



LES SCHWAB TIRE CENTER

7105 N. MERIDIAN ROAD

FALCON, COLORADO 80831

SITE DEVELOPMENT PLAN

PROPERTY OWNER

PARK PLACE ENTERPRISES LLC
15 MIRANDA ROAD
COLORADO SPRINGS, CO 80906

DEVELOPER/APPLICANT

SFF-E
P.O. BOX 5350
BEND, OR 97708
(541) 416-5238
ATTN: GEORGE BUNTING

ENTITLEMENT CONSULTANT ARCHITECT

LANDSCAPE ARCHITECT
CIVIL ENGINEER / SURVEYOR
GALLOWAY & COMPANY
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: AARON MCLEAN (ENTITLEMENTS)
ATTN: KYLE J. MATTHEWS (ARCHITECT)
ATTN: KERRI LILJEGREN, RLA (LANDSCAPE ARCHITECT)
ATTN: JOE PARK, P.E. (CIVIL ENGINEERING)
ATTN: LYLE BISSEGGGER, P.L.S. (SURVEY)

GEOTECHNICAL ENGINEER

PICKERING, COLE & HYNTER
1070 W. 124TH AVENUE, SUITE 300
WESTMINSTER, CO 80234
TEL: (303) 996-2999
ATTN: GLENN D. OHLSEN, P.E.

JURISDICTIONAL CONTACTS

PLANNING DEPARTMENT

EL PASO COUNTY-PLANNING
2880 INTERNATIONAL CIRCLE #110
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6313
ATTN: NINA RUIZ

BUILDING DEPARTMENT

PIKES PEAK REGIONAL BUILDING DEPARTMENT
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 327-2880

ENGINEERING DEPARTMENT

EL PASO COUNTY-ENGINEERING
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6813
ATTN: ELIZABETH NIJKAMP

FIRE DEPARTMENT

FALCON FIRE DISTRICT
7030 OLD MERIDIAN ROAD
FALCON, CO 80831
TEL: (719) 495-4050
ATTN: CHIEF TRENT HARWIG

UTILITY CONTACTS

POWER

MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E WOODMEN ROAD
FALCON, CO 80831
TEL: (800) 388-9881

TELEPHONE

CENTURYLINK
TEL: (719) 633-2998
ATTN: JIM CONNELLY

WATER

FALCON HIGHLANDS METROPOLITAN DISTRICT
111 SOUTH TEJON STREET #705
COLORADO SPRINGS, CO 80903
TEL: (719) 635-0330
ATTN: JOSH MILLER

GAS

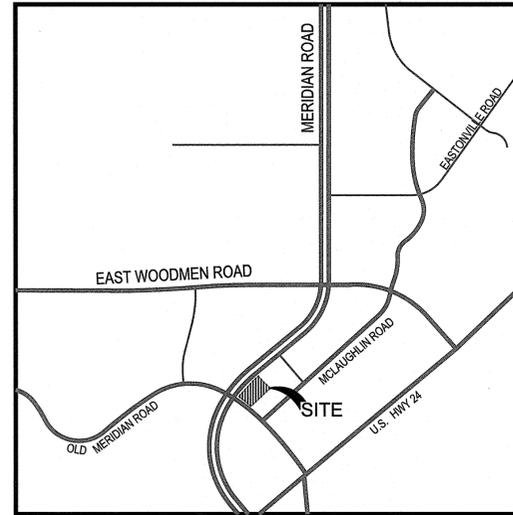
COLORADO SPRINGS UTILITIES
(719) 668-4462
ATTN: BEN SCHMITT

WATER DISTRICT ENGINEER

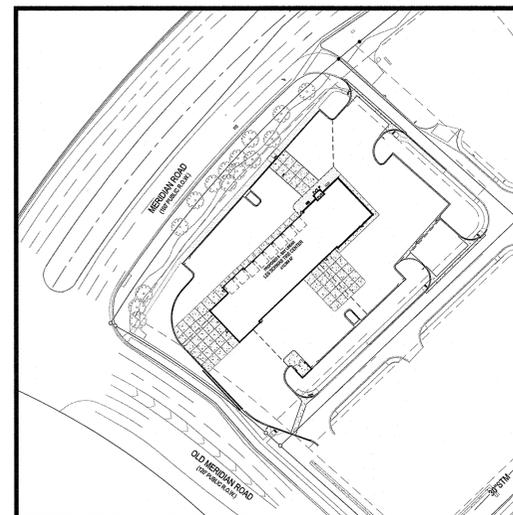
KENNEDY/JENKS
165 SOUTH UNION BLVD. SUITE 570
LAKEWOOD, CO 80228
(303) 985-3636
ATTN: MIKE BARNES

SANITARY SEWER

WOODMAN HILLS METRO DISTRICT
8046 EASTON ROAD
FALCON, CO 80831
TEL: (719) 495-2500 x111
ATTN: DANNY EVERETT



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER
C1.0	DEMO PLAN
C1.1	SITE PLAN
C1.2	SITE ADA ROUTE
C1.5	SITE DETAILS
C1.6	SITE DETAILS
C4.0	UTILITY PLAN
C4.5	UTILITY DETAILS
PP1.0	PHOTOMETRICS PLAN
PP1.1	PHOTOMETRICS DETAILS
L1.1	LANDSCAPE PLAN



FOR INFORMATION ONLY		
EARTHWORK SUMMARY TABLE		
CUT	FILL	EXPORT
1040 CY	2378 CY	0 CY

CUT/FILL NUMBERS ARE FOR PERMITTING PURPOSES ONLY AND ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. CONTRACTOR IS RESPONSIBLE FOR TAKE-OFFS AND SHOULD NOT RELY ON CUT/FILL NUMBERS SHOWN ON THESE CONSTRUCTION DOCUMENTS FOR ESTIMATING PURPOSES. NO CLAIM WILL BE CONSIDERED IF THE CONTRACTOR RELIES ON THIS INFORMATION FOR BIDDING OR FOR CONSTRUCTION OPERATIONS AND FINDS THAT IT IS INACCURATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING ALL QUANTITIES PROVIDED ON PLANS PRIOR TO BIDDING AND CONSTRUCTION.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FALCON STANDARD CONSTRUCTION SPECIFICATIONS, IMPROVEMENT STANDARDS AND STANDARD DRAWINGS.
- THE CONTRACTOR SHALL NOT BEGIN ANY WORK SHOWN ON THESE PLANS UNTIL THE CITY ENGINEER'S SIGNATURE OF APPROVAL IS AFFIXED HEREON AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY, OWNER OR ENGINEER.
- THE LOCATIONS OF ALL UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES; HOWEVER, THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HEREON OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH THE CONTRACTOR MAY DISCOVER, BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES AND IMMEDIATELY NOTIFY THE ENGINEER IF ANY SUCH FACILITIES INTERFERE WITH THE CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL STOP WORK UNTIL MITIGATIONS CAN BE MADE. ANY COSTS INCURRED RESULTING FROM CONTRACTOR'S FAILURE TO STOP AS DIRECTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATION OF THE AGENCIES INVOLVED AND ALL WORK IS SUBJECT TO THE APPROVAL OF THEIR DIRECTOR OR AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF FALCON'S PUBLIC SERVICES INSPECTORS MON-FRI, 8:00 A.M. TO 4:00 P.M. AT (XXX) XXX-XXXX FOR A PRECONSTRUCTION MEETING 48 HOURS IN ADVANCE OF STARTING ANY CONSTRUCTION ACTIVITIES. TRI VIEW WATER AGENCY AND PIKES PEAK UTILITY DISTRICT REQUIRE AT LEAST 48-HOURS PRIOR TO ANY CONSTRUCTION REQUESTS FOR INSPECTION OF PUBLIC FACILITIES. THEREFORE, NOTICE SHALL BE GIVEN 48-HOURS IN ADVANCE AND BE PERFORMED BY THE AGENCY'S DESIGNATED AGENT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ENCROACHMENT PERMITS AND SHALL POSSESS APPROVED PLANS PRIOR TO BEGINNING OF CONSTRUCTION. A SET OF SIGNED AND APPROVED PLANS ARE TO BE ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING PUBLIC AND PRIVATE IMPROVEMENT WITHIN THE WORK AREA AND SHALL ADEQUATELY BARRICADE THE PROJECT SITE TO KEEP THE GENERAL PUBLIC FROM THE SITE. ANY IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR.
- THE CONTRACTOR MUST EXPOSE THE END OF EXISTING GRAVITY LINES FOR THE SURVEYOR TO VERIFY LOCATION AND DEPTH OF FACILITIES PRIOR TO CONNECTION OF PROPOSED UTILITY. THE CONTRACTOR SHALL INCUR ALL COSTS FOR SUCH EXCAVATION.
- THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
- CONTRACTOR MUST NOTIFY "COLORADO 811" AT 811 (PHONE 800-922-1987) OR THROUGH THE WEBSITE AT HTTP://COLORADO811.ORG 48 HOURS IN ADVANCE BEFORE ANY DIGGING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND/OR OTHER SURVEY MONUMENTS AND SHALL NOTIFY CITY OF FALCON OF PUBLIC SERVICES OF ANY DAMAGED OR REMOVED CITY, STATE, OR BUREAU MONUMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGED OR REMOVED MONUMENTS.
- CONTRACTOR SHALL NOTIFY DEPARTMENT OF PUBLIC SERVICES UPON APPLICATION FOR PERMIT AND PAYMENT OF REQUIRED FEE.
- THE CONTRACTOR SHALL VERIFY ALL STREETS NAMES AND THEIR CORRECT SPELLING WITH THE FIRE DEPARTMENT AND BUILDING DIVISION BEFORE ORDERING STREET SIGNS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY OUTSIDE OF ANY FLOODPLAIN BOUNDARIES. FLOODPLAIN BOUNDARIES SHALL BE CLEARLY DELINEATED IN THE FIELD WITH ORANGE ESA FENCING AND SIX FOOT (6) STAKES TEN FEET (10) OC PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY WITHIN THE "LIMITS OF WORK" THESE AREAS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
- WHERE WORK IS BEING DONE IN AN OFFSITE EASEMENT THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER 48 HOURS PRIOR TO COMMENCING WORK.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

FIRE DEPARTMENT APPROVAL

EMERGENCY ACCESS AND FIRE HYDRANT PLACEMENT AS SHOWN ON THESE PLANS IS APPROVED BY FALCON FIRE PROTECTION DISTRICT.

CHIEF TRENT HARWIG
(PRINTED) NAME OF FIRE CHIEF OR DESIGNATED REPRESENTATIVE

Trent Harwig
SIGNATURE OF FIRE CHIEF OR DESIGNATED REPRESENTATIVE

6-19-2019
DATE SIGNED



Planning, Architecture, Engineering
1755 Telstar Drive, Suite 107
Colorado Springs, Co 80902
719.900.7220 O
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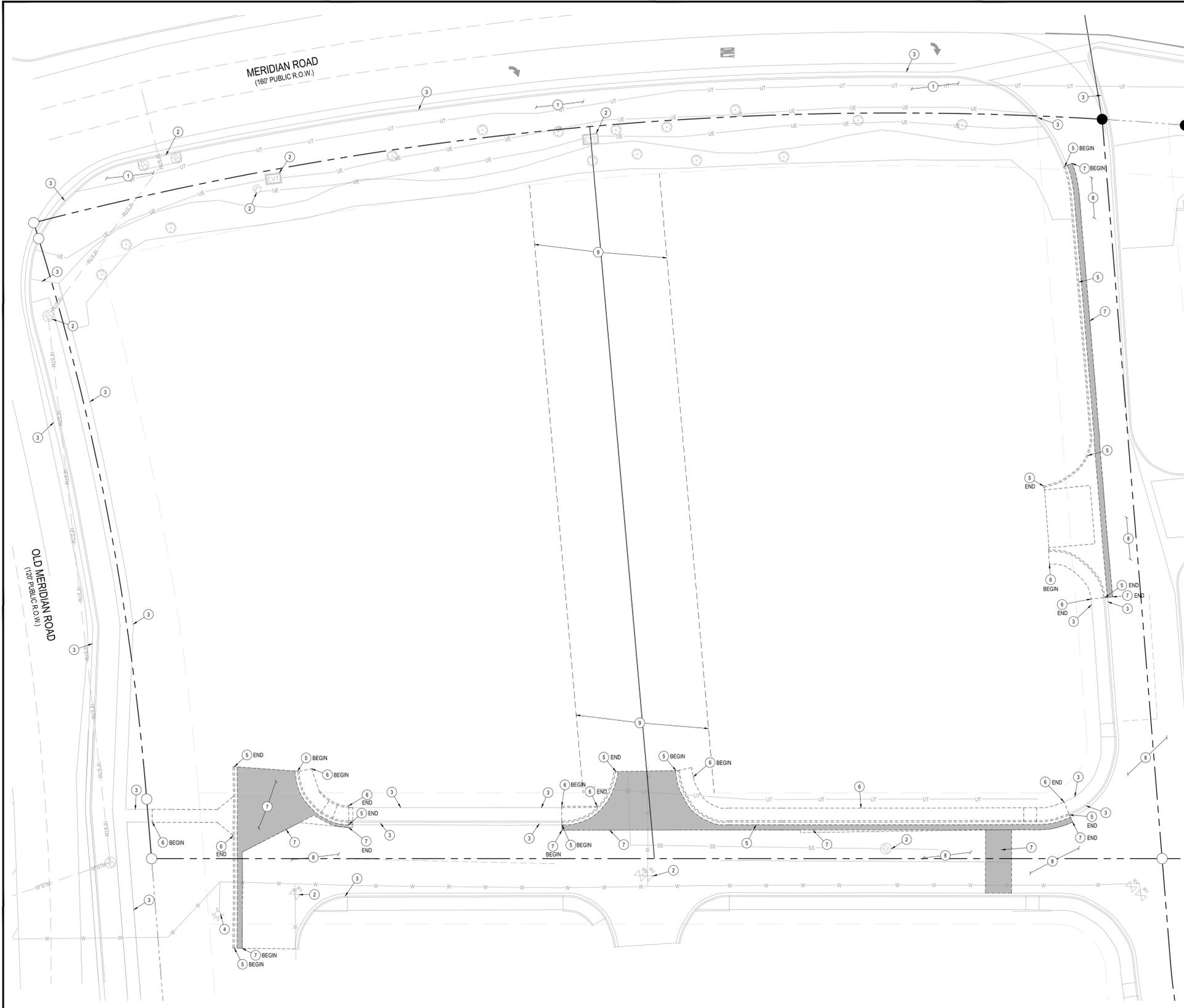
LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SUBMITTAL	JDP
2	6/8/18	2ND SDP SUBMITTAL	JDP
3	8/7/18	BID SET	JDP
4	8/10/18	3RD SDP SUBMITTAL	JDP
5	8/15/18	NEW OUT TO BID	JDP
6	9/27/18	WATER DISTRICT SUBMITTAL	BMS
7	12/19/18	4TH SDP SUBMITTAL	BMS
8	06/11/19	APPROVAL SET	BMS

Project No: LST00067
Drawn By: JDP
Checked By: JDP
Date: 4/6/2018

COVER

C0.0



SITE SCHEDULE

- 1 EXISTING LANDSCAPING TO REMAIN.
- 2 EXISTING UTILITY STRUCTURE/LIGHT POLE TO REMAIN.
- 3 EXISTING CURB AND GUTTERS/SIDEWALK TO REMAIN
- 4 EXISTING FIRE HYDRANT TO REMAIN.
- 5 EXISTING CURB AND GUTTER TO BE REMOVED.
- 6 EXISTING SIDEWALK TO BE REMOVED.
- 7 SAWCUT AND REMOVE EXISTING ASPHALT.
- 8 EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO USE CARE TO PREVENT DAMAGE TO EXISTING PAVED SURFACES.
- 9 EXISTING EASEMENT TO BE VACATED.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CURB & GUTTER TO BE REMOVED
- SAWCUT LINE
- SS EXISTING SANITARY SEWER MANHOLE COVER
- SD EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- ☼ EXISTING STREET LIGHT
- ⊕ EXISTING FIRE HYDRANT

DEMOLITION NOTE:

- 1. PROTECT -IN-PLACE ALL PORTIONS OF THE SITE THAT ARE TO REMAIN.
- 2. GENERAL CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION: E 24' PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T. 12 S., R. 64 W., AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP-EL PASO COUNTY PARK PROPERTY. TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

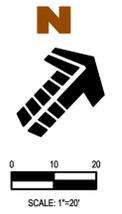
LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

CAUTION - NOTICE TO CONTRACTOR

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
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6	9/27/18	WATER DISTRICT SUBMITTAL	BMG
7	12/19/18	4TH SDP SUBMITTAL	BMG
8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
 Drawn By: JDP
 Checked By: JDP
 Date: 4/8/2018

DEMO PLAN

C1.0



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8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
 Drawn By: JRP
 Checked By: JDP
 Date: 4/8/2018

SITE ADA ROUTE

C1.2

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- PROPOSED BY OTHERS
- PROPOSED NEW
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LANDSCAPE
- PROPOSED SIDEWALK
- SAWCUT LINE
- 6 --- PARKING COUNT
- TR --- PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING
- WM --- PROPOSED METER
- PROPOSED SANITARY MANHOLE
- PROPOSED REGULATORY SIGN
- SS --- EXISTING SANITARY SEWER MANHOLE COVER
- SD --- EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT
- ADA ROUTE

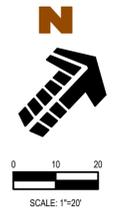
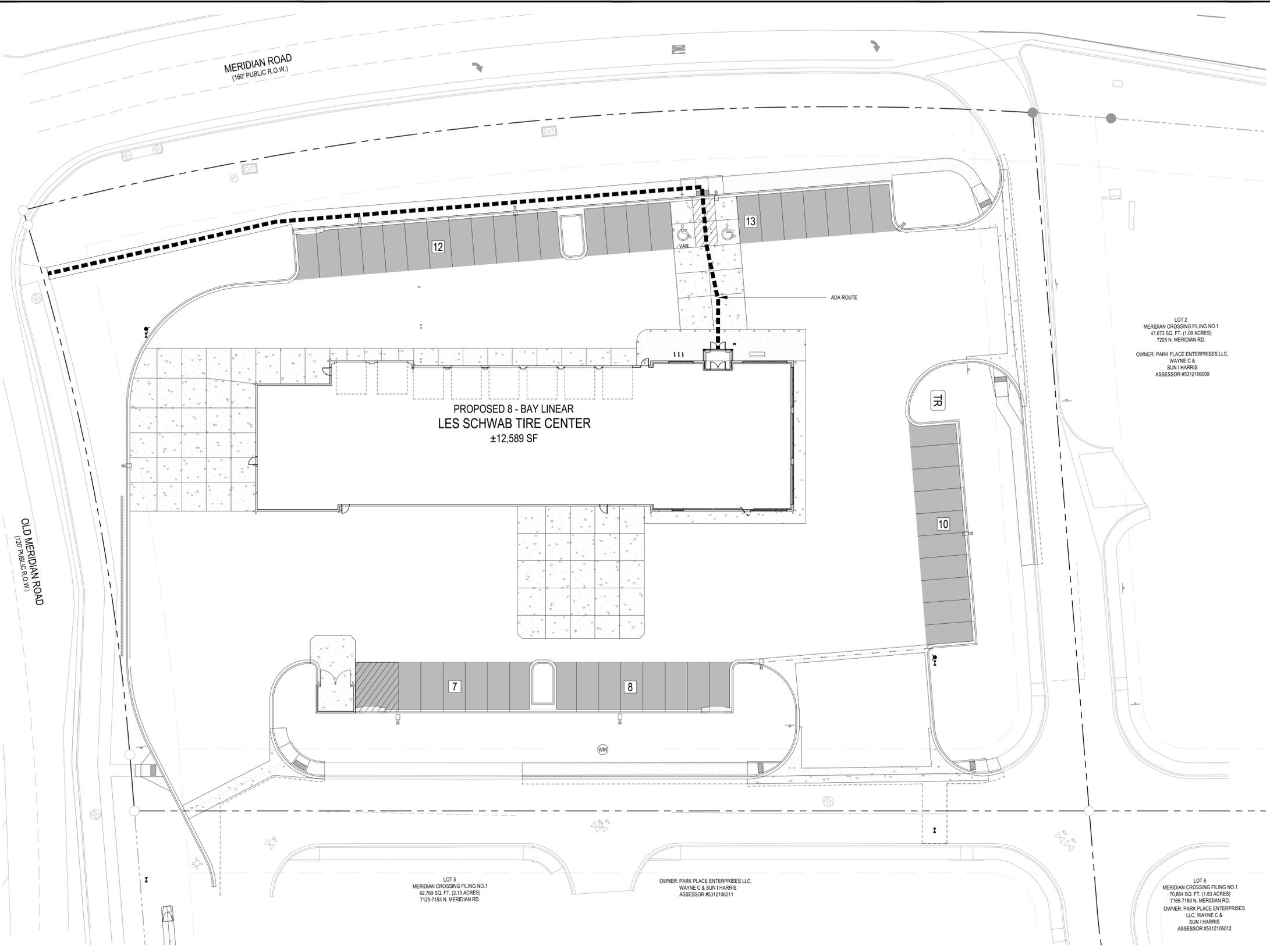
LOT 2
 MERIDIAN CROSSING FILING NO.1
 47,673 SQ. FT. (1.09 ACRES)
 7225 N. MERIDIAN RD.
 OWNER: PARK PLACE ENTERPRISES LLC.
 WAYNE C &
 SUN I HARRIS
 ASSESSOR #5312106008

LOT 5
 MERIDIAN CROSSING FILING NO.1
 92,769 SQ. FT. (2.13 ACRES)
 7125-7153 N. MERIDIAN RD.

OWNER: PARK PLACE ENTERPRISES LLC.
 WAYNE C & SUN I HARRIS
 ASSESSOR #5312106011

LOT 6
 MERIDIAN CROSSING FILING NO.1
 70,864 SQ. FT. (1.63 ACRES)
 7165-7189 N. MERIDIAN RD.
 OWNER: PARK PLACE ENTERPRISES
 LLC, WAYNE C &
 SUN I HARRIS
 ASSESSOR #5312106012

PROPOSED 8 - BAY LINEAR
LES SCHWAB TIRE CENTER
 ±12,589 SF



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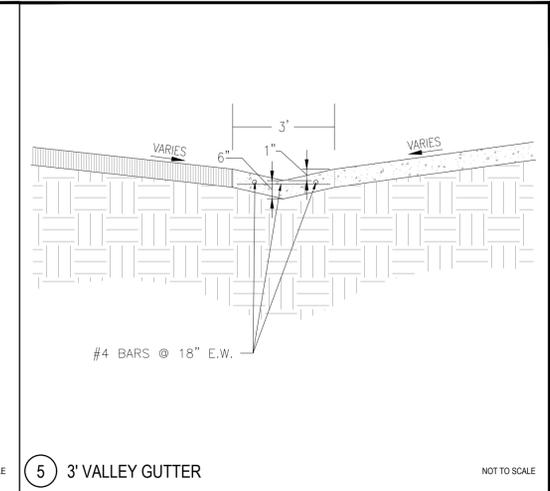
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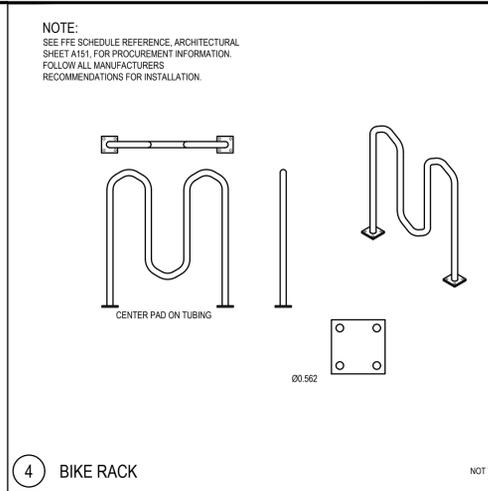
Project No: LST00067
Drawn By: JRP
Checked By: JDP
Date: 4/8/2018

SITE DETAILS

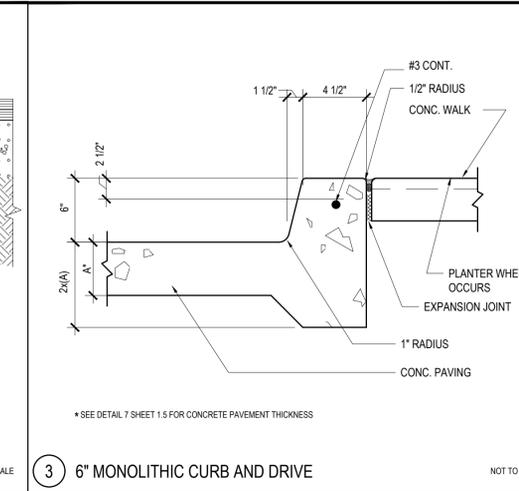
C1.5



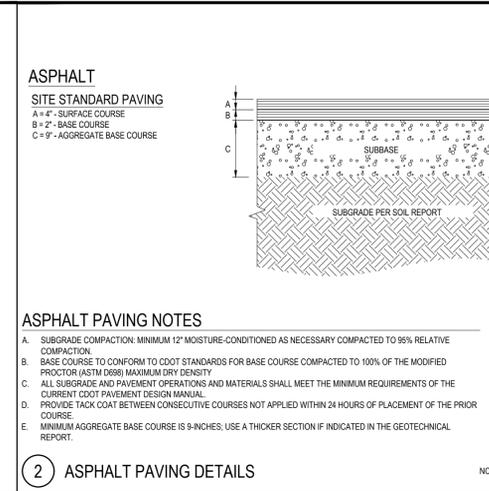
5 3' VALLEY GUTTER NOT TO SCALE



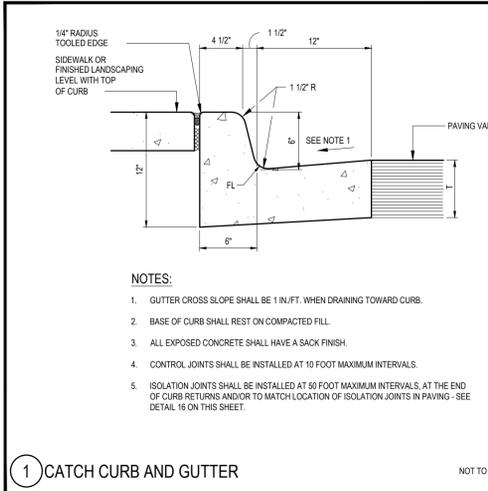
4 BIKE RACK NOT TO SCALE



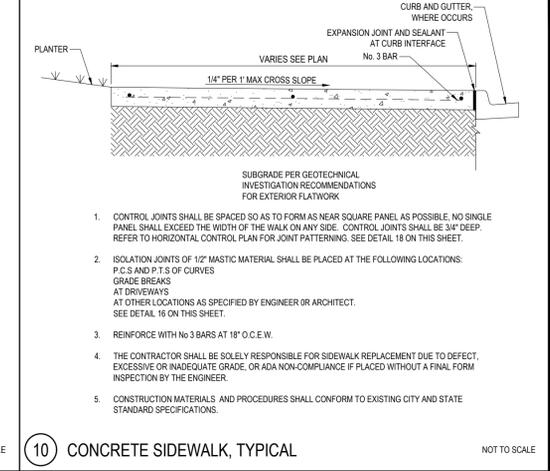
3 6" MONOLITHIC CURB AND DRIVE NOT TO SCALE



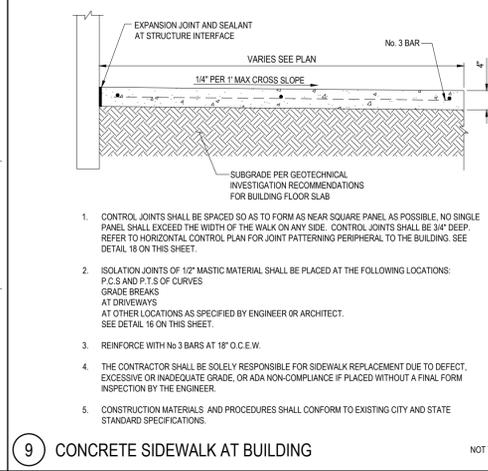
2 ASPHALT PAVING DETAILS NOT TO SCALE



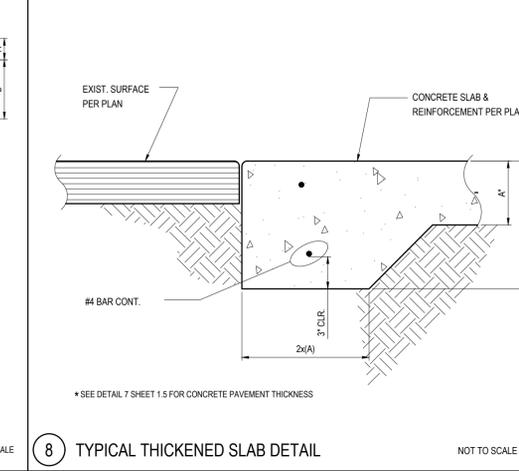
1 CATCH CURB AND GUTTER NOT TO SCALE



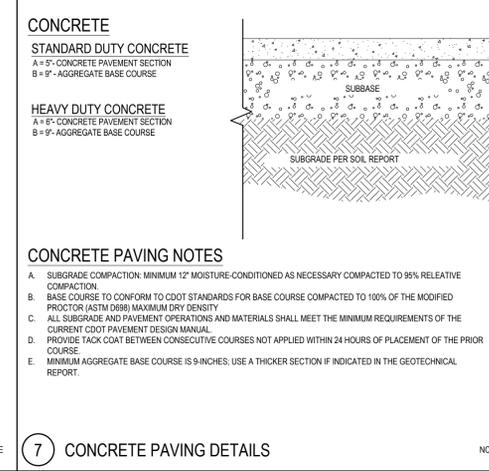
10 CONCRETE SIDEWALK, TYPICAL NOT TO SCALE



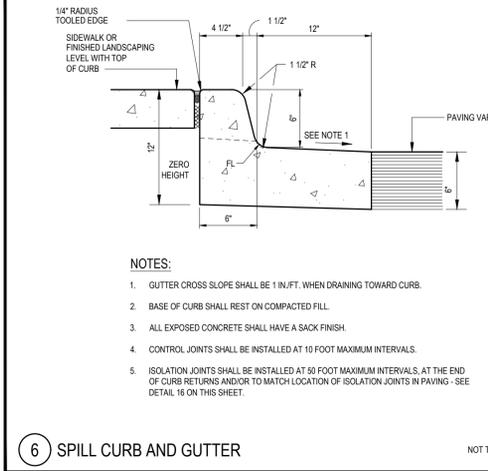
9 CONCRETE SIDEWALK AT BUILDING NOT TO SCALE



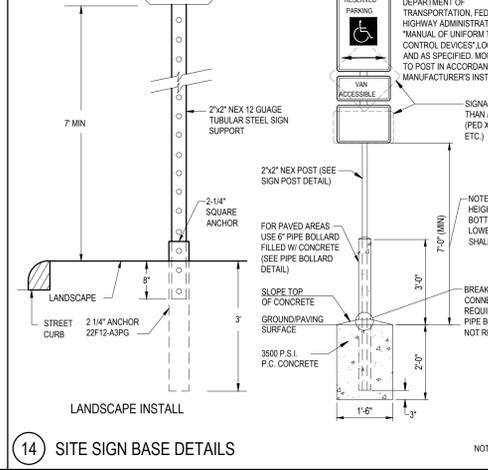
8 TYPICAL THICKENED SLAB DETAIL NOT TO SCALE



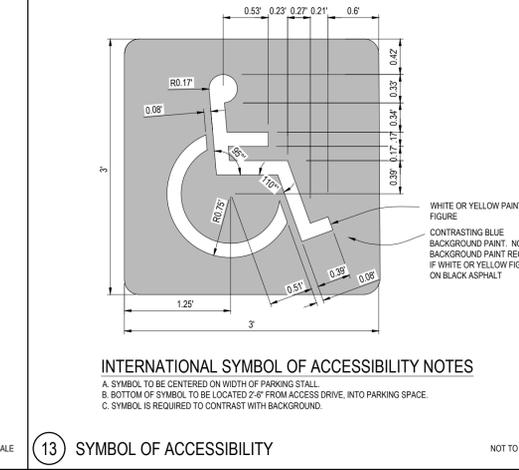
7 CONCRETE PAVING DETAILS NOT TO SCALE



6 SPILL CURB AND GUTTER NOT TO SCALE



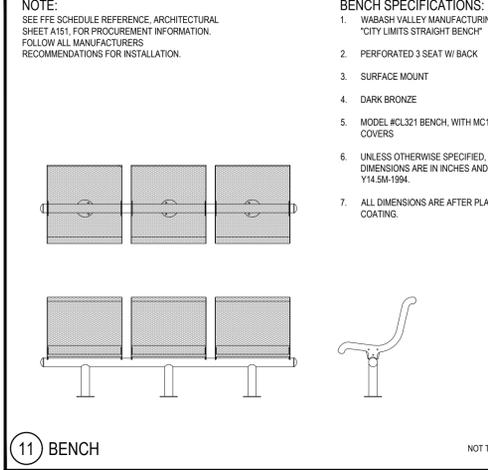
14 SITE SIGN BASE DETAILS NOT TO SCALE



13 SYMBOL OF ACCESSIBILITY NOT TO SCALE

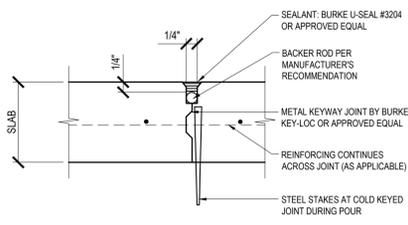


12 ACCESSIBLE PARKING SIGN DETAIL NOT TO SCALE



11 BENCH NOT TO SCALE

11/24/2018 10:52 AM C:\Users\jrp\OneDrive\Documents\2018\11\24\1124180001.dwg (11/24/2018 10:52 AM)

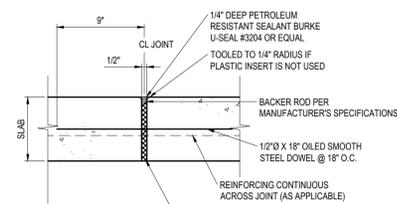


NOTE: FOR INTERRUPTED POURS, SUBSTITUTED FOR CONTROL JOINT

NOTE: SUBMIT PROPOSED ALTERNATE TO ENGINEER FOR APPROVAL

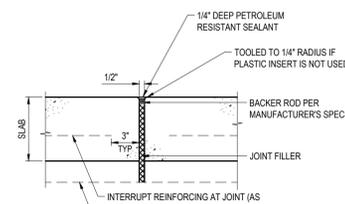
1 CONSTRUCTION JOINT DETAIL

NOT TO SCALE



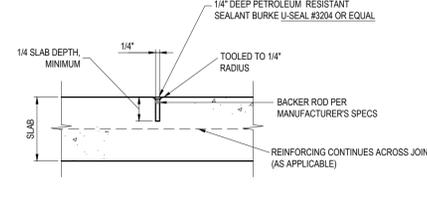
2 ISOLATION JOINT DETAIL

NOT TO SCALE



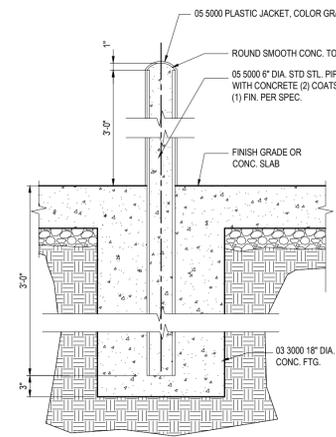
3 EXPANSION JOINT DETAIL

NOT TO SCALE



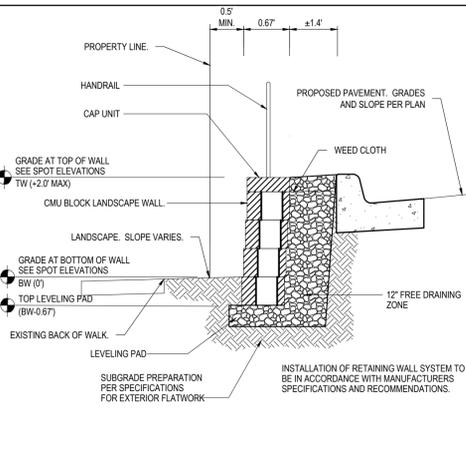
4 CONTROL JOINT DETAIL

NOT TO SCALE



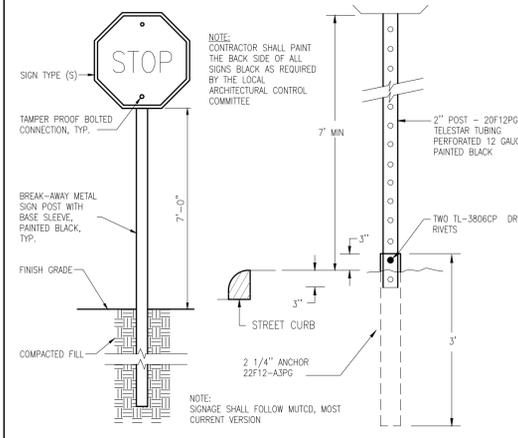
5 TYPICAL BOLLARD DETAIL

NOT TO SCALE



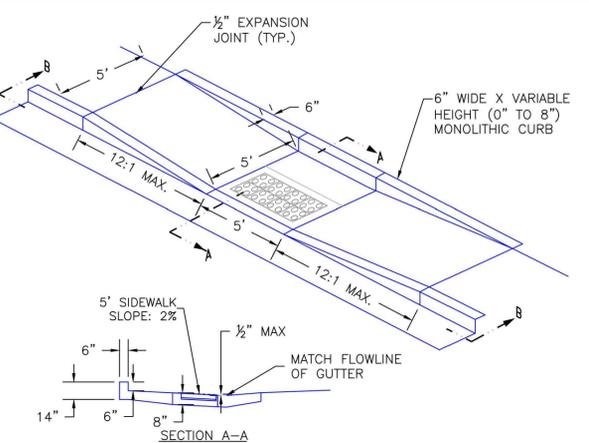
6 LANDSCAPE RETAINING WALL

NOT TO SCALE



7 STOP SIGN R1-1

NOT TO SCALE



TO BE POURED MONOLITHICALLY

6'-0" MAX. (TYP.)

3/4" DIA. DRAINAGE WEEP HOLE

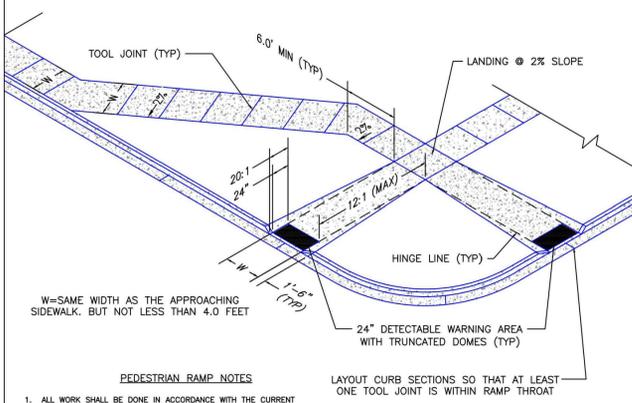
DOMES (TYP.)

DETECTABLE WARNING PAVERS (TYP.)

1" SAND FOUNDATION (TYP.)

SCALE: NOT TO SCALE

8/11/11	Parallel Pedestrian Ramp Detail Standard Drawing	FILE NAME: SD_2-50
DATE APPROVED:	REVISION DATE: 12/8/15	FILE NAME: SD_2-50
André P. Brackin		
DEPARTMENT OF TRANSPORTATION		



W=SAME WIDTH AS THE APPROACHING SIDEWALK, BUT NOT LESS THAN 4.0 FEET

PEDESTRIAN RAMP NOTES

- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT ENGINEERING CRITERIA MANUAL AND ADA REQUIREMENTS.
- CONTRACTOR TO NOTIFY ENGINEERING DIVISION INSPECTION STAFF 48 HOURS PRIOR TO CONCRETE PLACEMENT.
- PEDESTRIAN RAMP CONSTRUCTION SHALL BE A MINIMUM 4,500 PSI CONCRETE, MINIMUM 4" THICK, NON-COLORED, NON-SCORED, COARSE BROOM FINISH.
- RAMP LOCATION AND LENGTH MAY REQUIRE MODIFICATION TO MAINTAIN THE 12:1 MAXIMUM RUNNING RAMP SLOPE AND 20:1 DETECTABLE WARNING AREA DUE TO STREET INTERSECTION GRADES AND/OR ALIGNMENTS.
- DETECTABLE WARNING AREA SHALL START A MINIMUM OF 6" BUT NOT MORE THAN 8" FROM THE FLOWLINE OF THE CURB AT ANY POINT.
- DETECTABLE WARNING AREA SHALL BE PREFABRICATED, REDDISH INTRINSICALLY COLORED, TRUNCATED-DOME, PAVERS, THERMOPLASTIC TRUNCATED DOMES WILL NOT BE ACCEPTED.
- THE DETECTABLE WARNING AREA SHALL BE 24" IN LENGTH AND THE FULL WIDTH OF THE RAMP.
- RAMP WIDTH REQUIRED IS SAME AS APPROACHING SIDEWALK; 4" MINIMUM.
- ALL RAMP SHALL BE PERPENDICULAR TO TRAFFIC WITH THE EXCEPTION OF MID-BLOCK OR TERMINAL RAMP WHICH MAY BE PARALLEL SUBJECT TO APPROVAL.
- Avoid placing drainage structures, traffic signal/signage, utilities/junction boxes, or other obstructions within proposed ramp areas.

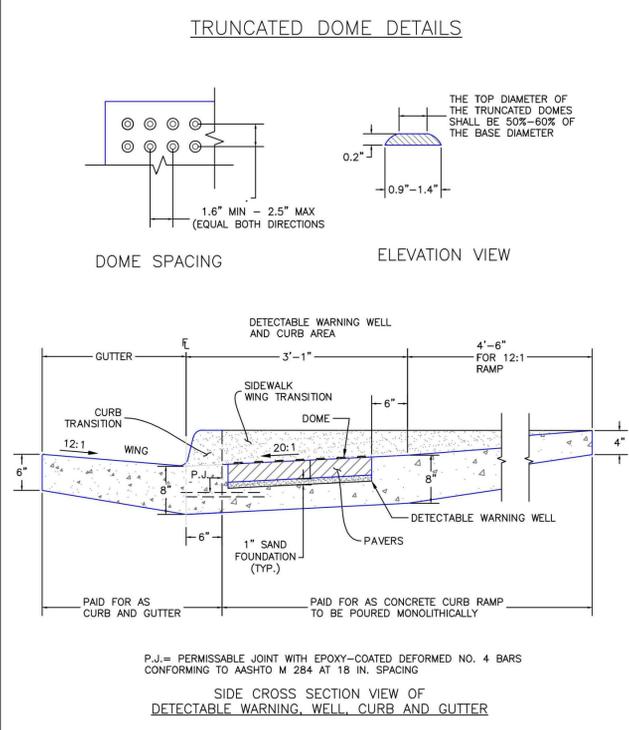
GENERAL NOTES

- WHERE THE 1'-8" FLARED SIDE(S) OF A PERPENDICULAR CURB RAMP IS (ARE) CONTIGUOUS WITH A PEDESTRIAN OR HARD SURFACE AREA, THE MAXIMUM FLARE SLOPE SHALL NOT EXCEED 10:1.
- PEDESTRIAN WALKWAY AND/OR LOCATION OF EXISTING OR FUTURE PEDESTRIAN RAMPS ON OPPOSITE CORNERS SHALL BE REVIEWED BEFORE CONSTRUCTING NEW RAMPS.
- AT MARKED PEDESTRIAN CROSSINGS, THE BOTTOM OF THE RAMPS, EXCLUSIVE OF THE FLARE SIDES, SHALL BE TOTALLY CONTAINED WITHIN THE MARKINGS.

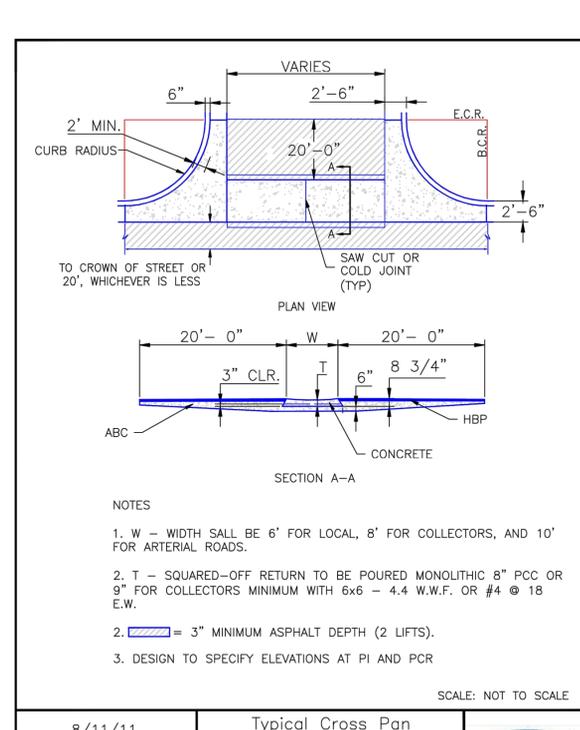
LAYOUT CURB SECTIONS SO THAT AT LEAST ONE TOOL JOINT IS WITHIN RAMP THROAT

24" DETECTABLE WARNING AREA WITH TRUNCATED DOMES (TYP.)

7/9/09	Pedestrian Intersection Ramp Standard Drawing	FILE NAME: SD_2-41
DATE APPROVED:	REVISION DATE: 12/8/15	FILE NAME: SD_2-41
André P. Brackin		
DEPARTMENT OF TRANSPORTATION		



1/1/08	Truncated Dome Details Standard Drawing	FILE NAME: SD_2-42
DATE APPROVED:	REVISION DATE: 11/25/15	FILE NAME: SD_2-42
John A. McCarty		
DEPARTMENT OF TRANSPORTATION		



8/11/11	Typical Cross Pan Layout Detail Standard Drawing	FILE NAME: SD_2-26
DATE APPROVED:	REVISION DATE: 11/10/04	FILE NAME: SD_2-26
André P. Brackin		
DEPARTMENT OF TRANSPORTATION		



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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SUBMITTAL	JDP
2	6/8/18	2ND SDP SUBMITTAL	JDP
3	8/7/18	BID SET	JDP
4	8/10/18	3RD SDP SUBMITTAL	JDP
5	8/15/18	NEW OUT TO BID	JDP
6	9/27/18	WATER DISTRICT SUBMITTAL	BMG
7	12/19/18	4TH SDP SUBMITTAL	BMG
8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
Drawn By: JRP
Checked By: JDP
Date: 4/8/2018

SITE DETAILS



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8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
 Drawn By: JRP
 Checked By: JDP
 Date: 4/8/2018

UTILITY PLAN

C4.0

UTILITY SCHEDULE

- GAS METER, BOLLARD PROTECTION, AND SERVICE ENTRY TO THE BUILDING. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SERVICE PROVIDER. REFERENCE BUILDING MECHANICAL PLANS.
- PROPOSED ROUTING OF GAS SERVICE. CONTRACTOR TO COORDINATE FINAL LOCATIONS AND INSTALLATION WITH THE UTILITY PROVIDER.
- PROPOSED TELECOMMUNICATIONS SERVICE ENTRY TO BUILDING.
- PROPOSED ROUTING OF TELECOMMUNICATIONS SERVICE LINE AND CONNECTION TO MAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- PROPOSED ELECTRICAL SERVICE ENTRY TO BUILDING.
- PROPOSED ROUTING OF SECONDARY ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
- PROPOSED LOCATION OF PRIMARY ELECTRICAL SERVICE CONNECTION AND TRANSFORMER. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
- PROPOSED 4" SANITARY SEWER SERVICE ENTRY TO BUILDING.
- CONTRACTOR TO PROVIDE AND INSTALL 4" SANITARY SEWER SERVICE LINE.
- CONTRACTOR TO PROVIDE AND INSTALL 6" SANITARY SEWER SERVICE LINE.
- PROPOSED CONNECTION TO EXISTING SANITARY SEWER SERVICE LINE. CONTRACTOR TO PROVIDE AND INSTALL 6" SANITARY SEWER LATERAL (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
- CONTRACTOR TO PROVIDE AND INSTALL 750 GALLON SAND/OIL INTERCEPTOR. SEE DETAIL ON SHEET C4.5.
- CONTRACTOR TO CONNECT 8-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POT-HOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
- CONTRACTOR TO PROVIDE AND INSTALL 4-INCH 2-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
- CONTRACTOR TO PROVIDE AND INSTALL 1-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
- PROPOSED 1.5-INCH WATER SERVICE ENTRY TO BUILDING.
- CONTRACTOR TO PROVIDE AND INSTALL ± 270 LF OF 1.5-INCH TYPE K COPPER WATER SERVICE LINE.
- CONTRACTOR TO PROVIDE AND INSTALL 1-INCH WATER SERVICE METER.
- PROPOSED 1.5" CONNECTION TO EXISTING WATER STUB.
- PROPOSED 8" FIRE SERVICE ENTRY TO BUILDING. REF. PLUMBING PLANS FOR BACKFLOW PREVENTER.
- CONTRACTOR TO PROVIDE AND INSTALL ± 154 LF OF 8-INCH FULLY RESTRAINED DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
- CONTRACTOR TO INSTALL 8" x 8" x 6" TEE WITH THRUST BLOCKING.
- CONTRACTOR TO PROVIDE AND INSTALL 4-INCH PVC STORM DRAIN LINE.
- CONTRACTOR TO PROVIDE AND INSTALL 6-INCH PVC STORM DRAIN LINE.
- CONTRACTOR TO PROVIDE AND INSTALL 12-INCH PVC STORM DRAIN LINE.
- CONTRACTOR TO PROVIDE AND INSTALL 18-INCH RCP STORM DRAIN LINE.
- CONTRACTOR TO PROVIDE AND INSTALL SITE LIGHTING. REFERENCE PHOTOMETRIC PLANS FOR DETAILS.
- CONTRACTOR TO PROVIDE AND INSTALL STORM SEWER INLET.
- CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø STORM SEWER MANHOLE.
- CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø SANITARY SEWER MANHOLE.
- CONTRACTOR TO PROVIDE AND INSTALL FIRE HYDRANT ASSEMBLY.
- CONTRACTOR TO PROVIDE AND INSTALL POST INDICATOR VALVE (PIV).
- CONTRACTOR TO PROVIDE AND INSTALL FIRE DEPARTMENT CONNECTION (FDC).
- CONTRACTOR TO CONNECT 6-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POT-HOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.

UTILITY LEGEND

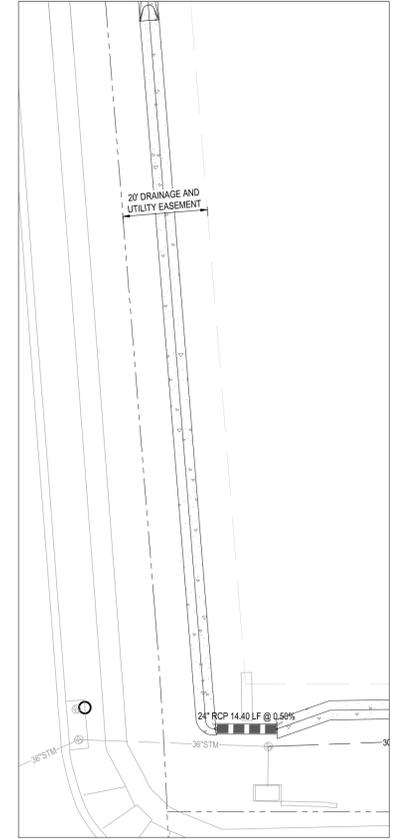
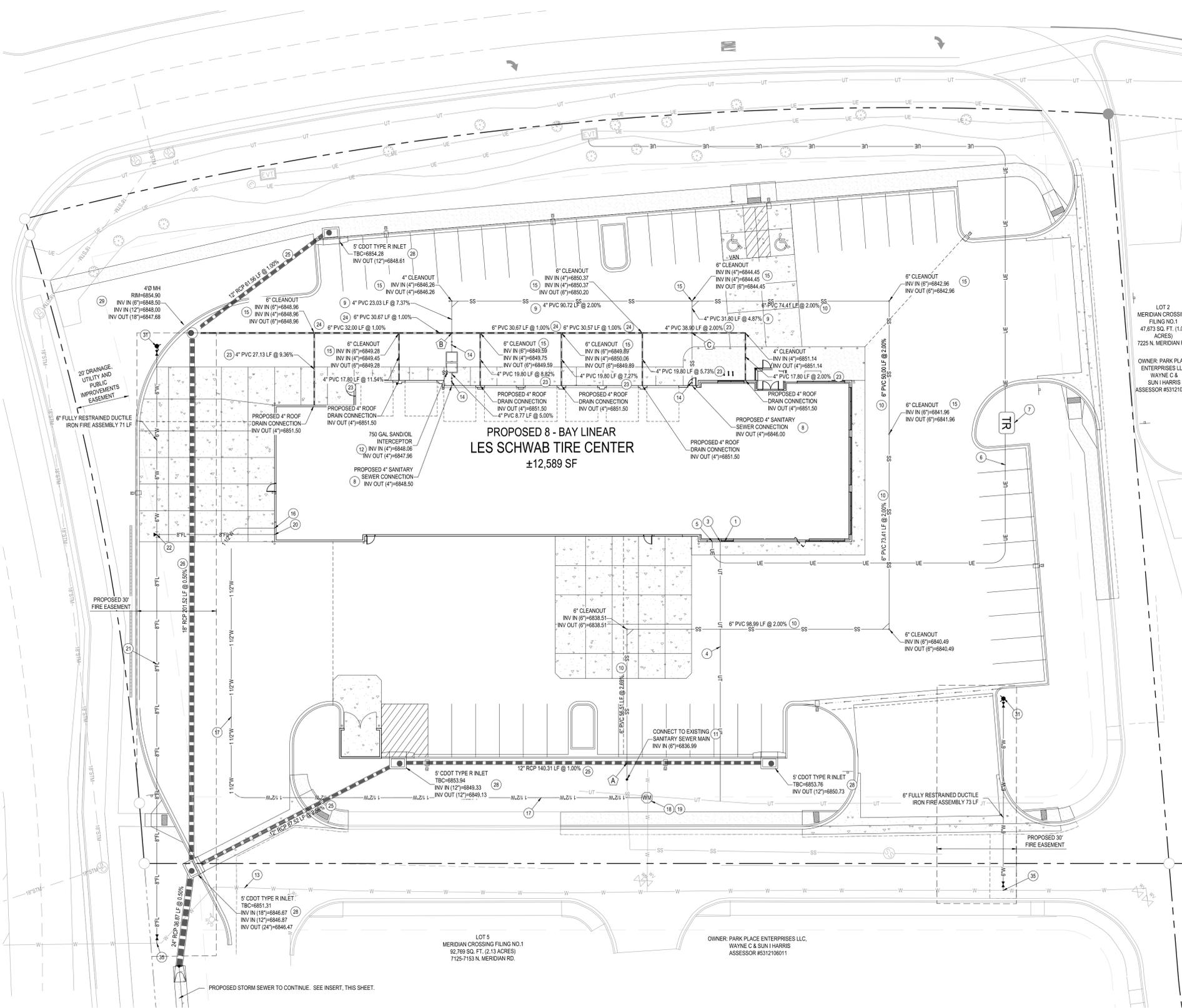
- 8" W --- EXISTING 8" WATER LINE
- 6" W --- EXISTING 6" WATER LINE
- 1" W --- EXISTING 1" WATER LINE
- 2" W --- EXISTING 2" WATER LINE
- 1" W --- PROPOSED 1" WATER LINE
- 2" W --- PROPOSED 2" WATER LINE
- 8" FL --- PROPOSED 8" FIRE LINE
- SS --- EXISTING SANITARY SEWER
- SS --- PROPOSED SANITARY SEWER
- SD --- EXISTING STORM SEWER
- 4" STM --- PROPOSED 4" STORM SEWER
- PROPOSED STORM SEWER (> 4')
- G --- PROPOSED GAS LINE
- UT --- PROPOSED UNDERGROUND TELEPHONE
- UT --- EXISTING UNDERGROUND TELEPHONE
- UT --- PROPOSED UNDERGROUND TELEPHONE
- WATER LINE KICK BLOCK LOCATION
- TYP. --- TYPICAL AS SHOWN

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- PROPOSED NEW
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LANDSCAPE
- PROPOSED SIDEWALK
- SAWCUT LINE
- 6 --- PARKING COUNT
- T --- PROPOSED TRANSFORMER
- RF --- PROPOSED BACKFLOW PREVENTER
- WM --- PROPOSED METER
- DDC --- PROPOSED DOUBLE DETECTOR CHECK
- SM --- PROPOSED SANITARY MANHOLE
- PIV --- PROPOSED REGULATORY SIGN
- SS --- EXISTING SANITARY SEWER MANHOLE COVER
- SD --- EXISTING STORM DRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

UTILITY NOTES

- CO-TRENCH ELECTRIC AND TELECOMMUNICATIONS SERVICE LINES WHERE ROUTING ALLOWS.
- CONTRACTOR TO CONSTRUCT TRANSFORMER PAD TO THE UTILITY PROVIDER'S SPECIFICATION AND COORDINATE INSTALLATION WITH SAME. CONFIRM WITH UTILITY PROVIDER.
- TYPICAL CONTRACTOR PROVIDE & INSTALL SECONDARY ELECTRICAL LINES ON SITE.
- CONTRACTOR TO PROVIDE AND INSTALL 3 #10, 3/4-INCH CONDUITS FOR SITE LIGHTING. TYPICAL ALL SITE LIGHTING. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
- CONTRACTOR TO PROVIDE AND INSTALL (2) 2-INCH SCHEDULE 40 PVC FOR POWER AND CONTROLS TO MONUMENT SIGN. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
- TYPICAL INLETS INCLUDE A DEPRESSION AND A GUTTER TRANSITION. CONTRACTOR TO CONFIRM WITH STANDARD INLET DETAIL DEPRESSION INFORMATION PRIOR TO CONSTRUCTION STAKING.



CLEARANCE TABLE

ID	HIGH UTILITY	INVERT	LOW UTILITY	SOFFIT	CLEARANCE
A	12-INCH STORM	6850.19	6-INCH SANITARY	6837.70	12.3 FEET
B	6-INCH STORM	6849.48	4-INCH SANITARY	6847.47	1.8 FEET
C	4-INCH STORM	6851.04	4-INCH SANITARY	6845.53	5.3 FEET

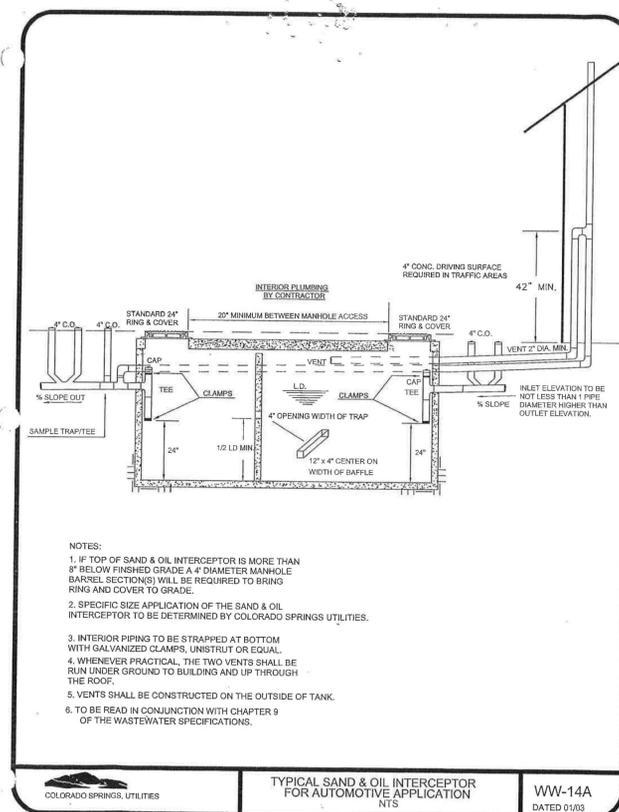
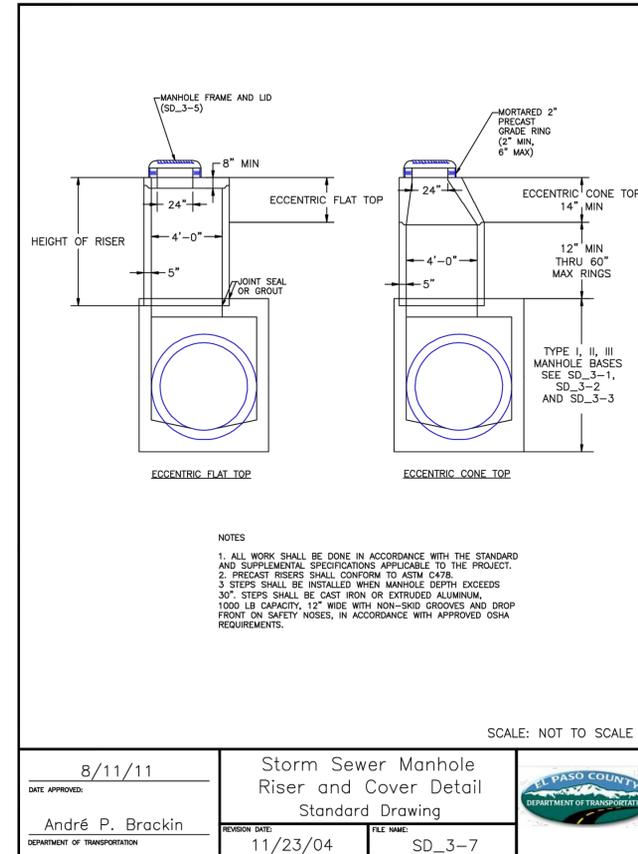
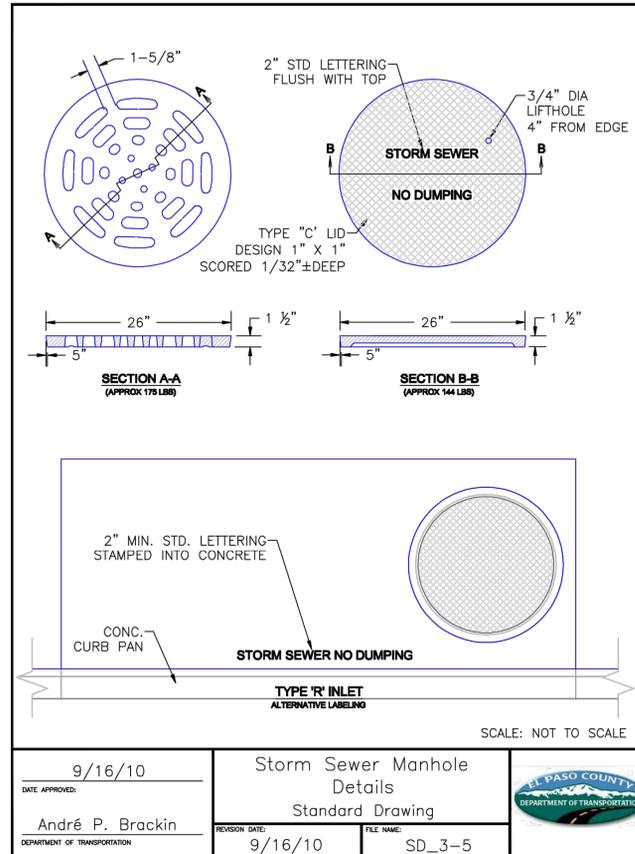
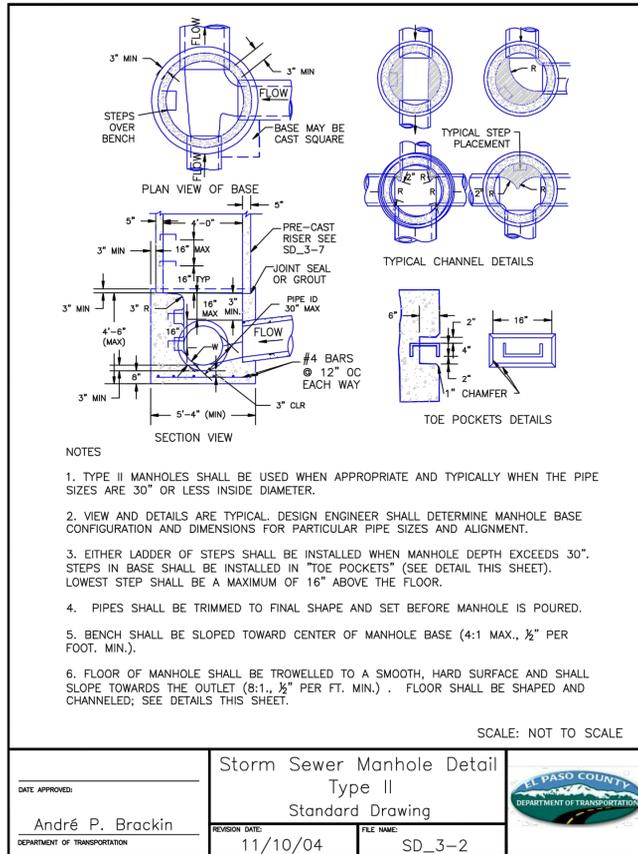
CAUTION - NOTICE TO CONTRACTOR

- ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



BENCHMARK
 THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION "E 24", PID JK0223, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF REYDON, 2 MI (3.2 KM) NORTHWEST OF FALCON AND ON U.S. HIGHWAY 24 IN THE SOUTHEAST 1/4 OF SECTION 32, T. 12 S., R. 64 W. AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP-EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.
 NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING
 BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.



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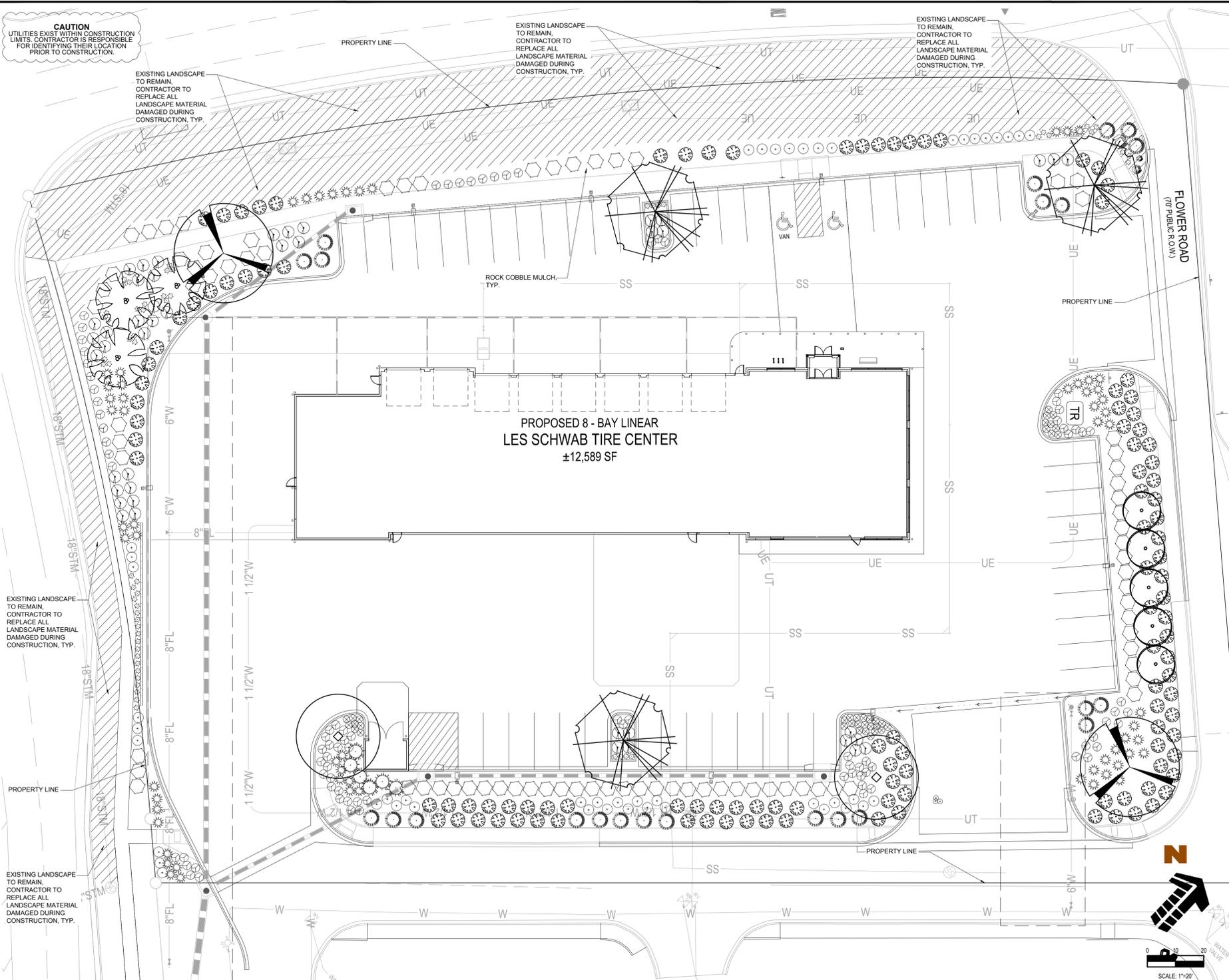
LES SCHWAB TIRE CO.
 PLANNING DOCUMENTS
 MERIDIAN CROSSING FILING NO. 1A
 LOT 1
 7105 N. MERIDIAN ROAD
 FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
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7	12/19/18	4TH SDP SUBMITTAL	BMG
8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
 Drawn By: JRP
 Checked By: JDP
 Date: 4/8/2018

UTILITY DETAILS

C4.5



PLANTING LEGEND

SYMBOL	LEGEND ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE SIZE	REQUIRED PER CODE	WATER USE
OVERSTORY DECIDUOUS TREES								
⊗	AMGR	AMELANCHIER X GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	1.5" CAL B&B	4	20' X 10'	11 TOTAL TREES	LOW
⊗	GLSH	GLEDITSIA TRACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	1.5" CAL B&B	5	40' X 40'	11 TOTAL TREES	LOW
⊗	QUMA	QUERCUS MACROCARPA	BUR OAK	1.5" CAL B&B	3	50' X 40'	11 TOTAL TREES	LOW
⊗	SYRE	SYRINGA RETICULATA	JAPANESE TREE LILAC	1.5" CAL B&B	2	15' X 12'	11 TOTAL TREES	LOW
DECIDUOUS SHRUBS								
⊗	PEAT	PEROVSKIA ATRIPPLICIFOLIA	RUSSIAN SAGE	#5 CONTAINER 18"-24"	13	4' X 4'	N/A	LOW
⊗	RORA	ROSA 'RADRAZZ'	KNOCK-OUT ROSE	#5 CONTAINER 18"-24"	22	3' X 3'	N/A	LOW
EVERGREEN SHRUBS								
⊗	EUUJ	EUONYMUS FORTUNEI 'IVORY JANE'	IVORY JANE EUONYMUS	#5 CONTAINER 18"-24"	25	3' X 6'	N/A	LOW
⊗	JUME	JUNIPERUS X MEDIA 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONTAINER 18"-24"	7	8' X 6'	N/A	LOW
ORNAMENTAL GRASSES AND PERENNIALS								
⊗	CAFK	CALAMAGROSTIS ACUTIFLORA 'KARI FORSTER'	FEATHER REED GRASS	#1 CONTAINER	23	4.5' X 2.0'	N/A	LOW
⊗	COMO	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	#1 CONTAINER	163	1.5' X 1.5'	N/A	LOW
⊗	HESE	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#1 CONTAINER	72	2' X 2'	N/A	LOW
⊗	PEKR	PENNISETUM ORIENTALE 'KARLEY ROSE'	ORIENTAL FOUNTAIN GRASS	#1 CONTAINER	60	2' X 2'	N/A	LOW
SEED, MULCH AND MISCELLANEOUS								
■	TURF	RTF SOD	SOD		5,457 SF		N/A	MODERATE
■	MULCH	2"-4" DIA MULTI-COLOR ROCK MULCH W/ SHREDDED BARK MULCH RING. SEE MULCH NOTES	ROCK MULCH		3,997 SF		N/A	---
—		STEEL EDGING			397 LF		N/A	---

5% LANDSCAPE REQUIREMENT		
TOTAL SITE AREA: 108,187 SF	TOTAL LANDSCAPE AREA: 27,659 SF	% LANDSCAPE AREA PROVIDED: 25%

- ### UTILITY NOTES
- THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
 - THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
 - THE LOCATION OF ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTOR'S ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

- ### IRRIGATION CONCEPT
- AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
 - THE IRRIGATION SYSTEM SHALL TAP OFF BUILDING'S POTABLE WATER SERVICE AFTER THE WATER METER, BEFORE BUILDING'S DOUBLE CHECK VALVE.
 - THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
 - ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
 - ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
 - THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

- ### LANDSCAPE GUARANTEE AND MAINTENANCE
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDS AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULED ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
 - DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

- ### PLANTING NOTES
- ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
 - LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE PLAN AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
 - CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
 - ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
 - THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS TO REMAIN. ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
 - LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS, IF SITE CONDITIONS OR PLANT

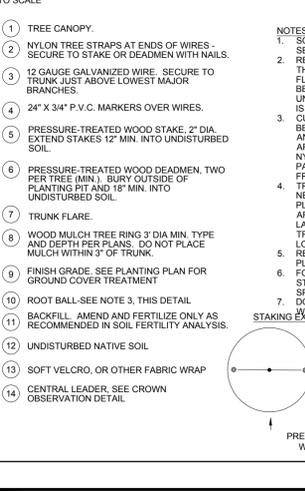
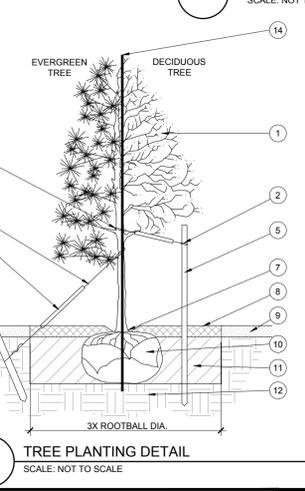
- AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
- ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
- FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVEWAYS, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
- LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
- WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
- ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
- LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.
- FINISH GRADING AND SOIL PREPARATION FOR CONSTRUCTION SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADUED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.

- AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY. THE CONTRACTOR SHALL SUBMIT TO THE LABORATORY GENERAL SOIL FERTILITY, PH, ORGANIC MATTER, CATION EXCHANGE CAPACITY, SODIUM ADSORPTION RATIO (SAR), AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECTS PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
- THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOIL REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
- AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER A PERENNIAL BED SHALL BE ESTABLISHED AT A RATE OF 10 CUBIC FEET PER THOUSAND SQUARE FEET OF SUBGRADE. REPORT FOR ORGANIC AMENDMENT AND 10 LB. OF 12-12-12 FERTILIZER PER CU. YD. ROTOTILLED TO A DEPTH OF 6". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.
- DECIDUOUS TREES SHALL HAVE FULL WELL-SHAPED HEADS. ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED

- TWIGS AFTER PLANTING.
- ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
- ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO T-STAKES SHALL BE USED FOR TREES.
- ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK" FOLLOWING GREENING TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
- ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
- ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS AND/OR SIGHT TRIANGLES SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
- ALL TURF IS SPECIFIED THROUGH GREEN VALLEY TURF COMPANY, 13159 N US HIGHWAY 86, LITTLETON, CO 80125, (303) 798-6784. RTF TALL FESCUE HAS BEEN APPROVED IN MANY JURISDICTIONS AS A LOW-Maintenance HYDROZONE PLANT MATERIAL. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE

- USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
- ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
- ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE WCT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN OR EQUAL. INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.
- MULCHING
- ALL MULCH IS RECOMMENDED THROUGH SANTA FE SAND AND GRAVEL, 6801 S SANTA FE DRIVE, LITTLETON, CO 80120, (303) 794-9960
- AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR OR OTHER NATURAL AND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPE IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
- ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
- INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE

- FINISH GRADE IN PLANTING AREA
- DOUBLE SHREDDED CEDAR BARK MULCH, 4" DEEP, INSTALLED TO 1X THE CONTAINER WIDTH OF ALL SHRUBS.
- MULCH, SPECIFIED IN PLANTING LEGEND.
- PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJACENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJACENT GRADE. INSTALL WATER RING (2'-3" HT.).
- BACKFILL MIX (PER PLANTING SPECIFICATIONS); AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. JET BACKFILL WITH WATER TO ELIMINATE VOIDS.
- COMPACTED BACKFILL MIX (75%).
- UNDISTURBED NATIVE SOIL.



- ### NOTES:
- SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
 - REMOVE EXCESS SOIL APPLIED ON TOP OF THE PIT AND SET IN PLACE. REMOVE THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
 - CUT OFF BOTTOM 1/3 OF THE ROOT BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
 - TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
 - REMOVE ALL NURSERY STAKES AFTER PLANTING.
 - FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE. DO NOT ALLOW AIR POCKETS TO FORM AT THE STAKE POINTS.
 - STAKING AND BRACING (SEE PLAN)
 - PREVAILING WINDS
 - PREVAILING WINDS



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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SUBMITTAL	JDP
2	6/8/18	2ND SDP SUBMITTAL	JDP
3	8/7/18	BID SET	JDP
4	8/10/18	3RD SDP SUBMITTAL	JDP
5	8/15/18	NEW OUT TO BID	JDP
6	9/27/18	WATER DISTRICT SUBMITTAL	BMG
7	12/19/18	4TH SDP SUBMITTAL	BMG
8	06/11/19	APPROVAL SET	BMG

Project No: LST00067
 Drawn By: DTT
 Checked By: JDP
 Date: 4/8/2018

LANDSCAPE PLAN

L1.1