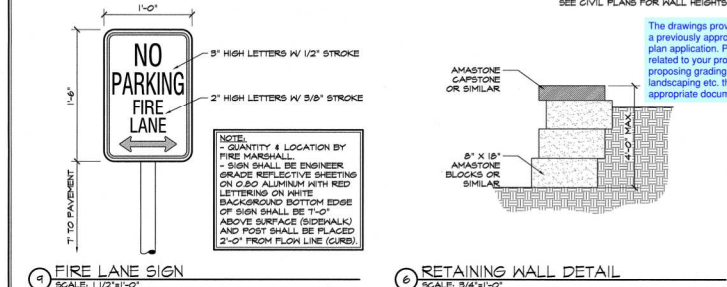
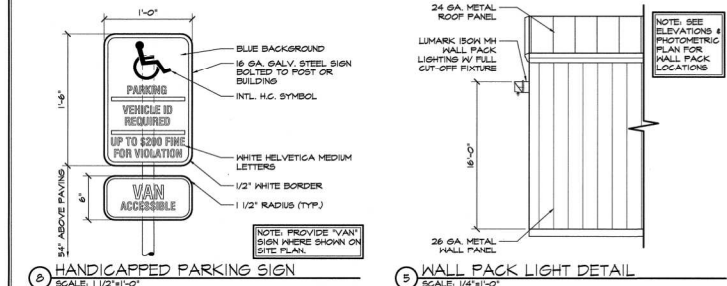
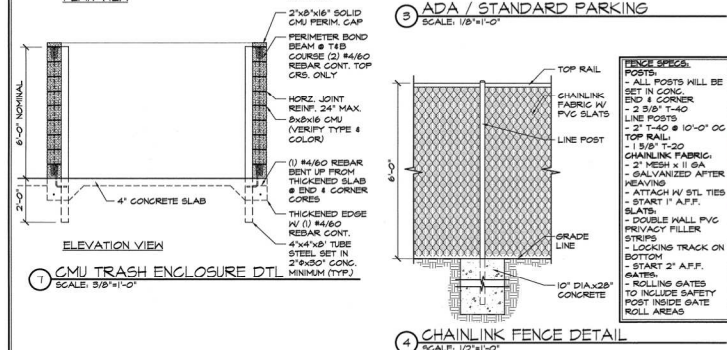
PAD-3
PADMARK BUSINESS PARK-LOT 3
1190 MEADOWBROOK PKWY
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

Please update the construction schedule accordingly.

DATE: JULY 10, 2018
DRAWN BY: A. MCKENZIE
PROJ. MNGR: Z. CRABTREE
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1060

RESUBMITTALS:
 1 9-20-18/COMMENTS 8-8-18
 2 10-17-18/DP COMMENTS 10-8-18
 3 11-07-18/COMMENTS 10-30-18

1 of 10
SITE PLAN



Approved
By: Craig Dossey, Executive Director
Date: 12/05/2018
El Paso County Planning & Community Development

CASE R N & CASE L G
MEADOWBROOK PRNT
PARCEL NO: 54080-01-046
ZONE: GS
USE: VACANT

GRAPHIC SCALE

(IN FEET)
1 inch = 30 ft.

Year	Percentage of Population Aged 65 and Over
1950	7
1960	8
1970	9
1980	10
1990	11
2000	12
2010	13
2020	14
2030	15
2040	16
2050	16

- PPR207

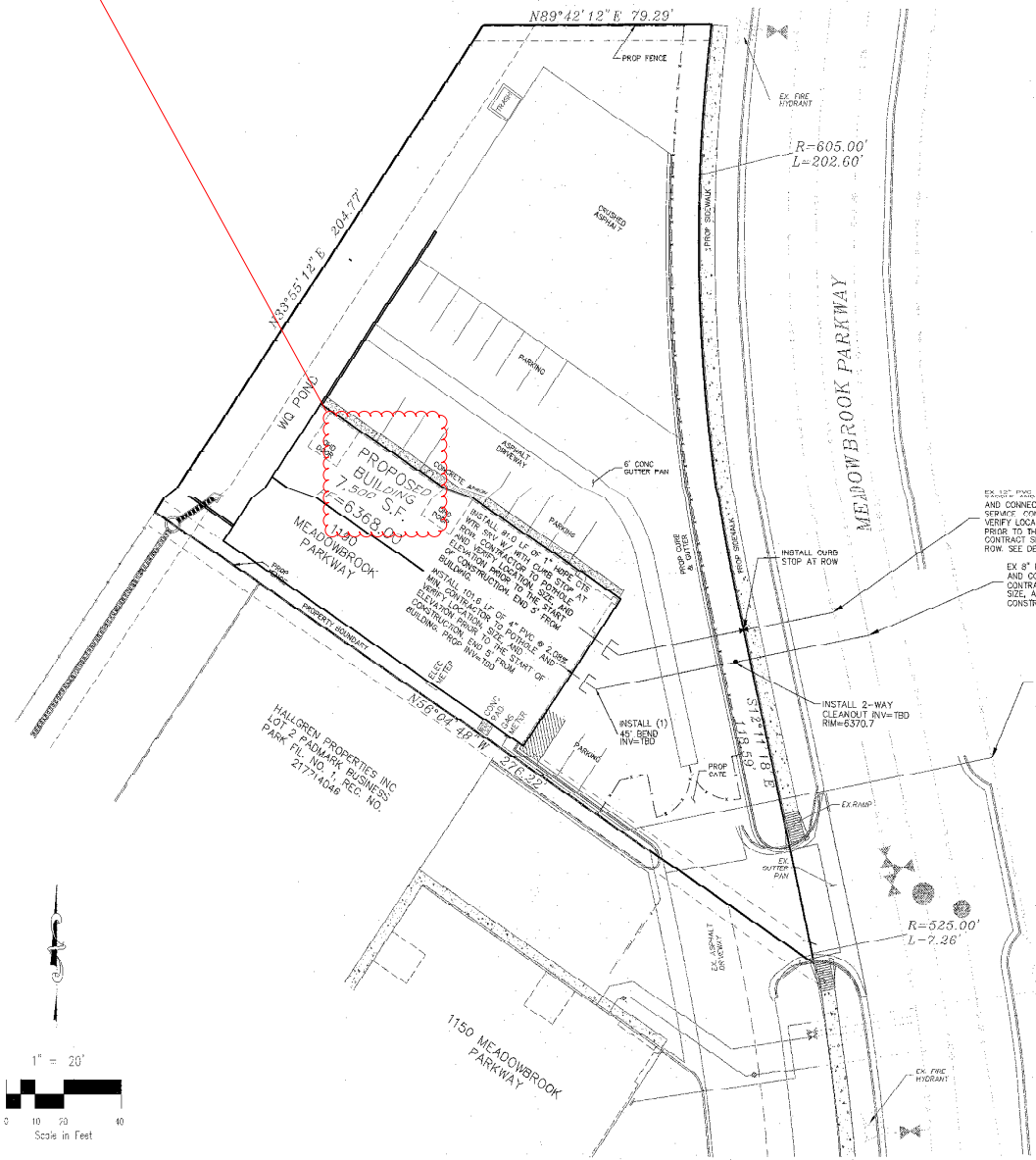
WATER AND SANITARY SEWER SERVICE INSTALLATIONS GENERAL NOTES:

1. ALL MATERIALS AND WORKMANSHIP SHALL BE IN CONFORMANCE WITH THE CHENOKEE METROPOLITAN DISTRICT STANDARDS AND THE CITY OF COLORADO SPRINGS CONSTRUCTION STANDARDS UNLESS OTHERWISE NOTED. IN THE EVENT OF CONFLICTING STANDARDS, CHENOKEE METROPOLITAN DISTRICT STANDARDS SHALL GOVERN.
2. ALL WATER SYSTEM MAINS PIPE MATERIAL SHALL BE POLYVINYL CHLORIDE (PVC) CLASS 200 (DR-14) PER AWWA C-900 AND 6" MIN. UNLESS SPECIFICATIONS, EXCEPT WHERE NOTED. SPECIALLY, SECTIONS OF IRON PIPE THAT CROSS UNDER MAJOR DRAINAGEWAYS (SAID CREEK) OR MAJOR THROUGHFARES SHALL BE DUCTILE IRON PIPE.
3. ALL FITTINGS SHALL BE CONSTRUCTED OF 4000-IRON MATERIAL AND FINISHED WITH MECHANICAL JOINT ENDS. ALL FITTINGS SHALL HAVE A MINIMUM PRESSURE RATING OF 250 PSI AND SHALL BE WRAPPED WITH A 3-MIL THICKNESS POLYETHYLENE MATERIAL PER AWWA STANDARD C100.
4. ALL WATER PIPES SHALL BE INSTALLED AT A MINIMUM DEPTH OF FIVE (5) FEET BELOW FINISHED GRADE.
5. ALL BENDS, TEES, FIRE HYDRANTS, BLOW-OFF, AND PLUGS AT DEAD END MAINS SHALL BE INSTALLED WITH CONCRETE THRUST BLOCKS.
6. VALVE BOXES SHALL BE TYLER CLIP, TYPE "C" CAST IRON VALVE BOX ASSEMBLY SERIES 6860 WITH NO. 160 UNLESS OTHERWISE APPROVED EQUAL.
7. ALL WATER SYSTEM COMPONENTS SHALL BE FLUSHED AND CHLORINATED PER AWWA C-900, "DISINFECTING WATER MAINS PRIOR TO ACCEPTANCE. THE CONTRACTOR SHALL PROVIDE A 20 MGL SOLUTION BY ADDING CHLORINE TABLETS TO THE PIPE SECTION WITH PERMATEX CLEAR TRY INSIDE THE SYSTEM. CHLORINATION SHALL OCCUR PRIOR TO HYDROSTATIC TESTING. THE CONTRACTOR SHALL OBTAIN A BACTERIOLOGICAL SAMPLE AFTER THE SYSTEM HAS BEEN FLUSHED. A CLEAN BACTERIOLOGICAL SAMPLE MUST BE OBTAINED PRIOR TO THE SYSTEM BEING PLACED INTO SERVICE.
8. HYDROSTATIC TESTING: ALL WATER SYSTEM MAINS SHALL BE FLEED PRESSURE TESTED TO A MINIMUM OF 150 PSI OR 1 1/2 TIMES THE MAINTENANCE PRESSURE, WHICHEVER IS GREATER. MAXIMUM ALLOWABLE LEAKAGE FOR EACH SECTION OF PIPE BETWEEN LINE VALVES SHALL NOT EXCEED THE FOLLOWING: *10 GALLONS PER INCH OF PIPE DIAMETER PER MILE PER DAY.
9. ALL VALVES SHALL CONFORM TO OPEN LEFT CONVENTION PER CHENOKEE METROPOLITAN DISTRICT STANDARDS.
10. WHEN IT IS NECESSARY TO BASE OR LOWER WATER MAINS AT OTHER UTILITY CROSSINGS THE CONTRACTOR SHALL MAINTAIN A MINIMUM CLEARANCE OF 18" WHERE POSSIBLE BETWEEN THE OUTSIDE DIAMETERS OF PIPES.
11. WHILE CONSTRUCTING THE WATER AND WASTE WATER SYSTEM THE CONTRACTOR SHALL HAVE IN HIS POSSESSION AT LEAST ONE TYPED COPY OF THE APPROVED SET OF UPDATES PLANS AT ALL TIMES. APPROVED FIELD MODIFICATIONS TO THE PLAN SETS SHALL BE CLEARLY IDENTIFIED IN RED INK ON THE PLANS BY THE CONTRACTOR. THESE RED INK CHANGES SHALL BE DATED AND SIGNED BY THE CONTRACTOR. THE ENGINEER OF RECORD SHALL PREPARE A COMPLETE SET OF "AS CONSTRUCTED" DRAWINGS AND SUBMIT THE SETS TO THE CHENOKEE METROPOLITAN DISTRICT PRIOR TO FINAL ACCEPTANCE OF THE WATER SYSTEM.
12. PRIOR TO TAPPING ANY EXISTING WATER MAIN THE CONTRACTOR SHALL SUBMIT AND RECEIVE APPROVAL FOR SAID TAP IN ACCORDANCE WITH THE CHENOKEE METROPOLITAN DISTRICT STANDARDS.
13. ALL NONMETALLIC PIPES SHALL HAVE TRACER WIRE ATTACHED TO ITS TOP DURING CONSTRUCTION. THE TRACER WIRE SHALL BE #12 AWG INSULATED COPPER WIRE WITH NO. 12 COPPER CONNECTIONS AND SHALL BE PERMANENTLY ATTACHED TO THE TOP OF THE PIPE USING TAPE AT 4" INTERVALS. TRACER WIRE SHALL BE JOINED 3-WAY OR 4-WAY LOCATEABLE MECHANICAL CONNECTORS SPECIFICALLY MANUFACTURED FOR USE IN UNDERGROUND TRACER WIRE INSTALLATIONS. NON-LOCATING TRACER WIRE, TIE-ON OR TAPED CONNECTIONS ARE NOT PERMITTED. THE TRACER WIRE SHALL ALSO BE CORROSION BY EPOXY OR GLASS COATING. ROUTE TRACER WIRES TO SURFACE AT ALL VALVE BOXES.
14. THE CONTRACTOR ASSUMES RESPONSIBILITY FOR THE PROTECTION OF ALL UTILITIES DURING THE WORK. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN A UTILITY LOCATING SERVICE FROM THE CITY OF COLORADO SPRINGS.
15. SANITARY SEWER PIPE SHALL CONFORM TO ASTM D3034 SDR35 DUC.
16. CONTRACTOR SHALL FIELD UTILITY LOCATION AND PLACEMENT OF EXISTING MAINS PRIOR TO INSTALLATION OF NEW SANITARY SEWER SYSTEM.
17. ALL SANITARY SEWER MANHOLES, LIDS, BASES AND OTHER APPURTENANCES SHALL BE IN ACCORDANCE WITH (DAW) COLORADO SPRINGS DETAILS STANDARD MANHOLE DETAIL 1, EXCEPT AS NOTED ON THESE PLANS. WHERE REQUIRED ON THESE PLANS, WATER TRAP MANHOLES, LIDS AND CONNECTIONS SHALL BE PROVIDED BY COLORADO SPRINGS STANDARDS.
18. SANITARY SEWER SERVICE LINES SHALL BE LOCATED PER THE DETAIL ON THE UTILITY SERVICE PLAN, OR AT THE DIRECTION OF THE INSPECTOR.
19. OVERLAP GRADING AND STREET SUB-GRADE MUST BE WITHIN +/- ONE (1) FOOT PRIOR TO ANY UTILITY INSTALLATION.
20. TRACER WIRE IS TO BE INSTALLED WITH ALL SANITARY SEWER MAIN LINES AND SERVICES (FROM THE MAIN LINE TO THE BUILDING STRUCTURE), AS OUTLINED IN COMMENT #13.
21. MINIMUM DEPTH OF SANITARY SEWER IS 5 FEET OF COVER. IF THIS MINIMUM CANNOT BE ACHIEVED DUE TO SHALLOW EXISTING SUB-THE FOLLOWING APPLIES: OTHERWISE THE SEWER SERVICE MUST HAVE 5 FEET OF COVER:
DEPTH GREATER THAN 6 FEET: MATERIAL TYPE SDR 35
DEPTH BETWEEN 4 FEET AND 6 FEET: MATERIAL TYPE SDR 40 OR CAST IRON (CPI)
DEPTH LESS THAN 4 FEET: MATERIAL TYPE SDR 40 OR CP WITH CONCRETE DCP.
22. WATER SERVICE MUST BE OVER THE SEWER AT ALL TIMES. SEWER SERVICE PIPE LOCATED WITHIN ONE FOOT OF THE WATER SERVICE LINE MUST BE CONSTRUCTED WITH SCH 40 PIPE OR CP.
23. ALL EXTERIOR SEWER CLEAN OUTS (CO) MUST HAVE A CAST IRON, TRAFFIC RATED COVER, OR EQUIVALENT CONCRETE COLLAR.
24. UPON COMPLETION OF CONSTRUCTION AND PRIOR TO ACCEPTANCE BY THE DISTRICT, TWO (2) COPIES OF "AS-CONSTRUCTED" PLANS AND TWO (2) SETS OF ELECTRONIC DATA FILES OF THE PLANS SHALL BE SUBMITTED TO THE DISTRICT FOR RECORD.
a. THE TWO (2) COPIES SHALL BE COMPLETE WITH ALL "AS-CONSTRUCTED" INFORMATION TOGETHER WITH A CERTIFICATION BY THE PARTY RESPONSIBLE FOR CONSTRUCTION THAT ALL DATA THEREON IS ACCURATE AND REPRESENTS ACTUAL CONSTRUCTED CONDITIONS.
b. THE TWO PLAN SETS SHALL BE SUBMITTED ON SHEETS THAT ARE 24" X 36" IN SIZE.
c. THE PLAN SET SHALL BE ON A DURABLE MEDIA THAT CAN BE RUN THROUGH PHOTOCOPIING EQUIPMENT.
d. THE TWO ELECTRONIC DATA FORMATS SHALL BE SUBMITTED. THE FIRST ELECTRONIC DATA FILE SET SHALL BE IN AUTOCAD 2006 OR NEWER FORMAT WITH NO EXTERNAL REFERENCE DRAWINGS. ALL EXTERNAL REFERENCES MUST BE BOUND INTO THE DRAWING SET. THE SECOND SET OF ELECTRONIC DATA FILES SHALL BE IN ADOBE ACROBAT PDF FORMAT.
e. "AS-CONSTRUCTED" PLANS SHALL BE SUBMITTED WITHIN TWO WEEKS OF COMPLETION OF THE WATER AND/OR SANITARY SEWER UTILITIES.
f. NO AUTHORIZATION TO CONNECT TO THE SYSTEM OR DISCHARGE TO THE SYSTEM WILL BE ALLOWED UNTIL THE "AS-CONSTRUCTED" DOCUMENTS HAVE BEEN RECEIVED AND ACCEPTED BY THE DISTRICT.
g. ALL PLANS, SPECIFICATIONS AND SUPPORTING DOCUMENTS SHALL BE PREPARED BY OR UNDER THE DIRECT SUPERVISION OF A PROFESSIONAL ENGINEER LICENSED TO PRACTICE IN THE STATE OF COLORADO. ALL PLANS AND SPECIFICATIONS SHALL BEAR THE SEAL AND SIGNATURE OF SAID LICENSED PROFESSIONAL ENGINEER.

This is not a proposed building

PAD-3

EL PASO COUNTY, STATE OF COLORADO UTILITY SERVICE PLAN



WATER INSTALLATION CORROSION CONTROL REQUIREMENTS

REQUIRED, DESIGNED AS FOLLOWS: PROVIDE CATHODIC PROTECTION & WRAP ALL METAL JOINTS, VALVES, PIPES AND HYDRANTS.

WATER WASTEWATER PLAN APPROVAL

DATE: 12/16/18
CHENOKEE METROPOLITAN DISTRICT

CIMARRON HILLS FIRE DEPARTMENT

ACCORDING TO THE MODELED CALCULATIONS PROVIDED BY THE GOVERNING WATER DISTRICT AND/OR COLORADO REGISTERED CIVIL ENGINEER/DESIGNER, THE THEORETICAL AVAILABLE FIRE FLOW AT NODE WY IS 6000 GALLONS PER MINUTE. THE ACTUAL FIRE FLOW MAY VARY DUE TO VARIOUS PARAMETERS. UPON DETAILED REVIEW OF THE AVAILABLE WATER SUPPLY, FIRE HYDRANT LOCATIONS AND HOSE LAY DISTANCES, THESE PLANS ARE HEREBY CONSIDERED APPROVED.

FIRE DEPARTMENT SIGNATURE: A/A DATE:

PRIVATE WATER MAIN EXTENSIONS

THE UNDERSIGNED ENGINEER/DESIGNER ACKNOWLEDGES THAT THE INSTALLATION OF THESE PROPOSED WATER FACILITIES WILL BE MADE IN ACCORDANCE WITH THE DISTRICTS SPECIFICATIONS AND SHALL PROVIDE A MINIMUM OF FIVE FEET (5') AND A MAXIMUM OF SIX (6') OF COVER OVER THE WATER MAINS. THE UNDERSIGNED UNDERTAKES THAT ALL WATER MAINS, FIRE HYDRANTS AND APPURTENANCES AS INDICATED ON THIS REGULATION PLAN SHALL REMAIN THE PROPERTY OF THE OWNER AND SHALL BE MAINTAINED BY THE OWNER.

SIGNED: DATE:

FOR: HAMMERS CONSTRUCTION

ADDRESS: 1411 WOODLEY HEIGHTS, COLORADO SPRINGS, CO 80915

CONTACTS

OWNER: HAMMERS CONSTRUCTION INC.
1411 WOODLEY HEIGHTS
COLORADO SPRINGS, CO 80915
20 BOULDER CREEK, SUITE 110
COLORADO SPRINGS, CO 80903
VIRIL A. SANCHEZ, P.E.
719-461-0818
WATER AND WASTEWATER: CHENOKEE METROPOLITAN DISTRICT
6550 FULLER PARK BOULEVARD
COLORADO SPRINGS, CO 80915-1721
JONATHAN SMITH
719-597-0400
FIRE DEPARTMENT: CIMARRON HILLS FIRE DEPARTMENT
1605 TOWNSEND PLACE
COLORADO SPRINGS, CO 80915
719-597-0900
TELEPHONE COMPANY: U.S. WEST COMMUNICATIONS (SOUTHWEST)
800-922-1887
AT&T (LOCATORS)
719-430-3674

ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. THIS PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE CHENOKEE METROPOLITAN DISTRICT. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS REPORT.

VIRIL A. SANCHEZ, COLORADO P.E. #3710
FOR AND ON BEHALF OF M & S CIVIL CONSULTANTS, INC. DATE:

UTILITY SERVICE PLAN
PAD-3
JOB NO. 44-031
DATE PREPARED: NOV. 15, 2018
DATE REVISED:

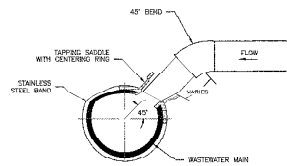
EL PASO COUNTY FILE NO. PPR 18-034

M & S CIVIL CONSULTANTS, INC.
30 BOULDER CREEK, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE 719-955-5465
SHEET 2 OF 10

FOR BURNED UTILITY INFORMATION:
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987
FOR LOCATING & MARKING GAS,
ELECTRIC, WATER & TELEPHONE LINES:
WATER EMERGENCY: 888-0340

LOT 3, PADMARK BUSINESS PARK FIL. NO. 1

EL PASO COUNTY, STATE OF COLORADO
UTILITY SERVICE PLAN

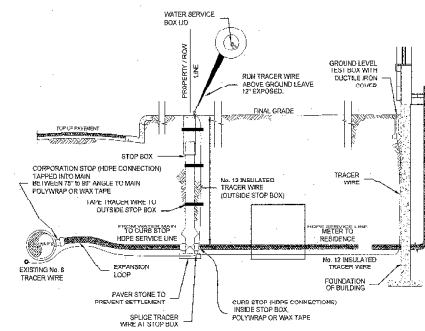


TYPICAL WASTEWATER SERVICE TAPPING SADDLE

NOTES:

1. WHEN THE WASTEWATER MAIN IS VOP, USE THE SDR 35 PVC SADDLE WITH A LARGER SADDLE. SADDLE SHALL BE ONE NOMINAL SIZE LARGER THAN THE WASTEWATER MAIN.
2. PIPE WILL BE CUT WITH AN O.D. HOLE SAW OR TAPPING MACHINE. A 4-1/2" O.D. HOLE SAW SHALL BE USED FOR 6" TAPS.
3. FOR 8" TAPS AND A 6-1/2" O.D. HOLE SAW SHALL BE USED FOR 8" TAPS.
4. ONLY 4" AND 6" HOLES ARE ALLOWED.
5. WASTEWATER TAPPING SADDLES SHALL HAVE A CENTERING RING.
6. A GASKET SHALL BE USED TO ENSURE AN AIRTIGHT SEAL BETWEEN THE SADDLE AND THE PIPE.

HDPPE SERVICE LINE AND TRACER WIRE DETAIL



WATER SERVICE LINE NOTES:

1. NO. 12 INSULATED TRACER WIRE SHALL BE PLACED ALONG SERVICE LINE AND SHALL BE A CONTINUOUS (WITHOUT SPICES) LENGTH. BOTH THE EXTENSION OF THE WIRE AT THE STOP BOX AND THE WIRE AT THE STOP BOX SHALL BE MARKED WITH A COPPER CORNER FOR SPLIT BOX T CONNECTION.
2. WHEN A NEW HDPPE SERVICE IS CONNECTED TO A PVC MAIN THE SERVICE LINE TRACER WIRE SHALL BE CONNECTED TO THE MAIN TRACER WIRE WITH A COPPER CORNER OR OTHER-SUIT CONNECTION. THE TRACER WIRE IS THEN TYPED ABOVE THE SERVICE LINE IN AT LEAST 3 LOCATIONS NOT TO EXCEED 10' SPACING. AT THE CURB BOX, THE TRACER WIRE WILL BE TYPED TO THE OUTSIDE OF THE CURB BOX IN AT LEAST THREE PLACES AND BRIDGED TO THE EXISTING SERVICE ADJACENT TO THE CURB BOX COVER. 12" OF TRACER WIRE SHALL BE EXPOSED ABOVE GROUND THEN THE TRACER WIRE WILL BE SPLICED AT THE STOP BOX AND TYPED TO THE SERVICE LINE UNTIL IT REACHES THE FOUNDATION WALL. THE TRACER WIRE SHALL FOLLOW THE FOUNDATION WALL AND TERMINATE IN A UPRIGHT LEVEL. 12" OF WIRE SHALL BE EXPOSED ABOVE GROUND AT THE FOUNDATION WALL.
3. STRENGTHENERS SHALL BE INSTALLED WITHIN THE HDPPE SERVICE LINE AT THE CONNECTION POINTS OF THE FITTINGS.
4. IF A TAPPING OR REPAIRING ASSEMBLY IS REQUIRED, IT MUST BE LOCATED BEFORE THE FIRST BRANCH LINE. FOR BACKFLOW PREVENTION ASSEMBLY, THIS REQUIREMENT DOES NOT APPLY.
5. THE FINAL LOCATION OF THE GROUND LEVEL TEST BOX SHALL BE 12" FROM THE FOUNDATION OR THE SAME DISTANCE FROM THE FOUNDATION AS THE WASTEWATER SERVICE LINE. GROUND LEVEL TEST BOX SHALL BE 12" FROM THE FOUNDATION OR THE SAME DISTANCE FROM THE FOUNDATION AS THE WASTEWATER SERVICE LINE. GROUND LEVEL TEST BOX SHALL BE 12" FROM THE FOUNDATION OR THE SAME DISTANCE FROM THE FOUNDATION AS THE WASTEWATER SERVICE LINE. GROUND LEVEL TEST BOX SHALL BE 12" FROM THE FOUNDATION OR THE SAME DISTANCE FROM THE FOUNDATION AS THE WASTEWATER SERVICE LINE.



FOR BURIED UTILITY INFORMATION
48 HRS. BEFORE YOU DIG
CALL 1-800-922-1987
FOR LOCATING & MARKING GAS,
ELECTRIC, WATER & TELEPHONE LINES
WATER EMERGENCIES 302-0300



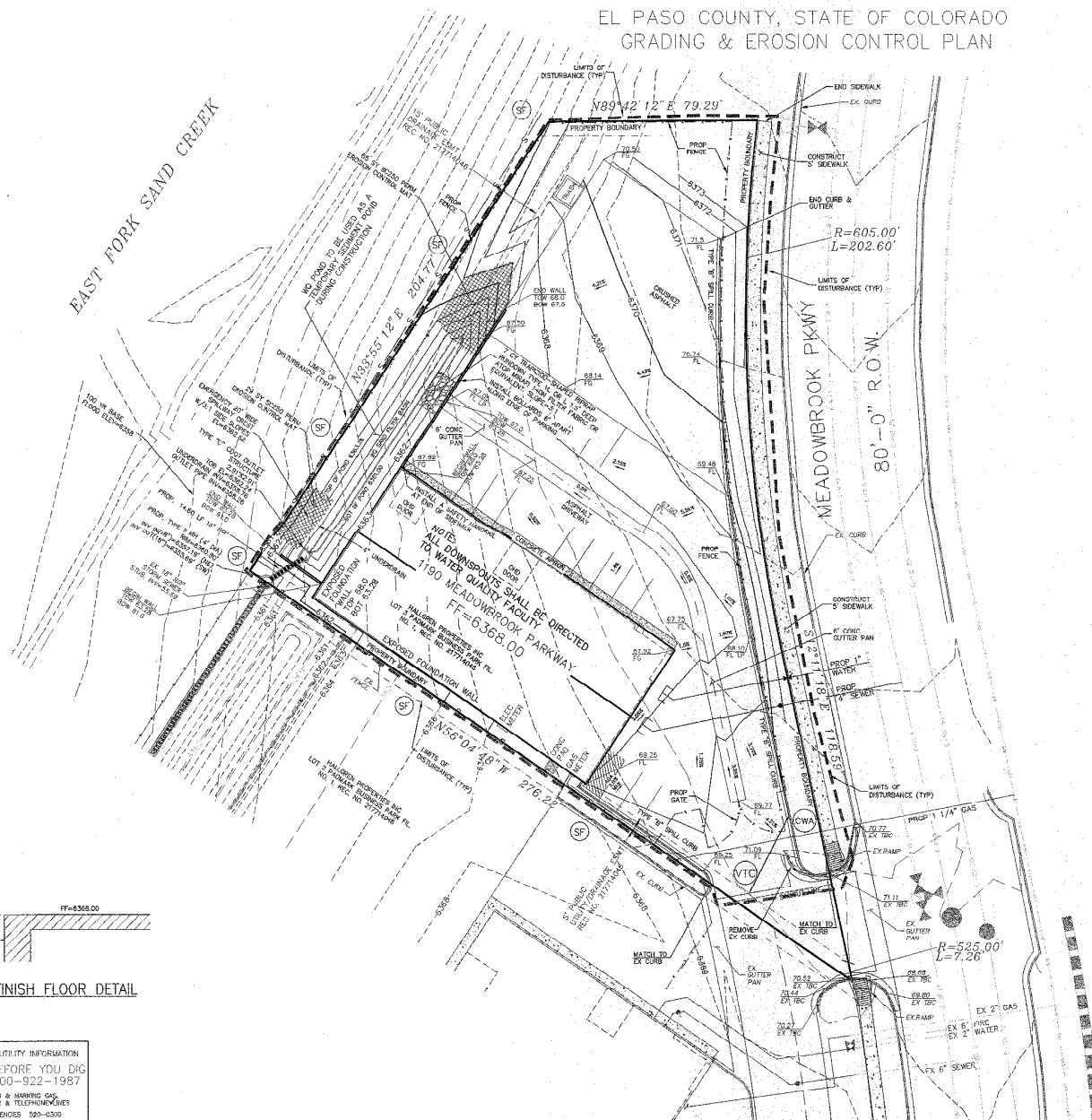
20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.553.5485

CIVIL CONSULTANTS, INC.

SHEET 2 OF 2

UTILITY SERVICE PLAN
LOT 3, PADMARK BUSINESS PARK FIL. NO. 1
JOB NO. 44-031
DATE PREPARED: SEPTEMBER 24, 2018
DATE REVISED:
EL PASO COUNTY FILE NO. PPR 10-034

EL PASO COUNTY, STATE OF COLORADO
GRADING & EROSION CONTROL PLAN



BUILDING FINISH FLOOR DETAIL



FOR BURIED UTILITY INFORMATION
48 HRS BEFORE YOU DIG
CALL 1-800-922-1987
FOR LOCATING & MARKING GAS,
ELECTRIC, WATER & TELEPHONE LINES
WATER EMERGENCIES 520-0300

THIS GRADING AND EROSION CONTROL PLAN WAS PREPARED UNDER MY DIRECTION AND SUPERVISION AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. SAID PLAN HAS BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR GRADING AND EROSION CONTROL PLANS. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARING THIS PLAN.



VERDE A. GARCIA, COLORADO P.E. #37180
FOR AND ON BEHALF OF M. & S. CIVIL CONSULTANTS, INC.

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME: [Signature] DATE: 11/1/2018

~~THE HAYMONS CONSTRUCTION~~

ADDRESS: 1411 WOOLSEY HEIGHTS COLLEGE SPRINGS, FLORIDA

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.






FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH EGM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTOR'S DISCRETION.

Approved
11/13/2018 12:45:37 PM

JENNIFER IRVINE, P.E.
COUNTY ENGINEER / ECM ADMINISTRATOR

LP	LOW POINT
HP	HIGH POINT
EX	EXISTING
FI	FLOWLINE
TC	TOP OF CURB
FG	FINISH GRADE
FF	FINISH FLOOR
TDF	TOP OF FOOTING

 — S —  SILT FENCE
 VEHICLE TRACKING CONTROL
 CONCRETE WASH-OUT BASIN
 LIMITS OF DISTURBANCE

GRADING & EROSION CONTROL PLAN
PAD-3
JOB NO. 44-031
DATE PREPARED: OCT 10, 2018
DATE REVISED:

EL PASO COUNTY FILE NO. PPR 18-034



20 BOULDER CRESCENT, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.955.5485

SHEET 3 OF 10

GRADING AND EROSION CONTROL NOTES:

- CONSTRUCTION MAY NOT COMMENCE UNTIL A CONSTRUCTION PERMIT IS OBTAINED FROM DEVELOPMENT SERVICES AND A PRECONSTRUCTION CONFERENCE IS HELD WITH DEVELOPMENT SERVICES INSPECTIONS.
- STORMWATER DISCHARGES FROM CONSTRUCTION SITES SHALL NOT CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR DEGRADATION OF STATE WATERS. ALL WORK AND EARTH DISTURBANCE SHALL BE POINT IN A MANNER THAT MINIMIZES POLLUTION OF ANY ON-SITE OR OFF-SITE WATERS, INCLUDING WETLANDS.
- NOTWITHSTANDING ANYTHING DEFECTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS, STORM DRAINAGE AND EROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS TO REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING.
- A SEPARATE STORMWATER MANAGEMENT PLAN (SWMP) FOR THIS PROJECT SHALL BE COMPLETED AND AN EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP) ISSUED PRIOR TO COMMENCING CONSTRUCTION. DURING CONSTRUCTION THE SWMP IS THE RESPONSIBILITY OF THE DESIGNATED STORMWATER MANAGER, SHALL BE LOCATED ON SITE AT ALL TIMES AND SHALL BE KEPT UP TO DATE WITH WORK PROGRESS AND CHANGES IN THE FIELD.
- ONCE THE ESQCP HAS BEEN ISSUED, THE CONTRACTOR MAY INSTALL THE INITIAL STAGE EROSION AND SEDIMENT CONTROL BMPs AS INDICATED ON THE EDC. A PRECONSTRUCTION MEETING BETWEEN THE CONTRACTOR, ENGINEER, AND EL PASO COUNTY WILL BE HELD PRIOR TO ANY CONSTRUCTION. IT IS THE RESPONSIBILITY OF THE APPLICANT TO COORDINATE THE MEETING TIME AND PLACE WITH COUNTY DSD INSPECTIONS STAFF.
- SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 21 CALENDAR DAYS AFTER FINAL GRADING, OR FINAL EARTH DISTURBANCE, HAS BEEN COMPLETED. DISTURBED AREAS AND SLOPES WHICH ARE NOT AT FINAL GRADE BUT WILL REMAIN EXPOSED FOR LONGER THAN 30 DAYS SHALL ALSO BE MULCHED WITHIN 21 DAYS AFTER INTERIM GRADING. AN AREA THAT IS GOING TO REMAIN IN AN INTERIM STATE FOR MORE THAN 60 DAYS SHALL ALSO BE SEEDED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES AND BMPs SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED AND ESTABLISHED.
- TEMPORARY SOIL EROSION CONTROL FACILITIES SHALL BE REMOVED AND EARTH DISTURBANCE AREAS GRADED AND STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES PURSUANT TO STANDARDS AND SPECIFICATIONS PRESCRIBED IN THE DCM VOLUME II AND THE ENGINEERING CRITERIA MANUAL (ECM) APPENDIX I.
- ALL PERSONS ENGAGED IN EARTH DISTURBANCE SHALL IMPLEMENT AND MAINTAIN ACCEPTABLE SOIL EROSION AND SEDIMENT CONTROL MEASURES INCLUDING BMPs IN CONFORMANCE WITH THE EROSION CONTROL TECHNICAL STANDARDS OF THE DRAINAGE CRITERIA MANUAL (DCM) VOLUME I AND IN ACCORDANCE WITH THE STORMWATER MANAGEMENT PLAN (SWMP).
- ALL TEMPORARY EROSION CONTROL FACILITIES INCLUDING BMPs AND ALL PERMANENT FACILITIES INTENDED TO CONTROL EROSION OF ANY EARTH DISTURBANCE OPERATIONS, SHALL BE INSTALLED AS DEFINED IN THE APPROVED PLANS, THE SWMP AND THE DCM VOLUME II AND MAINTAINED THROUGHOUT THE DURATION OF THE EARTH DISTURBANCE OPERATION.
- ANY EARTH DISTURBANCE SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO EFFECTIVELY REDUCE ACCELERATED SOIL EROSION AND RESULTING SEDIMENTATION AT DOWNSTREAMS. ALL DISTURBANCES SHALL BE INSPECTED, MONITORED, AND COMPLETED SO THAT THE EXPOSED AREA OF ANY DISTURBED LAND SHALL BE LIMITED TO THE SHORTEST PRACTICAL PERIOD OF TIME.
- ANY TEMPORARY OR PERMANENT FACILITY DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF STORMWATER AROUND, THROUGH, OR FROM THE EARTH DISTURBANCE AREA SHALL BE DESIGNED TO LIMIT THE DISCHARGE TO A LOW FLOWING VELOCITY.
- CONCRETE WASH WATER SHALL BE CONTAINED AND DISPOSED OF IN ACCORDANCE WITH THE SWMP. NO WASH WATER SHALL BE DISCHARGED TO OR ALLOWED TO RUNOFF TO STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- EROSION CONTROL BLANKETING IS TO BE USED ON SLOPES STEEPER THAN 3:1.
- BUILDING, CONSTRUCTION, EXCAVATION, OR OTHER WASTE MATERIALS SHALL NOT BE TEMPORARILY PLACED OR STORED IN THE STREET, ALLEY, OR OTHER PUBLIC WAY, UNLESS IN ACCORDANCE WITH AN APPROVED TRAFFIC CONTROL PLAN. BMPs MAY BE REQUIRED BY EL PASO COUNTY ENGINEERING IF DEEMED NECESSARY, BASED ON SPECIFIC CONDITIONS AND CIRCUMSTANCES.
- VEHICLE TRACKING OF SOILS AND CONSTRUCTION DEBRIS OFF-SITE SHALL BE MINIMIZED. MATERIALS TRACKED OFFSITE SHALL BE CLEANED UP AND PROPERLY DISPOSED OF IMMEDIATELY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL WASTES FROM THE CONSTRUCTION SITE FOR DISPOSAL IN ACCORDANCE WITH LOCAL AND STATE REGULATORY REQUIREMENTS. NO CONSTRUCTION DEBRIS, TREE SLASH, BUILDING MATERIAL WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- THE OWNER, SITE DEVELOPER, CONTRACTOR, AND/OR THEIR AUTHORIZED AGENTS SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL CONSTRUCTION DEBRIS, DIRT, TREE, ROCK, SEDIMENT, AND SAND THAT MAY ACCUMULATE IN THE STORM SEWER OR OTHER DRAINAGE CONVEYANCE SYSTEM AND STORMWATER APPURTENANCES AS A RESULT OF SITE DEVELOPMENT.
- THE QUANTITY OF MATERIALS STORED ON THE PROJECT SITE SHALL BE LIMITED, AS MUCH AS PRACTICAL, TO THE QUANTITY REQUIRED TO PERFORM THE WORK IN AN ORDERLY SEQUENCE. ALL MATERIALS STORED ON-SITE SHALL BE STORED IN A NEAT, ORDERLY MANNER, IN THEIR ORIGINAL CONTAINERS, WITH ORIGINAL MANUFACTURER'S LABELS.
- NO CHEMICALS ARE TO BE USED BY THE CONTRACTOR, WHICH HAVE THE POTENTIAL TO BE RELEASED IN STORMWATER UNLESS PERMISSION FOR THE USE OF A SPECIFIC CHEMICAL IS GRANTED IN WRITING BY THE EDC ADMINISTRATOR, IN GRANTING THE USE OF SUCH CHEMICALS, SPECIAL CONDITIONS AND WARNINGS MAY BE REQUIRED.
- BULK STORAGE STRUCTURES FOR PETROLEUM PRODUCTS AND OTHER CHEMICALS SHALL HAVE ADEQUATE PROTECTION SO AS TO CONTAIN ALL SPILLS AND PREVENT ANY SPILLED MATERIAL FROM ENTERING STATE WATERS, INCLUDING ANY SURFACE OR SUBSURFACE STORM DRAINAGE SYSTEM OR FACILITIES.
- NO PERSON SHALL CAUSE THE IMPEDIMENT OF STORMWATER FLOW IN THE FLOW LINE OF THE CURB AND GUTTER OR IN THE DITCHLINE.
- INDIVIDUALS SHALL COMPLY WITH THE "COLORADO WATER QUALITY CONTROL ACT" (TITLE 25, ARTICLE 8, CRS), AND THE "CLEAN WATER ACT" (33 USC 1344), IN ADDITION TO THE REQUIREMENTS INCLUDED IN THE DCM VOLUME I AND THE DCM APPENDIX I. ALL APPLICABLE PERMITS MUST BE OBTAINED BY THE CONTRACTOR PRIOR TO CONSTRUCTION (NPDES, FLOODPLAIN, 404, FUGITIVE DUST, ETC.). IN THE EVENT OF CONFLICTS BETWEEN THESE REQUIREMENTS AND LAWS, RULES, OR REGULATIONS OF OTHER FEDERAL, STATE, OR COUNTY AGENCIES, THE MORE RESTRICTIVE LAWS, RULES, OR REGULATIONS SHALL APPLY.
- ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- PRIOR TO ACTUAL CONSTRUCTION THE PERMITTEE SHALL VERIFY THE LOCATION OF EXISTING UTILITIES.
- A WATER SOURCE SHALL BE AVAILABLE ON SITE DURING EARTHWORK OPERATIONS AND UTILIZED AS REQUIRED TO MINIMIZE DUST FROM EARTHWORK EQUIPMENT AND WIND.
- THE SOILS REPORT FOR THIS SITE HAS BEEN PREPARED BY TERRACON # 23025071 MAY 30, 2006, AND SHALL BE CONSIDERED A PART OF THESE PLANS.
- AT LEAST TEN DAYS PRIOR TO THE ANTICIPATED START OF CONSTRUCTION, FOR PROJECTS THAT WILL DISTURB 1 ACRE OR MORE, THE OWNER OR OPERATOR OF CONSTRUCTION ACTIVITY SHALL SUBMIT A PERMIT APPLICATION FOR STORMWATER DISCHARGE TO THE COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT, WATER QUALITY DIVISION. THE APPLICATION OF NECESSARY CERTIFICATION OF COMPLIANCE WITH A STORMWATER MANAGEMENT PLAN (SWMP), OF WHICH THIS GRADING AND EROSION CONTROL PLAN MAY BE A PART. FOR INFORMATION OR APPLICATION MATERIALS CONTACT:

COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT
WATER QUALITY CONTROL DIVISION
1800 - PERMITS
4300 CHERRY CREEK DRIVE SOUTH
DENVER, CO 80246-1530
ATTN: PERMITS UNIT

T-6 Sand Filter

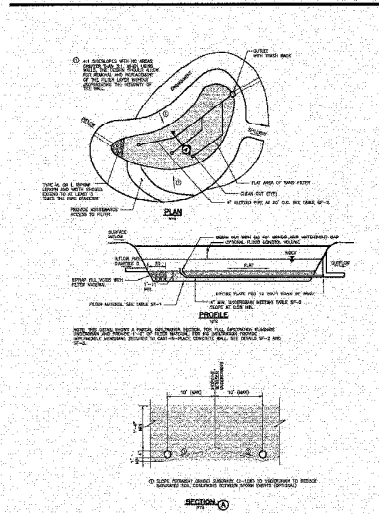
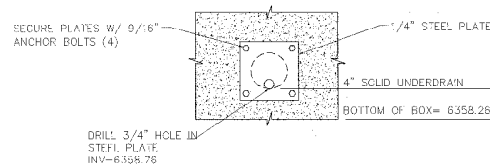
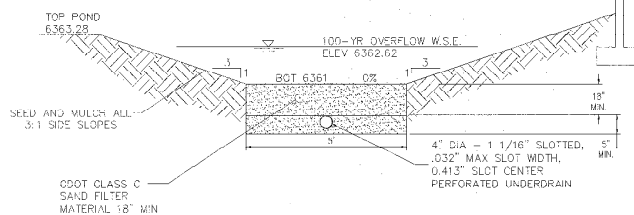


Figure T-6: Sand Filter Plan and Section

SP-8 Urban Drainage and Flood Control District November 2010



4\"/>



SAND FILTER POND/SPILLWAY
DETAIL

Sediment Basin (SB) SC-7

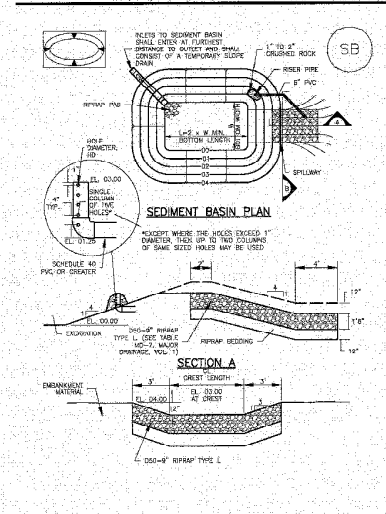


Figure SC-7: Sediment Basin (SB) Plan and Section

August 2013 Urban Drainage and Flood Control District



4\"/>

FF=6368.0

WQCV SUMMARY
EPC/URBAN DRAINAGE SAND FILTER BASIN-SEE STD DET.
WQCV REQUIRED = 915 CF
WQCV PROVIDED = 1002 CF
AREA REQUIRED = 402 SF
AREA PROVIDED = 409 SF
100 YR OUTLET = CDOT TYPE C INLET TOP OF BOX=6362.24
100 YR WSE = 6362.62
EMERGENCY SPILLWAY EL = 6362.82



GRADING & EROSION CONTROL PLAN DETAILS
JOB NO. 44-031
DATE PREPARED: OCT 10, 2018
DATE REVISION:
EL PASO COUNTY FILE NO. PPR 18-034



20 BOULDER CREEK, SUITE 110
COLORADO SPRINGS, CO 80903
PHONE: 719.555.5485

EPG 11/13/18

SHEET 5 OF 10

GENERAL SITE NOTES

1. CONTRACTOR RESPONSIBLE FOR COORDINATING AND INSTALLING ALL SLEEVING REQUIRED FOR SITE CONSTRUCTION INCLUDING BUT NOT LIMITED TO (URANAGE, IRRIGATION, LIGHTING, AND ELECTRICAL CONNECTIONS) WITH GENERAL CONTRACTOR. ALL PLANTING AREAS SHALL BE SLEAVED (C 200 PPD) FOR DRIP IRRIGATION.
2. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/or ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS ACCURATE, OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST 48 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT POTENTIAL CONFLICTS AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR ALL APPLICABLE AGENCIES.
4. ALL MATERIALS, WORKSMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH LOCAL STANDARDS AND SPECIFICATIONS AND STATE AND FEDERAL STANDARDS. THE CONTRACTOR MUST COMPLY WITH ALL CITY USE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE APPROPRIATE GOVERNING AGENCIES.
5. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED CONSTRUCTION DOCUMENTS, ONE (1) COPY OF THE APPLICABLE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND EXCAVATION AGREEMENTS NEARBY AT ALL TIMES AT THE SITE.
6. ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFERENCE THE LATEST REVISION OF SA STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS TRACKED FROM THE SITE.

INSTALLATION NOTES

REMOVE EXISTING TREES, BRUSH AND WEEDS FROM SITE PRIOR TO CONSTRUCTION (AS SHOWN PER PLAN)

LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING THE SITE DURING CONSTRUCTION. WEEDS AND TRASH SHALL BE REMOVED DAILY AS REQUIRED.

EXISTING TOPSOIL TO BE STOCKPILED ON-SITE AND USED DURING CONSTRUCTION TO ESTABLISH GRADES WITHIN LANDSCAPE AREAS AS SHOWN PER PLAN.

CONTRACTOR SHALL REFER TO ASSOCIATED LANDSCAPE CONTRACTORS OF COLORADO HANDBOOK (ALCC) , 2007 REVISED EDITION FOR ALL CONSTRUCTION FOR THIS SITE. CONTACT OWNER FOR QUESTIONS.

QUANTITIES SHOWN IN PLANT SCHEDULE ARE FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR INSTALLING ALL PLANT MATERIAL PER PLAN.

GROUND COVER SHALL BE CONTINUOUS UNDER ALL SHRUBS THROUGHOUT PROJECT SITE.

DO NOT PLANT SHRUBS OR TREES OF INCOMPATIBLE WATER REQUIREMENTS IMMEDIATELY ADJACENT TO ONE ANOTHER.

PLANT BACKFILL SHALL BE 70% NATIVE ON-SITE SOIL, AND 30% BREW-GRO BIOCOMP CLASS 1 COMPOST.

A REPRESENTATIVE SAMPLE OF THE BOTANICAL NAME TAGS, FURNISHED BY THE NURSERY STOCK PROVIDER SHALL REMAIN ATTACHED TO THE PLANTS UNTIL FINAL INSPECTION BY THE OWNER.

LANDSCAPE CONTRACTOR SHALL NOTIFY OWNER IF STORM DRAINAGE FROM ADJACENT LANDSCAPE AREAS OR BUILDING DOWNSPOUTS WILL ADVERSELY AFFECT LANDSCAPED AREAS PER THE PLAN.

PRIOR TO INSTALLING PLANTS IN PLANTING BEDS BROADCAST PREEN PLANT SAFE PRE-EMERGENT WEED CONTROL IN ALL PLANTING AREAS PER MANUFACTURE RECOMMENDATIONS. WWW.PREEN.COM

STEEL EDGING TO BE ROLL-TOP GALVANIZED (1/8" X 4' X 10') WITH SPINS (4 PER SECTION) OR APPROVED EQUAL. EDGING TO BE EXPOSED 1/2" MAXIMUM ABOVE FINISHED GRADES. INSTALL PER MANUFACTURE RECOMMENDATIONS. SEE PLAN FOR EDGING LOCATIONS.

ALL ROCK COVER AREAS ONLY TO BE PREPARED WITH 3.0Z PROFESSIONAL GRADE POLYSPIN WFTD BARRIER WITH STAPLES AT 5' O.C. FABRIC SEAMS TO BE OVERLAPPED 6" MIN. AND SECURED WITH STAPLES.

SOIL PREP NOTES

SILT PREPARATION FOR UNDISTURBED AND/OR COMPACTED AREAS:

- A. RIP EXISTING SOIL TO A DEPTH OF NINE (9) INCHES MINIMUM IN ONE DIRECTION USING AN AGRICULTURAL RIPPER WITH TINES SPACED NO FURTHER THAN EIGHTEEN (18) INCHES APART OR TILL TO 6" DEPTH. AREAS ADJACENT TO WALKS, STRUCTURES, CURBS, ETC., WHERE THE USE OF LARGE MECHANICAL EQUIPMENT IS DIFFICULT SHALL BE WORKED WITH SMALLER EQUIPMENT OR BY HAND.
- B. REMOVE ALL RUBBLE, STONES AND EXTRANEOUS MATERIAL OVER TWO (2) INCHES IN DIAMETER FROM THE SITE.

FIRE SIGNAGE NOTE

ANY VEGETATION THAT MAY GROW TO OR IMMEDIATELY OBSTRUCT ANY FIRE LINE SIGNAGE WILL BE PLANTED IN SUCH A WAY TO PREVENT ANY FUTURE OBSTRUCTION OF SUCH SIGNAGE.

MAINTENANCE NOTE

ON-GOING MAINTENANCE DURING CONSTRUCTION:

BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING AND CONTINUE UNTIL LANDSCAPE WORK IS COMPLETED. ACCEPTED BY OWNER, AND IF REQUESTED A FORMAL MAINTENANCE PERIOD IS INITIATED. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING REPLANTING AS REQUIRED THROUGH CONSTRUCTION PERIOD. RE-MULCH WITH NEW MULCH IN AREAS WHERE MULCH HAS BEEN DISTURBED BY CONSTRUCTION OPERATIONS SUFFICIENTLY TO NULLIFY ITS PURPOSE. CONTRACTOR SHALL REPAIR BREDED AREAS DAMAGED BY TRAFFIC AND/OR VANDALISM DURING THE CONSTRUCTION PERIOD.

IF THE IRRIGATION SYSTEM IS NOT AVAILABLE FOR PROPER WATERING AT THE TIME OF INSTALLATION, PROVIDE AND MAINTAIN TEMPORARY PIPING, HOSES, AND LAWN WATERING EQUIPMENT AS REQUIRED TO CONVEY WATER FROM SOURCES AND TO KEEP THE LAWN AREAS UNIFORMLY MOIST AS REQUIRED FOR PROPER GROWTH. FAILURE OF THE IRRIGATION SYSTEM SHALL NOT RELIEVE THE INSTALLER OF THE RESPONSIBILITY TO PROVIDE THE REQUIRED WATER. COORDINATE WITH OWNER.

ONE-YEAR WARRANTY

AS AGREED WITH OWNER CONTRACTOR SHALL PROVIDE ONE-YEAR WARRANTY ON ALL PLANT MATERIAL AND IRRIGATION SYSTEM.

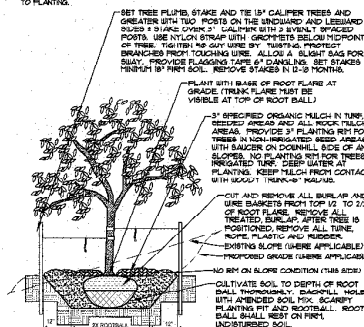
REPLACEMENT OF DEAD, DISEASED OR SUBSTANTIALLY DAMAGED PLANT MATERIALS SHALL BE OF THE SAME OR SIMILAR TYPE AS SET FORTH IN THE LANDSCAPE PLAN. REPLACEMENT SHALL BE MADE IN A TIME PERIOD NOT EXCEEDING 15 DAYS. PLANT MATERIAL NEEDING REPLACEMENT DURING WINTER MONTHS SHALL BE REPLACED AT THE START OF THE NEXT GROWING SEASON.

THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION SYSTEM MAINTENANCE OF THIS SITE AND ANY RIGHT-OF-WAY AREAS BETWEEN THE CURB AND PROPERTY BOUNDARIES OF THIS SITE. MAINTENANCE OF THIS INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOVING, SEEDING, FERTILIZING, WOOD MULCH AND ROCK ADDITIONS, PRUNING AND PLANT MATERIAL REPLACEMENTS. ALL MAINTENANCE SHALL BE DONE IN ACCORDANCE WITH THE ALLCC SPECIFICATIONS HANDBOOK REV EDITION 2007. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION SYSTEM.

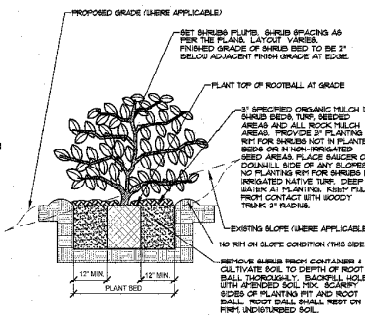
NOTES: MARK NORTH SIDE OF TREE AT NURSERY AND ALIGN TREE TO NORTH WHEN PLANTING.
DO NOT REMOVE OR CUT LEADER.
PRUNE ONLY DEAD OR DAMAGED BRANCHES OR WEAK BRANCHES (OR NARROW GROOVES)
IMMEDIATELY PRIOR TO PLANTING. DO NOT REMOVE TERMINAL BUDS THAT EXTEND TO TREE CROWN.
DO NOT PLANTAL PROXIMITY OF TREE TRUNKS. AFTER ESTABLISHMENT, EXPOSED TO APPROXIMATE RESEARCH
KEEP PLANTS MOIST AND SHADED UNTIL PLANTING. AVOID FALL PLANTING IF POSSIBLE.
EXTENDED BACK FILL SHALL BE 10% SOIL FROM PLANTING FILL AND 90% ORGANIC MATERIAL.
PRUNE TRUNK ON EXPOSED SIDES OR BRIDGES WITH TREE BANK USE ELECTRICAL TAPE, NOT TWINE
WRAP OCTOBER 31 AND REMOVE BY MARCH 31.
DO NOT FERTILIZE TREES DURING THE FIRST GROWING SEASON.
CONSULT WITH CITY FORESTRY FOR CURRENT BUDS & DISEASE RECOMMENDATIONS PRIOR
TO PLANTING.

NOTES:

- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AFTER PLANTING, SMALLER PLANTS WILL REQUIRE FERTILIZING FIT AND 25% ORGANIC MATERIAL.
- TOP GROWTH OF PLANTS SHOULD BE TRIMMED TO TOP OF BRANCHES THE TWO HALVES OVER A MOUND OF SOIL IN PLANTING PIT.
- FOR POT BOUND PLANTS ONLY: MAKE 4-5 VERTICAL CUTS IN ROOT BALL 1" DEEP. PLANT IMMEDIATELY.



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE



(B) SHRUB PLANTING DETAIL
NOT TO SCALE

UTILITIES NOTE

VERIFY LOCATION AND DEPTH OF ALL UNDERGROUND UTILITIES PRIOR TO START OF WORK. CALL 811 FOR UTILITY LOCATES. ANY CONFLICT BETWEEN TREE LOCATIONS AND UTILITIES KNOWN ON PLANS SHALL BE RESOLVED WITH GENERAL CONTRACTOR PRIOR TO PLANNING. ALL ELECTRICIAL VAULTS AND TRANSFORMERS SHALL BE KEPT CLEAR FROM PLANT MATERIAL PER LOCAL CODE AND ALL SHRUBS TO BE LOCATED MINIMUM 3' CLEAR OF ALL FIRE HYDRANTS AT MATURE SIZE. REFER TO LOCAL CODES.

DOCUMENT NOTE

INSPECTIONS OF ANY OTHER TYPE IN THIS DOCUMENT, LANDSCAPE ARCHITECT SHALL NOT CONTROL, OR BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUE, SCHEDULES, SEQUENCES OR PROCEDURES, OR FOR CONSTRUCTION SAFETY OR ANY OTHER RELATED PROGRAMS, OR FOR ANY OTHER PARTIES' ACTIONS OR OMISSIONS OR FOR ANY ADULT OR OTHER CAUSING THE CONTRACTOR TO BE RESPONSIBLE FOR ANY DAMAGE TO ANY PERSON OR PROPERTY.

NOT FOR CONSTRUCTION	JOB NUMBER	
	778-18	
	REVISIONS	
	0-10-18	PER COMMENTS
	10-18-18	PER COMMENTS
ORIGINAL DATE		
7-2-18		
DRAWING BY		
JM		
DESCRIPTION		
DETAILS AND NOTES		
SHEET NO.		
7 OF 10		

HIGHER GROUND DESIGNS, INC.
LANDSCAPE ARCHITECTURE, PLANNING & IRRIGATION DESIGN

5150 NORTH ACADEMY BLVD., STE. 207
COLORADO SPRINGS, CO 80918
Phone 719-477-1646
Fax 719-268-1122

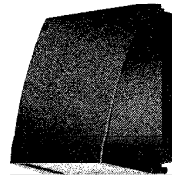


HIGHER GROUND
DESIGNS

PAD-3
CLAREMONT BUSINESS PARK
11919 MEADOWBROOK PKWY
COLORADO SPRINGS, CO
EL PASO COUNTY, COLORADO

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2
8 SLIM37 WALLPACK LUMINAIRE (WP1)
NOT TO SCALE



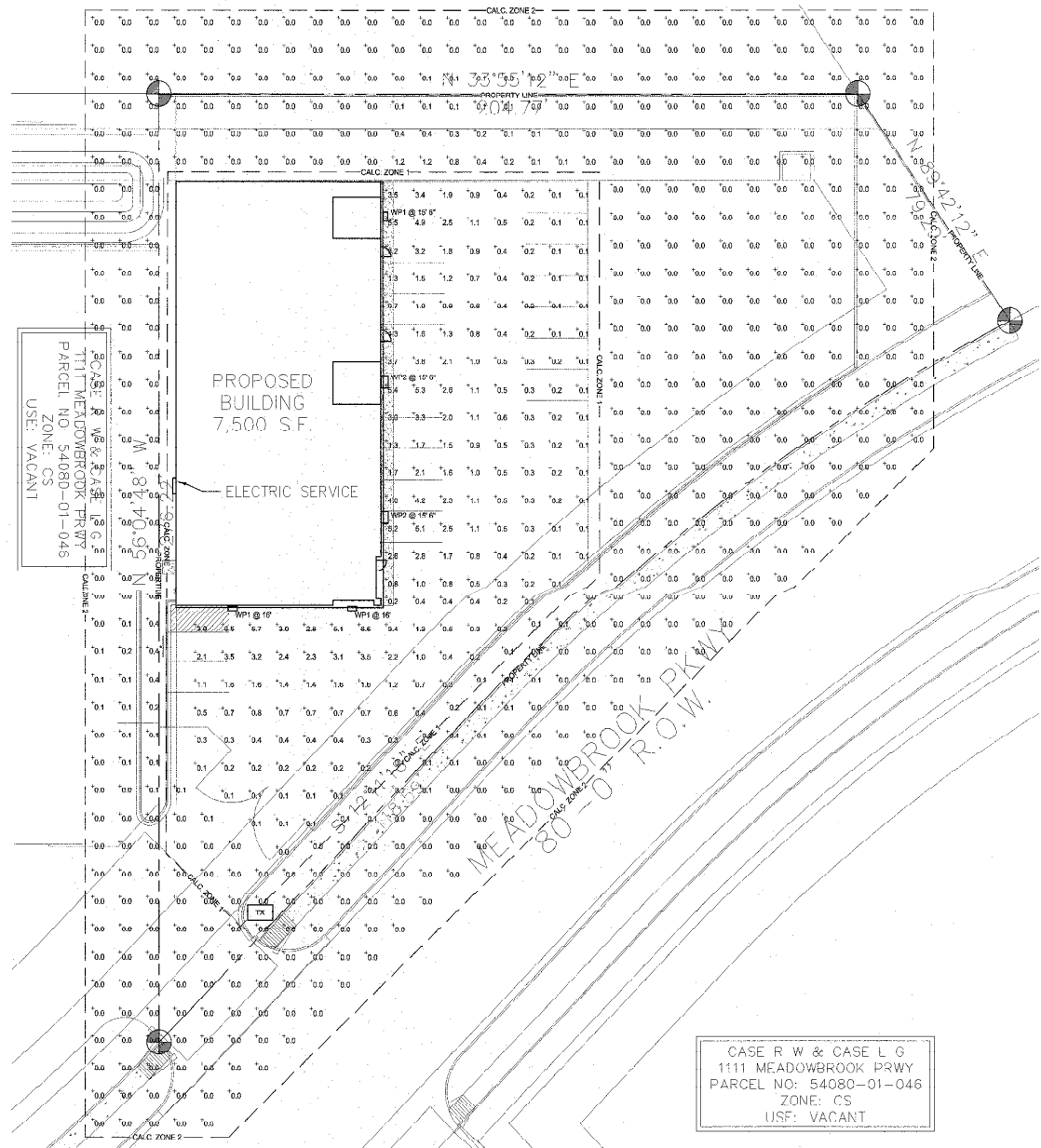
3
8 WPLED26 WALLPACK LUMINAIRE (WP2)
NOT TO SCALE

CALCULATION ZONE 1 STATISTICS					
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN
CALCULATION ZONE	+	1.2 fc	6.6 fc	0.0 fc	N/A

CALCULATION ZONE 2 STATISTICS					
DESCRIPTION	SYMBOL	AVERAGE	MAXIMUM	MINIMUM	AVG/MIN
CALCULATION ZONE	+	0.0 fc	1.2 fc	0.0 fc	N/A

LIGHT FIXTURE SCHEDULE

TYPE	MFGR.	CATALOG NO.	LAMPS		MTG.	DESCRIPTION	NOTES	VOLTS	TOTAL WATTS
			QUAN.	WATT	TYPE				
WP1	RAB	SLIM37	1	35.3	LED	SURFACE	LED WALLPACK	120	35.3
WP2	RAB	WPLED26	1	30	LED	SURFACE	LED WALLPACK	120	30



1
8 PHOTOMETRIC SITE PLAN
SCALE: 1/16" = 1'-0"

CASE R W & CASE L G
1111 MEADOWBROOK PRWY
PARCEL NO: 54080-01-046
ZONE: CS
USE: VACANT

HAMMERS CONSTRUCTION INC.
GENERAL CONTRACTORS SPECIALIZING IN COMMERCIAL CONSTRUCTION
1411 WOODLERY HERBERTS
VIA FREDERICK J. HAMMERS
CO. (719) 576-1559 FAX (719) 576-7208
WWW.HAMMERSCONSTRUCTION.COM

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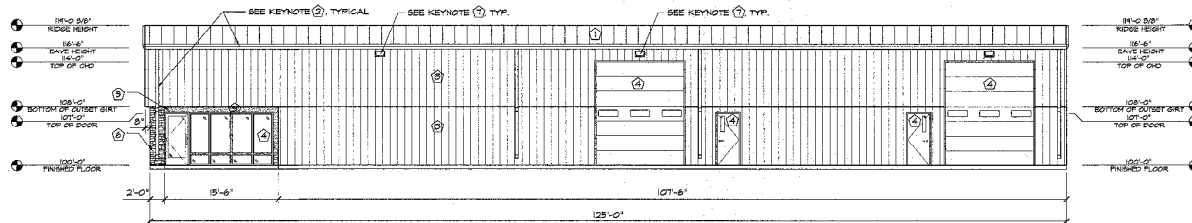
PAV-3
HAWK BUSINESS PARK LOT 3
1150 MEADOWBROOK PKWY
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

McShea Consulting, LLC
MECHANICAL • ELECTRICAL • PLUMBING
1111 MEADOWBROOK PRWY
COLORADO SPRINGS, CO 80915
mcdecorating.com

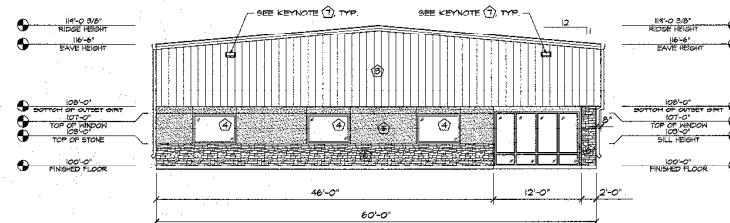


DATE: OCT. 09, 2018
DRAWN BY: C.C.F.
PROJ. MGR: Z. CRABTREE
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 18-937

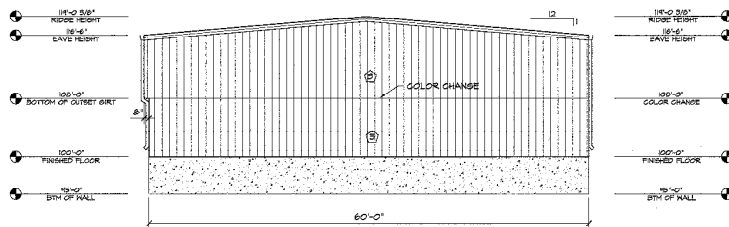
RESUBMITTALS:



① NORTH-EAST ELEVATION
SCALE: 1/8"=1'-0"

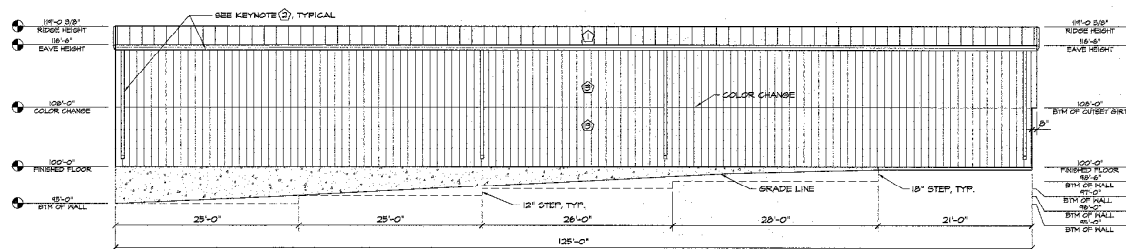


② NORTH-WEST ELEVATION
SCALE: 1/8"=1'-0"



③ SOUTH-EAST ELEVATION
SCALE: 1/8"=1'-0"

ELEVATION KEY NOTES	
①	PREFINISHED 24 GA. "FBR" METAL ROOF PANELS BY METAL BUILDING PROVIDER
②	PREFINISHED GUTTER & DOWNSPOUTS BY METAL BUILDING PROVIDER
③	PREFINISHED 26 GA. "FBR" METAL WALL PANELS BY METAL BUILDING PROVIDER
④	SEE SCHEDULES ON "A" SHEETS FOR ALL DOOR INFORMATION
⑤	3/4" STUCCO FINISH SYS. w/ EXPANSION JOINT-120 SF MAX AREA
⑥	STONE VENEER
⑦	WALL PACK LIGHT TOP OF LIGHT @ 15'-6" A.F.F. SEE ELEC. PLANS



④ SOUTH-WEST ELEVATION
SCALE: 1/8"=1'-0"

EL PASO COUNTY FILE NO. FPR-16-034

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PAD-3
PADMARK BUSINESS PARK-LT 3
1190 WEADENBROOK PKWY
COLORADO SPRINGS, CO 80915
EL PASO COUNTY, COLORADO

DATE: JULY 10, 2018
DRAWN BY: A. MCKENZIE
PROJ. MGR: L. CRABTREE
SCALE: SEE PLAN
APPROVED BY:
JOB NO: 1060

RESUBMITTALS:
1-20-18 COMMENTS 8-2-18

10 of 10
SITE PLAN