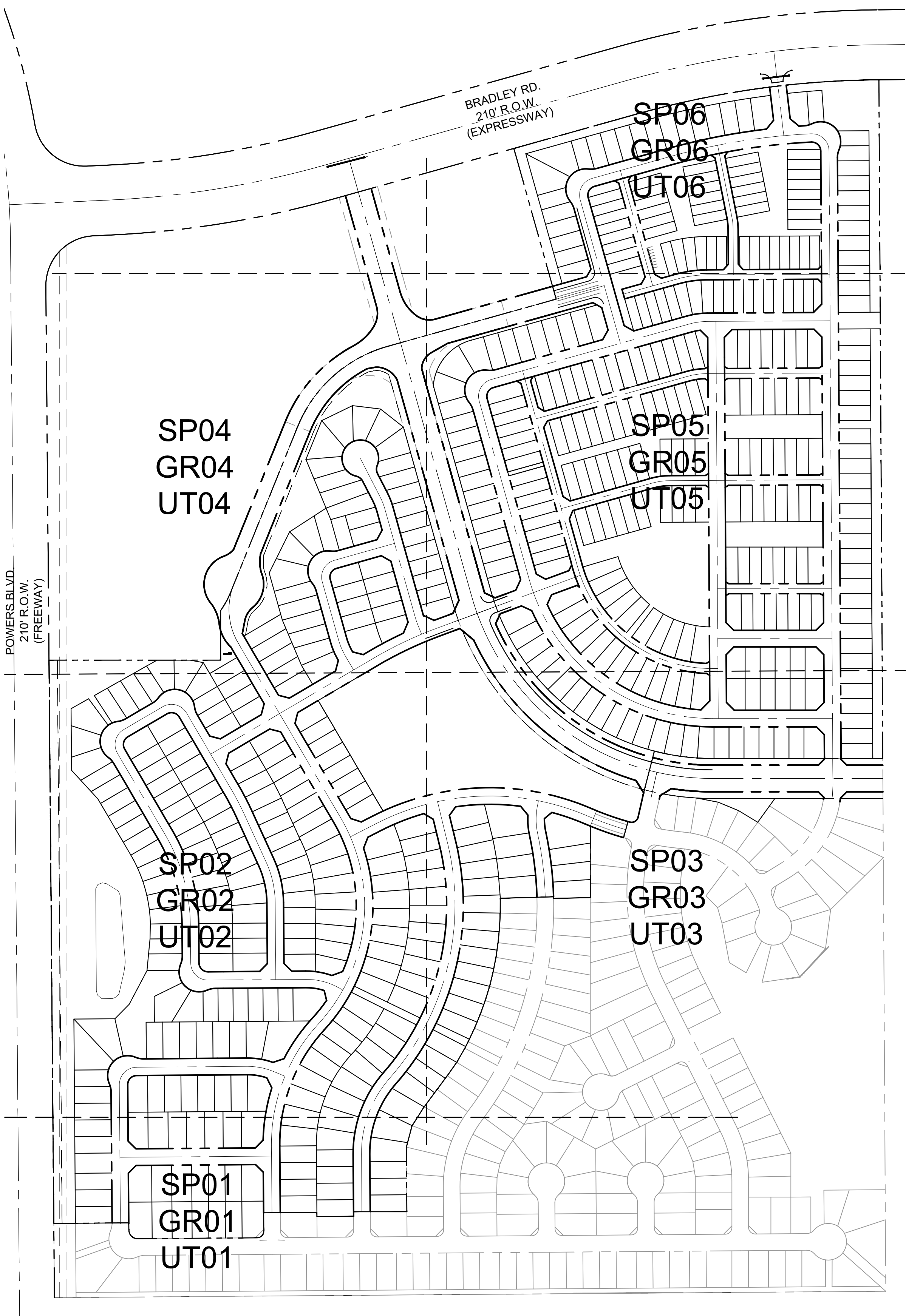
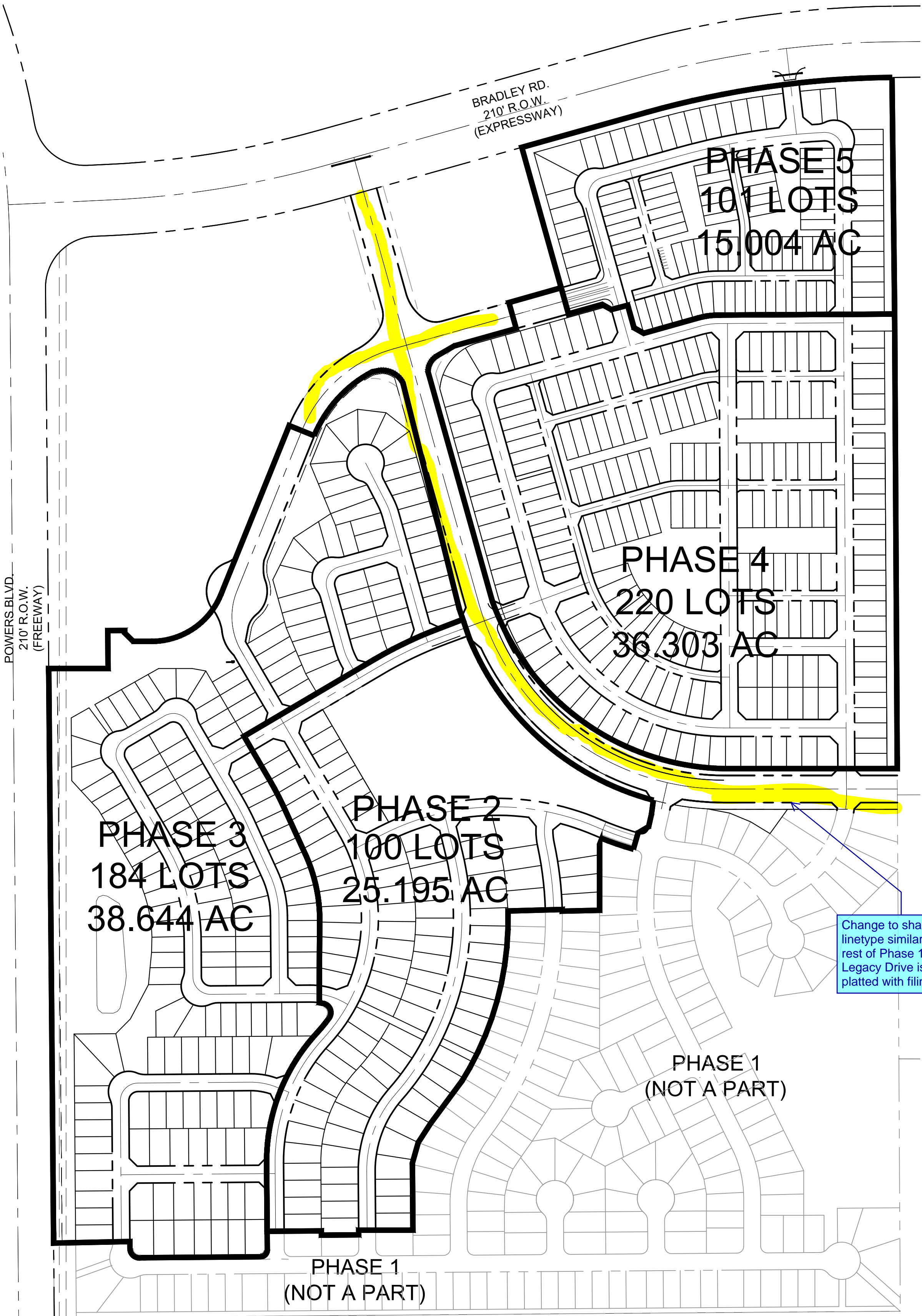


A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP
15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

KEY MAP



PHASING MAP



PHASING PLAN AND SCHEDULE OF DEVELOPMENT:

1. THE TRAILS AT ASPEN RIDGE IS ILLUSTRATING FOUR PHASES BASED UPON COLLECTOR ROADWAYS AND PRODUCT TYPES.
2. THE PHASING IS BASED UPON ANTICIPATED CONSTRUCTION, SEQUENCING OF ROADS AND UTILITIES; HOWEVER, TRAILS AT ASPEN RANCH MAY BE DEVELOPED INDEPENDENT OF THE PHASING AS OUTLINED PENDING MARKET DEMAND AND ACTUAL CONSTRUCTION SCHEDULES.
3. THE FIRST PHASE OF CONSTRUCTION IS PROJECTED TO BEGIN IN FALL/ WINTER 2019.

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
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ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

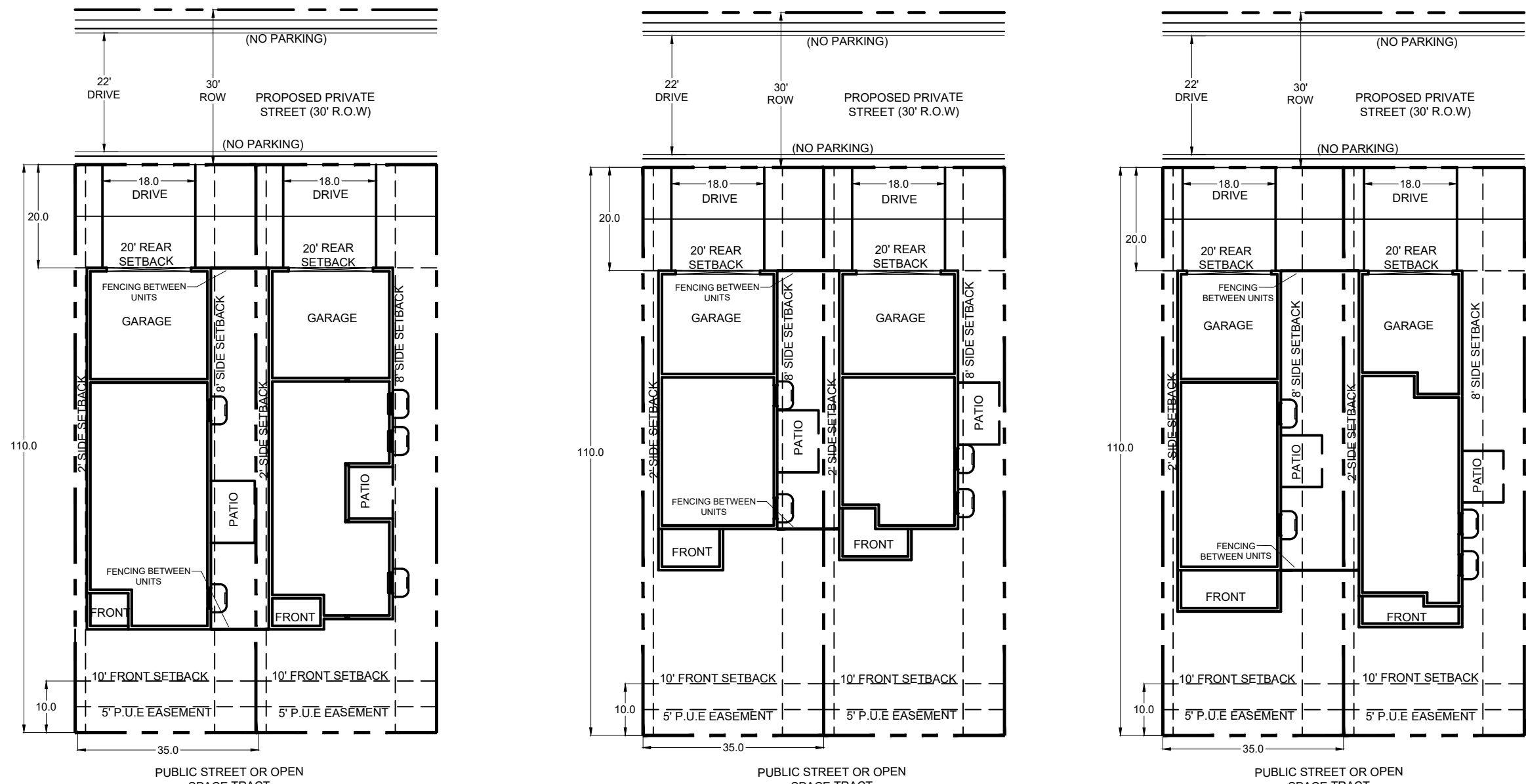
DRAWING INFORMATION:
PROJECT NO.: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD PHASE
AND KEY MAPS

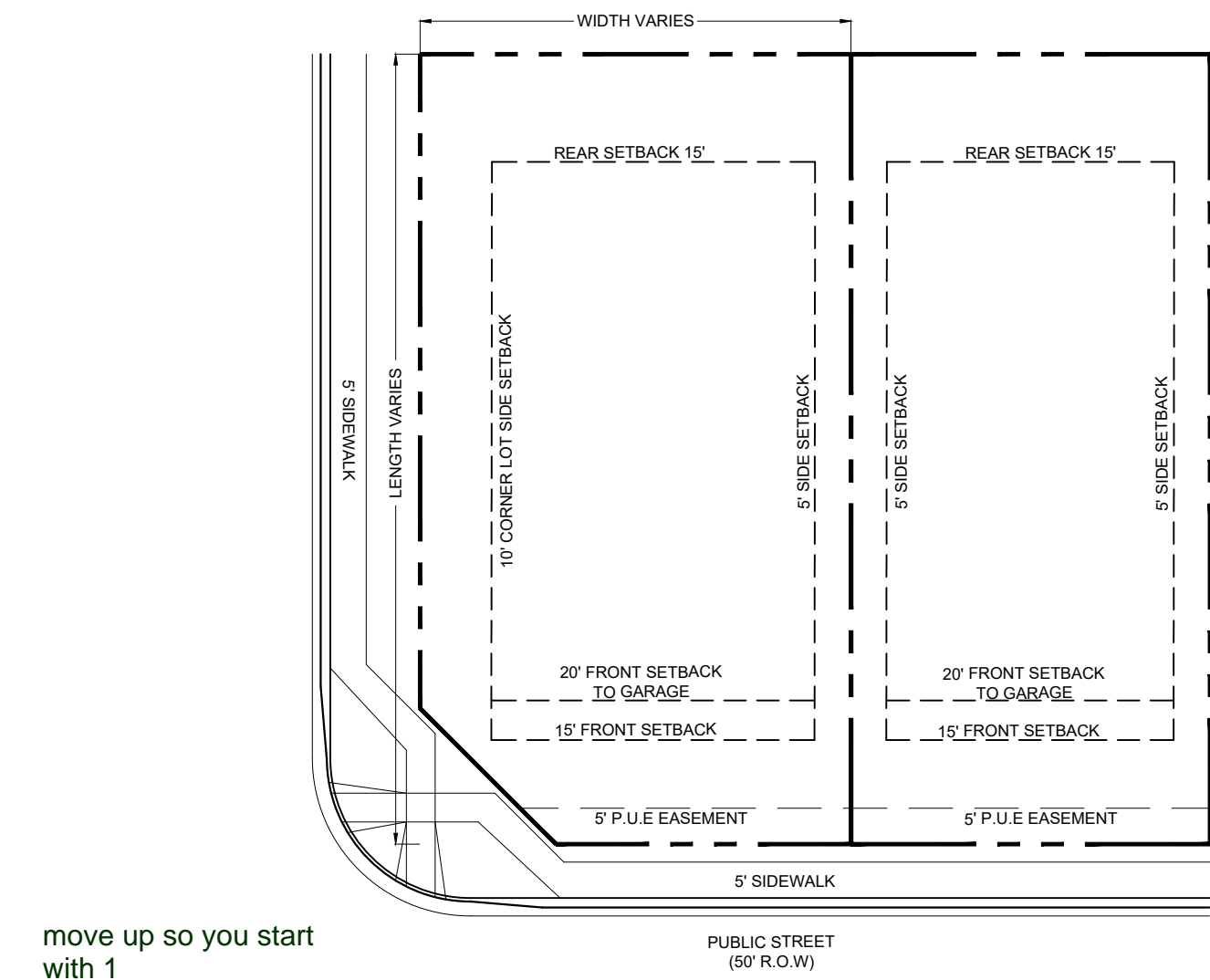
P2

SHEET 2 OF 24

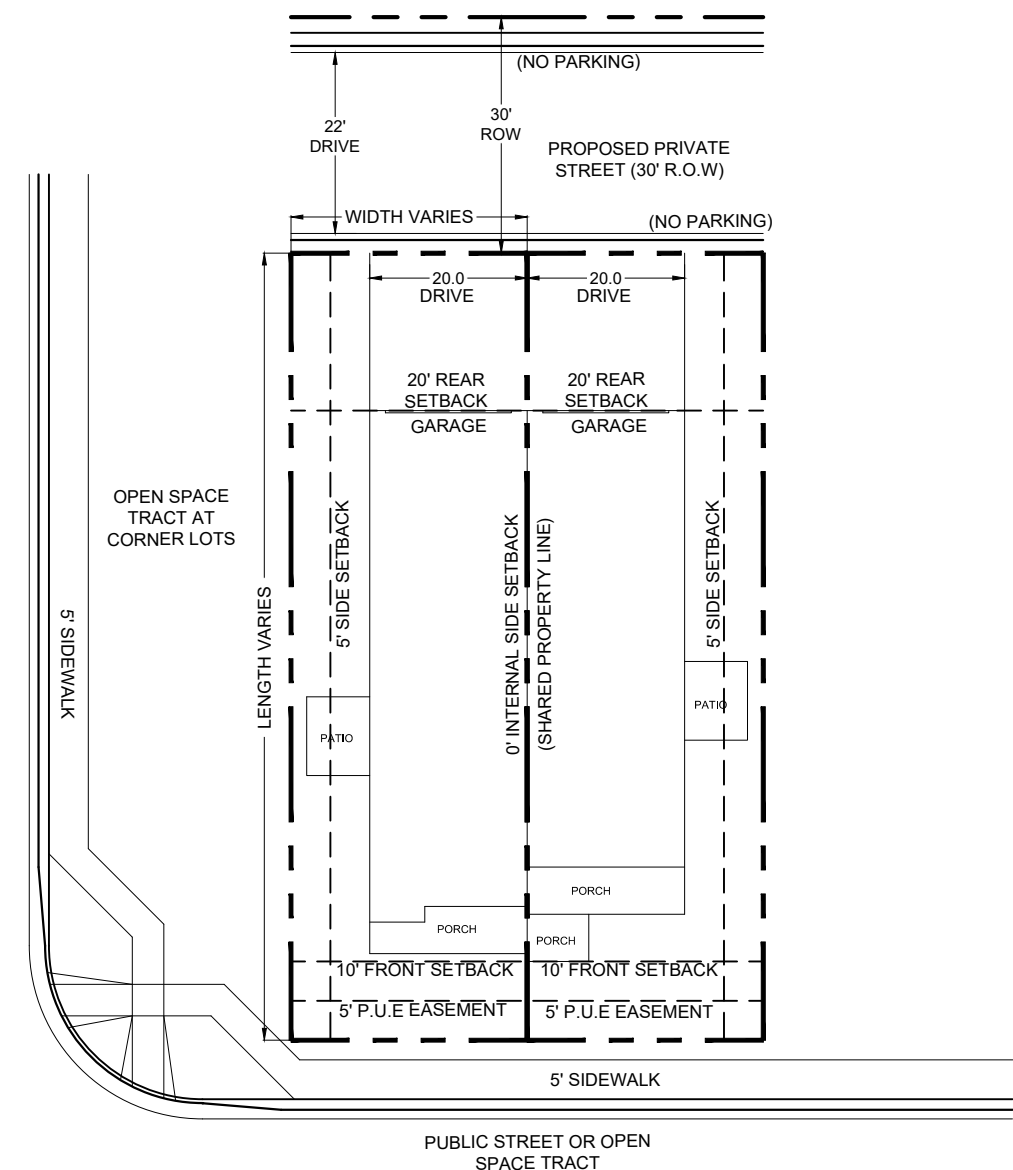
TYPICAL LOT SETBACK DIAGRAMS



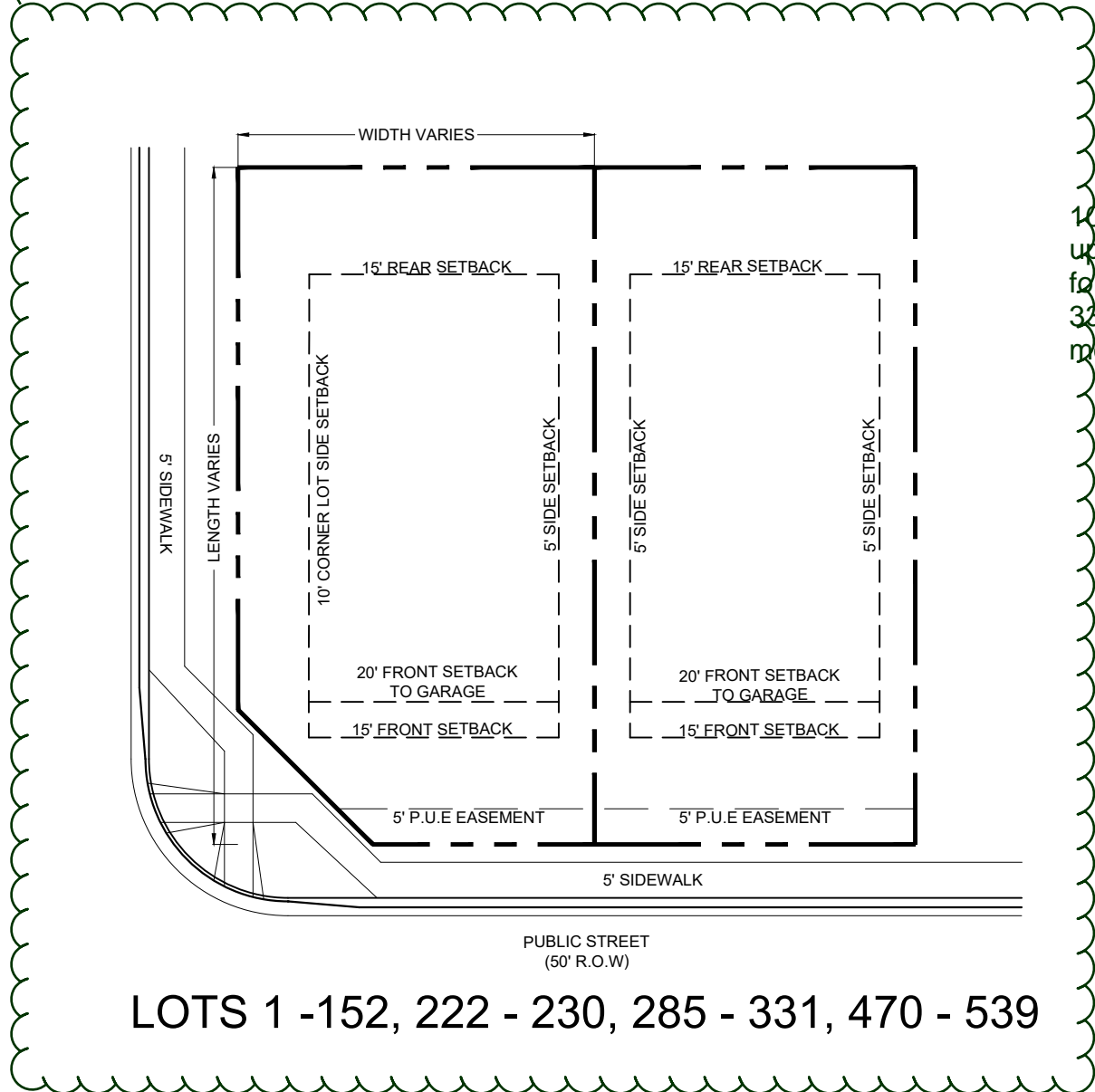
LOTS 332 - 464



LOTS 153 - 221, 231-284



LOTS 540 - 605



LOTS 1 -152, 222 - 230, 285 - 331, 470 - 539

LOT TYPICAL NOTES FOR ALL LOTS:

1. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/ EGRESS CONFIGURATION.
2. OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
3. 5' WOOD FENCING PERMITTED BETWEEN UNITS AT THE FRONT AND REAR OF THE HOUSE ONLY. FINAL LOCATION OF FENCING TO BE DETERMINED BY INDIVIDUAL HOUSE CONFIGURATION.
4. THERE SHALL BE NO FENCING PERMITTED AROUND THE FRONT YARD PRIVATE OPEN SPACE.
5. A MINIMUM SEPARATION BETWEEN UNITS.
6. 5' PUBLIC UTILITY EASEMENT TO BE PROVIDED ALONG THE FRONTS OF ALL LOTS.
7. ALL SIGHT DISTANCE TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A "SIGHT DISTANCE EASEMENT" SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR THE HOMEOWNERS' ASSOCIATION UNLESS OTHERWISE APPROVED BY THE COUNTY.
8. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

this note is a little confusing. How about there shall be no fence within the front yard setback?

DEVELOPMENT STANDARDS AND GUIDELINES

- PRINCIPAL USES:
1. THERE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
 2. ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, TWO FAMILY RESIDENTIAL, MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, BICYCLIST PATHS, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT.

*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TEMPORARY USES:

1. MODEL HOME/ SUBDIVISION SALES OFFICE
2. CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
3. YARD OR GARAGE SALES

*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

ACCESSORY USES:

1. RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
2. RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
3. SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
4. ANIMAL KEEPING OF UP TO 4 PETS (DOGS, CATS OR OTHER DOMESTICATED ANIMALS). THE KEEPING OF BEES, HENS, CHICKENS, OR PIGEONS IS NOT PERMITTED.
5. PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED.
6. MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

SPECIAL USES:

1. CMRS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

what about small cell? or freestanding?

ACCESSORY STRUCTURES:

1. SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GAZEBOS, PATIOS, HOT TUBS/ SPAS, AND POOLS.
2. FENCES, WALLS, OR HEDGES
3. MAILBOXES
4. PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
5. PERSONAL USE SMALL CELL TOWER
6. DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
7. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK-YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
8. NO ACCESSORY STRUCTURES ARE PERMITTED ON LOTS 332 - 464, 540 - 605.

*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

DEVELOPMENT STANDARDS AND GUIDELINES

DEVELOPMENT GUIDELINES FOR LOTS 153 - 221, 231 - 284

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 5,000 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30').
4. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
5. SETBACK REQUIREMENTS (SEE DETAILS SHEET 2):
 - A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
 - FIFTEEN FEET (15') TO FACE OF HOUSE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
6. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - B. SETBACK REQUIREMENTS:
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')

move up so you start with lot 1

DEVELOPMENT GUIDELINES FOR LOTS 1 - 152, 222 - 230, 285 - 331, 470 - 539

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 3,825 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
4. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
5. SETBACK REQUIREMENTS (SEE DETAILS SHEET 2):
 - A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
 - FIFTEEN FEET (15') TO FACE OF HOUSE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
6. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - B. SETBACK REQUIREMENTS:
 - SIDE YARD: FIVE FEET (5')
 - REAR YARD: FIVE FEET (5')

DEVELOPMENT GUIDELINES FOR LOTS 332 - 464

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 3,000 SF
2. MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
4. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
5. SETBACK REQUIREMENTS (SEE DETAILS):
 - FRONT: 10' BUILDING
 - SIDE: 2' OR 8' PER DETAIL (10' MIN. BETWEEN BUILDINGS)
 - REAR: 20' SETBACK TO FACE OF GARAGE
 - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

ACCESSORY STRUCTURES:

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 332 - 464.

DEVELOPMENT GUIDELINES FOR LOTS 540 - 605

1. MINIMUM LOT AREA:
 - A. DWELLING, TWO FAMILY SINGLE FAMILY: 2,500 SF
2. MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
4. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
5. SETBACK REQUIREMENTS (SEE DETAILS SHEET 2):
 - FRONT: 10' BUILDING
 - SIDE: 5' (10' MIN. BETWEEN BUILDINGS)
 - 5' ALONG SHARED WALL/ COMMON PROPERTY LINE
 - REAR: 20' SETBACK TO FACE OF GARAGE
 - CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

ACCESSORY STRUCTURES:

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 540 - 605.

Update to metro district. No mention of a HOA in the LOI

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
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PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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Colorado Springs, CO 80920
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REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:

PROJECT NO. 19.886.008

DRAWN BY: BS

CHECKED BY: NS

APPROVED BY: GS

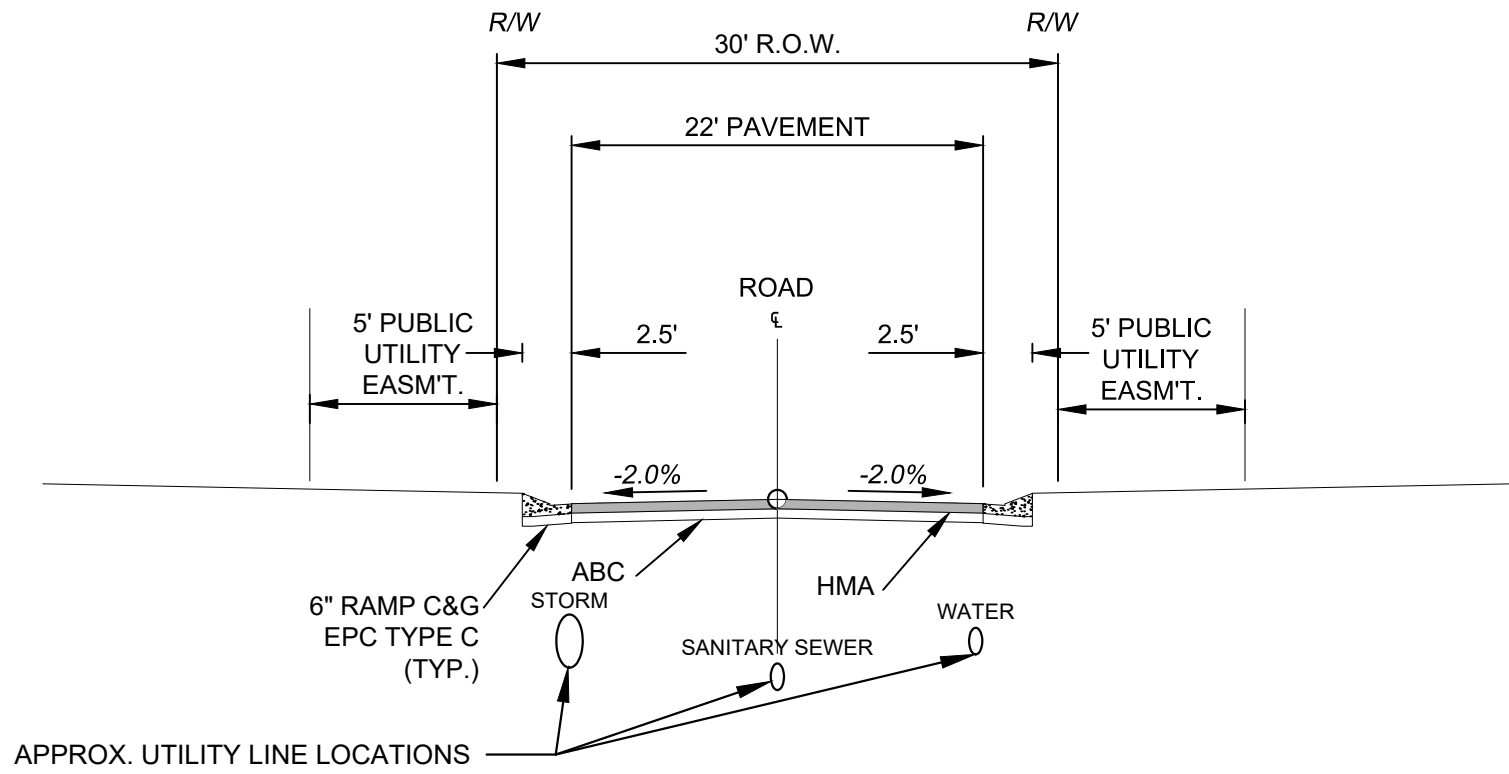
SHEET TITLE:

PUD
DETAILS

P3

SHEET 3 OF 24

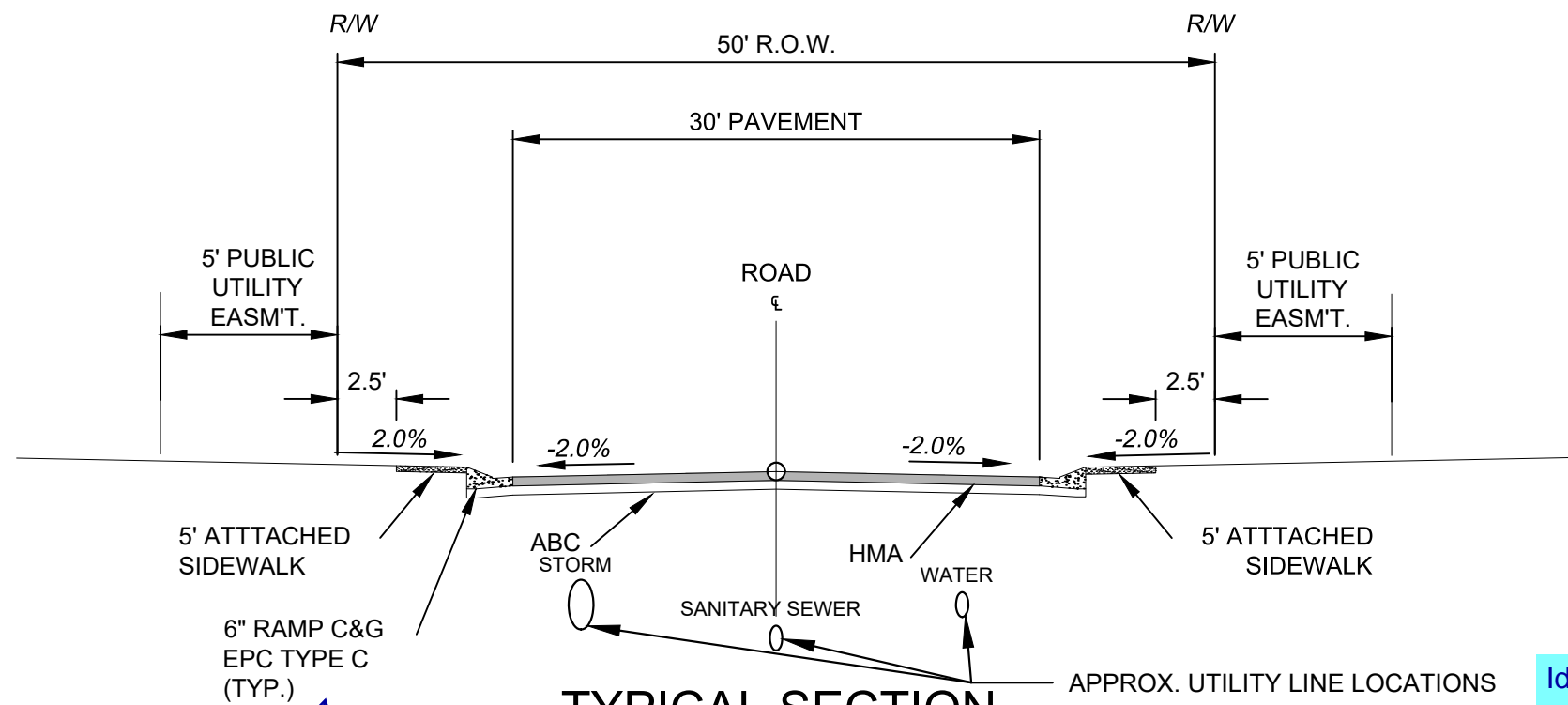
TYPICAL STREET CROSS-SECTIONS



TYPICAL SECTION
(PRIVATE ROADWAY)

SCALE : N.T.S.

label the minimum horizontal separation and depth for stormdrain, sanitary sewer, and water

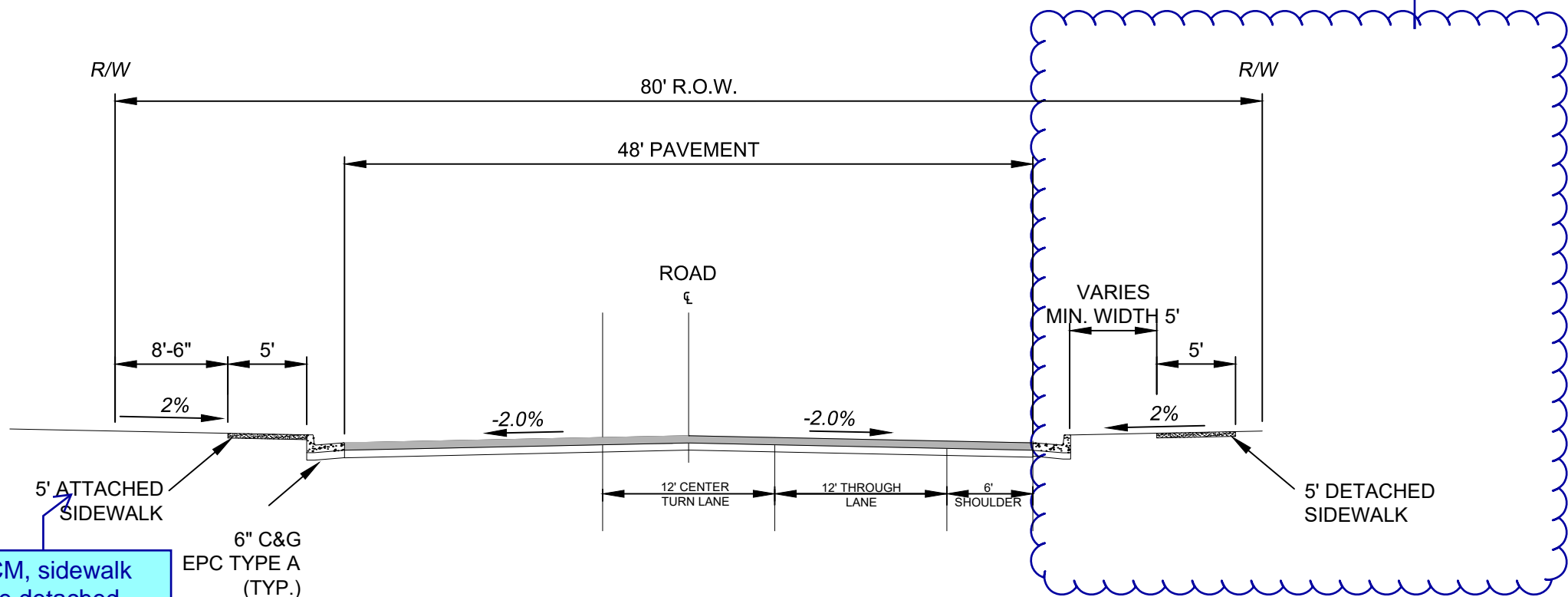


TYPICAL SECTION
(URBAN LOCAL ROADWAY)

SCALE : N.T.S.

Revise to EPC Optional Type C. Unresolved. Revise all "EPC Type C" to "EPC Optional Type C"

Identify the Max width. The layout shows sidewalk extending outside the ROW within tracts.



TYPICAL SECTION
(URBAN NON-RESIDENTIAL COLLECTOR)

SCALE : N.T.S.

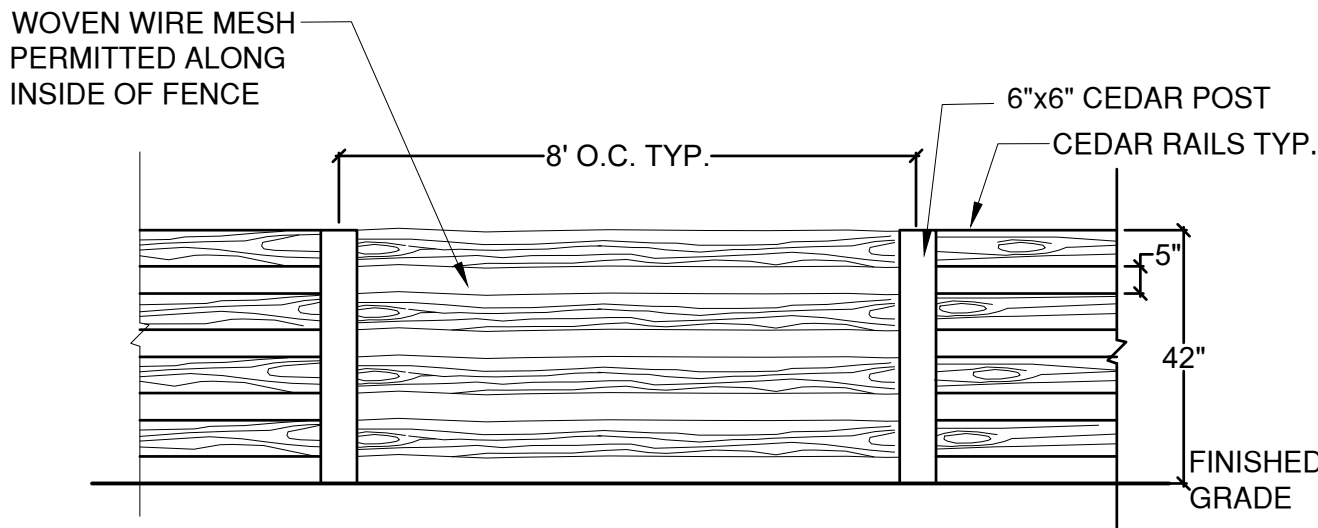
PUBLIC STREETS

- ALL PUBLIC STREETS AS ILLUSTRATED ON THE DRAWINGS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
- STREETS WITHIN THIS DEVELOPMENT PROVIDE FOR LEVELS OF VEHICULAR CIRCULATION REQUIRED BY THE TRAFFIC STUDY. SIDEWALKS SHALL BE PROVIDED ON BOTH SIDES OF ALL PUBLIC STREETS AS ILLUSTRATED ON THIS PLAN.
- PER THE TRAFFIC IMPACT ANALYSIS A NOISE WALL IS REQUIRED ALONG POWERS BLVD.
- URBAN LOCAL RESIDENTIAL KNUCKLE DESIGN TO BE PER THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL KNUCKLE DETAIL FIGURE SD 2-77.

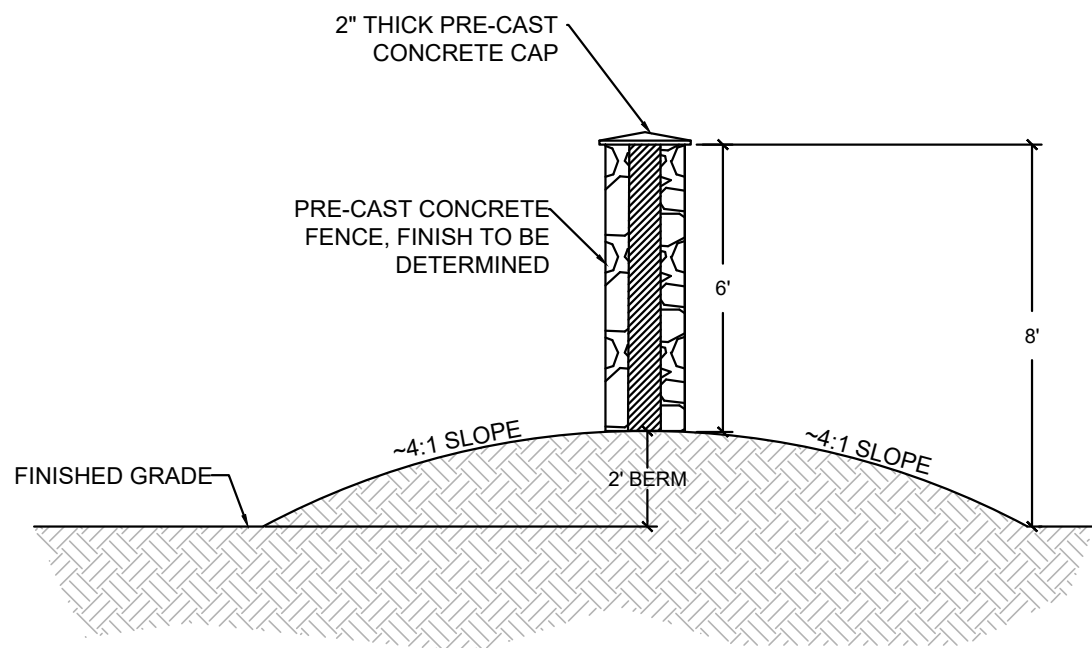
PRIVATE STREETS

- ALL PRIVATE STREETS AS ILLUSTRATED ON THE DRAWINGS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT.
- ALL PRIVATE STREETS SHALL BE NAMED TO EL PASO COUNTY STANDARDS.
- ALL PRIVATE STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
- ALL HOMES SHALL BE ADDRESSED OFF THE NAMED STREET AT THE REAR OF THE HOME. ADDRESSES FOR ALL LOTS SHALL BE PLACED ON BOTH THE FRONT AND REAR OF THE BUILDING OR AS DIRECTED BY THE REGIONAL BUILDING DEPARTMENT.
- THERE SHALL BE NO DIRECT LOT ACCESS FROM COLLECTOR STREETS AND ABOVE.
- THERE SHALL BE NO ON-STREET PARKING PERMITTED ALONG THE PRIVATE ROADWAYS.

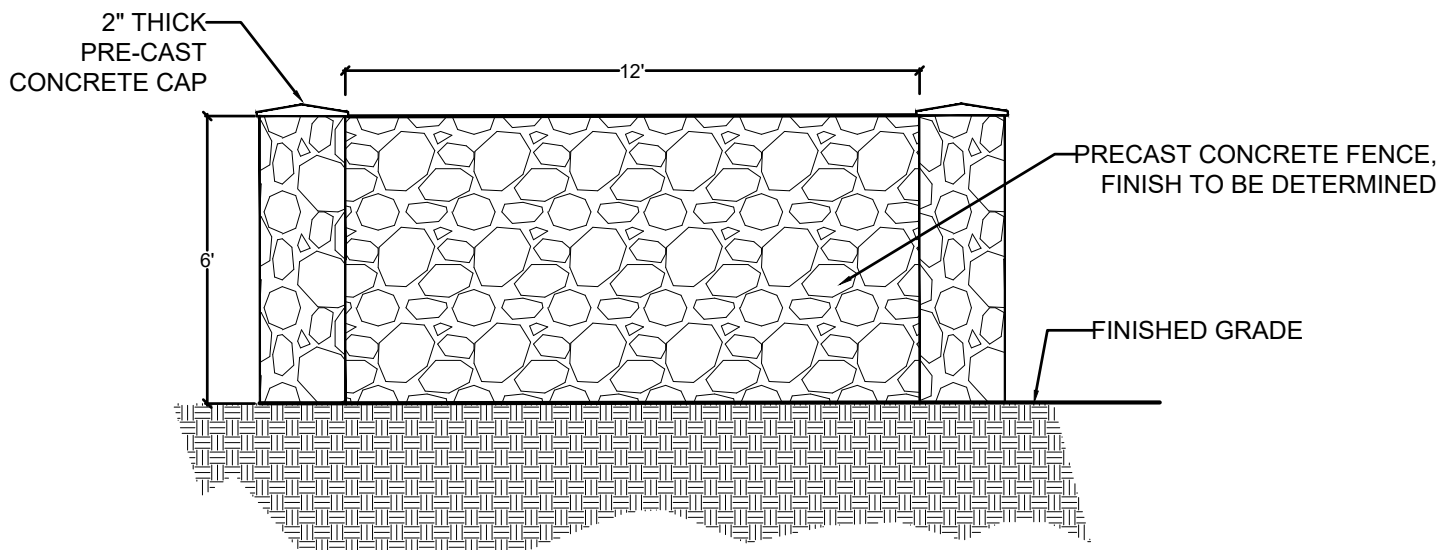
update. Plans shows off-street parking at designated locations.



1 SPLIT RAIL FENCE DETAIL
N.T.S.

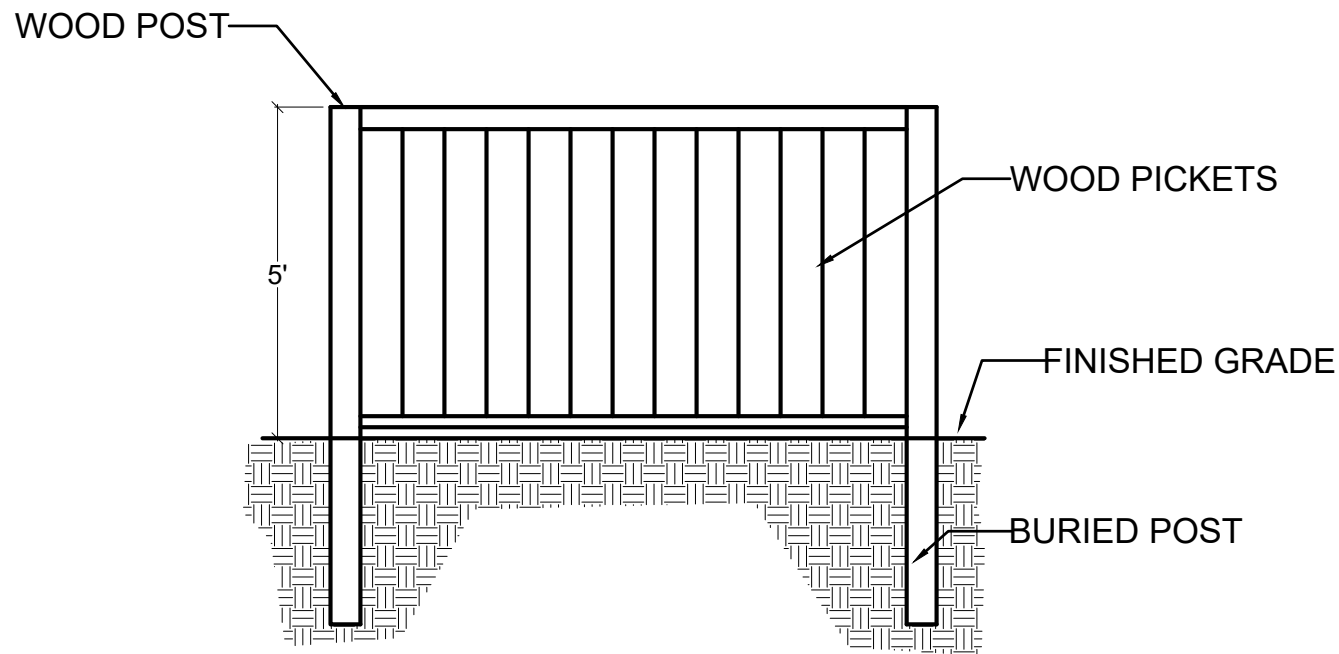


3 6' CONCRETE NOISE WALL ALONG POWERS BLVD
N.T.S.



- NOTE:
- COLUMNS, WALL, STEEL FENCING PER MANUFACTURES SPECIFICATIONS.
 - SUBMIT CUT SHEETS AND SAMPLE PRIOR TO INSTALLATION.
 - FINAL COLOR, TEXTURE AND FINISH TO BE DETERMINED

2 6' CONCRETE FENCE DETAIL
N.T.S.



- NOTES:
- FENCE MATERIAL, COLOR, ETC. TO BE DETERMINED.
 - FENCE TYPE TO BE USED ON ALL INDIVIDUAL LOTS EXCEPT WHERE NOTED.
 - FENCING INSTALLED ON INDIVIDUAL LOTS SHALL OWNED AND MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.

4 5' WOOD FENCE DETAIL
N.T.S.

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CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix
DESIGN GROUP

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PUD
DETAILS

P4

SHEET 4 OF 24

PCD FILE: PUDSP-191

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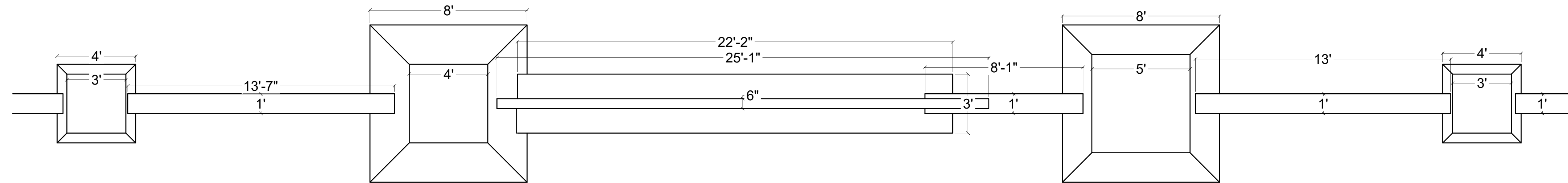
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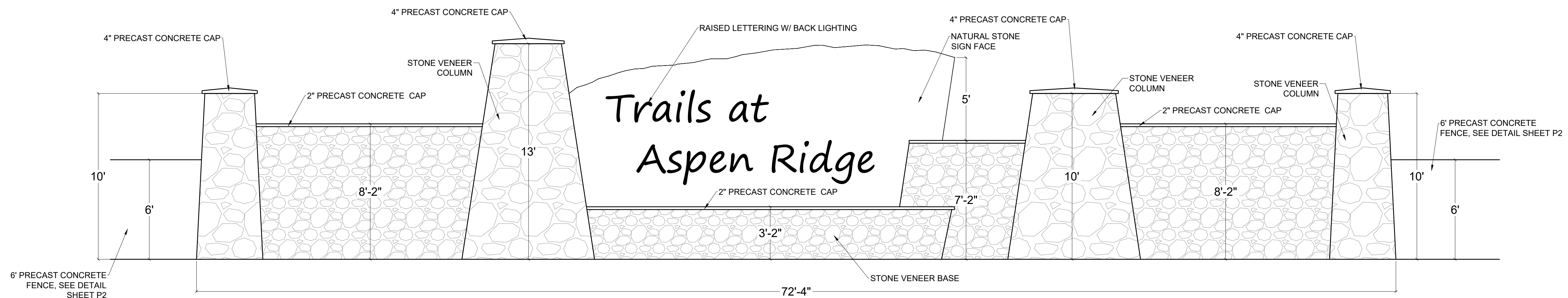
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SHEET 5 OF 24



MAIN ENTRANCE SIGN (PLAN VIEW)

NTS

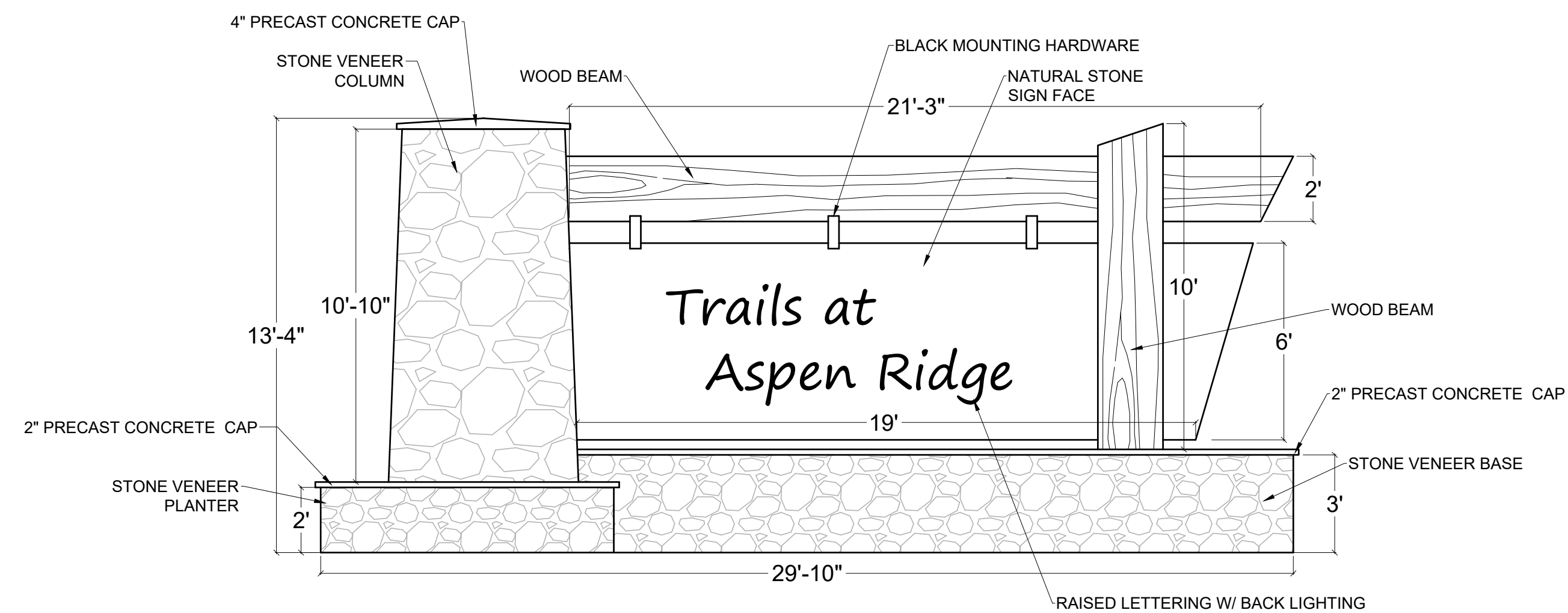


MAIN ENTRANCE SIGN (FRONT VIEW)

NTS

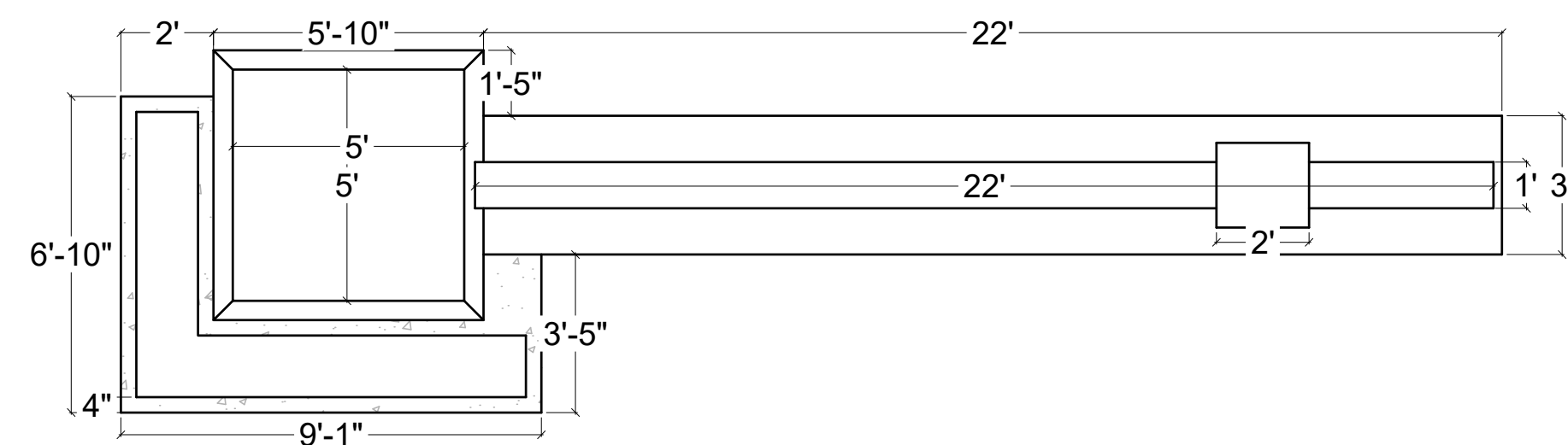
the lettering will count towards the total size of the sign. Please add dimensions to calculate the total size.

Add verbage for which tract(s) the signs will be located.



SECONDARY SIGN (FRONT VIEW)

NTS



SECONDARY SIGN (PLAN VIEW)

NTS

TRACT MAP



TRACT TABLE

TRACT	AREA (SQUARE FEET)	LANDSCAPE/PARK OPEN SPACE/TRAIL	SIGNAGE/PUBLIC IMPROVEMENTS	DRAINAGE/ DETENTION	PRIVATE DRIVE/ ACCESS ROAD	PUBLIC UTILITIES	WATER PUMP HOUSE FACILITY	OWNED/MAINTAINED BY
A	257,397	X	X	X		X		WATERVIEW II METRO DISTRICT
B	23,302	X	X	X		X	X	WIDEFIELD WATER & SANITATION DISTRICT
C	4,187	X	X	X		X		WATERVIEW II METRO DISTRICT
D	73,066	X	X	X		X		WATERVIEW II METRO DISTRICT
E	272,259	X	X	X		X		WATERVIEW II METRO DISTRICT
F	4,791	X	X	X		X		WATERVIEW II METRO DISTRICT
G	2,533	X	X	X		X		WATERVIEW II METRO DISTRICT
H	22,951	X	X	X		X		WATERVIEW II METRO DISTRICT
I	23,060	X	X	X		X		WATERVIEW II METRO DISTRICT
J	63,317	X	X	X	X	X		WATERVIEW II METRO DISTRICT
K	1,318	X	X	X		X		WATERVIEW II METRO DISTRICT
L	1,472	X	X	X		X		WATERVIEW II METRO DISTRICT
M	4,401	X	X	X		X		WATERVIEW II METRO DISTRICT
N	2,410	X	X	X		X		WATERVIEW II METRO DISTRICT
O	33,955	X	X	X		X		WATERVIEW II METRO DISTRICT
P	83,315	X	X	X		X		WATERVIEW II METRO DISTRICT
Q	8,892	X	X	X	X	X		WATERVIEW II METRO DISTRICT
R	22,258	X	X	X		X		WATERVIEW II METRO DISTRICT
S	8,888	X	X	X	X	X		WATERVIEW II METRO DISTRICT
T	20,763	X	X	X		X		WATERVIEW II METRO DISTRICT
U	8,885	X	X	X	X	X		WATERVIEW II METRO DISTRICT
V	41,463	X	X	X		X		WATERVIEW II METRO DISTRICT
W	6,277	X	X	X		X		WATERVIEW II METRO DISTRICT
X	44,054	X	X	X		X		WATERVIEW II METRO DISTRICT
Y	31,856	X	X	X		X		WATERVIEW II METRO DISTRICT
Z	39,115	X	X	X	X	X		WATERVIEW II METRO DISTRICT
AA	27,858	X	X	X		X		WATERVIEW II METRO DISTRICT
BB	31,370	X	X	X		X		WATERVIEW II METRO DISTRICT
CC	2,118	X	X	X		X		WATERVIEW II METRO DISTRICT
DD	7,899	X	X	X		X		WATERVIEW II METRO DISTRICT
EE	2,488	X	X	X		X		WATERVIEW II METRO DISTRICT

TOTAL TRACT AREA: 1,177,920 SF (27.0413 AC)

TRACT NOTES:
1. 'X' DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS
2. TRACT 'W' RESERVED FOR FUTURE RIGHT-OF-WAY USE FOR POSSIBLE CONNECTION TO THE EAST. TRACT 'W' SHALL BE DEDICATED TO EL PASO COUNTY AT NO COST TO THE DEVELOPER AT THAT TIME THE CONNECTION IS REQUIRED. IF NO CONNECTION TO THE EAST IS REQUIRED, THIS TRACT MAY BE CONVERTED TO A LOT FOR USE A SINGLE FAMILY RESIDENTIAL.

only after an amended plat has been approved by EPC

County

Verify this is consistent with Filing 1. The first submittal for filing 1 showed the tract along Legacy Drive as part filing 1 plat. If it is now part of this PUDSP then exclude from the filing 1 plat.

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Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

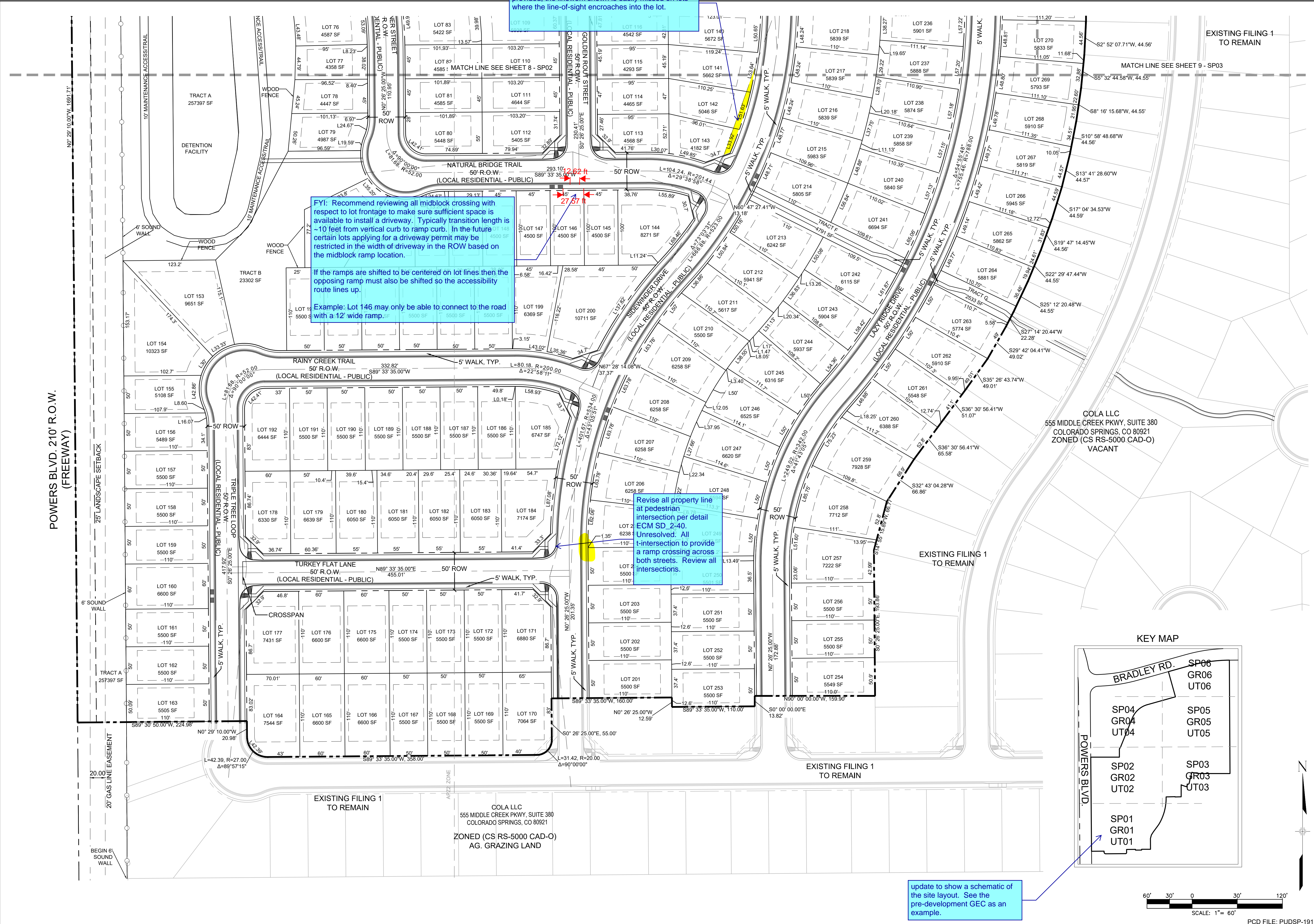
DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD
DETAILS

P6



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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ISSUE: FEBRUARY, 2019
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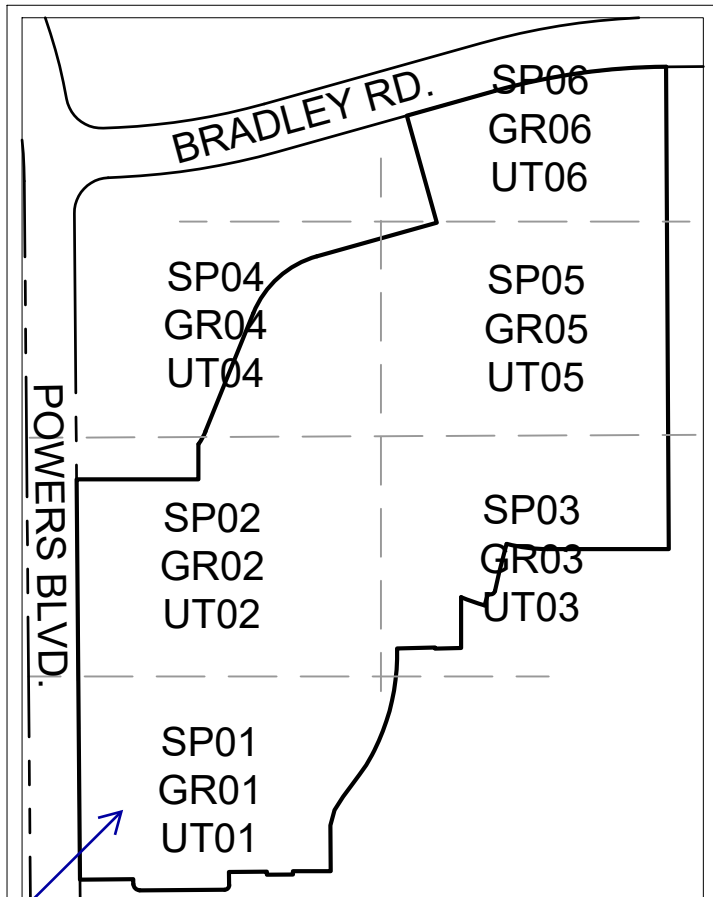
DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD SITE
PLAN

SP01

SHEET 7 OF 24

KEY MAP

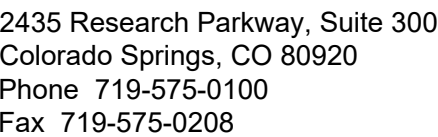


SCALE: 1"= 60'

PCD FILE: PUDSP-191

EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER



TRAILS AT ASPEN RIDGE

PUD/ SP

OWNER:

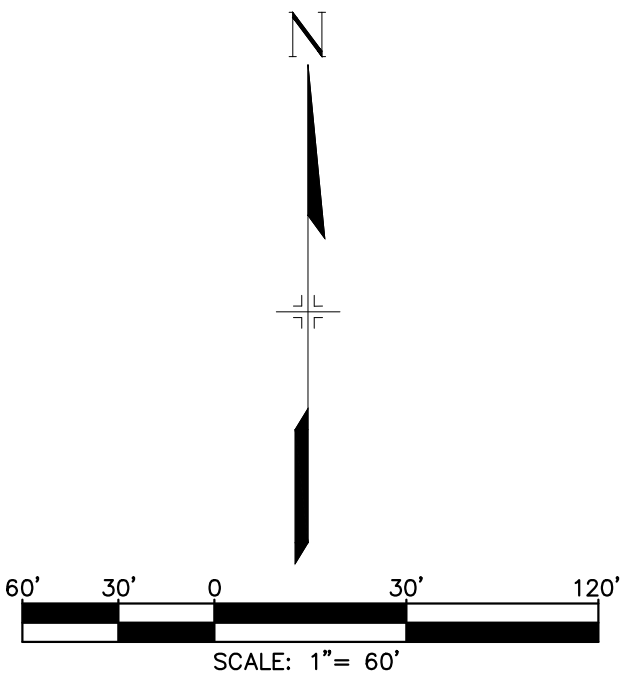
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
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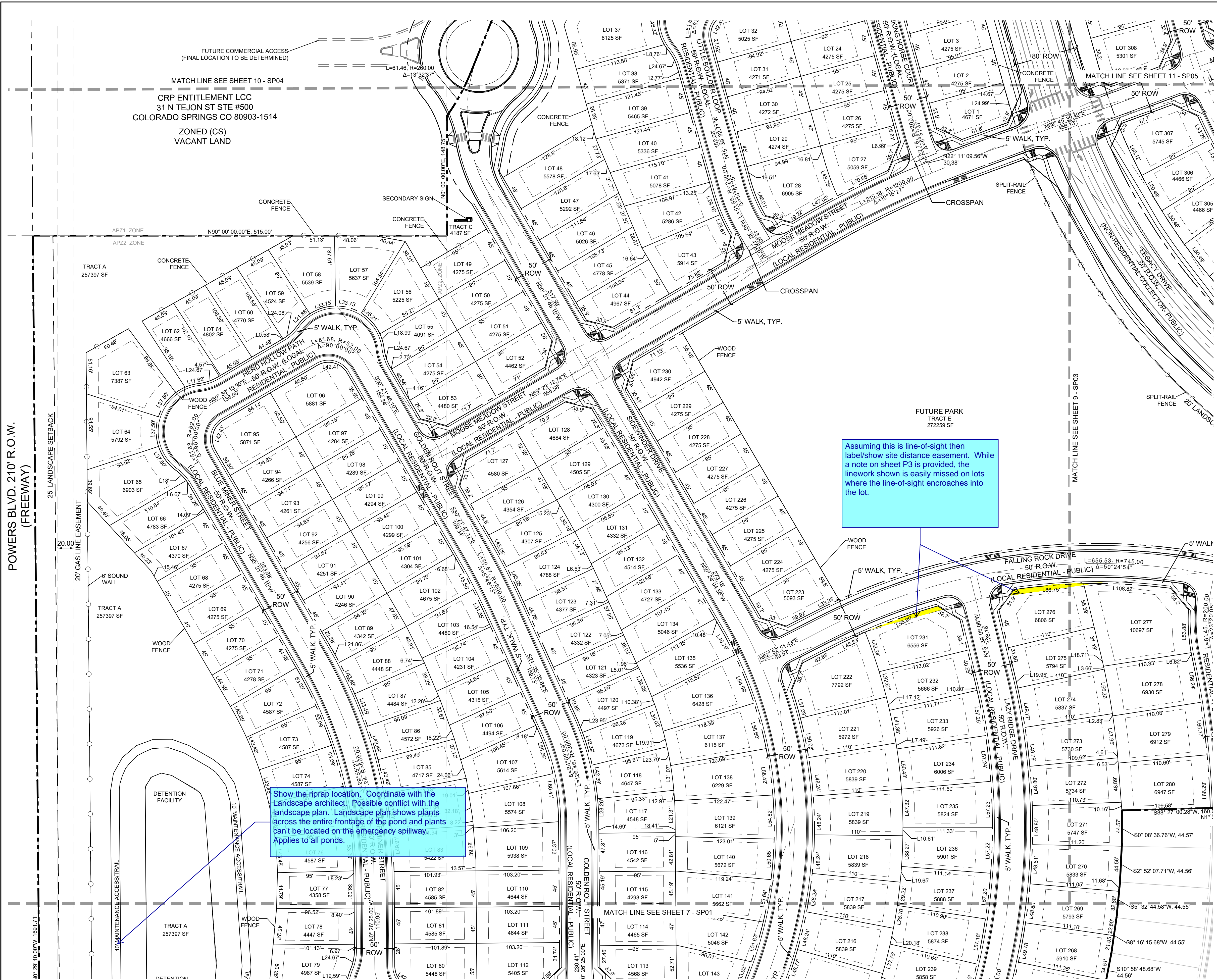
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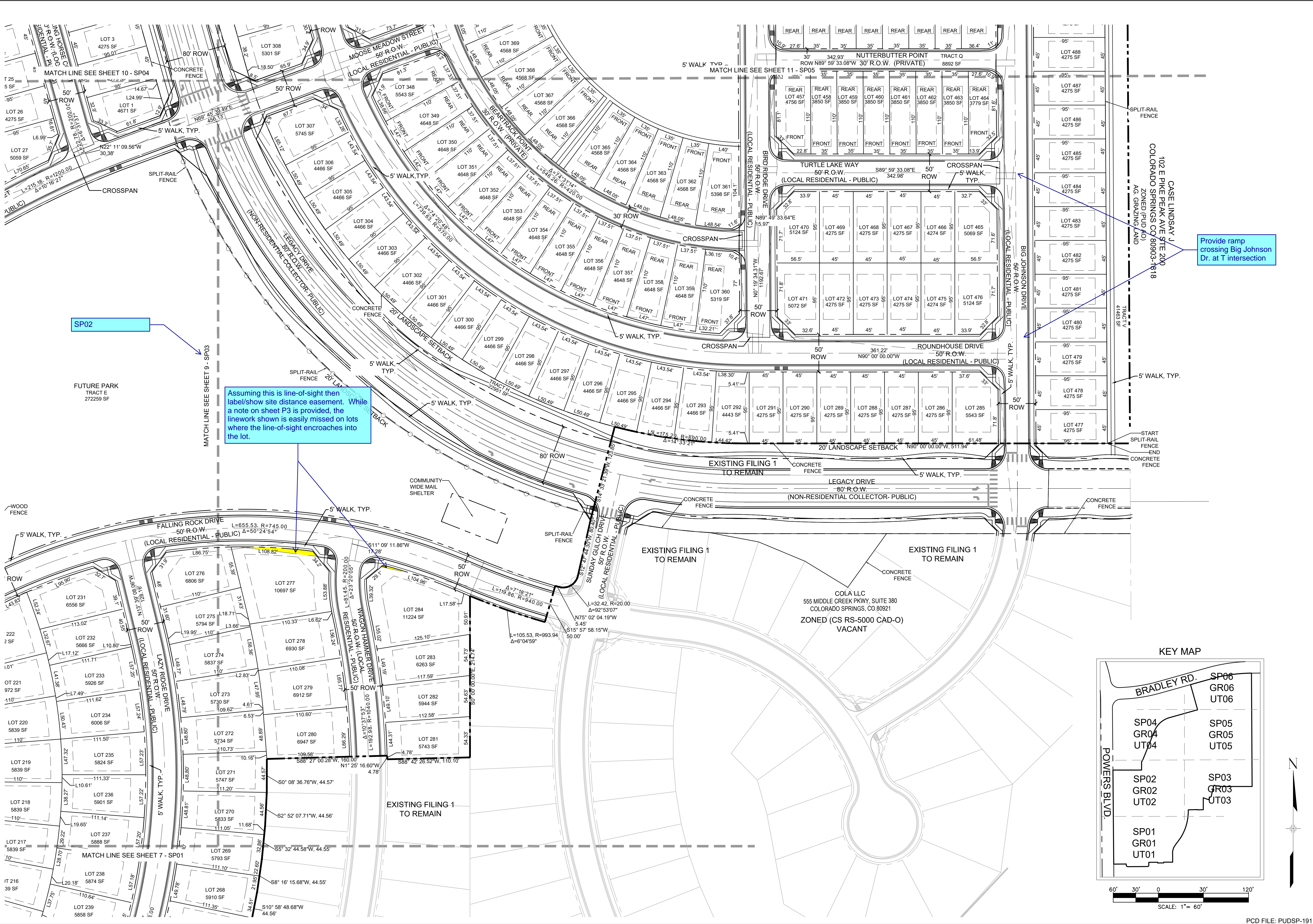
SP02

SHEET 8 OF 24



PCD FILE: PUDSP-191





TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
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Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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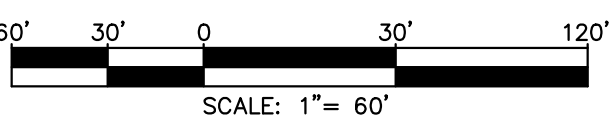
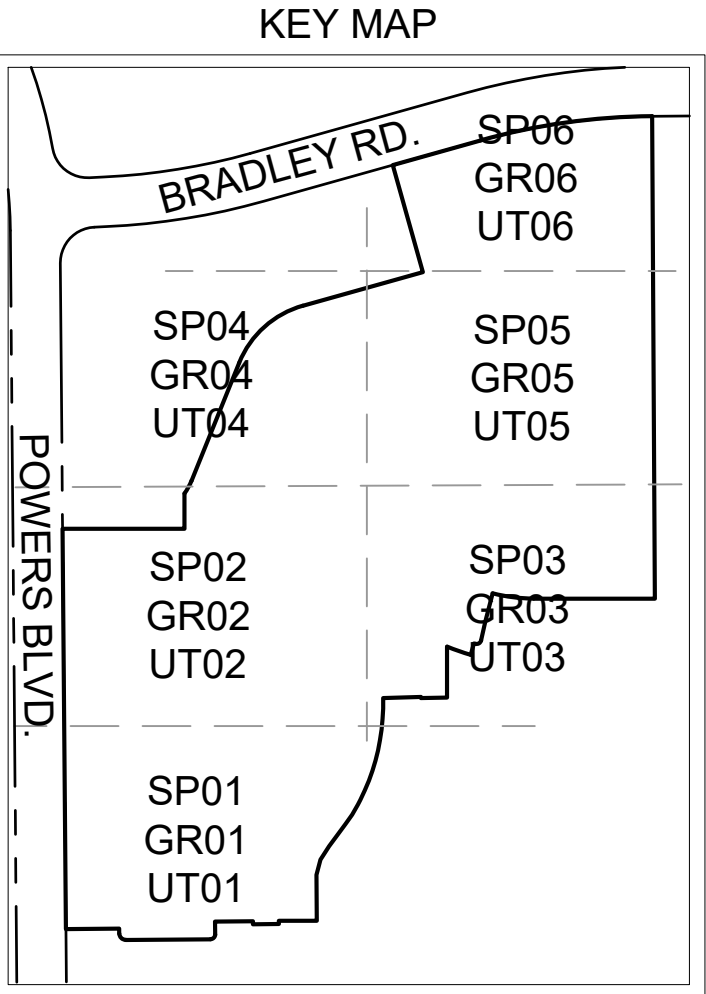
ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD SITE
PLAN

SP03

SHEET 9 OF 24



PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
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PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD SITE
PLAN

SP04

SHEET 10 OF 24

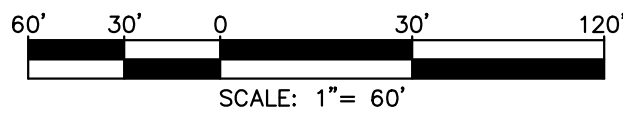
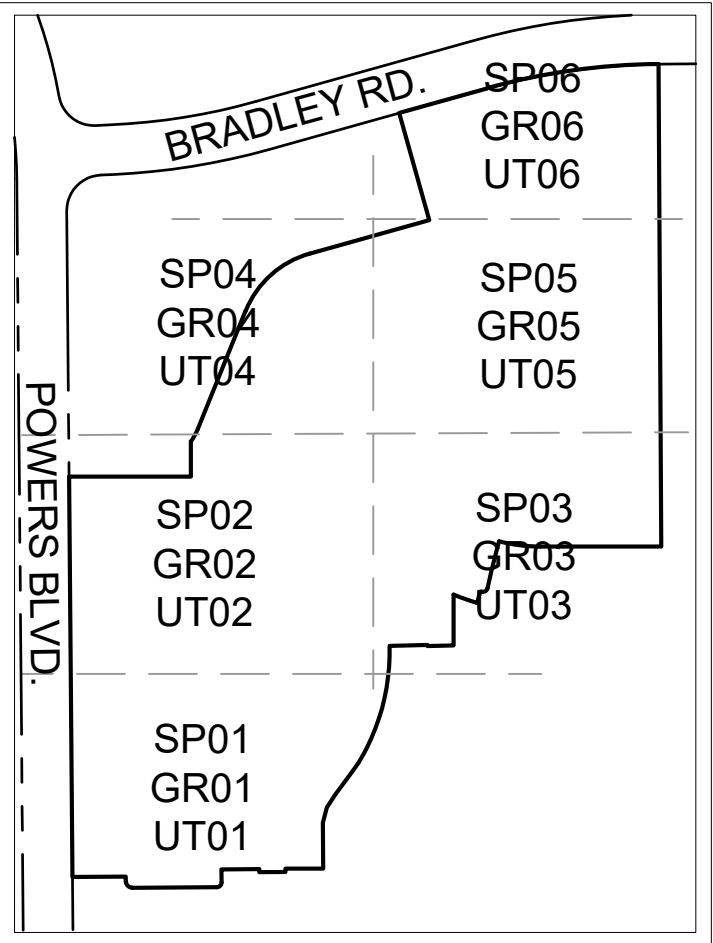
CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND

CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND

provide directional
ramp across
Roundhouse Dr.

Provide ramp

KEY MAP



PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
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Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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DEVELOPER

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COLORADO SPRINGS, CO 80921
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ISSUE: FEBRUARY, 2019

REV1 COMMENT RESPONSE: JUNE , 2019

	DRAWING INFORMATION
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PROJECT NO:	19.886.008
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DRAWN BY: BS

CHECKED BY: J.A.

APPROVED BY: _____

SHEET TITLE

PUD SITE PLAN

SP05

SHEET 11 OF 24



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



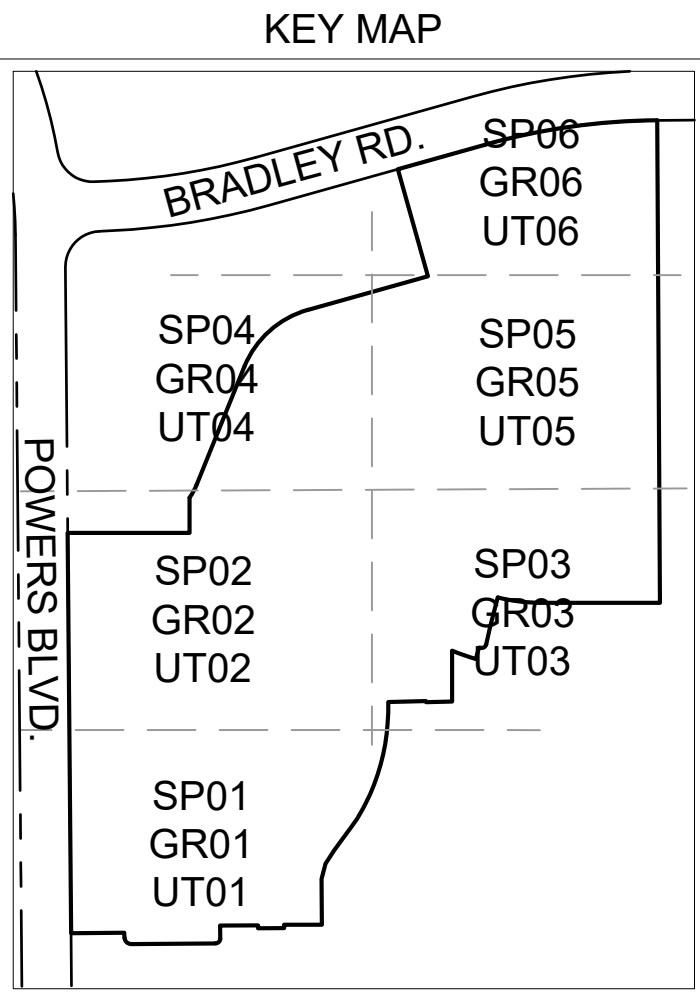
Matrix Group
1000 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

Show the riprap location. Coordinate with the Landscape architect. Possible conflict with the landscape plan. Landscape plan shows plants across the entire frontage of the pond and plants can't be located on the emergency spillway. Applies to all ponds.

please provide detail. Consider adding additional guest parking. One of the main concerns with the "new" small lot PUD is having adequate parking because there cannot be any parking along many of the streets.

RANKIN HOLDINGS LP ET AL
630 SOUTHPONTE CT STE 200
COLORADO SPRINGS CO 80906-3800
ZONED (A-5 CAD-O)
AG. GRAZING LAND

CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND



PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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ISSUE: FEBRUARY, 2019

REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: BS

CHECKED BY: JA

APPROVED BY: GS

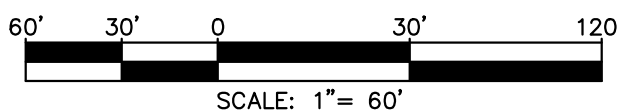
SHEET TITLE:

PUD SITE
PLAN

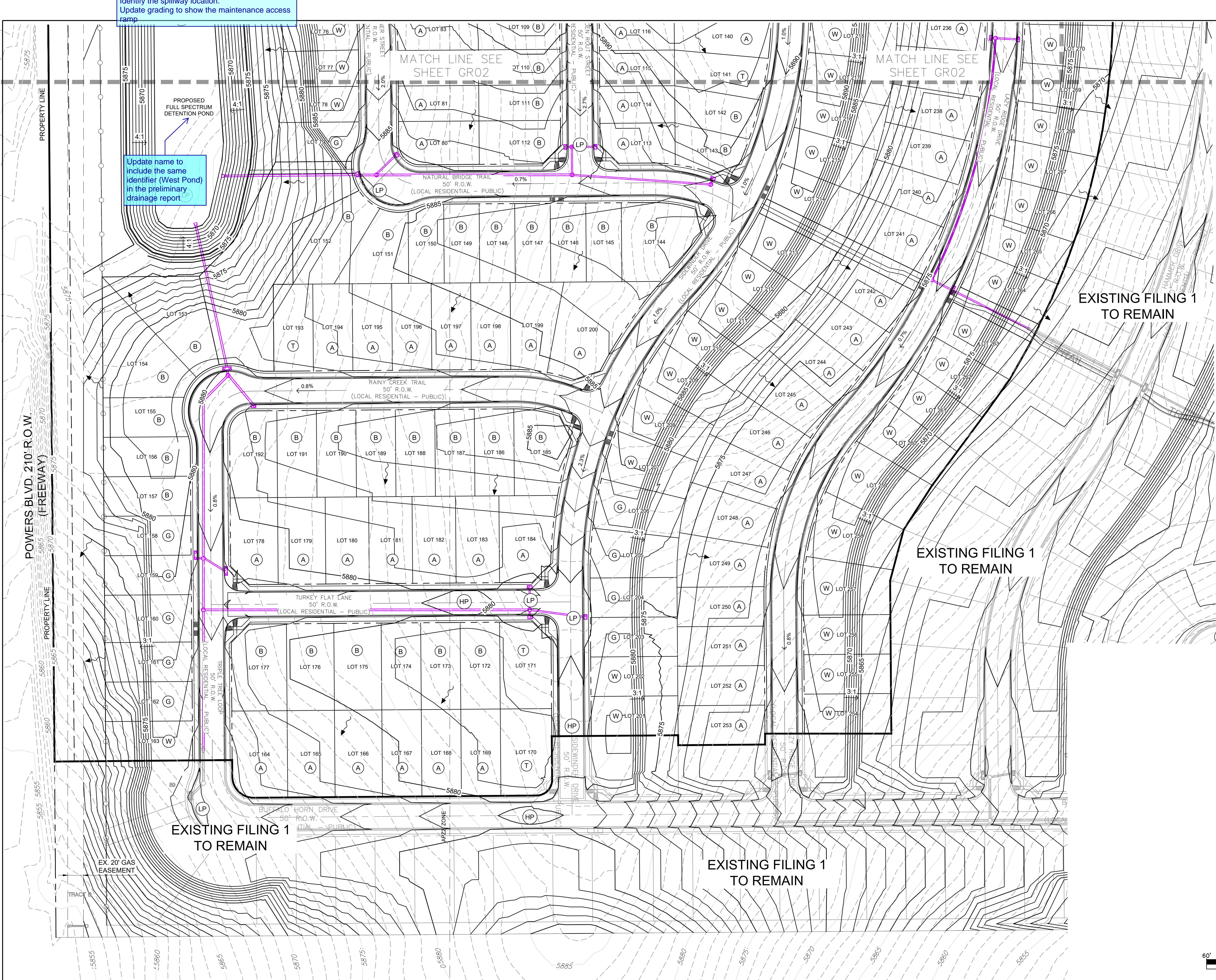
SP06

SHEET 12 OF 24

MARKSHEFFEL-WOODMAN INVEST LLC ET AL
102 E PIKES PEAK AVE STE 200
COLORADO SPRINGS CO 80903-1818
ZONED (RUP AO)
AG. GRAZING LAND



PCD FILE: PUDSP-191



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix
DESIGN GROUP
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

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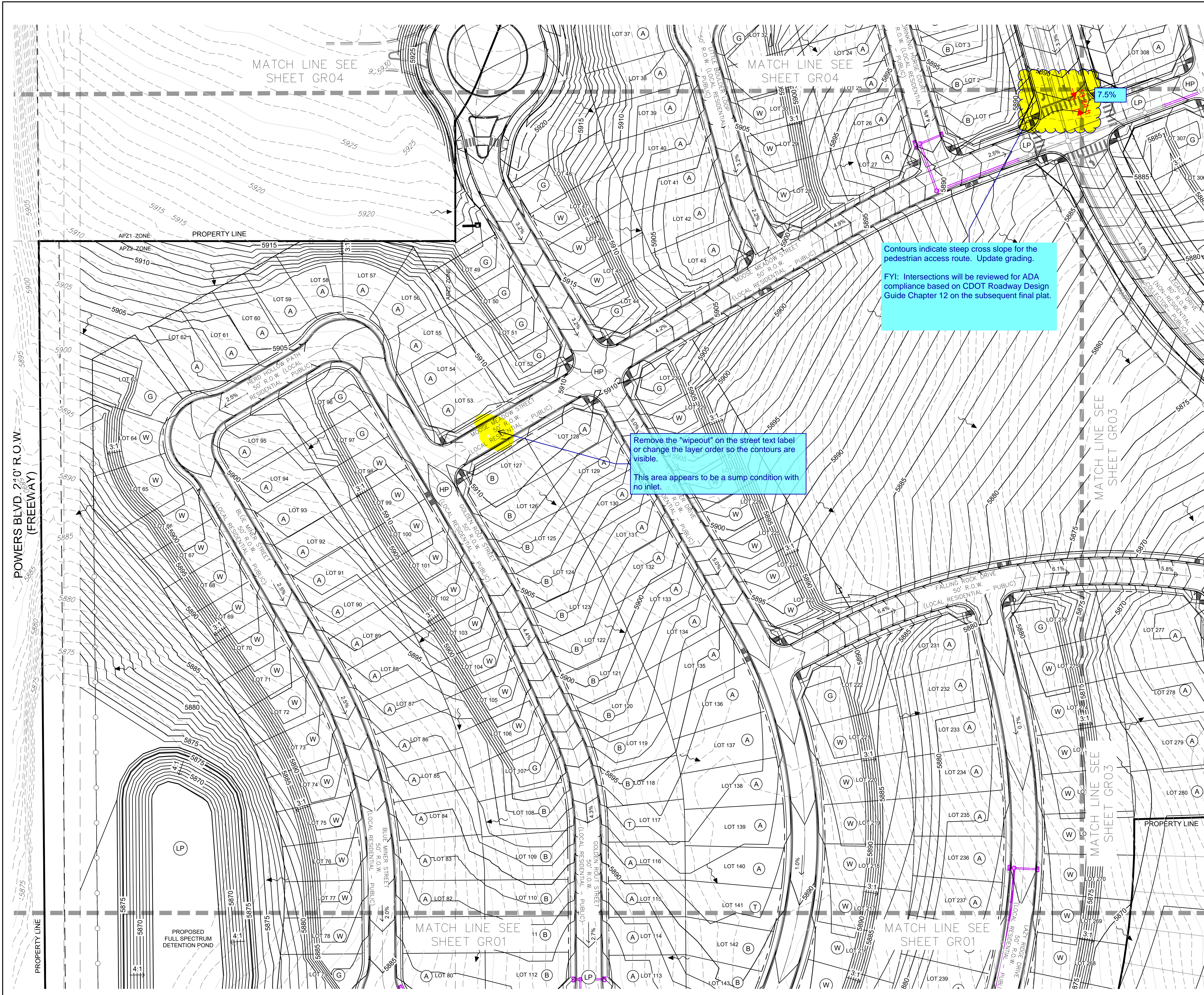
DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR01

SHEET 13 OF 24

PCD FILE: PUDSP-191

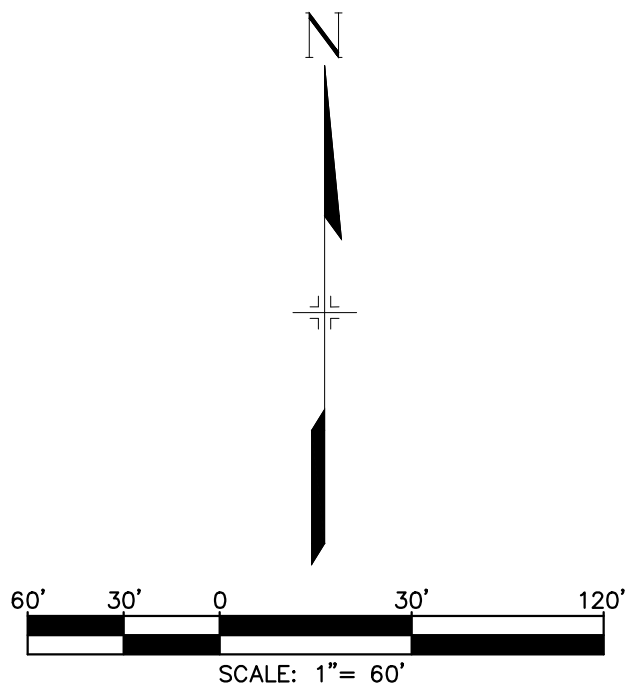


Contours indicate steep cross slope for the pedestrian access route. Update grading.

FYI: Intersections will be reviewed for ADA compliance based on CDOT Roadway Design Guide Chapter 12 on the subsequent final plat.

Remove the "wipeout" on the street text label or change the layer order so the contours are visible.

This area appears to be a sump condition with no inlet.



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
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PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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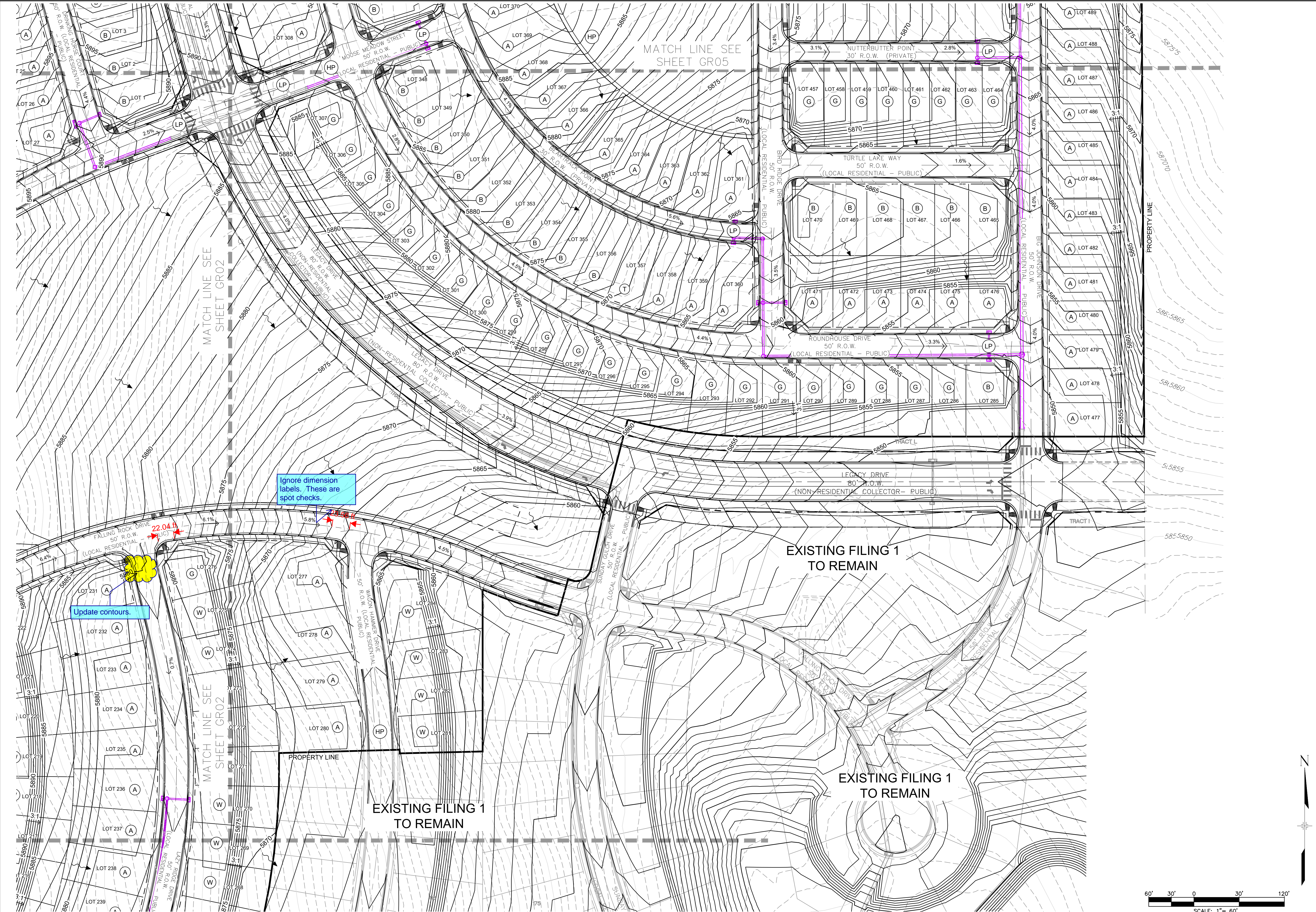
ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR02

SHEET 14 OF 24



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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Colorado Springs, CO 80920
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PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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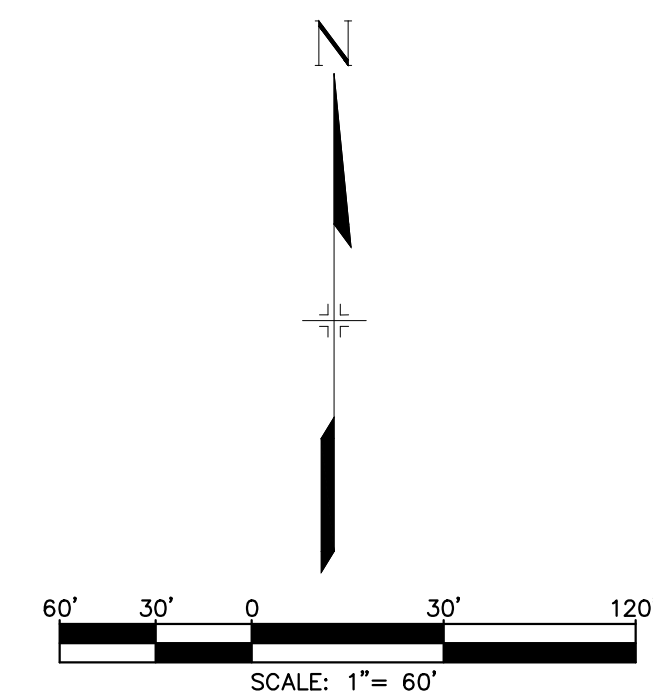
DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
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(719) 382-9433

ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR03



TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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ISSUE: FEBRUARY, 2019

REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:

PROJECT NO:	19.886.008
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DRAWN BY: AL

CHECKED BY: NS

APPROVED BY: GS

SHEET TITLE:

PRELIMINARY GRADING PLAN

GR04

SHEET 16 OF 24



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
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PROJECT:
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PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE , 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR05



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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DRAWING INFORMATION:
PROJECT NO: 19.886.008
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CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR06

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
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CONSULTANT:
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PROJECT:
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PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

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DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: BS

CHECKED BY: NS

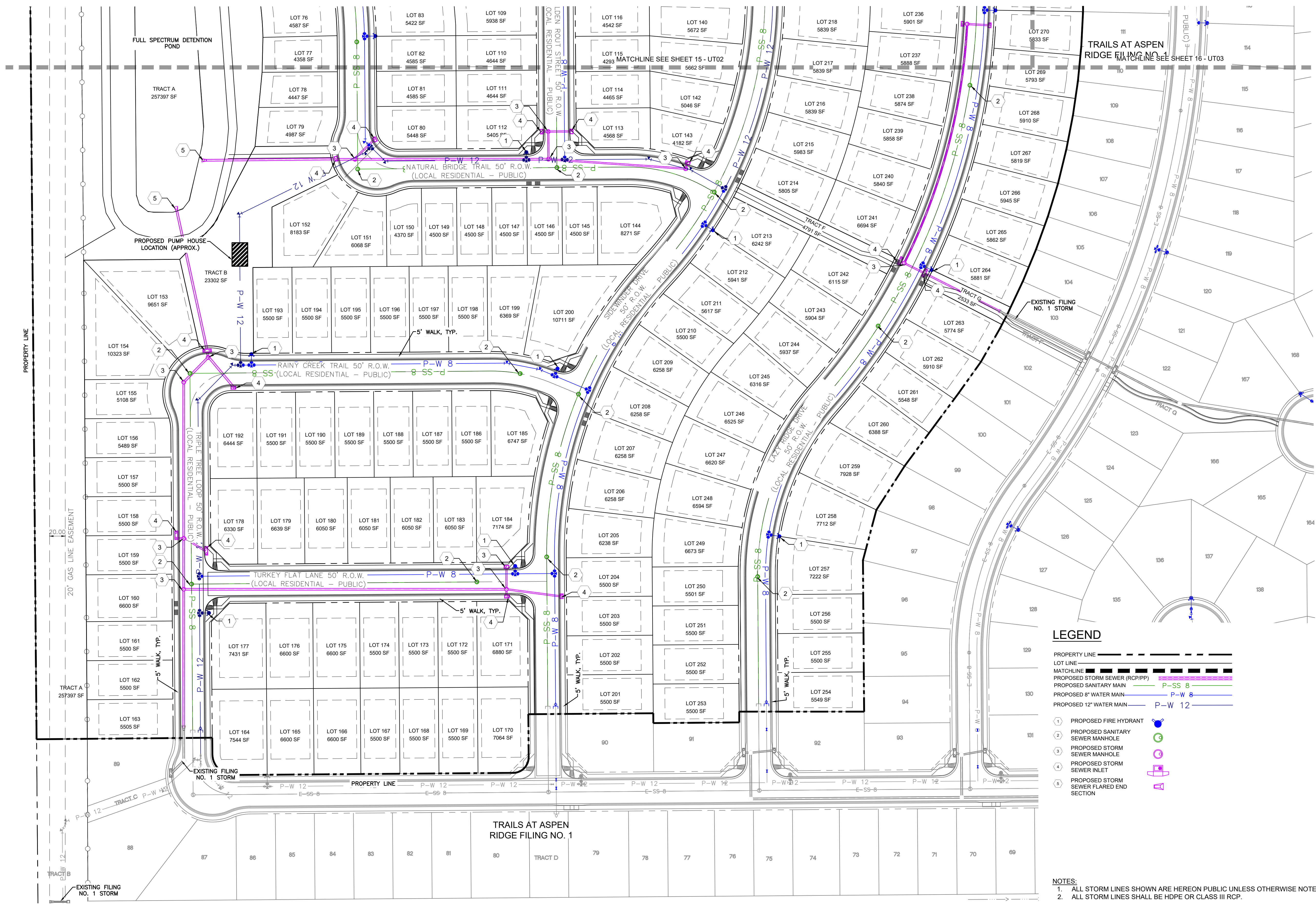
APPROVED BY: GS

SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT01

SHEET 19 OF 24



LEGEND

- PROPERTY LINE
LOT LINE
MATCHLINE
PROPOSED STORM SEWER (RCP/PP)
PROPOSED SANITARY MAIN
PROPOSED 8" WATER MAIN
PROPOSED 12" WATER MAIN
PROPOSED FIRE HYDRANT
PROPOSED SANITARY SEWER MANHOLE
PROPOSED STORM SEWER MANHOLE
PROPOSED STORM SEWER INLET
PROPOSED STORM SEWER FLARED END SECTION

NOTES:
1. ALL STORM LINES SHOWN ARE HEREON PUBLIC UNLESS OTHERWISE NOTED.
2. ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.



PCD FILE: PUDSP-191

EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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TRAILS AT ASPEN RIDGE
PUD/ SPEL PASO COUNTY
FEBRUARY 2019

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REV1 COMMENT RESPONSE: JUNE , 2019

PROJECT NO: 19.886.008

DRAWN BY: BS

BRUNNEN: 50

BRUNNEN: 50

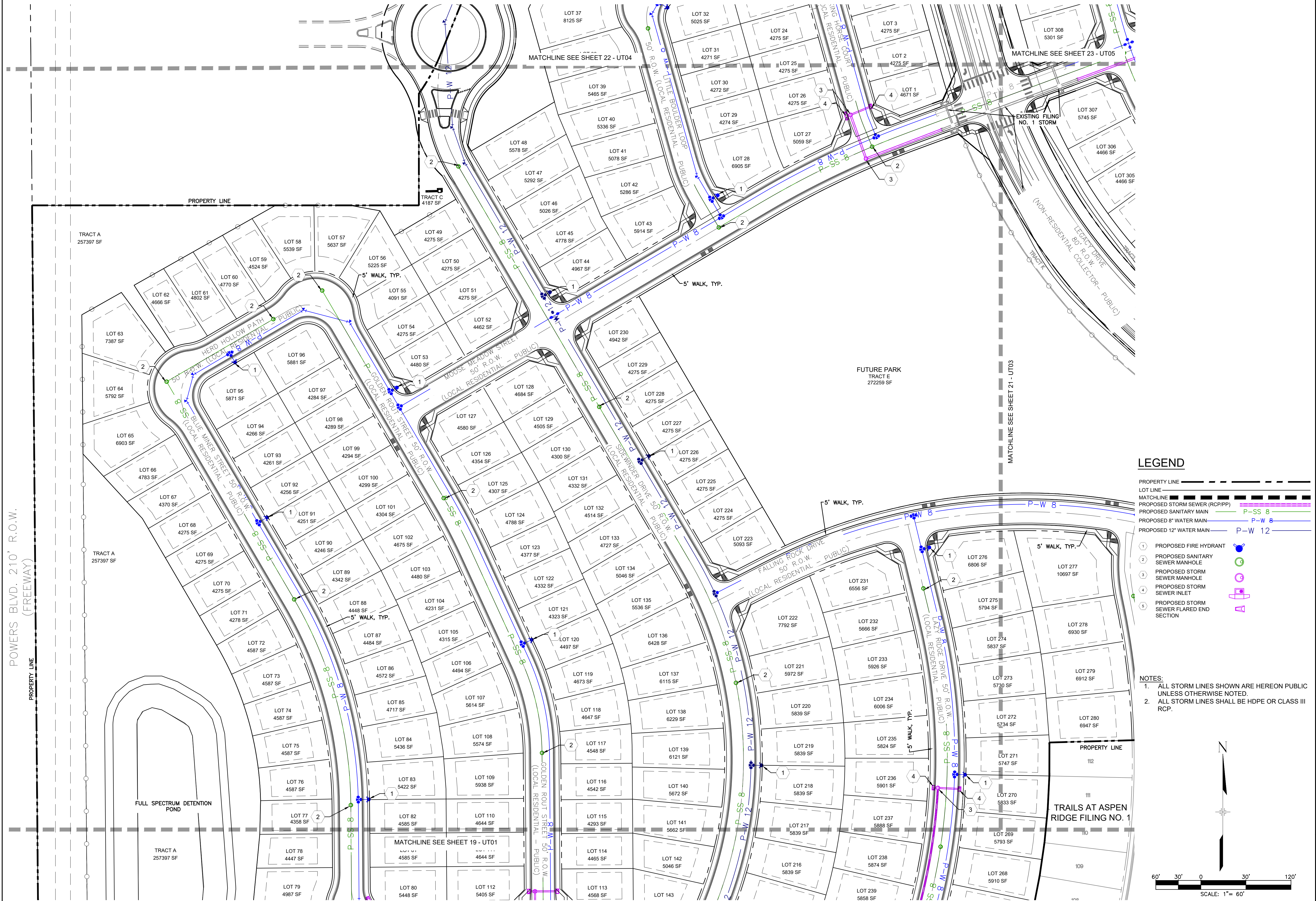
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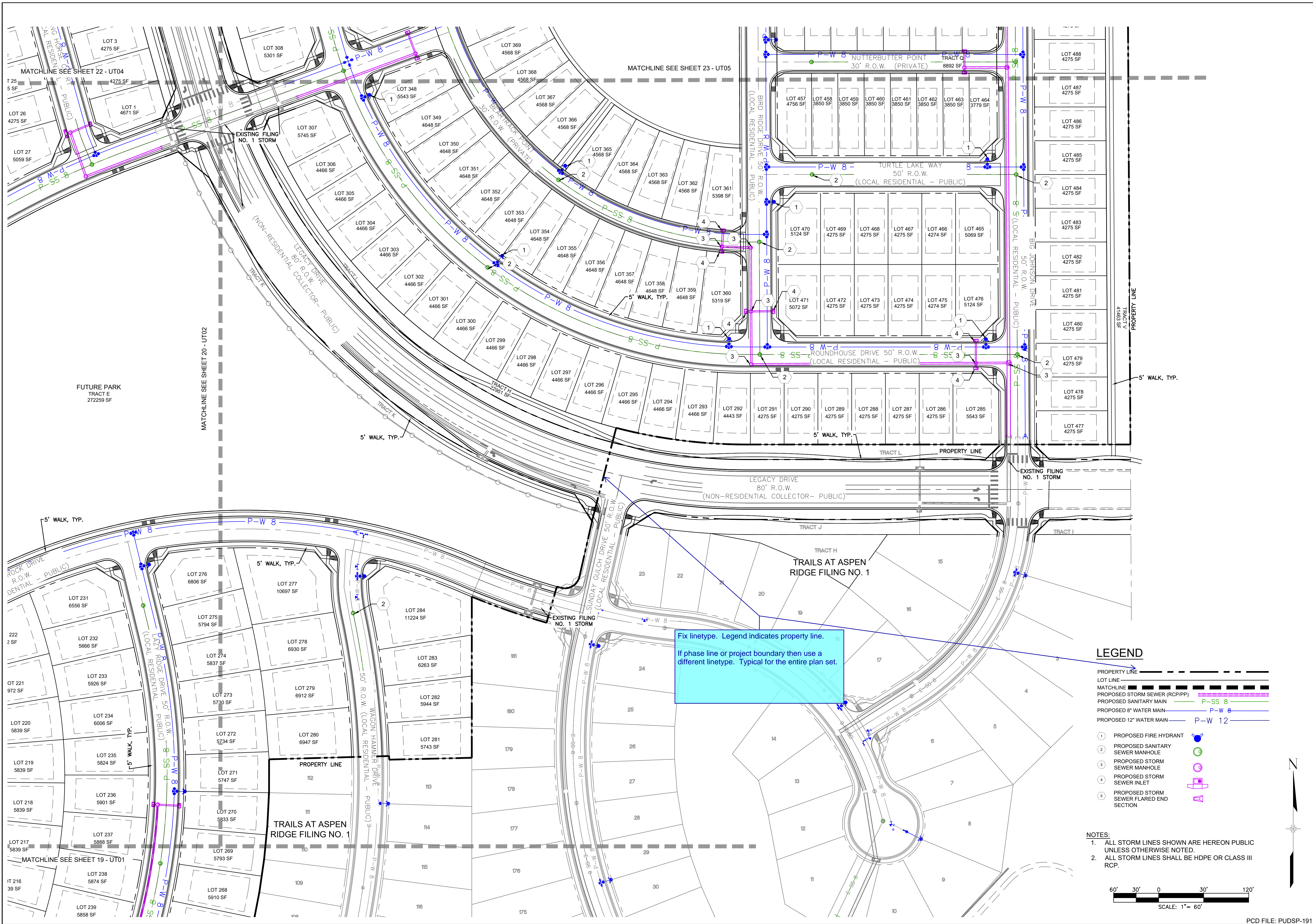
SHEET TITLE:

PRELIMINARY UTILITY PLAN

UT02

SHEET 20 OF 24





TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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ISSUE: FEBRUARY, 2019

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DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: BS

CHECKED BY: NS

APPROVED BY: GS

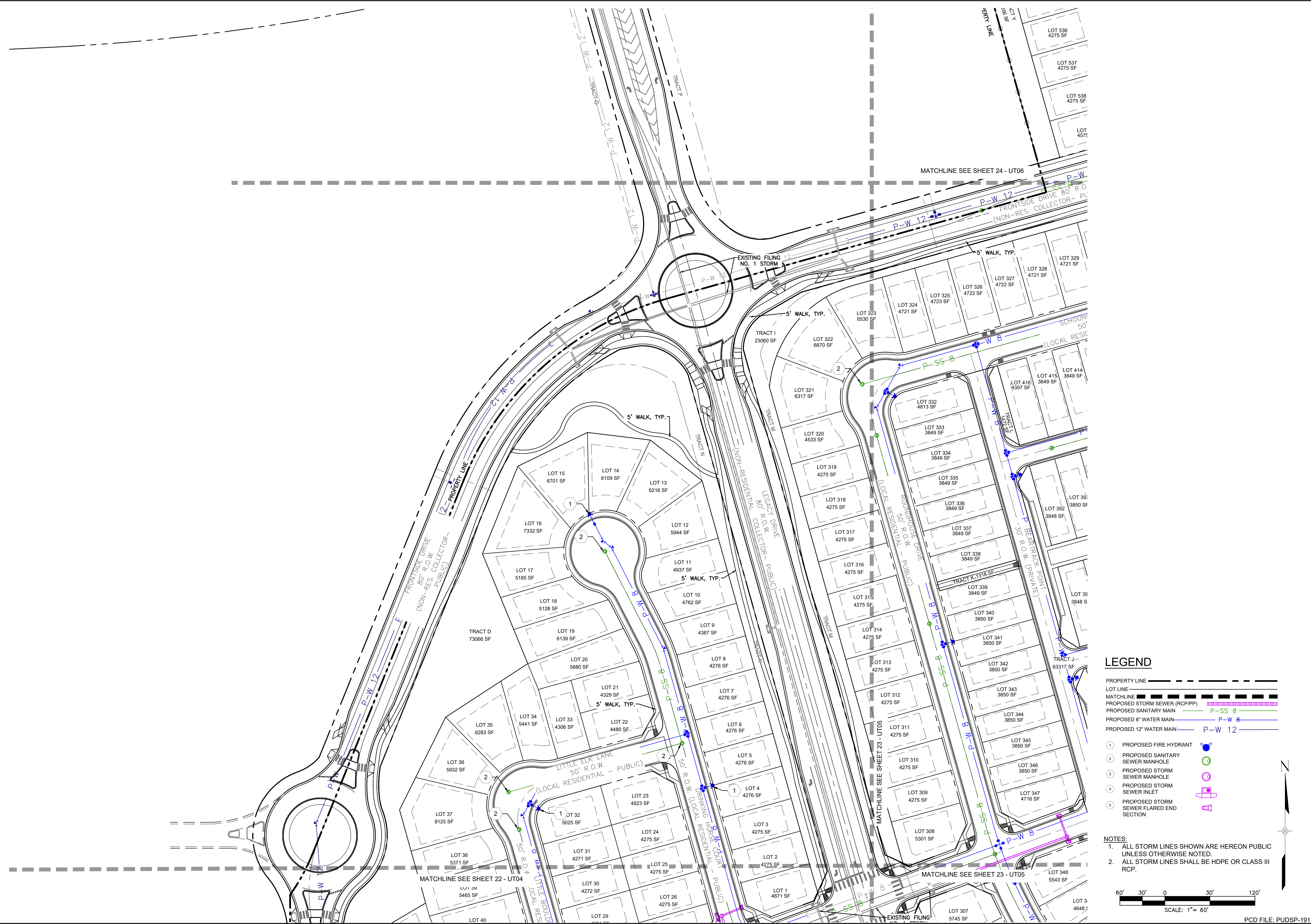
SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT03

SHEET 21 OF 24

PCD FILE: PUDSP-191



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix
DESIGN GROUP

2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
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PROJECT:
TRAILS AT ASPEN RIDGE
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DRAWING INFORMATION:	
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DRAWN BY:	BS
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SHEET TITLE:	

PRELIMINARY
UTILITY PLAN

UT04

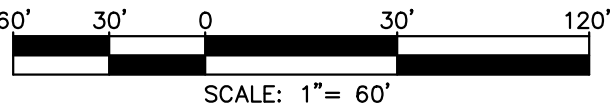
SHEET 22 OF 24

LEGEND

- PROPERTY LINE ————
LOT LINE ————
MATCHLINE ————
PROPOSED STORM SEWER (RCP/PP) ————
PROPOSED SANITARY MAIN ———— P-SS 8
PROPOSED 8" WATER MAIN ———— P-W 8
PROPOSED 12" WATER MAIN ———— P-W 12

- ① PROPOSED FIRE HYDRANT
② PROPOSED SANITARY SEWER MANHOLE
③ PROPOSED STORM SEWER MANHOLE
④ PROPOSED STORM SEWER INLET
⑤ PROPOSED STORM SEWER FLARED END SECTION

- NOTES:
1. ALL STORM LINES SHOWN ARE HEREON PUBLIC UNLESS OTHERWISE NOTED.
2. ALL STORM LINES SHALL BE HDPE OR CLASS III RCP.



PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
FEBRUARY 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

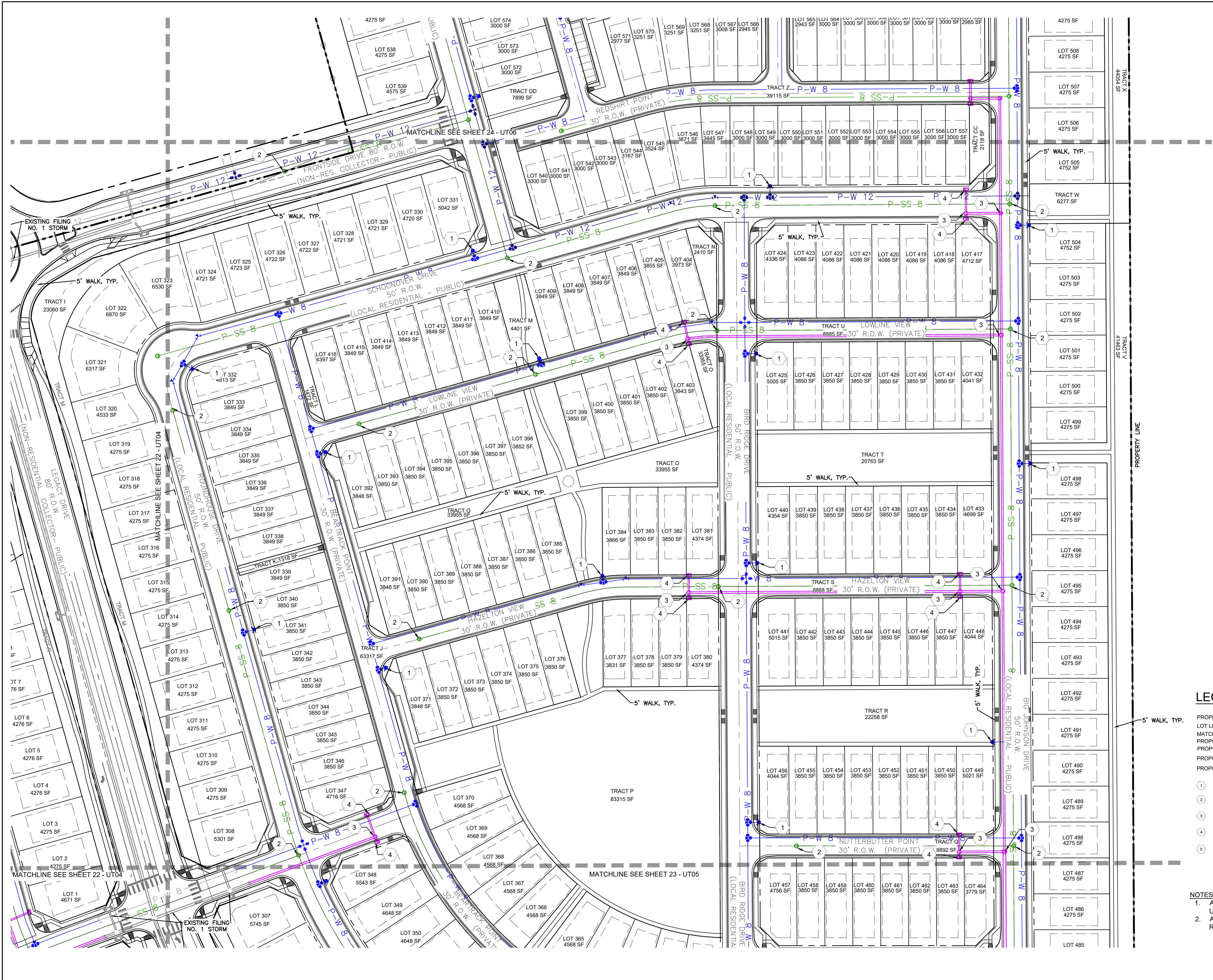
ISSUE: FEBRUARY, 2019
REV1 COMMENT RESPONSE: JUNE, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008
DRAWN BY: BS
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APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT05

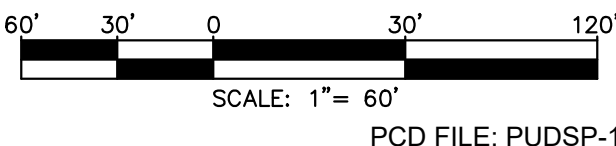


LEGEND

PROPERTY LINE ———
LOT LINE ———
MATCHLINE ———
PROPOSED STORM SEWER (RCP/PP) ———
PROPOSED SANITARY MAIN ———
PROPOSED 8" WATER MAIN ———
PROPOSED 12" WATER MAIN ———

- 1 PROPOSED FIRE HYDRANT
- 2 PROPOSED SANITARY SEWER MANHOLE
- 3 PROPOSED STORM SEWER MANHOLE
- 4 PROPOSED STORM SEWER INLET
- 5 PROPOSED STORM SEWER FLARED END SECTION

- NOTES:
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TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

CONSULTANT:
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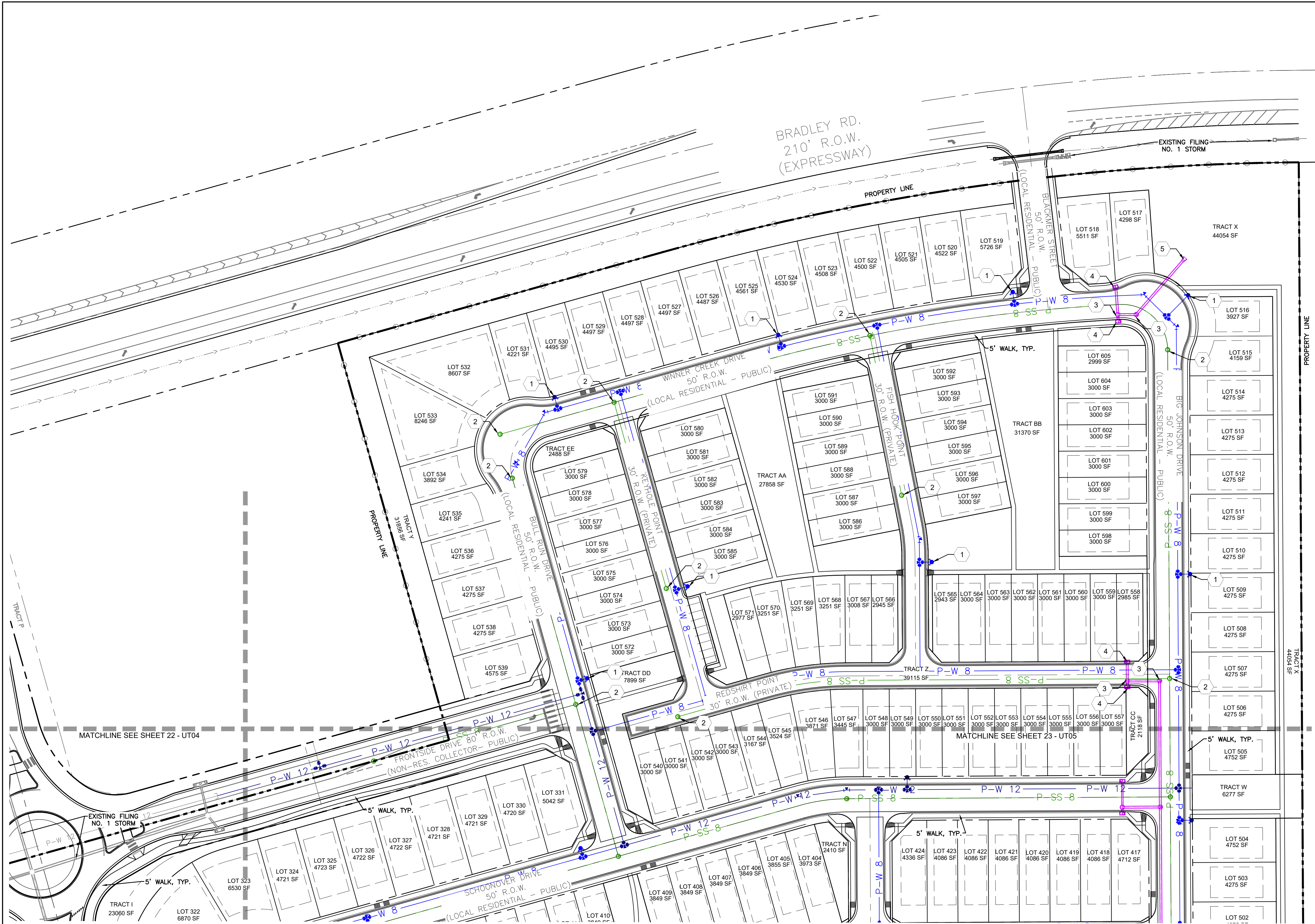
ISSUE: FEBRUARY, 2019
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DRAWING INFORMATION:
PROJECT NO: 19.886.008
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SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT06

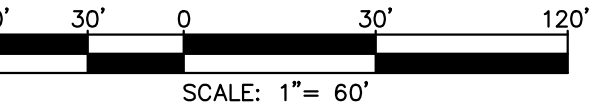
SHEET 24 OF 24



LEGEND

- PROPERTY LINE
LOT LINE
MATCHLINE
PROPOSED STORM SEWER (RCP/PP)
PROPOSED SANITARY MAIN
PROPOSED 8" WATER MAIN
PROPOSED 12" WATER MAIN
- 1 PROPOSED FIRE HYDRANT
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