

LES SCHWAB TIRE CENTER

7105 N. MERIDIAN ROAD

FALCON, COLORADO 80831

SITE DEVELOPMENT PLAN

PROPERTY OWNER

PARK PLACE ENTERPRISES LLC
15 MIRANDA ROAD
COLORADO SPRINGS, CO 80906

DEVELOPER/APPLICANT

SFP-E
P.O. BOX 5350
BEND, OR 97708
(541) 416-5238
ATTN: GEORGE BUNTING

ENTITLEMENT CONSULTANT ARCHITECT LANDSCAPE ARCHITECT CIVIL ENGINEER / SURVEYOR

GALLOWAY & COMPANY
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: AARON MCLEAN (ENTITLEMENTS)
ATTN: KYLE J. MATTHEWS (ARCHITECT)
ATTN: KERRI LILJEGREN, RLA (LANDSCAPE ARCHITECT)
ATTN: JOE PARK, P.E. (CIVIL ENGINEERING)
ATTN: LYLE BISSEGOGER, P.L.S. (SURVEY)

GEOTECHNICAL ENGINEER

PICKERING, COLE & HYNTER
1070 W. 124TH AVENUE, SUITE 300
WESTMINSTER, CO 80234
TEL: (303) 996-2999
ATTN: GLENN D. OHLSEN, P.E.

JURISDICTIONAL CONTACTS

PLANNING DEPARTMENT

EL PASO COUNTY-PLANNING
2880 INTERNATIONAL CIRCLE #110
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6313
ATTN: NINA RUIZ

BUILDING DEPARTMENT

PIKES PEAK REGIONAL BUILDING DEPARTMENT
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 327-2880

ENGINEERING DEPARTMENT

EL PASO COUNTY-ENGINEERING
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6813
ATTN: ELIZABETH NUKAMP

FIRE DEPARTMENT

FALCON FIRE DISTRICT
7030 OLD MERIDIAN ROAD
FALCON, CO 80831
TEL: (719) 495-4050
ATTN: CHIEF TRENT HARWIG

UTILITY CONTACTS

POWER

MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E WOODMEN ROAD
FALCON, CO 80831
TEL: (800) 388-9881

TELEPHONE

CENTURYLINK
TEL: (719) 633-2998
ATTN: JIM CONNELLY

WATER

FALCON HIGHLANDS METROPOLITAN DISTRICT
111 SOUTH TEJON STREET #705
COLORADO SPRINGS, CO 80903
TEL: (719) 635-0330
ATTN: JOSH MILLER

GAS

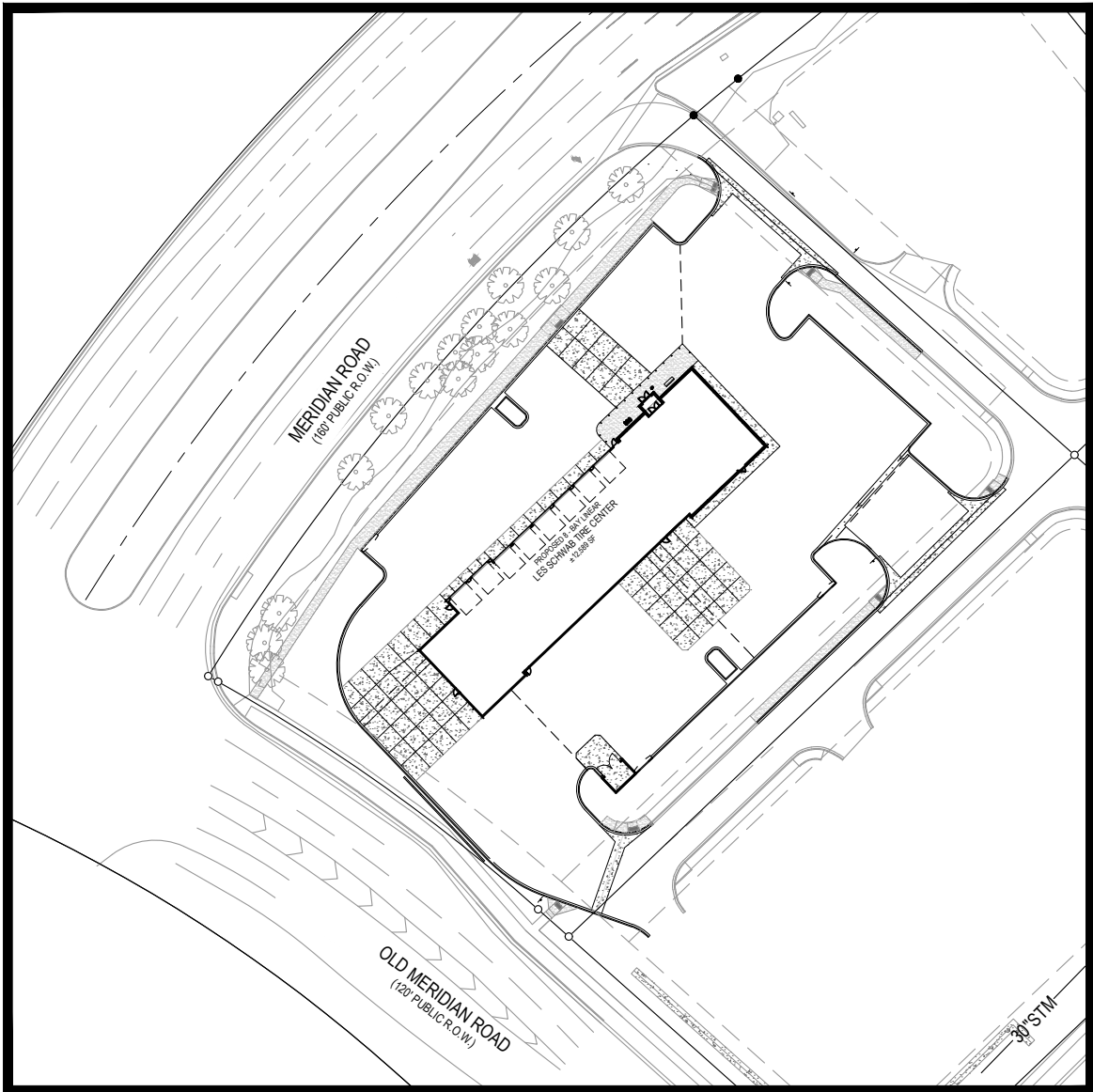
COLORADO SPRINGS UTILITIES
(719) 668-4462
ATTN: BEN SCHMITT

WATER DISTRICT ENGINEER

KENNEDY/JENKS
165 SOUTH UNION BLVD. SUITE 570
LAKEWOOD, CO 80228
(303) 985-3636
ATTN: MIKE BARNES

SANITARY SEWER

WOODMAN HILLS METRO DISTRICT
8046 EASTON ROAD
FALCON, CO 80831
TEL: (719) 495-2500 x111
ATTN: DANNY EVERETT



SHEET LIST TABLE	
SHEET NUMBER	SHEET TITLE
C0.0	COVER
C1.0	DEMO PLAN
C1.1	SITE PLAN
C1.2	SITE ADA ROUTE
C1.5	SITE DETAILS
C1.6	SITE DETAILS
C4.0	UTILITY PLAN
C4.5	UTILITY DETAILS
PP1.0	PHOTOMETRICS PLAN
PP1.1	PHOTOMETRICS DETAILS
L1.1	LANDSCAPE PLAN

FOR INFORMATION ONLY		
EARTHWORK SUMMARY TABLE		
CUT	FILL	EXPORT
1040 CY	2378 CY	0 CY
CUT/FILL NUMBERS ARE FOR PERMITTING PURPOSES ONLY AND ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. CONTRACTOR IS RESPONSIBLE FOR TAKE-OFFS AND SHOULD NOT RELY ON CUT/FILL NUMBERS SHOWN ON THESE CONSTRUCTION DOCUMENTS FOR ESTIMATING PURPOSES. NO CLAIM WILL BE CONSIDERED IF THE CONTRACTOR RELIES ON THIS INFORMATION FOR BIDDING OR FOR CONSTRUCTION OPERATIONS AND FINDS THAT IT IS INACCURATE.		

NOTE: CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING ALL QUANTITIES PROVIDED ON PLANS PRIOR TO BIDDING AND CONSTRUCTION.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FALCON STANDARD CONSTRUCTION SPECIFICATIONS, IMPROVEMENT STANDARDS AND STANDARD DRAWINGS.
- THE CONTRACTOR SHALL NOT BEGIN ANY WORK SHOWN ON THESE PLANS UNTIL THE CITY ENGINEER'S SIGNATURE OF APPROVAL IS AFFIXED HEREON AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.
- CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY, OWNER OR ENGINEER.
- THE LOCATIONS OF ALL UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES; HOWEVER, THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HEREON OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH THE CONTRACTOR MAY DISCOVER, BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES AND IMMEDIATELY NOTIFY THE ENGINEER IF ANY SUCH FACILITIES INTERFERE WITH THE CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL STOP WORK UNTIL MITIGATIONS CAN BE MADE. ANY COSTS INCURRED RESULTING FROM CONTRACTOR'S FAILURE TO STOP AS DIRECTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATION OF THE AGENCIES INVOLVED AND ALL WORK IS SUBJECT THE APPROVAL OF THEIR DIRECTOR OR AUTHORIZED REPRESENTATIVE.
- THE CONTRACTOR SHALL NOTIFY THE CITY OF FALCON'S PUBLIC SERVICES INSPECTORS MON.-FRI. 8:00 A.M. TO 4:00 P.M. AT (XXX) XXX-XXXX FOR A PRECONSTRUCTION MEETING 48 HOURS IN ADVANCE OF STARTING ANY CONSTRUCTION ACTIVITIES. TRI VIEW WATER AGENCY AND PIKES PEAK UTILITY DISTRICT REQUIRE AT LEAST 48-HOURS PRIOR TO ANY CONSTRUCTION REQUESTS FOR INSPECTION OF PUBLIC FACILITIES. THEREFORE, NOTICE SHALL BE GIVEN 48-HOURS IN ADVANCE AND BE PERFORMED BY THE AGENCY'S DESIGNATED AGENT.
- THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ENCROACHMENT PERMITS AND SHALL POSSESS APPROVED PLANS PRIOR TO BEGINNING OF CONSTRUCTION. A SET OF SIGNED AND APPROVED PLANS ARE TO BE ON THE JOB SITE AT ALL TIMES.
- THE CONTRACTOR SHALL MAINTAIN THE EXISTING PUBLIC AND PRIVATE IMPROVEMENT WITHIN THE WORK AREA AND SHELL ADEQUATELY BARRICADE THE PROJECT SITE TO KEEP THE GENERAL PUBLIC FROM THE SITE. ANY IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR.
- THE CONTRACTOR MUST EXPOSE THE END OF EXISTING GRAVITY LINES FOR THE SURVEYOR TO VERIFY LOCATION AND DEPTH OF FACILITIES PRIOR TO CONNECTION OF PROPOSED UTILITY. THE CONTRACTOR SHALL INCUR ALL COSTS FOR SUCH EXCAVATION.
- THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
- CONTRACTOR MUST NOTIFY "COLORADO 811" AT 811 (PHONE 800-922-1987) OR THROUGH THE WEBSITE AT [HTTP://COLORADO811.ORG](http://colorado811.org) 48 HOURS IN ADVANCE BEFORE ANY DIGGING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND/OR OTHER SURVEY MONUMENTS AND SHALL NOTIFY CITY OF FALCON OF PUBLIC SERVICES OF ANY DAMAGED OR REMOVED CITY, STATE, OR BUREAU MONUMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGED OR REMOVED MONUMENTS.
- CONTRACTOR SHALL NOTIFY DEPARTMENT OF PUBLIC SERVICES UPON APPLICATION FOR PERMIT AND PAYMENT OF REQUIRED FEE.
- THE CONTRACTOR SHALL VERIFY ALL STREETS NAMES AND THEIR CORRECT SPELLING WITH THE FIRE DEPARTMENT AND BUILDING DIVISION BEFORE ORDERING STREET SIGNS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY OUTSIDE OF ANY FLOODPLAIN BOUNDARIES. FLOODPLAIN BOUNDARIES SHALL BE CLEARLY DELINEATED IN THE FIELD WITH ORANGE ESA FENCING AND SIX FOOT (6') STAKES TEN FEET (10') OC PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY WITHIN THE "LIMITS OF WORK." THESE AREAS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
- WHERE WORK IS BEING DONE IN AN OFFSITE EASEMENT THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER 48 HOURS PRIOR TO COMMENCING WORK.
- THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Galloway

Planning, Architecture, Engineering
1755 Telesar Drive, Suite 107
Colorado Springs, Co 80920
719.900.7220 O
www.gallowayUS.com

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1

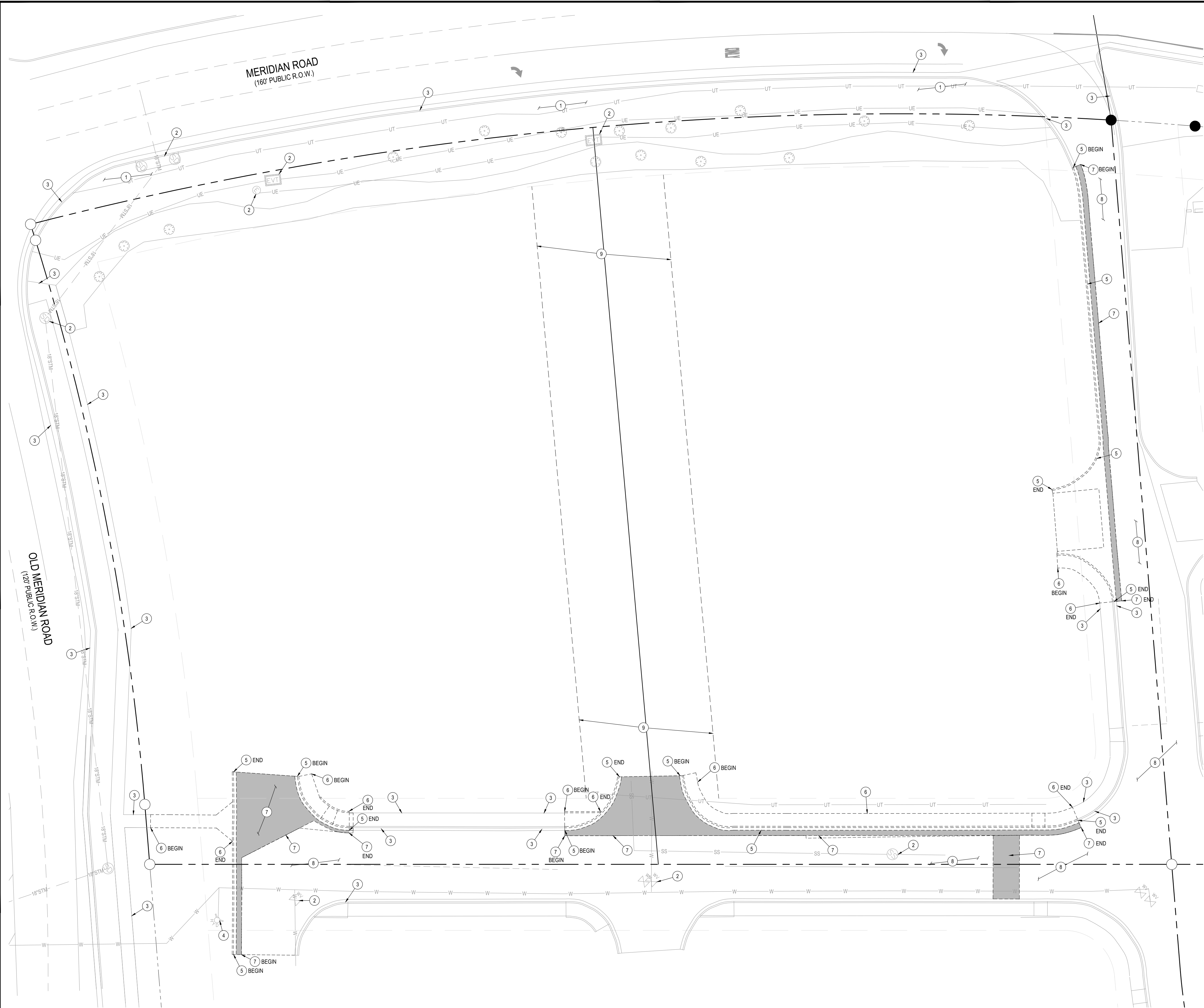
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SUBMITTAL	JDP
2	6/8/18	2ND SDP SUBMITTAL	JDP
3	8/7/18	BID SET	JDP
4	8/10/18	3RD SDP SUBMITTAL	JDP
5	8/15/18	NEW OUT TO BID	JDP
6	9/27/18	WATER DISTRICT SUBMITTAL	BMG
7	12/19/18	4TH SDP SUBMITTAL	BMG

Project No:	LST00067
Drawn By:	JDP
Checked By:	JDP
Date:	4/6/2018

COVER

C0.0



SITE SCHEDULE

- 1 EXISTING LANDSCAPING TO REMAIN.
- 2 EXISTING UTILITY STRUCTURE/LIGHT POLE TO REMAIN.
- 3 EXISTING CURB AND GUTTER/SIDEWALK TO REMAIN
- 4 EXISTING FIRE HYDRANT TO REMAIN.
- 5 EXISTING CURB AND GUTTER TO BE REMOVED.
- 6 EXISTING SIDEWALK TO BE REMOVED.
- 7 SAWCUT AND REMOVE EXISTING ASPHALT.
- 8 EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO USE CARE TO PREVENT DAMAGE TO EXISTING PAVED SURFACES.
- 9 EXISTING EASEMENT TO BE VACATED.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CURB & GUTTER TO BE REMOVED
- SAWCUT LINE
- EXISTING SANITARY SEWER MANHOLE COVER
- EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

DEMOLITION NOTE:

- 1. PROTECT -IN-PLACE ALL PORTIONS OF THE SITE THAT ARE TO REMAIN.
- 2. GENERAL CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION: "E 24", PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP-EL PASO COUNTY PARK PROPERTY. TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.9 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

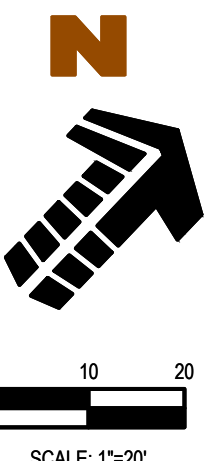
LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

CAUTION - NOTICE TO CONTRACTOR

- 1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
- 2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

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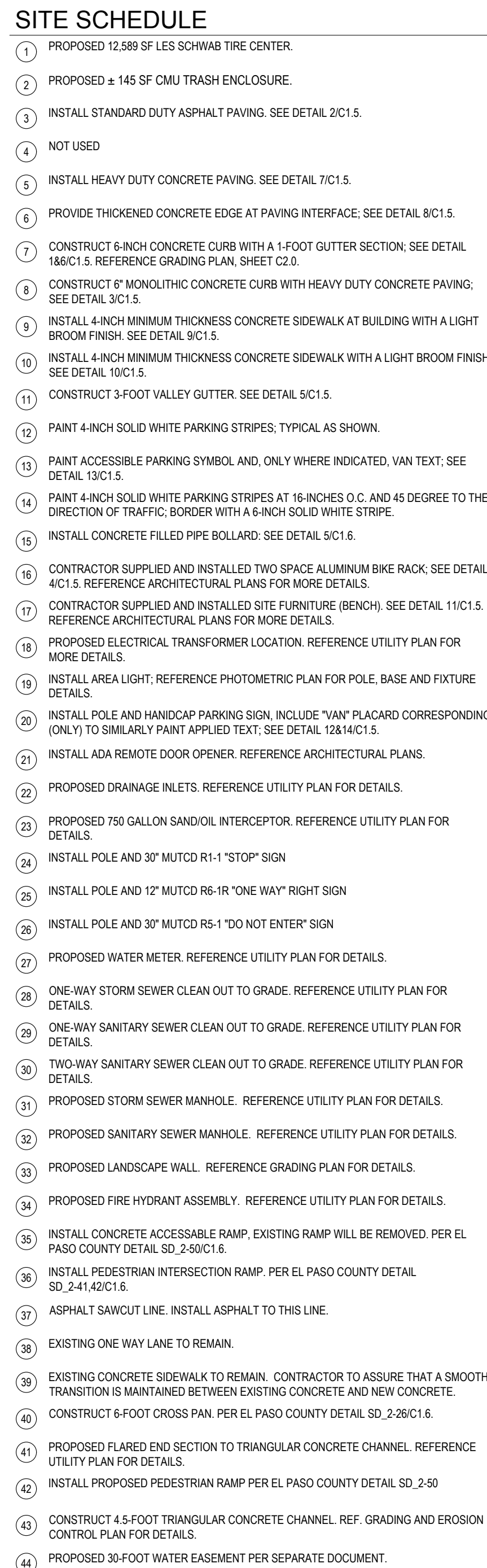
LES SCHWAB TIRE CO.
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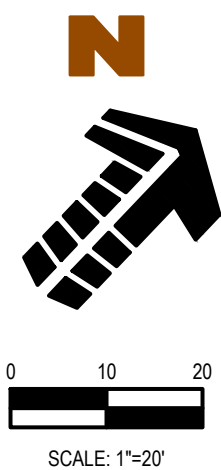
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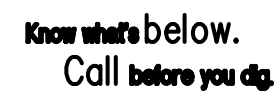
DEMO PLAN

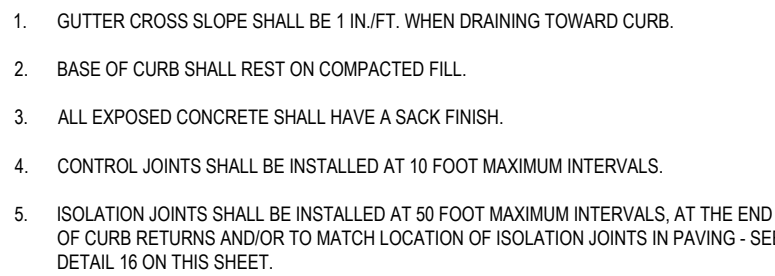
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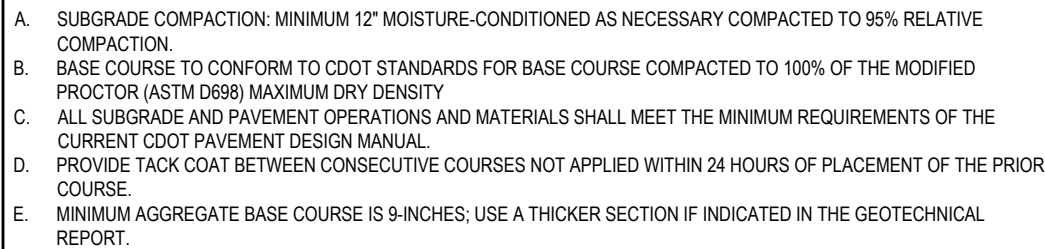


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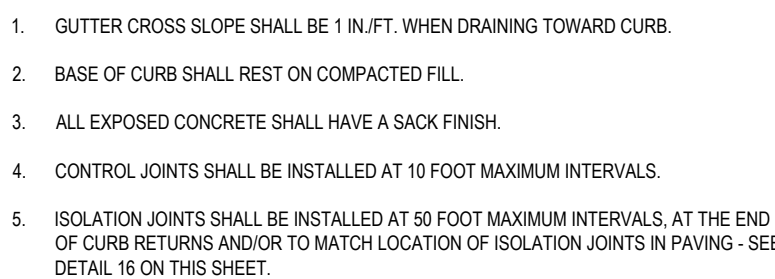
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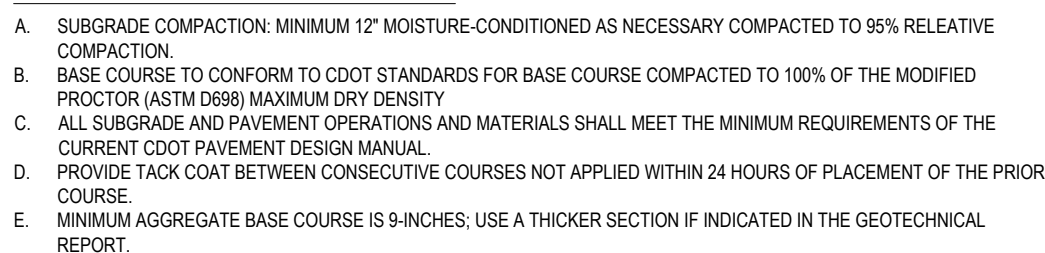
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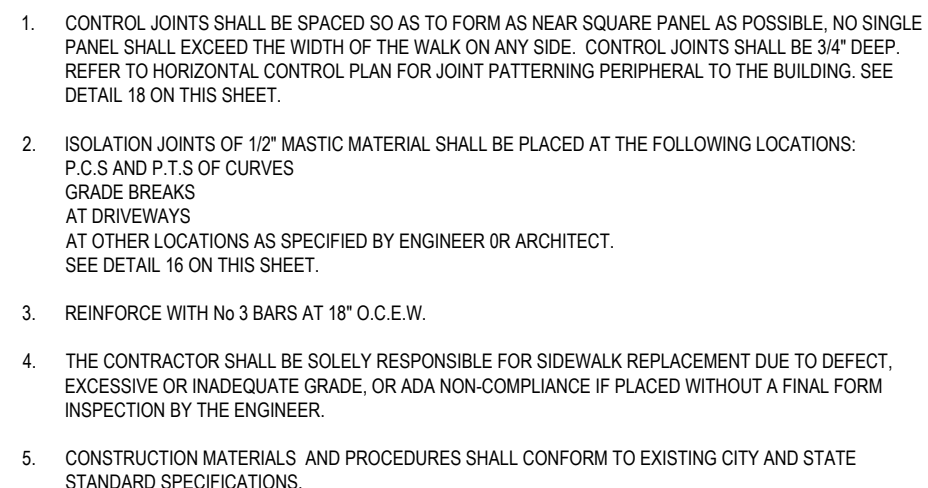
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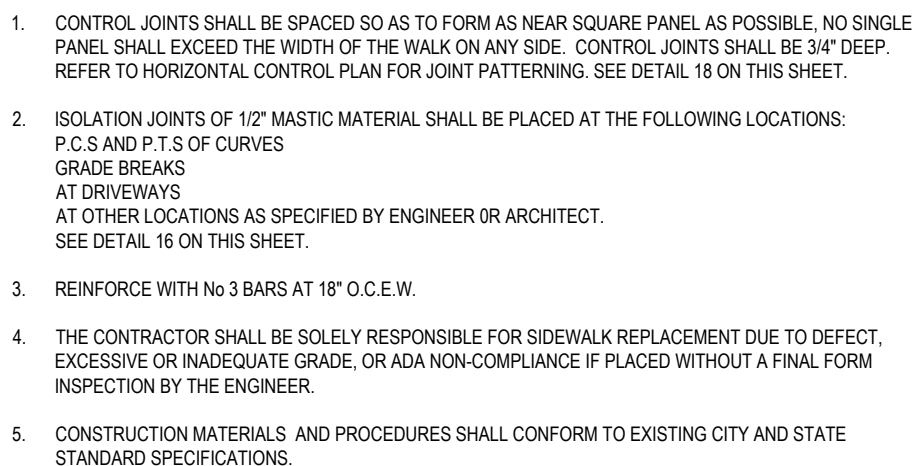
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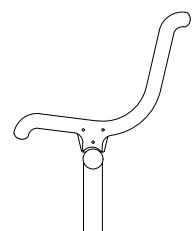


NOT TO SCALE



NOT TO SCALE

1. WABASH VALLEY MANUFACTURING INC.
"CITY LIMITS STRAIGHT BENCH"
2. PERFORATED 3 SEAT W/ BACK
3. SURFACE MOUNT
4. DARK BRONZE
5. MODEL #CL321 BENCH, WITH MC103 PLATE
COVERS
6. UNLESS OTHERWISE SPECIFIED, ALL
DIMENSIONS ARE IN INCHES AND PER ASME
Y14.5M-1994.
7. ALL DIMENSIONS ARE AFTER PLASTISOL
COATING.



NOT TO SCALE



NOT TO SCALE



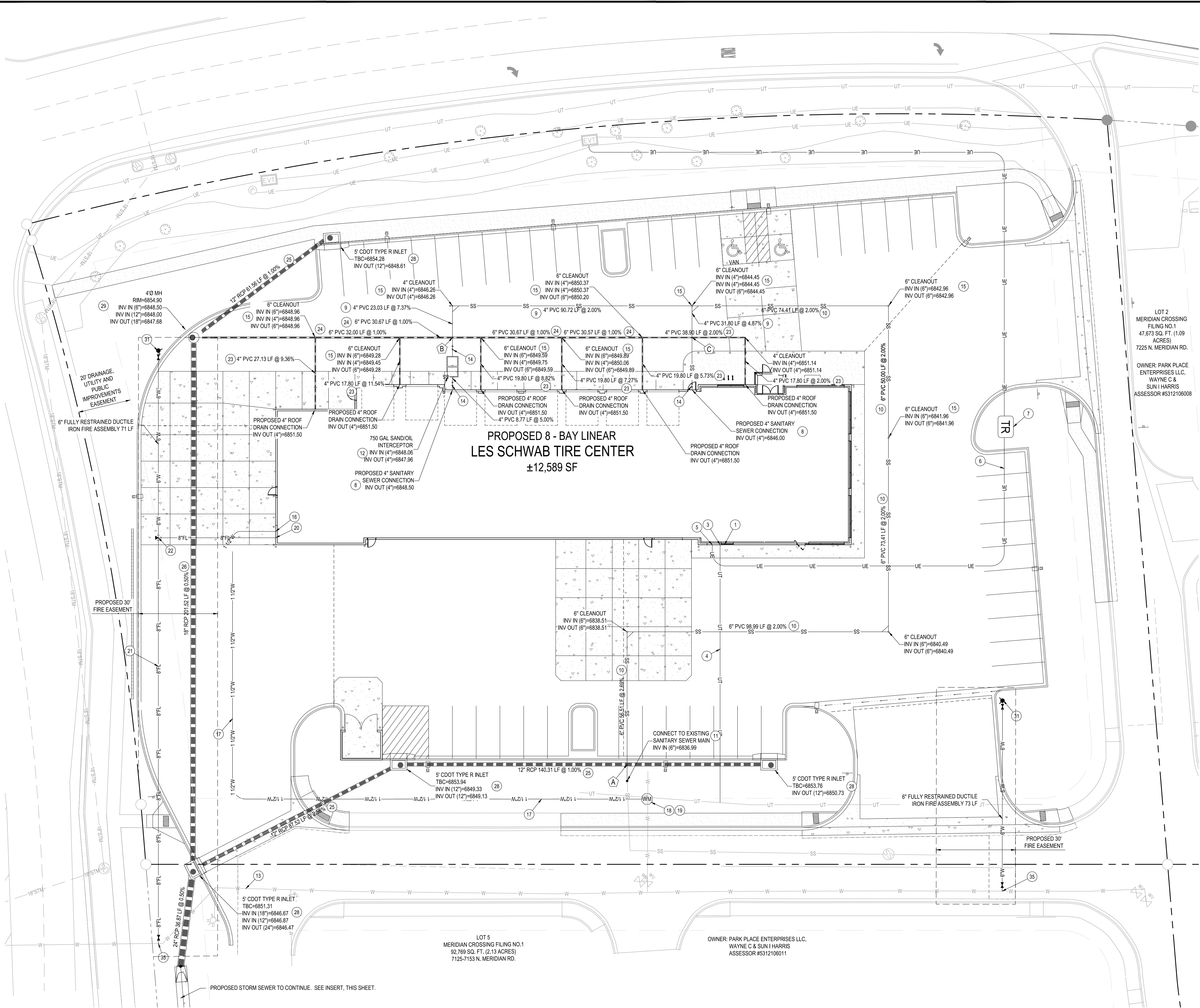
A. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
B. BOTTOM OF SYMBOL TO BE LOCATED 2'-6" FROM ACCESS DRIVE, INTO PARKING SPACE.
C. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

NOT TO SCALE



NOT TO SCALE

C1.5



UTILITY SCHEDULE

- 1 GAS METER, BOLLARD PROTECTION, AND SERVICE ENTRY TO THE BUILDING. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SERVICE PROVIDER. REFERENCE BUILDING MECHANICAL PLANS.
- 2 PROPOSED ROUTING OF GAS SERVICE. CONTRACTOR TO COORDINATE FINAL LOCATIONS AND INSTALLATION WITH THE UTILITY PROVIDER.
- 3 PROPOSED TELECOMMUNICATIONS SERVICE ENTRY TO BUILDING.
- 4 PROPOSED ROUTING OF TELECOMMUNICATIONS SERVICE LINE AND CONNECTION TO MAIN. CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
- 5 PROPOSED ELECTRICAL SERVICE ENTRY TO BUILDING.
- 6 PROPOSED ROUTING OF SECONDARY ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
- 7 PROPOSED LOCATION OF PRIMARY ELECTRICAL SERVICE CONNECTION AND TRANSFORMER. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
- 8 PROPOSED 4\"/>
- 9 CONTRACTOR TO PROVIDE AND INSTALL 4\"/>
- 10 CONTRACTOR TO PROVIDE AND INSTALL 6\"/>
- 11 PROPOSED CONNECTION TO EXISTING SANITARY SEWER SERVICE LINE. CONTRACTOR TO POT-HOLE AND LOCATE SANITARY SEWER LATERAL (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
- 12 CONTRACTOR TO PROVIDE AND INSTALL 750 GALLON SAND/OIL INTERCEPTOR. SEE DETAIL ON SHEET C4.5.
- 13 CONTRACTOR TO CONNECT 8-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POT-HOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
- 14 CONTRACTOR TO PROVIDE AND INSTALL 4-INCH 2-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
- 15 CONTRACTOR TO PROVIDE AND INSTALL 1-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
- 16 PROPOSED 1.5-INCH WATER SERVICE ENTRY TO BUILDING.
- 17 CONTRACTOR TO PROVIDE AND INSTALL ± 270 LF OF 1.5-INCH TYPE K COPPER WATER SERVICE LINE.
- 18 CONTRACTOR TO PROVIDE AND INSTALL 1-INCH WATER SERVICE METER.
- 19 PROPOSED 1.5\"/>
- 20 PROPOSED 8\"/>
- 21 CONTRACTOR TO PROVIDE AND INSTALL ± 154 LF OF 8-INCH FULLY RESTRAINED DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
- 22 CONTRACTOR TO INSTALL 5\"/>
- 23 CONTRACTOR TO PROVIDE AND INSTALL 4-INCH PVC STORM DRAIN LINE.
- 24 CONTRACTOR TO PROVIDE AND INSTALL 6-INCH PVC STORM DRAIN LINE.
- 25 CONTRACTOR TO PROVIDE AND INSTALL 12-INCH RCP STORM DRAIN LINE.
- 26 CONTRACTOR TO PROVIDE AND INSTALL 18-INCH RCP STORM DRAIN LINE.
- 27 CONTRACTOR TO PROVIDE AND INSTALL SITE LIGHTING. REFERENCE PHOTO-METRIC PLANS FOR DETAILS.
- 28 CONTRACTOR TO PROVIDE AND INSTALL STORM SEWER INLET.
- 29 CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø STORM SEWER MANHOLE.
- 30 CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø SANITARY SEWER MANHOLE.
- 31 CONTRACTOR TO PROVIDE AND INSTALL FIRE HYDRANT ASSEMBLY.
- 32 CONTRACTOR TO PROVIDE AND INSTALL POST INDICATOR VALVE (PIV).
- 34 CONTRACTOR TO PROVIDE AND INSTALL FIRE DEPARTMENT CONNECTION (FDC).
- 35 CONTRACTOR TO CONNECT 6-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POT-HOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.

UTILITY LEGEND

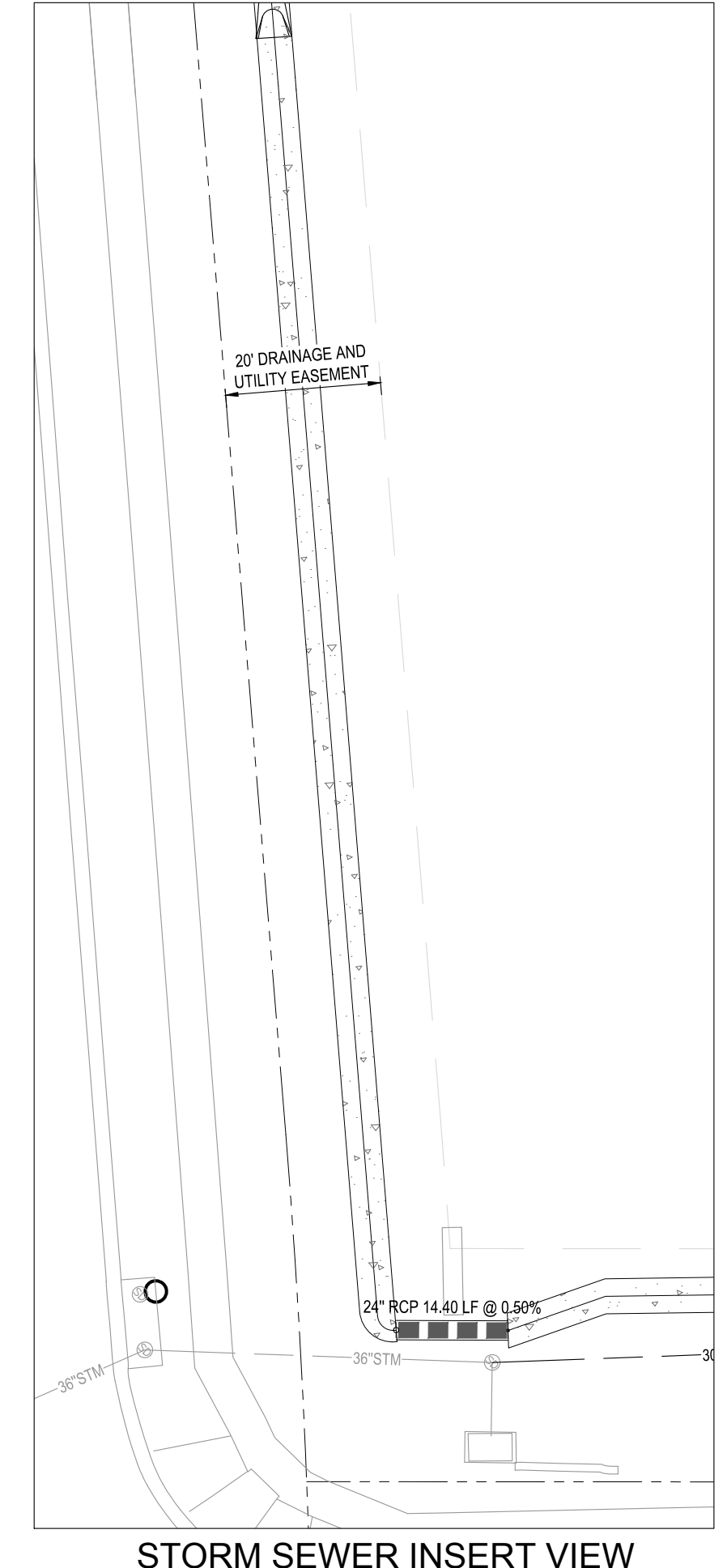
- 8\"/>
- 6\"/>
- 1\"/>
- 2\"/>
- 1\"/>
- 2\"/>
- 8\"/>
- SS
- SS
- SD
- 4\"/>
- PROPOSED STORM SEWER (> 4\")
- G
- UT
- UT
- TYP.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- PROPOSED NEW
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LANDSCAPE
- PROPOSED SIDEWALK
- SAW CUT LINE
- PARKING COUNT
- PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING
- PROPOSED BACKFLOW PREVENTER
- PROPOSED METER
- PROPOSED DOUBLE DETECTOR CHECK
- PROPOSED SANITARY MANHOLE
- PROPOSED REGULATORY SIGN
- EXISTING SANITARY SEWER MANHOLE COVER
- EXISTING STORM DRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

UTILITY NOTES

1. CO-TRENCH ELECTRIC AND TELECOMMUNICATIONS SERVICE LINES WHERE ROUTING ALLOWS.
2. CONTRACTOR TO CONSTRUCT TRANSFORMER PAD TO THE UTILITY PROVIDERS SPECIFICATION AND COORDINATE INSTALLATION WITH SAME. CONFIRM WITH UTILITY PROVIDER.
3. TYPICAL CONTRACTOR PROVIDE & INSTALL SECONDARY ELECTRIC LINES ON SITE.
4. CONTRACTOR TO PROVIDE AND INSTALL 3 #10, 3/4-INCH CONDUITS FOR SITE LIGHTING. TYPICAL ALL SITE LIGHTING. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
5. CONTRACTOR TO PROVIDE AND INSTALL (2) 2-INCH SCHEDULE 40 PVC FOR POWER AND CONTROLS TO MONUMENT SIGN. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
6. TYPICAL INLETS INCLUDE A DEPRESSION AND A GUTTER TRANSITION. CONTRACTOR TO CONFIRM WITH STANDARD INLET DETAIL DEPRESSION INFORMATION PRIOR TO CONSTRUCTION STAKING.



BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24', PID JK02239, WHICH HAS AN ELEVATION OF 6802.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24 IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP-EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.6 M (2.0 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6802.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14\"/>

CLEARANCE TABLE					
ID	HIGH UTILITY	INVERT	LOW UTILITY	SOFFIT	CLEARANCE
A	12-INCH STORM	6850.19	6-INCH SANITARY	6837.70	12.3-FEET
B	6-INCH STORM	6849.48	4-INCH SANITARY	6847.47	1.8-FEET
C	4-INCH STORM	6851.04	4-INCH SANITARY	6845.53	5.3-FEET

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POT-HOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



NOT FOR CONSTRUCTION

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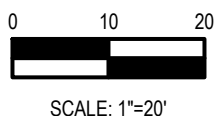
LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING No. 1A
LOT 1
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Int.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SUBMITTAL	JDP
2	6/8/18	2ND SDP SUBMITTAL	JDP
3	8/7/18	BID SET	JDP
4	8/10/18	3RD SDP SUBMITTAL	JDP
5	8/15/18	NEW OUT TO BID	JDP
6	9/27/18	WATER DISTRICT SUBMITTAL	BMG
7	12/19/18	4TH SDP SUBMITTAL	BMG

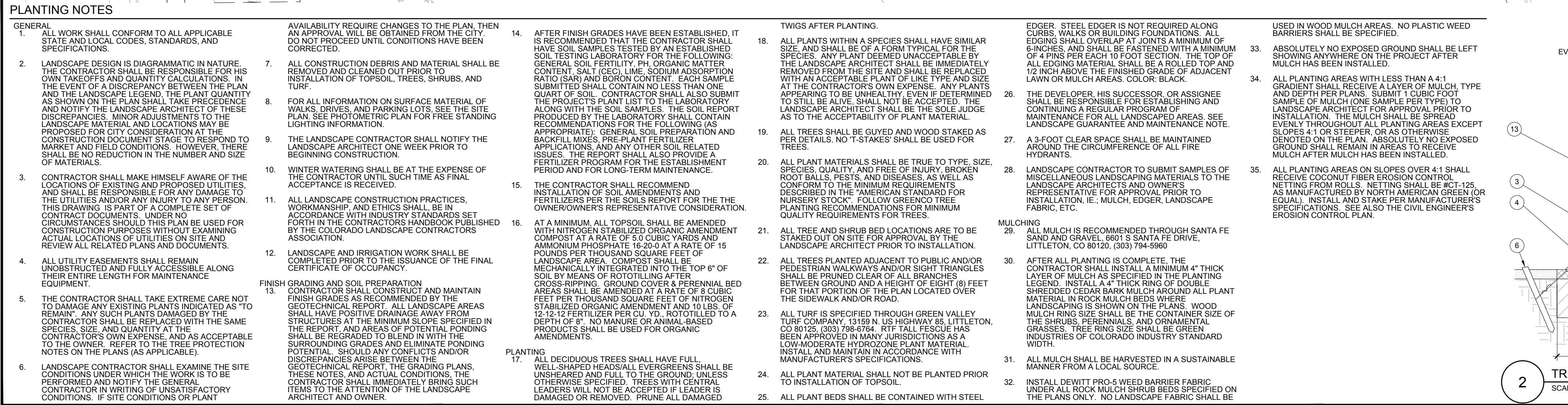
Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

UTILITY PLAN

C4.0



Know what's below.
Call before you dig.



5% LANDSCAPE REQUIREMENT		
TOTAL SITE AREA: 108,187 SF	TOTAL LANDSCAPE AREA: 27,659 SF	% LANDSCAPE AREA PROVIDED: 25%

1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.

2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ALL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.

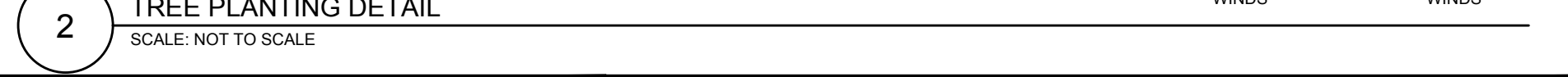
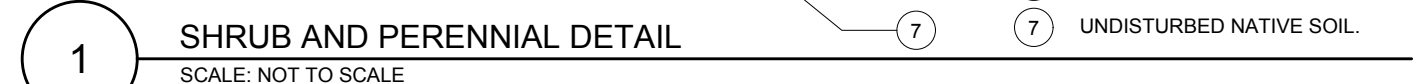
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HEREIN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION OF ALL UTILITIES. THE LANDSCAPE ARCHITECT IS NOT REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER IN CONNECTION WITH THE LOCATION OF ANY UTILITIES, OR THE LOCATION OF ANY EXISTING OR PROPOSED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERRING TO THE ABOVE MENTIONED DOCUMENTS.

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL TAP OFF BUILDING'S POTABLE WATER SERVICE AFTER THE WATER METER, BEFORE BUILDING'S DOUBLE CHECK VALVE.
3. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
4. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOO/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
5. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DESIGN FEATURES: MAYOTON PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOIL, SEEDS, AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE OF THE COMPLETED PROJECT. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THE FIRST YEAR AFTER PLANTING.

2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE MAINTENANCE OF ALL PLANTINGS. THE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN SUCH A MANNER AS TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER THE FIRST OF MARCH.

3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR FLOODING OR OTHER DAMAGE TO THE LANDSCAPE OR THE BUILDING SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE. IF ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL CONSULT WITH THE ARCHITECT AND THE GEOTECHNICAL ENGINEER TO RESOLVE THE DISCREPANCIES.



L1.1