

Letter of Intent

To: El Paso County
Community Development

From: Galloway & Company, Inc
Brynhildr Halsten, PLA

Re: **Meridian Storage Site Development Plan**

Owner: **Mike Texer**
Meridian Storage LLC
11750 Owl Place
Peyton, CO 80831

Consultant: **Galloway & Company Inc.**
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
Brynhildr Halsten, PLA
brynhildrhalsten@gallowayus.com
719.900.7220

PCD File:

PPR23-xxx

PPR2336

Site Details:

TSN: 5301001001 (Lot 1 Falcon Ranchettes)
Address: 11750 Owl Place,
Acreage: 4.61
Current Zoning: RR-5
Proposed Zoning: CS
Current Use: Mobile Home

TSN: 5301001002 (Lot 2 Falcon Ranchettes)
Address: 11690 Owl Place
Acreage: 5
Current Zoning: RR-5
Proposed Zoning: CS
Current Use: Vacant

Please note the
SDP cannot be
approved until the
replat is recorded.



REQUEST

Galloway, on behalf of Meridian Storage LLC, requests approval of a Site Development Plan on approximately 9.61 Acres west of the intersection of Meridian Road and Owl Place. The Site Development Plan proposes a self-storage facility on Lot 1 and RV Storage (85 spaces) on Lot 2.

SITE DESCRIPTION

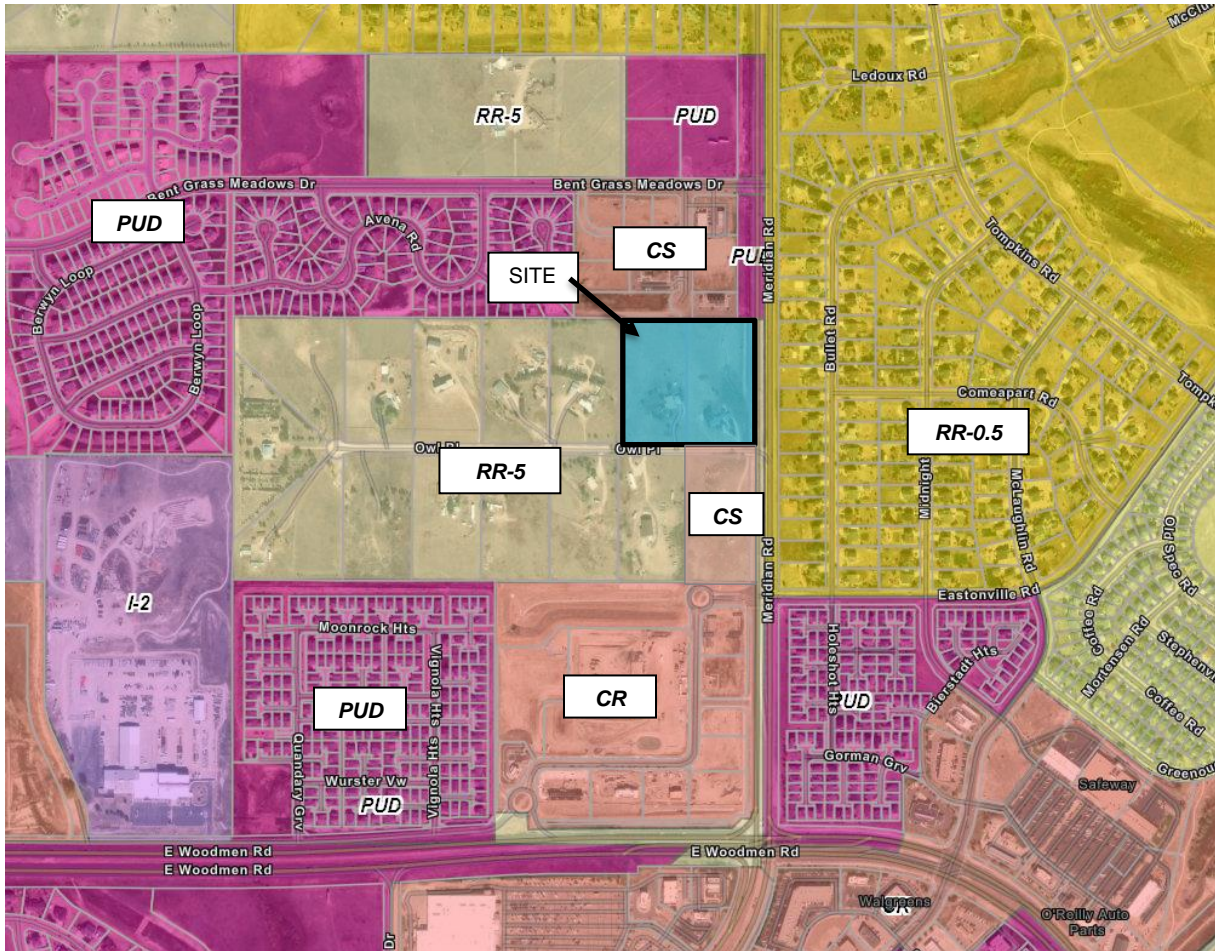
Location & Land Use

The Project is in El Paso County west of Meridian Road a divided, 4 lane road with commercial and residential uses and north of Owl Place. A dental clinic and a veterinary clinic are located directly north, residential lots are located to the west and existing/future commercial to the south. Lot 1 and 2 are currently vacant with residential buildings on the properties. The properties slope from the north to the south. The site is mostly native prairie grassland and weeds with trees sparsely located around the site.



Zoning:

The property is proposed to be zoned as CS and is currently awaiting final approval by the Board of County Commissioners. The property west is zoned RR-5. The property to the south recently was rezoned to CS. The properties to the north are zoned CS. The residential area to the east is zoned RR-0.5.



PROJECT DESCRIPTION & CONTEXT

This Site Development Plan is requested to facilitate the development of a self-storage facility and RV storage. As the area surrounding the original Falcon Ranchettes subdivision has developed, the land uses have redeveloped into a more intense urban development that utilizes urban services. The proposed self-storage and RV storage matches the urban character and intensity while accommodating the increase in population with commercial services. The intended self-storage and recreation vehicle storage would provide additional commercial services to the growing neighborhoods in the Falcon area.

Both parcels are owned by the applicant Mike D. Texer. The subject property is currently vacant and surrounded by a mix of residential and commercial uses. A lighting plan has been provided with the Site Development Plan set. Overall site lighting includes 20' site pole fixtures and building mounted. All fixtures will be downcast. Landscape screening and buffering measures are proposed to enhance aesthetics and reduce visual impacts. Evergreen trees and shrubs are strategically placed to mitigate impacts from parked vehicle

headlights to the residential lots to the west. The development will meet all building setback and maximum lot coverage requirements as shown on the Site Development Plan Site Plan.

DEFINITION OF PROPOSED USE AND SPECIFIC DEVELOPMENT STANDARDS

Definition:

Mini-Warehouses are permitted in the CS zone district, and are defined as:

“Buildings designed primarily for the storage of household items and inventory of small commercial businesses where storage units are individually leased or rented, where access to storage units is infrequent, and where no utilities are provided except for the service of a manager’s apartment and for lighting and climate control of individual storage units.”

Automobile and Boat Storage Yards are permitted in the CS zone district, and are defined as:

“A lot, parcel, or structure used for temporary storage of operable automobiles, trucks under 5 tons rated capacity, campers, recreational vehicles, trailers, or boats, not owned by the property owner, where typically the storage occurs when they are not in use and for a fee. The term shall not include scrap metal processing yards, vehicle dismantling yards, or salvage yards.”

Specific Development Standards:

While there are no specific development standards for mini-warehouses, such use is permitted in the CS zone district.

Automobile and boat storage yards are subject to the following specific development standard:

- Display and storage areas shall be on a surface approved by the applicable fire department.

UTILITIES

Electric:

Electric service will be provided by Mountain View Electric. A commitment letter was included with the replat application. In the letter, Mountain View Electric states that these services are available to meet the demands of the new development.

Water:

The proposed self-storage facility will be served by a central water supply system provided by Woodmen Hills Metropolitan District. A commitment letter was included with the replat application.

Wastewater:

The proposed self-storage facility will be served by a central sanitary sewer system provided by Woodmen Hills Metropolitan District. A commitment letter was included with the replat application.

Natural Gas:

Natural gas service will be provided by Colorado Springs Utilities. A commitment letter was included with the replat application. In the letter, CSU states that these services are available to meet the demands of the new development.

ACCESS AND TRAFFIC

Access:

Upon completion, the proposed site will have two full movement accesses. One access will be located along Owl Place. Meridian Park Drive will be extended to the south, where it will provide a second access to the site.

Traffic:

A Traffic Impact Study (TIS) was submitted for this site as part of the rezone and replat applications. The TIS provides recommendations for improvements to existing surrounding streets that will support this development. The TIS analyzed the proposed development of 158 storage units and 95 RV storage spaces and determined the development will generate approximately 46 daily weekday trips. The site will generate 3 morning peak hour trips and 4 afternoon peak hour trips. The TIS found that the project will have minimal effect on the existing and future roadway network and any recommendations to improve failing intersections are the responsibility of El Paso County to be implemented.

PARKING

Parking requirements for mini-warehouses are based on the number of storage units and number of employees. The development consists of 158 storage units and will have a maximum of 1 employee on the premises. The Land Development Code requires 1 space per 100 units, plus 1 space per employee. Therefore, a total of 3 parking spaces are required. The development provides a total of 4 parking spaces, including 1 ADA van accessible space. The development will also provide 95 recreational vehicle storage spaces to rent for long-term storage.

STORMWATER

There is an existing stormwater conveyance ditch on the east property line of the site that conveys flows from north to south along Meridian Road. As a part of this development, it is proposed to capture and route the off-site flows via conduit through the site, matching the existing outfall location. All on-site stormwater will be captured and conveyed to the on-site water quality and detention pond, where stormwater will be treated and released in accordance with County standards, following historic drainage patterns. All on-site drainage improvements will be owned and maintained by the owner of the development.

A Final Drainage Report is included with this submittal. The purpose of this report is to:

1. Identify on-site and off-site drainage patterns.
2. Design storm water facilities to collect and convey storm runoff from the proposed development to appropriate discharge and/or detention locations.
3. Design water quality and detention facilities to control discharge release rates to below historic.
4. Demonstrate compliance with surrounding major drainage basin planning studies, master development drainage plans, and flood insurance studies.

ENVIRONMENTAL

Wetlands & Floodplain:

There are no wetlands within the project boundaries. The site is located in Zone X (FEMA Floodplain Map No. 08041C0553G dated December 7, 2018), indicating the flood risk of the site is deemed by FEMA to be 'minimal'.

Wildlife:

In general, the site provides poor quality habitat for wildlife. The site is surrounded by urban development and has been previously disturbed and thus does not provide ideal habitat for wildlife species. Impact of development on potential wildlife habitat will be negligible and there are no known protected species on the site. The site is not suitable habitat for any Federally-listed threatened and endangered species.

Wildfire:

The primary wildland fuel type is grassland. The Colorado State Forest Service has determined a moderate-high wildfire hazard potential and listed a moderate risk, as this area is currently undisturbed grassland. Development of the site will reduce available wildfire fuels in this area.

LANDSCAPE, BUFFERING & SCREENING

Perimeter Landscape and Buffering:

Landscaping at the perimeter of the property is required based on proximity to right of way and existing single-family detached residential development, and will be provided below:

Street Name	Street Classification	Landscape Width	Number of Trees
Meridian Road	Expressway/Principal Arterial	25'	1 per 20 feet
Owl Place	Non-Arterial	10'	1 per 30 feet
Meridian Park Drive	Non-Arterial	10'	1 per 30 feet

A 15' wide buffer, comprised of one tree per 25' (of which a minimum of 1/3 shall be evergreen trees), is required and is provided between the adjacent residential lot to the west.

Parking Lot Landscaping:

Parking lots are required to be screened to a minimum height of 3' from view of adjacent roads and properties with differing land use. Two-thirds of the lot line with parking that abuts the street/differing land use must be screened. This screening is accomplished with trees and shrubs.

Internal Landscaping:

A minimum of 5% of the lot area is required to be landscaped, and include one tree per 500 square feet of required landscape area. With a development area of 418,612 sq ft, 20,931 sq ft must be landscaped, and must include 42 trees. A total of 142,969 sq ft of internal landscaped area is provided, comprised of 29 trees and shrubs.

Screening:

Screening of differing uses and public streets at a height of 3' is also required, and is accomplished with trees, shrubs and walls.

Conclusion

The Site Development Plan is harmonious and consistent with the surrounding land uses. The Proposed Development complies with the requirements of the zone district in which it is located, is consistent with the intent and purpose of the Zoning Code and is compatible with the land uses surrounding the site.

Please contact me at 719-900-7220 with any questions or comments.

Sincerely,
GALLOWAY
Brynhildr Halsten, PLA

2023 Financial Assurance Estimate Form
(with pre-plat construction)

PPR2326

EPC STORMWATER REVIEW COMMENTS
IN ORANGE BOXES WITH BLACK TEXT

Updated: 12/8/2022

PROJECT INFORMATION

Falcon Ranchettes Filing No. 1a (Meridian Storage)	9/8/2023	PPR-23-XXX
Project Name	Date	PCD File No.

This should just be Meridian Storage

Description	Quantity	Units	Unit Cost	Total	(with Pre-Plat Construction)
					% Complete Remaining

SECTION 1 - GRADING AND EROSION CONTROL (Construction and Permanent BMPs)

Earthwork					
less than 1,000; \$5,300 min		CY	\$ 8.00	= \$ -	\$ -
1,000-5,000; \$8,000 min		CY	\$ 6.00	= \$ -	\$ -
5,001-20,000; \$30,000 min		CY	\$ 5.00	= \$ -	\$ -
20,001-50,000; \$100,000 min	28,024	CY	\$ 3.50	= \$ 100,000.00	\$ 100,000.00
50,001-200,000; \$175,000 min		CY	\$ 2.50	= \$ -	\$ -
greater than 200,000; \$500,000 min		CY	\$ 2.00	= \$ -	\$ -
Permanent Erosion Control Blanket		SY	\$ 8.00	= \$ -	\$ -
Permanent Seeding (inc. noxious weed mgmt.) & Mulching	1.8	AC	\$ 1,875.00	= \$ 3,375.00	\$ 3,375.00
Permanent Pond/BMP (Itemized in Final Drainage Report)	1	EA	\$ 71,672.00	= \$ 71,672.00	\$ 71,672.00
Concrete Washout Basin	1	EA	\$ 1,089.00	= \$ 1,089.00	\$ 1,089.00
Inlet Protection	9	EA	\$ 202.00	= \$ 1,818.00	\$ 1,818.00
Rock Check Dam	1	EA	\$ 605.00	= \$ 605.00	\$ 605.00
Safety Fence	504	LF	\$ 3.00	= \$ 1,512.00	\$ 1,512.00
Sediment Basin	1	EA	\$ 2,132.00	= \$ 2,132.00	\$ 2,132.00
Sediment Trap		EA	\$ 500.00	= \$ -	\$ -
Silt Fence	652	LF	\$ 3.00	= \$ 1,956.00	\$ 1,956.00
Slope Drain	16	LF	\$ 40.00	= \$ 640.00	\$ 640.00
Straw Bale		EA	\$ 31.00	= \$ -	\$ -
Straw Wattle/Rock Sock	1,020	LF	\$ 7.00	= \$ 7,140.00	\$ 7,140.00
Surface Roughening		AC	\$ 250.00	= \$ -	\$ -
Temporary Erosion Control Blanket		SY	\$ 3.00	= \$ -	\$ -
Temporary Seeding and Mulching	1.8	AC	\$ 1,666.00	= \$ 2,998.80	\$ 2,998.80
Vehicle Tracking Control	4 3	EA	\$ 2,867.00	= \$ 8,601.00	\$ 8,601.00
Curb Rock Sock	20	EA	\$ 50.00	= \$ 1,000.00	\$ 1,000.00
12" PVC Pipe		EA		= \$ -	\$ -
6" PVC Pipe		EA		= \$ -	\$ -
<i>[insert items not listed but part of construction plans]</i>				= \$ -	\$ -
MAINTENANCE (35% of Construction BMPs)					\$ 9,940.98
Section 1 Subtotal					\$ 214,479.78

Need to account for the RCD (4) in the estimate.

Note all public improvements should be listed on the FAE that is part of the replat VR239 that matches the CDs. This FAE should include the onsite GEC and site specific improvements and stormwater

* - Subject to defect warranty financial assurance. A minimum of 20% shall be

SECTION 2 - PUBLIC IMPROVEMENTS *

Construction Traffic Control	1.0	LS	\$ 10,000.00	= \$ 10,000.00	\$ 10,000.00
Aggregate Base Course (135 lbs/cf)		Tons	\$ 34.00	= \$ -	\$ -
Aggregate Base Course (135 lbs/cf)	1,555.0	CY	\$ 61.00	= \$ 94,855.00	\$ 94,855.00
Asphalt Pavement (3" thick)		SY	\$ 17.00	= \$ -	\$ -
Asphalt Pavement (4" thick)	4,666.0	SY	\$ 23.00	= \$ 107,318.00	\$ 107,318.00
Asphalt Pavement (6" thick)		SY	\$ 35.00	= \$ -	\$ -
Asphalt Pavement (147 lbs/cf) ___" thick		Tons	\$ 106.00	= \$ -	\$ -
Raised Median, Paved		SF	\$ 10.00	= \$ -	\$ -
Regulatory Sign/Advisory Sign	3.0	EA	\$ 364.00	= \$ 1,092.00	\$ 1,092.00
Guide/Street Name Sign	1.0	EA		= \$ -	\$ -
Epoxy Pavement Marking		SF	\$ 16.00	= \$ -	\$ -
Thermoplastic Pavement Marking		SF	\$ 28.00	= \$ -	\$ -
Barricade - Type 3		EA	\$ 241.00	= \$ -	\$ -
Delineator - Type I		EA	\$ 29.00	= \$ -	\$ -
Curb and Gutter, Type A (6" Vertical)	1,948.0	LF	\$ 35.00	= \$ 68,180.00	\$ 68,180.00
Curb and Gutter, Type B (Median)	303.0	LF	\$ 35.00	= \$ 10,605.00	\$ 10,605.00
Curb and Gutter, Type C (Ramp)	15.0	LF	\$ 35.00	= \$ 525.00	\$ 525.00
4" Sidewalk (common areas only)		SY	\$ 58.00	= \$ -	\$ -
5" Sidewalk	1,108.0	SY	\$ 72.00	= \$ 79,776.00	\$ 79,776.00
6" Sidewalk		SY	\$ 87.00	= \$ -	\$ -
8" Sidewalk		SY	\$ 116.00	= \$ -	\$ -
Pedestrian Ramp	14.0	EA	\$ 1,390.00	= \$ 19,460.00	\$ 19,460.00
Cross Pan, local (8" thick, 6' wide to include return)	292.0	LF	\$ 73.00	= \$ 21,316.00	\$ 21,316.00
Cross Pan, collector (9" thick, 8' wide to include return)		LF	\$ 111.00	= \$ -	\$ -
Curb Opening with Drainage Chase		EA	\$ 1,790.00	= \$ -	\$ -
Guardrail Type 3 (W-Beam)		LF	\$ 60.00	= \$ -	\$ -
Guardrail Type 7 (Concrete)		LF	\$ 87.00	= \$ -	\$ -
Guardrail End Anchorage		EA	\$ 2,538.00	= \$ -	\$ -
Guardrail Impact Attenuator		EA	\$ 4,556.00	= \$ -	\$ -
Sound Barrier Fence (CMU block, 6' high)		LF	\$ 95.00	= \$ -	\$ -
Sound Barrier Fence (panels, 6' high)		LF	\$ 97.00	= \$ -	\$ -
Electrical Conduit, Size =		LF	\$ 20.00	= \$ -	\$ -
Traffic Signal, (provide engineer's estimate)		EA		= \$ -	\$ -
<i>[insert items not listed but part of construction plans]</i>				= \$ -	\$ -

PROJECT INFORMATION

Falcon Ranchettes Filing No. 1a (Meridian Storage)

9/8/2023

PPR-23-XXX

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
STORM DRAIN IMPROVEMENTS							
Concrete Box Culvert (M Standard), Size (W x H)		LF		=	\$ -		\$ -
18" Reinforced Concrete Pipe	39	LF	\$ 76.00	=	\$ 2,964.00		\$ 2,964.00
24" Reinforced Concrete Pipe		LF	\$ 91.00	=	\$ -		\$ -
30" Reinforced Concrete Pipe		LF	\$ 114.00	=	\$ -		\$ -
36" Reinforced Concrete Pipe	42	LF	\$ 140.00	=	\$ 5,880.00		\$ 5,880.00
42" Reinforced Concrete Pipe		LF	\$ 187.00	=	\$ -		\$ -
48" Reinforced Concrete Pipe		LF	\$ 228.00	=	\$ -		\$ -
54" Reinforced Concrete Pipe		LF	\$ 297.00	=	\$ -		\$ -
60" Reinforced Concrete Pipe		LF	\$ 348.00	=	\$ -		\$ -
66" Reinforced Concrete Pipe		LF	\$ 402.00	=	\$ -		\$ -
72" Reinforced Concrete Pipe		LF	\$ 460.00	=	\$ -		\$ -
18" Corrugated Steel Pipe		LF	\$ 98.00	=	\$ -		\$ -
24" Corrugated Steel Pipe		LF	\$ 112.00	=	\$ -		\$ -
30" Corrugated Steel Pipe		LF	\$ 143.00	=	\$ -		\$ -
36" Corrugated Steel Pipe		LF	\$ 171.00	=	\$ -		\$ -
42" Corrugated Steel Pipe		LF	\$ 197.00	=	\$ -		\$ -
48" Corrugated Steel Pipe		LF	\$ 207.00	=	\$ -		\$ -
54" Corrugated Steel Pipe		LF	\$ 304.00	=	\$ -		\$ -
60" Corrugated Steel Pipe		LF	\$ 328.00	=	\$ -		\$ -
66" Corrugated Steel Pipe		LF	\$ 397.00	=	\$ -		\$ -
72" Corrugated Steel Pipe		LF	\$ 467.00	=	\$ -		\$ -
78" Corrugated Steel Pipe		LF	\$ 537.00	=	\$ -		\$ -
84" Corrugated Steel Pipe		LF	\$ 642.00	=	\$ -		\$ -
Flared End Section (FES) RCP Size = 30 <i>(unit cost = 6x pipe unit cost)</i>	1	EA	\$ 684.00	=	\$ 684.00		\$ 684.00
Flared End Section (FES) CSP Size = <i>(unit cost = 6x pipe unit cost)</i>		EA		=	\$ -		\$ -
End Treatment- Headwall		EA		=	\$ -		\$ -
End Treatment- Wingwall		EA		=	\$ -		\$ -
End Treatment - Cutoff Wall		EA		=	\$ -		\$ -
Curb Inlet (Type R) L=5', Depth < 5'		EA	\$ 6,703.00	=	\$ -		\$ -
Curb Inlet (Type R) L=5', 5' ≤ Depth < 10'	2	EA	\$ 8,715.00	=	\$ 17,430.00		\$ 17,430.00
Curb Inlet (Type R) L =5', 10' ≤ Depth < 15'		EA	\$ 10,092.00	=	\$ -		\$ -
Curb Inlet (Type R) L =10', Depth < 5'		EA	\$ 9,224.00	=	\$ -		\$ -
Curb Inlet (Type R) L =10', 5' ≤ Depth < 10'	1	EA	\$ 9,507.00	=	\$ 9,507.00		\$ 9,507.00
Curb Inlet (Type R) L =10', 10' ≤ Depth < 15'		EA	\$ 11,901.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', Depth < 5'		EA	\$ 11,995.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', 5' ≤ Depth < 10'		EA	\$ 12,858.00	=	\$ -		\$ -
Curb Inlet (Type R) L =15', 10' ≤ Depth < 15'		EA	\$ 14,061.00	=	\$ -		\$ -
Curb Inlet (Type R) L =20', Depth < 5'		EA	\$ 12,783.00	=	\$ -		\$ -
Curb Inlet (Type R) L =20', 5' ≤ Depth < 10'		EA	\$ 14,109.00	=	\$ -		\$ -
Grated Inlet (Type C), Depth < 5'		EA	\$ 5,611.00	=	\$ -		\$ -
Grated Inlet (Type D), Depth < 5'		EA	\$ 6,931.00	=	\$ -		\$ -
Storm Sewer Manhole, Box Base	1	EA	\$ 14,061.00	=	\$ 14,061.00		\$ 14,061.00
Storm Sewer Manhole, Slab Base		EA	\$ 7,734.00	=	\$ -		\$ -
Geotextile (Erosion Control)		SY	\$ 8.00	=	\$ -		\$ -
Rip Rap, d50 size from 6" to 24"		Tons	\$ 97.00	=	\$ -		\$ -
Rip Rap, Grouted	50.0	Tons	\$ 115.00	=	\$ 5,750.00		\$ 5,750.00
Drainage Channel Construction, Size (W x H)		LF	\$ -	=	\$ -		\$ -
Drainage Channel Lining, Concrete		CY	\$ 689.00	=	\$ -		\$ -
Drainage Channel Lining, Rip Rap		CY	\$ 135.00	=	\$ -		\$ -
Drainage Channel Lining, Grass		AC	\$ 1,776.00	=	\$ -		\$ -
Drainage Channel Lining, Other Stabilization				=	\$ -		\$ -
Drainage Channel <i>(Itemized in Final Drainage Report)</i> <i>[insert items not listed but part of construction plans]</i>	1	LS	\$231,836.00	=	\$ 231,836.00		\$ 231,836.00
				=	\$ -		\$ -

PROJECT INFORMATION

Falcon Ranchettes Filing No. 1a (Meridian Storage)

9/8/2023

PPR-23-XXX

Project Name

Date

PCD File No.

Description	Quantity	Units	Unit Cost		Total	(with Pre-Plat Construction)	
						% Complete	Remaining
SECTION 3 - COMMON DEVELOPMENT IMPROVEMENTS (Private or District and NOT Maintained by EPC)**							
ROADWAY IMPROVEMENTS							
Asphalt Pavement (4" thick)	6,209	SY	\$ 23.00	=	\$ 142,807.00		\$ 142,807.00
Aggregate Base Course (135 lbs/cf)	2,069	CY	\$ 61.00	=	\$ 126,209.00		\$ 126,209.00
				=	\$ -		\$ -
STORM DRAIN IMPROVEMENTS (Exception: Permanent Pond/BMP shall be itemized under Section 1)							
18" Reinforced Concrete Pipe	296	LF	\$ 76.00	=	\$ 22,486.88		\$ 22,486.88
24" Reinforced Concrete Pipe	126	LF	\$ 91.00	=	\$ 11,466.00		\$ 11,466.00
30" Reinforced Concrete Pipe	811	LF	\$ 114.00	=	\$ 92,454.00		\$ 92,454.00
36" Reinforced Concrete Pipe	49	LF	\$ 140.00	=	\$ 6,841.80		\$ 6,841.80
Area Inlet (CDOT Type 13-Triple)	2	EA	\$ 14,105.00	=	\$ 28,210.00		\$ 28,210.00
2'x2' Nyloplast Drain Basin (Or Similar)	1	EA	\$ 4,500.00	=	\$ 4,500.00		\$ 4,500.00
Storm Sewer Manhole, Box Base	2	EA	\$ 14,061.00	=	\$ 28,122.00		\$ 28,122.00
WATER SYSTEM IMPROVEMENTS							
Water Main Pipe (PVC), Size 8"	794	LF	\$ 78.00	=	\$ 61,932.00		\$ 61,932.00
Water Main Pipe (Ductile Iron), Size 8"		LF	\$ 91.00	=	\$ -		\$ -
Gate Valves, 8"	5	EA	\$ 2,247.00	=	\$ 11,235.00		\$ 11,235.00
Fire Hydrant Assembly, w/ all valves	2	EA	\$ 7,978.00	=	\$ 15,956.00		\$ 15,956.00
Water Service Line Installation, inc. tap and valves		EA	\$ 1,601.00	=	\$ -		\$ -
Fire Cistern Installation, complete		EA		=	\$ -		\$ -
Water Service Line Installation, inc. tap and valves	128	LF	\$ 75.00	=	\$ 9,600.00		\$ 9,600.00
<i>[insert items not listed but part of construction plans]</i>				=	\$ -		\$ -
SANITARY SEWER IMPROVEMENTS							
Sewer Main Pipe (PVC), Size 8"		LF	\$ 78.00	=	\$ -		\$ -
Sanitary Sewer Manhole, Depth < 15 feet		EA	\$ 5,305.00	=	\$ -		\$ -
Sanitary Service Line Installation, complete		EA	\$ 1,696.00	=	\$ -		\$ -
Sanitary Sewer Lift Station, complete		EA		=	\$ -		\$ -
Sanitary Service Line Installation, inc. tap and cleanouts	516	LF	\$ 55.00	=	\$ 28,380.00		\$ 28,380.00
<i>[insert items not listed but part of construction plans]</i>				=	\$ -		\$ -
LANDSCAPING IMPROVEMENTS (For subdivision specific condition of approval, or PUD)							
Landscaping Improvements	1	LS	\$ 45,000.00	=	\$ 45,000.00		\$ 45,000.00
		EA		=	\$ -		\$ -
** - Section 3 is not subject to defect warranty requirements					Section 3 Subtotal	=	\$ 492,392.68
AS-BUILT PLANS (Public Improvements inc. Permanent WQCV BMPs)		LS	\$ 12,500.00	=	\$ 12,500.00		\$ 12,500.00
POND/BMP CERTIFICATION (inc. elevations and volume calculations)		LS	\$ 4,500.00	=	\$ 4,500.00		\$ 4,500.00
Total Construction Financial Assurance						\$ 1,553,694.46	
(Sum of all section subtotals plus as-builts and pond/BMP certification)							
Total Remaining Construction Financial Assurance (with Pre-Plat Construction)						\$ 1,553,694.46	
(Sum of all section totals less credit for items complete plus as-builts and pond/BMP certification)							
Total Defect Warranty Financial Assurance						\$ 200,973.80	
(20% of all items identified as (*). To be collateralized at time of preliminary acceptance)							

Approvals

I hereby certify that this is an accurate and complete estimate of costs for the work as shown on the Grading and Erosion Control Plan and Construction Drawings associated with the Project.

Engineer (P.E. Seal Required)

Approved by Owner / Applicant

Date

Approved by El Paso County Engineer / ECM Administrator

Date



FINAL DRAINAGE REPORT

FALCON RANCHETTES FILING NO. 2
MERIDIAN STORAGE
El Paso County, Colorado

SF-23-XXX

VR239 and PPR2336

PREPARED FOR:

Mike D. Texer
11750 Owl Place
Peyton, CO 80831
Contact: Mike D. Texer
Phone: (719) 641-9261

PREPARED BY:

Galloway & Company, Inc.
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920
Contact: Brady Shyrock
Phone: (719) 338-9732

DATE:

April 24th, 2023

Please address all FDR V1 comments that were provided under VR239. This is the same report and those comments have not been addressed.

Please also update the report accordingly to account for all proposed development on the two lots. The site development plans show additional development on lot 2 where this report only shows development in lot 1.



Signature Page
Falcon Ranchettes Filing No. 2 (Meridian Storage)

Engineer's Statement

The attached drainage plan and report were prepared under my direction and supervision and are correct to the best of my knowledge and belief. Said drainage report has been prepared according to the criteria established by the County for drainage reports and said report is in conformity with the applicable master plan of the drainage basin. I accept responsibility for any liability caused by any negligent acts, errors or omissions on my part in preparing this report.

Brady Shyrock, PE # 38164
For and on behalf of Galloway & Company, Inc.

Date

Developer's Certification

I, the developer, have read and will comply with all of the requirements specified in this drainage report and plan.

By: _____

Address: Mike D. Texer
 11750 Owl Place
 Petyon, CO 80831

Date

El Paso County Certification

Filed in accordance with the requirements of the Drainage Criteria Manual, Volumes 1 and 2, El Paso County Engineering Criteria Manual and Land Development Code as amended.

Joshua Palmer, P.E.
County Engineer/ECM Administrator

Date

Conditions:

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- C. Hydrologic Computations
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- E. Pond Calculations
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I. Introduction

This document is the Final Drainage Report for Falcon Ranchettes Filing No. 2 (Meridian Storage). The project consists of two lots and public right-of-way that make up 9.604 acres. This project proposes storage units, an office building, roadway and utility infrastructure, a water quality treatment pond, and drainage channel improvements to the existing east branch of Unnamed Tributary to Black Squirrel Creek (UTBSC East Branch).

Purpose

The purpose of this report is to identify on and offsite drainage patterns and confirm that the new development has no significant changes to existing drainage patterns.

Previous Drainage Studies

- Falcon Drainage Basin Planning Study, dated September 2015 – Referred to as **Falcon DBPS** hereon.
- Bent Grass MDDP Amendment & DBPS Amendment, dated September 2021 – Referred to as **Bent Grass MDDP** hereon.
- Request for Conditional Letter of Map Revision, Unnamed Tributary to Black Squirrel Creek, Falcon Owl Place, dated October 25, 2022 – Referred to as Falcon **Owl Place CLOMR** hereon.
- Request for Letter of Map Revision, Unnamed Tributary to Black Squirrel Creek, Falcon Marketplace, dated March 15, 2021 – Referred to as **Falcon Marketplace LOMR** hereon.
- Final Drainage Report for Falcon Marketplace, dated November 4, 2019 – Referred to as **Falcon Marketplace FDR** hereon.

Relevant excerpts from existing drainage reports are provided in **Appendix B** for reference.

Location

Falcon Ranchettes Filing No. 2 is located in the Southeast Quarter of Section 1, Township 13 South, Range 65 West of the 6th Principal Meridian, County of El Paso, State of Colorado.

The project site is located at the northwest corner of Owl Place and Meridian Road, bounded to the North by Lot 2A Bent Grass East Commercial Fil No 2a and Tract A Bent Grass East Commercial Fil No 2, to the south by Lots 14 & 15 of Falcon Ranchettes, to the East by Meridian Road right-of-way, to the West by Lot 3 of Falcon Ranchettes. A Vicinity Map is provided in **Appendix A**.

Description of Property

The existing parcel is currently developed with two residential properties (*Lot 1 & 2 of Falcon Ranchettes*). Two single-family homes occupy the site, but the majority of the existing parcels are covered by native prairie grass land. An existing drainage-way flows north to south along the eastern property line adjacent to Meridian Road right-of-way, named “Unnamed Tributary to Black Squirrel Creek - East Branch”.

Soils

According to the U.S. Department of Agriculture Natural Resources Conservation Service Soil Survey of El Paso County, Colorado (See **Appendix A**) the primary soil found is Columbine gravelly sandy loam, classified as Soil Conservation Service (SCS) hydrologic soil group “A”.

Climate

This area of El Paso County is located at the foothills of the Southern Rocky Mountains. Classified as an alpine desert, Falcon, CO averages 300 days of sunshine with low humidity. Annual precipitation ranges between 10-16 inches, occurring mostly in spring and summer months.

Geotechnical Recommendations

Positive drainage away from the structures should be provided during construction and maintained throughout the life of the structures. Any downspouts, roof drains or scuppers should discharge into splash blocks or extensions and away from the structures. Backfill against footings, exterior walls and in utility trenches should be properly compacted and free of all construction debris to reduce the possibility of moisture infiltration. Refer to the Geotechnical Exploration Report prepared by Universal Engineering Sciences for more detailed information.

Flood Insurance Rate Map

According to the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) #08041C0553G, effective date December 7, 2018. The project site is located in Zone X (Areas determined to be outside of the 0.2% annual chance floodplain). A copy of the FIRM map is provided in **Appendix A** for reference.

Major Drainage Basin

Falcon Ranchettes Filing No. 2 is located within the MT060 drainage basin as described in the **Falcon DBPS**. The Falcon Watershed is located in the north central portion of El Paso County and flows southeasterly from the southern slope of the Black Forest. The Falcon watershed contains three perennial streams and has a contributing drainage area of approximately 10.6 square miles at its confluence with Black Squirrel Creek.

Detailed recommendations from the **Falcon DBPS** are included below under "*IV. Proposed Drainage Patterns and Features*".

II. Drainage Design Criteria

Development Criteria Reference

The analysis and design of the drainage concept and stormwater management system for this project was prepared in accordance with the criteria set forth in the Mile High Flood District (MHFD) Urban Storm Drainage Criteria Manual (USDCM) dated January 2016 and the adopted chapters 6 & 13 from the City of Colorado Springs Drainage Criteria Manual (DCM) Vol. 1, last revised January 2021

Hydrologic Criteria

The rational method was used to calculate peak flows as the tributary areas are less than 100 acres. An analysis of the hydrology using the rational method can be found in **Appendix C** - Hydrologic Calculations. The rational method has proved to be accurate for basins of this size and is based on the following formula:

$$Q = CIA$$

Where:

- Q = Peak Discharge (cfs)
- C = Runoff Coefficient
- I = Runoff intensity (inches/hour)
- A = Drainage area (acres)

The rainfall intensity calculations are based on the DCM Figure 6-5 and IDF equations. The one hour point rainfall data for the design are listed in Table 1 below.

Table 1 - Precipitation Data (Table 6.2 in DCM Vol. 1)

Return Period	One Hour Depth (in.)	Intensity (in/hr)
5-year	1.50	5.17
100-year	2.52	8.68

Time of concentrations have been adapted from equation 6-7 of The City of Colorado Springs Drainage Criteria Manual, Volume 1 which are as follows:

$$T_c = T_i + T_t$$

Where:

- T_c = time of concentration (min)
- T_i = overland (initial) flow time (min)
- T_t = travel time in the ditch, channel, gutter, storm sewer, etc. (min)

Overland (Initial) Flow Time: from equations 6-8 from the City of Colorado Springs Drainage Criteria Manual, Volume 1.

$$t_t = \frac{0.395(1.1 - C_5)\sqrt{L}}{S^{0.33}}$$

Where:

- T_i = overland (initial) flow (min)
- C₅ = runoff coefficient for 5-year frequency
- L = length of overland flow (ft) (300 ft maximum for non-urban land uses, 100 ft maximum for urban land uses)
- S = average basin slope (ft/ft)

Travel Time

$$V = C_v * S_w^{0.5}$$

Where:

V = Velocity (ft/s)
 C_v = conveyance coefficient
 S_w = watercourse slope (ft/ft)

The runoff coefficients are calculated based on land use, percent imperviousness, and design storm for each basin, as shown in the DCM, (Table 6-6).

Hydraulic Criteria

Storm Pipe

Hydraulic design and analysis for this report were performed through the usage of StormCAD. A tabular summary from analysis performed by StormCAD can be found in **Appendix D - Hydraulic Calculations**. Additionally, the table below shows the parameters used for StormCAD Standard Method Coefficients taken from *DCM Vol 1 Chapter 9 Table 9-4*.

BEND LOSS		
BEND ANGLE	K COEFFICIENT	
0°	0.05	
22.5°	0.10	
45°	0.40	
60°	0.64	
90°	1.32	
LATERAL LOSS		
ONE LATERAL K COEFFICIENT		
BEND ANGLE	NON -SURCHARGED	SURCHARGES
45°	0.27	0.47
60°	0.52	0.90
90°	1.02	1.77
TWO LATERAL K COEFFICIENT		
45°	0.96	
60°	1.16	
90°	1.52	

Storm Inlets

CDOT-Type R Storm Curb Inlets were sized using the UD-Inlet_v5.02 spreadsheet from Mile High Flood District. Additionally, CDOT Type 13 area inlets were sized using a depth to capacity line graph. These calculations are provided in **Appendix D**.

Detention Pond

As shown in Part IV: Onsite PWQ Requirements, Documentation and Considerations of the PBMP Applicability Form, this project is required to provide treatment for the Water Quality Capture Volume (WQCV) Standard.

Proposed *Pond #1* was designed using the Mile High Flood District (MHFD) software spreadsheets; It is the recommended design software because it provides tabulated results of the WQCV, EURV, 2-, 5-, 10-,

25-, 50-, 100- and 500-year storm events routed through the pond. The detention criteria provided by the MHFD's design spreadsheets *MHFD-Detention_v4.06* was used to determine the adequate storage capacity of the detention pond, and the associated elements of the outlet structure. The UDFCD Manual provides approximate, empirical equations that are utilized in the spreadsheet provided by MHFD. These equations and methods are further described in the USDCM Vol. 2, Ch. 12. The required volume calculations as well as the outlet structure design calculations are provided in **Appendix E – Pond Calculations** of this report.

Detailed water surface elevations and pond design information are included below under “*IV. Proposed Drainage Patterns and Features*”.

Drainage Channel

Proposed improvements to UTBSC East Branch was analyzed using Bentley software *FlowMaster* to properly size a trapezoidal channel to safely convey stormwater while providing 1.0-ft minimum of freeboard. Additionally, the 3 proposed grouted stepped boulder drop structures were designed using criteria set forth in USDCM from Mile High Flood District. FlowMaster calculations can be found in **Appendix D**.

Detailed steps of the Simplified Design Procedure as shown in the USDCM are included below under “*IV. Proposed Drainage Patterns and Features*”.

Four Step Process

The Four Step Process is used to minimize the adverse impacts of urbanization and is a vital component of developing a balanced, sustainable project. Below identifies the approach to the four-step process:

1. Employ Runoff Reduction Practices

This step uses low impact development (LID) practices to reduce runoff at the source. Generally, rather than creating point discharges that are directly connected to impervious areas runoff is routed through pervious areas to promote infiltration. The Impervious Reduction Factor (IRF) method was used and calculations can be found in Appendix E.

2. Implement BMP's That Provide a Water Quality Capture Volume with Slow Release

This step utilizes formalized water quality capture volume to slow the release of runoff from the site, while the WQCV will release in no less than 40 hours. Proposed Pond #1 will provide water quality treatment for all developed areas prior to the runoff being released into existing sub-regional detention pond SR-4.

3. Stabilize Drainageways

This step implements stabilization to channels to accommodate developed flows while protecting infrastructure and controlling sediment loading from erosion in the drainageways. Drainage channel improvements are proposed to the existing UTBSC East Branch (RMT064), including widening the existing channel with 3 proposed grouted stepped boulder drop structures.

4. Implement Site Specific and Other Source Control BMPs

The biggest source control BMP is public education which can be found on the City of Colorado Springs website and discuss topics such as: pet waste, car washing, private maintenance

landscaping, fall leaves, and snow melt and deicer. A no vehicle maintenance policy will be enforced to avoid the potential contaminations caused from vehicle fluid replacement, and equipment replacement and repair. In addition, the landscaping and snow removal is handled completely by the property management to ensure proper lawn mowing and grass clipping disposal, lawn aeration, and fertilizer application is being followed. Snow removal will also be handled by the property manager to ensure proper consideration of snow pile placement and use of deicing chemicals.

III. Existing Drainage Patterns and Features

Existing Drainage Patterns

On-Site:

The existing drainage pattern sheet flows from north to south. Flows from basin **EX-1** sheet flow into the existing roadside ditch (RMT064) and then conveyed to **DP1** where existing 36" twin CMP culverts pipe flows under Owl Place. The culverts are severely undersized and partially filled with sediment, a detailed analysis of these culverts is provided in the **Owl Place CLOMR**. Basins **EX-2** and **EX-3** flow south and pool along the north edge Owl Place near **DP2** and **DP3**. Flows eventually overtop the gravel road and continue south.

Off-Site:

Basins **EX-4** and **OS-1** flow south and pool at **DP4**. These flows eventually overtop the gravel road and continue south.

Sub-Basin Descriptions

Note: an existing drainage map is provided in **Appendix F** and should be referenced when reading the basin descriptions below.

Basin EX-1 (4.97 acres, Q5 = 1.6 cfs, Q100 = 7.7 cfs): a basin that encompasses the northeast portion of the project site. Runoff sheet flows from north to south and eventually spills into the existing Meridian Road roadside ditch, RMT064. Flows continue south to **DP1** where existing 36" twin CMP culverts pipe flows under Owl Place.

Basin EX-2 (2.32 acres, Q5 = 0.6 cfs, Q100 = 3.2 cfs): a basin that encompasses a portion of the center of the site. Flows drain from north to south to **DP2** where flows pool along the north edge of Owl Place until eventually overtopping the gravel road and continuing south.

Basin EX-3 (2.85 acres, Q5 = 0.3 cfs, Q100 = 3.0 cfs): a basin that encompasses the west portion of the site. Flows drain from north to south to **DP3** where flows pool along the north edge of Owl Place until eventually overtopping the gravel road and continuing south.

Basin EX-4 (1.08 acres, Q5 = 0.0 cfs, Q100 = 0.9 cfs): a basin that encompasses the far west portion of the site. Flows drain from north to south to **DP4** where flows pool along the north edge of Owl Place until eventually overtopping the gravel road and continuing south.

Basin OS-1 (3.29 acres, $Q_5 = 0.6$ cfs, $Q_{100} = 4.0$ cfs): a basin that is associated with Lot 3 Falcon Ranchettes, a parcel immediately west of the project site. Flows drain from north to south to **DP4** where flows pool along the north edge of Owl Place until eventually overtopping the gravel road and continuing south.

IV. Proposed Drainage Patterns and Features

Proposed Drainage Plan

On-Site:

The project site consists of 1 office building and 9 self-storage. Access is provided to Meridian Park Drive near the center of the site, with an emergency access drive to the north for emergency services only. Concrete valley gutters are used for all internal drive aisles to route runoff to proposed storm drain infrastructure and then piped to Pond #1 to provide detention and treatment for the WQCV. The pond outfall conveys flows south directly to an existing sub-regional pond (SR-4).

The proposed public roadway improvements convey runoff using curb and gutter and routing flows to proposed storm drain infrastructure and then piped to Pond #1 to provide detention and treatment for the WQCV. The pond outfall conveys flows south directly to an existing sub-regional pond (SR-4).

Drainage channel improvements to the existing RMT064 is discussed below under “*IV. Proposed Drainage Patterns and Features*”, including the existing culvert crossing at Owl Place.

Off-Site:

The existing drainage pattern of OS-1 remains unchanged. However, to avoid the stormwater pooling and overtopping at Owl Place, a small Nyloplast Drain Basin (Public) is proposed to capture flows and route the runoff safely to Pond SR-4.

Sub-Basin Descriptions

discuss inlet bypass flow path, as applicable

Note: a proposed drainage map is provided in **Appendix F** and should be referenced when reading the basin descriptions below.

Basin A-1 (1.85 AC, $Q_5 = 2.1$ cfs, $Q_{100} = 5.9$ cfs): Located on the far east side of the site, this basin consists of the proposed drainage channel and a portion of Meridian Road. Runoff from this basin will sheet flow into the drainage channel and then be conveyed south to **DP1** where existing 36” twin culverts will pipe flows under Owl Place. discuss why the flows changed and the ultimate outfall beyond owl place culverts.

Basin B-1 (1.54 AC, $Q_5 = 6.5$ cfs, $Q_{100} = 11.5$ cfs): Located at the northeast of the site, this basin consists of the north half of the storage unit buildings. Runoff from this basin will sheet flow south entering a proposed concrete valley gutter. Flows are then conveyed south toward the center of the site, to a proposed CDOT Type 13 Area Inlet-Triple (Private), **DP2**. discuss where flows go after DP and any WQ treatment.

Basin B-2 (1.26 AC, $Q_5 = 5.3$ cfs, $Q_{100} = 9.4$ cfs): Located on the southeast portion of the site, this basin consists of the south half of the self-storage buildings. Runoff from this basin will sheet flow south entering a proposed concrete valley gutter. Flows are then conveyed south toward the south end of the site, to a proposed CDOT Type 13 Area Inlet-Triple (Private), **DP3**. discuss where flows go after DP and any WQ treatment.

Basin B-3 (1.05 AC, $Q_5 = 4.7$ cfs, $Q_{100} = 8.1$ cfs): Located in the center of the site, this basin consists of the west half portion of Meridian Park Drive and the portion of the existing Owl Place centerline, west of the Meridian Park Drive and Owl Place intersection. Runoff from this basin will sheet flow from all directions onto proposed Type A curb and gutter. Flows will then be routed via curb & gutter, to a proposed 5' CDOT Type 'R' storm sump inlet (private), DP4.

discuss where flows go after DP and any WQ treatment.

figure calls out this inlet as public, please clarify

Basin B-4 (1.05 AC, $Q_5 = 1.8$ cfs, $Q_{100} = 4.2$ cfs): Located in the center of the site, this basin consists of the east half portion of Meridian Park Drive and the portion of the proposed Owl Place corridor, east of the Meridian Park Drive and Owl Place intersection. Runoff from this basin will sheet flow from all directions onto proposed Type A curb and gutter. Flows will then be routed via curb & gutter, to a proposed 10' CDOT Type 'R' storm sump inlet (private), DP5.

discuss where flows go after DP and any WQ treatment.

Is pond WQ only?

Basin B-5 (0.38 AC, $Q_5 = 1.5$ cfs, $Q_{100} = 2.7$ cfs): Located on the southeast portion of the site, this basin consists of the entire proposed detention pond. Runoff from this basin will sheet flow into Detention Pond #1. Flows will then be routed east to a proposed 35' X 68' CDOT Type 'D' storm inlet (public), DP6.

confirm dimensions

Basin C-1 (0.78 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.6$ cfs): Located on the north center portion of the site, this basin is directly east of Meridian Park Drive. Runoff from this basin will sheet west onto proposed Type A curb and gutter. Flows will then be routed via curb & gutter, to a proposed 10' CDOT Type 'R' storm sump inlet (private), DP5.

discuss where flows go after DP and any WQ treatment.

Basin C-2 (2.02 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.6$ cfs): Located on the east portion of the site, east of Meridian Park Drive. Runoff from this basin will sheet flow into Detention Pond #1. Then, flows are conveyed east to a proposed 35' X 68' CDOT Type 'D' storm inlet (public), DP6.

Basin C-3 (0.20 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.2$ cfs): Located on a small southwest portion of the site, east of Detention Pond #1. Runoff from this basin will sheet flow south into a proposed Type A curb and gutter and west into Detention Pond #1. Then, flow into proposed Type A curb and gutter are conveyed to a proposed 10' CDOT Type 'R' storm sump inlet (private), DP5 and flows into Detention Pond #1 are conveyed to a proposed 35' X 68' CDOT Type 'D' storm inlet (public), DP6.

Basin C-4 (1.06 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.8$ cfs): Located on the east portion of the site, along the property boundary line. This basin consists of an existing drainage channel flowing north to south. Runoff from this basin will sheet flow to an existing drainage channel, then flow into a proposed 2' X 2' CDOT Nyloplast drain basin, DP7.

discuss where flows go after DP and any WQ treatment exclusions (i.e., I.7.1.B.7 - land disturbance to undeveloped land that will remain undeveloped)

Basin F-1 (0.04 AC, $Q_5 = 0.2$ cfs, $Q_{100} = 0.3$ cfs): An off-site basin, located on a small portion of the west side of the centerline for the future development for Meridian Park Drive. Runoff from this basin will sheet flow south offsite to the adjacent parcel.

Basin F-2 (0.03 AC, $Q_5 = 0.1$ cfs, $Q_{100} = 0.2$ cfs): An off-site basin, located on a small portion of the east side of the centerline for the future development for Meridian Park Drive. Runoff from this basin will sheet flow south offsite to the adjacent parcel.

Basin OS-1 (3.29 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.1$ cfs): An off-site basin, located along the east portion of the site property boundary line. This basin consists of an existing drainage channel flowing north to south.

Runoff from this basin will sheet flow to an existing drainage channel, then flow into a proposed 2' X 2' CDOT Nyloplast drain basin, **DP7**.

Basin OS-2 (0.09 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.1$ cfs): An off-site basin, located along the northeast portion of the site property boundary line. This basin consists of a 4:1 downslope from the berm of existing detention pond from Tract A of Bent Grass East Commercial Filing No. 2. Runoff from this basin will sheet flow from north to south onto proposed site.

discuss where flows go and any WQ treatment.

Basin OS-3 (0.01 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.1$ cfs): An off-site basin, located along the northeast portion of the site property boundary line. This basin consists of a 4:1 downslope from the berm of existing detention pond from Tract A of Bent Grass East Commercial Filing No. 2. Runoff from this basin will sheet flow from north to south onto proposed site.

discuss where flows go and any WQ treatment.

Basin OS-4 (0.07 AC, $Q_5 = 0.0$ cfs, $Q_{100} = 0.1$ cfs): An off-site basin, located along the northwest portion of the site property boundary line. Runoff from this basin will sheet flow from north to south onto proposed site.

discuss where flows go and any WQ treatment.

Proposed Detention/Water Quality Pond

Pond #1 consists of a forebay, trickle channel, micropool, outlet structure (with trash rack, orifice plate, and overflow weir), and emergency spillway. The WQCV will be treated using an orifice plate, all other storm events are designed to spill into the overflow weir and into the outfall pipe and routed to sub-regional pond SR-4. The required WQCV is 0.307 ac-ft. The provided storage for the WQCV is 0.308 ac-ft.

Generally, the 500-year storm event is conveyed through the emergency spillway. However, because all adjacent roadways eventually drain back into Pond #1, the outlet structure is designed to handle the full 500-year storm event and safely convey flows to the existing sub-regional pond SR-4 by storm pipe.

All C-Group drainage basins are included in determining the tributary drainage area and imperviousness for Pond #1. It is anticipated that all C-Group basins will soon develop into additional storage units or similar commercial use.

Were OS-2, OS-3, and OS-4 also included in design calcs?

Refer to **Appendix E** for Pond #1 calculations.

Drainage Channel Improvements – UTBSC East Branch (RMT064)

Falcon DBPS Analysis:

El Paso County completed hydrologic and hydraulic analyses summarized in the **Falcon DBPS**. The **Falcon DBPS** watershed encompasses three major basins, including the “Middle Tributary” which includes the subject property. The unnamed tributary to Black Squirrel Creek (UTBSC) in the Middle Tributary consists of an “East Branch” and “West Branch” that converges at the Falcon Marketplace site. The UTBSC East Branch is located along the eastern edge of the project site adjacent to Meridian Road, the West Branch does not cross the subject property.

The Falcon DBPS provides junctions north and south of the project site, named JMT050 and JMT060. These junctions are summarized below, also see **Appendix B** for Falcon DBPS excerpts showing the physical location of each junction.

Future Peak Discharges from Falcon DBPS				
Falcon DBPS Model Location	Physical Location	Branch	Proximity to Project Site	Future Flow Q100 (cfs)
JMT050	Bent Grass Meadows Drive & Meridian Road	East Branch	Upstream from Project Site	850
JMT060	Eastonville Road & Meridian Road	East and West Convergence	Downstream from Project Site	1,000

The **Falcon DBPS** specifies reach improvements between junctions JMT050 and JMT060, the reach between these two junctions is named “RMT064”. This is visually shown in the **Falcon DBPS**, *Figure 6-1. Selected Plan*, located in **Appendix B**. These improvements include small drop structures w/ toe protection.

Bent Grass MDDP Analysis:

A drainage diversion took place as part of the Bent Grass Residential Filing No. 1 development. The UTBSC West Branch was rerouted to the East towards the intersection of Meridian Road and Bent Grass Meadows Drive. This diversion is discussed extensively in the **Bent Grass MDDP**.

Because of the diversion, a new junction was created in the Middle Tributary named JMT060a. This junction is primarily known as “Design Point 20” in the text and drainage maps in **Bent Grass MDDP**. This new junction is located just south of JMT050 from the **Falcon DBPS** and summarized in the table below.

Future Peak Discharges from Bent Grass MDDP				
Bent Grass MDDP Model Location	Physical Location	Branch	Proximity to Project Site	Future Flow Q100 (cfs)
JMT060a	Bent Grass Meadows Drive & Meridian Road	East Branch	Upstream from Project Site	909.3

The **Bent Grass MDDP** specifies a 15’ wide bottom channel with 4:1 side slopes, 6.5’ deep and a longitudinal slope of 0.30% for RMT064 of the UTBSC East Branch. An excerpt of these calculations is provided in **Appendix B**.

Owl Place CLOMR Analysis:

The Falcon Owl Place development (located south of the project site across Owl Place) includes regrading and rerouting a portion of the UTBSC East Branch. The improvements intercept the existing creek immediately north of Owl Place and conveys it via a 10’x6’ box culvert to the subregional detention pond (SR4). The box culvert is designed to convey the full 100-year discharge.

The **Falcon DBPS** did not include a junction on the East Branch immediately upstream of the convergence (Pond SR4). Therefore, the **Owl Place CLOMR** modified the HMS model to create a new junction located at the southern boundary of the Falcon Owl Place development, immediately upstream of Pond SR4. This junction is summarized in the table below.

Peak Discharges from Owl Place CLOMR				
Owl Place CLOMR Model Location	Physical Location	Branch	Proximity to Project Site	Future Flow Q100 (cfs)
JMT051	Immediately Upstream of Pond SR4	East Branch	Downstream from Project Site	920

Previous Reports Conclusions:

Per **Falcon DBPS**, channel improvements are required to stabilize the adjacent RMT064 of UTBSC East Branch. A design flow of 925 cfs was used as the design flow for these improvements, as specified in the **Bent Grass MDDP**. The table below compares the proposed design flow against previous reports.

Proposed Design Flow Comparison				
Model Location	Physical Location	Branch	Proximity to Project Site	Future Flow Q100 (cfs)
RMT064	North of Owl Place, South of Bent Grass Meadows Drive	East Branch	-	925
<i>JMT050 (Falcon DBPS)</i>	<i>Bent Grass Meadows Drive & Meridian Road</i>	<i>East Branch</i>	<i>Upstream from Project Site</i>	<i>850</i>
<i>JMT060a (Bent Grass MDDP)</i>	<i>Bent Grass Meadows Drive & Meridian Road</i>	<i>East Branch</i>	<i>Upstream from Project Site</i>	<i>909.3</i>
<i>JMT051 (Owl Place CLOMR)</i>	<i>Immediately Upstream of Pond SR4</i>	<i>East Branch</i>	<i>Downstream from Project Site</i>	<i>920</i>

Because of added junctions (JMT060a & JMT051) from **Bent Grass MDDP** and **Owl Place CLOMR**, no revisions to existing HMS models are needed for identifying the proposed design flow for RMT064. As shown above, the design flow of 925 cfs exceeds all projected HMS models for junctions north and south of RMT064.

Due to the design slope of 0.30%, 3 drop structures are required. The USDCM provides guidance for a “Simplified Design Procedure” for drop structure design that requires no hydraulic analysis. This method was used to design the grade control structures for RMT064.

Urban Storm Drainage Criteria Manual (USDCM) Design Guidance:

The USDCM Vol. 2, Chapter 9, Section 2 includes guidance and design procedures for Grade Control Structures.

The simplified design procedure can be used for grade control structures meeting design criteria provided in the table below and where all of the following criteria are met:

- Maximum unit discharge for the design event (typically the 100-year) over any portion of the drop structure is 35 cfs/ft or less,
- Net drop height (upstream channel invert less downstream channel invert exclusive of stilling basin depth) is 5 feet or less,
- Drop structure is constructed of GSB or SC,
- Drop structure is located within a tangent section and at least twice the distance of the width of the drop at the crest both upstream and downstream from a point of curvature,
- Drop structure is located in a reach that has been evaluated per the design requirements of the Open Channel chapter.

The table below summarizes the specific design and geometric parameters used for RMT064.

Note: Channel construction drawings were prepared for the RMT064 improvements and should be referenced when reading this table.

Design Parameter	Requirement to Use Simplified Design Procedure (As shown in USDCM)	Proposed Design	Meets or Exceeds Criteria?
Maximum Net Drop Height (Hd)	5 feet	3 feet	Yes
Maximum Unit Discharge over any Portion of Drop Width	35 cfs per foot of drop width	25.9 cfs*	Yes
Maximum Longitudinal Slope (Steepest Face Slope)	4(H):1(V)	4:1	Yes
Minimum Stilling Basin Depression (Db)	1 foot	N/A**	Yes
Minimum Length of Approach Riprap	8 feet	10 feet	Yes
Minimum Stilling Basin Length (Lb)	Determine using Figure 9-1	N/A**	Yes
Minimum Stilling Basin Width (B)	Same as crest width	N/A**	Yes
Minimum Cutoff Wall Depth	6 feet	6 feet	Yes

Minimum Length of Riprap Downstream of Stilling Basin	10 feet	N/A**	Yes
Minimum D50 for Approach and Downstream Riprap	12 inches	12 inches (Type M Riprap)	Yes
Minimum Boulder Size for Drop Structure	Per Figure 9-1	24" Boulder Size	Yes

*Results from FlowMaster were used to calculate the approximate unit discharge per foot of drop width

**Due to the sandy soils on site and within the channel, future degradation is expected. Therefore, the stilling basins were removed and replaced with a sloping face extending five feet below the downstream toe invert of each drop structure.

Discuss what will happen if the proposed culvert replacements are not installed by the time the Meridian Storage project is finalized.

Existing 36" Twin Culverts

The two 36" CMP culverts located at the southeast end of the project site, crossing Owl Place are severely undersized and partially filled with sediment. As stated in the **Owl Place CLOMR**, the culverts only convey 86-95 cfs, depending on tailwater depth. The remaining flow (approximately 825-834 cfs) in the 100-year event overtops Owl Place.

The Falcon Owl Place development (located south of the project site across Owl Place) includes regrading and rerouting a portion of the UTBSC East Branch. The improvements intercept the existing creek immediately north of Owl Place and conveys it via a 10'x6' box culvert to the subregional detention pond (SR4). The proposed box culvert begins just north of Owl Place and will replace the undersized culverts. The exact construction schedule is unknown at this time but expected to run concurrently with the Meridian Storage project.

Construction plans for the culvert replacement and associated improvements are located in **Appendix B**.

V. Ownership & Maintenance

After completion of construction and upon the Board of County Commissioners acceptance, it is anticipated all public drainage facilities are to be owned and maintained by El Paso County. All private drainage facilities are to be owned and maintained by Meridian Storage, LLC. The table below provides a summary of each facilities' ownership & maintenance responsibilities.

Drainage Facility	Ownership and Maintenance Entity
Drainage Channel (UTBSC East Branch) – RMT064	El Paso County
Pond #1	El Paso County
Public Storm Drain Infrastructure (See Construction Drawings, and "VI. Fee Development" below for breakdown)	El Paso County

See VR239
 comments and revise
 section VI

Private Storm Drain Infrastructure (See Construction Drawings, and "VI. Fee Development" below for breakdown)	Meridian Storage LLC
---	----------------------

VI. Fee Development

The project is located within the Falcon drainage basin. The property is already platted, therefore no drainage basin fees are required.

Full reimbursement for all drainage channel improvements to UTBSC East Branch (RMT064) in accordance with DCM Section 3.3 is anticipated. Construction costs are listed below and the drainage fee is requested to be adjusted accordingly.

Reimbursable Public Facilities Estimate Total				
Item	Quantity	Unit	Unit Cost	Cost
Drainage Channel Improvements				
Drainage Channel Construction	700	LF	\$ 100.00	\$ 25,000.00
Type M Riprap	180	CY	\$ 135.00	\$ 24,300.00
Grouted Boulders (24")	514	SY	\$ 225.00	\$115,650.00
6' Concrete Cutoff Wall	106	CY	\$ 631.00	\$ 66,886.00
Total				\$231,836.00
Contingency			10%	\$ 23,183.60
Reimbursable Public Facilities Estimate Total				\$255,019.60

Non-Reimbursable Public Facilities Estimate Total				
Item	Quantity	Unit	Unit Cost	Cost
Pond #1				
Earthwork	2950	CY	\$ 15.00	\$ 44,250.00
Forebay	1	EA	\$ 5,000.00	\$ 5,000.00
Hand Rail Fence (Forebays)	102	LF	\$ 6.00	\$ 612.00
Type M Riprap (Forebay Apron)	5	CY	\$ 125.00	\$ 625.00
Type M Riprap (Emergency Spillway)	16	CY	\$ 125.00	\$ 2,000.00
Trickle Channel	75	LF	\$ 15.00	\$ 1,125.00
Outlet Structure w/ Concrete Micropool	1	EA	\$15,000.00	\$ 15,000.00
Pond Access Road (CDOT Class 6 Gravel)	68	CY	\$ 45.00	\$ 3,060.00
Subtotal				\$ 71,672.00
Storm Drain Improvements				
12" HDPE Pipe	41	LF	\$ 55.00	\$ 2,255.00

30" Reinforced Concrete Pipe	857	LF	\$ 114.00	\$ 97,698.00
36" Reinforced Concrete Pipe	90	LF	\$ 140.00	\$ 12,600.00
30" Flared End Section	102	LF	\$ 6.00	\$ 612.00
2'x2' Nyloplast Drain Basin (Or Similar)	1	EA	\$ 4,500.00	\$ 4,500.00
5' CDOT Type R Curb Inlet	1	EA	\$ 8,715.00	\$ 8,715.00
10' CDOT Type R Curb Inlet	1	EA	\$ 9,507.00	\$ 9,507.00
Remove and Replace GSB	1	LS	\$ 5,750.00	\$ 5,750.00
Subtotal				\$139,382.00
Total				\$211,054.00
Contingency			10%	\$ 21,105.40
Non-Reimbursable Public Facilities Estimate Total				\$232,159.40

Private Facilities Estimate Total				
Item	Quantity	Unit	Unit Cost	Cost
Storm Drain Improvements				
18" Reinforced Concrete Pipe	298	LF	\$ 76.00	\$ 22,648.00
24" Reinforced Concrete Pipe	135	LF	\$ 91.00	\$ 12,285.00
CDOT Type 13 Area Inlet (Triple)	1	EA	\$14,105.00	\$ 14,105.00
Total				\$ 49,038.00
Contingency			10%	\$ 4,903.80
Private Facilities Estimate Total				\$ 53,941.80

Cost Estimate Grand Total	\$	541,120.80
----------------------------------	-----------	-------------------

VII. Conclusion

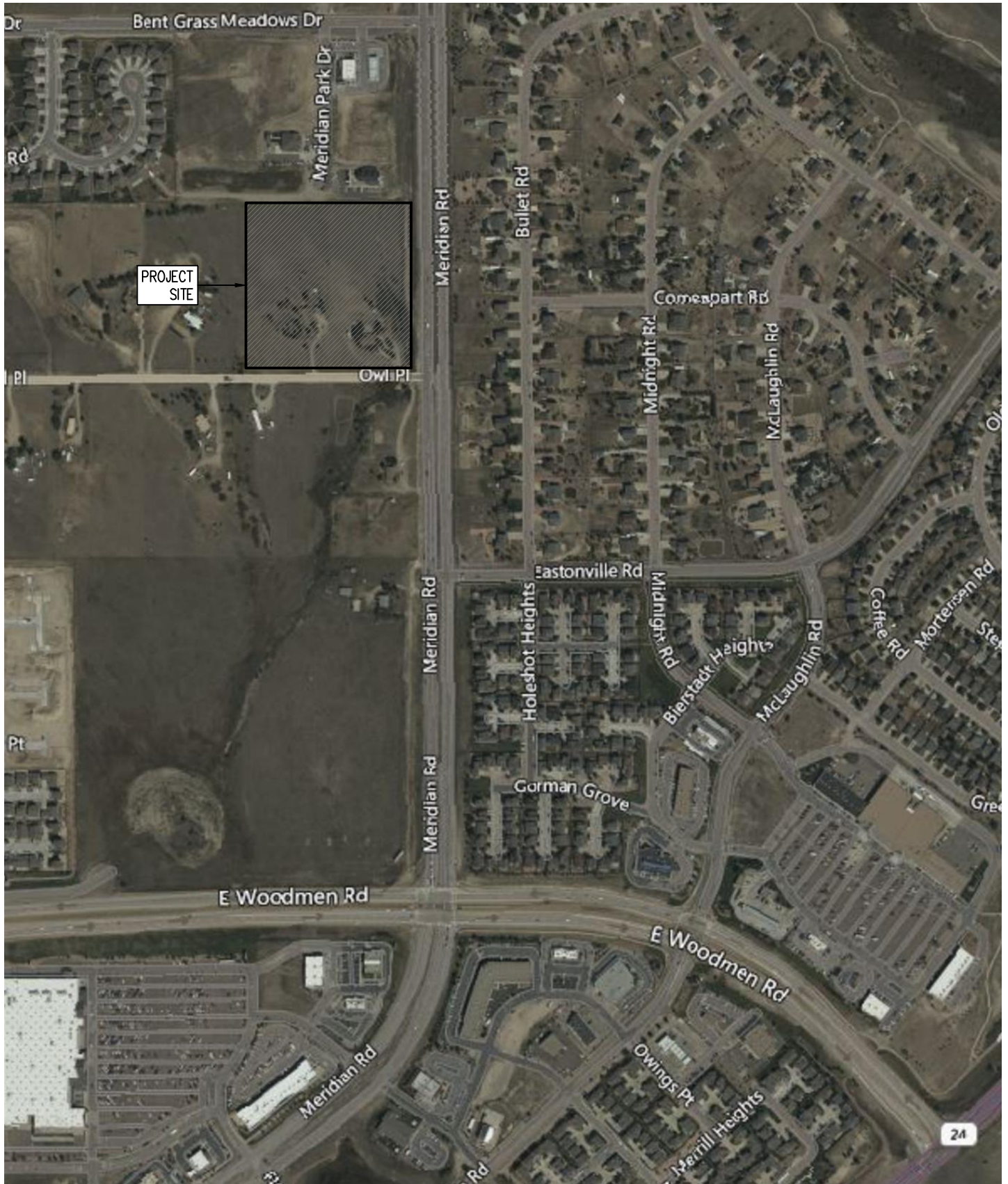
This Final Drainage Report for Falcon Ranchettes Filing No. 2 was prepared using the criteria and methods as described in the Mile High Flood District (MHFD) Urban Storm Drainage Criteria Manual (USDCM) and the adopted chapters 6 & 13 from the City of Colorado Springs Drainage Criteria Manual (DCM) Vol. 1. The downstream facilities are adequate to protect the runoff proposed from the site. The site runoff will not adversely affect the downstream and surrounding developments. This report is in general conformance with all previously prepared reports that included this site.

VIII. References

1. Drainage Criteria Manual Volume 1, City of Colorado Springs, May 2014, revised January 2021.
2. Drainage Criteria Manual Volume 2, City of Colorado Springs, May 2014, revised December 2020.

3. El Paso County Board Resolution No. 15-042: El Paso County adoption of Chapter and Section 3.2.1, Chapter 14 of the City of Colorado Springs Drainage Criteria Manual Volume 1, May 2014
4. Urban Storm Drainage Criteria Manuals, Mile High Flood District, latest revisions.
5. Flood Insurance Rate Map, El Paso County Area, Colorado and Incorporated Areas, Map Number 08041C0553G, Effective Date December 7, 2018
6. Soil Map, El Paso County Area, Colorado as available through the Natural Resources Conservation Service National Cooperative Soil Survey website via Web Soil Survey 2.0
7. Geotechnical Exploration Report for 11690 and 11750 Owl Place, Prepared by Universal Engineering Sciences, April 18, 2023
8. Falcon Drainage Basin Planning Study, Prepared by Matrix Design Group, September 2015
9. Bent Grass MDDP Amendment & DBPS Amendment, Prepared by Galloway & Company, Inc., September 2021
10. Request for Conditional Letter of Map Revision, Unnamed Tributary to Black Squirrel Creek, Falcon Owl Place, Prepared by Drexel, Barrel & Co., October 25, 2022
11. Request for Letter of Map Revision, Unnamed Tributary to Black Squirrel Creek, Falcon Marketplace, Prepared by Drexel, Barrel & Co., March 15, 2021
12. Final Drainage Report for Falcon Marketplace, Prepared by Drexel, Barrel & Co., November 4, 2019

APPENDIX A



MERIDIAN STORAGE

VICINITY MAP

Project No: MRS01

Drawn By: CMWJ

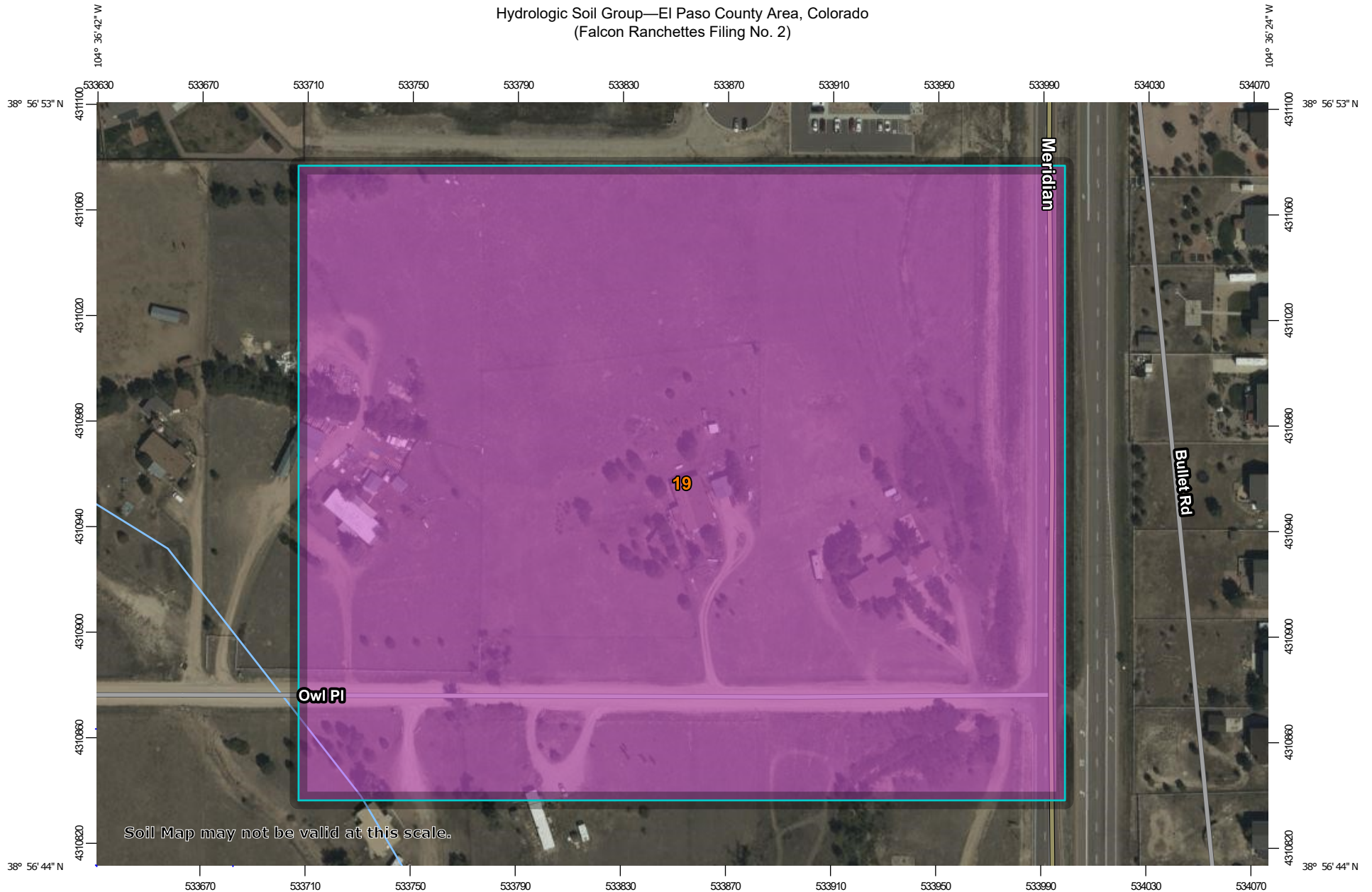
Checked By: RGD

Date: 12/13/2022

Galloway

1155 Kelly Johnson Blvd., Suite 305
 Colorado Springs, CO 80920
 719.900.7220 • GallowayUS.com

Hydrologic Soil Group—El Paso County Area, Colorado
(Falcon Ranchettes Filing No. 2)



Soil Map may not be valid at this scale.

Map Scale: 1:2,040 if printed on A landscape (11" x 8.5") sheet.




Map projection: Web Mercator Corner coordinates: WGS84 Edge tics: UTM Zone 13N WGS84



MAP LEGEND

Area of Interest (AOI)









 Area of Interest (AOI)

Soils

Soil Rating Polygons





 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Lines


 A
 A/D
 B
 B/D
 C
 C/D
 D
 Not rated or not available

Soil Rating Points






 A
 A/D
 B
 B/D

 C
 C/D
 D
 Not rated or not available

Water Features

 Streams and Canals

Transportation

 Rails
 Interstate Highways
 US Routes
 Major Roads
 Local Roads

Background

 Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: El Paso County Area, Colorado
 Survey Area Data: Version 20, Sep 2, 2022

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Sep 11, 2018—Oct 20, 2018

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
19	Columbine gravelly sandy loam, 0 to 3 percent slopes	A	17.4	100.0%
Totals for Area of Interest			17.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

NOTES TO USERS

This map is for use in administering the National Flood Insurance Program. It does not necessarily identify all areas subject to flooding, particularly from local drainage sources of small size. The community map repository should be consulted for possible updated or additional flood hazard information.

To obtain more detailed information in areas where **Base Flood Elevations (BFEs)** and/or **Floodways** have been determined, users are encouraged to consult the Flood Profiles and Floodway Data and/or Summary of Stillwater Elevations tables contained within the Flood Insurance Study (FIS) report that accompanies this FIRI. Users should be aware that BFEs shown on the FIRI represent rounded whole-foot elevations. These BFEs are intended for flood insurance rating purposes only and should not be used as the sole source of flood elevation information. Accordingly, flood elevation data presented in the FIS report should be utilized in conjunction with the FIRI for purposes of construction and/or floodplain management.

Coastal Base Flood Elevations shown on this map apply only landward of 0.0' North American Vertical Datum of 1988 (NAVD83). Users of this FIRI should be aware that coastal flood elevations are also provided in the Summary of Stillwater Elevations table in the Flood Insurance Study report for this jurisdiction. Elevations shown in the Summary of Stillwater Elevations table should be used for construction and/or floodplain management purposes when they are higher than the elevations shown on this FIRI.

Boundaries of the **floodways** were computed at cross sections and interpolated between cross sections. The floodways were based on hydraulic considerations with regard to requirements of the National Flood Insurance Program. Floodway widths and other pertinent floodway data are provided in the Flood Insurance Study report for this jurisdiction.

Certain areas not in Special Flood Hazard Areas may be protected by **flood control structures**. Refer to section 2.4 "Flood Protection Measures" of the Flood Insurance Study report for information on flood control structures for this jurisdiction.

The projection used in the preparation of this map was Universal Transverse Mercator (UTM) zone 13. The horizontal datum was NAD83, GRS80 spheroid. Differences in datum, horizontal projection or UTM zones among jurisdictions used in the production of FIRIs for adjacent jurisdictions may result in slight positional differences in map features across jurisdiction boundaries. These differences do not affect the accuracy of the FIRI.

Flood elevations on this map are referenced to the **North American Vertical Datum of 1988 (NAVD83)**. These flood elevations must be compared to structure and ground elevations referenced to the same vertical datum. For information regarding conversion between the National Geodetic Vertical Datum of 1929 and the North American Vertical Datum of 1988, visit the National Geodetic Survey website at <http://www.ngs.noaa.gov/> or contact the National Geodetic Survey at the following address:

NGS Information Services
NOAA, NGS512
National Geodetic Survey
SSM-C-3, #5022
1315 East-West Highway
Silver Spring, MD 20910-3282

To obtain current elevation, description, and/or location information for **bench marks** shown on this map, please contact the Information Services Branch of the National Geodetic Survey at (301) 713-3262 or visit its website at <http://www.ngs.noaa.gov/>.

Base Map information shown on this FIRI was provided in digital format by El Paso County, Colorado Springs Utilities, City of Fountain, Bureau of Land Management, National Oceanic and Atmospheric Administration, United States Geological Survey, and Anderson Consulting Engineers, Inc. These data are current as of 2006.

This map reflects more detailed and up-to-date **stream channel configurations and floodplain delineations** than those shown on the previous FIRI for this jurisdiction. The floodplains and floodways that were transferred from the previous FIRI may have been adjusted to conform to these new stream channel configurations. As a result, the Flood Profiles and Floodway Data tables in the Flood Insurance Study Report (which contains authoritative hydraulic data) may reflect stream channel distances that differ from what is shown on this map. The profile baselines depicted on this map represent the hydraulic modeling baselines that match the flood profiles and Floodway Data Tables if applicable, in the FIS report. As a result, the profile baselines may deviate significantly from the new base map channel representation and may appear outside of the floodplain.

Corporate limits shown on this map are based on the best data available at the time of publication. Because changes due to annexations or de-annexations may have occurred after this map was published, map users should contact appropriate community officials to verify current corporate limit locations.

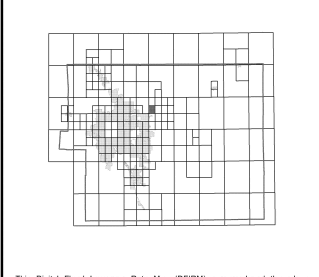
Please refer to the separately printed **Map Index** for an overview map of the county showing the layout of map panels; community map repository addresses; and a Listing of Communities table containing National Flood Insurance Program dates for each community as well as a listing of the panels on which each community is located.

Contact **FEMA Map Service Center (MSC)** via the FEMA Map Information eXchange (FMIX) 1-877-335-3247 for information on available products associated with this FIRI. Available products may include previously issued Letters of Map Change, a Flood Insurance Study Report, and/or digital versions of this map. The MSC may also be reached by Fax at 1-800-358-9620 and its website at <http://www.msc.fema.gov/>.

If you have **questions about this map** or questions concerning the National Flood Insurance Program in general, please call 1-877-FEMA MAP (1-877-336-2627) or visit the FEMA website at <http://www.fema.gov/business/>.

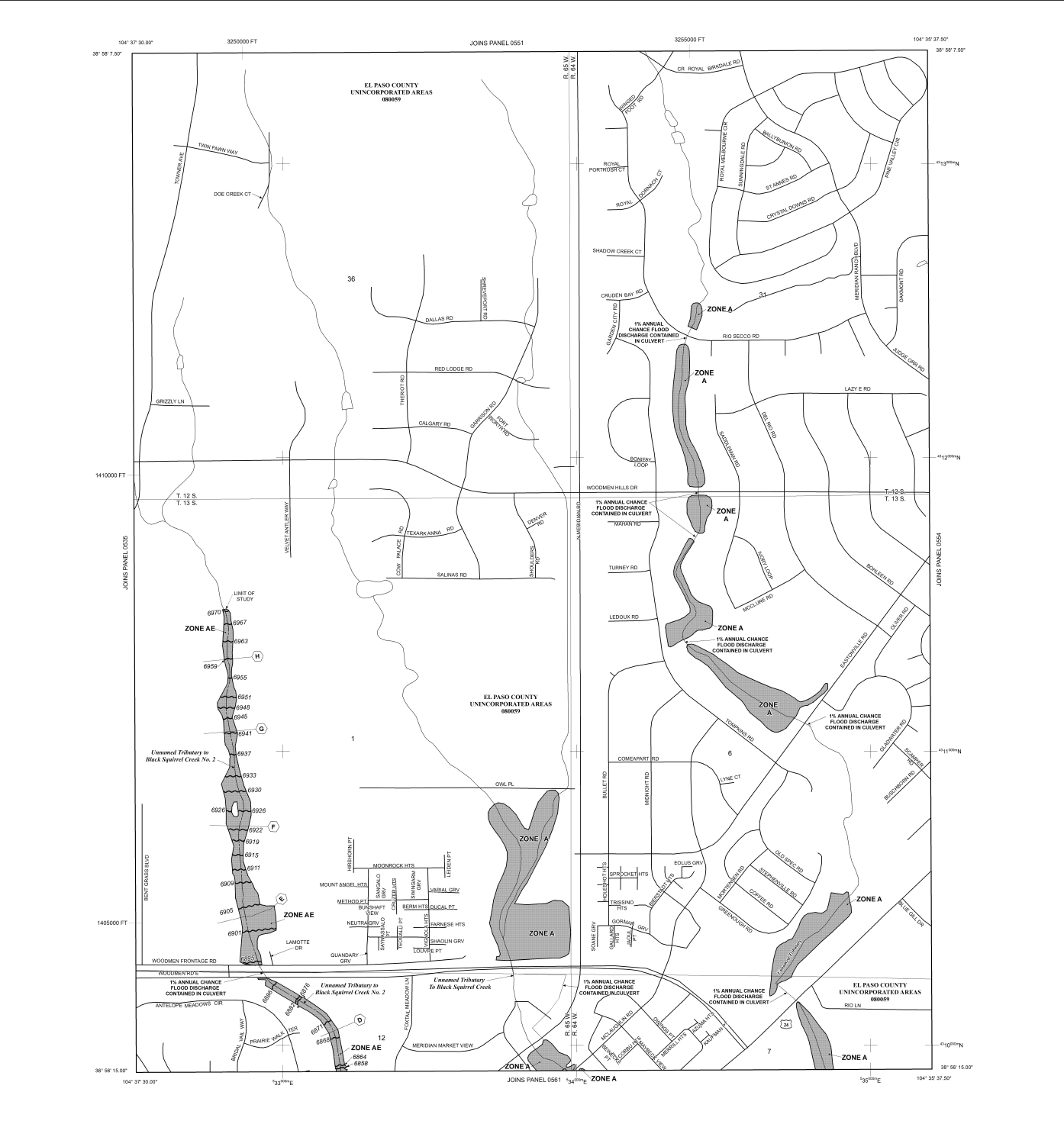
El Paso County Vertical Datum Offset Table
Flood Source Vertical Datum Offset
REFER TO SECTION 3.3 OF THE EL PASO COUNTY FLOOD INSURANCE STUDY FOR STREAM BY STREAM VERTICAL DATUM CONVERSION INFORMATION

Panel Location Map



This Digital Flood Insurance Rate Map (DFIRM) was produced through a Cooperative Technical Partner (CTP) agreement between the State of Colorado Water Conservation Board (CWCB) and the Federal Emergency Management Agency (FEMA).

Additional Flood Hazard information and resources are available from local communities and the Colorado Water Conservation Board.



LEGEND

SPECIAL FLOOD HAZARD AREAS (SFHAS) SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD

ZONE A No Base Flood Elevations determined.
Base Flood Elevations determined.

ZONE AE Base Flood Elevations determined.
Flood depths of 1 to 3 feet (usually areas of ponding); Base Flood Elevations determined.

ZONE AD Flood depths of 1 to 3 feet (usually sheet flow on sloping terrain); average depths determined. For areas of structural flood, vehicles also determined.

ZONE AR Special Flood Hazard Area formerly protected from the 1% annual chance flood by a flood control system that was subsequently determined. Zone AR indicates that the former flood control system is being removed to provide protection from the 1% annual chance or greater flood.

ZONE AR9 Area to be protected from 1% annual chance flood by a Federal flood protection system under construction; no Base Flood Elevations determined.

ZONE AV Coastal flood zone with velocity hazard (wave action); no Base Flood Elevations determined.

ZONE VE Coastal flood zone with velocity hazard (wave action); Base Flood Elevations determined.

FLOODWAY AREAS IN ZONE AE

The floodway is the channel of a stream plus any adjacent floodplain areas that must be kept free of encroachments so that the 1% annual chance flood can be carried without substantial increases in flood heights.

OTHER FLOOD AREAS

ZONE X Areas of 0.2% annual chance flood; areas of 1% annual chance flood with average depths of less than 1 foot or will average areas less than 1 square mile; and areas protected by levees from 1% annual chance flood.

OTHER AREAS

ZONE X Areas determined to be outside the 0.2% annual chance floodplain.
Areas in which flood hazards are undetermined, but possible.

ZONE D Areas in which flood hazards are undetermined, but possible.

COASTAL BARRIER RESOURCES SYSTEM (CBRS) AREAS

OTHERWISE PROTECTED AREAS (OPAs)

CBRS areas and OPAs are normally located within or adjacent to Special Flood Hazard Areas.

— Floodplain boundary
— Floodline boundary
— Zone D boundary
— CBRS and OPA boundary

— Boundary dividing Special Flood Hazard Areas of different Base Flood Elevations; flood depths or other flood velocities.
— Base Flood Elevation line and value; elevation in feet.
— Base Flood Elevation value where uniform within zone; elevation in feet.

— Referenced to the North American Vertical Datum of 1988 (NAVD 88)

— Cross section line
— Transsect line

— Geographic coordinates referenced to the North American Datum of 1983 (NAD 83)
— 1000-meter Universal Transverse Mercator grid ticks, zone 13
— 5000-foot grid ticks: Colorado State Plane coordinate system, central zone, projection
— Lambert Conformal Conic Projection

— Bench mark (see explanation in Notes to Users section of this FIRI label)
— M 1.5 River Mile

MAP REPOSITORIES
Refer to Map Repositories List on Map Index

EFFECTIVE DATE OF COUNTY-WIDE FLOOD INSURANCE RATE MAP
MARCH 17, 1997

EFFECTIVE DATE(S) OF REVISION(S) TO THIS PANEL
DECEMBER 7, 2018 In addition to updates to the Base Flood Elevations and Special Flood Hazard Areas, to update map symbols, to add roads and road names, and to incorporate previously issued Letters of Map Revision.

For community map revision history prior to countywide mapping, refer to the Community Map History Tables located in the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in this community, contact your insurance agent or call the National Flood Insurance Program at 1-800-638-6620.

MAP SCALE 1" = 500'
0 500 1000 FEET
0 150 300 METERS

NFIP **PANEL 0553G**

FIRM
FLOOD INSURANCE RATE MAP
EL PASO COUNTY,
COLORADO
AND INCORPORATED AREAS

PANEL 553 OF 1300
(SEE MAP INDEX FOR FIRM PANEL LAYOUT)

CONTAINS:
COMMUNITY NUMBER PANEL SUFFIX
EL PASO COUNTY 0553 G

Note: This map was updated on 05/15/2020 to make a correction to the vertical datum. However, any other numbers on the map above should be used on insurance applications for the subject community.

MAP NUMBER
08041C0553G

MAP REVISED
DECEMBER 7, 2018

Federal Emergency Management Agency

APPENDIX B

FALCON DRAINAGE BASIN PLANNING STUDY
SELECTED PLAN REPORT
FINAL - SEPTEMBER 2015

Prepared for:



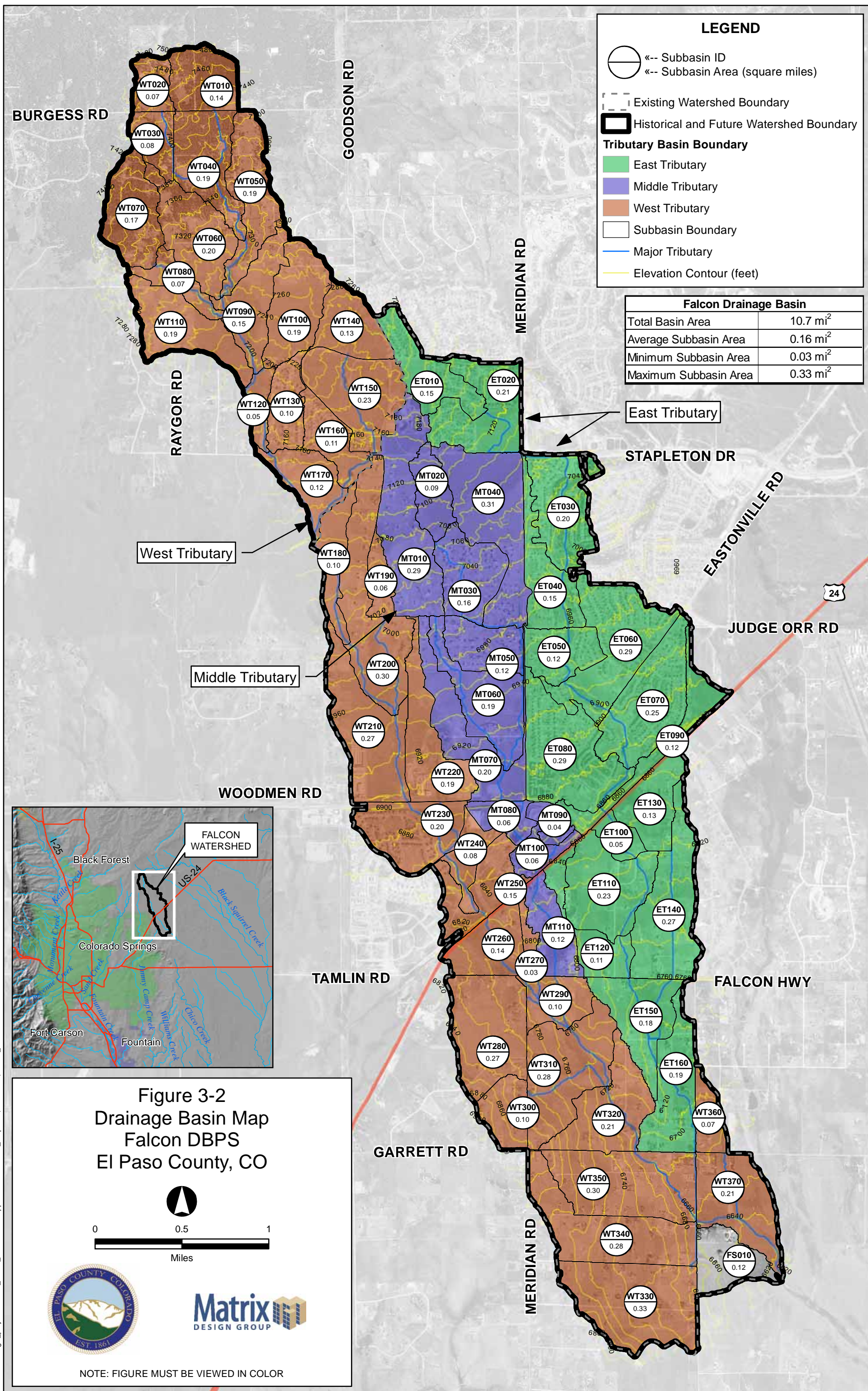
El Paso County Public Services Department
3275 Akers Drive
Colorado Springs, CO 80922

Prepared By:



Matrix Design Group
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920

Matrix Project No. 10.122.003



LEGEND

- Subbasin ID
- Subbasin Area (square miles)
- Existing Watershed Boundary
- Historical and Future Watershed Boundary
- Tributary Basin Boundary**
- East Tributary
- Middle Tributary
- West Tributary
- Subbasin Boundary
- Major Tributary
- Elevation Contour (feet)

Falcon Drainage Basin	
Total Basin Area	10.7 mi ²
Average Subbasin Area	0.16 mi ²
Minimum Subbasin Area	0.03 mi ²
Maximum Subbasin Area	0.33 mi ²

East Tributary

West Tributary

Middle Tributary

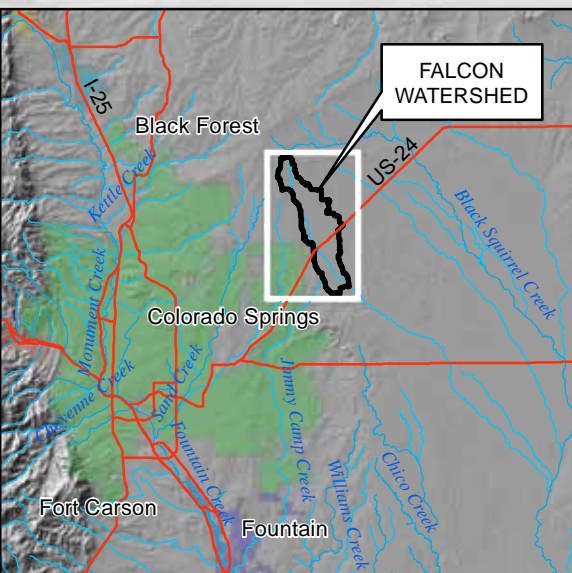


Figure 3-2 Drainage Basin Map Falcon DBPS El Paso County, CO

0 0.5 1
Miles

NOTE: FIGURE MUST BE VIEWED IN COLOR

FILE: G:\gis_projects\Falcon_Creek_DBPS\active\apps\20110613\basin_map.mxd, 8/29/2011, wilson_wheeler



Fix figure - entire background show up as black making the figure difficult to read.

LEGEND

- Subbasin ID
- 2-yr & 100-yr Flows (cfs)
- Detention Pond
- Junctions
- Existing Watershed Boundary
- Historical and Future Watershed Boundary
- Tributary Basin Boundary
- Subbasin Boundary
- Major Tributary

Hydrologic Element	Area (sq mi)	Future Peak Flows (cfs)	Hydrologic Element	Area (sq mi)	Future Peak Flows (cfs)		
		2-year 100-year			2-year 100-year		
ET010	0.15	38	200	RET050	0.71	27	570
ET020	0.21	73	360	RET060	0.83	11	530
ET030	0.20	65	340	RET070	1.11	13	480
ET040	0.15	28	170	RET080	1.36	65	420
ET050	0.12	37	200	RET090	1.66	15	350
ET060	0.29	110	530	RET100	1.78	26	390
ET070	0.25	94	460	RET110	1.83	27	390
ET080	0.29	110	520	RET120	2.05	39	490
ET090	0.12	26	130	RET130	0.13	11	85
ET100	0.05	11	72	RET140	2.16	49	450
ET110	0.23	24	200	RET150	0.40	26	200
ET120	0.11	11	89	RET160	2.57	50	650
ET130	0.13	11	85	RET170	2.74	59	680
ET140	0.27	16	120	RET180	2.93	66	710
ET150	0.18	17	140	RMT090	0.09	25	140
ET160	0.19	19	140	RMT040	0.25	49	290
FS010	0.12	6	75	RMT050	0.56	110	750
JET010	0.15	29	150	RMT062	0.29	1	160
JET020	0.36	74	390	RMT064	0.67	120	850
JET030	0.56	97	580	RMT070	1.16	130	1,000
JET040	0.71	27	570	RMT080	1.36	150	1,200
JET050	0.83	11	520	RMT090	0.04	9	32
JET060	1.11	13	430	RMT102	1.42	86	1,200
JET070	1.36	94	480	RMT104	0.04	9	32
JET080	1.66	15	350	RMT106	1.46	91	1,200
JET090	1.78	26	390	RMT112	1.52	92	1,200
JET100	1.83	27	390	RMT114	1.64	94	1,200
JET110	2.05	40	440	RMT030	0.07	4	42
JET120	2.16	49	450	RMT042	0.14	9	85
JET130	0.13	11	85	RMT044	0.14	9	89
JET140	0.40	26	200	RMT046	0.28	15	170
JET152	2.57	51	650	RMT054	0.46	24	260
JET154	2.74	62	680	RMT080	0.17	14	130
JET160	2.93	66	710	RMT092	0.85	43	480
FS010	0.12	6	75	RMT094	1.09	54	610
OUTLET	0.12	6	75	RMT122	1.43	68	730
JMT010	0.29	1	160	RMT124	1.63	77	840
JMT020	0.09	26	140	RMT150	0.13	32	180
JMT030	0.25	50	290	RMT160	0.36	15	170
JMT040	0.56	110	750	RMT172	1.77	85	620
JMT050	0.67	120	850	RMT174	0.47	35	180
JMT060	1.16	130	1,000	RMT176	2.24	98	960
JMT070	1.36	150	1,200	RMT180	2.36	100	990
JMT080	1.42	86	1,200	RMT202	2.46	100	1,000
JMT090	0.04	9	32	RMT204	0.06	4	43
JMT102	1.46	91	1,200	RMT210	2.82	110	1,200
JMT104	0.04	9	32	RMT232	3.09	120	1,300
JMT106	1.52	92	1,200	RMT234	0.19	47	250
JMT110	1.64	94	1,200	RMT236	3.28	120	1,400
JMT110	0.14	9	89	RMT240	3.47	130	1,400
JMT120	0.07	4	42	RMT240			
JMT130	0.14	9	85	Diversion			
JMT142	0.28	15	170	Reach	0.00	30	39
JMT144	0.46	24	260	RMT250	3.55	83	1,100
JMT150	0.85	43	480	RMT260	3.70	85	1,100
JMT170	0.17	14	130	RMT291	3.84	86	1,100
JMT180	1.09	54	610	RMT292	0.03	11	57
JMT190	1.43	68	730	RMT294	0.27	33	250
JMT210	1.63	77	840	RMT295	3.87	86	1,100
JMT220	1.77	85	620	RMT296	4.13	94	1,100
JMT230	0.13	32	180	RMT312	0.10	12	91
JMT240	0.36	15	170	RMT314	5.88	160	1,700
JMT260	0.47	35	190	RMT320	6.25	160	1,700
JMT272	2.24	99	960	RMT344	0.33	32	250
JMT274	2.36	100	990	RMT352	6.46	160	1,700
JMT280	2.46	100	1,000	RMT354	9.69	210	2,400
JMT290	0.06	4	43	RMT372	10.30	230	2,500
JMT200	2.82	110	1,200	RMT374	0.07	7	55
JMT210	3.09	120	1,300	RMT376	10.36	230	2,500
JMT220	0.19	47	250	M1	0.06	4	43
JMT232	3.28	120	1,400	M2	0.29	1	160
JMT234	3.47	130	1,400	WH1 North	0.71	88	570
JMT240	3.55	83	1,100	WH1 South	0.71	88	570
JMT250	3.70	85	1,100	WH2	0.83	11	530
JMT260	3.84	86	1,100	WH3	1.11	13	430
JMT270	0.03	11	57	WH4	1.66	15	350
JMT280	0.27	33	250	WH5	0.04	9	32
JMT292	3.87	86	1,100	WH6	0.56	110	750
JMT294	4.13	96	1,100	WT010	0.14	9	89
JMT296	5.88	160	1,700	WT020	0.07	4	42
JMT300	0.10	12	92	WT030	0.08	9	75
JMT310	6.25	160	1,700	WT040	0.19	9	93
JMT320	6.46	160	1,700	WT050	0.19	17	140
JMT330	0.33	32	250	WT060	0.20	14	120
JMT352	9.69	210	2,400	WT070	0.17	14	130
JMT354	10.30	230	2,500	WT080	0.07	9	67
JMT360	0.07	7	55	WT090	0.15	22	160
JMT372	10.36	230	2,500	WT100	0.19	56	300
JMT374				WT110	0.19	22	170
OUTLET	10.58	230	2,500	WT120	0.05	8	55
MT010	0.29	28	210	WT130	0.30	30	170
MT020	0.09	26	140	WT140	0.13	32	180
MT030	0.16	39	230	WT150	0.23	49	250
MT040	0.31	95	460	WT160	0.11	35	180
MT050	0.12	17	110	WT170	0.12	21	140
MT060	0.19	30	200	WT180	0.10	8	66
MT070	0.20	25	170	WT190	0.06	11	75
MT080	0.06	62	190	WT200	0.30	25	190
MT090	0.04	40	130	WT210	0.27	32	190
MT100	0.06	17	88	WT220	0.19	47	250
MT110	0.12	19	120	WT230	0.20	71	350
PBH4	0.15	29	150	WT240	0.08	36	160
PBH1	0.10	10	130	WT250	0.15	63	290
PBH2	0.36	51	270	WT260	0.14	10	78
PBH3	0.36	15	170	WT270	0.03	11	57
PBH4	0.19	11	160	WT280	0.27	33	250
RMN	1.42	86	1,200	WT290	0.10	15	110
RWU				WT300	0.10	12	92
Diversion	3.55	83	1,300	WT310	0.28	31	250
RWU North	3.55	110	1,400	WT320	0.21	27	200
RWU South	3.55	55	1,000	WT330	0.33	32	250
RET020	0.15	29	150	WT340	0.28	19	150
RET030	0.36	71	380	WT350	0.30	38	280
RET040	0.56	95	580	WT360	0.07	7	55
				WT370	0.21	7	120

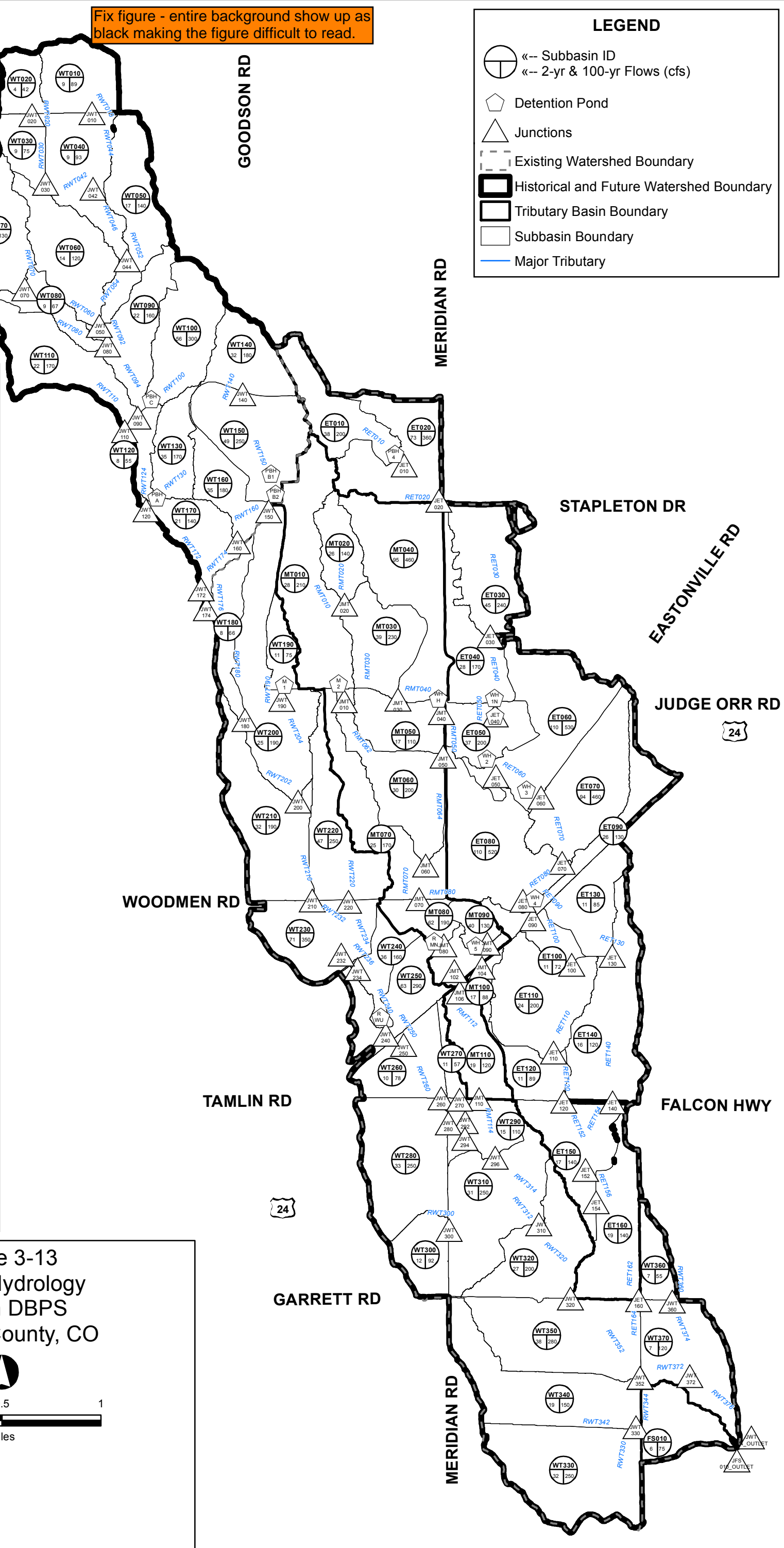
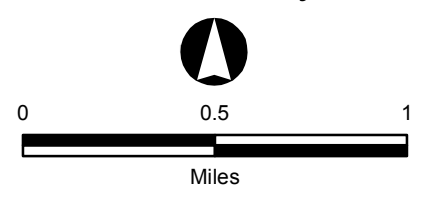
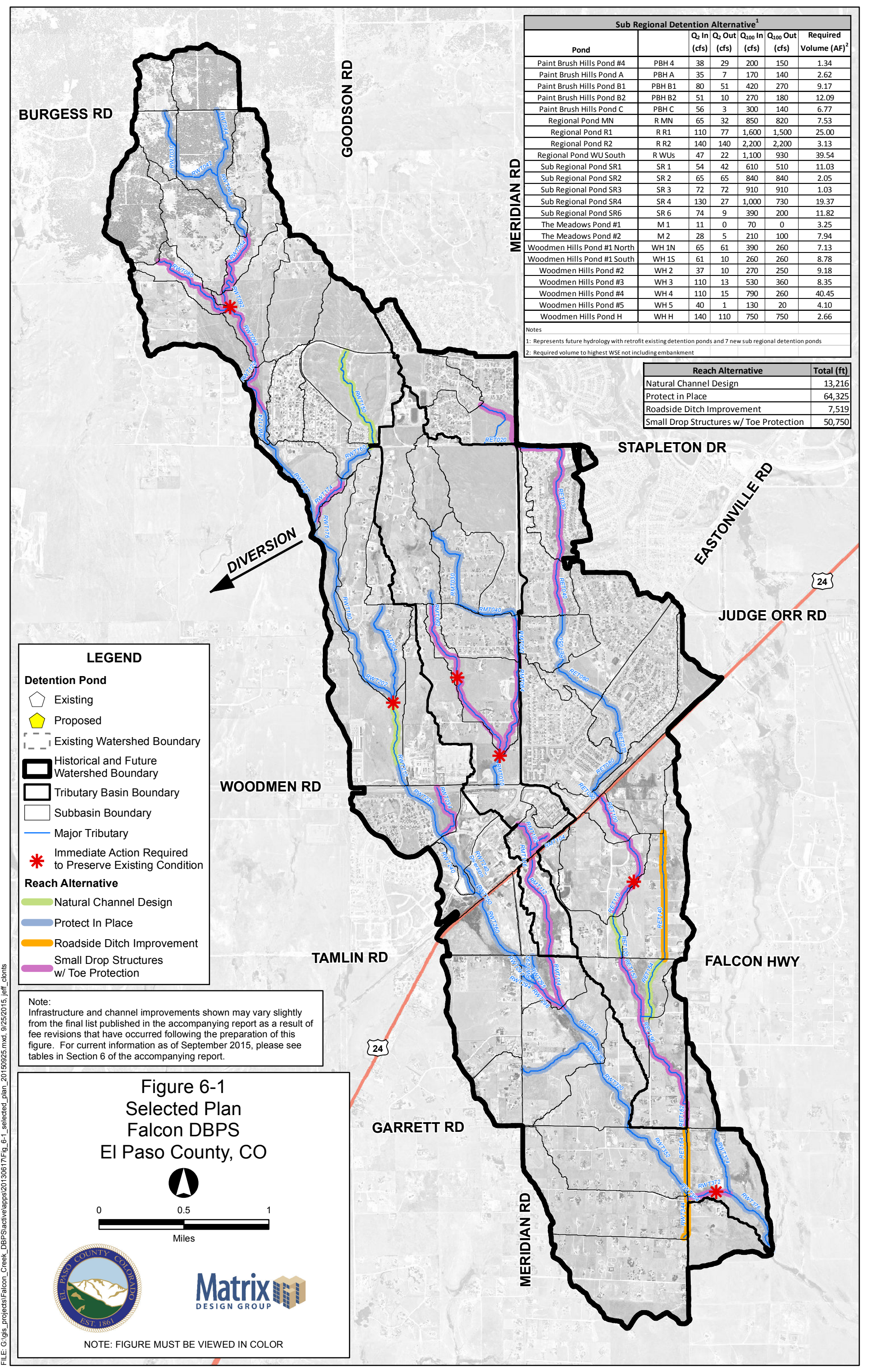


Figure 3-13
Future Hydrology
Falcon DBPS
El Paso County, CO



NOTE: FIGURE MUST BE VIEWED IN COLOR



Sub Regional Detention Alternative ¹						
Pond		Q ₂ In (cfs)	Q ₂ Out (cfs)	Q ₁₀₀ In (cfs)	Q ₁₀₀ Out (cfs)	Required Volume (AF) ²
Paint Brush Hills Pond #4	PBH 4	38	29	200	150	1.34
Paint Brush Hills Pond A	PBH A	35	7	170	140	2.62
Paint Brush Hills Pond B1	PBH B1	80	51	420	270	9.17
Paint Brush Hills Pond B2	PBH B2	51	10	270	180	12.09
Paint Brush Hills Pond C	PBH C	56	3	300	140	6.77
Regional Pond MN	R MN	65	32	850	820	7.53
Regional Pond R1	R R1	110	77	1,600	1,500	25.00
Regional Pond R2	R R2	140	140	2,200	2,200	3.13
Regional Pond WU South	R WUs	47	22	1,100	930	39.54
Sub Regional Pond SR1	SR 1	54	42	610	510	11.03
Sub Regional Pond SR2	SR 2	65	65	840	840	2.05
Sub Regional Pond SR3	SR 3	72	72	910	910	1.03
Sub Regional Pond SR4	SR 4	130	27	1,000	730	19.37
Sub Regional Pond SR6	SR 6	74	9	390	200	11.82
The Meadows Pond #1	M 1	11	0	70	0	3.25
The Meadows Pond #2	M 2	28	5	210	100	7.94
Woodmen Hills Pond #1 North	WH 1N	65	61	390	260	7.13
Woodmen Hills Pond #1 South	WH 1S	61	10	260	260	8.78
Woodmen Hills Pond #2	WH 2	37	10	270	250	9.18
Woodmen Hills Pond #3	WH 3	110	13	530	360	8.35
Woodmen Hills Pond #4	WH 4	110	15	790	260	40.45
Woodmen Hills Pond #5	WH 5	40	1	130	20	4.10
Woodmen Hills Pond H	WH H	140	110	750	750	2.66

Notes

1: Represents future hydrology with retrofit existing detention ponds and 7 new sub regional detention ponds

2: Required volume to highest WSE not including embankment

Reach Alternative	Total (ft)
Natural Channel Design	13,216
Protect in Place	64,325
Roadside Ditch Improvement	7,519
Small Drop Structures w/ Toe Protection	50,750

LEGEND

Detention Pond

- Existing
- Proposed

Existing Watershed Boundary

Historical and Future Watershed Boundary

Tributary Basin Boundary

Subbasin Boundary

Major Tributary

Immediate Action Required to Preserve Existing Condition

Reach Alternative

- Natural Channel Design
- Protect In Place
- Roadside Ditch Improvement
- Small Drop Structures w/ Toe Protection

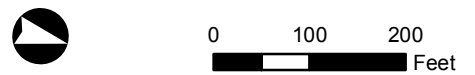
Note:
Infrastructure and channel improvements shown may vary slightly from the final list published in the accompanying report as a result of fee revisions that have occurred following the preparation of this figure. For current information as of September 2015, please see tables in Section 6 of the accompanying report.

Figure 6-1
Selected Plan
Falcon DBPS
El Paso County, CO

NOTE: FIGURE MUST BE VIEWED IN COLOR

Sheet 6-23 Falcon DBPS Conceptual Plan Middle Tributary El Paso County, CO

- Drainageway Crossing
- Stream Centerline
- Existing Approximate 100-yr Floodplain*
- Floodplain Study Limit
- Storm Sewer**
 - Inlet
 - Manhole
 - Pipe
- Reach Improvements**
 - Natural Channel Design
 - Protect In Place
 - Roadside Ditch Improvement
 - Small Drop Structures w/ Toe Protection
 - Existing Detention
 - Proposed Detention
 - Proposed Detention Grading
 - Small Drop Structure
 - Cross Vane
 - Immediate Action Required to Preserve Existing Condition



* These approximate 100-yr floodplain boundaries are for planning purposes only. This information is not intended to replace the information provided on the FEMA Flood Insurance Rate Maps for this area.
 ** These are conceptual design drawings and are subject to change. These drawings are not intended for construction purposes.



MT 6 - Woodmen Rd.
 EX Size: 4' Circular RCP (x3)
 PR Size: 5' Circular RCP (x3)
 * Sub-Regional Pond SR4 will be designed to mitigate capacity issues.

Floodplain Enters Underground Storm System

Sub Regional Pond SR4
 WQCV = 7.3 AF
 100-yr Volume = 19 AF
 $Q_{2 \text{ in}} = 130 \text{ cfs}$
 $Q_{2 \text{ out}} = 27 \text{ cfs}$
 $Q_{100 \text{ in}} = 1000 \text{ cfs}$
 $Q_{100 \text{ out}} = 730 \text{ cfs}$
 See Detail on Sheet 6-55

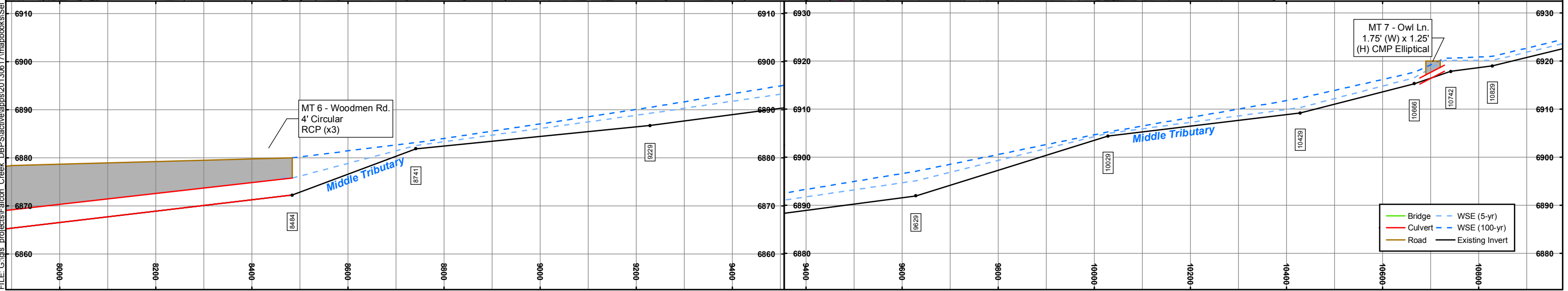
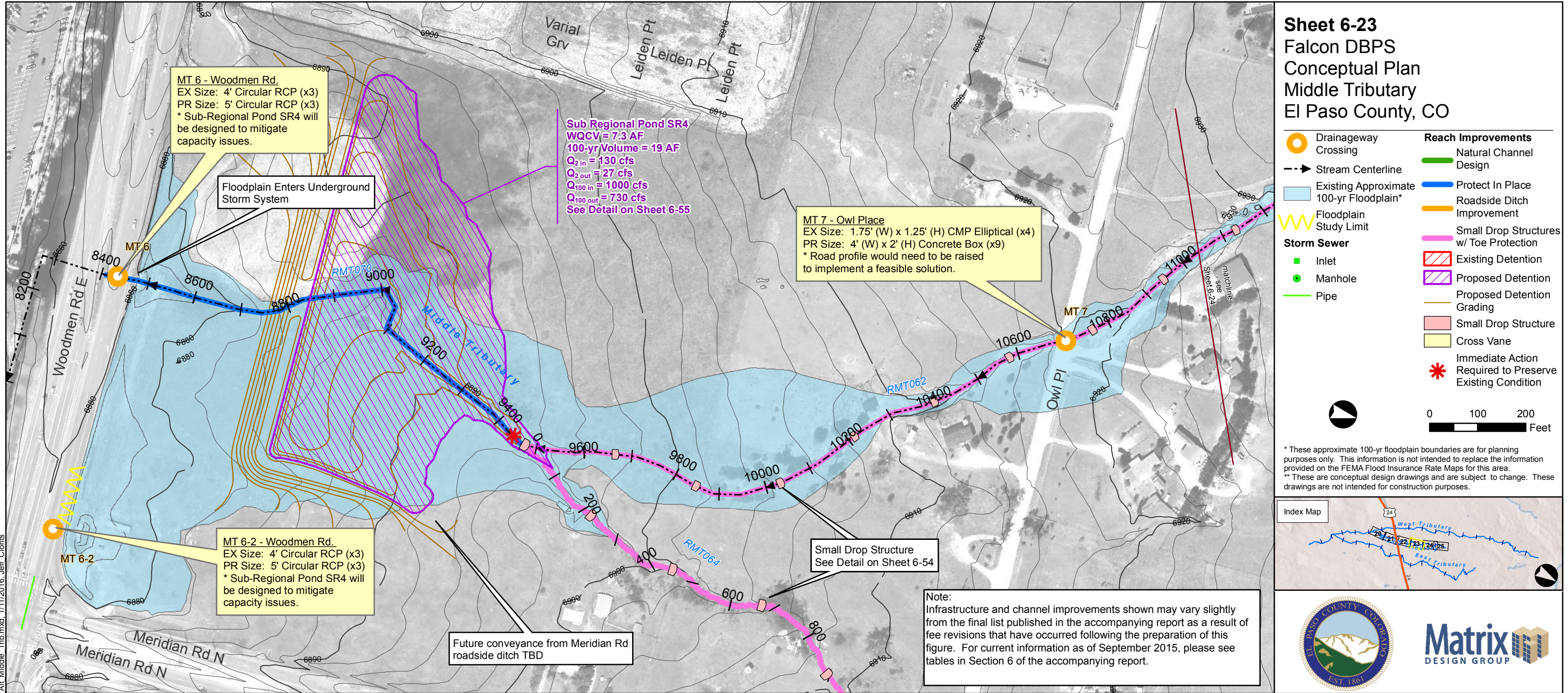
MT 7 - Owl Place
 EX Size: 1.75' (W) x 1.25' (H) CMP Elliptical (x4)
 PR Size: 4' (W) x 2' (H) Concrete Box (x9)
 * Road profile would need to be raised to implement a feasible solution.

MT 6-2 - Woodmen Rd.
 EX Size: 4' Circular RCP (x3)
 PR Size: 5' Circular RCP (x3)
 * Sub-Regional Pond SR4 will be designed to mitigate capacity issues.

Small Drop Structure
 See Detail on Sheet 6-54

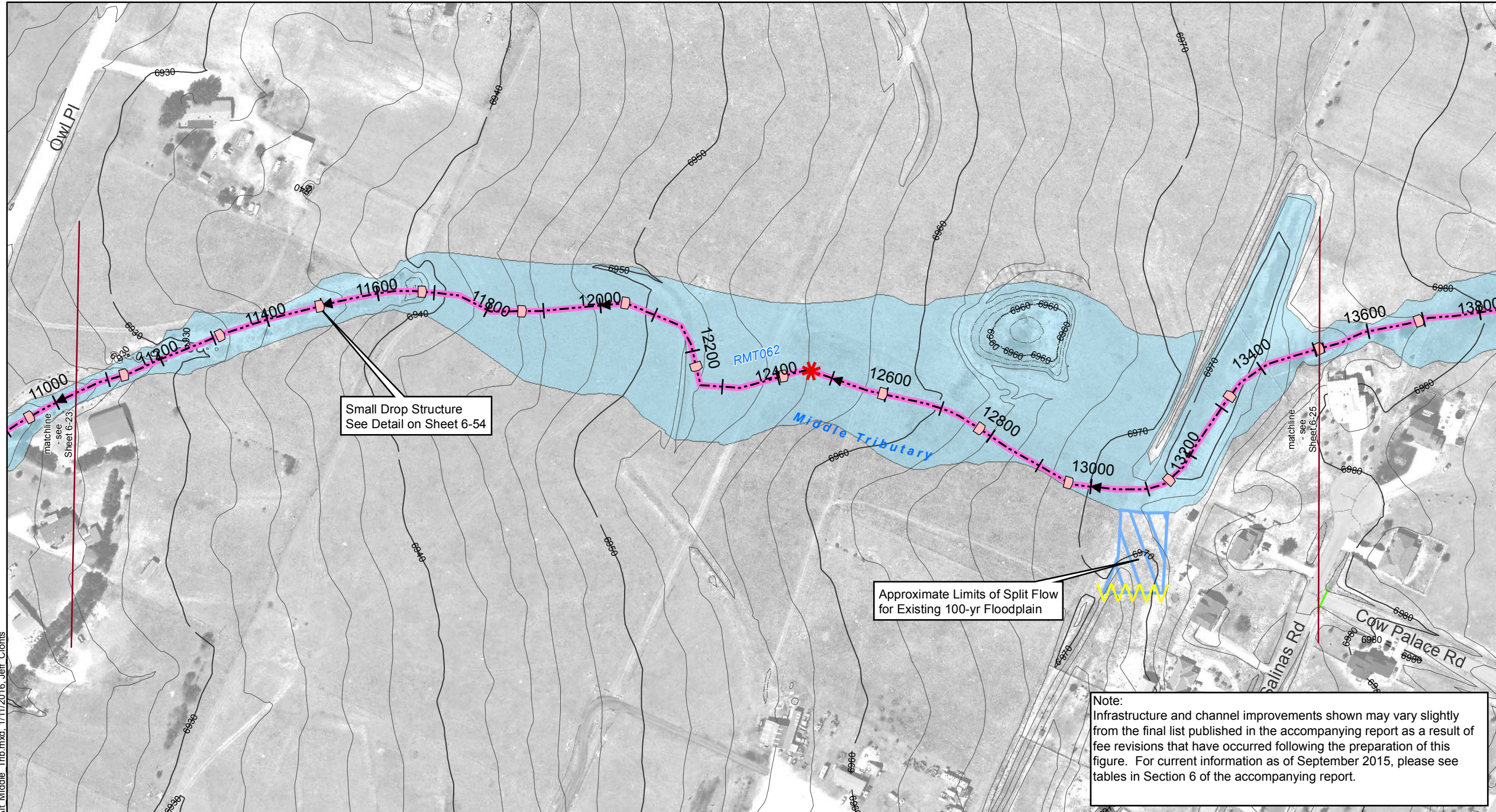
Note:
 Infrastructure and channel improvements shown may vary slightly from the final list published in the accompanying report as a result of fee revisions that have occurred following the preparation of this figure. For current information as of September 2015, please see tables in Section 6 of the accompanying report.

Future conveyance from Meridian Rd roadside ditch TBD



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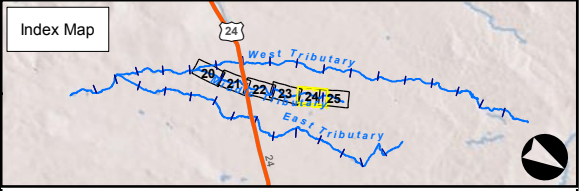
Sheet 6-24 Falcon DBPS Conceptual Plan Middle Tributary El Paso County, CO



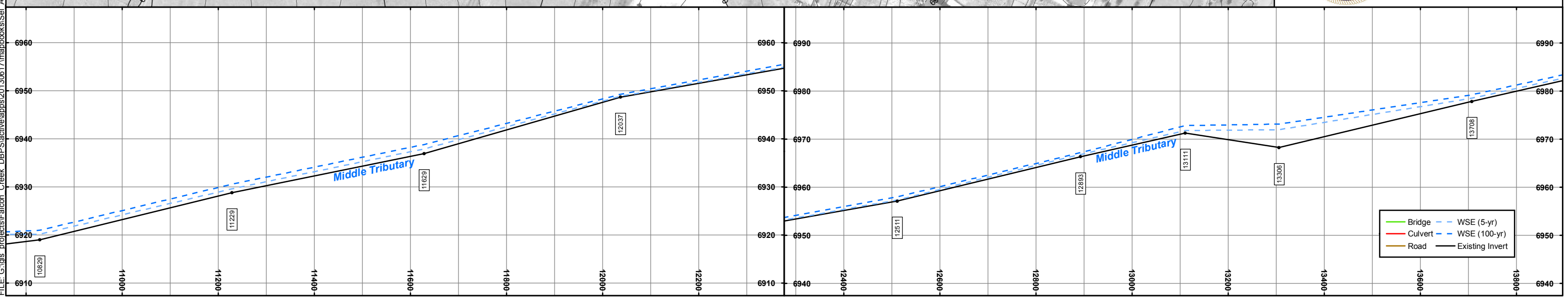
Drainageway Crossing	Reach Improvements
Stream Centerline	Natural Channel Design
Existing Approximate 100-yr Floodplain*	Protect In Place
Floodplain Study Limit	Roadside Ditch Improvement
Storm Sewer	Small Drop Structures w/ Toe Protection
Inlet	Existing Detention
Manhole	Proposed Detention
Pipe	Proposed Detention Grading
	Small Drop Structure
	Cross Vane
	Immediate Action Required to Preserve Existing Condition

0 100 200 Feet

* These approximate 100-yr floodplain boundaries are for planning purposes only. This information is not intended to replace the information provided on the FEMA Flood Insurance Rate Maps for this area.
 ** These are conceptual design drawings and are subject to change. These drawings are not intended for construction purposes.



Note:
 Infrastructure and channel improvements shown may vary slightly from the final list published in the accompanying report as a result of fee revisions that have occurred following the preparation of this figure. For current information as of September 2015, please see tables in Section 6 of the accompanying report.



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7.0 FEE DEVELOPMENT

7.1. Introduction

The objective of the fee development exercise was to determine the equitable share of drainage improvement costs that a developer is responsible for paying to El Paso County if they wish to plat a property. This fee is a function of the total cost for the selected plan outlined in Section 6 and will be used by the County to pay for drainage improvements that are necessary as a result of development. The product of this calculation is a unit fee (cost/impervious acre) that is a one-time charge to the developer based on the number of impervious acres within the platted property.

7.2. Developable Land

The Falcon Watershed has a total area of 6,847 acres. The entirety of the watershed is within the County with 1,969 acres unplatted, according to the GIS dataset received from the County. This dataset also includes unplatted areas that can't be developed because of specific land use designations. Table 7-1 provides a summary of land classifications in the Falcon Watershed. A complete summary of unplatted area land use is provided in Appendix E.

Table 7-1. Land Classification

Classification	Area (acres)
Platted	3,670
Unplatted	1,969
Other	1,208
Total	6,847

The projected impervious acreage within unplatted areas totals 645.58 acres. A summary of land classification within the Falcon Watershed is provided in Figure 7-3.

7.3. Fee Calculation & County Cost

The total cost for the Selected Plan was separated into a Development Fee, County Cost, Metropolitan District Cost, and Drainage and Bridge Funds. A description of how the aforementioned were defined is as follows:

- **County Cost** – Drainage improvement costs that are the responsibility of the County as shown in Figure 7-1.
- **Metropolitan District Cost** – Drainage improvement costs that are the responsibility of a metropolitan district as shown in Figure 7-2.
- **Development Fee** – All drainage improvement costs that are directly associated with new development.
- **Drainage and Bridge Funds** – The balance of drainage and bridge funds as of August 2015 was \$584,134 and \$510,777, respectively, with a liability of \$300,000 cost for this DBPS (an additional contract amendment increased the cost of this DBPS to \$339,088).

The anticipated reimbursements due for work completed in the Falcon Watershed are approximately equivalent to the available drainage and bridge funds. As a result, reimbursements were not included in

the fee calculation. Drainage improvements that are required as a result of new development are listed in Appendix E.

The costs apportioned to County and metropolitan district drainage improvements are provided in Table 7-2 and Table 7-3. The bridge improvement fees shown in Table 7-2 and Table 7-3 were determined by classification of the crossing as either a bridge or a culvert. This classification was based on the DCM criteria.

Table 7-2. County Cost

Drainage Improvements	\$ 24,051,349
Bridge Improvements	\$ 2,887,437
Total Cost	\$ 26,938,786

Table 7-3. Metropolitan District Cost

Drainage Improvements	\$ 3,972,407
Bridge Improvements	\$ 1,855,620
Total Cost	\$ 5,828,027

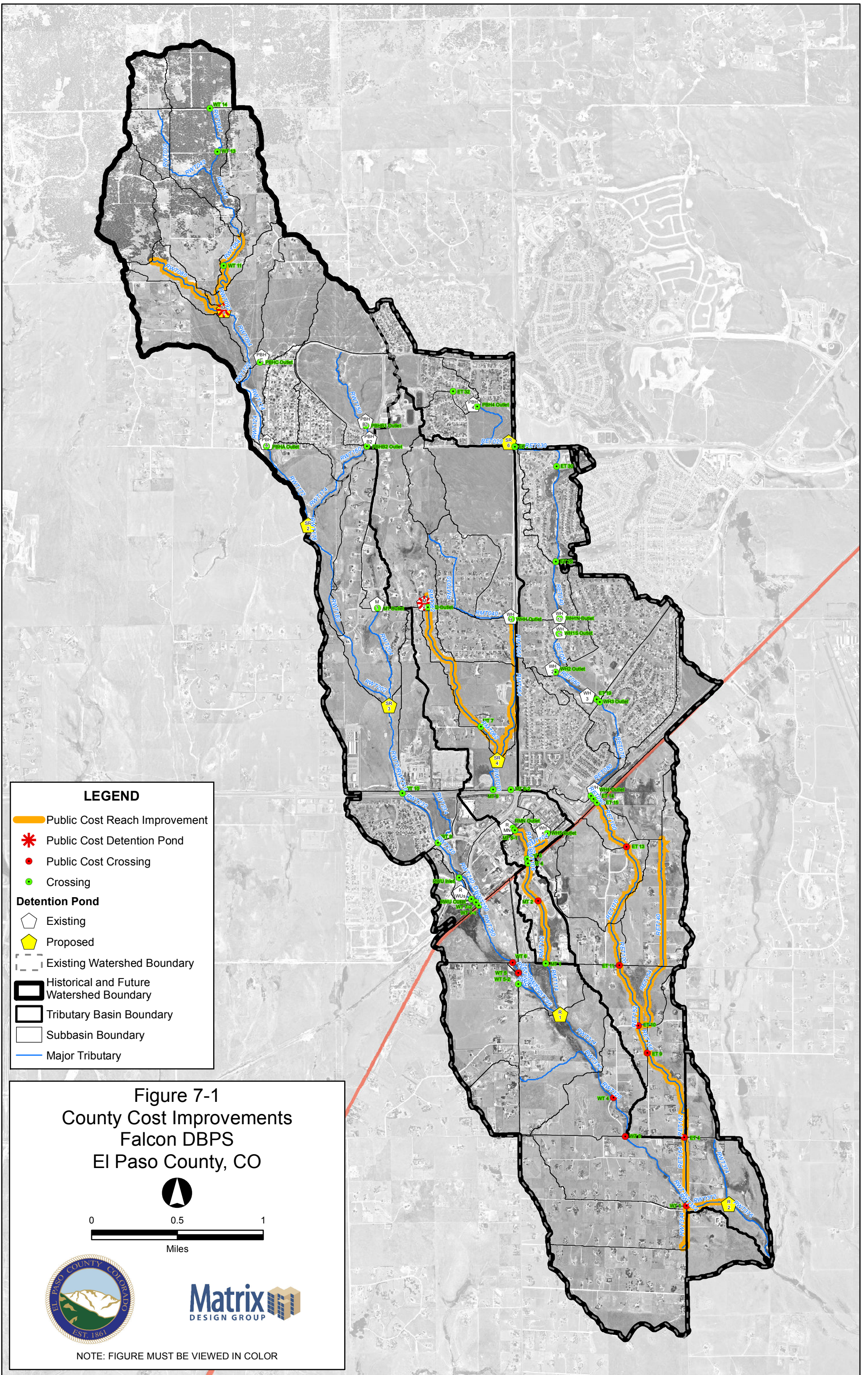
The development cost and corresponding fee calculations based on impervious acreage are provided in Table 7-4 and 7-5.

Table 7-4. Development Drainage Cost and Fee

Drainage Improvements	\$ 14,649,163
DBPS Cost	\$ 339,088
Total Cost	\$ 14,988,251
Drainage Fee (per imp. ac.)	\$ 23,217

Table 7-5. Development Bridge Cost and Fee

Bridge Improvements	\$ 2,058,474
Total Cost	\$ 2,058,474
Bridge Fee (per imp. ac.)	\$ 3,189



**Falcon DBPS
County Costs**

Drainage Fees			
Reach/Pond	Reach Length (ft)	Improvement	Cost
RWT344	1,379	Roadside Ditch Improvement	\$ 167,006
RET140	4,052	Roadside Ditch Improvement	\$ 295,914
RET164	2,072	Roadside Ditch Improvement	\$ 132,703
RET100	1,791	Small Drop Structures w/Toe Protection	\$ 1,342,120
RET110	2,751	Small Drop Structures w/Toe Protection	\$ 1,055,516
RET152	2,030	Small Drop Structures w/Toe Protection	\$ 1,081,390
RET120	1,379	Natural Channel Design	\$ 72,798
RET162	3,256	Small Drop Structures w/Toe Protection	\$ 656,460
RMT050	1,568	Small Drop Structures w/Toe Protection	\$ 814,189
RMT062	5,688	Small Drop Structures w/Toe Protection	\$ 2,381,127
RMT064	3,358	Small Drop Structures w/Toe Protection	\$ 1,231,110
RMT112	3,372	Small Drop Structures w/Toe Protection	\$ 1,276,142
RWT054	2,497	Small Drop Structures w/Toe Protection	\$ 1,414,531
RWT080	3,494	Small Drop Structures w/Toe Protection	\$ 2,345,153
RWT092	626	Small Drop Structures w/Toe Protection	\$ 414,434
RWT372	1,377	Small Drop Structures w/Toe Protection	\$ 947,221
RMT102	1,021	Small Drop Structures w/Toe Protection	\$ 636,082
RMT104	874	Small Drop Structures w/Toe Protection	\$ 186,349
RET154	2,357	Natural Channel Design	\$ 468,927
RET156	942	Natural Channel Design	\$ 73,722
WT 5	43	Crossing - Culvert	\$ 8,651
ET 13	50	Crossing - Culvert	\$ 113,991
ET 11	40	Crossing - Culvert	\$ 84,348
ET 9	40	Crossing - Culvert	\$ 84,102
ET 4	61	Crossing - Culvert	\$ 106,060
Sub Regional Pond SR1		Detention Pond	\$ 405,769
The Meadows Pond #2		Detention Pond	\$ 20,000
		Subtotal	\$ 17,815,814
		Engineering/Construction Admin (15%)	\$ 2,672,372
		Contingency (20%)	\$ 3,563,163
		Total	\$ 24,051,349

Bridge Fees			
Reach/Pond	Reach Length (ft)	Improvement	Cost
WT 6	43	Crossing - Bridge	\$ 249,775
WT 4	48	Crossing - Bridge	\$ 528,324
WT 3	46	Crossing - Bridge	\$ 218,292
WT 1	40	Crossing - Bridge	\$ 636,648
MT 2	83	Crossing - Bridge	\$ 343,147
ET 10	44	Crossing - Bridge	\$ 162,656
		Subtotal	\$ 2,138,842
		Engineering/Construction Admin (15%)	\$ 320,826
		Contingency (20%)	\$ 427,768
		Total	\$ 2,887,437



MDDP & DBPS AMENDMENT

BENT GRASS DEVELOPMENT

El Paso County, Colorado

PREPARED FOR:
Challenger Communities, LLC
8605 Explorer Dr., Suite 250
Colorado Springs, CO 80920

PREPARED BY:
Galloway & Company, Inc.
1155 Kelly Johnson Blvd., Suite 305
Colorado Springs, CO 80920

DATE:
January 2021
Revised: March 2021
Revised: April 2021
Revised: June 2021
Revised: August 2021
Revised: September 2021

PUDSP-20-005



recommendations from the Falcon DBPS, when additional land is obtained to expand the ROW along the southbound portion of Meridian Road.

In the interim condition, it has been proposed to add a temporary lining to the existing channel to handle the excess velocities and depth associated with the DBPS flows and Bent Grass development re-routed flows. This analysis has been included in the Appendix.

The West Tributary Channel will be natural, vegetated facility, helping to ensure that the overall velocities will be reduced, flow depth will not exceed 5' and minimize any potential for scour. If needed, grade control structures may be designed as proposed in the DBPS to ensure these criteria are met.

3. Implement BMPs That Provide a Water Quality Capture Volume with Slow Release

This step utilizes formalized water quality capture volume to slow the release of runoff from the site. The WQCV will release in no less than 40 hours. On-site water quality control volume detention ponds will provide water quality treatment prior to the runoff being released into the channel. WQCV facilities will be designed as Extended Detention Basins.

The Falcon Meadows at Bent Grass development, west of Bent Grass Residential, Filing No. 1 and No. 2, will include several water quality ponds throughout the site to ensure flows will be treated prior to being released into the West Tributary Channel, running through the site. Only a small area, less than 1.0 acres will not be treated prior to releasing into the channel.

Currently, the existing Meridian Road roadside ditch, ultimately conveys runoff to the existing detention and water quality pond MN, as shown and discussed in the Falcon DBPS. The Falcon DBPS also shows a future detention and water quality pond SR-4 that is to receive flows from basin MT060 and discharge into basin MT070, ultimately routing to existing Pond MN. Flows from Bent Grass Meadows Drive are listed in basin MT060 but are being routed to the existing roadside ditch along Meridian Road, which is in basin MT070. The flows from the "School Site" and upstream basins will release into the east side of Pond SR-4 (west of Falcon Market Place). Pond SR-4 is currently under construction. The proposed improvements impact on the existing drainage basin and both Pond MN and Pond SR-4 are discussed later in the report.

4. Consider Need for Industrial and Commercial BMPs

Source control BMPs for homeowners include the use of garages as the primary area where pollutants can be stored. The single-family detached homes provide garages which can act as storage areas. The proposed development does not include outdoor storage or the potential for introduction of contaminants to the Counties' MS4, thus no targeted source control BMPs are necessary. The biggest source control BMP is public education and discuss topics such as: pet waste, car washing, lawn care, fall leaves, and snow melt and deicer.

Bent Grass East Commercial Filing No. 1 contains commercial development. This area will need to consider the need for Industrial & Commercial BMPs. No industrial uses or outside storage is proposed for this area. Drainage will be routed through water quality ponds prior to leaving the site to minimize contaminants into the public system.

VII. Future Drainage Conditions

MIDDLE TRIBUTARY

Design Point 30 and Basins OS-25 and OS-26 are as described under Existing Drainage Conditions. However, Basins OS-25 and OS-26 now route through proposed “future” detention pond, on what’s been previously referred to as the “School Site”, north of Bent Grass Meadows Drive and just west of Bent Grass Filing No. 2. This “future” pond will replace the current sedimentation pond on the “School Site”. Upon any additional development within the Middle Tributary area of the Bent Grass Development and north of Bent Grass Meadows Drive, this pond will need to be constructed to accommodate the re-routed flows from the Meadows Pond #2 at DP 30.

This future facility will need to provide 2.76 ac-ft of water quality, 6.26 ac-ft for EURV and 11.98 ac-ft for 100-year storage volume. Preliminary release rates for the 5 and 100-year storms are 3.8 cfs and 32.2 cfs. These flows were then routed to Bent Grass Meadows to the south. With the decrease in flows, flows will not overtop Bent Grass Meadows Drive and continue east to the future box culvert under Bent Grass Meadows Drive at DP BG20 (5-year flow=292.5 cfs, 100-year flow=909.3 cfs). Flows were still checked against street capacity on the north and south side of Bent Grass Meadows Drive, as it continues to the east. With the construction of the future pond, Bent Grass Meadows Drive will be able to adequately handle the flows and no additional storm infrastructure would need to be built to carry these future developed flows. Any area north of Bent Grass Meadows Drive that will develop in the future will need to provide its own on-site detention. Should future development not be able to release flows into Bent Grass Meadows Drive, a 42” RCP would be able to convey the flows of DP BG 15n (Q100=40.9 cfs, Q5=8.8 cfs) to the northwest corner of the Bent Grass Meadows Drive and Meridian Road intersection. Analysis for this culvert sizing has been included in the appendix.

At the Bent Grass Meadows Drive/Meridian Road intersection, the elliptical rcp’s will need to be replaced with a double 16’ x 4’ rcbc. The future roadside ditch will have a 15’ wide bottom channel with 4:1 side slope, 6.5’ deep and a longitudinal slope of 0.30%. This will result in a flow depth of 5.15’ and velocity of 5.04 fps. This channel will direct flows to Owl Place where the existing twin cmp’s will be replaced with a 20’ x 4’ rcbc or equivalent. This structure will need to be built when any development west of Meridian Road at the intersection of Owl Place happens. With future development, it is anticipated that the existing channel conveying flows to the south will be removed to accommodate the new development. The new channel will need to be a 35’ wide bottom channel with 4:1 sides, 5’ deep and a longitudinal slope of 0.30%. This will produce a flow depth of 3.7’ and a velocity of 4.6 fps. If the channel option is not viable, twin 78” rcp’s at a minimum 0.50% slope would be able to handle this future flow. Analysis for this design option has been included in the appendix.

Calculations are provided in Appendix C for the future culverts and roadside channel.

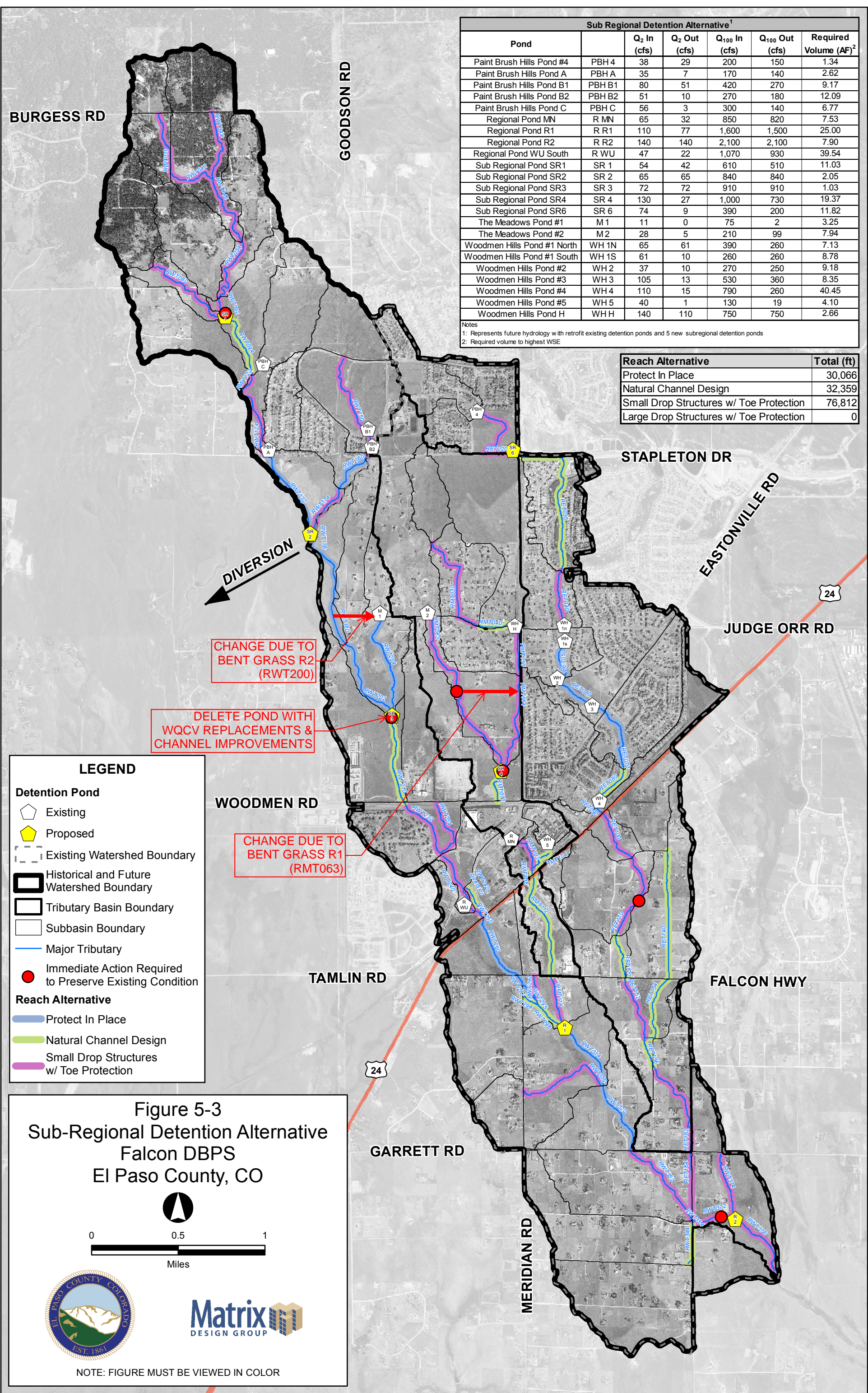
WEST TRIBUTARY

Offsite flows entering the west tributary location of Bent Grass have not changed from what was discussed under Current Conditions. Reach RWT202 at the northwest corner of the development has a 100-year flow of 1000 cfs and Reach RWT204 has a flow of 43 cfs. These were obtained from the DBPS by Matrix. The Flood Insurance Study (FIS) by FEMA does not have flows evaluated this far north. They have a flow of 1482 cfs beginning at RWT210. The 8 undeveloped on-site basins for Bent Grass West have been replaced with 17 developed basins. These basins are found in the Falcon Meadows for Bent Grass PDR. A summary of these basins is provided below and are part of the hydrology analysis provided in Appendix B.

Sub Regional Detention Alternative ¹						
Pond		Q ₂ In (cfs)	Q ₂ Out (cfs)	Q ₁₀₀ In (cfs)	Q ₁₀₀ Out (cfs)	Required Volume (AF) ²
Paint Brush Hills Pond #4	PBH 4	38	29	200	150	1.34
Paint Brush Hills Pond A	PBH A	35	7	170	140	2.62
Paint Brush Hills Pond B1	PBH B1	80	51	420	270	9.17
Paint Brush Hills Pond B2	PBH B2	51	10	270	180	12.09
Paint Brush Hills Pond C	PBH C	56	3	300	140	6.77
Regional Pond MN	R MN	65	32	850	820	7.53
Regional Pond R1	R R1	110	77	1,600	1,500	25.00
Regional Pond R2	R R2	140	140	2,100	2,100	7.90
Regional Pond WU South	R WU	47	22	1,070	930	39.54
Sub Regional Pond SR1	SR 1	54	42	610	510	11.03
Sub Regional Pond SR2	SR 2	65	65	840	840	2.05
Sub Regional Pond SR3	SR 3	72	72	910	910	1.03
Sub Regional Pond SR4	SR 4	130	27	1,000	730	19.37
Sub Regional Pond SR6	SR 6	74	9	390	200	11.82
The Meadows Pond #1	M 1	11	0	75	2	3.25
The Meadows Pond #2	M 2	28	5	210	99	7.94
Woodmen Hills Pond #1 North	WH 1N	65	61	390	260	7.13
Woodmen Hills Pond #1 South	WH 1S	61	10	260	260	8.78
Woodmen Hills Pond #2	WH 2	37	10	270	250	9.18
Woodmen Hills Pond #3	WH 3	105	13	530	360	8.35
Woodmen Hills Pond #4	WH 4	110	15	790	260	40.45
Woodmen Hills Pond #5	WH 5	40	1	130	19	4.10
Woodmen Hills Pond H	WH H	140	110	750	750	2.66

Notes
1: Represents future hydrology with retrofit existing detention ponds and 5 new subregional detention ponds
2: Required volume to highest WSE

Reach Alternative	Total (ft)
Protect In Place	30,066
Natural Channel Design	32,359
Small Drop Structures w/ Toe Protection	76,812
Large Drop Structures w/ Toe Protection	0



LEGEND

Detention Pond

- Existing (White pentagon)
- Proposed (Yellow pentagon)

Boundary

- Existing Watershed Boundary (Dashed line)
- Historical and Future Watershed Boundary (Thick black line)
- Tributary Basin Boundary (Thin black line)
- Subbasin Boundary (Dashed line)

Major Tributary

- Major Tributary (Blue line)

Immediate Action Required to Preserve Existing Condition

- Immediate Action Required to Preserve Existing Condition (Red circle)

Reach Alternative

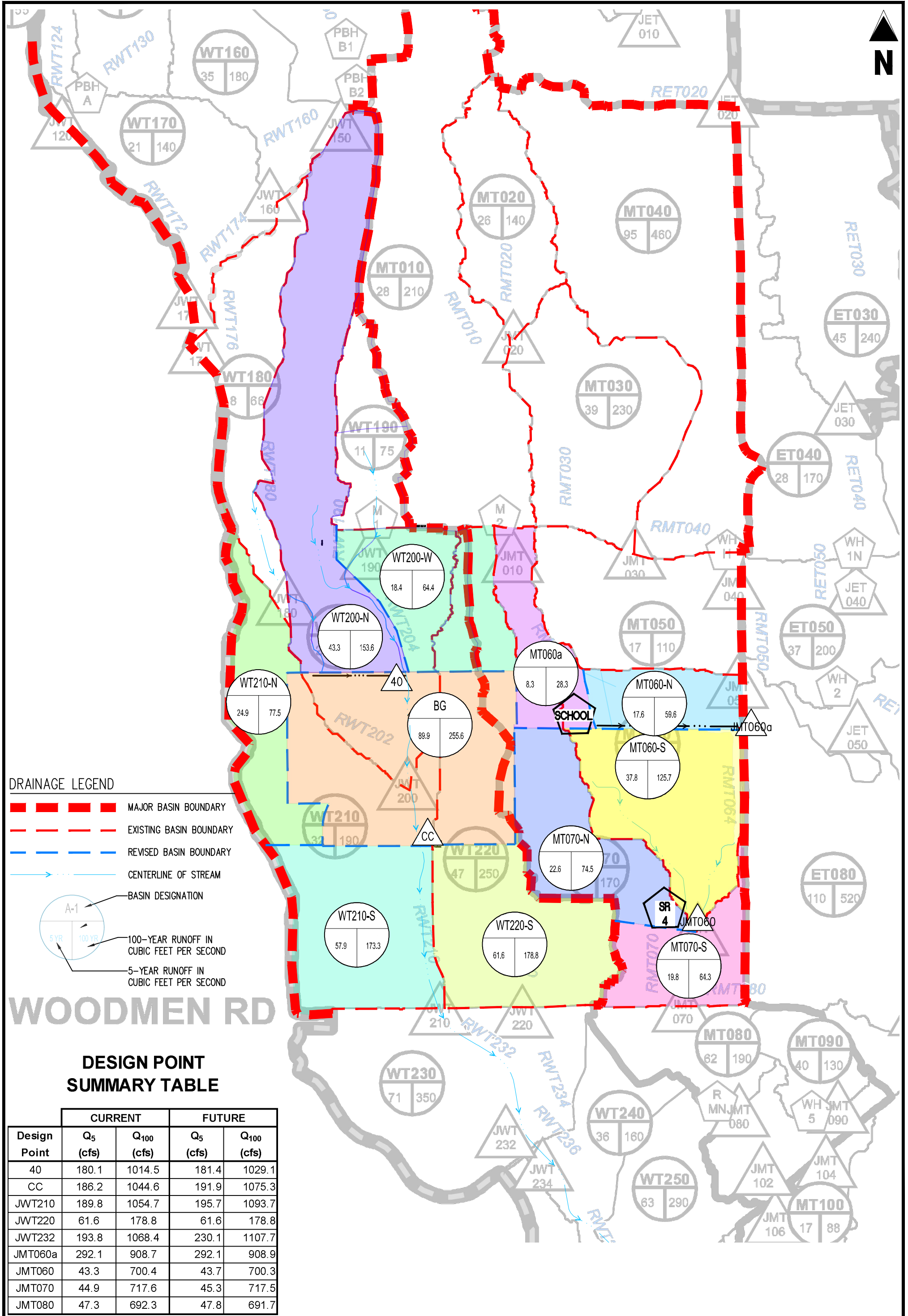
- Protect In Place (Blue line)
- Natural Channel Design (Green line)
- Small Drop Structures w/ Toe Protection (Purple line)

Figure 5-3
Sub-Regional Detention Alternative
Falcon DBPS
El Paso County, CO

0 0.5 1
Miles

NOTE: FIGURE MUST BE VIEWED IN COLOR

FILE: G:\gis_projects\Falcon_Creek_DBPStative\apps\20111215_alternatives\subregional_detention_alt.mxd, 12/19/2011, ron_ramold



FALCON MEADOWS AT BENT GRASS
MDDP

REVISED BASIN HYDROLOGY - HMS MODEL

Project No: CLH0017
 Drawn By: CMD
 Checked By: GD
 Date: 06/16/21

Galloway
 6162 S. Willow Drive, Suite 320
 Greenwood Village, CO 80111
 303.770.8884 • GallowayUS.com

MERIDIAN ROAD

Worksheet for Fut Channel - Pr 100 Yr Flow-MR

Project Description

Friction Method	Manning Formula
Solve For	Normal Depth

Input Data

Roughness Coefficient	0.035
Channel Slope	0.30 %
Left Side Slope	4.00 ft/ft (H:V)
Right Side Slope	4.00 ft/ft (H:V)
Bottom Width	15.00 ft
Discharge	925.00 ft ³ /s

Results

Normal Depth	5.15 ft
Flow Area	183.50 ft ²
Wetted Perimeter	57.49 ft
Hydraulic Radius	3.19 ft
Top Width	56.22 ft
Critical Depth	3.58 ft
Critical Slope	0.01368 ft/ft
Velocity	5.04 ft/s
Velocity Head	0.39 ft
Specific Energy	5.55 ft
Froude Number	0.49
Flow Type	Subcritical

GVF Input Data

Downstream Depth	0.00 ft
Length	0.00 ft
Number Of Steps	0

GVF Output Data

Upstream Depth	0.00 ft
Profile Description	
Profile Headloss	0.00 ft
Downstream Velocity	Infinity ft/s
Upstream Velocity	Infinity ft/s
Normal Depth	5.15 ft
Critical Depth	3.58 ft
Channel Slope	0.30 %

**REQUEST FOR
CONDITIONAL LETTER OF MAP REVISION**

**UNNAMED TRIBUTARY TO
BLACK SQUIRREL CREEK,
FALCON OWL PLACE**

Falcon, Colorado
October 25, 2022

Prepared by:

Drexel, Barrell & Co.
1376 Miners Drive, Suite 107
Lafayette, Colorado 80026
(303) 442-4338

Contact: Michelle Iblings, P.E., CFM

Prepared for:

BH RE Investments, LLC
106 S. Kyrene Road, Suite 2
Chandler, AZ 85226
(480) 590-8403

Contacts: Lubertus Hayenga, Brian Zurek

DBC Project No. 21611-00BLWR

3.0 HYDROLOGIC ANALYSIS

3.1 Falcon DBPS

The Falcon DBPS completed hydrologic analysis for the Falcon Basin Watershed, using HEC-HMS v3.5 software, for historical, existing, and future land use conditions by applying a 24-hour storm event with 2-, 5-, 10-, 25-, 50-, and 100-year recurrence intervals and current drainage infrastructure. Chapter 3 and Appendix A of the Falcon DBPS include a detailed discussion of the hydrologic analysis. An electronic copy of the HEC-HMS model (File: Aug15_Working_Falcon_DBPS_S.hms) is also provided.

The Falcon DBPS identified Subregional Pond SR4 to be installed on the Falcon Marketplace property. Pond SR4 was constructed in early 2021 and the property floodplain mapping was updated in LOMR Case Number 21-08-0534P.

El Paso County requires regional drainage infrastructure to be sized for future land use conditions. Therefore, peak discharges with existing drainage infrastructure and future land use conditions near Owl Place are summarized in Table 3-1.

Table 3-1. Future Land Use Conditions Peak Discharges near Falcon Owl Place on the Middle Tributary, Falcon DBPS

Model Location	Physical Location	Branch	Proximity to Owl Place	Q100 (cfs)
JMT050	Bent Grass Meadows Drive	Only East Branch	Upstream of Site	850
JMT060	Eastonville Road (Pond SR4 inflow)	Both East and West Branches	Downstream of Site	1,000

3.2 Falcon Owl Place

The Falcon DBPS HEC-HMS model with existing drainage infrastructure and future land use (Existing Conditions) was used as the basis for the Falcon Owl Place hydrologic analysis. The Existing Conditions model was replicated in HEC-HMS version 4.7.1, due to instabilities and runtime issues with the prior, outdated model version (3.5). The Existing model produced 100-year peak flows of 859 and 1,023 cfs upstream (JMT050) and downstream (JMT060) of the site, which are comparable to and more conservative than the 850 and 1,000 cfs in the DBPS. It should be noted that in Existing Conditions, JMT050 is on the East Branch of the Middle Tributary, whereas JMT060 includes flows from both the West and East Branches, immediately upstream of Pond SR4.

REQUEST FOR CONDITIONAL LETTER OF MAP REVISION
UNNAMED TRIBUTARY TO BLACK SQUIRREL CREEK,
FALCON OWL PLACE

The Falcon watershed did not include a design point on the East Branch immediately upstream of Pond SR4. Therefore, it was necessary to modify the HMS model to obtain a design flow for Owl Place. In the Proposed Conditions basin model, the junction JMT051 was created on the East Branch of the UTBSC at the southern boundary of the Falcon Owl Place property, immediately upstream of Pond SR4.

The lag time and drainage area for Basin MT060 were reduced to 0.077 square miles and 17 minutes, respectively. The length and slope of Routing RMT060 were also updated. The NRCS soils for the proposed basin are Columbine gravelly sandy loam with a Hydrologic Soil Group (HSG) A. The basin is zoned for a combination of 5-acre residential, commercial, and planned unit development (PUD). The nearby PUD (Bent Grass Meadows) is residential with an average lot size of 0.22 acres. Based on TR-55 Table 2-2a, areas with 0.22-acre lots and HSG A have a Curve Number (CN) of 65. However, it is unknown how and when this area will develop in the future. For example, the Owl Place site is currently being rezoned from RR-5 to CS, which would increase the CN from 46 to 89. The future conditions CN of 66 used in the Falcon DBPS is a reasonable representation of the future development potential in the basin and was used in the proposed conditions model.

The hydrologic parameter calculations, base mapping, and select output from the HEC-HMS model is included in **Appendix 4**, and the model files (HEC-HMS file: Falcon_OwlCLOMR.hms) are provided. Proposed peak discharges used for the Falcon Owl Place development are summarized in Table 3-2.

Table 3-2. Proposed Peak Discharges at Falcon Owl Place (East Branch of the UTBSC)

Recurrence Interval	Q100 (cfs)
100-year	920
5-year	288.5

4.0 HYDRAULIC ANALYSIS

4.1 General

The effective FIRM identifies an approximate Zone A floodplain across the Falcon Owl Place property with no flood profiles, discharges, or BFE's defined. The Falcon Owl Place development includes filling and regrading the site and rerouting the East Branch of the UTBSC through a box culvert across the site.

4.2 Vertical Datum

The effective FIRM is on the North American Vertical Datum of 1988 (NAVD88). The ALTA survey completed for the site (Olsson, 2021) and the design and construction

drawings are on the National Geodetic Vertical Datum of 1929 (NGVD29). The Falcon DBPS and the hydraulic analysis for this CLOMR were both completed on the NGVD29. The difference between the NGVD29 and NAVD88 is 3.8 feet on the Falcon Owl Place.

4.3 Horizontal Datum

The field survey, design, construction drawings and hydraulic modeling for the Falcon Owl Place project were completed on the North American Datum of 1983 (NAD83), Colorado State Plane coordinate system, Central Zone.

4.4 Box Culvert Hydraulic Analysis

Under existing and proposed conditions, the East Branch of the UTBSC leaving the Falcon Owl Place site discharges to Pond SR4 on the Falcon Marketplace. The pond was designed for a 100-year discharge of 1,016 cfs, which includes both West and East branches of the UTBSC. The 100-year water surface elevation upstream of the pond as shown in the LOMR is 6902.5 (NAVD88), or 6898.7 (NGVD29). The starting HGL for the box culvert analysis was conservatively placed at the top of pipe elevation of 6895.84 feet (NGVD29) for analyzing flows to the East branch only. However, an additional analysis was performed with a starting HGL of 6898.7, to evaluate the backwater effects from the pond.

StormCAD was used to evaluate the hydraulic performance of the 10'x6' box culvert. The profile and output for the 100-year storm event is included in **Appendix 5**, and the model files are provided.

4.5 Existing and Proposed Owl Place Culverts

The East Branch of the UTBSC is currently conveyed under Owl Place via two 36" CMP near the northeast corner of the site. The HY-8 software was used to analyze the existing culverts for the 100-year storm event.

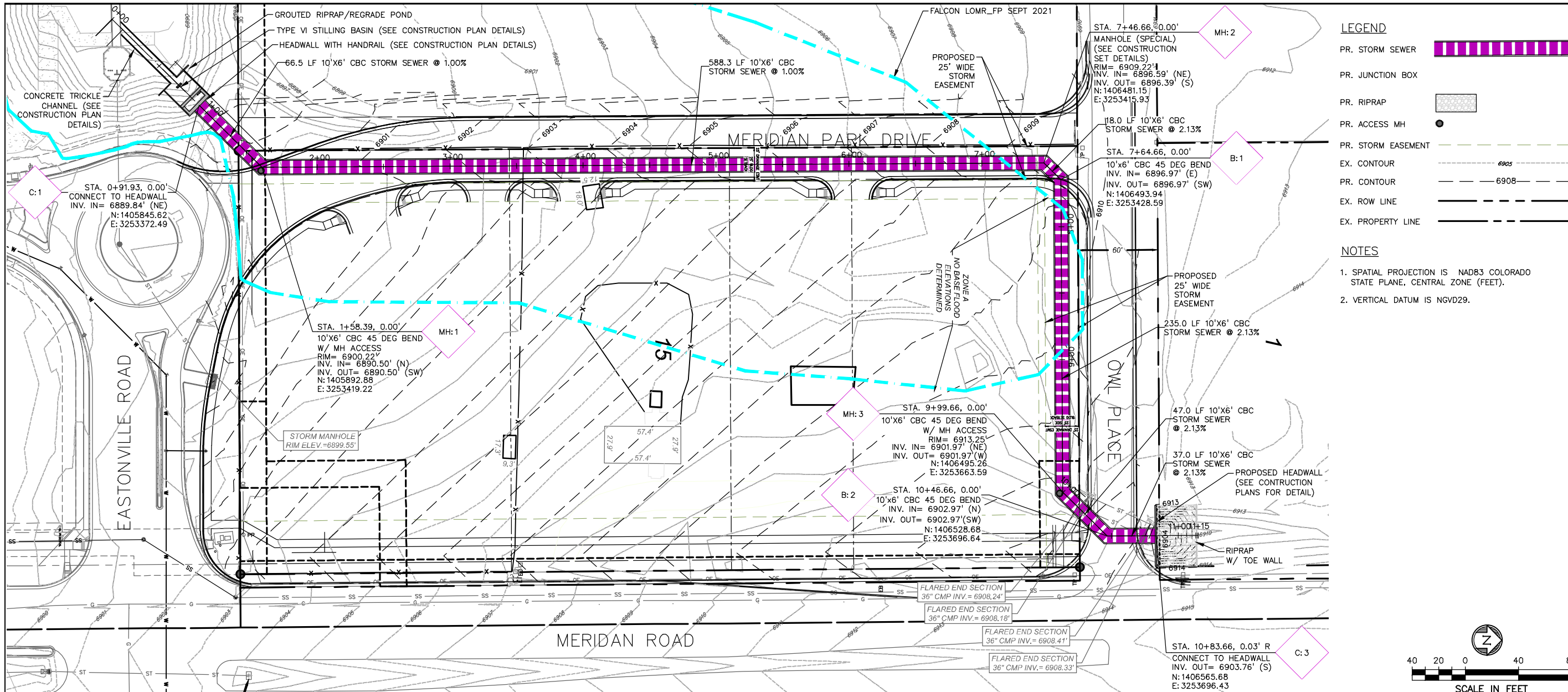
The 2-36" CMP culverts are severely undersized and partially filled with sediment as shown in the photo below. The culverts only convey 86-95 cfs, depending on tailwater depth. The remaining flow (approximately 825-834 cfs) in the 100-year event overtops Owl Place. The proposed box culvert will convey the entire 100-year event (920 cfs) with an HGL of 6911.31 at the proposed headwall upstream of Owl Place, which is more than one foot below Owl Place and contained within the existing and proposed channel upstream. Channel grading will be required for approximately 30 feet to tie into the existing creek profile upstream. The channel side slopes will be reduced from approximately 5.5H:1V to 1.8H:1V and protected with riprap.

The HY-8 output is included in **Appendix 5** and the model file (Owl Place.hy8) is provided.

REQUEST FOR CONDITIONAL LETTER OF MAP REVISION
UNNAMED TRIBUTARY TO BLACK SQUIRREL CREEK,
FALCON OWL PLACE



Existing 2-36" CMP under Owl Place (Upstream Inlets)



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 Engineers-Surveyors
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 CONTACT: MICHELLE IBLINGS, P.E.
 (303) 442-4338
 LAFAYETTE
 COLORADO SPRINGS

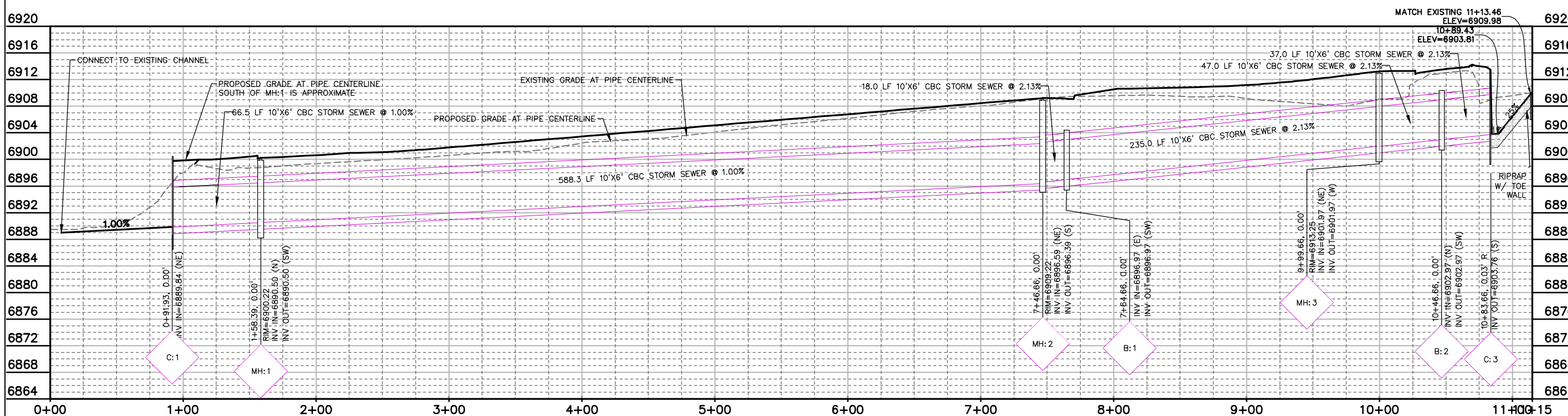
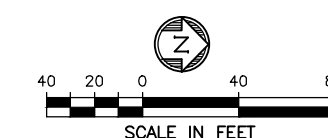
OWNER/CLIENT:
 LUBERTUS HAYENGA
 BHR INVESTMENTS, LLC
 106 S. KYRENE RD., STE 2
 CHANDLER, AZ 85226

EXHIBIT FOR:
FALCON
OWL PLACE
 FALCON, COLORADO

- LEGEND**
- PR. STORM SEWER
 - PR. JUNCTION BOX
 - PR. RIPRAP
 - PR. ACCESS MH
 - PR. STORM EASEMENT
 - EX. CONTOUR
 - PR. CONTOUR
 - EX. ROW LINE
 - EX. PROPERTY LINE

NOTES

- SPATIAL PROJECTION IS NAD83 COLORADO STATE PLANE, CENTRAL ZONE (FEET).
- VERTICAL DATUM IS NGVD29.



ISSUE	DATE
EXHIBIT	10/17/22

DESIGNED BY: MLI
 DRAWN BY: CAF
 CHECKED BY: MLI
 FILE NAME: EX01

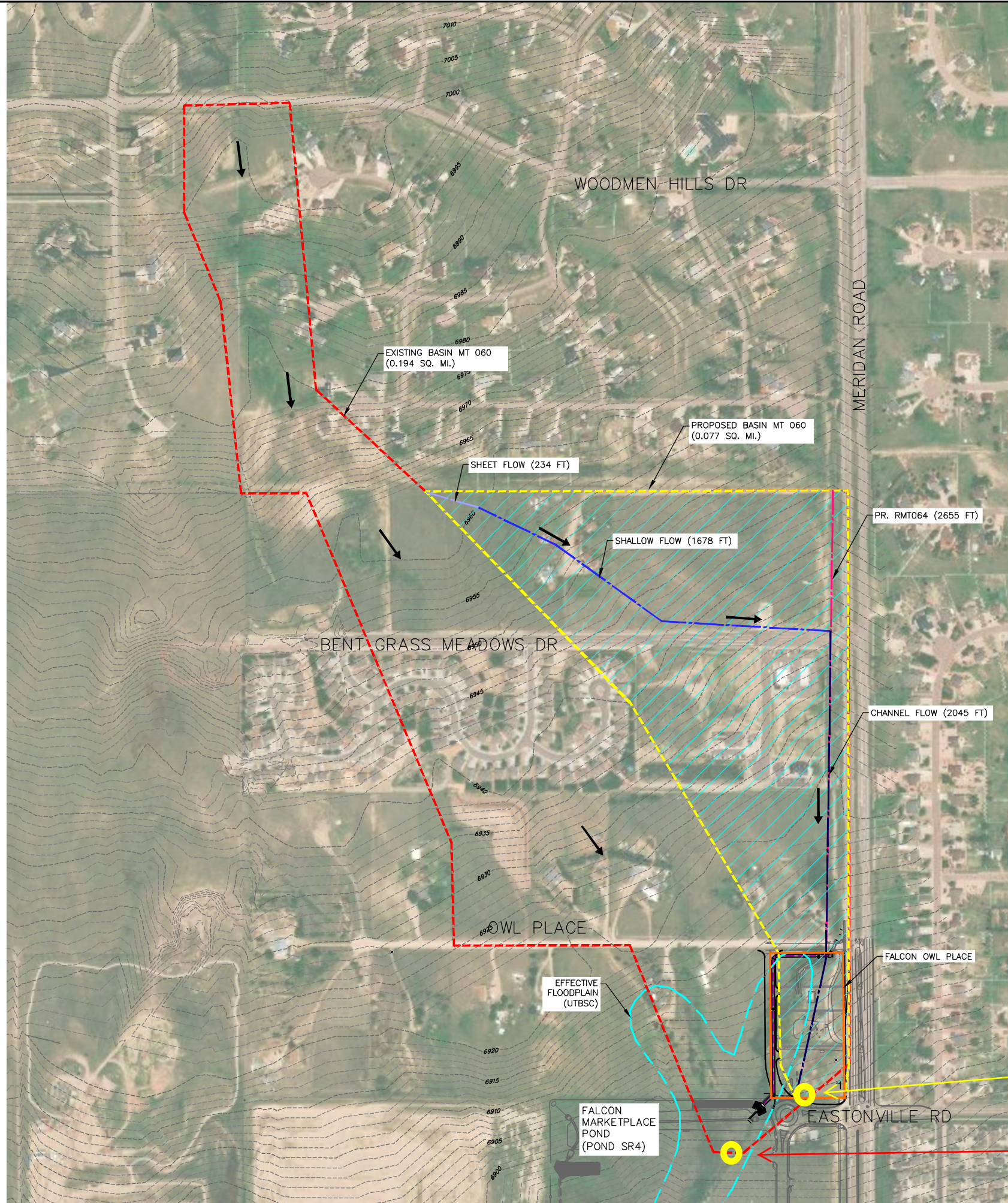
NOT FOR CONSTRUCTION

DRAWING SCALE:
 HORIZONTAL: SEE PLAN
 VERTICAL: SEE PLAN

PROJECT: 21611-00BLWR
 DRAWING NO.
EX01
 SHEET: 1 OF 1

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LEGEND

EX. CONTOUR	----- 6905
PR. STORM SEWER	=====
EFFECTIVE 100-YR FLOODPLAIN	-----
EX. BASIN MT060	-----
PR. BASIN MT060	-----
PR. BASIN MT060 AREA	//////
PR. SHEET FLOW	-----
PR. SHALLOW FLOW	-----
PR. CHANNEL FLOW	-----
PR. RMT064	-----
EX. FALCON OWL PLACE PROPERTY BOUNDARY	-----
FLOW DIRECTION	→

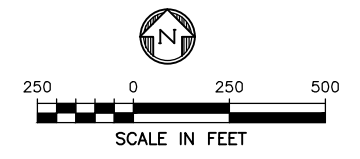
NOTES

1. SPATIAL PROJECTION IS NAD83 COLORADO STATE PLANE, CENTRAL ZONE (FEET).
2. VERTICAL DATUM IS NGVD29.

The existing basin delineation is approximated from the Falcon DBPS, which was developed in 2015.

The existing conditions contours are from Lidar, and may not reflect roadway and drainage infrastructure that is shown on the aerial image.

The proposed basin delineation is based on a combination of Lidar contours, drainage and roadway infrastructure, aerial mapping, and site survey.



JMT051 (proposed)

JMT060 (existing)

PREPARED BY:

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OWNER/CLIENT:

EXHIBIT FOR:
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FALCON, COLORADO

ISSUE	DATE
EXHIBIT	06/07/22
DESIGNED BY:	MLI
DRAWN BY:	CAF
CHECKED BY:	MLI
FILE NAME:	HBM

NOT FOR CONSTRUCTION

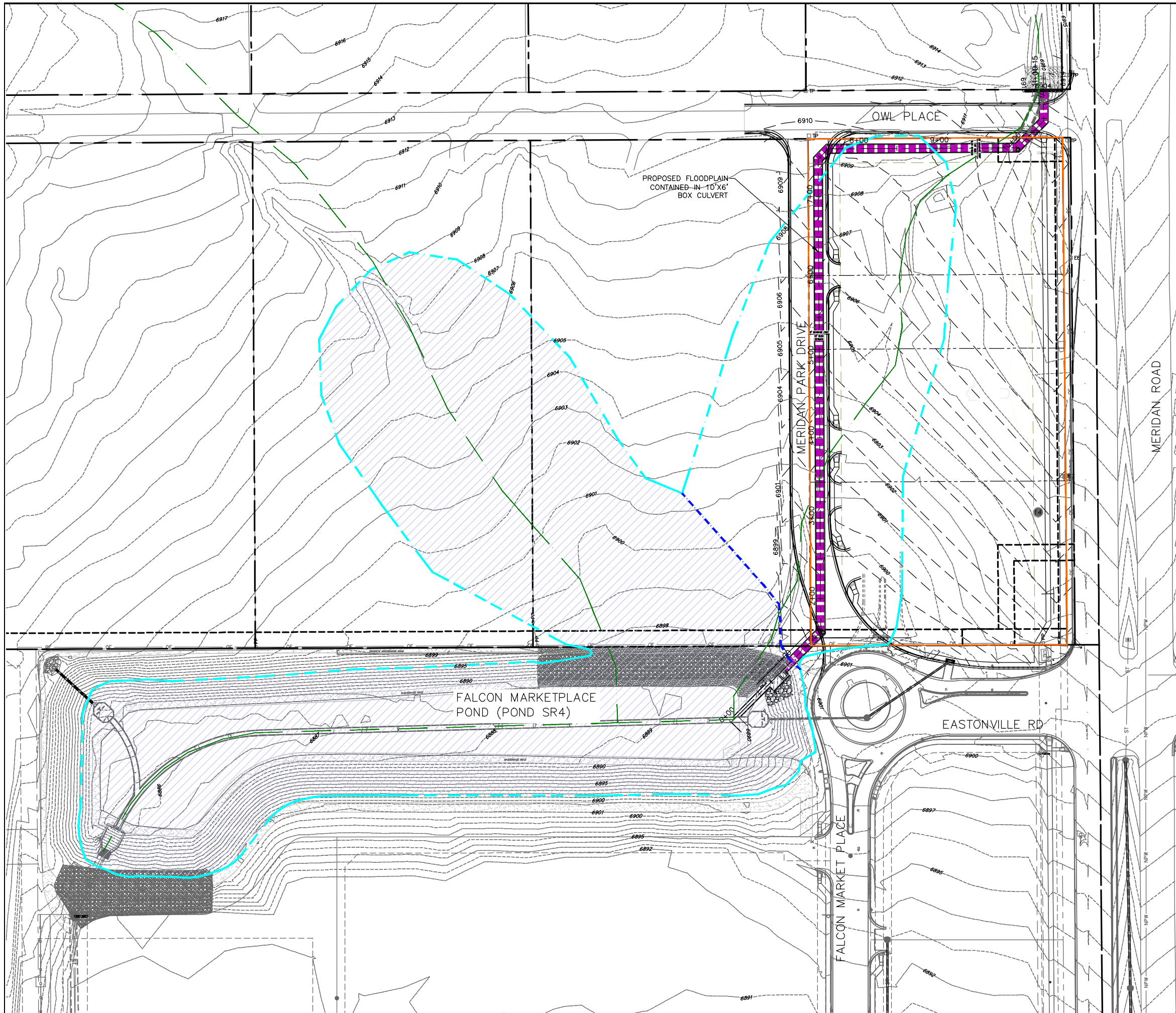
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HORIZONTAL: SEE PLAN
VERTICAL: N/A

HYDROLOGIC BASE MAP

PROJECT: 21611-00BLWR
DRAWING NO.

HBM

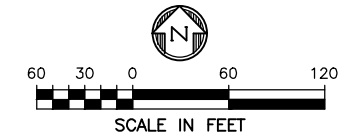
SHEET: 1 OF 1



LEGEND

EX. CONTOUR	---	6905
PR. CONTOUR	---	6905
EX. STORM SEWER	---	ST
OR	---	
PR. STORM SEWER	█	
EFFECTIVE FEMA STREAMLINE	---	
EFFECTIVE LOMR FLOODPLAIN	---	
FALCON OWL PLACE PROPERTY BOUNDARY	---	
PROPOSED 100-YEAR FLOODPLAIN	---	
PROPOSED 100-YEAR FLOODPLAIN	▨	
PROPOSED CURB LINE	---	
EX. ROW LINE	---	
EX. PROPERTY LINE	---	
EX. EASEMENT	---	

- NOTES**
1. SPATIAL PROJECTION IS NAD83 COLORADO STATE PLANE, CENTRAL ZONE (FEET).
 2. VERTICAL DATUM IS NGVD29.



PREPARED BY:

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 106 S. KYRENE RD., STE 2
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EXHIBIT FOR:
**FALCON
 OWL PLACE**
 FALCON, COLORADO

ISSUE	DATE
EXHIBIT	10/25/22
DESIGNED BY:	MLI
DRAWN BY:	CAF
CHECKED BY:	MLI
FILE NAME:	FPWM



DRAWING SCALE:
 HORIZONTAL: SEE PLAN
 VERTICAL: N/A

**CLOMR
 FLOODPLAIN
 WORK MAP**

PROJECT: 21611-00BLWR
 DRAWING NO.

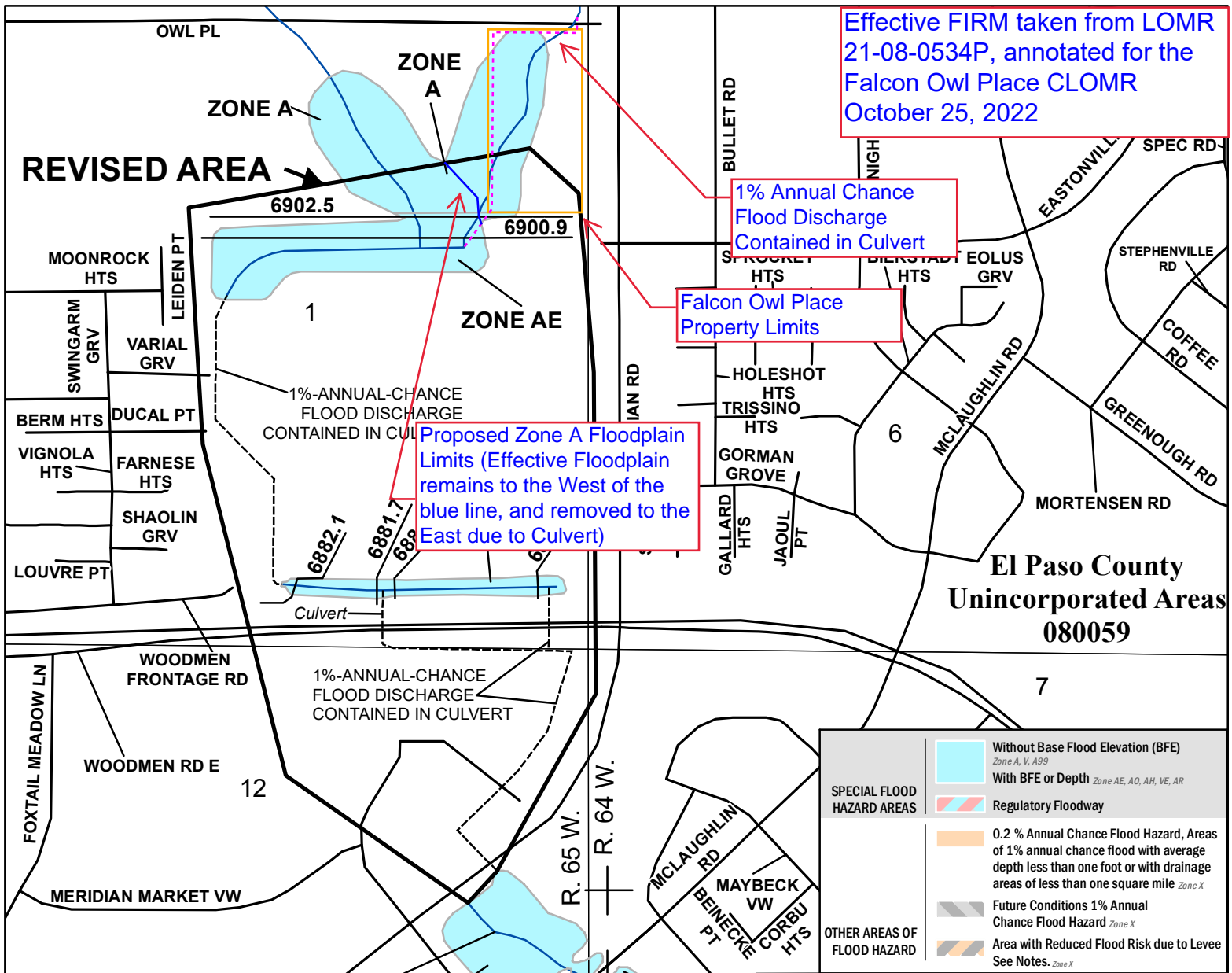
FPWM

Effective FIRM taken from LOMR 21-08-0534P, annotated for the Falcon Owl Place CLOMR October 25, 2022

1% Annual Chance Flood Discharge Contained in Culvert

Falcon Owl Place Property Limits

Proposed Zone A Floodplain Limits (Effective Floodplain remains to the West of the blue line, and removed to the East due to Culvert)



El Paso County Unincorporated Areas 080059

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE) Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2 % Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee See Notes, Zone X

SCALE

Map Projection: Universal Transverse Mercator/NAD 1983 UTM Zone 13N
Western Hemisphere; Vertical Datum: NAVD 88

1 inch = 500 feet 1:6,000

0 250 500 1,000 Feet

0 62.5 125 250 Meters

FEMA National Flood Insurance Program

NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP

EL PASO COUNTY, COLORADO and Incorporated Areas

PANEL 553 of 1300

Panel Contains:

COMMUNITY	NUMBER	PANEL	SUFFIX
EL PASO COUNTY	080059	0553	G

REVISED TO REFLECT LOMR EFFECTIVE: February 22, 2022

VERSION NUMBER 1.1.1.0
MAP NUMBER 08041C0553G
MAP REVISED DECEMBER 7, 2018

JOINS PANEL 0561

Unnamed Tributary To Black Squirrel Creek

534⁰⁰⁰m E



Falcon Owl Place NWI



May 27, 2022

Wetlands

- Estuarine and Marine Deepwater
- Freshwater Emergent Wetland
- Estuarine and Marine Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

APPENDIX C

COMPOSITE % IMPERVIOUS CALCULATIONS

Subdivision: Falcon Ranchettes Filing No. 2
Location: CO, Colorado Springs

Project Name: Meridian Storage
Project No.: MRS01
Calculated By: CMWJ
Checked By: BAS
Date: 4/23/23

Basin ID	Total Area (ac)	Roads			Lawns			Roofs			Basins Total Weighted % Imp.
		% Imp.	Area (ac)	Weighted % Imp.	% Imp.	Area (ac)	Weighted % Imp.	% Imp.	Area (ac)	Weighted % Imp.	
EX-1	4.97	100	0.68	13.7	2	4.27	1.7	100	0.02	0.40	15.8
EX-2	2.32	80	0.26	9.0	2	1.99	1.7	100	0.07	3.00	13.7
EX-3	2.85	80	0.12	3.4	2	2.67	1.9	100	0.06	2.10	7.4
EX-4	1.08	80	0.01	0.7	2	1.07	2.0	100	0.00	0.00	2.7
OS-1	3.29	80	0.31	7.5	2	2.92	1.8	100	0.06	1.80	11.1
A-1	1.85	100	0.68	36.8	2	1.17	1.3	100	0.00	0.00	38.1
B-1	1.54	100	0.90	58.4	2	0.06	0.1	100	0.58	37.70	96.2
B-2	1.26	100	0.59	46.8	2	0.00	0.0	100	0.67	53.20	100.0
B-3	1.05	100	0.54	51.4	2	0.51	1.0	100	0.00	0.00	52.4
B-4	1.05	100	0.97	92.4	2	0.08	0.2	100	0.00	0.00	92.6
B-5	0.38	100	0.05	13.2	2	0.33	1.7	100	0.00	0.00	14.9
C-1	0.78	100	0.00	0.0	2	0.78	2.0	100	0.00	0.00	2.0
C-2	2.02	100	0.00	0.0	2	2.02	2.0	100	0.00	0.00	2.0
C-3	0.20	100	0.00	0.0	2	0.20	2.0	100	0.00	0.00	2.0
C-4	1.06	100	0.00	0.0	2	1.06	2.0	100	0.00	0.00	2.0
F-1	0.04	100	0.04	100.0	2	0.00	0.0	100	0.00	0.00	100.0
F-2	0.03	100	0.03	100.0	2	0.00	0.0	100	0.00	0.00	100.0
OS-2	0.09	100	0.00	0.0	2	0.09	2.0	100	0.00	0.00	2.0
OS-3	0.10	100	0.00	0.0	2	0.10	2.0	100	0.00	0.00	2.0
OS-4	0.07	100	0.00	0.0	2	0.07	2.0	100	0.00	0.00	2.0

**Impervious values are taken directly from "Table 6-6 Runoff Coefficients for Rational Method"*

**STANDARD FORM SF-2
TIME OF CONCENTRATION**

Subdivision: Falcon Ranchettes Filing No. 2
Location: CO, Colorado Springs

Project Name: Meridian Storage
Project No.: MRS01
Calculated By: CMWJ
Checked By: BAS
Date: 4/23/23

SUB-BASIN						INITIAL/OVERLAND			TRAVEL TIME					Tc CHECK			FINAL
DATA						(T _i)			(T _t)					(URBANIZED BASINS)			
BASIN ID	D.A. (AC)	Hydrologic Soils Group	Impervious (%)	C ₁₀₀	C _s	L (FT)	S (%)	T _i (MIN)	L (FT)	S (%)	C _v	VEL. (FPS)	T _t (MIN)	COMP. T _c (MIN)	TOTAL LENGTH (FT)	Urbanized T _c (MIN)	T _c (MIN)
EX-1	4.97	A	15.8	0.23	0.08	25	15.0	3.8	830	1.8	15.0	2.0	6.9	10.7	855.0	14.8	10.7
EX-2	2.32	A	13.7	0.22	0.07	15	1.0	7.3	540	1.9	5.0	0.7	13.1	20.4	555.0	13.1	13.1
EX-3	2.85	A	7.4	0.17	0.03	25	15.0	4.0	650	2.2	5.0	0.7	14.6	18.6	675.0	13.8	13.8
EX-4	1.08	A	2.7	0.13	0.01	25	1.0	10.0	620	2.3	5.0	0.8	13.6	23.6	645.0	13.6	13.6
OS-1	3.29	A	11.1	0.20	0.05	100	3.5	12.7	600	1.9	15.0	2.1	4.8	17.5	700.0	13.9	13.9
A-1	1.85	A	38.1	0.41	0.25	25	25.0	2.7	620	1.3	20.0	2.2	4.6	7.3	645.0	13.6	7.3
B-1	1.54	A	96.2	0.86	0.82	60	7.0	2.1	350	2.0	20.0	2.8	2.1	4.1	410.0	12.3	5.0
B-2	1.26	A	100.0	0.89	0.86	12.5	2.0	1.2	335	1.2	20.0	2.2	2.5	3.8	347.5	11.9	5.0
B-3	1.05	A	52.4	0.52	0.38	20	2.0	4.7	618	3.2	20.0	3.6	2.9	7.6	638.0	13.5	7.6
B-4	1.05	A	92.6	0.83	0.78	20	2.0	2.1	618	3.2	20.0	3.6	2.9	5.0	638.0	13.5	5.0
B-5	0.38	A	14.9	0.23	0.08	45	25.0	4.3	70	0.5	20.0	1.4	0.8	5.1	115.0	10.6	5.1
C-1	0.78	A	2.0	0.13	0.01	100	2.0	15.8	335	2.0	5.0	0.7	7.9	23.7	435.0	12.4	12.4
C-2	2.02	A	2.0	0.13	0.01	100	2.3	15.1	400	2.3	5.0	0.8	8.8	23.9	500.0	12.8	12.8
C-3	0.20	A	2.0	0.13	0.01	100	2.5	14.7	100	2.5	5.0	0.8	2.1	16.8	200.0	11.1	11.1
C-4	1.06	A	2.0	0.13	0.01	100	2.3	15.1	550	2.3	20.0	3.0	3.0	18.1	650.0	13.6	13.6
F-1	0.04	A	100.0	0.89	0.86	24	2.0	1.7	46	1.0	20.0	2.0	0.4	2.1	70.0	10.4	5.0
F-2	0.03	A	100.0	0.89	0.86	24	2.0	1.7	46	1.0	20.0	2.0	0.4	2.1	70.0	10.4	5.0
OS-2	0.09	A	2.0	0.13	0.01	25	15.0	4.0	1	1.0	5.0	0.5	0.0	4.1	26.0	10.1	5.0
OS-3	0.10	A	2.0	0.13	0.01	25	15.0	4.0	1	1.0	5.0	0.5	0.0	4.1	26.0	10.1	5.0
OS-4	0.07	A	2.0	0.13	0.01	25	15.0	4.0	1	1.0	5.0	0.5	0.0	4.1	26.0	10.1	5.0

NOTES:

$T_i = (0.395 * (1.1 - C_s) * (L)^{0.5}) / ((S)^{0.33})$, S in ft/ft

$T_t = L / 60V$ (Velocity From Fig. 501)

Velocity $V = C_v * S^{0.5}$, S in ft/ft

$T_c \text{ Check} = 10 + L / 180$

For Urbanized basins a minimum T_c of 5.0 minutes is required.

For non-urbanized basins a minimum T_c of 10.0 minutes is required

STANDARD FORM SF-3
STORM DRAINAGE SYSTEM DESIGN
(RATIONAL METHOD PROCEDURE)

Subdivision: Falcon Ranchettes Filing No. 2
Location: CO, Colorado Springs
Design Storm: 5-Year

Project Name: Meridian Storage
Project No.: MRS01
Calculated By: CMWJ
Checked By: BAS
Date: 4/23/23

STREET	Design Point	DIRECT RUNOFF							TOTAL RUNOFF				STREET		PIPE			TRAVEL TIME			REMARKS
		Basin ID	Area (Ac)	Runoff Coeff.	Tc (min)	C*A (Ac)	I (in/hr)	Q (cfs)	Tc (min)	C*A (Ac)	I (in/hr)	Q (cfs)	Slope (%)	Street Flow (cfs)	Design Flow (cfs)	Slope (%)	Pipe Size (inches)	Length (ft)	Velocity (fps)	Tt (min)	
	1	EX-1	4.97	0.08	10.7	0.40	4.03	1.6													Flows from project site at DP1 = 1.6 cfs
	1												120.0								Total flow at DP1 specified in DBPS = 120 cfs
	2	EX-2	2.32	0.07	13.1	0.16	3.73	0.6													Total flow at DP2 = 0.6 cfs
	3	EX-3	2.85	0.03	13.8	0.09	3.65	0.3													Total flow at DP3 = 0.3 cfs
	4	EX-4	1.08	0.01	13.6	0.01	3.67	0.0													Flows from basin at DP4 = 0 cfs
	4	OS-1	3.29	0.05	13.9	0.16	3.64	0.6													Flows from basin at DP4 = 0.6 cfs
	4								13.9	0.17	3.64	0.6									Total flow at DP4 = 0.6 cfs
	1	OS-4	0.07	0.01	5.0	0.00	5.17	0.0													Flows from basin at DP1 = 0 cfs
	1	A-1	1.85	0.25	7.3	0.46	4.60	2.1													Flows from basin at DP1 = 2.1 cfs
	1												120.0								Total flow at DP1 specified in DBPS = 120 cfs
	2	B-1	1.54	0.82	5.0	1.26	5.17	6.5						6.5	3.0		300	3.5	1.4		Total flow captured by inlet, DP2 = 6.5 cfs
	3	B-2	1.26	0.86	5.0	1.08	5.17	5.6													Total flow captured by inlet, DP3 = 5.6 cfs
	3								6.4	2.34	4.79	11.2		11.2	3.0		130	3.5	0.6		Total flow in storm system, DP3 = 11.2 cfs
	4	B-3	1.05	0.38	7.6	0.40	4.55	1.8													Flows from basin at DP4 = 1.8 cfs
	4	F-1	0.04	0.86	5.0	0.03	5.17	0.2					1	0.2			100	2.0	0.8		Flows from basin = 0.2 cfs
	4								7.6	0.43	4.55	2.0									Total flow captured by inlet, DP4 = 2 cfs
	4								8.2	2.77	4.43	12.3		12.3	1.0		41	2.0	0.3		Total flow in storm system at DP4 = 12.3 cfs
	5	B-4	1.05	0.78	5.0	0.82	5.17	4.2													Flows from basin at DP5 = 4.2 cfs
	5	C-1	0.78	0.01	12.4	0.01	3.80	0.0													Flows from basin = 0 cfs
	5	C-3	0.20	0.01	11.1	0.00	3.97	0.0					1.0	0.0			200	2.0	1.7		Flows from basin = 0 cfs
	5	F-2	0.03	0.86	5.0	0.03	5.17	0.2					1	0.2			100	2.0	0.8		Flows from basin = 0.2 cfs
	5	OS-3	0.10	0.01	5.0	0.00	5.17	0.0					2.8	0.0			600	3.3	3.0		Flows from basin = 0 cfs
	5								12.8	0.86	3.76	3.2					13.5	1.0	1.1		Total flow captured by inlet, DP5 = 3.2 cfs
	5								13.1	3.63	3.72	13.5									Total flow in storm system at DP5 = 13.5 cfs
	6	B-5	0.38	0.08	5.1	0.03	5.14	0.2													Flows from basin at DP6 = 0.2 cfs
	6	C-2	2.02	0.01	12.8	0.02	3.76	0.1													Flows from basin = 0.1 cfs
	6	OS-2	0.09	0.01	5.0	0.00	5.17	0.0													Flows from basin = 0 cfs
Flow taken from UD-Detention Worksheet	6												20.5								Total Flow entering Pond #1 = 20.5 cfs
Flow taken from UD-Detention Worksheet	6												7.6								Peak Outflow from Pond #1 = 7.6 cfs
	7	C-4	1.06	0.01	13.6	0.01	3.67	0.0													Flows from basin at DP7 = 0 cfs
	7	OS-1	3.29	0.05	13.9	0.16	3.64	0.6													Flows from basin at DP7 = 0.6 cfs
	7								13.9	0.17	3.64	0.6		0.6	10.0		40	6.3	0.1		Total flow captured by inlet, DP7 = 0.6 cfs
	8								14.0	0.17	3.63	8.2									Total flow at manhole, DP8 = 8.2 cfs and conveyed to Subregional Pond SR4

**STANDARD FORM SF-3
STORM DRAINAGE SYSTEM DESIGN
(RATIONAL METHOD PROCEDURE)**

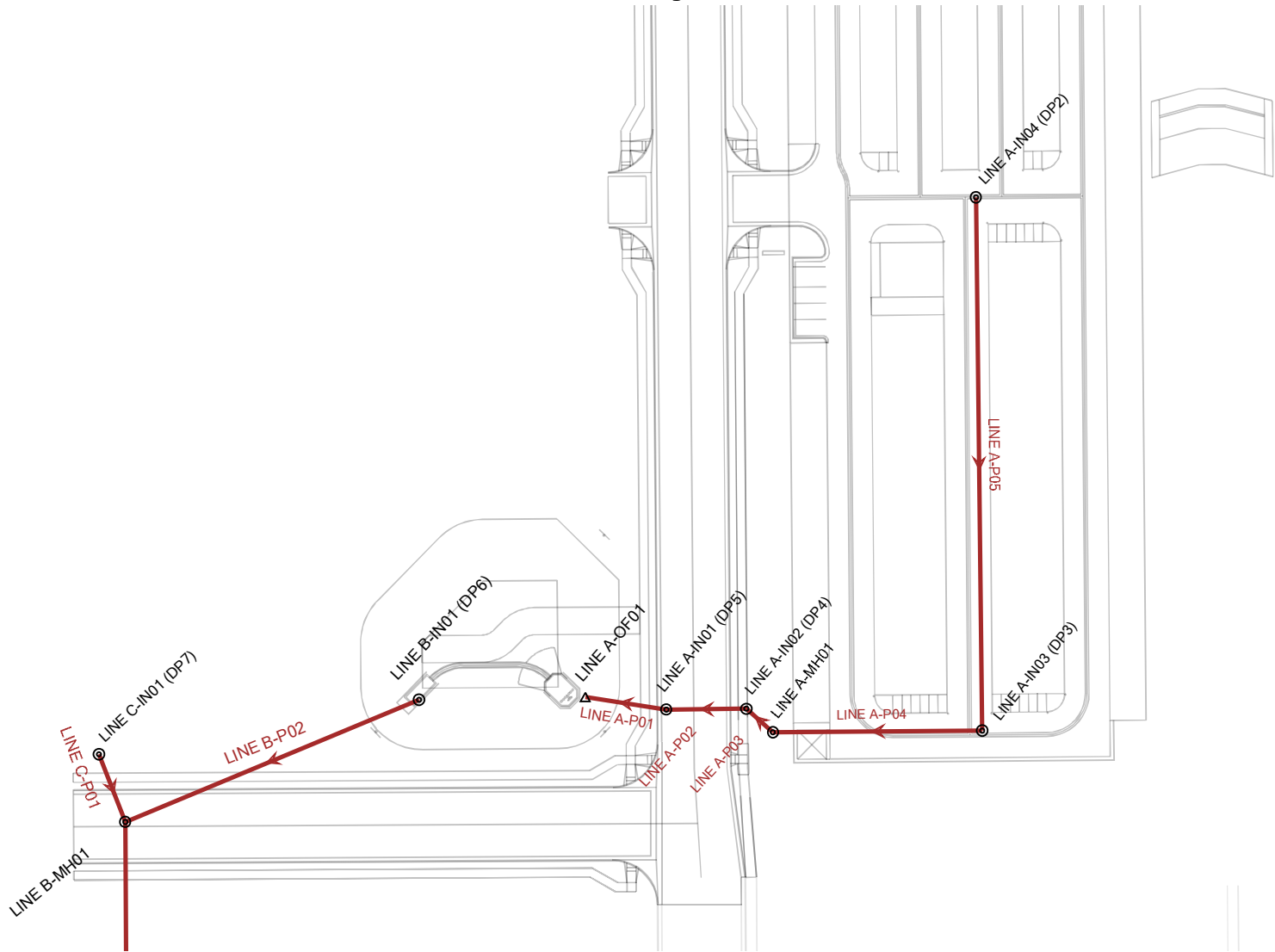
Subdivision: Falcon Ranchettes Filing No. 2
 Location: CO, Colorado Springs
 Design Storm: 100-Year

Project Name: Meridian Storage
 Project No.: MRS01
 Calculated By: CMWJ
 Checked By: BAS
 Date: 4/23/23

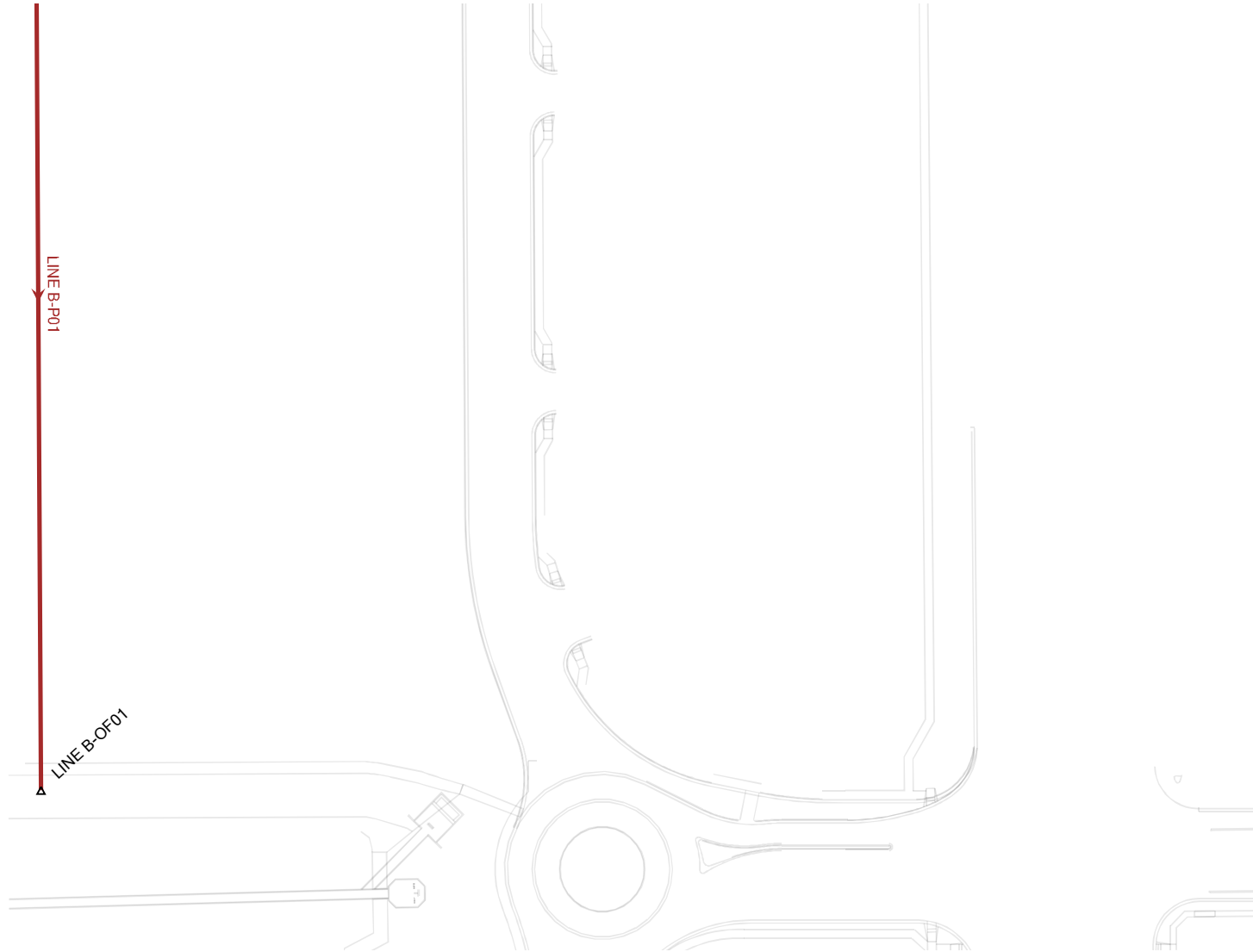
STREET	Design Point	DIRECT RUNOFF							TOTAL RUNOFF				STREET		PIPE			TRAVEL TIME			REMARKS	
		Basin ID	Area (Ac)	Runoff Coeff.	Tc (min)	C* A (Ac)	(ft/hr)	Q (cfs)	Tc (min)	C* A (Ac)	(ft/hr)	Q (cfs)	Slope (%)	Street Flow (cfs)	Design Flow (cfs)	Slope (%)	Pipe Size (Inches)	Length (ft)	Velocity (fps)	Tt (min)		
	1	EX-1	4.97	0.23	10.7	1.14	6.77	7.7													Flows from project site at DP1 = 7.7 cfs	
	1										850.0										Total flow at DP1 specified in DBPS = 850 cfs	
	2	EX-2	2.32	0.22	13.1	0.51	6.26	3.2													Total flow at DP2 = 3.2 cfs	
	3	EX-3	2.85	0.17	13.8	0.48	6.13	2.9													Total flow at DP3 = 2.9 cfs	
	4	EX-4	1.08	0.13	13.6	0.14	6.16	0.9													Flows from basin at DP4 = 0.9 cfs	
	4	OS-1	3.29	0.20	13.9	0.66	6.10	4.0													Flows from basin at DP4 = 4 cfs	
	4								13.9	0.80	6.10	4.9									Total flow at DP4 = 4.9 cfs	
	1	OS-4	0.07	0.13	5.0	0.01	8.68	0.1													Flows from basin at DP1 = 0.1 cfs	
	1	A-1	1.85	0.41	7.3	0.76	7.73	5.9													Flows from basin at DP1 = 5.9 cfs	
	1										850.0										Total flow at DP1 specified in DBPS = 850 cfs	
	2	B-1	1.54	0.86	5.0	1.32	8.68	11.5						11.5	3.0		300	3.5	1.4		Total flow captured by inlet, DP2 = 11.5 cfs	
	3	B-2	1.26	0.89	5.0	1.12	8.68	9.7						19.6	3.0		130	3.5	0.6		Total flow captured by inlet, DP3 = 9.7 cfs	
	3								6.4	2.44	8.04	19.6									Total flow in storm system, DP3 = 19.6 cfs	
	4	B-3	1.05	0.52	7.6	0.55	7.64	4.2													Flows from basin at DP4 = 4.2 cfs	
	4	F-1	0.04	0.89	5.0	0.04	8.68	0.3					1	0.3					100	2.0	0.8	Flows from basin = 0.3 cfs
	4								7.6	0.59	7.64	4.5			22.5	1.0		41	2.0	0.3	Total flow captured by inlet, DP4 = 4.5 cfs	
	4								8.2	3.03	7.44	22.5									Total flow in storm system at DP4 = 22.5 cfs	
	5	B-4	1.05	0.83	5.0	0.87	8.68	7.6													Flows from basin at DP5 = 7.6 cfs	
	5	C-1	0.78	0.13	12.4	0.10	6.39	0.6													Flows from basin = 0.6 cfs	
	5	C-3	0.20	0.13	11.1	0.03	6.67	0.2					1.0	0.2					200	2.0	1.7	Flows from basin = 0.2 cfs
	5	F-2	0.03	0.89	5.0	0.03	8.68	0.3					1	0.3					100	2.0	0.8	Flows from basin = 0.3 cfs
	5	OS-3	0.10	0.13	5.0	0.01	8.68	0.1					2.8	0.1					600	3.3	3.0	Flows from basin = 0.1 cfs
	5								12.8	1.04	6.31	6.6									Total flow captured by inlet, DP5 = 6.6 cfs	
	5								13.1	4.07	6.25	25.4			25.4	1.0		135	2.0	1.1	Total flow in storm system at DP5 = 25.4 cfs	
	6	B-5	0.38	0.23	5.1	0.09	8.62	0.8													Flows from basin at DP6 = 0.8 cfs	
	6	C-2	2.02	0.13	12.8	0.26	6.31	1.6													Flows from basin = 1.6 cfs	
	6	OS-2	0.09	0.13	5.0	0.01	8.68	0.1													Flows from basin = 0.1 cfs	
Flow taken from UD-Detention Worksheet	6																				Total Flow entering Pond #1 = 36.7 cfs	
Flow taken from UD-Detention Worksheet	6																				Peak Outflow from Pond #1 = 26.5 cfs	
	7	C-4	1.06	0.13	13.6	0.14	6.16	0.9													Flows from basin at DP7 = 0.9 cfs	
	7	OS-1	3.29	0.20	13.9	0.66	6.10	4.0													Flows from basin at DP7 = 4 cfs	
	7								13.9	0.80	6.10	4.9			4.9	10.0		40	6.3	0.1	Total flow captured by inlet, DP7 = 4.9 cfs	
	8								14.0	0.80	6.09	31.4									Total flow at manhole, DP8 = 31.4 cfs and conveyed to Subregional Pond SR4	

APPENDIX D

Storm Drain Layout



Storm Drain Layout



FlexTable: Conduit Table

Active Scenario: 5-Year

Label	Start Node	Stop Node	Invert (Start) (ft)	Invert (Stop) (ft)	Length (User Defined) (ft)	Slope (Calculated) (ft/ft)	Section Type	Diameter (in)	Manning's n	Flow (cfs)	Velocity (ft/s)	Capacity (Full Flow) (cfs)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE A-P04	LINE A-IN03 (DP3)	LINE A-MH01	6,905.39	6,904.23	115.8	0.010	Circle	24.0	0.013	11.20	7.18	22.61	6,906.59	6,905.22	6,907.09	6,906.03
LINE B-P02	LINE B-IN01 (DP6)	LINE B-MH01	6,899.75	6,898.88	174.6	0.005	Circle	30.0	0.013	7.60	4.97	28.95	6,900.67	6,899.89	6,901.00	6,900.15
LINE B-P01	LINE B-MH01	LINE B-OF01	6,898.58	6,892.00	682.1	0.010	Circle	30.0	0.013	8.20	6.44	40.28	6,899.53	6,892.77	6,899.89	6,893.41
LINE C-P01	LINE C-IN01 (DP7)	LINE B-MH01	6,907.29	6,900.38	39.7	0.174	Circle	15.0	0.013	0.60	8.98	26.95	6,907.59	6,900.51	6,907.70	6,901.76
LINE A-P03	LINE A-MH01	LINE A-IN02 (DP4)	6,903.93	6,903.74	18.5	0.010	Circle	24.0	0.013	11.20	7.18	22.61	6,905.13	6,904.79	6,905.63	6,905.49
LINE A-P02	LINE A-IN02 (DP4)	LINE A-IN01 (DP5)	6,902.74	6,902.30	44.3	0.010	Circle	36.0	0.013	12.30	7.18	66.44	6,903.85	6,903.20	6,904.27	6,903.94
LINE A-P01	LINE A-IN01 (DP5)	LINE A-OF01	6,902.20	6,901.75	45.4	0.010	Circle	36.0	0.013	13.50	7.37	66.42	6,903.37	6,902.70	6,903.80	6,903.47
LINE A-P05	LINE A-IN04 (DP2)	LINE A-IN03 (DP3)	6,911.46	6,905.89	297.5	0.019	Circle	18.0	0.013	6.50	7.93	14.37	6,912.45	6,907.25	6,912.88	6,907.48

FlexTable: Manhole Table

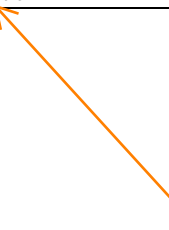
Active Scenario: 5-Year

Label	Elevation (Rim) (ft)	Flow (Total Out) (cfs)	Headloss Method	Headloss Coefficient (Standard)	Headloss (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE A-IN03 (DP3)	6,912.83	11.20	Standard	1.320	0.66	6,907.25	6,906.59	6,907.48	6,907.09
LINE B-MH01	6,911.59	8.20	Standard	1.020	0.36	6,899.89	6,899.53	6,900.15	6,899.89
LINE C-IN01 (DP7)	6,910.67	0.60	Standard	0.000	0.00	6,907.59	6,907.59	6,907.70	6,907.70
LINE A-MH01	6,910.14	11.20	Standard	0.400	0.20	6,905.33	6,905.13	6,906.13	6,905.63
LINE A-IN02 (DP4)	6,908.59	12.30	Standard	0.400	0.16	6,904.02	6,903.85	6,904.72	6,904.27
LINE A-IN01 (DP5)	6,908.59	13.50	Standard	0.100	0.04	6,903.41	6,903.37	6,904.15	6,903.80
LINE B-IN01 (DP6)	6,905.51	7.60	Standard	0.000	0.00	6,900.67	6,900.67	6,901.00	6,901.00
LINE A-IN04 (DP2)	6,916.23	6.50	Standard	0.000	0.00	6,912.45	6,912.45	6,912.88	6,912.88

FlexTable: Outfall Table

Active Scenario: 5-Year

Label	Elevation (Ground) (ft)	Elevation (Invert) (ft)	Boundary Condition Type	Elevation (User Defined Tailwater) (ft)	Hydraulic Grade (ft)	Energy Grade Line (ft)	Flow (Total Out) (cfs)
LINE B-OF01	6,901.00	6,892.01	Free Outfall		6,892.77	6,892.77	8.20
LINE A-OF01	6,911.00	6,901.76	Free Outfall		6,902.70	6,902.70	13.50

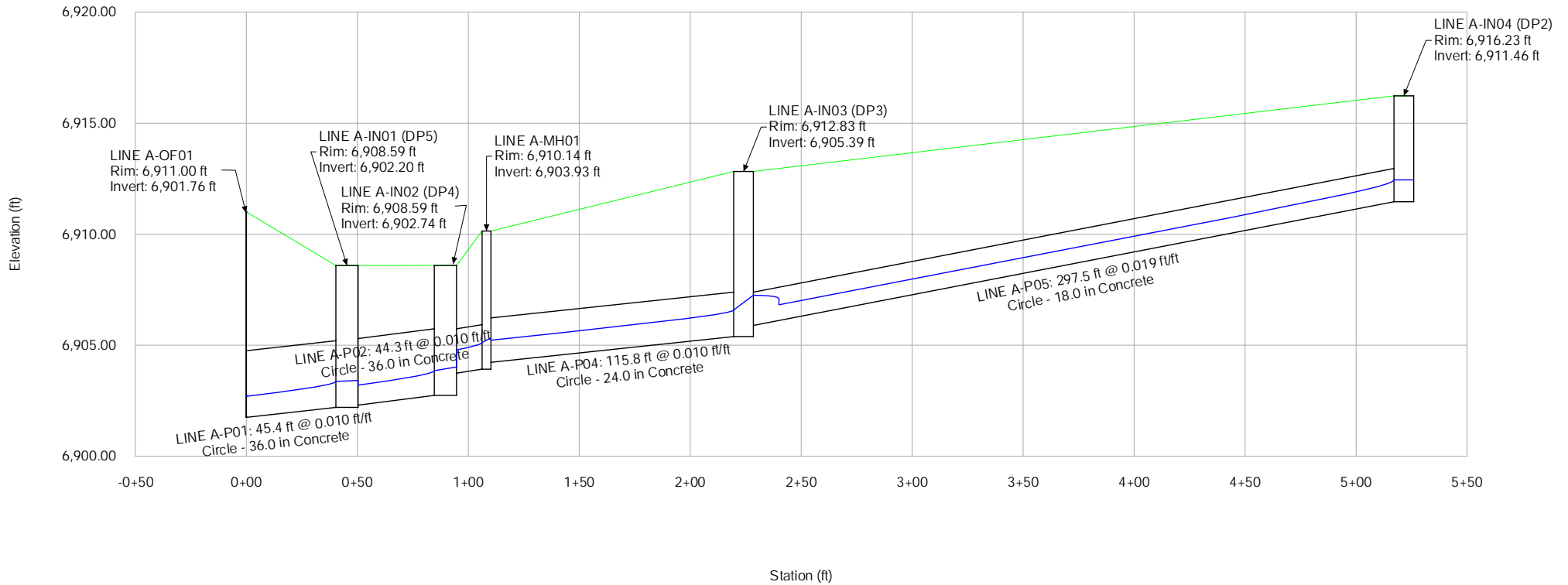


Account for the tailwater in the storm drain calculations. Line B-OF01 outfalls to the regional basin and line A-OF01 outfalls to Pond #1, both will likely with have some tailwater.

Profile Report

Engineering Profile - LINE A (MRS01_StormCAD.stsw)

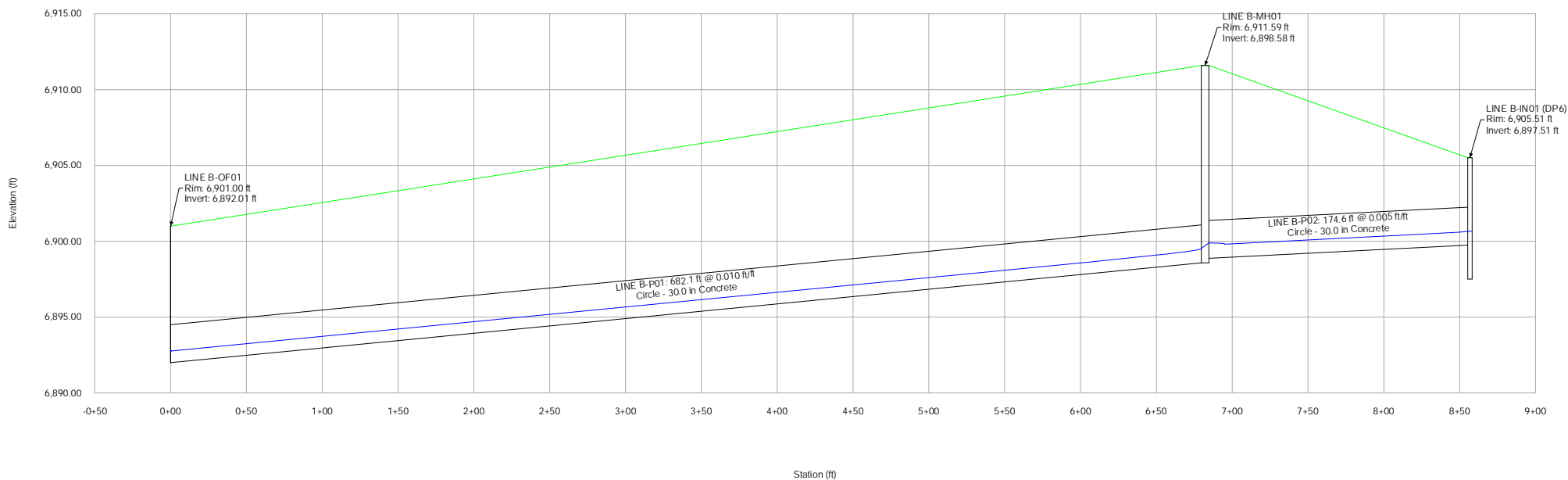
Active Scenario: 5-Year



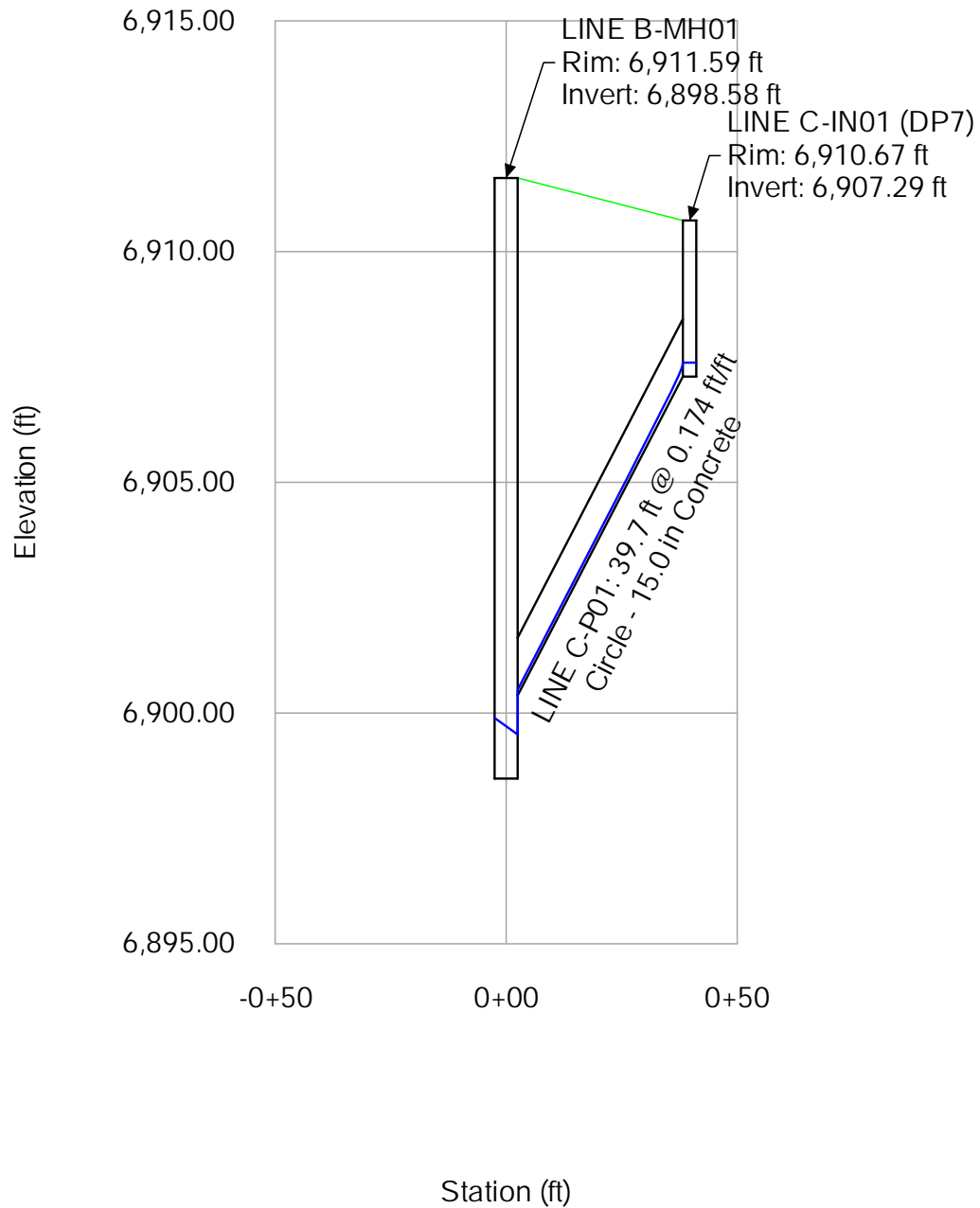
Profile Report

Engineering Profile - LINE B (MRS01_StormCAD.stsw)

Active Scenario: 5-Year



Profile Report
 Engineering Profile - LINE C (MRS01_StormCAD.stsw)
 Active Scenario: 5-Year



FlexTable: Conduit Table
Active Scenario: 100-Year

Label	Start Node	Stop Node	Invert (Start) (ft)	Invert (Stop) (ft)	Length (User Defined) (ft)	Slope (Calculated) (ft/ft)	Section Type	Diameter (in)	Manning's n	Flow (cfs)	Velocity (ft/s)	Capacity (Full Flow) (cfs)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE A-P04	LINE A-IN03 (DP3)	LINE A-MH01	6,905.39	6,904.23	115.8	0.010	Circle	24.0	0.013	19.60	6.24	22.61	6,908.34	6,907.47	6,908.94	6,908.08
LINE B-P02	LINE B-IN01 (DP6)	LINE B-MH01	6,899.75	6,898.88	174.6	0.005	Circle	30.0	0.013	26.50	5.40	28.95	6,902.37	6,901.64	6,902.82	6,902.09
LINE B-P01	LINE B-MH01	LINE B-OF01	6,898.58	6,892.00	682.1	0.010	Circle	30.0	0.013	31.40	9.07	40.28	6,900.97	6,897.00	6,901.63	6,897.64
LINE C-P01	LINE C-IN01 (DP7)	LINE B-MH01	6,907.29	6,900.38	39.7	0.174	Circle	15.0	0.013	4.90	16.69	26.95	6,908.19	6,901.64	6,908.61	6,901.89
LINE A-P03	LINE A-MH01	LINE A-IN02 (DP4)	6,903.93	6,903.74	18.5	0.010	Circle	24.0	0.013	19.60	6.24	22.61	6,907.23	6,907.09	6,907.83	6,907.69
LINE A-P02	LINE A-IN02 (DP4)	LINE A-IN01 (DP5)	6,902.74	6,902.30	44.3	0.010	Circle	36.0	0.013	22.50	3.18	66.44	6,907.03	6,906.98	6,907.18	6,907.13
LINE A-P01	LINE A-IN01 (DP5)	LINE A-OF01	6,902.20	6,901.75	45.4	0.010	Circle	36.0	0.013	25.40	3.59	66.42	6,906.96	6,906.89	6,907.16	6,907.09
LINE A-P05	LINE A-IN04 (DP2)	LINE A-IN03 (DP3)	6,911.46	6,905.89	297.5	0.019	Circle	18.0	0.013	11.50	9.04	14.37	6,912.75	6,909.14	6,913.54	6,909.80

FlexTable: Manhole Table
Active Scenario: 100-Year

Label	Elevation (Rim) (ft)	Flow (Total Out) (cfs)	Headloss Method	Headloss Coefficient (Standard)	Headloss (ft)	Hydraulic Grade Line (In) (ft)	Hydraulic Grade Line (Out) (ft)	Energy Grade Line (In) (ft)	Energy Grade Line (Out) (ft)
LINE A-IN03 (DP3)	6,912.83	19.60	Standard	1.320	0.80	6,909.14	6,908.34	6,909.80	6,908.94
LINE B-MH01	6,911.59	31.40	Standard	1.020	0.67	6,901.64	6,900.97	6,901.89	6,901.63
LINE C-IN01 (DP7)	6,910.67	4.90	Standard	0.000	0.00	6,908.19	6,908.19	6,908.61	6,908.61
LINE A-MH01	6,910.14	19.60	Standard	0.400	0.24	6,907.47	6,907.23	6,908.08	6,907.83
LINE A-IN02 (DP4)	6,908.59	22.50	Standard	0.400	0.06	6,907.09	6,907.03	6,907.69	6,907.18
LINE A-IN01 (DP5)	6,908.59	25.40	Standard	0.100	0.02	6,906.98	6,906.96	6,907.13	6,907.16
LINE B-IN01 (DP6)	6,905.51	26.50	Standard	0.000	0.00	6,902.37	6,902.37	6,902.82	6,902.82
LINE A-IN04 (DP2)	6,916.23	11.50	Standard	0.000	0.00	6,912.75	6,912.75	6,913.54	6,913.54

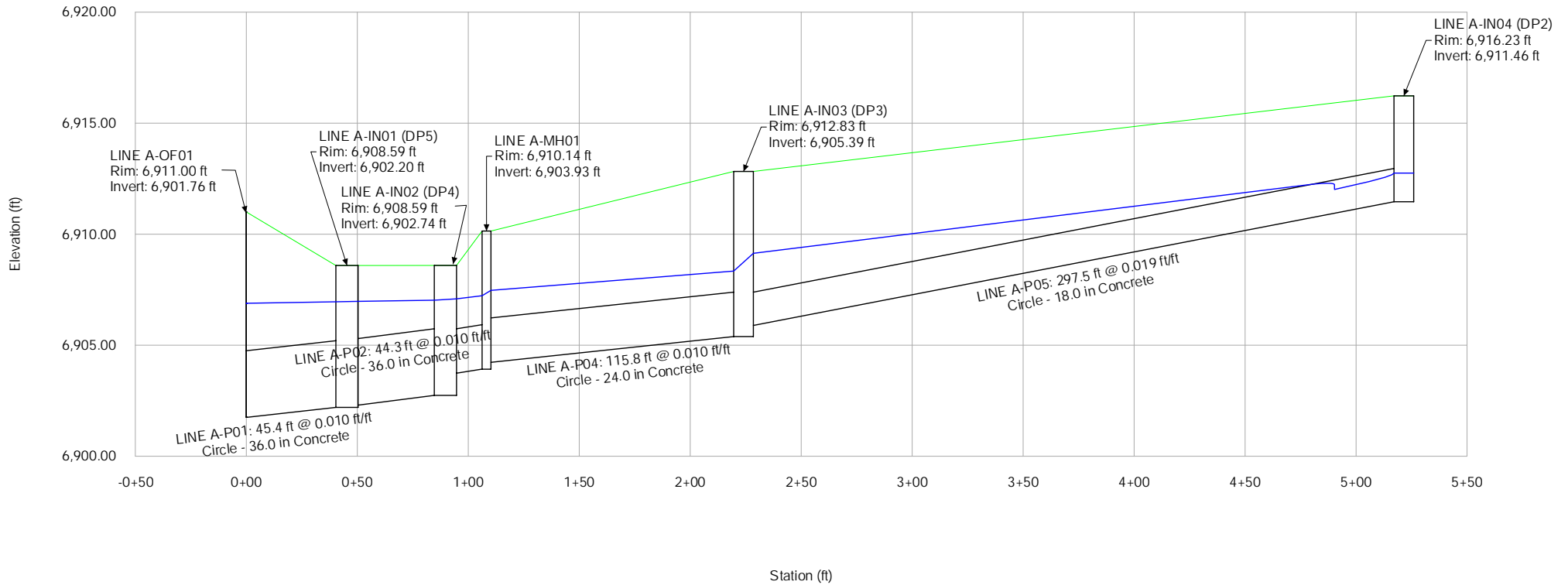
FlexTable: Outfall Table
Active Scenario: 100-Year

Label	Elevation (Ground) (ft)	Elevation (Invert) (ft)	Boundary Condition Type	Elevation (User Defined Tailwater) (ft)	Hydraulic Grade (ft)	Energy Grade Line (ft)	Flow (Total Out) (cfs)
LINE B-OF01	6,901.00	6,892.01	User Defined Tailwater	6,897.00	6,897.00	6,897.00	31.40
LINE A-OF01	6,911.00	6,901.76	User Defined Tailwater	6,906.89	6,906.89	6,906.89	25.40

Profile Report

Engineering Profile - LINE A (MRS01_StormCAD.stsw)

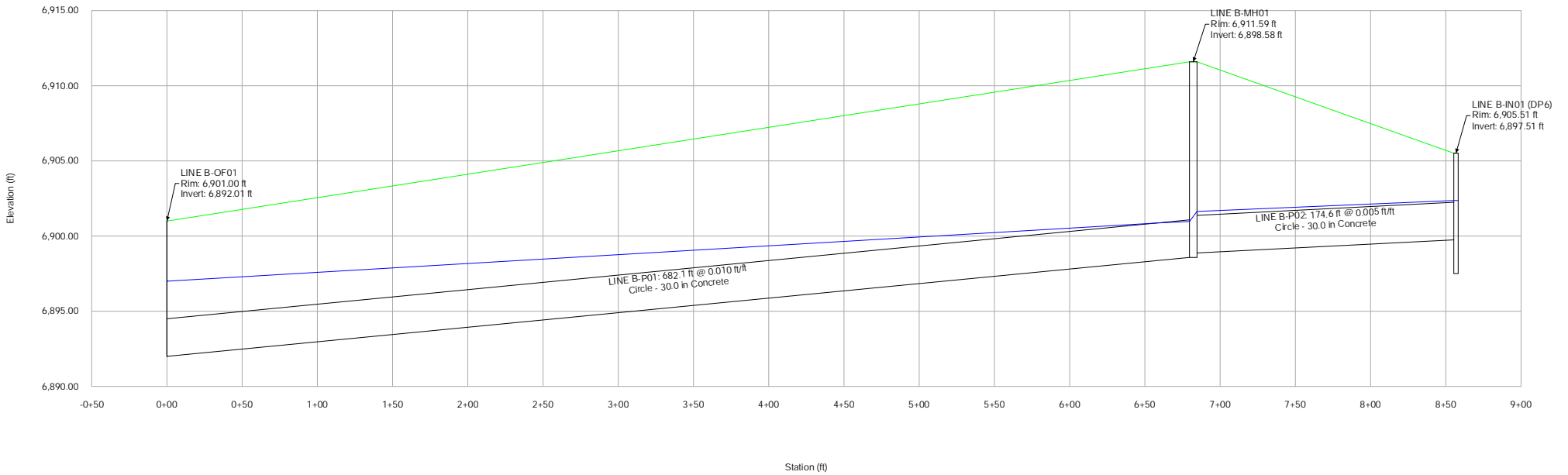
Active Scenario: 100-Year



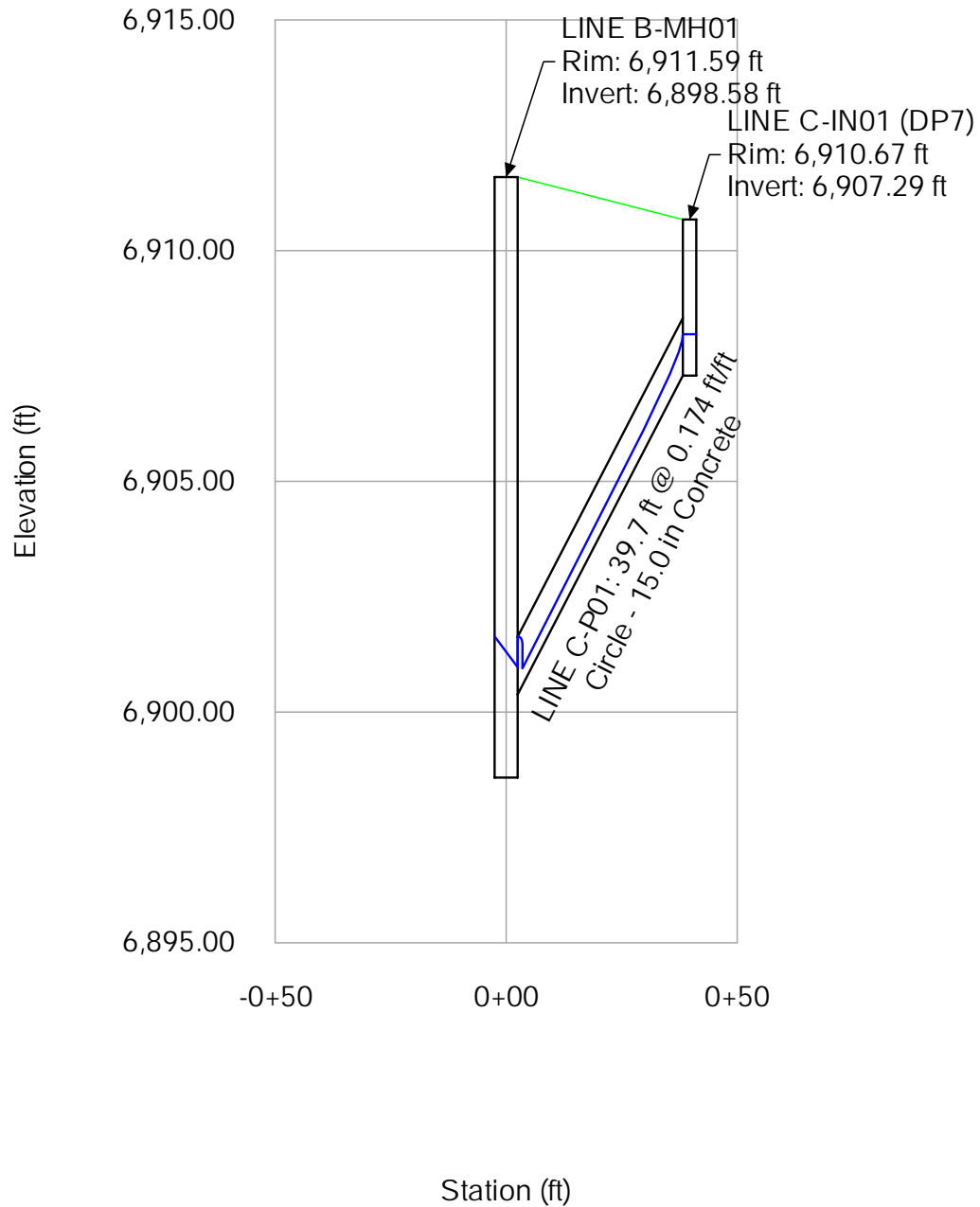
Profile Report

Engineering Profile - LINE B (MRS01_StormCAD.stsw)

Active Scenario: 100-Year



Profile Report
Engineering Profile - LINE C (MRS01_StormCAD.stsw)
Active Scenario: 100-Year



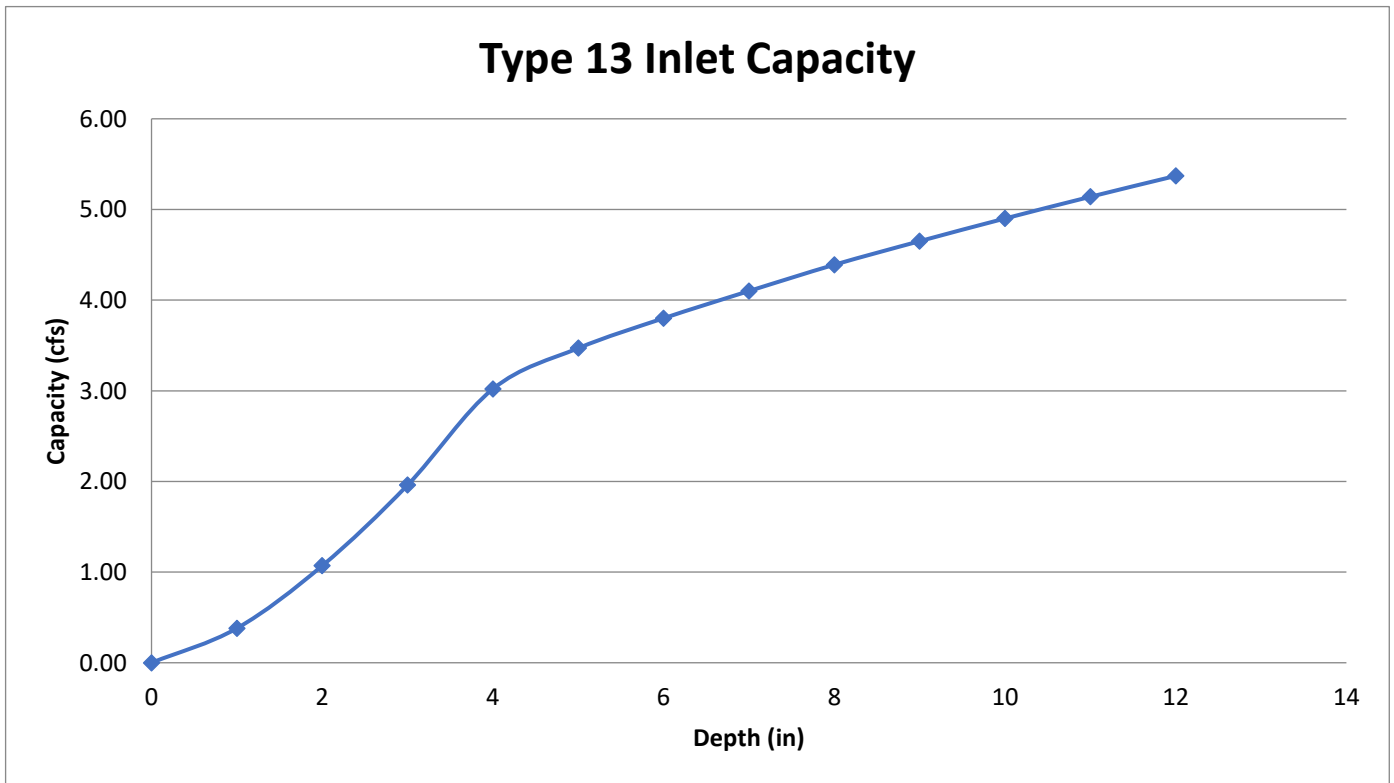
Type 13 Inlet Capacity Chart

Subdivision: Falcon Ranchettes Filing No. 2
Location: El Paso County, CO

Project Name: Meridian Storage
Project No.: MRS02
Calculated By: CMWJ
Checked By: RGD
Date: 3/23/23

Type 13 Inlet Capacity

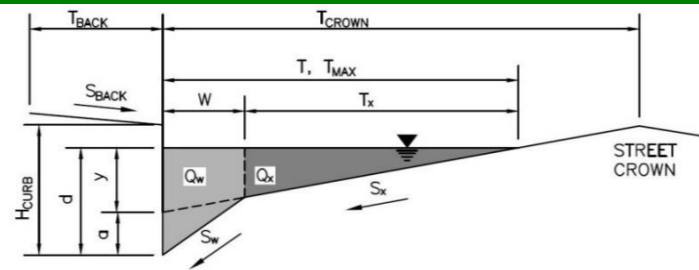
Depth (in)	Single	Double	Triple
	Capacity (cfs)	Capacity (cfs)	Capacity (cfs)
0	0.00	0.00	0.00
1	0.38	0.76	1.14
2	1.07	2.14	3.21
3	1.96	3.92	5.88
4	3.02	6.04	9.06
5	3.47	6.94	10.41
6	3.80	7.60	11.40
7	4.10	8.20	12.30
8	4.39	8.78	13.17
9	4.65	9.30	13.95
10	4.90	9.80	14.70
11	5.14	10.28	15.42
12	5.37	10.74	16.11



Calculations include a 50% clogging factor.

ALLOWABLE CAPACITY FOR ONE-HALF OF STREET (Minor & Major Storm)
 (Based on Regulated Criteria for Maximum Allowable Flow Depth and Spread)

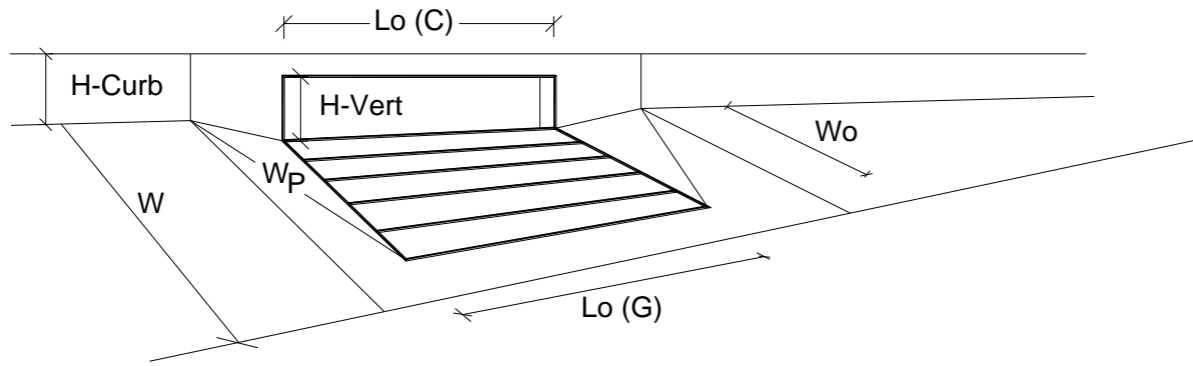
Project: Meridian Storage
 Inlet ID: DP4



Gutter Geometry:									
Maximum Allowable Width for Spread Behind Curb	$T_{BACK} = 10.0$ ft								
Side Slope Behind Curb (leave blank for no conveyance credit behind curb)	$S_{BACK} = 0.020$ ft/ft								
Manning's Roughness Behind Curb (typically between 0.012 and 0.020)	$n_{BACK} = 0.013$								
Height of Curb at Gutter Flow Line	$H_{CURB} = 6.00$ inches								
Distance from Curb Face to Street Crown	$T_{CROWN} = 20.0$ ft								
Gutter Width	$W = 2.00$ ft								
Street Transverse Slope	$S_X = 0.020$ ft/ft								
Gutter Cross Slope (typically 2 inches over 24 inches or 0.083 ft/ft)	$S_W = 0.083$ ft/ft								
Street Longitudinal Slope - Enter 0 for sump condition	$S_O = 0.000$ ft/ft								
Manning's Roughness for Street Section (typically between 0.012 and 0.020)	$n_{STREET} = 0.016$								
Max. Allowable Spread for Minor & Major Storm	<table border="1"> <tr> <td></td> <td>Minor Storm</td> <td>Major Storm</td> <td></td> </tr> <tr> <td>$T_{MAX} =$</td> <td>20.0</td> <td>20.0</td> <td>ft</td> </tr> </table>		Minor Storm	Major Storm		$T_{MAX} =$	20.0	20.0	ft
	Minor Storm	Major Storm							
$T_{MAX} =$	20.0	20.0	ft						
Max. Allowable Depth at Gutter Flowline for Minor & Major Storm	<table border="1"> <tr> <td></td> <td>Minor Storm</td> <td>Major Storm</td> <td></td> </tr> <tr> <td>$d_{MAX} =$</td> <td>6.0</td> <td>12.0</td> <td>inches</td> </tr> </table>		Minor Storm	Major Storm		$d_{MAX} =$	6.0	12.0	inches
	Minor Storm	Major Storm							
$d_{MAX} =$	6.0	12.0	inches						
Check boxes are not applicable in SUMP conditions	<table border="1"> <tr> <td></td> <td>Minor Storm</td> <td>Major Storm</td> <td></td> </tr> <tr> <td></td> <td><input type="checkbox"/></td> <td><input type="checkbox"/></td> <td></td> </tr> </table>		Minor Storm	Major Storm			<input type="checkbox"/>	<input type="checkbox"/>	
	Minor Storm	Major Storm							
	<input type="checkbox"/>	<input type="checkbox"/>							
MINOR STORM Allowable Capacity is not applicable to Sump Condition									
MAJOR STORM Allowable Capacity is not applicable to Sump Condition									
	<table border="1"> <tr> <td></td> <td>Minor Storm</td> <td>Major Storm</td> <td></td> </tr> <tr> <td>$Q_{allow} =$</td> <td>SUMP</td> <td>SUMP</td> <td>cfs</td> </tr> </table>		Minor Storm	Major Storm		$Q_{allow} =$	SUMP	SUMP	cfs
	Minor Storm	Major Storm							
$Q_{allow} =$	SUMP	SUMP	cfs						

INLET IN A SUMP OR SAG LOCATION

MHFD-Inlet, Version 5.02 (August 2022)

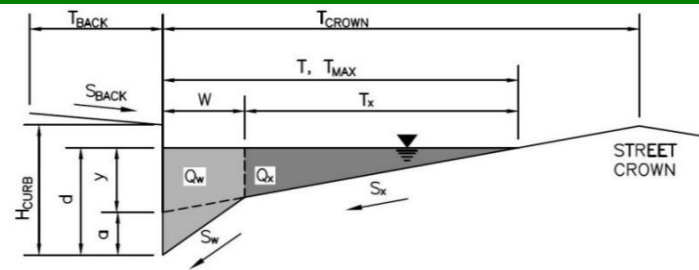


Design Information (Input)	MINOR	MAJOR	
Type of Inlet	CDOT Type R Curb Opening		
Local Depression (additional to continuous gutter depression 'a' from above)			
Number of Unit Inlets (Grate or Curb Opening)	1	1	
Water Depth at Flowline (outside of local depression)			
Grate Information			
Length of a Unit Grate			
Width of a Unit Grate			
Open Area Ratio for a Grate (typical values 0.15-0.90)			
Clogging Factor for a Single Grate (typical value 0.50 - 0.70)			
Grate Weir Coefficient (typical value 2.15 - 3.60)			
Grate Orifice Coefficient (typical value 0.60 - 0.80)			
Curb Opening Information			
Length of a Unit Curb Opening			
Height of Vertical Curb Opening in Inches			
Height of Curb Orifice Throat in Inches			
Angle of Throat (see USDCM Figure ST-5)			
Side Width for Depression Pan (typically the gutter width of 2 feet)			
Clogging Factor for a Single Curb Opening (typical value 0.10)			
Curb Opening Weir Coefficient (typical value 2.3-3.7)			
Curb Opening Orifice Coefficient (typical value 0.60 - 0.70)			
Low Head Performance Reduction (Calculated)			
Depth for Grate Midwidth			
Depth for Curb Opening Weir Equation			
Grated Inlet Performance Reduction Factor for Long Inlets			
Curb Opening Performance Reduction Factor for Long Inlets			
Combination Inlet Performance Reduction Factor for Long Inlets			
Total Inlet Interception Capacity (assumes clogged condition)			
Inlet Capacity IS GOOD for Minor and Major Storms (>Q Peak)			

	MINOR	MAJOR	
Type =	CDOT Type R Curb Opening		
a _{local} =	3.00	3.00	inches
No =	1	1	
Ponding Depth =	6.0	6.3	inches
<input type="checkbox"/> Override Depths			
L _o (G) =	N/A	N/A	feet
W _o =	N/A	N/A	feet
A _{ratio} =	N/A	N/A	
C _f (G) =	N/A	N/A	
C _w (G) =	N/A	N/A	
C _o (G) =	N/A	N/A	
MINOR MAJOR			
L _o (C) =	5.00	5.00	feet
H _{vert} =	6.00	6.00	inches
H _{throat} =	6.00	6.00	inches
Theta =	63.40	63.40	degrees
W _p =	2.00	2.00	feet
C _f (C) =	0.10	0.10	
C _w (C) =	3.60	3.60	
C _o (C) =	0.67	0.67	
MINOR MAJOR			
d _{Grate} =	N/A	N/A	ft
d _{Curb} =	0.33	0.36	ft
RF _{Grate} =	N/A	N/A	
RF _{Curb} =	1.00	1.00	
RF _{Combination} =	N/A	N/A	
MINOR MAJOR			
Q _a =	5.4	6.0	cfs
Q _{PEAK REQUIRED} =	1.9	4.4	cfs

ALLOWABLE CAPACITY FOR ONE-HALF OF STREET (Minor & Major Storm)
 (Based on Regulated Criteria for Maximum Allowable Flow Depth and Spread)

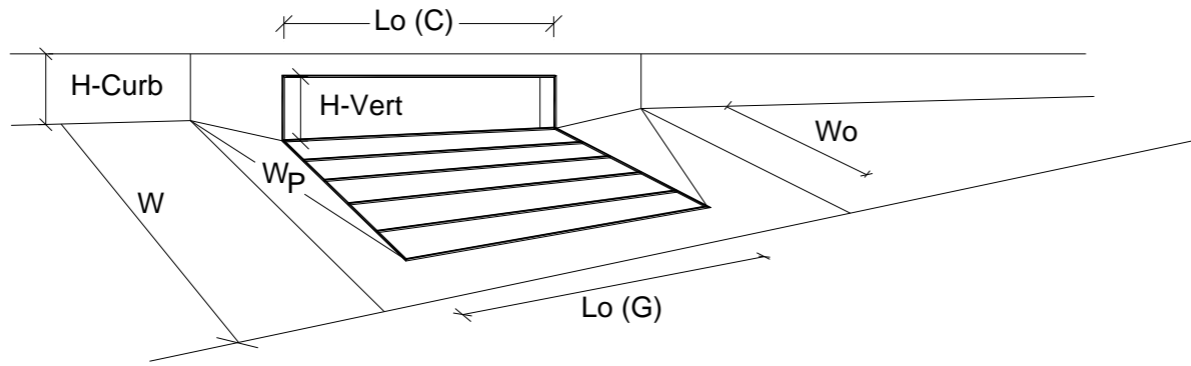
Project: Meridian Storage
 Inlet ID: DP5



Gutter Geometry:	
Maximum Allowable Width for Spread Behind Curb	$T_{BACK} = 10.0$ ft
Side Slope Behind Curb (leave blank for no conveyance credit behind curb)	$S_{BACK} = 0.020$ ft/ft
Manning's Roughness Behind Curb (typically between 0.012 and 0.020)	$n_{BACK} = 0.013$
Height of Curb at Gutter Flow Line	$H_{CURB} = 6.00$ inches
Distance from Curb Face to Street Crown	$T_{CROWN} = 20.0$ ft
Gutter Width	$W = 2.00$ ft
Street Transverse Slope	$S_X = 0.020$ ft/ft
Gutter Cross Slope (typically 2 inches over 24 inches or 0.083 ft/ft)	$S_W = 0.083$ ft/ft
Street Longitudinal Slope - Enter 0 for sump condition	$S_O = 0.000$ ft/ft
Manning's Roughness for Street Section (typically between 0.012 and 0.020)	$n_{STREET} = 0.016$
Max. Allowable Spread for Minor & Major Storm	$T_{MAX} = \begin{matrix} \text{Minor Storm} & \text{Major Storm} \\ 20.0 & 20.0 \end{matrix}$ ft
Max. Allowable Depth at Gutter Flowline for Minor & Major Storm	$d_{MAX} = \begin{matrix} \text{Minor Storm} & \text{Major Storm} \\ 6.0 & 12.0 \end{matrix}$ inches
Check boxes are not applicable in SUMP conditions	<input type="checkbox"/> <input type="checkbox"/>
MINOR STORM Allowable Capacity is not applicable to Sump Condition	
MAJOR STORM Allowable Capacity is not applicable to Sump Condition	
$Q_{allow} =$	$\begin{matrix} \text{Minor Storm} & \text{Major Storm} \\ \text{SUMP} & \text{SUMP} \end{matrix}$ cfs

INLET IN A SUMP OR SAG LOCATION

MHFD-Inlet, Version 5.02 (August 2022)



Design Information (Input)	MINOR	MAJOR	
Type of Inlet	CDOT Type R Curb Opening		
Local Depression (additional to continuous gutter depression 'a' from above)			
Number of Unit Inlets (Grate or Curb Opening)	1		
Water Depth at Flowline (outside of local depression)			
Grate Information			
Length of a Unit Grate	N/A		feet
Width of a Unit Grate	N/A		feet
Open Area Ratio for a Grate (typical values 0.15-0.90)	N/A		
Clogging Factor for a Single Grate (typical value 0.50 - 0.70)	N/A		
Grate Weir Coefficient (typical value 2.15 - 3.60)	N/A		
Grate Orifice Coefficient (typical value 0.60 - 0.80)	N/A		
Curb Opening Information			
Length of a Unit Curb Opening	10.00		feet
Height of Vertical Curb Opening in Inches	6.00		inches
Height of Curb Orifice Throat in Inches	6.00		inches
Angle of Throat (see USDCM Figure ST-5)	63.40		degrees
Side Width for Depression Pan (typically the gutter width of 2 feet)	2.00		feet
Clogging Factor for a Single Curb Opening (typical value 0.10)	0.10		
Curb Opening Weir Coefficient (typical value 2.3-3.7)	3.60		
Curb Opening Orifice Coefficient (typical value 0.60 - 0.70)	0.67		
Low Head Performance Reduction (Calculated)			
Depth for Grate Midwidth	N/A		ft
Depth for Curb Opening Weir Equation	0.33		ft
Grated Inlet Performance Reduction Factor for Long Inlets	N/A		
Curb Opening Performance Reduction Factor for Long Inlets	0.93		
Combination Inlet Performance Reduction Factor for Long Inlets	N/A		
Total Inlet Interception Capacity (assumes clogged condition)			
Inlet Capacity IS GOOD for Minor and Major Storms (>Q Peak)	Q_a = 8.3		cfs
	Q _{PEAK REQUIRED} = 3.2		cfs

APPENDIX E

Please provide forebay design calculations. The minimum forebay volumes are shown on MHFD T-5 Table EDB-4. The forebay outlet should be sized to release 2% of the undetained peak 100-year discharge.

For projects with two forebay weirs (one notch and one overflow weir that spans wider than the notch), on the UD-BMP spreadsheet use the Forebay Depth to calc the Forebay Discharge Design Flow. But then in a separate spreadsheet, copy over the MHFD's Notch Width formula to calc the notch width using the actual height of the notch (which will be less than the Forebay Depth), instead of the Forebay Depth that the MHFD formula defaults to use.

provide trickle channel and micropool sizing design.

provide spillway riprap size calcs

DETENTION POND TRIBUTARY AREAS

Subdivision: Falcon Ranchettes Filing No. 2
Location: CO, Colorado Springs

Project Name: Meridian Storage
Project No.: MRS01
Calculated By: CMWJ
Checked By: RGD
Date: 3/10/23

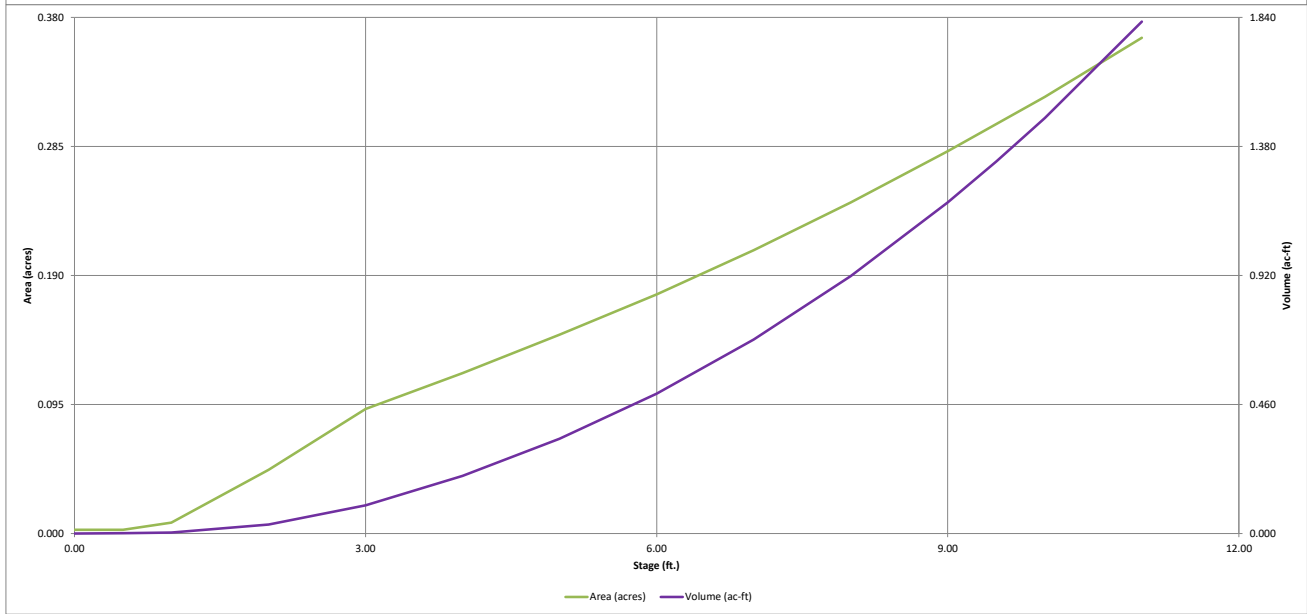
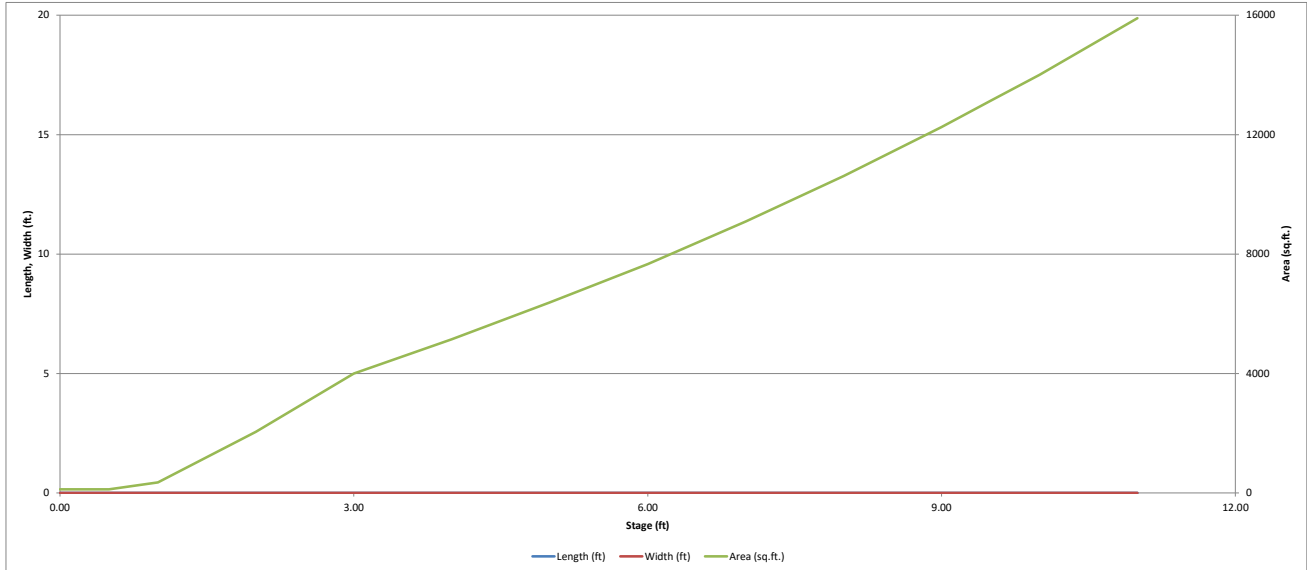
Detention Pond #1

Basin	Area	% Imp
B-1	2.87	95.97
B-2	1.05	51.6
B-3	1.05	92.58
B-4	0.38	14.86
* C-1	0.78	100
* C-2	2.02	100
* C-3	0.2	100
* C-4	1.06	100
F-1	0.04	100
F-2	0.03	100
OS-2	0.09	2
OS-3	0.1	2
Total	9.67	87.5

*All "C" group basins' imperviousness changed to 100%.
 This will accomdate the future build out of the associated lot and provide detention and treatment for the Water Quality Capture Volume and avoid construction of an additional pond.

DETENTION BASIN STAGE-STORAGE TABLE BUILDER

MHFD-Detention, Version 4.06 (July 2022)

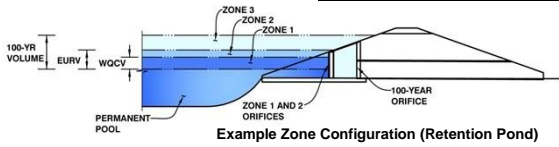


Provide pond details for updated pond design and see VR239 comments on the spreadsheet. This spreadsheet will be reviewed once updated pond details are provided.

DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.06 (July 2022)

Project: Meridian Storage
Basin ID: Pond #1



	Estimated Stage (ft)	Estimated Volume (ac-ft)	Outlet Type
Zone 1 (WQCV)	4.79	0.307	Orifice Plate
Zone 2			
Zone 3			
Total (all zones)		0.307	

User Input: Orifice at Underdrain Outlet (typically used to drain WQCV in a Filtration BMP)

Underdrain Orifice Invert Depth = ft (distance below the filtration media surface)
Underdrain Orifice Diameter = inches

Calculated Parameters for Underdrain
Underdrain Orifice Area = ft²
Underdrain Orifice Centroid = feet

User Input: Orifice Plate with one or more orifices or Elliptical Slot Weir (typically used to drain WQCV and/or EURV in a sedimentation BMP)

Centroid of Lowest Orifice = ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Orifice Plate = ft (relative to basin bottom at Stage = 0 ft)
Orifice Plate: Orifice Vertical Spacing = inches
Orifice Plate: Orifice Area per Row = sq. inches

Calculated Parameters for Plate
WQ Orifice Area per Row = ft²
Elliptical Half-Width = feet
Elliptical Slot Centroid = feet
Elliptical Slot Area = ft²

User Input: Stage and Total Area of Each Orifice Row (numbered from lowest to highest)

	Row 1 (required)	Row 2 (optional)	Row 3 (optional)	Row 4 (optional)	Row 5 (optional)	Row 6 (optional)	Row 7 (optional)	Row 8 (optional)
Stage of Orifice Centroid (ft)	0.00	1.75	3.50					
Orifice Area (sq. inches)	0.99	0.79	0.79					

	Row 9 (optional)	Row 10 (optional)	Row 11 (optional)	Row 12 (optional)	Row 13 (optional)	Row 14 (optional)	Row 15 (optional)	Row 16 (optional)
Stage of Orifice Centroid (ft)								
Orifice Area (sq. inches)								

User Input: Vertical Orifice (Circular or Rectangular)

Invert of Vertical Orifice = ft (relative to basin bottom at Stage = 0 ft)
Depth at top of Zone using Vertical Orifice = ft (relative to basin bottom at Stage = 0 ft)
Vertical Orifice Diameter = inches

Calculated Parameters for Vertical Orifice
Vertical Orifice Area = ft²
Vertical Orifice Centroid = feet

User Input: Overflow Weir (Dropbox with Flat or Sloped Grate and Outlet Pipe OR Rectangular/Trapezoidal Weir and No Outlet Pipe)

Overflow Weir Front Edge Height, H_o = ft (relative to basin bottom at Stage = 0 ft)
Overflow Weir Front Edge Length = feet
Overflow Weir Grate Slope = H:V
Horiz. Length of Weir Sides = feet
Overflow Grate Type =
Debris Clogging % = %

Calculated Parameters for Overflow Weir
Height of Grate Upper Edge, H_g = feet
Overflow Weir Slope Length = feet
Grate Open Area / 100-yr Orifice Area =
Overflow Grate Open Area w/o Debris = ft²
Overflow Grate Open Area w/ Debris = ft²

User Input: Outlet Pipe w/ Flow Restriction Plate (Circular Orifice, Restrictor Plate, or Rectangular Orifice)

Depth to Invert of Outlet Pipe = ft (distance below basin bottom at Stage = 0 ft)
Circular Orifice Diameter = inches

Calculated Parameters for Outlet Pipe w/ Flow Restriction Plate
Outlet Orifice Area = ft²
Outlet Orifice Centroid = feet
Half-Central Angle of Restrictor Plate on Pipe = radians

User Input: Emergency Spillway (Rectangular or Trapezoidal)

Spillway Invert Stage = ft (relative to basin bottom at Stage = 0 ft)
Spillway Crest Length = feet
Spillway End Slopes = H:V
Freeboard above Max Water Surface = feet

Calculated Parameters for Spillway
Spillway Design Flow Depth = feet
Stage at Top of Freeboard = feet
Basin Area at Top of Freeboard = acres
Basin Volume at Top of Freeboard = acre-ft

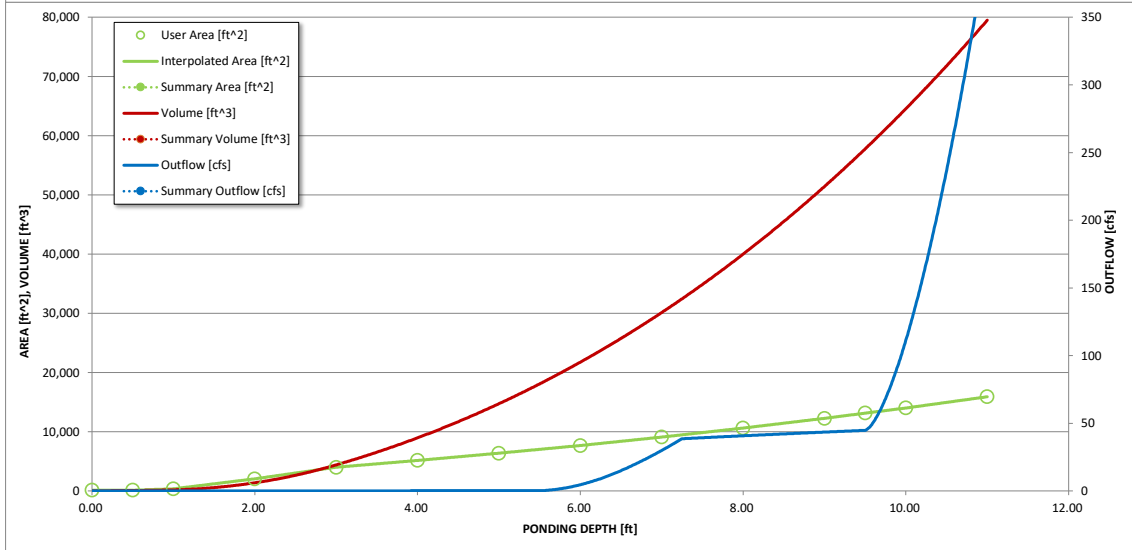
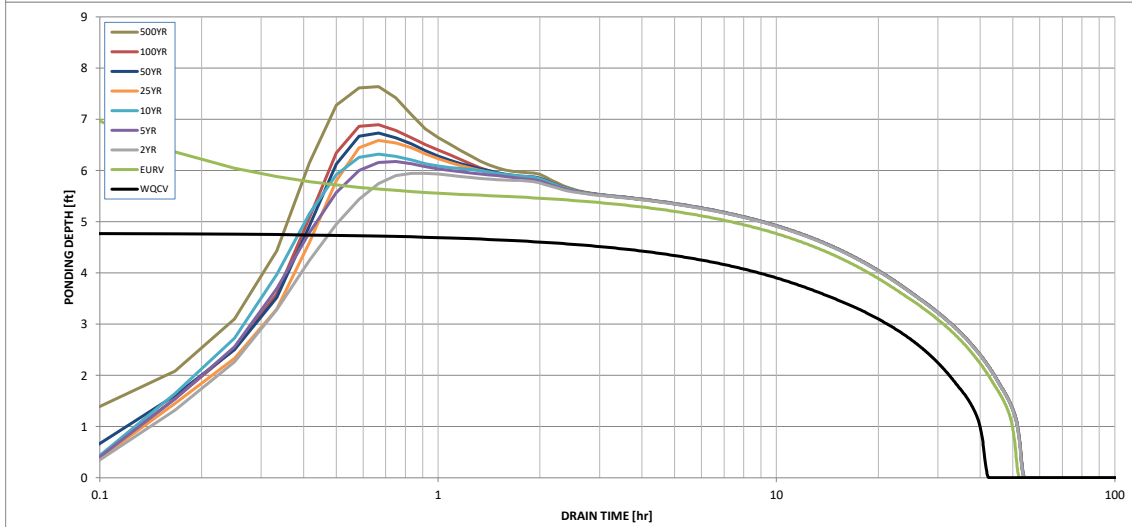
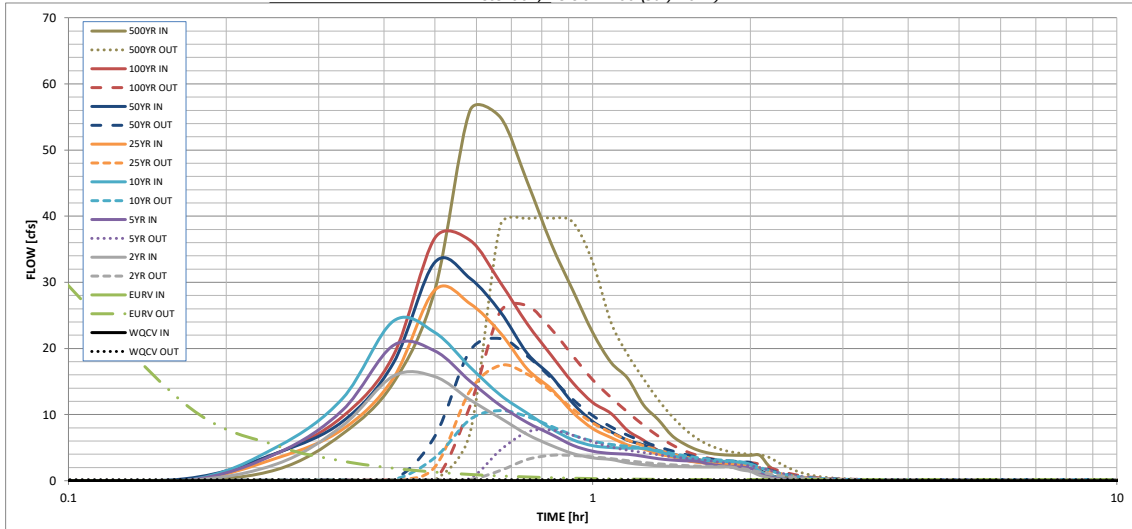
Routed Hydrograph Results

The user can override the default CUHP hydrographs and runoff volumes by entering new values in the Inflow Hydrographs table (Columns W through AF).

	WQCV	EURV	2 Year	5 Year	10 Year	25 Year	50 Year	100 Year	500 Year
Design Storm Return Period	N/A	N/A	1.19	1.50	1.75	2.00	2.25	2.52	3.68
One-Hour Rainfall Depth (in)	N/A	N/A	1.19	1.50	1.75	2.00	2.25	2.52	3.68
CUHP Runoff Volume (acre-ft)	0.307	1.141	0.770	0.994	1.174	1.373	1.569	1.789	2.720
Inflow Hydrograph Volume (acre-ft)	N/A	N/A	0.770	0.994	1.174	1.373	1.569	1.789	2.720
CUHP Predevelopment Peak Q (cfs)	N/A	N/A	0.1	0.2	0.2	2.2	4.3	7.1	17.9
OPTIONAL Override Predevelopment Peak Q (cfs)	N/A	N/A							
Predevelopment Unit Peak Flow, q (cfs/acre)	N/A	N/A	0.01	0.02	0.03	0.23	0.45	0.73	1.86
Peak Inflow Q (cfs)	N/A	N/A	15.8	20.5	24.1	28.8	33.0	36.7	56.0
Peak Outflow Q (cfs)	0.1	41.6	3.8	7.6	10.6	17.4	21.5	26.5	39.7
Ratio Peak Outflow to Predevelopment Q	N/A	N/A	N/A	42.7	43.1	8.0	5.0	3.7	2.2
Structure Controlling Flow	Plate	Outlet Plate 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Overflow Weir 1	Outlet Plate 1
Max Velocity through Grate 1 (fps)	N/A	3.61	0.31	0.6	0.9	1.4	1.8	2.2	3.3
Max Velocity through Grate 2 (fps)	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Time to Drain 97% of Inflow Volume (hours)	38	43	46	44	43	42	41	40	36
Time to Drain 99% of Inflow Volume (hours)	40	48	50	50	49	49	48	47	45
Maximum Ponding Depth (ft)	4.79	8.86	5.95	6.18	6.32	6.59	6.73	6.89	7.64
Area at Maximum Ponding Depth (acres)	0.14	0.28	0.17	0.18	0.19	0.20	0.20	0.21	0.23
Maximum Volume Stored (acre-ft)	0.308	1.141	0.489	0.530	0.555	0.609	0.636	0.669	0.830

DETENTION BASIN OUTLET STRUCTURE DESIGN

MHFD-Detention, Version 4.06 (July 2022)



S-A-V-D Chart Axis Override	X-axis	Left Y-Axis	Right Y-Axis
minimum bound			
maximum bound			

APPENDIX F

We need to know how much disturbed area is untreated and if there are any exclusions that apply to those areas. So please create a basic overview map (or modify an existing drainage map) with color shading/hatching that shows areas tributary to each PBMP (pond, runoff reduction, etc.) and those disturbed areas that are not treated by a PBMP, with the applicable exclusion labeled (ex: 20% up to 1ac of development can be excluded per ECM App I.7.1.C.1 and exclusions listed in ECM App I.7.1.B.#). An accompanying summary table on this map would also be very helpful (example provided):

Basin ID	Total Area (ac)	Total Proposed Disturbed Area (ac)	Area Trib to Pond A (ac)	Disturbed Area Treated via Runoff Reduction (ac)	Disturbed Area Excluded from WQ per ECM App I.7.1.C.1 (ac)	Disturbed Area Excluded from WQ per ECM App I.7.1.B.# (ac)	Applicable WQ Exclusions (App I.7.1.B.#)
A	4.50	4.50	4.50	-	-	-	
B	1.25	1.25	-	1.00	0.25	-	
C	6.00	4.00	-	-	-	4.00	ECM App I.7.1.B.5
D	2.50	2.50	1.00	-	0.50	1.00	ECM App I.7.1.B.7
E	3.00	-	3.00	-	-	-	
F	8.25	-	-	-	-	-	
Total	25.50	12.25	8.50	1.00	0.75	5.00	
<i>Comments</i>		<i>[For each row, the sum of the values in Columns 4-7 must be greater than or equal to the value in Column 3 above.]</i>	<i>[Values in this column can be more than Column 3 if over-treating non-disturbed areas of the same land-use.]</i>	<i>[See RR calc spreadsheet.]</i>	<i>[Total must be <20% of site and <1ac.]</i>		
			Total Disturbed Area Treated (ac)	Total Disturbed Area Excluded from WQ (ac)		Non-Excluded Area to be Treated (value must exceed Total Proposed Disturbed Area) (ac)	
			9.50	5.75		15.25	

