

TRAILS AT ASPEN RIDGE

PLANNED UNIT DEVELOPMENT

A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO

Chuck Broerman
04/09/2020 01:38:37 PM
Doc \$0.00 24
Rec \$243.00 Pages 220049053

El Paso County, CO



LAND OWNER CERTIFICATION

IN WITNESS WHEREOF, THE AFOREMENTIONED COLA, LLC HAS EXECUTED THESE PRESENTS THIS 7 DAY OF January 2020 A.D., A COLORADO LIMITED LIABILITY COMPANY

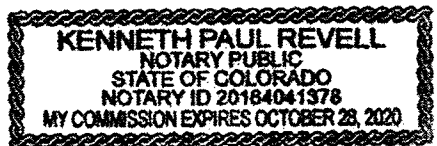
AUTHORIZED AGENCY MANAGER

STATE OF COLORADO)
EL PASO COUNTY)

THE ABOVE AND FOREGOING STATEMENT WAS ACKNOWLEDGED BEFORE ME THIS 7 DAY OF January 2020 A.D. BY

WITNESS MY HAND AND SEAL:

My Commission Expires: 28 Oct 2020



COUNTY CERTIFICATION

THIS REZONING REQUEST TO PUD HAS BEEN REVIEWED AND FOUND TO BE COMPLETE AND IN ACCORDANCE WITH BOARD RESOLUTION # AND DATE, APPROVING THE PUD AND ALL APPLICABLE EL PASO COUNTY REGULATIONS.

CHAIR, BOARD OF COUNTY COMMISSIONERS DATE

DIRECTOR, PLANNING AND COMMUNITY DEVELOPMENT DATE

CLERK AND RECORDER CERTIFICATION

STATE OF COLORADO)
EL PASO COUNTY)

I HEREBY CERTIFY THAT THIS PLAN WAS FILED IN MY OFFICE ON THIS OF 20 AT O'CLOCK A.M./P.M. AND WAS

RECORDED PER

RECEPTION NO.

EL PASO COUNTY CLERK AND RECORDER

LAND USE:

CURRENT ZONING: RS-5000 (SINGLE FAMILY RESIDENTIAL)

PROPOSED ZONING: PUD (PLANNED UNIT DEVELOPMENT)

CURRENT LAND USE: VACANT/ UNDEVELOPED

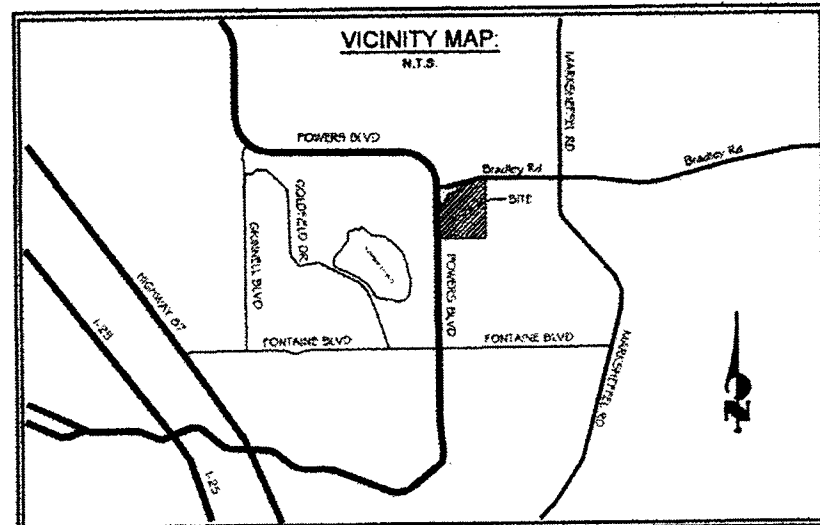
PROPOSED LAND USE: SINGLE-FAMILY RESIDENTIAL; PUBLIC & PRIVATE STREETS; LANDSCAPE SETBACKS; PARKS/ OPEN SPACE; TRAIL CORRIDORS; UTILITY EASEMENTS; DRAINAGE & DETENTION FACILITIES; SIGNAGE

SITE DATA TABLE:

TOTAL SITE ACREAGE	117.98 AC
PROPOSED SINGLE-FAMILY DWELLING UNITS	605 D.U.
PROPOSED GROSS DENSITY	5.13 D.U./AC

TYPE OF USE	# ACRES PROVIDED	% OF PROPERTY
SINGLE FAMILY RESIDENTIAL (605 LOTS)	65.64 AC	55.6%
OPEN SPACE/ LANDSCAPE	22.476 AC	19.1%
PUBLIC STREETS RIGHTS-OF-WAY	21.780 AC	18.4%
PRIVATE STREET RIGHTS-OF-WAY	3.104 AC	2.6%
LEGACY HILL DRIVE RIGHT-OF-WAY (PLATTED WITH FILING 1)	5.004 AC	4.2%
TOTAL	117.984 AC	100.0%

NOTE: TOTAL OPEN SPACE REQUIRED IS 10% OF TOTAL ACREAGE, (117.98 AC X .10 = 11.80 ACRES)
TOTAL OPEN SPACE PROVIDED IS 19.1% = 22.476 ACRES



SHEET INDEX:

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P20-24 PUD UTILITY PLANS

PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:

COLA, LLC

555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019

REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO.: 19.886.006

DRAWN BY: BS

CHECKED BY: JA

APPROVED BY: GS

SHEET TITLE:

PUD TITLE SHEET

TS01

SHEET 1 OF 24

GENERAL PROVISIONS:

STATEMENT OF INTENT: THE PURPOSE OF THIS PUD (PLANNED UNIT DEVELOPMENT) PLAN IS TO PROVIDE FOR SINGLE-FAMILY RESIDENTIAL UNITS FOR THE TRAILS AT ASPEN RIDGE DEVELOPMENT PROJECT.

AUTHORITY: THIS PUD IS AUTHORIZED BY CHAPTER 4 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, ADOPTED PURSUANT TO THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

APPLICABILITY: THE PROVISIONS OF THIS PUD SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THIS DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT DIRECTOR OR BOARD OF COUNTY COMMISSIONERS.

ADOPTION: THE ADOPTION OF THIS DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISIONS OF THE EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS THAT THIS DEVELOPMENT PLAN FOR TRAILS AT ASPEN RIDGE IS IN GENERAL CONFORMITY WITH THE EL PASO COUNTY MASTER PLAN, EL PASO COUNTY POLICY PLAN AND APPLICABLE SMALL AREA PLANS; IS AUTHORIZED UNDER THE PROVISION OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED, AND THIS DEVELOPMENT PLAN COMPLIES WITH THE COLORADO PLANNED UNIT DEVELOPMENT ACT OF 1972, AS AMENDED.

RELATIONSHIP TO COUNTY REGULATIONS: THE PROVISIONS OF THIS DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF TRAILS AT ASPEN RIDGE PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED AND IN EFFECT AT THE TIME OF THE PUD PLAN APPROVAL (OR OWNER ACKNOWLEDGE THE PUD CHANGES WITH THE CODE), OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF EL PASO COUNTY, SHALL BE APPLICABLE.

ENFORCEMENT: TO FURTHER THE MUTUAL INTEREST OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PUD AND OF THE PUBLIC IN THE PRESERVATION OF THE INTEGRITY OF THIS DEVELOPMENT PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND AND THE LOCATION OF COMMON OPEN SPACES, RUN IN FAVOR OF EL PASO COUNTY AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE COUNTY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

CONFLICT: WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN.

GENERAL NOTES

- ALL WATER SYSTEM ELEMENTS AND SANITARY SEWERAGE CONVEYANCE CONDUITS AND THEIR ASSOCIATED APPURTENANCES SHALL BE DEDICATED TO THE WIDEFIELD WATER & SANITATION DISTRICT. ALL OTHER UTILITIES SHALL BE OWNED AS APPROPRIATED.
- ALL ELECTRIC SERVICE SHALL BE PROVIDED BY MOUNTAIN VIEW ELECTRIC ASSOCIATION. ALL TRACTS THROUGH WHICH MVEA UTILITIES WILL BE LOCATED WILL BE GIVEN UTILITY EASEMENTS AS REQUIRED.
- NATURAL GAS SHALL BE PROVIDED BY CITY OF COLORADO SPRINGS.
- PUBLIC UTILITY/ DRAINAGE EASEMENTS SHALL BE PROVIDED AROUND THE PERIMETER OF ALL LOTS AS FOLLOWS:
 - FRONT: TEN FEET (10')
 - SIDE: FIVE FEET (5')
 - REAR: TEN (10')
 - E) ALL TRACTS, LANDSCAPE AND DETENTION FACILITIES WILL BE DESIGNATED FOR PUBLIC UTILITIES AS REQUIRED.
- STREET LIGHTS WILL BE RESTRICTED TO MOUNTAIN VIEW ELECTRIC ASSOCIATIONS DETAILS AND SPECIFICATIONS.
- SITE LIGHTING WILL MEET THE REQUIREMENTS SET FORTH IN SECTION 6.2.3 OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED. THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR THE TRAILS AT ASPEN RIDGE DESIGN GUIDELINES.
- NEW SIDEWALKS WITHIN THE PUBLIC RIGHT OF WAY ARE TO BE 5' THICK AND SUBJECT TO THE DEVELOPER COLLATERALIZING AND INSTALLING SAID SIDEWALKS AT TIME OF DEVELOPMENT. THE FUTURE LOT OWNER OR BUILDER IS RESPONSIBLE FOR REPAIR OF ANY DAMAGES AFTER THE INITIAL INSTALLATION.
- ALL PRIVATELY OWNED OR PRIVATE ACCESS SIDEWALKS WITHIN THE REAR LOADED PRODUCT FINAL PLAT FILINGS WILL BE INSTALLED TO FOLLOW UNIT CONSTRUCTION.
- THE MAILBOX KIOSK WILL BE DETERMINED WITH EACH FINAL PLAT AND IN COORDINATION WITH THE U.S. POSTAL SERVICE.
- THE MAILBOX KIOSK WILL BE MAINTAINED IN ACCORDANCE WITH A PERMANENT BMP AGREEMENT AND EASEMENT AND O&M MANUAL TO BE RECORDED AT THE TIME OF FINAL PLAT.
- THIS SERVICES AS NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACTS ON THIS PROPERTY DUE TO ITS CLOSE PROXIMITY TO AN AIRPORT, WHICH IS BEING DISCLOSED TO ALL PROSPECTIVE PURCHASERS CONSIDERING THE USE OF THIS PROPERTY FOR RESIDENTIAL AND OTHER PURPOSES. THIS PROPERTY IS SUBJECT TO THE OVERFLIGHT AND ASSOCIATED NOISE OF ARRIVING AND DEPARTING AIRCRAFT DURING THE COURSE OF NORMAL AIRPORT OPERATIONS. ALL PROPERTY WITHIN THIS SUBDIVISION IS SUBJECT TO A NOTICE OF POTENTIAL AIRCRAFT OVERFLIGHT AND NOISE IMPACT RECORDED AT RECEPTION NO. 213026737 OF THE RECORDS OF THE EL PASO COUNTY CLERK AND RECORDER.
- THE SUBDIVIDER/DEVELOPER HAS FAMILIARIZED ITSELF WITH CURRENT AMERICANS WITH DISABILITIES ACT (ADA) LAWS AND ACCESSIBILITY STANDARDS AND HAS LAID OUT THE PLAT AND ASSOCIATED GRADING AND CONSTRUCTION PLANS SO THAT ALL SITE ELEMENTS MEET THE APPLICABLE ADA DESIGN STANDARDS AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAT AND ASSOCIATED CONSTRUCTION DOCUMENTS BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS. IT IS THE RESPONSIBILITY OF THE DEVELOPER/HOME BUILDER TO ENSURE ADA ACCESSIBILITY DURING CONSTRUCTION OF THE PRIVATE SIDEWALKS.

LANDSCAPE

- URBAN PARK IMPROVEMENTS PROVIDED BY THE DEVELOPER MAY BE APPLIED TO PARK LAND DEDICATION AND/ OR FEES WITH REVIEW AND APPROVAL BY EL PASO COUNTY PARKS. ANY URBAN PARK IMPROVEMENTS WILL BE COORDINATED AT A LATER DATE WITH EL PASO COUNTY.
- ANY FUTURE PARK SITE LOCATIONS, AMENITIES AND TIMING OF INSTALLATION ARE TO BE DETERMINED WITH FUTURE FILINGS BASED ON SEQUENCING OF CONSTRUCTION.
- LANDSCAPING AREAS, TRAILS, PARKS, AMENITIES, COMMON OPEN SPACE, COMMON FENCES AND WALLS, AND COMMON PLANT MATERIAL SHALL BE OWNED AND MAINTAINED BY THE WATERVIEW II METROPOLITAN DISTRICT.
- ANY LANDSCAPING WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE SUBJECT TO A LICENSE AGREEMENT WITH EL PASO COUNTY FOR OWNERSHIP AND MAINTENANCE RESPONSIBILITIES. LICENSE AGREEMENT RESOLUTION.
- NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL REFERENCE 2.3.6.G. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.
- FINAL ALIGNMENT OF TRAILS TO BE DETERMINED IN THE FIELD BASED ON GRADE, VEGETATION, AND OTHER EXISTING SITE FEATURES.

GEOLOGICAL HAZARDS:

- A "SOILS, GEOLOGY AND GEOLOGIC HAZARD REPORT" FOR SPRINGS AT WATERVIEW EAST EL PASO COUNTY, WAS COMPLETED BY ENTECH ENGINEERING ON FEBRUARY 21, 2018 AND INCLUDED THE AREA OF DEVELOPMENT PROPOSED WITH THE TRAILS AT ASPEN RIDGE PROJECT. THE GEOLOGY AND SOILS REPORT FOR SPRINGS AT WATERVIEW EAST WAS APPROVED AS PART OF THE SPRINGS EAST AT WATERVIEW PRELIMINARY PLAN APPROVED BY THE EL PASO BOARD OF COUNTY COMMISSIONERS ON FEBRUARY 12, 2019. PLANNING AND COMMUNITY DEVELOPMENT FILE NUMBER SP-17-010. DEVELOPERS AND HOME OWNERS SHOULD BECOME FAMILIAR WITH THIS REPORT AND ITS CONTENTS.
- THERE ARE NO SIGNIFICANT GEOLOGICAL HAZARDS; HOWEVER, THE POTENTIAL FOR GEOLOGIC HAZARDS OR CONSTRAINTS DO EXIST RELATED TO THE POTENTIAL FOR SHALLOW BEDROCK, COLLAPSIBLE SOILS AND/ OR EXPANSIVE SOILS. THESE GEOLOGICAL CONDITIONS ARE CONSIDERED RELATIVELY COMMON TO THE AREA WITH MITIGATION ACCOMPLISHED BY IMPLEMENTING COMMON ENGINEERING AND CONSTRUCTION PRACTICES.
- AREAS OF POTENTIALLY SEASONAL GROUNDWATER WERE OBSERVED IN EASTERN AREAS OF THE SITE. THESE AREAS WILL LIKELY BE MITIGATED WITH SITE GRADING AND PROPER STORMWATER PLANNING. IN AREAS WHERE HIGH SUBSURFACE MOISTURE CONDITIONS ARE ANTICIPATED PERIODICALLY, A SUBSURFACE PERIMETER DRAIN WILL BE NECESSARY TO HELP PREVENT THE INTRUSION OF WATER INTO AREAS LOCATED BELOW GRADE. ADDITIONAL SUBSURFACE SOIL INVESTIGATION IS RECOMMENDED PRIOR TO CONSTRUCTION.

FLOODPLAIN NOTES:

THIS PROPERTY IS NOT LOCATED WITHIN A DESIGNATED FEMA FLOODPLAIN AS DETERMINED BY THE FLOOD INSURANCE RATE MAP, COMMUNITY MAP NUMBER 08041C0789G, EFFECTIVE DATE: DECEMBER 7, 2019.

ARCHITECTURAL CONTROL COMMITTEE REVIEW

INDIVIDUAL UNIT BUILD OUT, DESIGN, AND ARCHITECTURAL STYLE SHALL BE IN ACCORDANCE TO ARCHITECTURAL CONTROL COMMITTEE RULES AND REGULATIONS OF THE WATERVIEW II METROPOLITAN DISTRICT, AS WELL AS THE TRAILS AT ASPEN RIDGE CCRS, THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS FOR TRAILS AT ASPEN RIDGE, AND THE TRAILS AT ASPEN RIDGE DESIGN GUIDELINES.

LEGAL DESCRIPTION:

A TRACT OF LAND LOCATED IN A PORTION OF THE WEST 1/2 OF SECTION 9, TOWNSHIP 15 SOUTH, RANGE 65 WEST OF THE 6TH P.M., EL PASO COUNTY, COLORADO, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTH 1/4 CORNER OF SAID SECTION 9, THENCE N00°19'32"W ON THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 9, A DISTANCE OF 1,600.02 FEET TO THE POINT OF BEGINNING OF THIS DESCRIPTION;

- THENCE N80°00'00"W A DISTANCE OF 511.94 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 590.00 FEET, A DELTA ANGLE OF 14°33'21", AN ARC LENGTH OF 175.29 FEET, WHOSE LONG CHORD BEARS N82°42'02"W A DISTANCE OF 174.82 FEET;
- THENCE S14°33'21"W A DISTANCE OF 123.85 FEET;
- THENCE S12°47'44"W A DISTANCE OF 80.40 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 82°52'44", AN ARC LENGTH OF 32.42 FEET, WHOSE LONG CHORD BEARS S59°14'18"W A DISTANCE OF 28.99 FEET TO A POINT OF COMPOUND CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 915.00 FEET, A DELTA ANGLE OF 00°20'22", AN ARC LENGTH OF 5.46 FEET, WHOSE LONG CHORD BEARS N74°09'06"W A DISTANCE OF 5.46 FEET;
- THENCE S15°15'58"W A DISTANCE OF 50.00 FEET TO A NON-TANGENT CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 965.00 FEET, A DELTA ANGLE OF 06°15'56", AN ARC LENGTH OF 105.53 FEET, WHOSE LONG CHORD BEARS N70°51'04"W A DISTANCE OF 105.47 FEET;
- THENCE S00°00'00"W A DISTANCE OF 214.74 FEET;
- THENCE S88°42'27"W A DISTANCE OF 110.10 FEET;
- THENCE N01°25'17"W A DISTANCE OF 4.78 FEET;
- THENCE S88°27'00"W A DISTANCE OF 180.00 FEET;
- THENCE S00°00'37"W A DISTANCE OF 44.57 FEET;
- THENCE S02°52'08"W A DISTANCE OF 44.56 FEET;
- THENCE S05°32'45"W A DISTANCE OF 44.55 FEET;
- THENCE S08°16'18"W A DISTANCE OF 44.55 FEET;
- THENCE S10°56'49"W A DISTANCE OF 44.56 FEET;
- THENCE S13°41'29"W A DISTANCE OF 44.57 FEET;
- THENCE S17°04'30"W A DISTANCE OF 44.59 FEET;
- THENCE S18°47'14"W A DISTANCE OF 44.56 FEET;
- THENCE S22°29'47"W A DISTANCE OF 44.55 FEET;
- THENCE S25°12'20"W A DISTANCE OF 44.55 FEET;
- THENCE S27°14'20"W A DISTANCE OF 22.28 FEET;
- THENCE S28°42'04"W A DISTANCE OF 49.02 FEET;
- THENCE S35°26'44"W A DISTANCE OF 49.01 FEET;
- THENCE S36°30'56"W A DISTANCE OF 118.64 FEET;
- THENCE S32°43'04"W A DISTANCE OF 66.96 FEET;
- THENCE S14°55'16"W A DISTANCE OF 66.77 FEET;
- THENCE S00°28'25"E A DISTANCE OF 183.88 FEET;
- THENCE S90°00'00"W A DISTANCE OF 159.90 FEET;
- THENCE S00°00'00"E A DISTANCE OF 13.82 FEET;
- THENCE S88°33'35"W A DISTANCE OF 110.00 FEET;
- THENCE S00°00'00"W A DISTANCE OF 12.59 FEET;
- THENCE S88°33'35"W A DISTANCE OF 190.00 FEET;
- THENCE S00°28'25"E A DISTANCE OF 55.00 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 20.00 FEET, A DELTA ANGLE OF 90°00'00", AN ARC LENGTH OF 31.42 FEET, WHOSE LONG CHORD BEARS S44°33'35"W A DISTANCE OF 28.28 FEET;
- THENCE S88°33'35"W A DISTANCE OF 358.00 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 27.00 FEET, A DELTA ANGLE OF 86°57'15", AN ARC LENGTH OF 42.39 FEET, WHOSE LONG CHORD BEARS N45°27'48"W A DISTANCE OF 36.17 FEET;
- THENCE N00°28'10"W A DISTANCE OF 224.98 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF HIGHWAY 21, AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;
- THENCE N00°28'10"W ON SAID RIGHT-OF-WAY LINE, A DISTANCE OF 1,681.70 FEET;
- THENCE S90°00'00"E A DISTANCE OF 515.00 FEET;
- THENCE N00°00'00"E A DISTANCE OF 148.75 FEET TO A NON-TANGENT CURVE TO THE LEFT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 260.00 FEET, A DELTA ANGLE OF 13°32'37", AN ARC LENGTH OF 61.46 FEET, WHOSE LONG CHORD BEARS N20°47'32"E A DISTANCE OF 61.32 FEET;
- THENCE N22°01'36"E A DISTANCE OF 538.12 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 410.00 FEET, A DELTA ANGLE OF 52°19'12", AN ARC LENGTH OF 374.39 FEET, WHOSE LONG CHORD BEARS N48°11'12"E A DISTANCE OF 361.52 FEET;
- THENCE N74°20'48"E A DISTANCE OF 525.87 FEET;
- THENCE N15°39'12"W A DISTANCE OF 470.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF BRADLEY ROAD AS RECORDED IN BOOK 5307 AT PAGE 1472 OF THE RECORDS OF SAID EL PASO COUNTY;

THE FOLLOWING THREE (3) COURSES FOLLOW SAID SOUTHERLY RIGHT-OF-WAY LINE:

- THENCE N74°20'48"E A DISTANCE OF 385.15 FEET TO A POINT OF CURVE TO THE RIGHT;
- THENCE ON THE ARC OF SAID CURVE, HAVING A RADIUS OF 2,759.79 FEET, A DELTA ANGLE OF 15°09'41", AN ARC LENGTH OF 730.29 FEET, WHOSE LONG CHORD BEARS N81°55'39"E A DISTANCE OF 728.19 FEET;
- THENCE N89°30'29"E A DISTANCE OF 3.77 FEET TO A POINT ON THE NORTH-SOUTH 1/4 LINE OF SAID SECTION 9;

- THENCE S00°19'32"E A DISTANCE OF 2,038.35 FEET TO THE POINT OF BEGINNING.
- THE ABOVE TRACT OF LAND CONTAINS 5,139,369 SQUARE FEET OR 117.984 ACRES, MORE OR LESS.

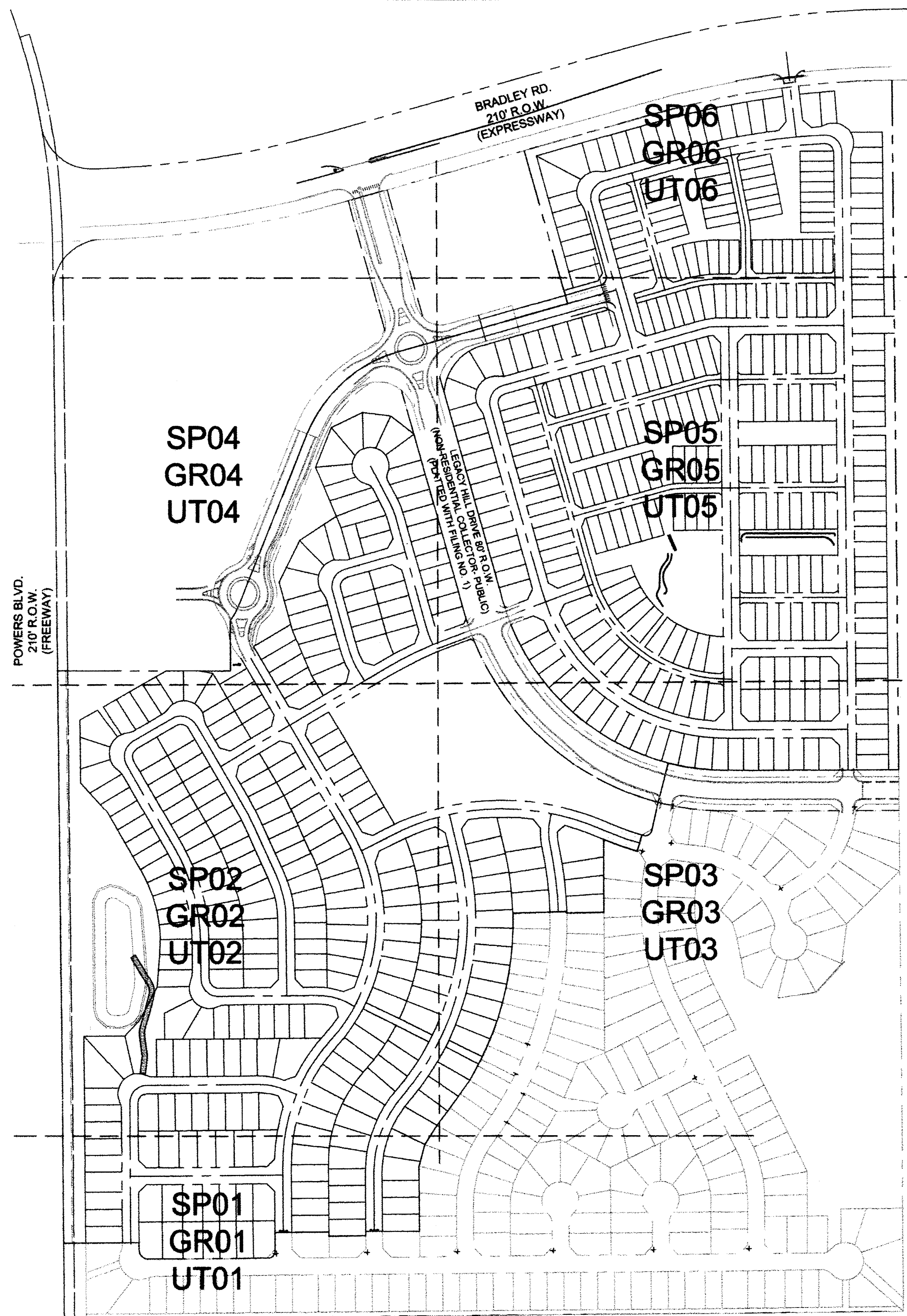
PUD MODIFICATION TABLE

(AS PERMITTED BY LDC SECTION 4.2.6.(F)(2)(g))

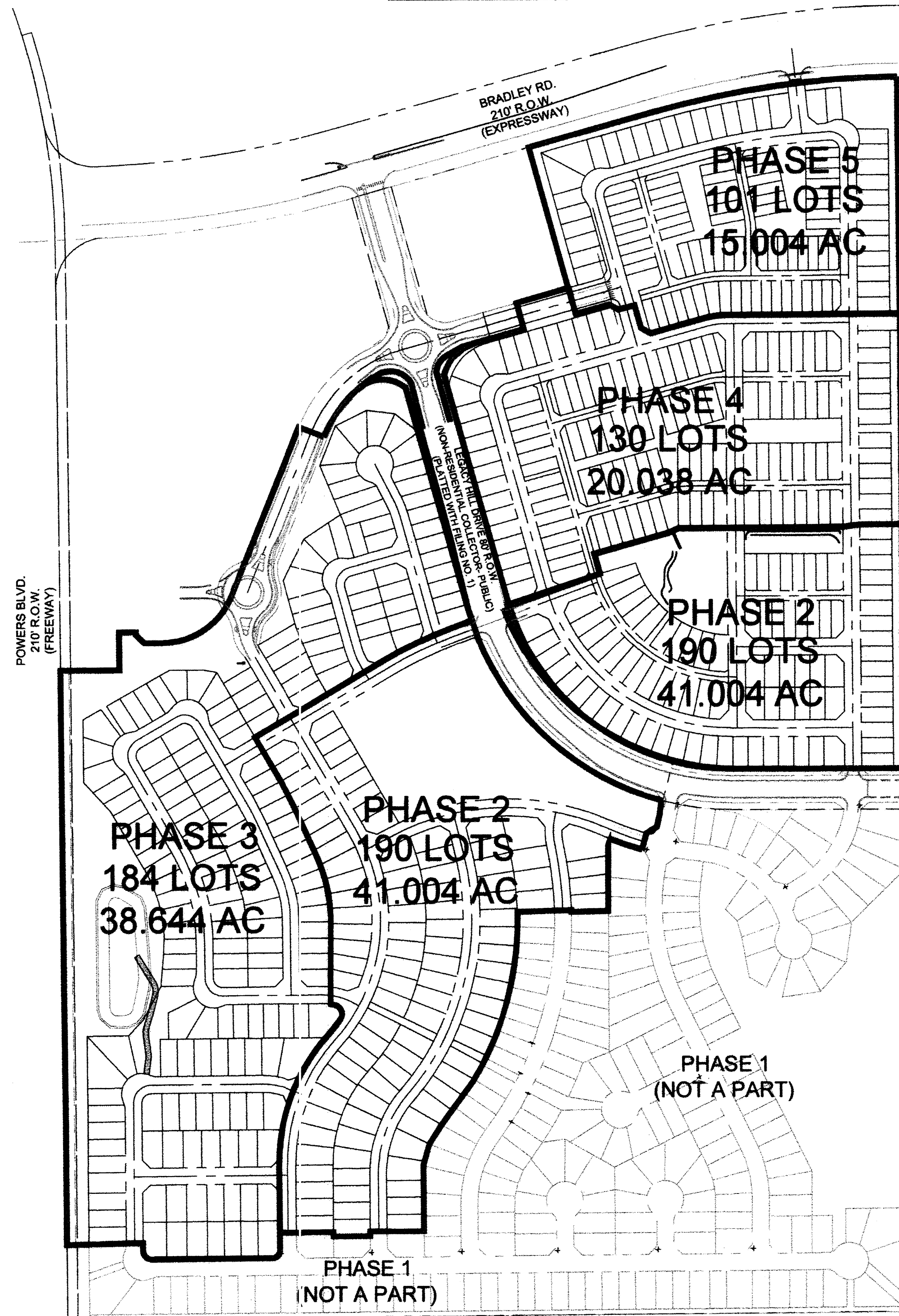
*SEE LETTER OF INTENT FOR ADDITIONAL JUSTIFICATION OF PROPOSED MODIFICATIONS TO ECM STANDARDS

LDC/ ECM SECTION	CATEGORY	STANDARD	MODIFICATION	JUSTIFICATION
LDC SECTION 8.4.4 (A, B, C, D)	PRIVATE STREETS	ALL STREETS TO BE PUBLICLY OWNED & MAINTAINED	TO PERMIT THE USE OF PRIVATE STREETS	TO PERMIT THE USE OF PRIVATE STREETS AS ACCESS DRIVES FOR THE REAR LOADED LOT STYLE
LDC SECTION 8.4.3 (B2) & ECM SECTION 2.5.2 (C4)	MID-BLOCK CROSSINGS	ACCESS RAMPS ON LOCAL ROADWAYS SHALL BE SPACED NO GREATER THAN 600' APART	PROVIDE ACCESS RAMPS SPACED FURTHER THAN 600' APART ALONG BLUE MINER ST., LAZY RIDGE DR. & WAGON HAMMER DR.	PEDESTRIAN ACCESSIBILITY AND SIDEWALK CONNECTIONS ARE PROVIDED BY ACCESS RAMPS ALONG MID-BLOCK CROSSINGS WHERE INTERSECTING WITH INTERNAL TRAIL SYSTEMS.
ECM SECTION FIGURE 2-14 TYP. URBAN NON-RES COLLECTOR CROSS SECTION	SIDEWALK LOCATION & SPACING FROM BACK OF CURB	REQ. 8' PLANTING PARKWAY BETWEEN SIDEWALK AND BACK OF CURB ALONG LEGACY DR.	PERMIT A CURVILINEAR SIDEWALK ALONG LEGACY DRIVE W/ VARYING WIDTH OF PARKWAY BETWEEN SIDEWALK AND BACK OF CURB.	CURVILINEAR SIDEWALK CREATES A MORE INTERESTING STREETScape AND ALLOWS A VARIED LANDSCAPE DESIGN ALONG THIS MAIN COLLECTOR ROADWAY
ECM SECTION 2.2.5 (E)	URBAN LOCAL ROADWAY ACCESS SPACING	URBAN LOCAL ROADWAYS SHALL NOT INTERSECT CLOSER THAN 175' AND SHALL NOT INTERSECT A COLLECTOR CLOSER THAN 200'	TO ALLOW LOCAL RES. STREETS TO INTERSECT AT VARYING LENGTHS LESS THAN 175'.	THE PROPOSED LOTS ARE IN RESPONSE TO A SHIFT IN RESIDENTIAL DEMAND FOR SMALLER LOTS WHICH CREATES SITUATIONS WHERE INTERSECTION SPACING CANNOT BE MET. ALL OTHER SAFETY CRITERIA HAS BEEN MET SUCH AS SIGHT VISIBILITY TRIANGLES.

KEY MAP



PHASING MAP



- PHASING PLAN AND SCHEDULE OF DEVELOPMENT:**
1. THE TRAILS AT ASPEN RIDGE IS ILLUSTRATING FOUR PHASES BASED UPON COLLECTOR ROADWAYS AND PRODUCT TYPES.
 2. THE PHASING IS BASED UPON ANTICIPATED CONSTRUCTION, SEQUENCING OF ROADS AND UTILITIES; HOWEVER, TRAILS AT ASPEN RIDGE MAY BE DEVELOPED INDEPENDENT OF THE PHASING AS OUTLINED PENDING MARKET DEMAND AND ACTUAL CONSTRUCTION SCHEDULES.
 3. THE FIRST PHASE OF CONSTRUCTION IS PROJECTED TO BEGIN IN FALL/ WINTER 2019.

220049053
4-9-2020

PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY SITE PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019

REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.888.008

DRAWN BY: BS

CHECKED BY: JA

APPROVED BY: GS

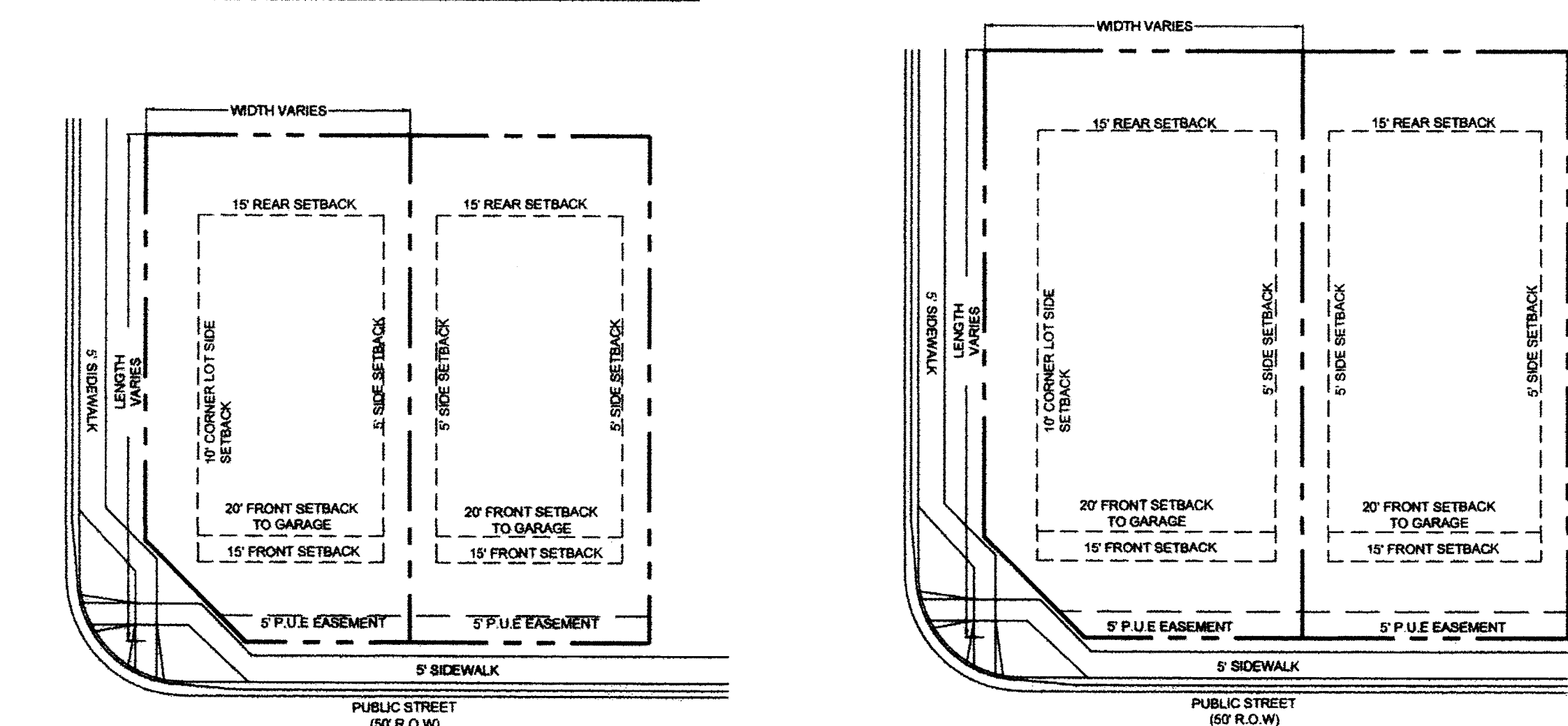
SHEET TITLE:

PUD PHASE AND KEY MAPS

P2

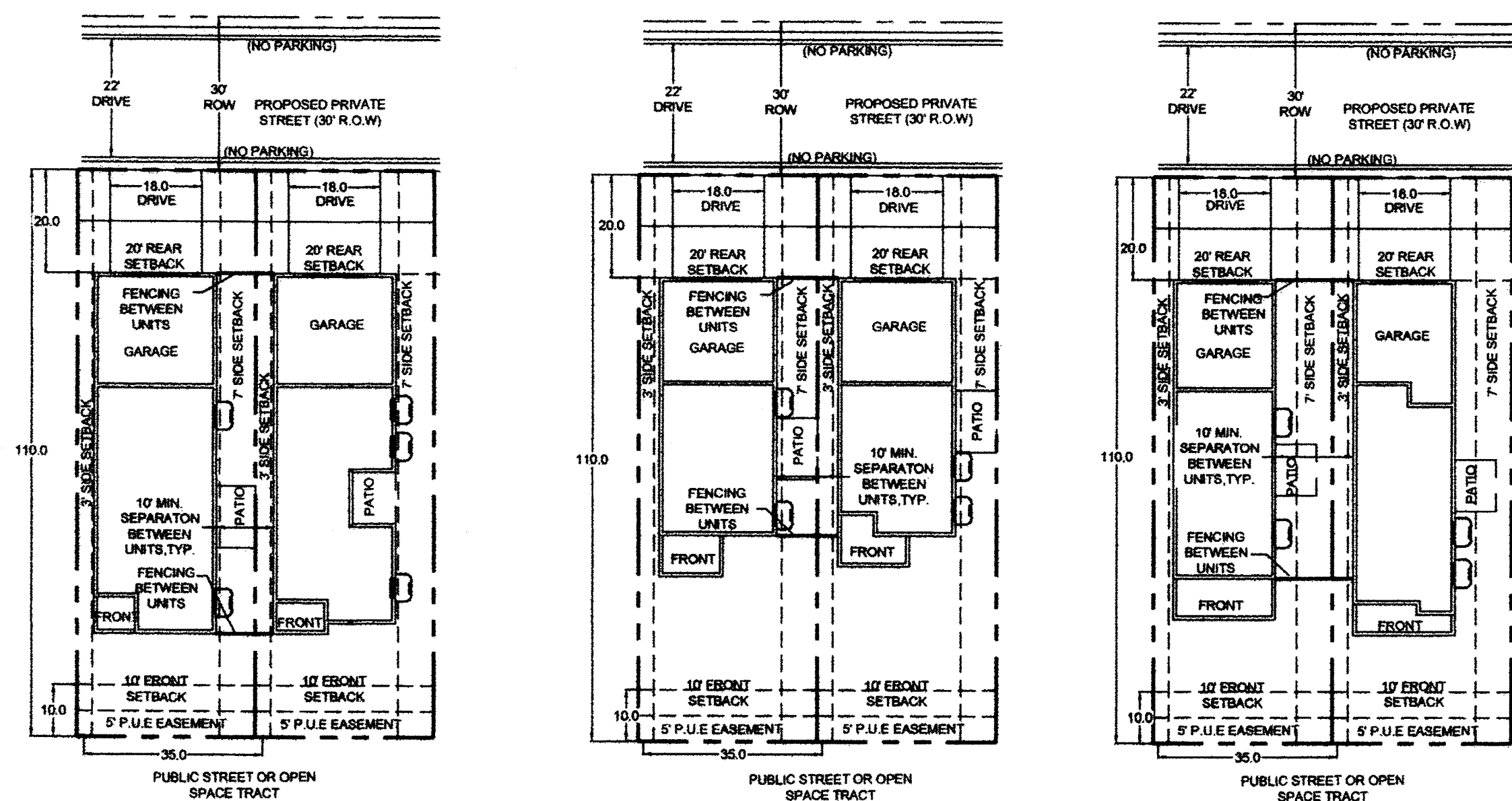
SHEET 2 OF 24

TYPICAL LOT SETBACK DIAGRAMS

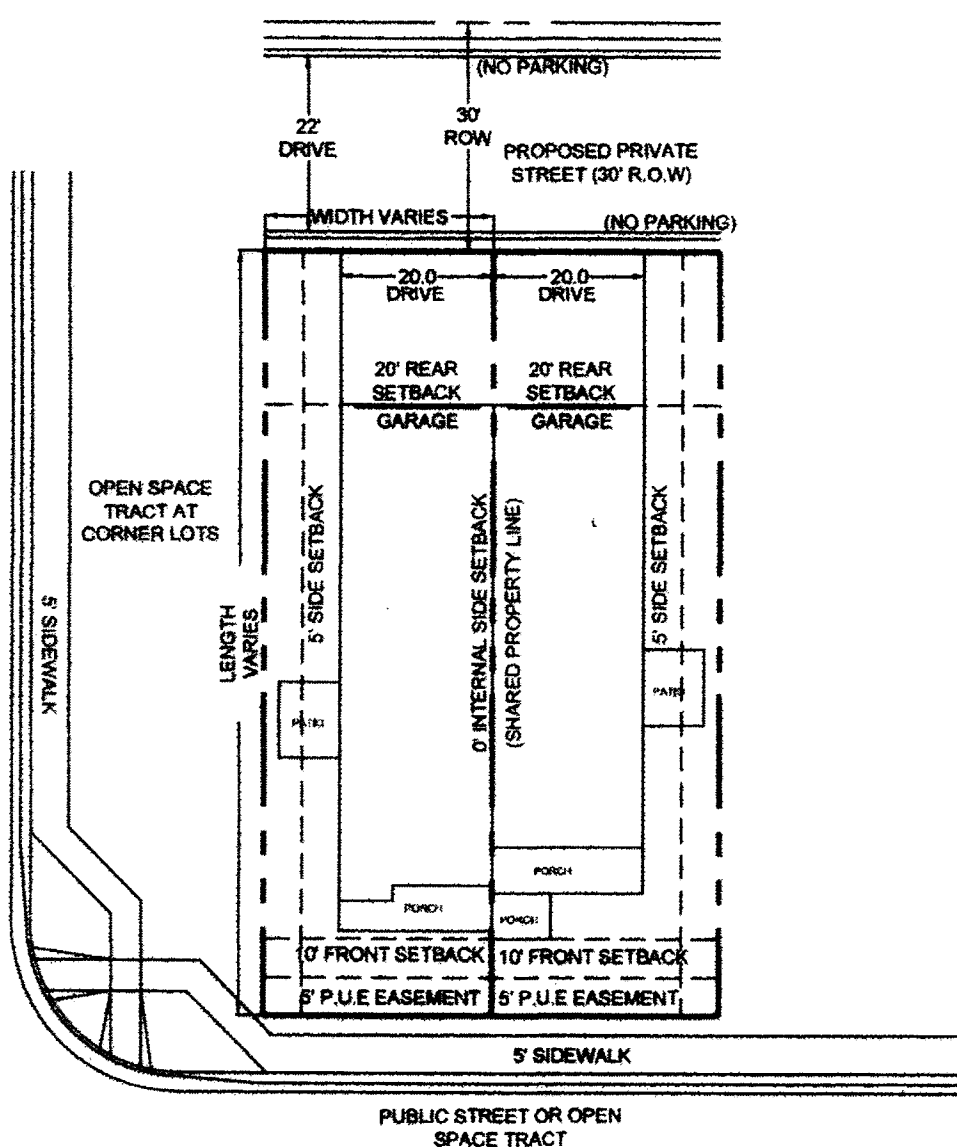


LOTS 1 -152, 222 - 230, 285 - 331, 470 - 539

LOTS 153 - 221, 231-284



LOTS 332 - 464



LOTS 540 - 605

LOT TYPICAL NOTES FOR ALL LOTS:

1. LOCATION OF PRIVATE 5' WIDE SIDEWALKS TO FRONT ENTRY TO BE DETERMINED BY INDIVIDUAL HOUSE INGRESS/ EGRESS CONFIGURATION.
2. OWNER/ BUILDER TO ENSURE DRIVEWAYS DO NOT CONFLICT WITH PEDESTRIAN RAMP TRANSITIONS.
3. 5' WOOD FENCING PERMITTED BETWEEN UNITS AT THE FRONT AND REAR OF THE HOUSE ONLY. FINAL LOCATION OF FENCING TO BE DETERMINED BY INDIVIDUAL HOUSE CONFIGURATION.
4. THERE SHALL BE NO FENCING PERMITTED WITHIN THE FRONT YARD SETBACK.
5. 10' MINIMUM SEPARATION BETWEEN MAIN HOUSE STRUCTURES EXCEPT FOR PAIRED PATIO/ DUPLEX STYLE UNITS THAT SHARE ONE COMMON WALL.
6. 5' PUBLIC UTILITY EASEMENT TO BE PROVIDED ALONG THE FRONTS OF ALL LOTS.
7. ALL SIGHT CROSSING TRIANGLES MUST BE WITHIN THE PUBLIC RIGHT-OF-WAY OR A SIGHT DISTANCE EASEMENT. IF THE LINE OF SIGHT CROSSES ONTO PRIVATE PROPERTY, A "SIGHT DISTANCE EASEMENT" SHALL BE DEDICATED TO EL PASO COUNTY TO PROVIDE THE REQUIRED SIGHT DISTANCE AT TIME OF FINAL PLAT. MAINTENANCE OF A SIGHT DISTANCE EASEMENT SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER OR METROPOLITAN DISTRICT UNLESS OTHERWISE APPROVED BY THE COUNTY.
8. NO LANDSCAPING SHALL OBSTRUCT SIGHT DISTANCE TRIANGLES PER ENGINEERING CRITERIA MANUAL. THE MINIMUM HORIZONTAL CLEARANCE FOR SIDEWALKS AROUND UTILITY STRUCTURES, FURNITURE, AND OTHER ENCROACHMENTS SHALL BE 4 FEET OR GREATER TO PROVIDE SAFE CONDITIONS FOR PEDESTRIANS AND BICYCLISTS PER THE ENGINEERING CRITERIA MANUAL.

DEVELOPMENT STANDARDS AND GUIDELINES

PRINCIPAL USES:

1. THERE SHALL ONLY BE ONE (1) PRINCIPAL (PRIMARY) USE OF SINGLE-FAMILY RESIDENCE PER LOT.
2. ALLOWED USES INCLUDE: SINGLE FAMILY RESIDENTIAL, TWO FAMILY RESIDENTIAL (APPLIES TO ALL LOTS WITHIN THE PUD), MAIL KIOSKS, TRAIL CORRIDORS, DEVELOPMENT SIGNAGE, ENTRY MONUMENT SIGNAGE, PEDESTRIAN WALKWAYS, FENCING, UTILITIES, METRO DISTRICT FACILITIES, STORMWATER FACILITIES, DRAINAGE IMPROVEMENTS, OPEN SPACE AND LANDSCAPE IMPROVEMENTS, PARKS AND ASSOCIATED PARK RELATED EQUIPMENT.

*PRINCIPAL USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

TEMPORARY USES:

1. MODEL HOME/ SUBDIVISION SALES OFFICE
2. CONSTRUCTION EQUIPMENT AND FIELD OFFICES ONLY WHEN ASSOCIATED WITH A PERMITTED USE
3. YARD OR GARAGE SALES

*TEMPORARY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

ACCESSORY USES:

1. RESIDENTIAL HOME OCCUPATION TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
2. RESIDENTIAL DAY CARE TO BE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
3. SOLAR ENERGY SYSTEMS PERMITTED FOR PERSONAL USE ONLY AS PART OF THE MAIN STRUCTURE PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
4. ANIMAL KEEPING OF UP TO 4 PETS (DOGS, CATS OR OTHER DOMESTICATED ANIMALS). THE KEEPING OF HENS, CHICKENS, OR PIGEONS IS NOT PERMITTED.
5. PERSONAL USE GREEN HOUSE OR GARDEN. GROWING OF MARIJUANA IS NOT PERMITTED.
6. MOTHER-IN-LAW QUARTERS AS PART OF THE MAIN STRUCTURE. ONLY 1 PER LOT.

*ACCESSORY USES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

SPECIAL USES:

1. CMRS FACILITY (STEALTH) PER THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.

ACCESSORY STRUCTURES:

1. SHALL BE LIMITED TO TYPICAL RESIDENTIAL STRUCTURES TO INCLUDE: STORAGE SHEDS, DECKS (ATTACHED OR DETACHED, COVERED OR UNCOVERED), GAZEBOS, PATIOS, HOT TUBS/ SPAS, AND POOLS.
2. FENCES, WALLS, OR HEDGES
3. MAILBOXES
4. PERSONAL USE ANTENNAS, RADIO FACILITIES, OR SATELLITE DISHES
5. PERSONAL USE SMALL CELL TOWER
6. DETACHED GUEST HOUSES, DETACHED GARAGES, OR CARPORTS ARE NOT PERMITTED.
7. ACCESSORY STRUCTURES SHALL ONLY BE LOCATED WITHIN THE BACK YARD AND MUST BE LOCATED BEHIND THE MAIN STRUCTURE. NO ACCESSORY STRUCTURES WILL BE PERMITTED IN THE FRONT YARD OR IN FRONT OF THE PRIMARY RESIDENCE.
8. NO ACCESSORY STRUCTURES ARE PERMITTED ON LOTS 332 - 464, 540 - 605.

*ACCESSORY STRUCTURES ARE SUBJECT TO THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT, AS AMENDED

DIMENSIONAL STANDARDS AND GUIDELINES

DIMENSIONAL STANDARDS FOR LOTS 1 -152, 222 - 230, 285 - 331, 470 - 539

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 3,825 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - B. SETBACK REQUIREMENTS:
 - A. SIDE YARD: FIVE FEET (5')
 - B. REAR YARD: FIVE FEET (5')

DIMENSIONAL STANDARDS FOR LOTS 153 - 221, 231 - 284

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 5,000 SF
2. MAXIMUM PERCENTAGE OF STRUCTURAL COVERAGE OF LOT: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FEET (40')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30')
5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT YARD: TWENTY FEET (20') TO FACE OF GARAGE
 - B. SIDE YARD: FIVE FEET (5')
 - C. REAR YARD: FIFTEEN FEET (15')
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')
7. ACCESSORY STRUCTURE STANDARDS:
 - A. MAXIMUM ACCESSORY STRUCTURE HEIGHT: TEN FEET (10')
 - B. SETBACK REQUIREMENTS:
 - A. SIDE YARD: FIVE FEET (5')
 - B. REAR YARD: FIVE FEET (5')

DIMENSIONAL STANDARDS FOR LOTS 332 - 464

1. MINIMUM LOT AREA:
 - A. DWELLING, SINGLE FAMILY: 3,000 SF
2. MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT: 10' BUILDING
 - B. SIDE: 5' OR 7' PER DETAIL (10' MIN. BETWEEN BUILDINGS)
 - C. REAR: 20' SETBACK TO FACE OF GARAGE
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

ACCESSORY STRUCTURES:

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 332 - 464.

DIMENSIONAL STANDARDS FOR LOTS 540 - 605

1. MINIMUM LOT AREA:
 - A. DWELLING, TWO FAMILY SINGLE FAMILY: 2,500 SF
2. MAXIMUM IMPERVIOUS COVERAGE: NO MAXIMUM
3. MAXIMUM STRUCTURAL HEIGHT: FORTY FIVE FEET (45')
4. MINIMUM WIDTH OF LOT AT FRONT BUILDING SETBACK LINE: THIRTY FEET (30') OR AS OTHERWISE SHOWN.
5. PROJECTIONS INTO SETBACKS ARE GOVERNED BY THE EL PASO COUNTY LAND DEVELOPMENT CODE, AS AMENDED.
6. SETBACK REQUIREMENTS (SEE DETAILS):
 - A. FRONT: 10' BUILDING
 - B. SIDE: 5' (10' MIN. BETWEEN BUILDINGS)
 - C. REAR: 20' SETBACK TO FACE OF GARAGE
 - D. CORNER YARD (NON-DRIVEWAY SIDE): TEN FEET (10')

ACCESSORY STRUCTURES:

1. THERE ARE NO ACCESSORY STRUCTURE USES PERMITTED WITHIN THE LOTS 540 - 605.

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019

REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO.: 19.886.008

DRAWN BY: BS

CHECKED BY: NS

APPROVED BY: GS

SHEET TITLE:

PUD
DETAILS

P3

SHEET 3 OF 24

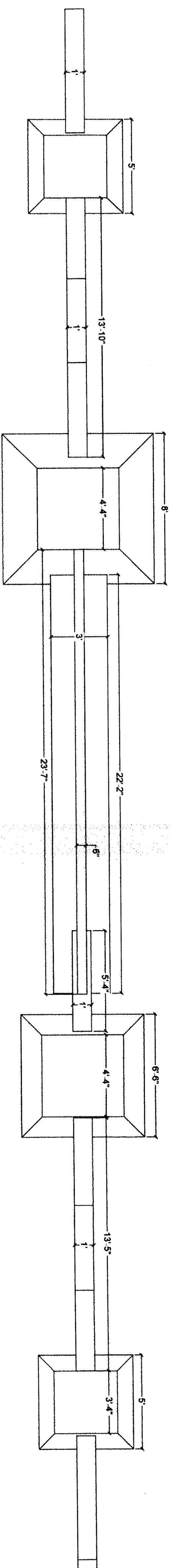
220049053
4-9-2020

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN**

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

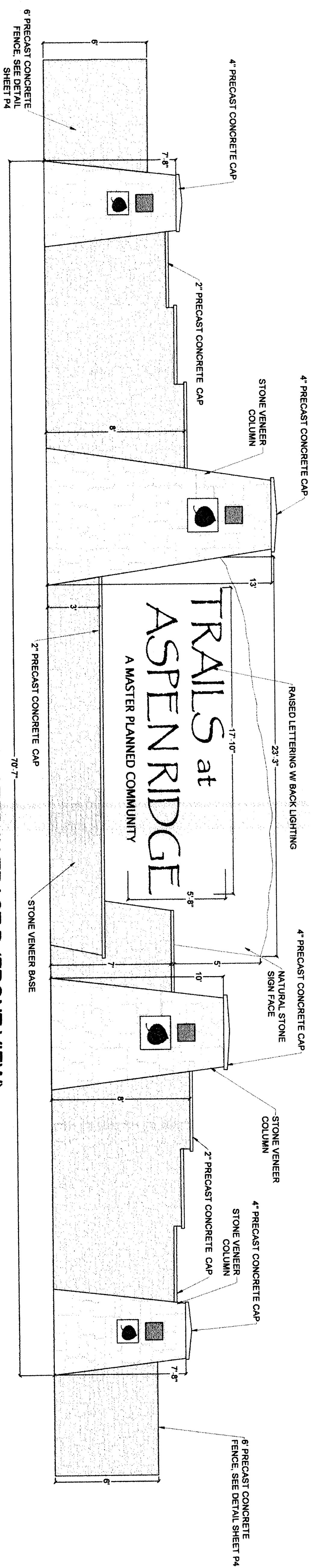


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Colorado Springs, CO 80920
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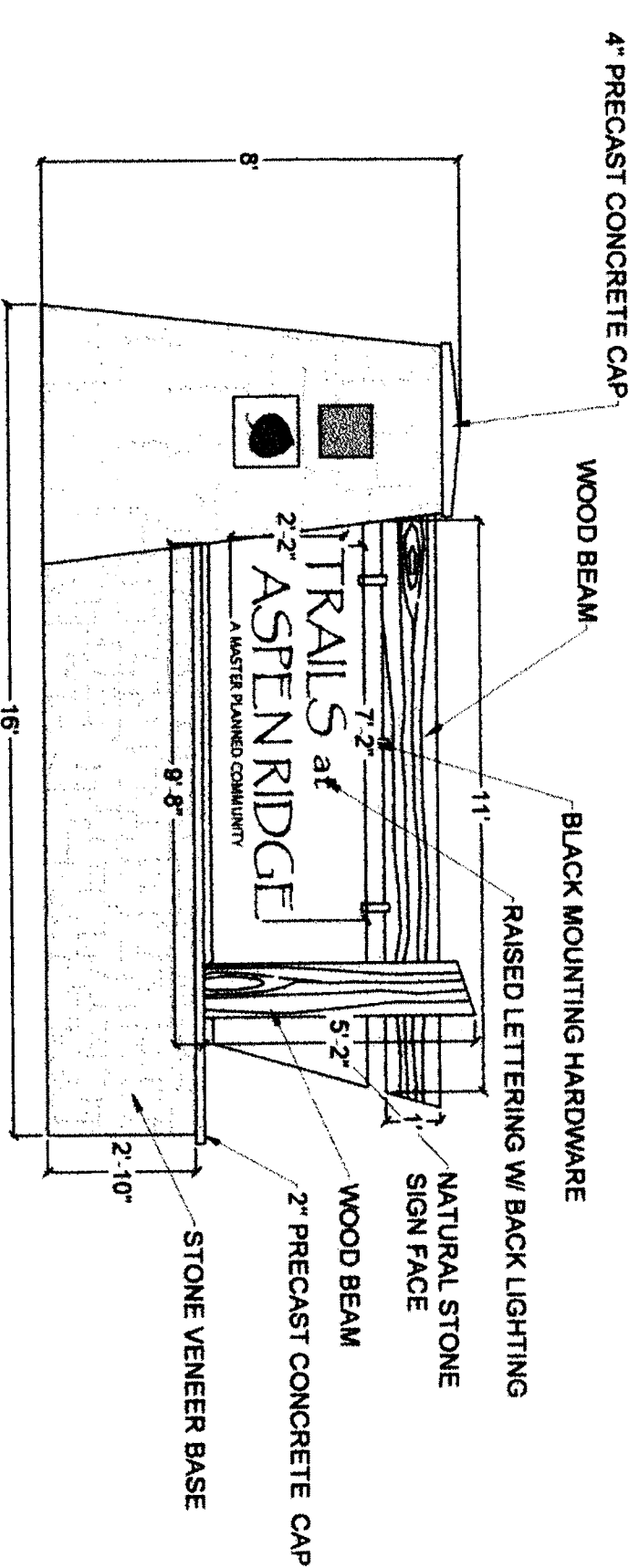
MAIN ENTRANCE SIGN (PLAN VIEW)

NTS



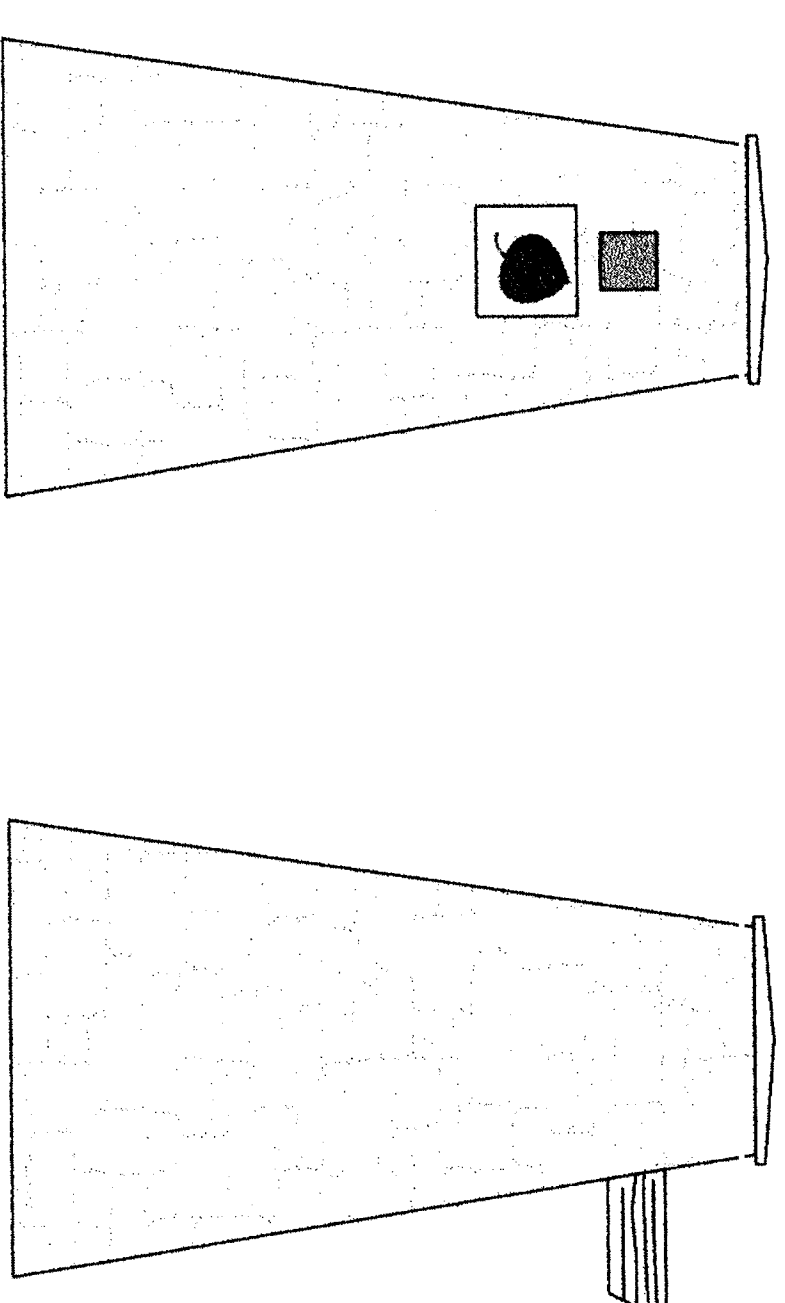
MAIN ENTRANCE SIGN LOCATED IN TRACT D (FRONT VIEW)

NTS



SECONDARY SIGN LOCATED IN TRACT C (FRONT VIEW)

NTS



COLUMN DETAIL (FRONT AND SIDE VIEW)

NTS

DRAWING INFORMATION
PROJECT NO. 19.886.008
DRAWN BY: BS
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE

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REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY., SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

TRAILS AT ASPEN RIDGE
PUD/SP
EL PASO COUNTY
DECEMBER 2019

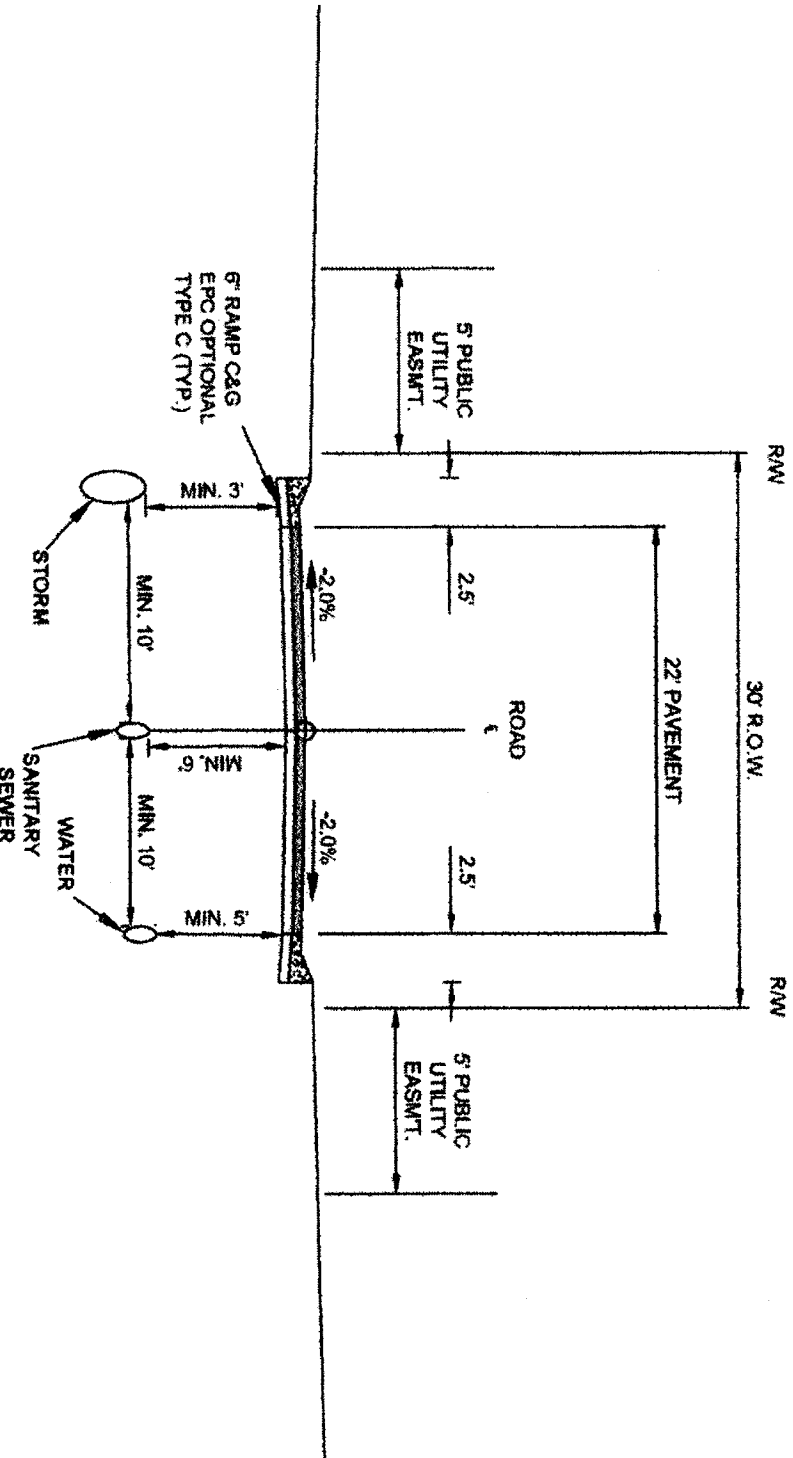
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

PUD DETAILS

P5

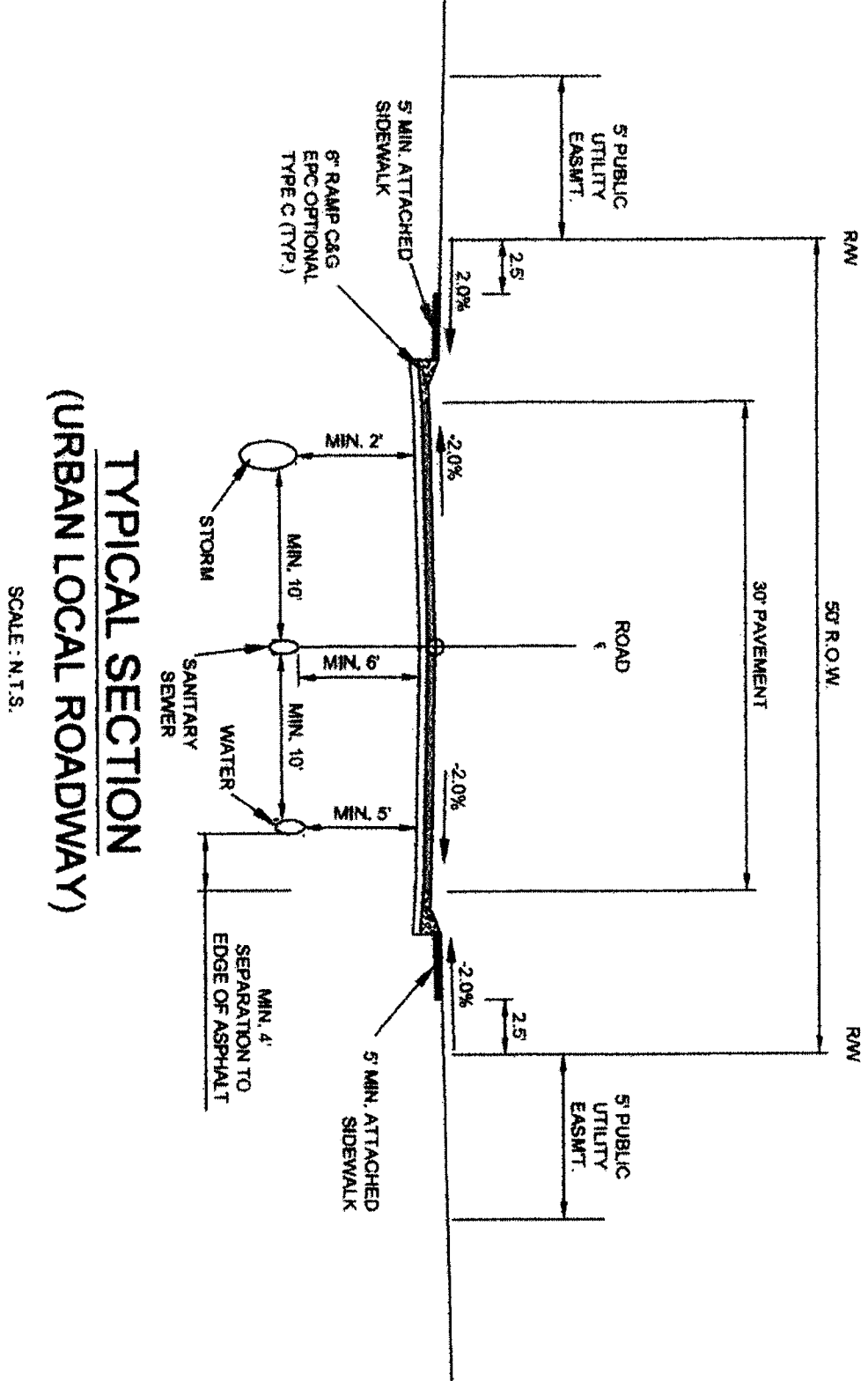
220049053
4-9-2020

TYPICAL STREET CROSS-SECTIONS



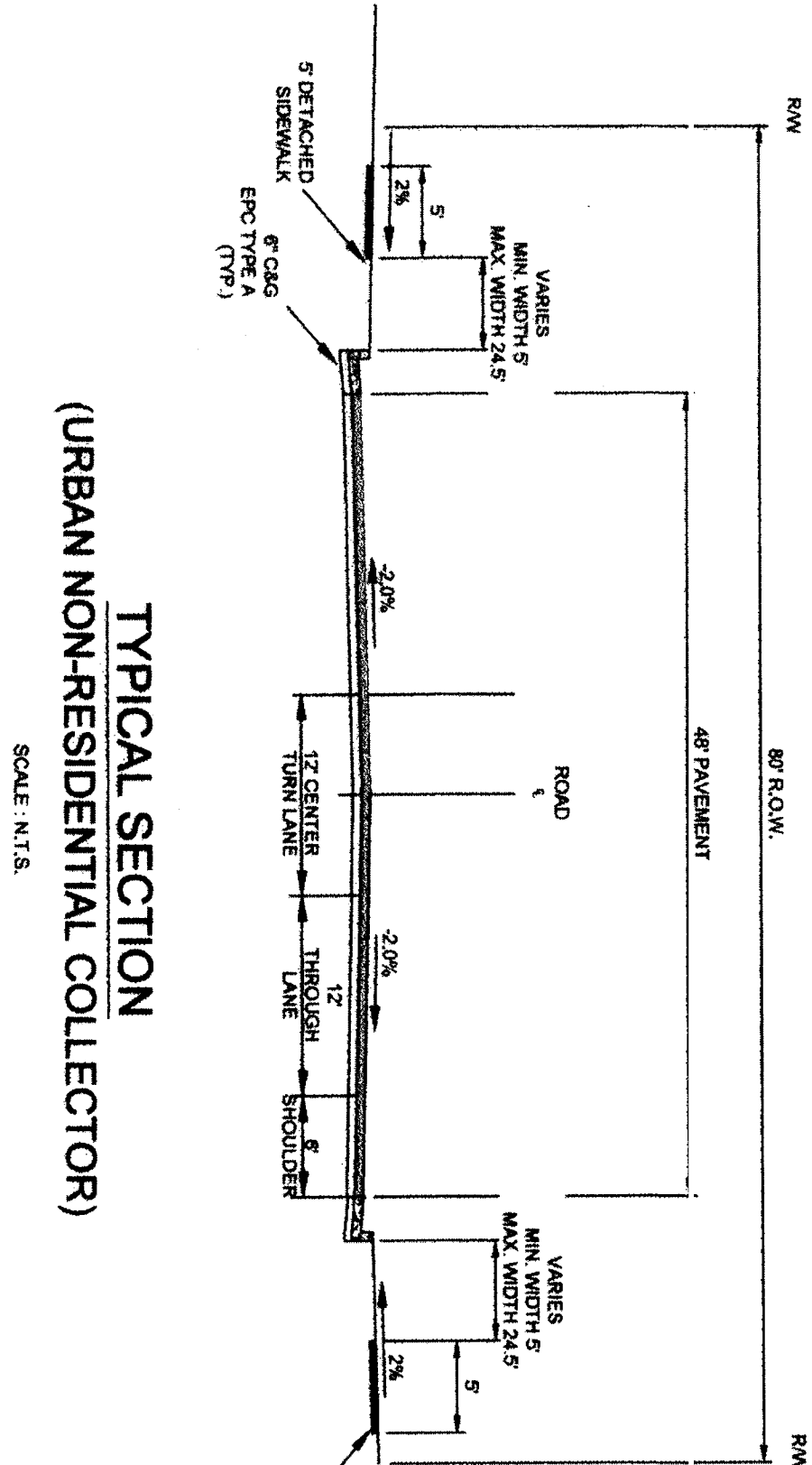
TYPICAL SECTION
(PRIVATE ROADWAY)

SCALE: N.T.S.



TYPICAL SECTION
(URBAN LOCAL ROADWAY)

SCALE: N.T.S.



TYPICAL SECTION
(URBAN NON-RESIDENTIAL COLLECTOR)

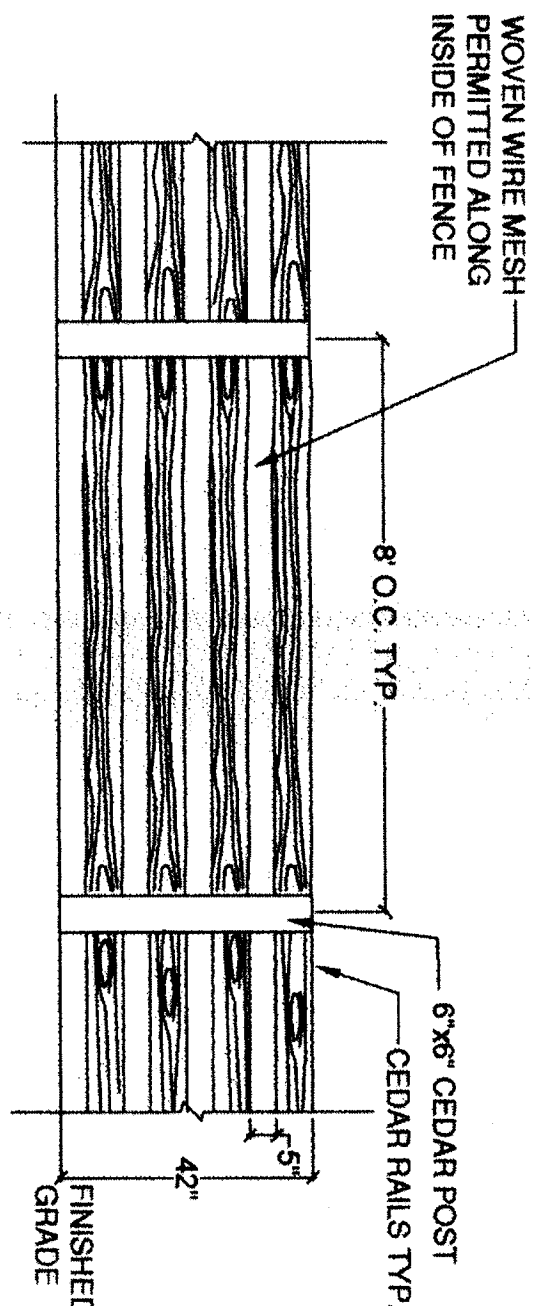
SCALE: N.T.S.

PUBLIC STREETS

1. ALL PUBLIC STREETS AS ILLUSTRATED ON THE DRAWINGS SHALL BE NAMED AND CONSTRUCTED TO EL PASO COUNTY STANDARDS, DEDICATED TO EL PASO COUNTY FOR AND UPON ACCEPTANCE BY EL PASO COUNTY, AND SHALL BE MAINTAINED BY EL PASO COUNTY DEPARTMENT OF TRANSPORTATION.
2. ALL PUBLIC STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
3. ALL PUBLIC STREETS SHALL BE PROVIDED WITH SIDEWALKS AS ILLUSTRATED ON THIS PLAN.
4. PER THE TRAFFIC IMPACT ANALYSIS A NOISE WALL IS REQUIRED ALONG POWERS BLVD.
5. URBAN LOCAL RESIDENTIAL KNUCKLE DESIGN TO BE PER THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL, KNUCKLE DETAIL FIGURE SD-2.77.

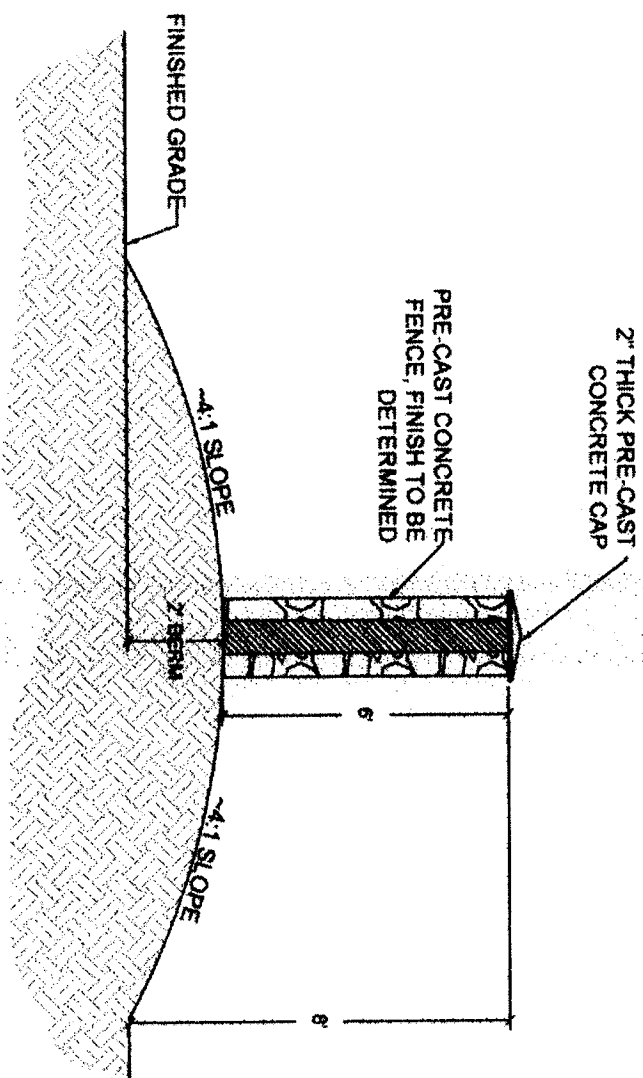
PRIVATE STREETS

1. ALL PRIVATE STREETS AS ILLUSTRATED ON THE DRAWINGS WILL BE PRIVATELY OWNED AND MAINTAINED BY THE WATERVIEW METROPOLITAN DISTRICT.
2. ALL PRIVATE STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
3. ALL PRIVATE STREETS SHALL BE CONSTRUCTED TO EL PASO COUNTY STANDARDS.
4. ALL HOMES SHALL BE ADDRESSED OFF THE NAMED STREET AT THE REAR OF THE HOME. ADDRESSES FOR ALL LOTS SHALL BE PLACED ON BOTH THE FRONT AND REAR OF THE BUILDING OR AS DIRECTED ON THE RECORD STREET AND ADJACENT LOT.
5. THERE SHALL BE NO ON-STREET PARKING PERMITTED ALONG THE PRIVATE ROADWAYS EXCEPT OFF-STREET PARKING AREAS AS SHOWN ON THE DRAWINGS.
6. THERE SHALL BE NO ON-STREET PARKING PERMITTED ALONG THE PRIVATE ROADWAYS EXCEPT OFF-STREET PARKING AREAS AS SHOWN ON THE DRAWINGS.



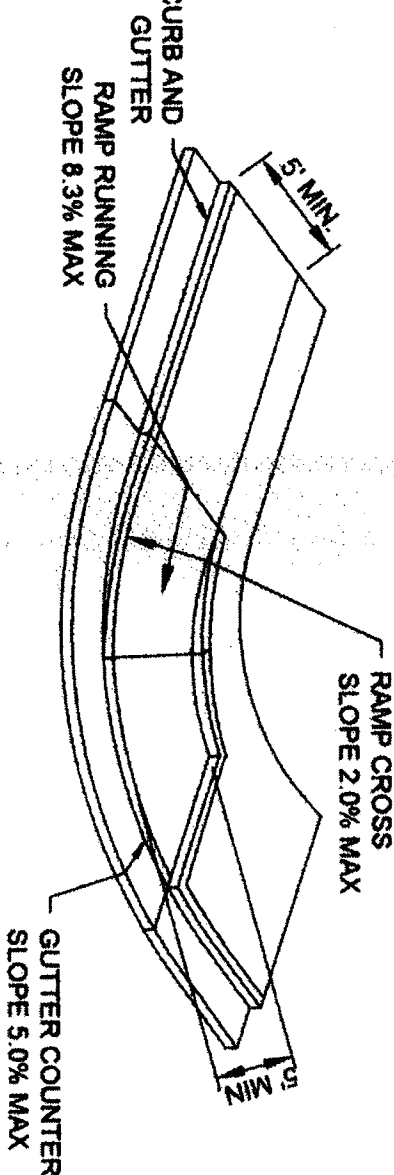
1 SPLIT RAIL FENCE DETAIL

N.T.S.



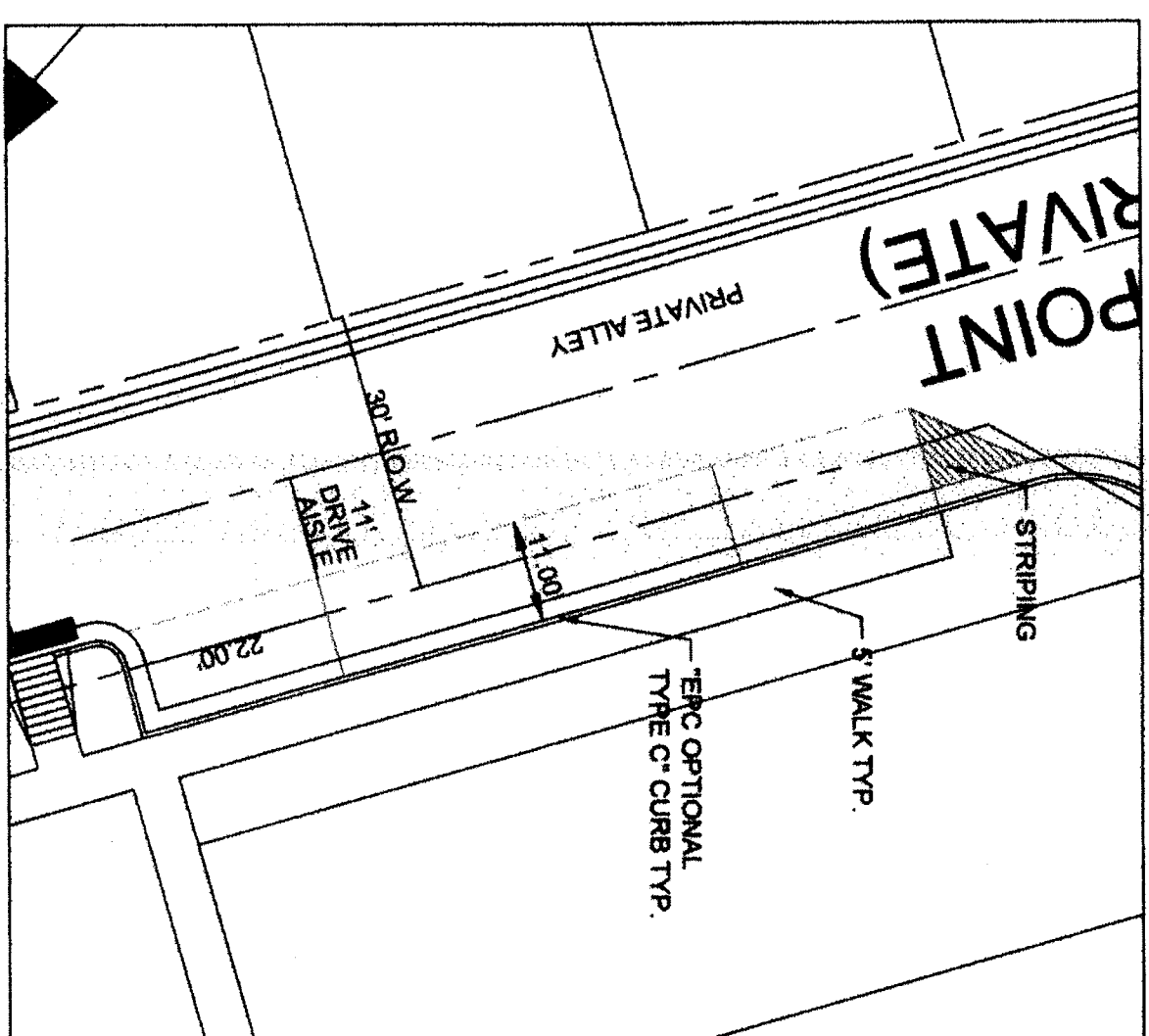
3 6 CONCRETE NOISE WALL ALONG POWERS BLVD

N.T.S.



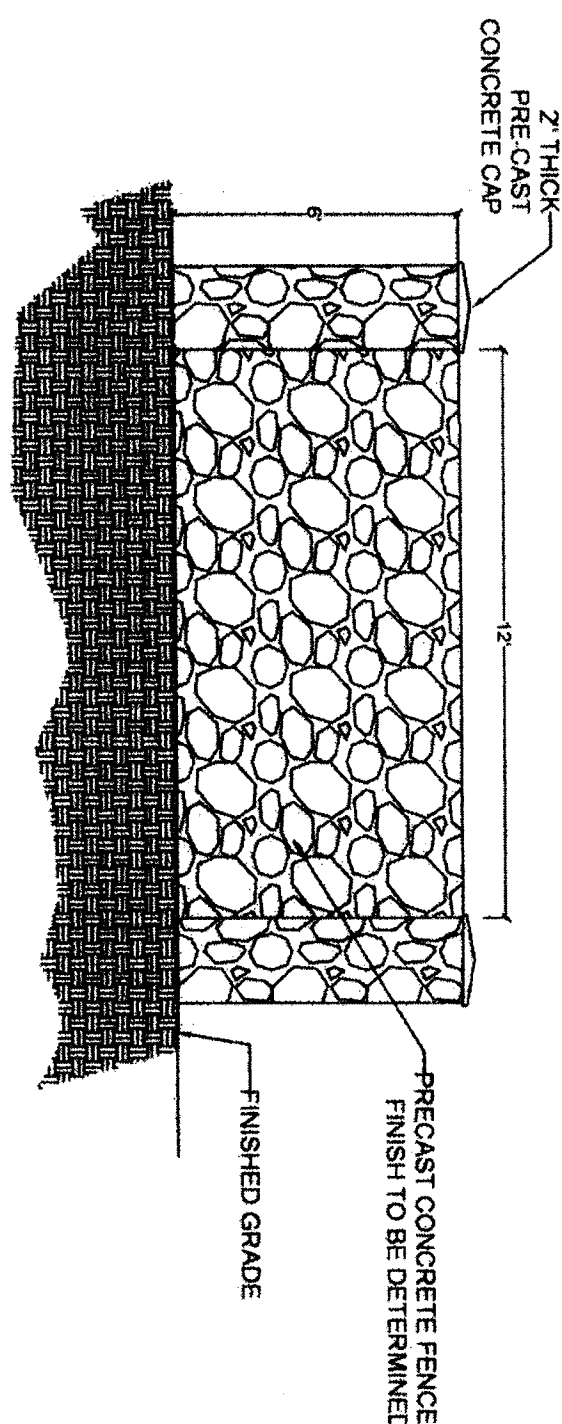
5 PARALLEL RAMP (TYP.) DETAIL

N.T.S.



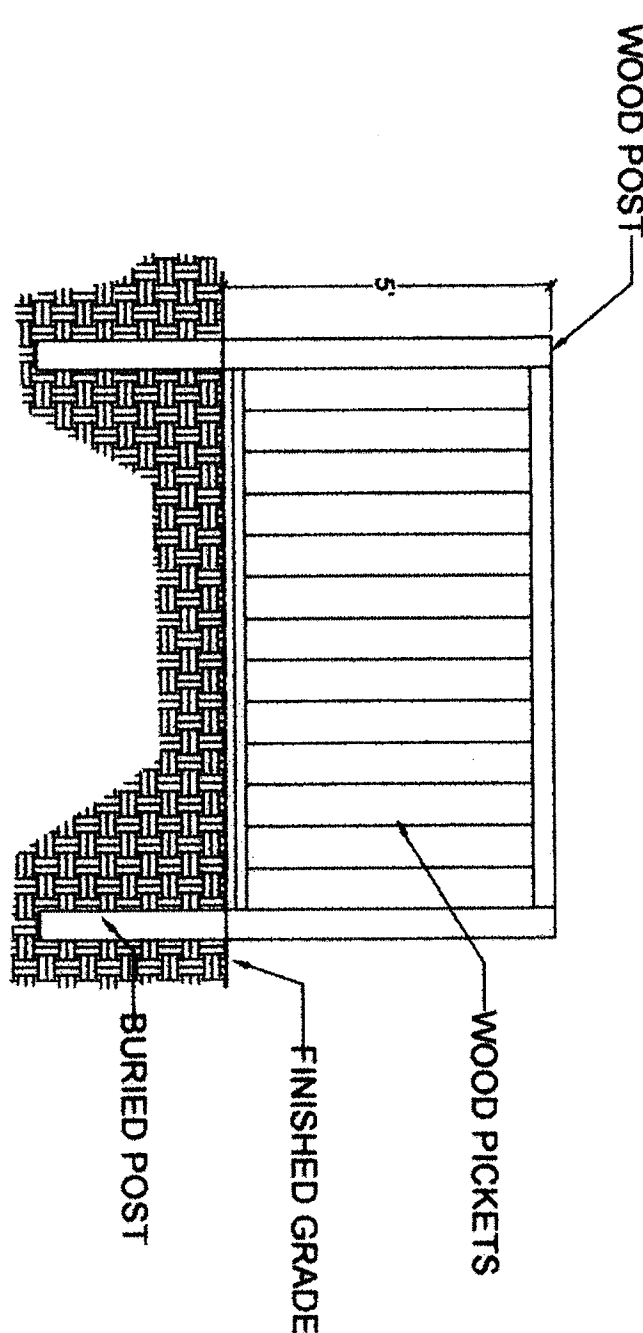
6 OFF-STREET GUEST PARKING (TYP.) DETAIL

N.T.S.



2 6 CONCRETE FENCE DETAIL

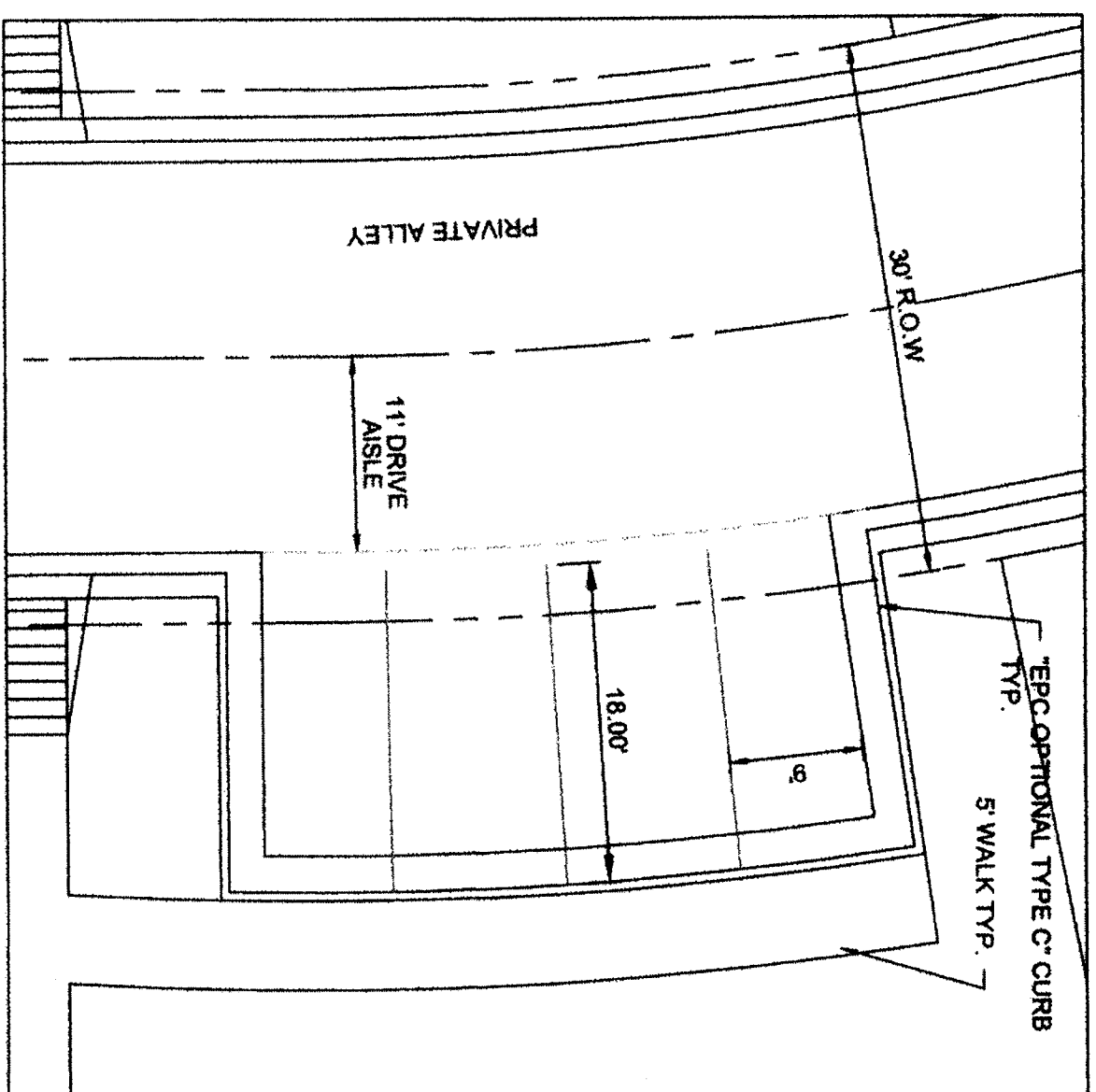
N.T.S.



4 5 WOOD FENCE DETAIL

N.T.S.

- NOTES:
1. FENCE MATERIAL, COLOR, ETC. TO BE DETERMINED.
 2. FENCE TYPE TO BE USED ON ALL INDIVIDUAL LOTS EXCEPT WHERE NOTED.
 3. FENCING INSTALLED ON INDIVIDUAL LOTS SHALL OWNED AND MAINTAINED BY THE INDIVIDUAL PROPERTY OWNER.



6 OFF-STREET GUEST PARKING (TYP.) DETAIL

N.T.S.

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT
TRAILS AT ASPEN RIDGE
PUD/SP

EL PASO COUNTY
DECEMBER 2019

OWNER
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
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REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

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CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PUD
DETAILS

P4

SHEET 1 OF 24

PUD FILE: PUDSP-191

2200 49053
11-9-2020

POWERS BLVD.
210' R.O.W.
(FREEWAY)

TRACT A
257,997 SF

TRACT B
118,715 SF

TRACT C
23,233 SF

TRACT D
99,971 SF

TRACT E
25,811 SF

TRACT F
13,715 SF

TRACT G
13,715 SF

TRACT H
13,715 SF

TRACT I
13,715 SF

TRACT J
13,715 SF

TRACT K
13,715 SF

TRACT L
13,715 SF

TRACT M
13,715 SF

TRACT N
13,715 SF

TRACT O
13,715 SF

TRACT P
13,715 SF

TRACT Q
13,715 SF

TRACT R
13,715 SF

TRACT S
13,715 SF

TRACT T
13,715 SF

TRACT U
13,715 SF

TRACT V
13,715 SF

TRACT W
13,715 SF

TRACT X
13,715 SF

TRACT Y
13,715 SF

TRACT Z
13,715 SF

LEGACY HILL DRIVE 80' R.O.W.
(NON-RESIDENTIAL COLLECTOR - PUBLIC)
(PLATTED WITH FILING NO. 1)

BRADLEY RD.
210' R.O.W.
(EXPRESSWAY)

TRACT NOTES:

1. 'X' - DENOTES PERMITTED USE WITHIN DESIGNATED TRACTS
2. TRACT 'V' RESERVED FOR FUTURE RIGHT OF WAY USE FOR POSSIBLE CONNECTION TO THE EAST. TRACT 'W' SHALL BE DEDICATED TO EL PASO COUNTY AT NO COST TO THE COUNTY AT THAT TIME THE CONNECTION IS REQUIRED. IF NO CONNECTION TO THE EAST IS REQUIRED, THIS TRACT MAY BE CONVERTED TO A LOT FOR USE AS SINGLE FAMILY RESIDENTIAL PER REVIEW AND APPROVAL OF AN AMENDED PLAT BY EL PASO COUNTY.

PROJECT:	TRAILS AT ASPEN RIDGE
PUD/SP	
EL PASO COUNTY	
DECEMBER 2019	
OWNER:	
COLLA, LLC	
555 MIDDLE CREEK PKWY, SUITE 380	
COLORADO SPRINGS, CO 80921	
(719) 382-9433	

DEVELOPER:	COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433
ISSUE: DECEMBER, 2019	RE:1 COMMENT RESPONSE: JUNE, 2019 RE:2 COMMENT RESPONSE: AUGUST, 2019 RE:3 COMMENT RESPONSE: SEPTEMBER, 2019 RE:4 BOC APPROVAL: DECEMBER, 2019
DRAWING INFORMATION:	
PROJECT NO:	19-006-006
DRAWN BY:	BS
CHECKED BY:	JA
APPROVED BY:	GS
SHEET TITLE:	

PUD DETAILS

P6

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:



2455 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone: 719-575-0200
Fax: 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/SP

EL PASO COUNTY
DECEMBER 2019

OWNER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019

REVIEW COMMENT RESPONSE: JUNE, 2019

REVIEW COMMENT RESPONSE: AUGUST, 2019

REVIEW COMMENT RESPONSE: SEPTEMBER, 2019

REVIEW COMMENT RESPONSE: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO. 18-886-008

DRAWN BY: BS

CHECKED BY: JA

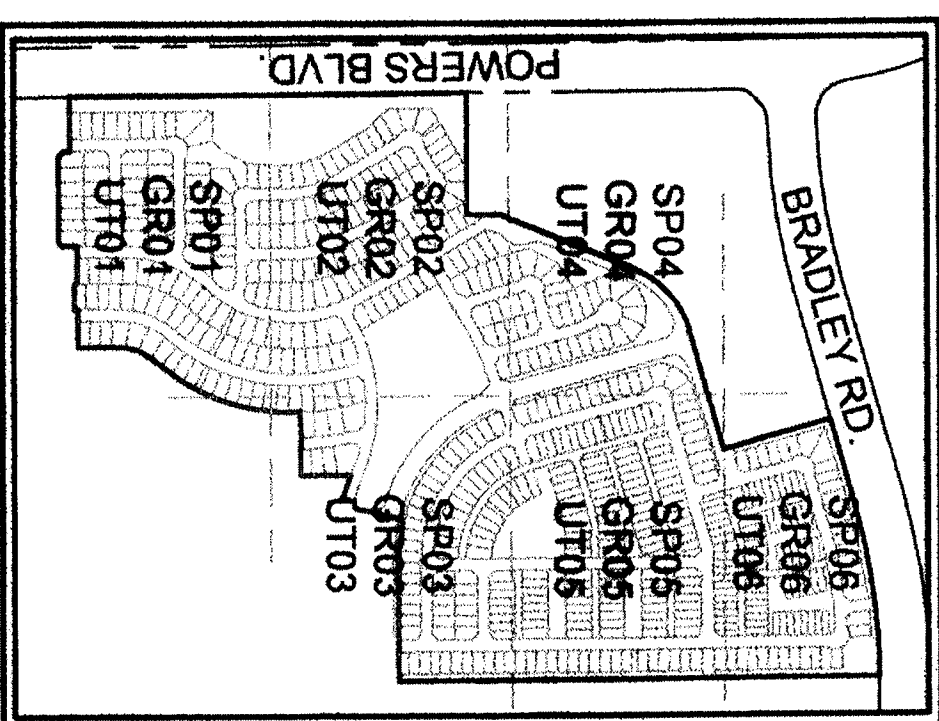
APPROVED BY: GS

SHEET TITLE:

PUD SITE
PLAN

SP01

SHEET 7 OF 24

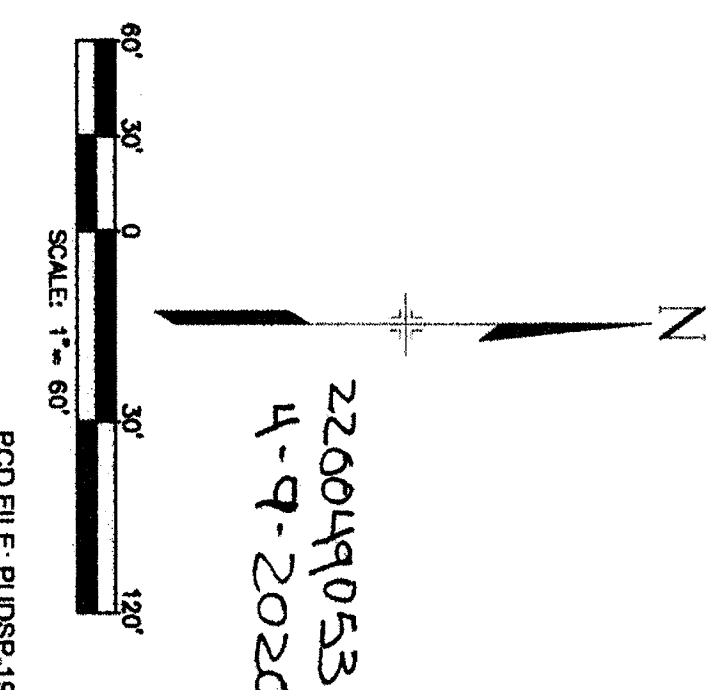
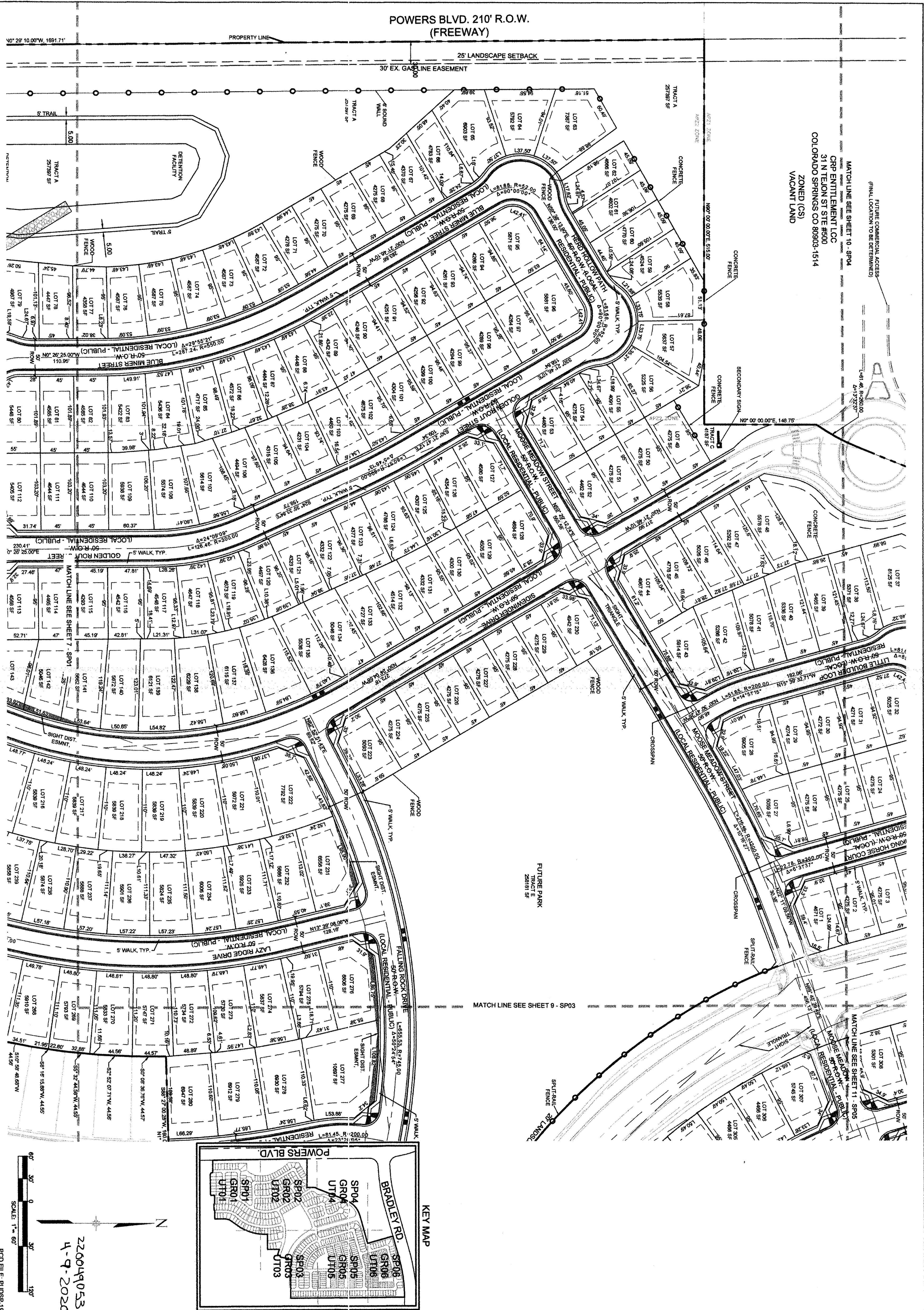


220049053
4-9-2020



POD FILE: PUDSP-191

MATCH LINE SEE SHEET 10 - SP04
CRP ENTITLEMENT LLC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND



TRAILS AT ASPEN RIDGE EL PASO COUNTY, COLORADO PLANNED UNIT DEVELOPMENT AND PRELIMINARY SITE PLAN		CONSULTANT PLANNED UNIT DEVELOPMENT ARCHITECT/ENGINEER Matrix 2435 Research Parkway, Suite 300 Colorado Springs, CO 80920 Phone 715-575-0100 Fax 715-575-0208
PROJECT TRAILS AT ASPEN RIDGE PUD/SP		OWNER COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433
EL PASO COUNTY DECEMBER 2019		DEVELOPER COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433
ISSUE: DECEMBER, 2019 REV: COMMENT RESPONSE: JUNE, 2019 REV: COMMENT RESPONSE: AUGUST, 2019 REV: COMMENT RESPONSE: SEPTEMBER, 2019 REV: BOCC APPROVAL: DECEMBER, 2019		DRAWING INFORMATION PROJECT NO.: 13.256.008 DRAWN BY: BS CHECKED BY: JA APPROVED BY: GS SHEET TITLE
PUD SITE PLAN SP02		220049053 4-9-2020 PUD FILE: PUDSP.191 SHEET 8 OF 24

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:



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Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO.: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD SITE
PLAN

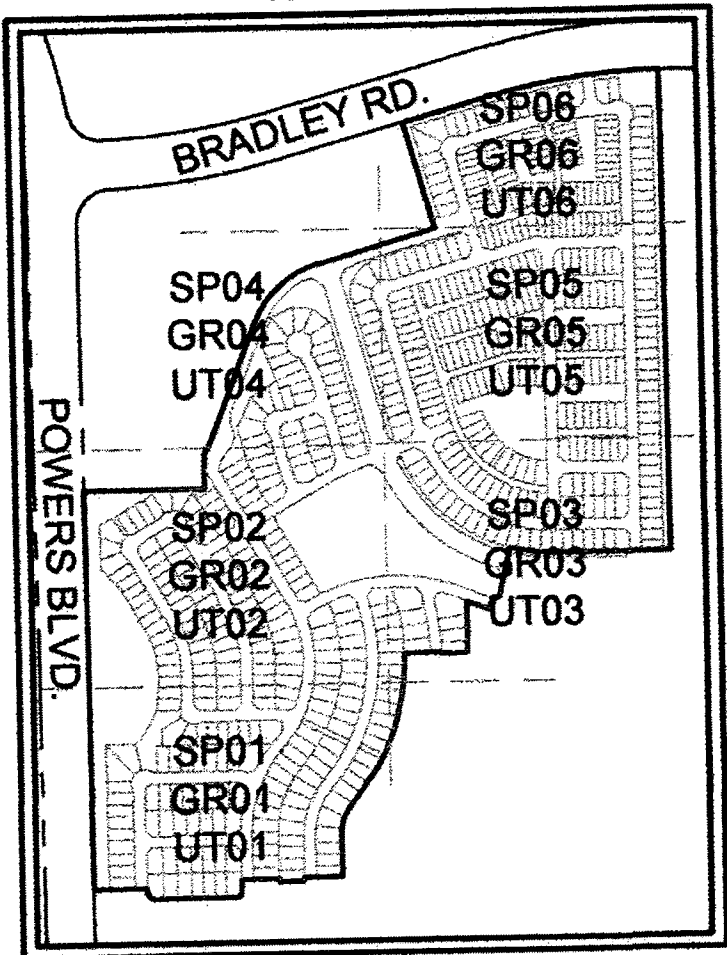
SP04

SHEET 10 OF 24

CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND

CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND

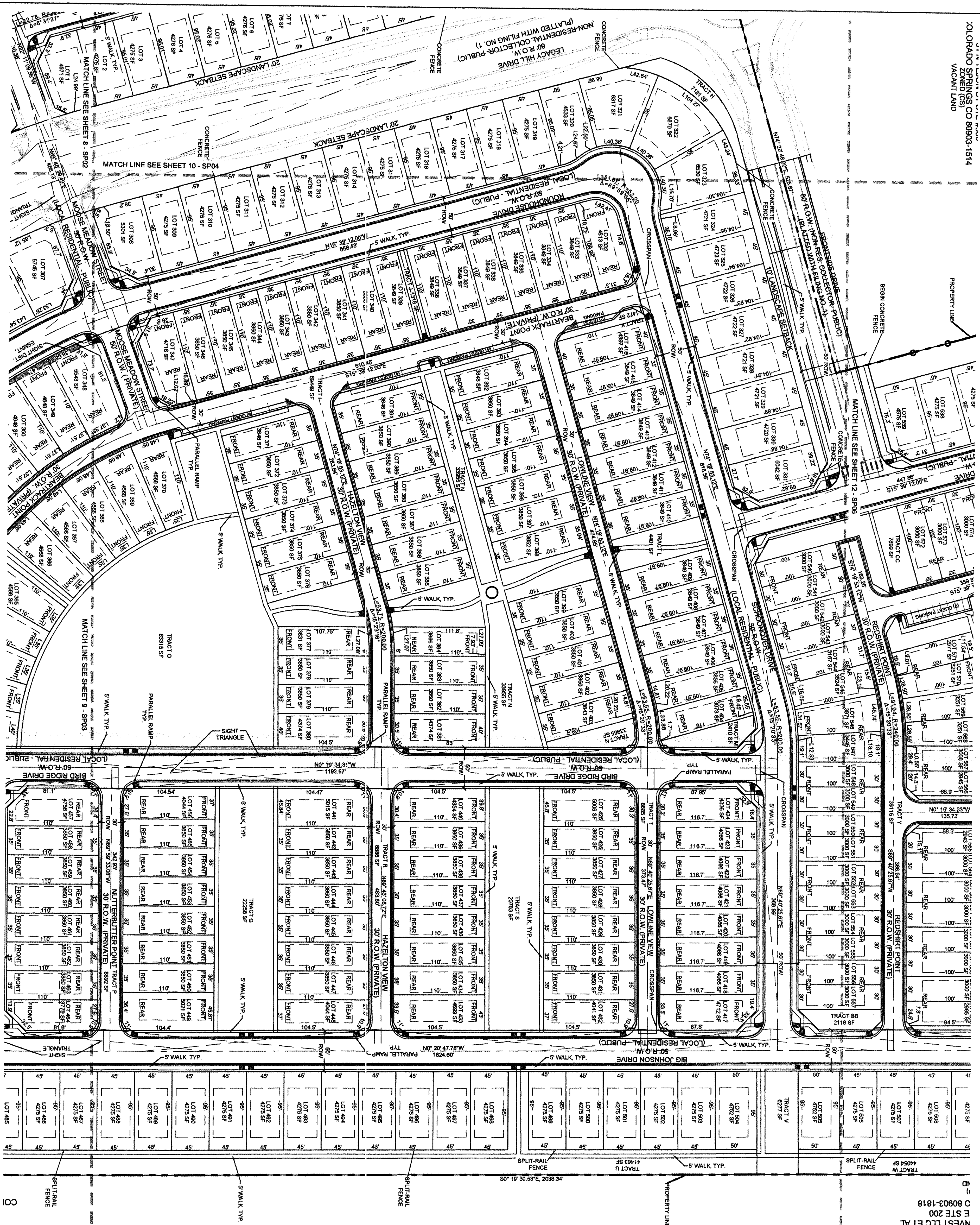
KEY MAP



220049053
4-9-2020

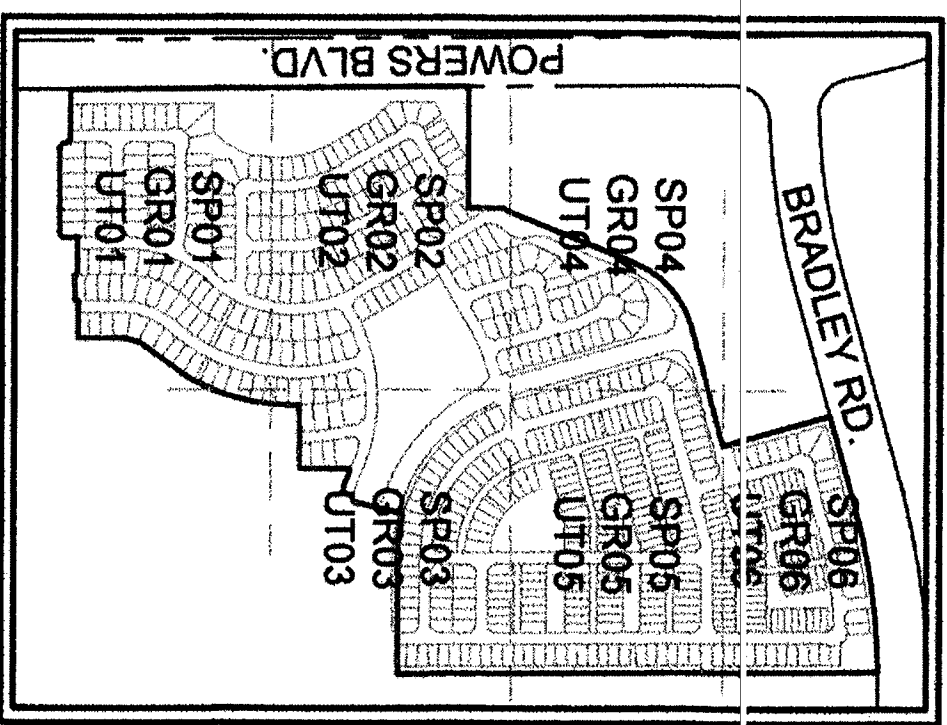
SCALE: 1" = 60'

PCD FILE: PUDSP-191



WEST LLC ET AL

0 80903-1818



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER

Matrix

2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/SP

EL PASO COUNTY
DECEMBER 2019

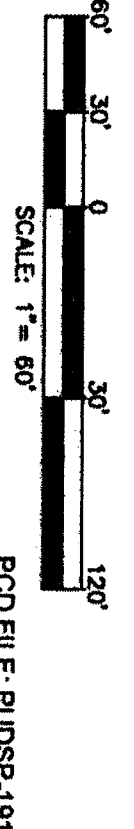
OWNER:
COLA LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:
COLA LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER 2019
REV COMMENT RESPONSE: JUNE 2019
REV COMMENT RESPONSE: AUGUST 2019
REV COMMENT RESPONSE: SEPTEMBER 2019
REV BOC APPROVAL: DECEMBER 2019

DRAWING INFORMATION:
PROJECT NO. 10.000.000
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

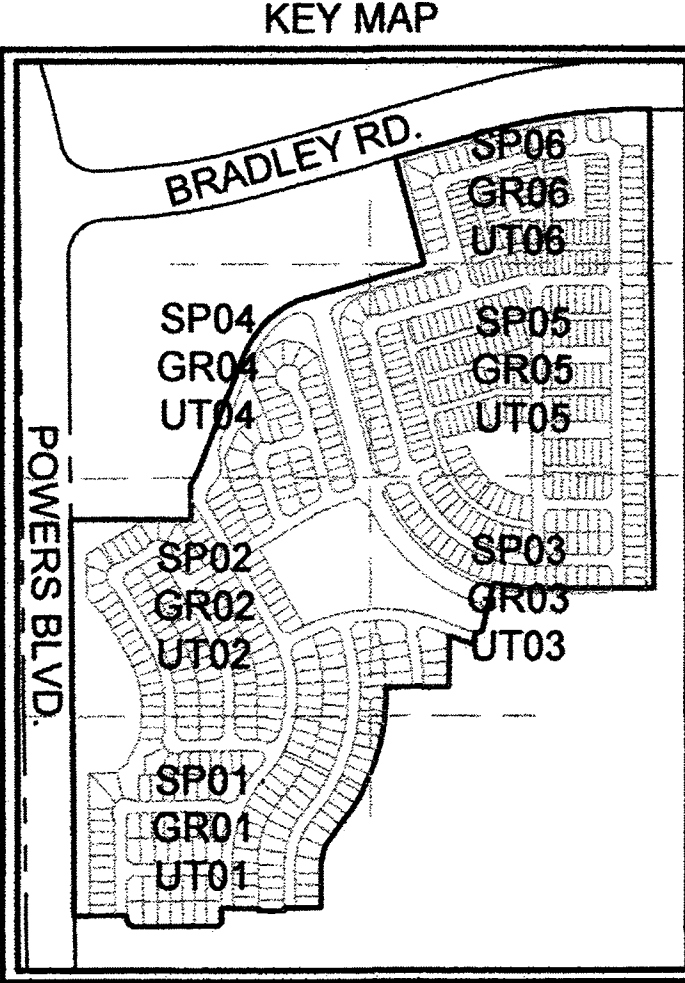
PUD SITE
PLAN
SP05



RANKIN HOLDINGS LP ET AL
630 SOUTHPOINTE CT STE 200
COLORADO SPRINGS CO 80906-3800
ZONED (A-5 CAD-O)
AG. GRAZING LAND

CRP ENTITLEMENT LCC
31 N TEJON ST STE #500
COLORADO SPRINGS CO 80903-1514
ZONED (CS)
VACANT LAND

BRADLEY RD.
210' R.O.W.
(EXPRESSWAY)



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER.

Matrix
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP
EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
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(719) 382-9433

ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

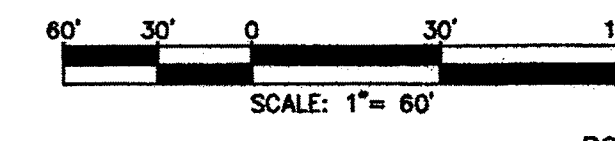
DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: JA
APPROVED BY: GS
SHEET TITLE:

PUD SITE
PLAN

SP06

SHEET 12 OF 24

220049053
4-9-2020



PCD FILE: PUDSP-191



TRAILS AT ASPEN RIDGE

EL PASO COUNTY, COLORADO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:	COLA, LLC 555 MIDDLE CREEK PKWY, SUITE 380 COLORADO SPRINGS, CO 80921 (719) 382-9433
--------	---

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION

PROJECT NO: 19.886.001

DRAWN BY: AL

CHECKED BY: NS

APPROVED BY: G

SHEET 111/15

SHEET AREA

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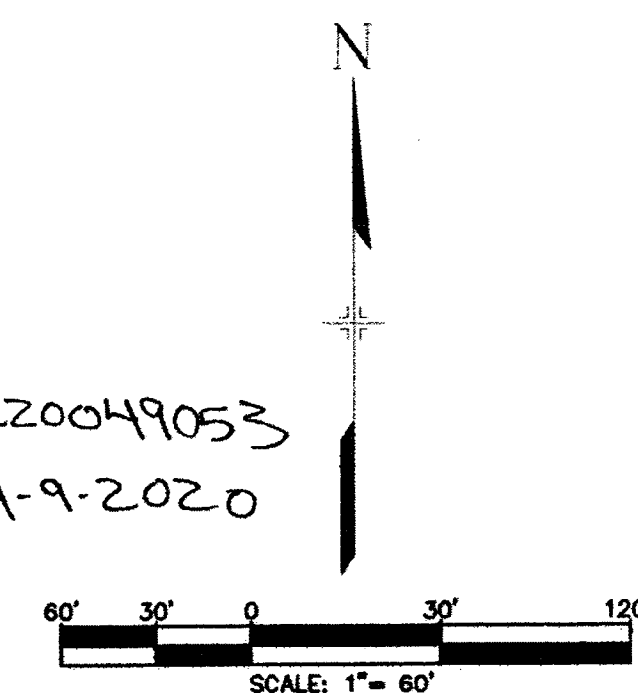
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PRELIMINARY GRADING PLAN

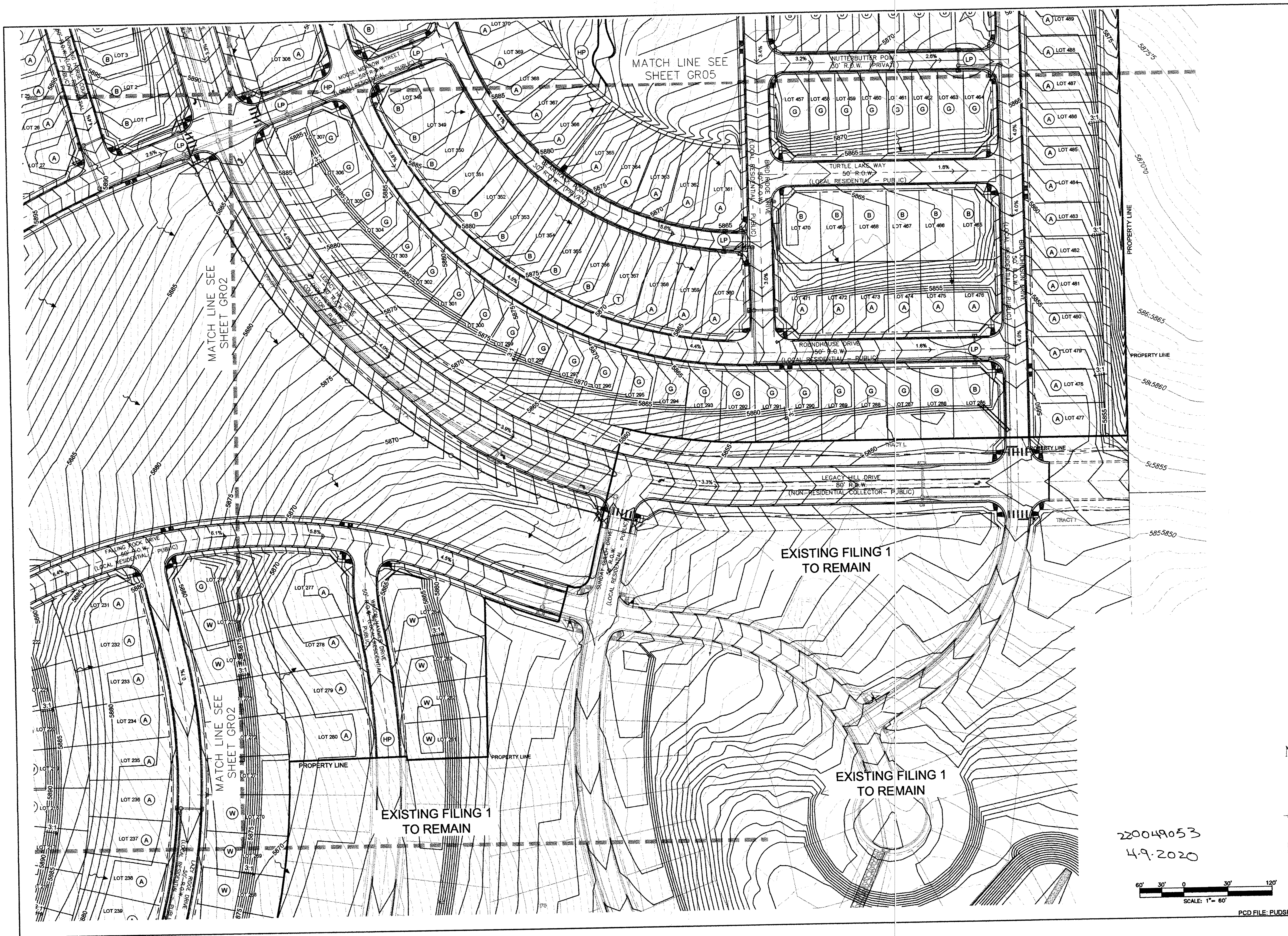
GR02

SHEET 14 OF 24

220049053
4-9-2020



PCD FILE: PUDSP-191



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN**

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
**TRAILS AT ASPEN RIDGE
PUD/ SP**

EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
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DEVELOPER:
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ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

**PRELIMINARY
GRADING PLAN**

GR03
SHEET 15 OF 24

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:
COLA, LLC
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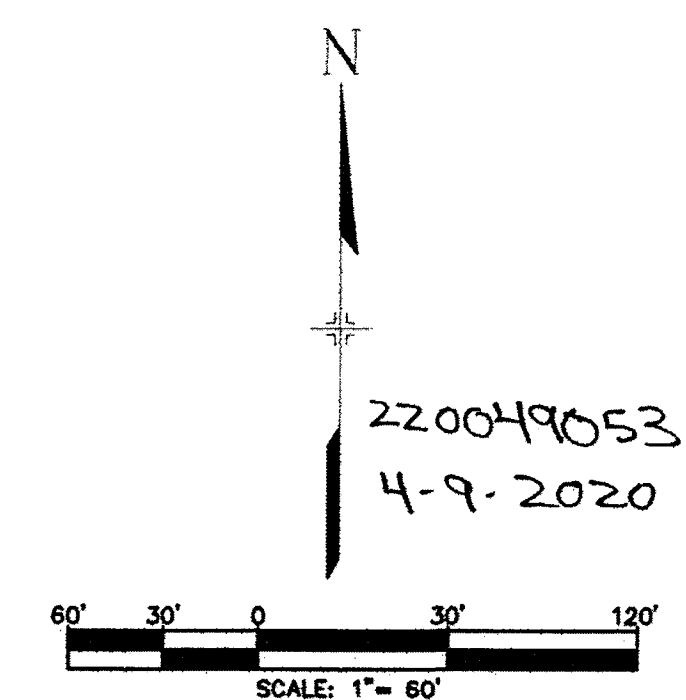
ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR04

SHEET 16 OF 24



PCD FILE: PUDSP-151



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

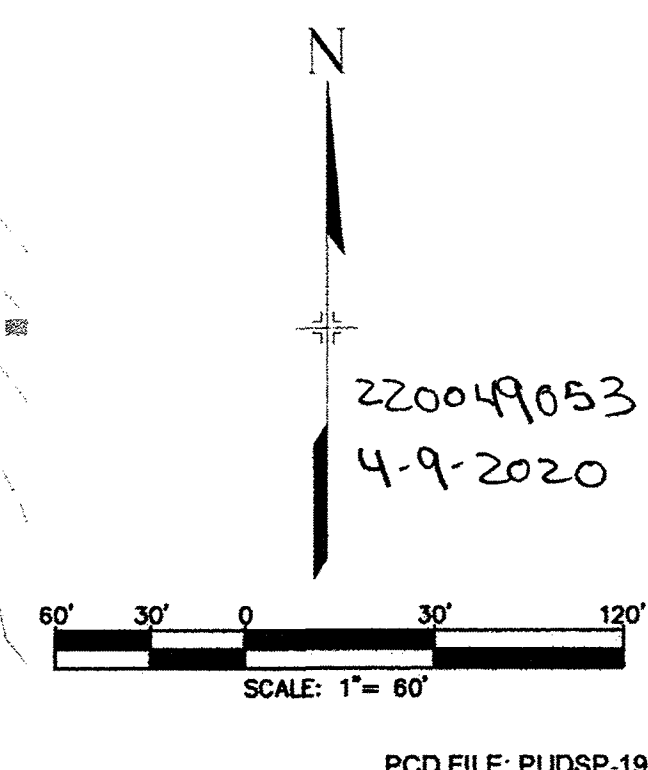
DEVELOPER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO: 19.888.008
DRAWN BY: AL
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

PRELIMINARY
GRADING PLAN

GR05
SHEET 17 OF 24





TRAILS AT ASPEN RIDGE
 EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY SITE PLAN**

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



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 Colorado Springs, CO 80920
 Phone 719-575-0100
 Fax 719-575-0208

PROJECT:

**TRAILS AT ASPEN RIDGE
 PUD/ SP**

EL PASO COUNTY
 DECEMBER 2019

OWNER:

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 555 MIDDLE CREEK PKWY, SUITE 380
 COLORADO SPRINGS, CO 80921
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DEVELOPER:

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ISSUE: DECEMBER, 2019

REV1 COMMENT RESPONSE: JUNE, 2019
 REV2 COMMENT RESPONSE: AUGUST, 2019
 REV3 COMMENT RESPONSE: SEPTEMBER, 2019
 REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19.886.008

DRAWN BY: AL

CHECKED BY: NS

APPROVED BY: GS

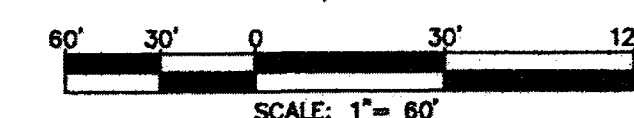
SHEET TITLE:

**PRELIMINARY
 GRADING PLAN**

GR06

SHEET 18 OF 24

220049053
 4-9-2020

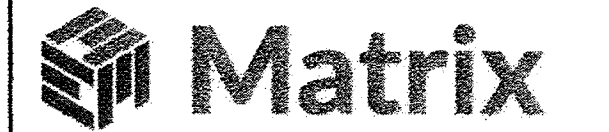


PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:

PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:

TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER:

COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
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(719) 382-9433

ISSUE: DECEMBER, 2019

REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO: 19,886,006

DRAWN BY: BS

CHECKED BY: NS

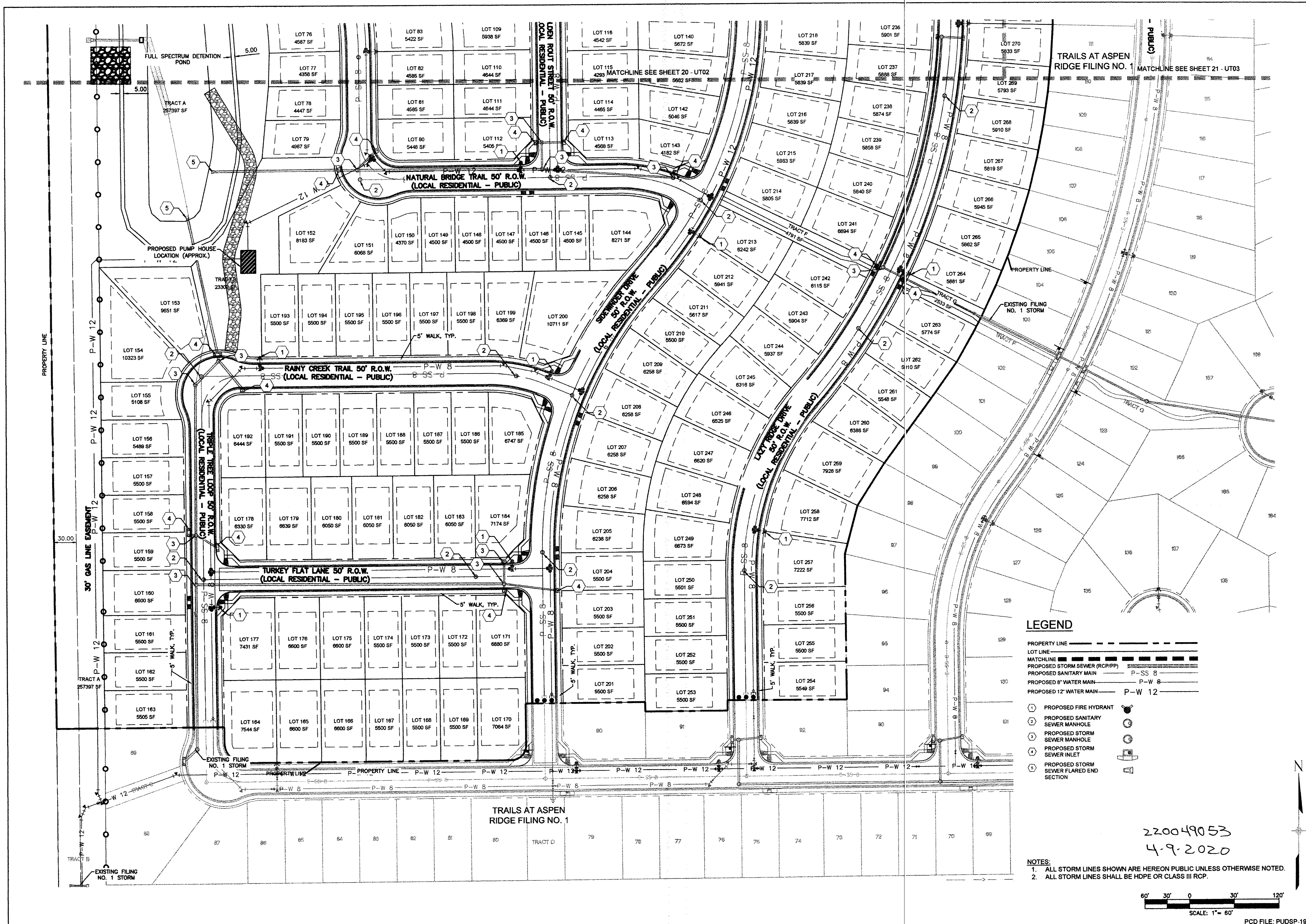
APPROVED BY: GS

SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT01

SHEET 19 OF 24



TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT
PLANNER LANDSCAPE ARCHITECT CIVIL ENGINEER

Matrix
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

DEVELOPER
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
(719) 382-9433

ISSUE: DECEMBER, 2019

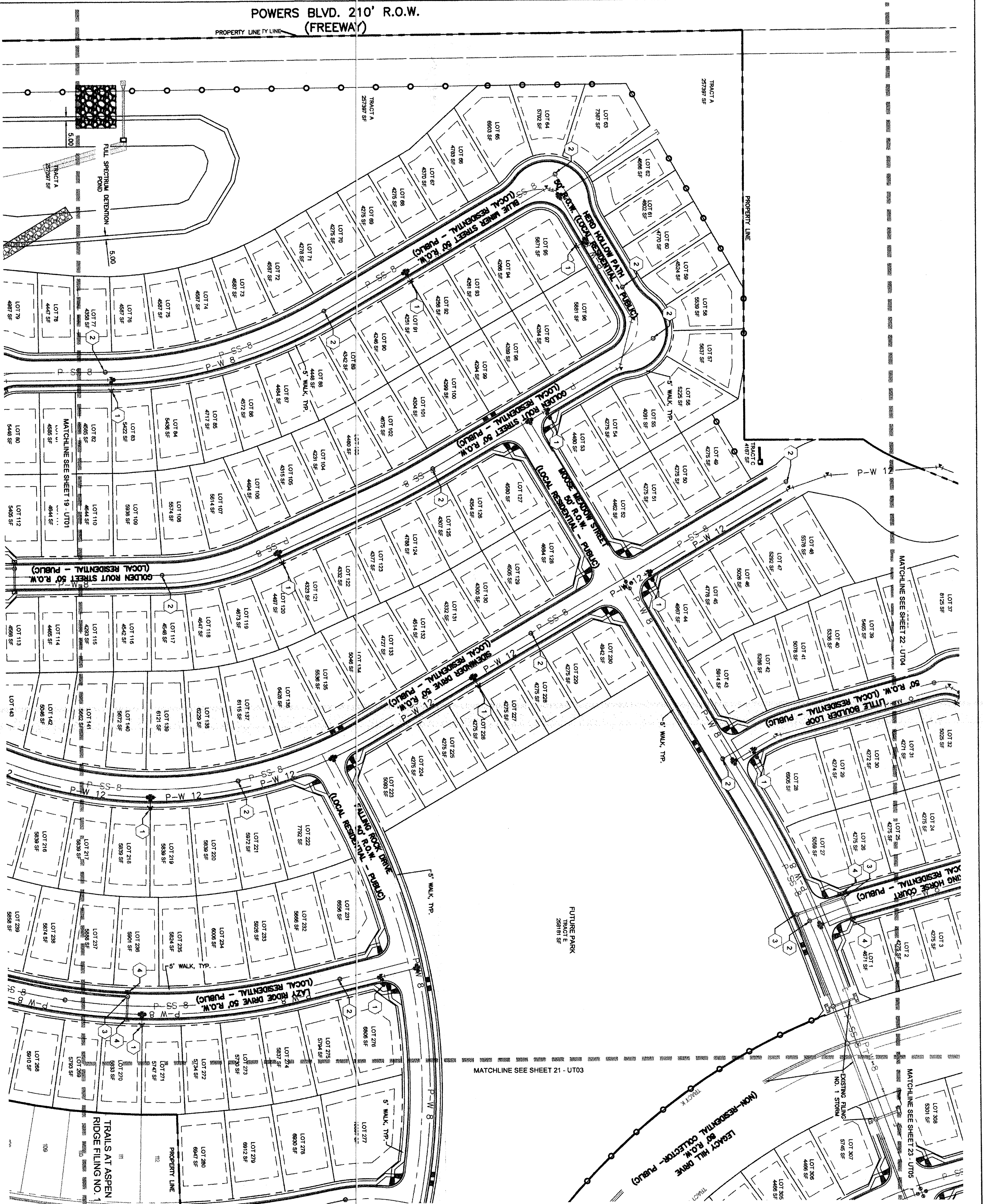
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REV: COMMENT RESPONSE: SEPTEMBER, 2019
REV: BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION
PROJECT NO. 18-00-006
DRAWN BY: BS
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE

PRELIMINARY
UTILITY PLAN

UT02

SHEET 20 OF 24

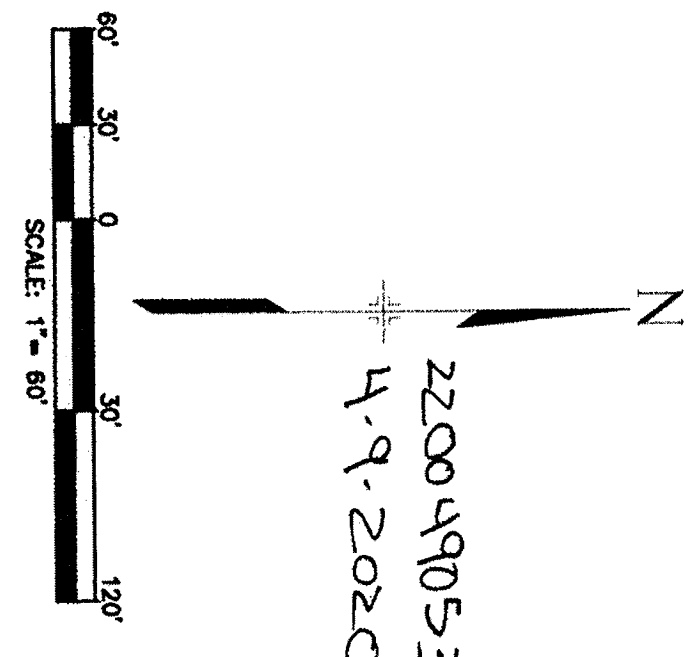


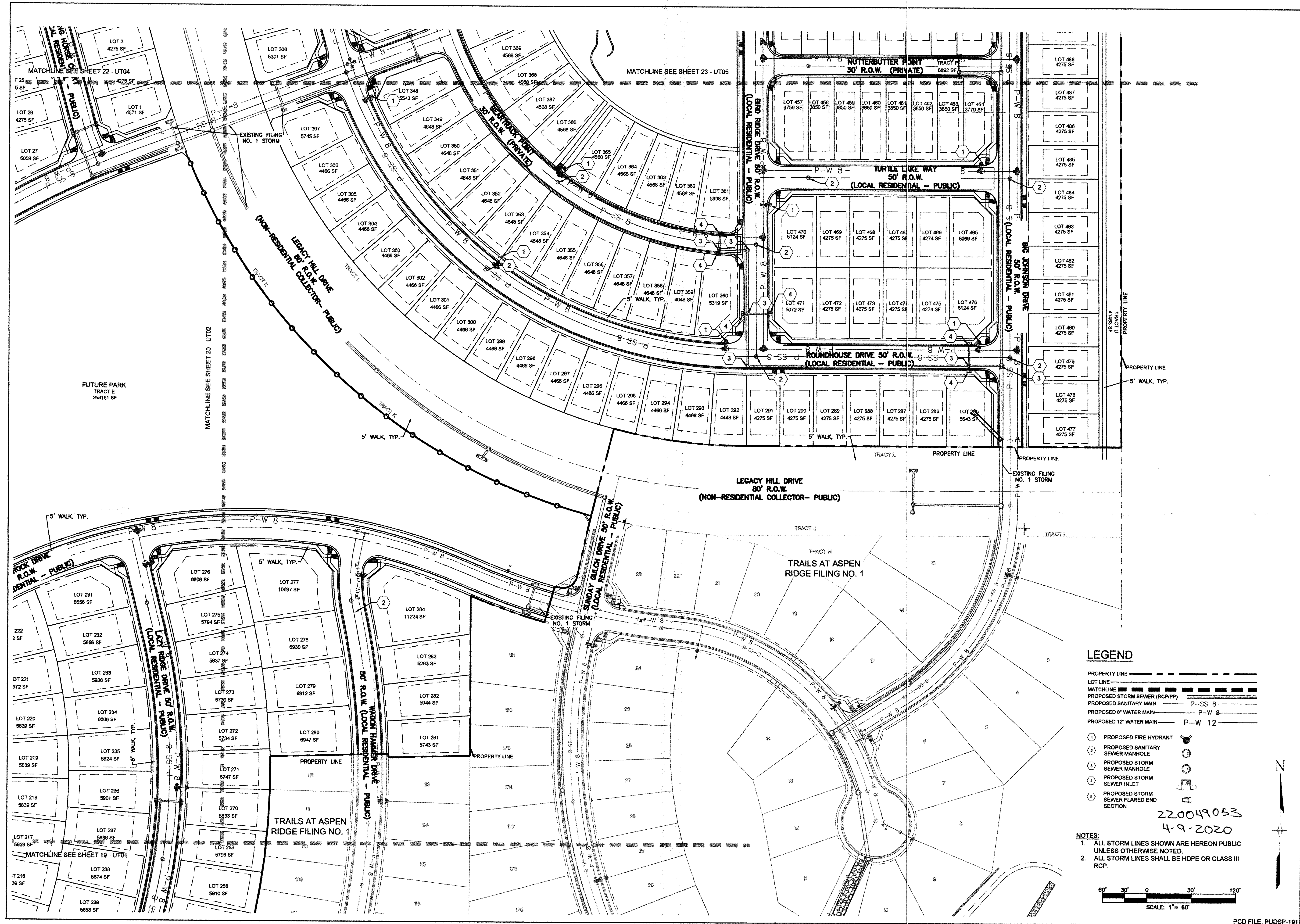
MATCHLINE SEE SHEET 21 - UT03

LEGEND

- PROPERTY LINE
- MATCHLINE
- PROPOSED STORM SEWER (RCP)
- PROPOSED SANITARY MAIN
- PROPOSED 12" WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY
- SEWER MANHOLE
- PROPOSED STORM
- SEWER MANHOLE
- PROPOSED STORM
- SEWER INLET
- PROPOSED STORM
- SEWER LINED END

- NOTES
- 1. ALL STORM LINES SHOWN ARE HEREON PUBLIC
- 2. ALL STORM LINES SHALL BE HOPE OR CLASS III





TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/ SP

EL PASO COUNTY
DECEMBER 2019

OWNER:
COLA, LLC
555 MIDDLE CREEK PKWY, SUITE 380
COLORADO SPRINGS, CO 80921
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DEVELOPER:
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ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
REV2 COMMENT RESPONSE: AUGUST, 2019
REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:

PROJECT NO.: 19.886.008

DRAWN BY: BS

CHECKED BY: NS

APPROVED BY: GS

SHEET TITLE:

PRELIMINARY
UTILITY PLAN

UT03

SHEET 21 OF 24

PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN

CONSULTANT:
PLANNERS/LANDSCAPE ARCHITECT/CIVIL ENGINEER



2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Phone 719-575-0100
Fax 719-575-0208

PROJECT:
TRAILS AT ASPEN RIDGE
PUD/SP

EL PASO COUNTY
DECEMBER 2019

OWNER:
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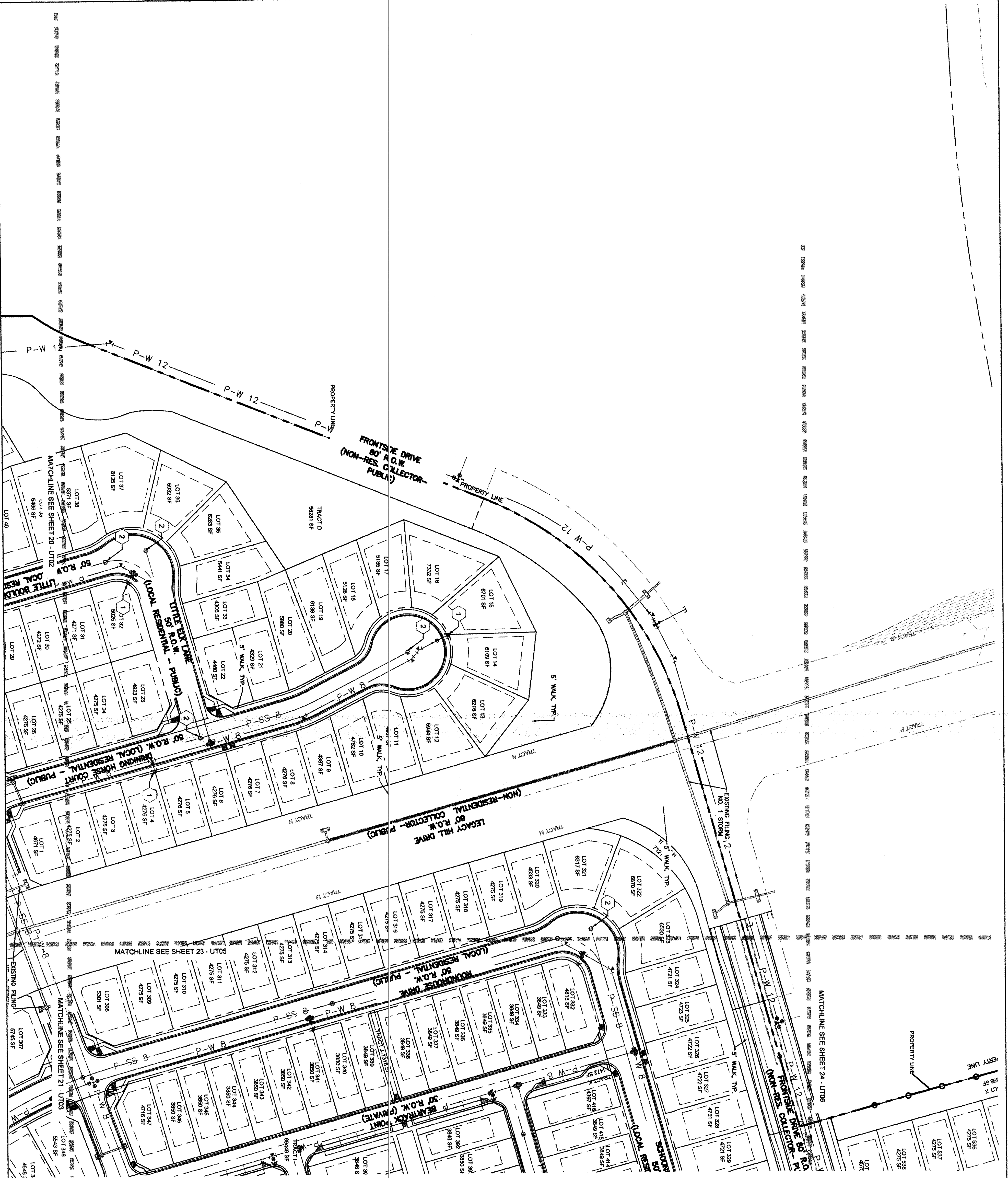
ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE, JUNE, 2019
REV2 COMMENT RESPONSE, AUGUST, 2019
REV3 COMMENT RESPONSE, SEPTEMBER, 2019
REV4 BOCC APPROVAL, DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO. 19-086-008
DRAWN BY: BS
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE

PRELIMINARY
UTILITY PLAN

UT04

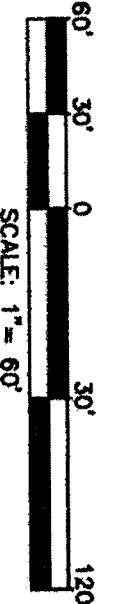
SHEET 22 OF 24



LEGEND

- PROPERTY LINE
- LOT LINE
- MATCHLINE
- PROPOSED STORM SEWER (RCP/PP)
- PROPOSED SANITARY MAIN
- PROPOSED 12" WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY
- PROPOSED STORM
- SEWER MANHOLE
- PROPOSED STORM
- SEWER INLET
- PROPOSED STORM
- SECTION

NOTES:
1. ALL STORM LINES SHOWN ARE HEREON PUBLIC
UNLESS OTHERWISE NOTED.
2. ALL STORM LINES SHALL BE HDPE OR CLASS III
RCP.



POD FILE: PUDSP-191



TRAILS AT ASPEN RIDGE
 EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY SITE PLAN**

CONSULTANT:
 PLANNER/LANDSCAPE ARCHITECT/CIVIL ENGINEER:

Matrix
 2435 Research Parkway, Suite 300
 Colorado Springs, CO 80920
 Phone 719-575-0100
 Fax 719-575-0208

PROJECT:
**TRAILS AT ASPEN RIDGE
 PUD/ SP**

EL PASO COUNTY
 DECEMBER 2019

OWNER:
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ISSUE: DECEMBER, 2019
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 REV3 COMMENT RESPONSE: SEPTEMBER, 2019
 REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
 PROJECT NO: 19.886.008
 DRAWN BY: BS
 CHECKED BY: NS
 APPROVED BY: GS
 SHEET TITLE:

**PRELIMINARY
 UTILITY PLAN**

UT05
 SHEET 23 OF 24
 PCD FILE: PUDSP-191

TRAILS AT ASPEN RIDGE
EL PASO COUNTY, COLORADO
**PLANNED UNIT DEVELOPMENT AND
PRELIMINARY SITE PLAN**

CONSULTANT:
PLANNER/ LANDSCAPE ARCHITECT/ CIVIL ENGINEER:

Matrix
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
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Fax 719-575-0208

PROJECT:
**TRAILS AT ASPEN RIDGE
PUD/ SP**

EL PASO COUNTY
DECEMBER 2019

OWNER:
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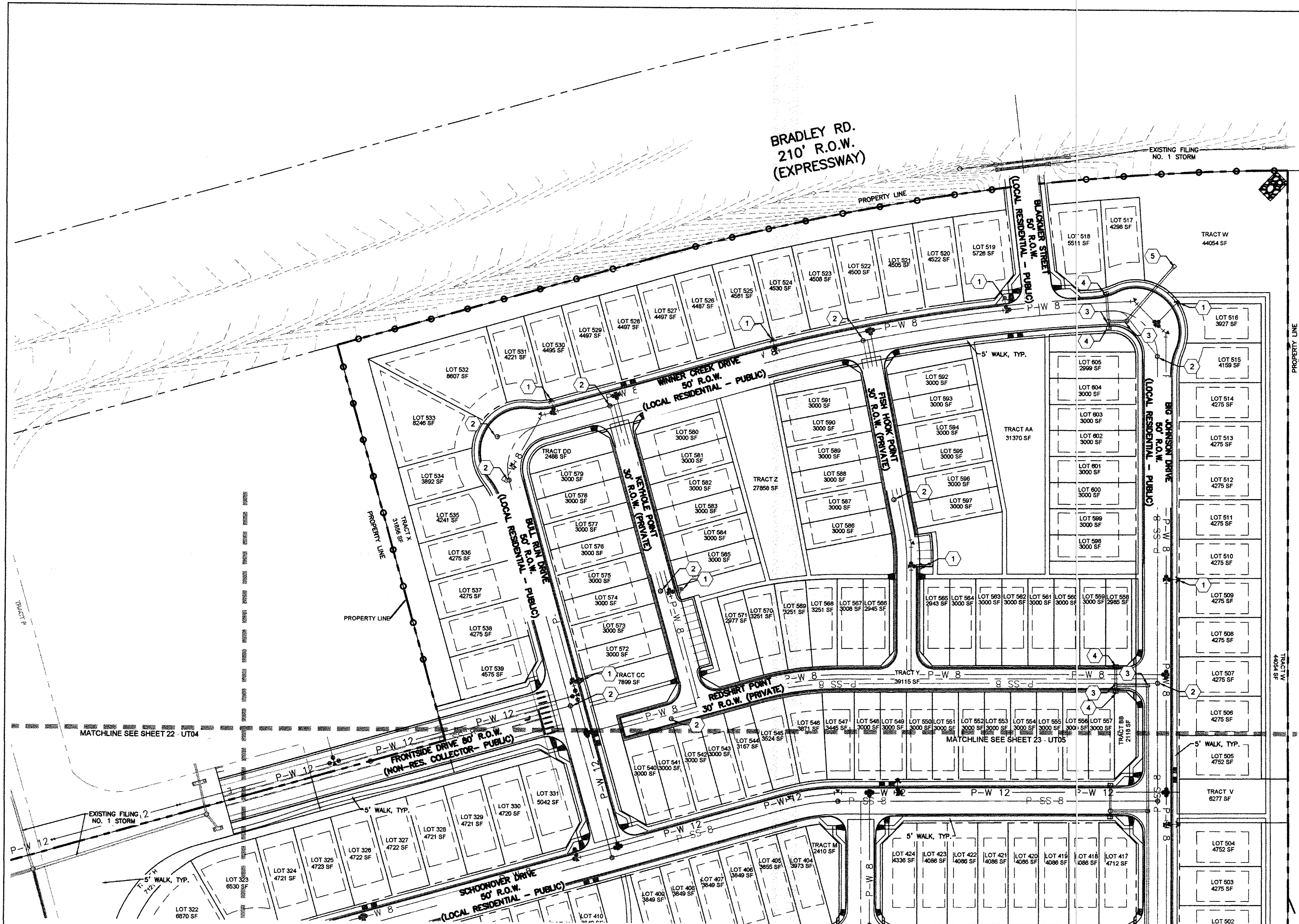
ISSUE: DECEMBER, 2019
REV1 COMMENT RESPONSE: JUNE, 2019
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REV3 COMMENT RESPONSE: SEPTEMBER, 2019
REV4 BOCC APPROVAL: DECEMBER, 2019

DRAWING INFORMATION:
PROJECT NO: 19.886.008
DRAWN BY: BS
CHECKED BY: NS
APPROVED BY: GS
SHEET TITLE:

**PRELIMINARY
UTILITY PLAN**

UT06

SHEET 24 OF 24



LEGEND

- PROPERTY LINE
- LOT LINE
- MATCHLINE
- PROPOSED STORM SEWER (RCP/PP)
- PROPOSED SANITARY MAIN
- PROPOSED 8" WATER MAIN
- PROPOSED 12" WATER MAIN
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY SEWER MANHOLE
- PROPOSED STORM SEWER MANHOLE
- PROPOSED STORM SEWER INLET
- PROPOSED STORM SEWER FLARED END SECTION

220049053
4.9.2020
NOTES:
1. ALL STORM LINES SHOWN ARE HEREON PUBLIC UNLESS OTHERWISE NOTED.
2. ALL STORM LINES SHALL BE HOPE OR CLASS III RCP.
SCALE: 1" = 60'
PCD FILE: PUDSP-191