

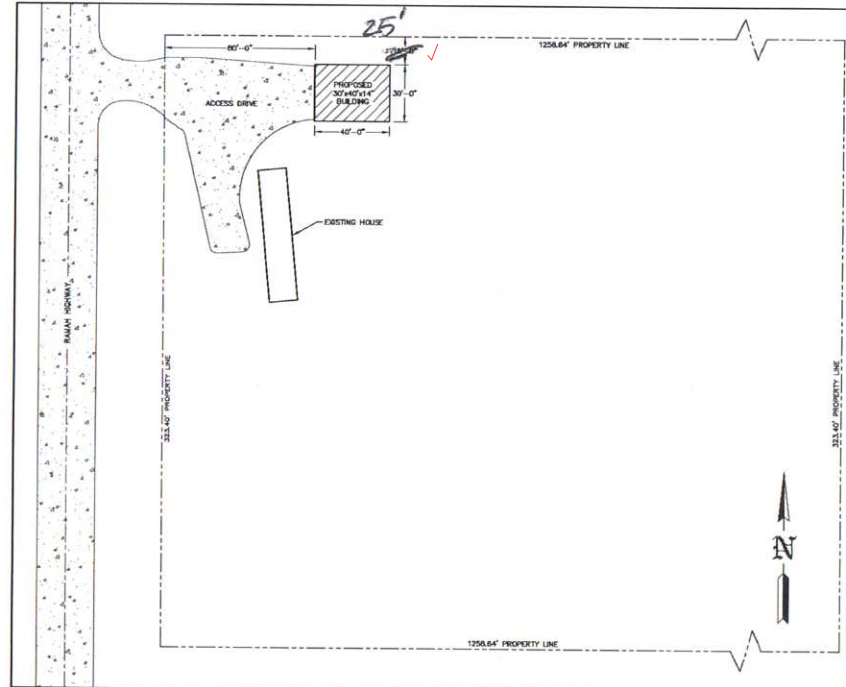
ADD26541
RR-5
PLAT - 6847
AREA - 9.37 ACRES



This parcel is in a low/moderate/high intensity fire risk area. Please reach out to the local fire district regarding recommendations for compliance with the WRC code.

BUILDING SPECIFICATIONS	
OWNERS INFORMATION	
- NAME:	DEBORAH HAMM
- ADDRESS:	20325 RAMAH HIGHWAY
- CITY:	RAMAH
- STATE:	CO
- ZIP:	80832
BUILDING DESIGN INFORMATION	
- DESIGN CODE:	2023 FIVE'S PEAK REGIONAL BUILDING CODE (2021 IBC)
- USE OF BUILDING:	PERMANENT UPGRADE GROUP: (U)
- OCCUPANCY CLASSIFICATION:	2
- CONSTRUCTION TYPE:	2
- RISK CATEGORY:	2
- THE SUPPRESSION SYSTEM:	NO
BUILDING AREA	
- AREA OF WORK:	1200 SQFT
- MEZZANINE AREA:	0 SQFT
- EXISTING BUILDING AREA:	0 SQFT
- TOTAL BUILDING AREA:	1200 SQFT
ALLOWABLE AREA	
- TABLE AREA:	5500 SQFT
- FURNITURE INCREASE:	0 SQFT
- SPRINKLER INCREASE:	0 SQFT
- TOTAL ALLOWABLE AREA:	5500 SQFT
BUILDING DESIGN LOADS	
- (Pu) =	5.50 PSF
- (Cw) =	1.00
- (Cs) =	1.00
- (Pv) =	36.12 PSF
- (Cv) =	0.90
- (Pa) =	33.06 PSF
- (Pv) =	20.00 PSF
WIND	
- B.W.S. =	130 MPH
- EXPOSURE =	C
SEISMIC	
- SEISMIC IMPORTANCE FACTOR:	1.00
- SPECTRA RESPONSE COEFFICIENT SDS:	0.352
- SPECTRA RESPONSE COEFFICIENT SDI:	0.084
- SITE CLASSIFICATION:	D
- SEISMIC DESIGN CATEGORY:	II
TRAFFIC DEAD LOADS	
- ON TC =	6 PSF
- ON LC =	2 PSF

GENERAL NOTES	
PLEASE NOTE:	- DESIGNER LIABILITY LIMITED TO THE PREPARATION OF THE DRAWINGS WITH THE PARAMETER CONTRACTED AND ASCERTAINING TO CODE COMPLIANCE. - THESE DRAWINGS ARE DIAGNOSTIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE RECEIVED FROM THE ENGINEER THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, & DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK. - NO CHANGES, MODIFICATIONS, OR DEVIATIONS SHALL BE MADE FROM THESE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ENGINEER. - WHERE LACK OF INFORMATION OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ENGINEER BEFORE PROCEEDING WITH THAT PORTION OF THE WORK. - IMPORTANTLY THIS BUILDING IS DESIGNED USING THE ROOF AS A DIAPHRAGM (DEEP-TIE ROOF) TO TRANSFER SIDEWALL AND ROOF WIND LOADS TO THE ENDWALL SHEAR WALLS. STEEL PANELS ARE AN INTEGRAL PART OF THE BUILDING STRUCTURE AND ANY FUTURE FIELD MODIFICATIONS MADE MAY BE DETRIMENTAL TO THE BUILDING'S STRUCTURAL PERFORMANCE. - ROOF SYSTEM USES A SLURRY ROOF SURFACE. THE USE OF ACCESSORIES TO PREVENT THE SLIDING OF SNOW IS NOT PERMITTED. THESE PLANS ARE FOR THE STRUCTURAL BUILDING DESIGN. ANY FEATURES DEEMED BY THE BUILDING OFFICIAL REQUIRING ARCHITECTURAL REVIEW SHALL BE PERFORMED BY A LICENSED ARCHITECT.
SOIL:	- OWNER RESPONSIBLE FOR VERIFYING SITE SOIL CONDITIONS. ALL SOILS TO MEET OR EXCEED REQUIREMENTS AS REFERENCED IN THE GENERAL NOTES. CONSULT GEOTECHNICAL ENGINEER IF NECESSARY. - ALL SOILS BELOW CONCRETE SHALL BE A NON-FROST SUSCEPTIBLE SOIL AS REQUIRED IN ASCE 32. - FOOTINGS TO BE ABOVE THE WATER TABLE. - ALL FOOTINGS AND SLAB TO BEAR ON UNDISTURBED INORGANIC SOIL OR SOIL COMPACTED TO 95% MOIST PROCTOR DENSITY. - SOIL DESIGN BASED ON BC CHAPTER 18 (CHAPTERS 1A, 1B, 21, 22 AND 23) - PRESUMPTIVE SOIL TYPE FROM WEB SOIL SURVEY, USDA AND NETCS (CLASS OF MATERIAL: SM, SP, SA, AND SC). - SOIL COMPOSITION: MEDIUM - A SOIL BEARING PRESSURE AT GRADE ASSUMED AT A MINIMUM 2000 PSF.
CONCRETE:	- CONCRETE SHALL BE IN ACCORDANCE WITH ACI 318. - CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS. - ALL DEFORMED REBAR SHALL MEET A515 GRADE 60 OR BETTER.
LUMBER:	- ALL WOOD CONSTRUCTION SHALL BE OF MATERIALS SHOWN AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE NATIONAL FOREST PRODUCTS ASSOCIATION SPECIFICATIONS FOR WOOD CONSTRUCTION. - ALL 2x4, 2x6, 2x8 LUMBER SHALL BE #2 SFT OR BETTER UNLESS NOTED OTHERWISE. ALL 2x10 & 2x12 LUMBER SHALL BE AS SPECIFIED ON THE BUILDING PERMITS. - FOR LUMBER REQUIRED TO BE PROTECTED FROM DECAY AND/OR INSECTS, SEE MOST CURRENT ANFA U1 FOR USE CATEGORIES AND EXPOSURE CONDITIONS.
STEEL TRIMS:	- COLOR MATCHED STEEL TRIMS - CEILING-4-STAR 1000 PAINT SYSTEM
FRAMING FASTENERS:	- ALL FASTENERS SHALL BE AS LISTED BELOW UNLESS NOTED OTHERWISE. - ALL FASTENERS SHALL BE EXTERIOR RATED FINISH UNLESS NOTED OTHERWISE.
PANEL FASTENERS:	15# RINGSHANK NAILS (14"x9") 30# RINGSHANK NAILS (17"x9") 30# RINGSHANK NAILS (20"x9")
HANDLING AND STORAGE:	- ALL WIPX PRODUCTS, I.E. JOIST HANGERS, TRUSS TIES, FRAMING ANGLES, ETC., SHALL BE SECURED PER MANUFACTURER'S SPECIFICATIONS UNLESS NOTED OTHERWISE. - COLOR MATCHED GALVANIZED WOODSHP. SCREWS, #10 DIAMETER, 1/4" HEX HEAD. - ALL STEEL PANELS AND TRUSS PRODUCTS SHOULD BE HANDLED AND STORED PER MANUFACTURER SPECIFICATIONS. - ALL FINISHED GRADES TO SLOPE AWAY FROM BUILDING AT A MIN. SIX GRADE FOR PROPER DRAINAGE (2% FOR IMPERVIOUS SURFACES) (IRC 1804).
CONSTRUCTION BRACING:	TEMPORARY BRACING DURING CONSTRUCTION SHALL BE CONTRACTORS' RESPONSIBILITY. REFER TO BC28-S1 AND/OR BC10 SUMMARY SHEET "GUIDE FOR HANDLING, INSTALLING, RESTRAINING AND BRACING OF TRUSSES", BY THE TRUSS PLATE INSTITUTE (TPI) AND THE WOOD TRUSS COUNCIL OF AMERICA (WTCA).
HVAC:	HEATING, VENTILATING, AND AIR CONDITIONING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE APPROVED BY LOCAL OFFICIALS.
PLUMBING:	PLUMBING REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH REQUIRED BUILDING CODES.
ELECTRICAL:	ELECTRICAL REQUIREMENTS WERE NOT ADDRESSED ON THE DRAWINGS AND SHOULD BE INSTALLED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE AND ANY LOCAL CODES.



SITE PLAN
SCALE: 1"=30'

BUILDING INFORMATION:
NAME: DEBORAH HAMM
ADDRESS: 20325 RAMAH HIGHWAY
CITY: RAMAH
STATE: CO
ZIP: 80832
COUNTY: EL PASO

NOTE:
OWNER/CONTRACTOR SHALL PROVIDE A PLAT OF SURVEY WITH PROPOSED BUILDING LOCATIONS AND VERIFY ALL PROPOSED BUILDING SCHEMATIC AND LOCATION ON THE PROPERTY WITH LOCAL BUILDING OFFICIAL AT THE TIME OF CONSTRUCTION AND MAKE ADJUSTMENTS ACCORDINGLY.

APPROVED
Plan Review
09/03/2024 10:16:30 AM
(Signature)
EPC Planning & Community Development Department

ANY APPROVAL GIVEN BY EL PASO COUNTY IS THE SOLE RESPONSIBILITY OF THE APPLICANT TO COMPLY WITH APPLICABLE FEDERAL, STATE OR LOCAL LAWS AND/OR REGULATION. No other person shall be permitted to use the Planning & Community Development Department logo for the establishment of any business or a County seal. Division of design of any drawings may be performed by the Planning & Community Development Department.

It is the owner's responsibility to coordinate with easement holders to avoid impact to utilities that may be located in the easements.



FOR QUESTIONS PLEASE CONTACT BUILDING DEPARTMENT AT THE FOLLOWING: ENGINEERING@ELPASOCOUNTYMANUFACTURING.COM

CONTRACTOR:		
MILLS CONSTRUCTION		
PROJECT NAME:		
DEBORAH HAMM POLE BARN		
20325 RAMAH HIGHWAY RAMAH, CO		
PROF. ENGINEER:	JEFF MURRAY	
PLAN DESIGNER:	JEFF MURRAY	
DRAWN BY:	DAS	
DATE:	9/7/2024	
SCALE:	AS NOTED	
REVISIONS		
NO.	DATE	DESCRIPTION
1		
2		
SHEET TITLE:		
GENERAL NOTES, BUILDING SPECIFICATIONS, AND SITE PLAN		
FILE NAME: U5422660		
SHEET NO.		



S2

RESIDENTIAL



2023 PPRBC
IECC: N/A

Address: 20325 RAMAH HWY, RAMAH

Parcel: 100000125

Plan Track #: 216519 

Received: 01-Sep-2026 (NICOLASV)

Description:

DETACHED GARAGE (UNCONDITIONED)

Contractor: HOMEOWNER

Type of Unit:

Required PPRBD Departments (2)

Floodplain

(N/A) RBD GIS

Construction

Released for Permit

09/02/2026 12:54:58 PM



CONSTRUCTION

Required Outside Departments (1)

County Zoning

APPROVED

Plan Review

09/03/2026 10:23:30 AM

dsdmaes

EPC Planning & Community
Development Department

Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.