LES SCHWAB TIRE CENTER
7105 N. MERIDIAN ROAD
FALCON, COLORADO 80831
SITE DEVELOPMENT PLAN

PROPERTY OWNER
PARK PLACE ENTERPRISES LLC
15 MIRANDA ROAD
COLORADO SPRINGS, CO 80906

DEVELOPER/APPLICANT
SFP-E
P.O. BOX 5350
BEND, OR 97708
(541) 416-5238
ATTN: GEORGE BUNTING

ENTITLEMENT CONSULTANT
ARCHITECT
LANDSCAPE ARCHITECT
CIVIL ENGINEER / SURVEYOR
GALLOWAY & COMPANY
6162 S. WILLOW DRIVE, SUITE 320
GREENWOOD VILLAGE, CO 80111
TEL: (303) 770-8884
FAX: (303) 770-3636
ATTN: AARON MCLEAN (ENTITLEMENTS)
ATTN: KYLE J. MATTHEWS (ARCHITECT)
ATTN: KERRI LILJEGREN, RLA (LANDSCAPE ARCHITECT)
ATTN: JOE PARK, P.E. (CIVIL ENGINEERING)
ATTN: LYLE BISSEGGER, P.L.S. (SURVEY)

GEOTECHNICAL ENGINEER
PICKERING, COLE & HIVNER
1070 W. 124TH AVENUE, SUITE 300
WESTMINSTER, CO 80234
TEL: (303) 996-2999
ATTN: GLENN D. OHLSEN, P.E.

JURISDICTIONAL CONTACTS

PLANNING DEPARTMENT
EL PASO COUNTY-PLANNING
2880 INTERNATIONAL CIRCLE #110
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6313
ATTN: NINA RUIZ

BUILDING DEPARTMENT
PIKES PEAK REGIONAL BUILDING DEPARTMENT
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 327-2880

ENGINEERING DEPARTMENT
EL PASO COUNTY-ENGINEERING
2880 INTERNATIONAL CIRCLE
COLORADO SPRINGS, CO 80910
TEL: (719) 520-6813
ATTN: ELIZABETH NIJKAMP

FIRE DEPARTMENT
FALCON FIRE DISTRICT
7030 OLD MERIDIAN ROAD
FALCON, CO 80831
TEL: (719) 495-4050
ATTN: CHIEF TRENT HARWIG

UTILITY CONTACTS

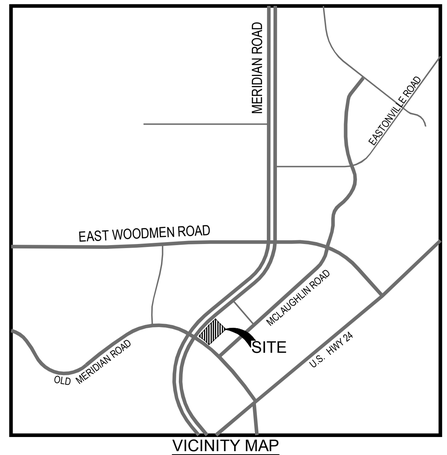
POWER
MOUNTAIN VIEW ELECTRIC ASSOCIATION
11140 E WOODMEN ROAD
FALCON, CO 80831
TEL: (800) 388-9881

TELEPHONE
CENTURYLINK
TEL: (719) 633-2998
ATTN: JIM CONNELLY

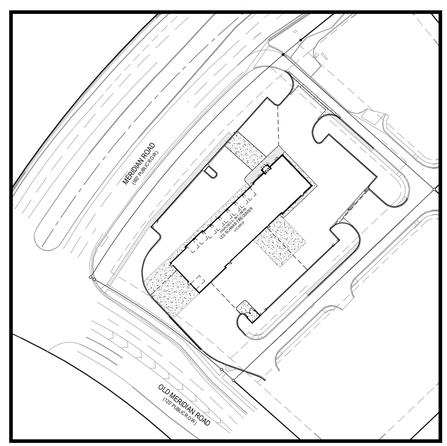
WATER
FALCON HIGHLANDS METROPOLITAN DISTRICT
111 SOUTH TEJON STREET #705
COLORADO SPRINGS, CO 80903
TEL: (719) 635-0330
ATTN: CYNTHIA BEYER

GAS
COLORADO SPRINGS UTILITIES
(719) 668-4462
ATTN: BEN SCHMITT

SANITARY SEWER
WOODMAN HILLS METRO DISTRICT
8046 EASTON ROAD
FALCON, CO 80831
TEL: (719) 495-2500 x111
ATTN: DANNY EVERETT



VICINITY MAP
NOT TO SCALE



SITE MAP
SCALE: 1"=100'

SHEET LIST TABLE

SHEET NUMBER	SHEET TITLE
C0.0	COVER
C1.0	DEMO PLAN
C1.1	SITE PLAN
C1.5	SITE DETAILS
C1.6	SITE DETAILS
C2.0	GRADING PLAN
C3.0	EROSION CONTROL PLAN
C3.5	EROSION CONTROL DETAILS
C4.0	UTILITY PLAN
C4.5	UTILITY DETAILS
PP1.0	PHOTOMETRICS PLAN
PP1.1	PHOTOMETRICS DETAILS
L1.1	LANDSCAPE PLAN

FOR INFORMATION ONLY

EARTHWORK SUMMARY TABLE

CUT	FILL	EXPORT
XXX CY	XXX CY	XXX CY

CUT/FILL NUMBERS ARE FOR PERMITTING PURPOSES ONLY AND ENGINEER ASSUMES NO RESPONSIBILITY FOR THEIR ACCURACY. CONTRACTOR IS RESPONSIBLE FOR TAKE-OFFS AND SHOULD NOT RELY ON CUT/FILL NUMBERS SHOWN ON THESE CONSTRUCTION DOCUMENTS FOR ESTIMATING PURPOSES. NO CLAIM WILL BE CONSIDERED IF THE CONTRACTOR RELIES ON THIS INFORMATION FOR BIDDING OR FOR CONSTRUCTION OPERATIONS AND FINDS THAT IT IS INACCURATE.

NOTE: CONTRACTOR IS RESPONSIBLE FOR CALCULATING AND VERIFYING ALL QUANTITIES PROVIDED ON PLANS PRIOR TO BIDDING AND CONSTRUCTION.

NOTE: CONTRACTOR RESPONSIBLE FOR AS-BUILT DRAWINGS, TESTS, REPORTS AND/OR ANY OTHER CERTIFICATES OR INFORMATION AS REQUIRED FOR ACCEPTANCE OF WORK FROM CITY, UTILITY DISTRICTS OR ANY OTHER GOVERNING AGENCY.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

GENERAL CONSTRUCTION NOTES

1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE CITY OF FALCON STANDARD CONSTRUCTION SPECIFICATIONS, IMPROVEMENT STANDARDS AND STANDARD DRAWINGS.
2. THE CONTRACTOR SHALL NOT BEGIN ANY WORK SHOWN ON THESE PLANS UNTIL THE CITY ENGINEER'S SIGNATURE OF APPROVAL IS AFFIXED HEREON AND ALL APPLICABLE PERMITS HAVE BEEN OBTAINED.
3. CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE CITY, OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE CITY, OWNER OR ENGINEER.
4. THE LOCATIONS OF ALL UNDERGROUND FACILITIES SHOWN ON THIS PLAN ARE APPROXIMATE. A REASONABLE EFFORT HAS BEEN MADE TO LOCATE AND DELINEATE ALL UNDERGROUND FACILITIES; HOWEVER, THE ENGINEER ASSUMES NO LIABILITY FOR THE ACCURACY OR COMPLETENESS OF THE EXISTING FACILITIES SHOWN HEREON OR FOR THE EXISTENCE OF OTHER UNDERGROUND UTILITIES OR OBJECTS WHICH THE CONTRACTOR MAY DISCOVER, BUT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING FACILITIES AND IMMEDIATELY NOTIFY THE ENGINEER IF ANY SUCH FACILITIES INTERFERE WITH THE CONSTRUCTION OF THE IMPROVEMENTS. THE CONTRACTOR SHALL STOP WORK UNTIL MITIGATIONS CAN BE MADE. ANY COSTS INCURRED RESULTING FROM CONTRACTOR'S FAILURE TO STOP AS DIRECTED SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
5. ALL MATERIALS, METHODS, AND WORKMANSHIP SHALL CONFORM TO THE SPECIFICATION OF THE AGENCIES INVOLVED AND ALL WORK IS SUBJECT THE APPROVAL OF THEIR DIRECTOR OR AUTHORIZED REPRESENTATIVE.
6. THE CONTRACTOR SHALL NOTIFY THE CITY OF FALCON'S PUBLIC SERVICES INSPECTORS MON.-FRI. 8:00 A.M. TO 4:00 P.M. AT (XXX) XXX-XXXX FOR A PRECONSTRUCTION MEETING 48 HOURS IN ADVANCE OF STARTING ANY CONSTRUCTION ACTIVITIES. TRI VIEW WATER AGENCY AND PIKES PEAK UTILITY DISTRICT REQUIRE AT LEAST 48-HOURS PRIOR TO ANY CONSTRUCTION REQUESTS FOR INSPECTION OF PUBLIC FACILITIES. THEREFORE, NOTICE SHALL BE GIVEN 48-HOURS IN ADVANCE AND BE PERFORMED BY THE AGENCY'S DESIGNATED AGENT.
7. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY ENCROACHMENT PERMITS AND SHALL POSSESS APPROVED PLANS PRIOR TO BEGINNING OF CONSTRUCTION. A SET OF SIGNED AND APPROVED PLANS ARE TO BE ON THE JOB SITE AT ALL TIMES.
8. THE CONTRACTOR SHALL MAINTAIN THE EXISTING PUBLIC AND PRIVATE IMPROVEMENT WITHIN THE WORK AREA AND SHELL ADEQUATELY BARRICADE THE PROJECT SITE TO KEEP THE GENERAL PUBLIC FROM THE SITE. ANY IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED BY CONTRACTOR.
9. THE CONTRACTOR MUST EXPOSE THE END OF EXISTING GRAVITY LINES FOR THE SURVEYOR TO VERIFY LOCATION AND DEPTH OF FACILITIES PRIOR TO CONNECTION OF PROPOSED UTILITY. THE CONTRACTOR SHALL INCUR ALL COSTS FOR SUCH EXCAVATION.
10. THE CONTRACTOR SHALL AT ALL TIMES COORDINATE HIS WORK WITH THAT OF OTHERS ON THE SITE. THE CONTRACTOR SHALL HAVE A RESPONSIBLE PARTY, WHO SHALL HAVE THE AUTHORITY TO REPRESENT AND ACT FOR THE CONTRACTOR ON THE JOB SITE DURING ALL WORKING HOURS.
11. CONTRACTOR MUST NOTIFY "COLORADO 811" AT 811 (PHONE 800-922-1987) OR THROUGH THE WEBSITE AT HTTP://COLORADO811.ORG 48 HOURS IN ADVANCE BEFORE ANY DIGGING.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND/OR OTHER SURVEY MONUMENTS AND SHALL NOTIFY CITY OF FALCON OF PUBLIC SERVICES OF ANY DAMAGED OR REMOVED CITY, STATE, OR BUREAU MONUMENTS. CONTRACTOR SHALL BE RESPONSIBLE TO RESTORE ANY DAMAGED OR REMOVED MONUMENTS.
13. CONTRACTOR SHALL NOTIFY DEPARTMENT OF PUBLIC SERVICES UPON APPLICATION FOR PERMIT AND PAYMENT OF REQUIRED FEE.
14. THE CONTRACTOR SHALL VERIFY ALL STREETS NAMES AND THEIR CORRECT SPELLING WITH THE FIRE DEPARTMENT AND BUILDING DIVISION BEFORE ORDERING STREET SIGNS.
15. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY OUTSIDE OF ANY FLOODPLAIN BOUNDARIES. FLOODPLAIN BOUNDARIES SHALL BE CLEARLY DELINEATED IN THE FIELD WITH ORANGE ESA FENCING AND SIX FOOT (6') STAKES TEN FEET (10') OC PRIOR TO CONSTRUCTION.
16. CONTRACTOR SHALL BE RESPONSIBLE FOR CONDUCTING HIS OPERATION ENTIRELY WITHIN THE "LIMITS OF WORK." THESE AREAS SHALL BE CLEARLY DELINEATED IN THE FIELD PRIOR TO CONSTRUCTION.
17. WHERE WORK IS BEING DONE IN AN OFFSITE EASEMENT THE CONTRACTOR SHALL NOTIFY THE PROPERTY OWNER 48 HOURS PRIOR TO COMMENCING WORK.

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

A separate ADA route sheet needs to be included in the submittal application

Galloway
Planning. Architecture. Engineering.
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www.gallowayUS.com

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

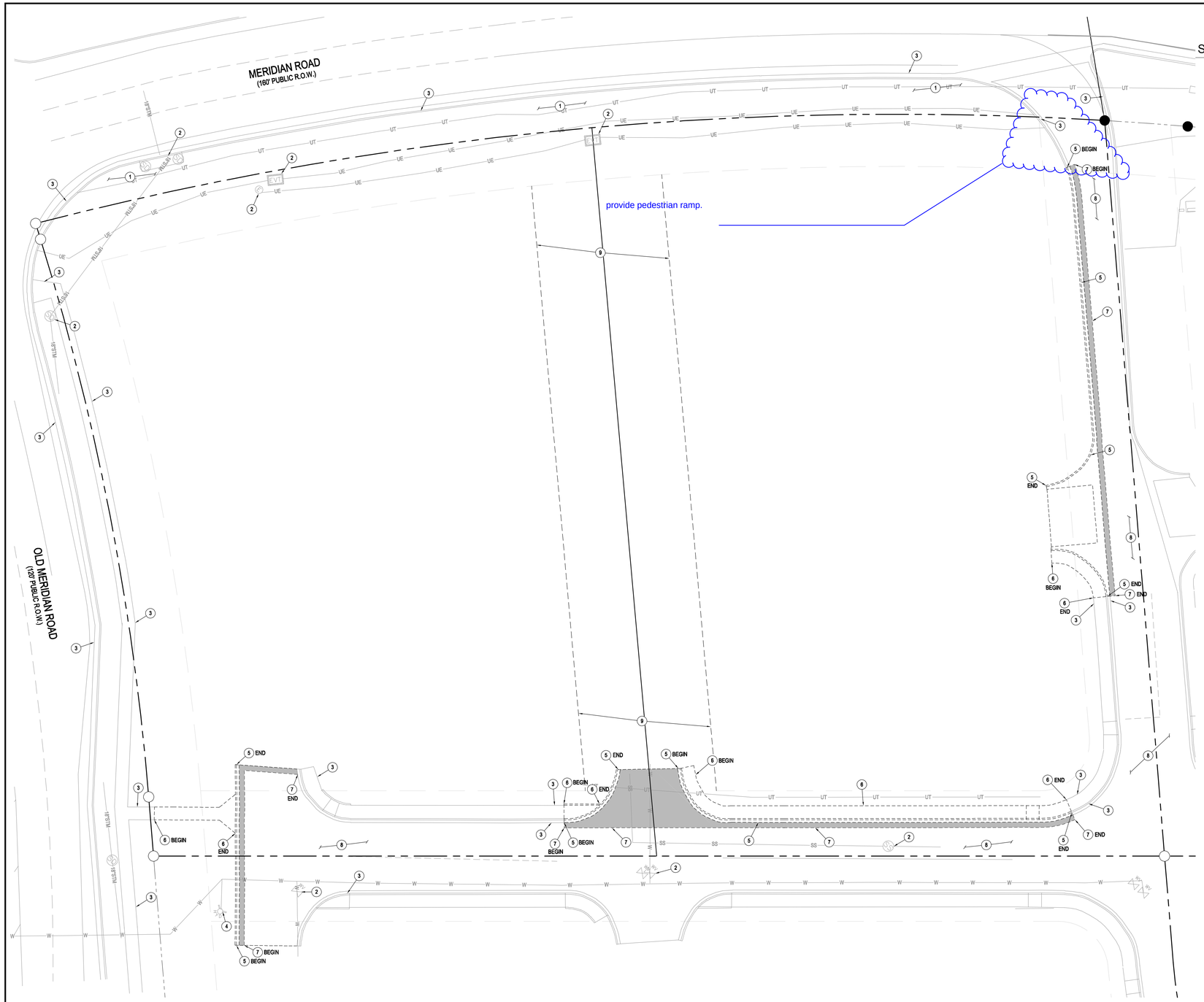
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JDP
Checked By:	JDP
Date:	4/6/2018

COVER

C0.0



SITE SCHEDULE

1. EXISTING LANDSCAPING TO REMAIN.
2. EXISTING UTILITY STRUCTURE/LIGHT POLE TO REMAIN.
3. EXISTING CURB AND GUTTER/SIDEWALK TO REMAIN
4. EXISTING FIRE HYDRANT TO REMAIN.
5. EXISTING CURB AND GUTTER TO BE REMOVED.
6. EXISTING SIDEWALK TO BE REMOVED.
7. SAWCUT AND REMOVE EXISTING ASPHALT.
8. EXISTING ASPHALT PAVEMENT TO REMAIN. CONTRACTOR TO USE CARE TO PREVENT DAMAGE TO EXISTING PAVED SURFACES.
9. EXISTING EASEMENT TO BE VACATED.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CURB & GUTTER TO BE REMOVED
- SAWCUT LINE
- EXISTING SANITARY SEWER MANHOLE COVER
- EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

DEMOLITION NOTE:

1. PROTECT -IN-PLACE ALL PORTIONS OF THE SITE THAT ARE TO REMAIN.
2. GENERAL CONTRACTOR TO MAINTAIN ACCESS TO EXISTING BUSINESSES AT ALL TIMES DURING CONSTRUCTION.

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24' , PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

N

0 10 20

SCALE: 1"=20'

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's below. Call before you dig.

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

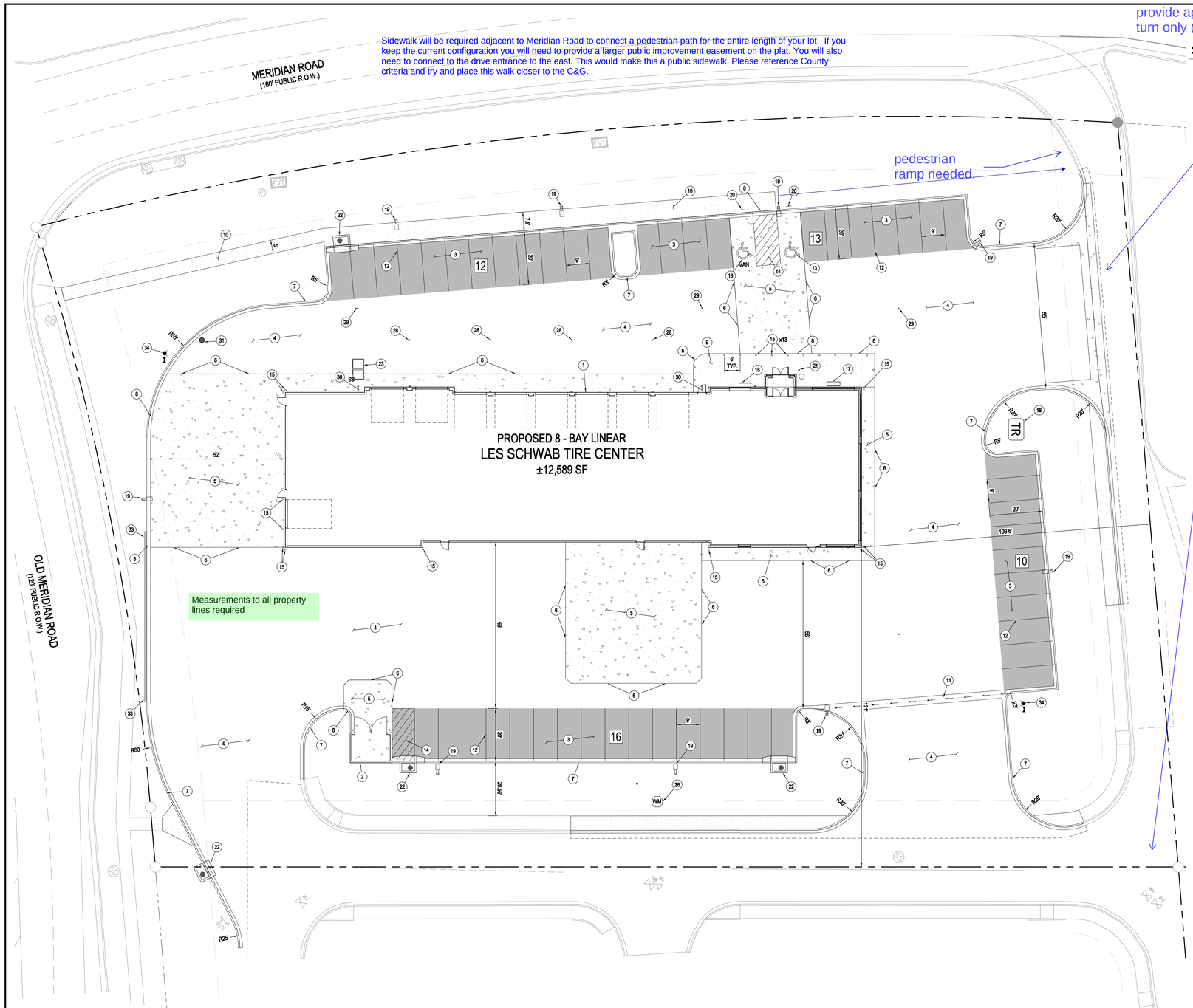
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JDP
Checked By:	JDP
Date:	4/6/2018

DEMO PLAN

C1.0



SITE SCHEDULE

1. PROPOSED 12,589 SF LES SCHWAB TIRE CENTER.
2. PROPOSED ± 145 SF CMU TRASH ENCLOSURE.
3. INSTALL STANDARD DUTY ASPHALT PAVING. SEE DETAIL 2/C1.5.
4. INSTALL HEAVY DUTY ASPHALT PAVING. SEE DETAIL 2/C1.5.
5. INSTALL HEAVY DUTY CONCRETE PAVING. SEE DETAIL 7/C1.5.
6. PROVIDE THICKENED CONCRETE EDGE AT PAVING INTERFACE; SEE DETAIL 8/C1.5.
7. CONSTRUCT 6-INCH CONCRETE CURB WITH A 1-FOOT GUTTER SECTION; SEE DETAIL 1&6/C1.5. REFERENCE GRADING PLAN, SHEET C2.1 FOR DIFFERENTIATION OF CATCH OR SPILL GUTTER CONFIGURATION.
8. CONSTRUCT 6" MONOLITHIC CONCRETE CURB WITH HEAVY DUTY CONCRETE PAVING; SEE DETAIL 3/C1.5.
9. INSTALL 4-INCH MINIMUM THICKNESS CONCRETE SIDEWALK AT BUILDING WITH A LIGHT BROOM FINISH. SEE DETAIL 9/C1.5.
10. INSTALL 4-INCH MINIMUM THICKNESS CONCRETE SIDEWALK WITH A LIGHT BROOM FINISH. SEE DETAIL 10/C1.5.
11. CONSTRUCT 2-FOOT VALLEY GUTTER. SEE DETAIL 5/C1.5.
12. PAINT 4-INCH SOLID WHITE PARKING STRIPES; TYPICAL AS SHOWN.
13. PAINT ACCESSIBLE PARKING SYMBOL AND, ONLY WHERE INDICATED, VAN TEXT; SEE DETAIL 13/C1.5.
14. PAINT 4-INCH SOLID WHITE PARKING STRIPES AT 16-INCHES O.C. AND 45 DEGREE TO THE DIRECTION OF TRAFFIC; BORDER WITH A 6-INCH SOLID WHITE STRIPE.
15. INSTALL CONCRETE FILLED PIPE BOLLARD; SEE DETAIL 5/C1.6.
16. CONTRACTOR SUPPLIED AND INSTALLED TWO SPACE ALUMINUM BIKE RACK; SEE DETAIL 4/C1.5. REFERENCE ARCHITECTURAL PLANS FOR MORE DETAILS.
17. CONTRACTOR SUPPLIED AND INSTALLED SITE FURNITURE (BENCH); SEE DETAIL 11/C1.5. REFERENCE ARCHITECTURAL PLANS FOR MORE DETAILS.
18. PROPOSED ELECTRICAL TRANSFORMER LOCATION. REFERENCE UTILITY PLAN FOR MORE DETAILS.
19. INSTALL AREA LIGHT; REFERENCE PHOTOMETRIC PLAN FOR POLE, BASE AND FIXTURE DETAILS.
20. INSTALL POLE AND HANIDCAP PARKING SIGN, INCLUDE "VAN" PLACARD CORRESPONDING (ONLY) TO SIMILARLY PAINT APPLIED TEXT; SEE DETAIL 12&14/C1.5.
21. INSTALL ADA REMOTE DOOR OPENER. REFERENCE ARCHITECTURAL PLANS.
22. PROPOSED DRAINAGE INLETS. REFERENCE UTILITY PLAN FOR DETAILS.
23. PROPOSED 750 GALLON SAND/OIL INTERCEPTOR. REFERENCE UTILITY PLAN FOR DETAILS.
24. NOT USED
25. NOT USED
26. PROPOSED WATER METER. REFERENCE UTILITY PLAN FOR DETAILS.
27. NOT USED
28. ONE-WAY STORM SEWER CLEAN OUT TO GRADE. REFERENCE UTILITY PLAN FOR DETAILS.
29. ONE-WAY SANITARY SEWER CLEAN OUT TO GRADE. REFERENCE UTILITY PLAN FOR DETAILS.
30. TWO-WAY SANITARY SEWER CLEAN OUT TO GRADE. REFERENCE UTILITY PLAN FOR DETAILS.
31. PROPOSED STORM SEWER MANHOLE. REFERENCE UTILITY PLAN FOR DETAILS.
32. PROPOSED SANITARY SEWER MANHOLE. REFERENCE UTILITY PLAN FOR DETAILS.
33. PROPOSED LANDSCAPE WALL. REFERENCE GRADING PLAN FOR DETAILS.
34. PROPOSED FIRE HYDRANT ASSEMBLY. REFERENCE UTILITY PLAN FOR DETAILS.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- PROPOSED BY OTHERS
- PROPOSED NEW
- EXISTING CURB & GUTTER TO REMAIN
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LANDSCAPE
- PROPOSED SIDEWALK
- SAWCUT LINE
- 6 — PARKING COUNT
- TR — PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING
- WM — PROPOSED METER
- PROPOSED SANITARY MANHOLE
- PROPOSED REGULATORY SIGN
- SS — EXISTING SANITARY SEWER MANHOLE COVER
- SD — EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

NOTES:

1. CONTRACTOR TO FURNISH AND INSTALL ALL ITEMS INDICATED AS NEW AND/OR PROPOSED.

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24' , PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

Please call out all adjacent property owners or platted name for all lots adjacent to the two/one you are developing.

Please provide the required parking spaces by the LDC and the amount of parking provided along with ADA parking.

N

0 10 20
SCALE: 1"=20'

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's below. Call before you dig.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

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719.900.7220 O
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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

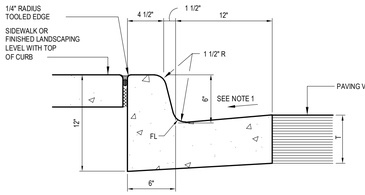
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

SITE PLAN

C1.1



NOTES:

1. GUTTER CROSS SLOPE SHALL BE 1 IN./FT. WHEN DRAINING TOWARD CURB.
2. BASE OF CURB SHALL REST ON COMPACTED FILL.
3. ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
4. CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS.
5. ISOLATION JOINTS SHALL BE INSTALLED AT 50 FOOT MAXIMUM INTERVALS, AT THE END OF CURB RETURNS AND/OR TO MATCH LOCATION OF ISOLATION JOINTS IN PAVING - SEE DETAIL 16 ON THIS SHEET.

1 CATCH CURB AND GUTTER — NOT TO SCALE

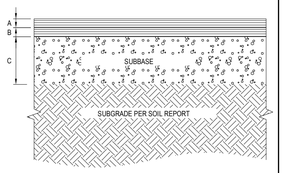
ASPHALT

STANDARD DUTY PAVING

A = 2" - SURFACE COURSE
B = 2" - BASE COURSE
C = 9" - AGGREGATE BASE COURSE

HEAVY DUTY PAVING

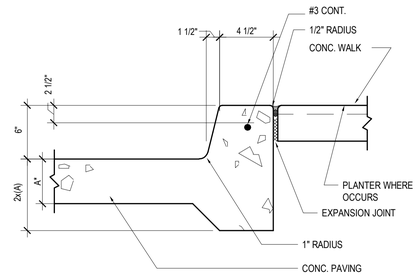
A = 2" SURFACE COURSE
B = 2" - BASE COURSE
C = 10" - AGGREGATE BASE COURSE



ASPHALT PAVING NOTES

A. SUBGRADE COMPACTION: MINIMUM 12" MOISTURE-CONDITIONED AS NECESSARY COMPACTED TO 95% RELEATIVE COMPACTION.
B. BASE COURSE TO CONFORM TO CDOT STANDARDS FOR BASE COURSE COMPACTED TO 100% OF THE MODIFIED PROCTOR (ASTM D698) MAXIMUM DRY DENSITY
C. ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT CDOT PAVEMENT DESIGN MANUAL.
D. PROVIDE TACK COAT BETWEEN CONSECUTIVE COURSES NOT APPLIED WITHIN 24 HOURS OF PLACEMENT OF THE PRIOR COURSE.
E. MINIMUM AGGREGATE BASE COURSE IS 9-INCHES; USE A THICKER SECTION IF INDICATED IN THE GEOTECHNICAL REPORT.

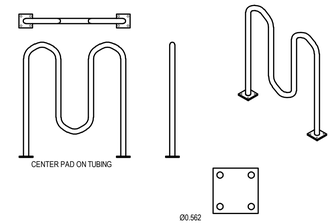
2 ASPHALT PAVING DETAILS — NOT TO SCALE



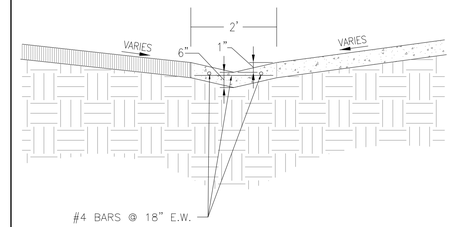
* SEE DETAIL 7 SHEET 1.5 FOR CONCRETE PAVEMENT THICKNESS

3 6" MONOLITHIC CURB AND DRIVE — NOT TO SCALE

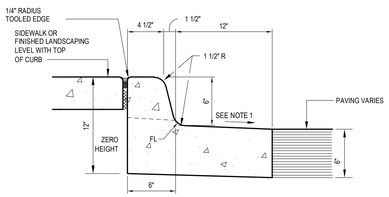
NOTE:
SEE FFE SCHEDULE REFERENCE, ARCHITECTURAL SHEET A151, FOR PROCUREMENT INFORMATION. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.



4 BIKE RACK — NOT TO SCALE



5 2' VALLEY GUTTER — NOT TO SCALE



NOTES:

1. GUTTER CROSS SLOPE SHALL BE 1 IN./FT. WHEN DRAINING TOWARD CURB.
2. BASE OF CURB SHALL REST ON COMPACTED FILL.
3. ALL EXPOSED CONCRETE SHALL HAVE A SACK FINISH.
4. CONTROL JOINTS SHALL BE INSTALLED AT 10 FOOT MAXIMUM INTERVALS.
5. ISOLATION JOINTS SHALL BE INSTALLED AT 50 FOOT MAXIMUM INTERVALS, AT THE END OF CURB RETURNS AND/OR TO MATCH LOCATION OF ISOLATION JOINTS IN PAVING - SEE DETAIL 16 ON THIS SHEET.

6 SPILL CURB AND GUTTER — NOT TO SCALE

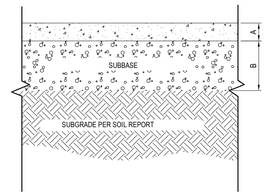
CONCRETE

STANDARD DUTY CONCRETE

A = 5" - CONCRETE PAVEMENT SECTION
B = 9" - AGGREGATE BASE COURSE

HEAVY DUTY CONCRETE

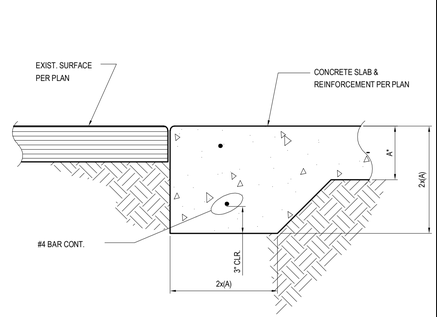
A = 6" - CONCRETE PAVEMENT SECTION
B = 9" - AGGREGATE BASE COURSE



CONCRETE PAVING NOTES

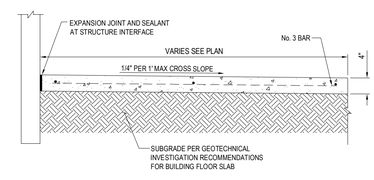
A. SUBGRADE COMPACTION: MINIMUM 12" MOISTURE-CONDITIONED AS NECESSARY COMPACTED TO 95% RELEATIVE COMPACTION.
B. BASE COURSE TO CONFORM TO CDOT STANDARDS FOR BASE COURSE COMPACTED TO 100% OF THE MODIFIED PROCTOR (ASTM D698) MAXIMUM DRY DENSITY
C. ALL SUBGRADE AND PAVEMENT OPERATIONS AND MATERIALS SHALL MEET THE MINIMUM REQUIREMENTS OF THE CURRENT CDOT PAVEMENT DESIGN MANUAL.
D. PROVIDE TACK COAT BETWEEN CONSECUTIVE COURSES NOT APPLIED WITHIN 24 HOURS OF PLACEMENT OF THE PRIOR COURSE.
E. MINIMUM AGGREGATE BASE COURSE IS 9-INCHES; USE A THICKER SECTION IF INDICATED IN THE GEOTECHNICAL REPORT.

7 CONCRETE PAVING DETAILS — NOT TO SCALE



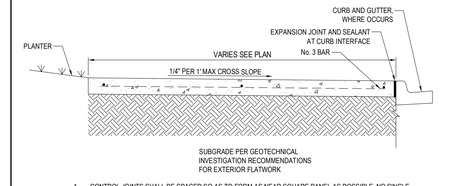
* SEE DETAIL 7 SHEET 1.5 FOR CONCRETE PAVEMENT THICKNESS

8 TYPICAL THICKENED SLAB DETAIL — NOT TO SCALE



1. CONTROL JOINTS SHALL BE SPACED SO AS TO FORM AS NEAR SQUARE PANEL AS POSSIBLE, NO SINGLE PANEL SHALL EXCEED THE WIDTH OF THE WALK ON ANY SIDE. CONTROL JOINTS SHALL BE 3/4" DEEP. REFER TO HORIZONTAL CONTROL PLAN FOR JOINT PATTERNING PERIPHERAL TO THE BUILDING. SEE DETAIL 18 ON THIS SHEET.
2. ISOLATION JOINTS OF 1/2" MASTIC MATERIAL SHALL BE PLACED AT THE FOLLOWING LOCATIONS:
   P.C.S AND P.T.S OF CURVES
   GRADE BREAKS
   AT DRIVEWAYS
   AT OTHER LOCATIONS AS SPECIFIED BY ENGINEER OR ARCHITECT.
   SEE DETAIL 16 ON THIS SHEET.
3. REINFORCE WITH No.3 BARS AT 18" O.C.E.W.
4. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SIDEWALK REPLACEMENT DUE TO DEFECT, EXCESSIVE OR INADEQUATE GRADE, OR ADA NON-COMPLIANCE IF PLACED WITHOUT A FINAL FORM INSPECTION BY THE ENGINEER.
5. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

9 CONCRETE SIDEWALK AT BUILDING — NOT TO SCALE



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   P.C.S AND P.T.S OF CURVES
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   AT DRIVEWAYS
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   SEE DETAIL 16 ON THIS SHEET.
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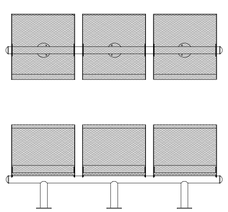
5. CONSTRUCTION MATERIALS AND PROCEDURES SHALL CONFORM TO EXISTING CITY AND STATE STANDARD SPECIFICATIONS.

10 CONCRETE SIDEWALK, TYPICAL — NOT TO SCALE

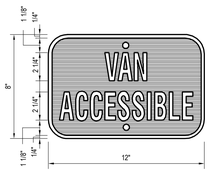
NOTE:
SEE FFE SCHEDULE REFERENCE, ARCHITECTURAL SHEET A151, FOR PROCUREMENT INFORMATION. FOLLOW ALL MANUFACTURERS RECOMMENDATIONS FOR INSTALLATION.

BENCH SPECIFICATIONS:

1. WABASH VALLEY MANUFACTURING INC. "CITY LIMITS STRAIGHT BENCH"
2. PERFORATED 3 SEAT W/ BACK
3. SURFACE MOUNT
4. DARK BRONZE
5. MODEL #CL321 BENCH, WITH MC103 PLATE COVERS
6. UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES AND PER ASME Y14.5M-1994.
7. ALL DIMENSIONS ARE AFTER PLASTISOL COATING.



11 BENCH — NOT TO SCALE



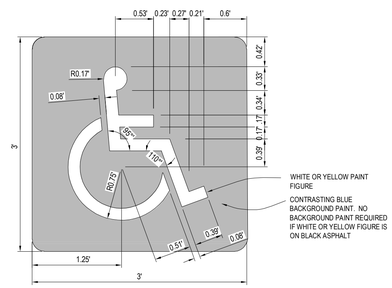
MATERIAL: .060 ALUMINUM - BLUE BACKGROUND WITH WHITE COPY AND BORDER
1 1/2" RADIUS CORNERS WHITE 2 MOUNTING HOLES

'VAN ACCESSIBLE' SIGN DETAIL

MATERIAL: .060 ALUMINUM - BLUE BACKGROUND WITH WHITE COPY AND BORDER
1 1/2" RADIUS CORNERS WHITE 2 MOUNTING HOLES

'PARKING ONLY' SIGN DETAIL

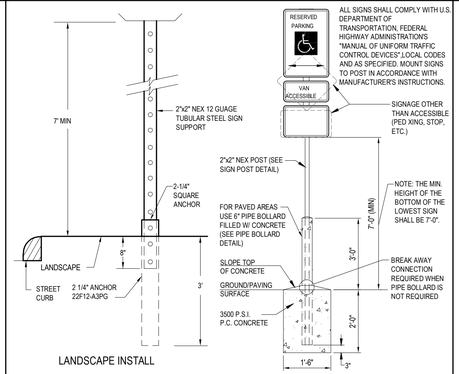
12 ACCESSIBLE PARKING SIGN DETAIL — NOT TO SCALE



INTERNATIONAL SYMBOL OF ACCESSIBILITY NOTES

A. SYMBOL TO BE CENTERED ON WIDTH OF PARKING STALL.
B. BOTTOM OF SYMBOL TO BE LOCATED 2'-6" FROM ACCESS DRIVE, INTO PARKING SPACE.
C. SYMBOL IS REQUIRED TO CONTRAST WITH BACKGROUND.

13 SYMBOL OF ACCESSIBILITY — NOT TO SCALE



ALL SIGNS SHALL COMPLY WITH U.S. DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY ADMINISTRATIONS "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES" LOCAL CODES AND AS SPECIFIED. MOUNT SIGNS TO POST IN ACCORDANCE WITH MANUFACTURERS INSTRUCTIONS.

14 SITE SIGN BASE DETAILS — NOT TO SCALE

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PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

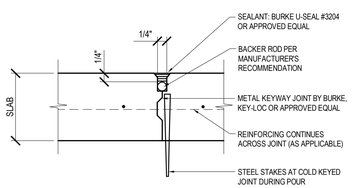
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

SITE DETAILS

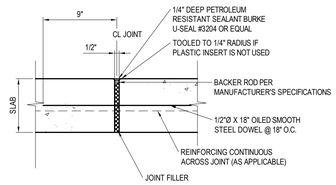
C1.5



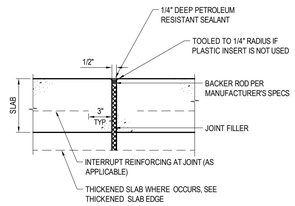
NOTE: FOR INTERRUPTED POURS, SUBSTITUTED FOR CONTROL JOINT

NOTE: SUBMIT PROPOSED ALTERNATE TO ENGINEER FOR APPROVAL

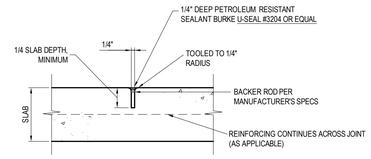
1 CONSTRUCTION JOINT DETAIL — NOT TO SCALE



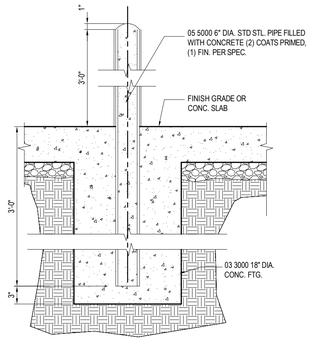
2 ISOLATION JOINT DETAIL — NOT TO SCALE



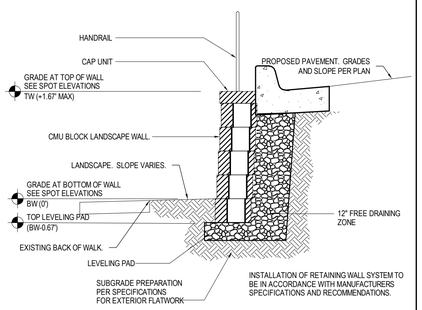
3 EXPANSION JOINT DETAIL — NOT TO SCALE



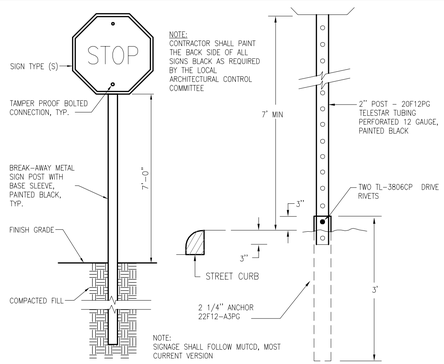
4 CONTROL JOINT DETAIL — NOT TO SCALE



5 TYPICAL BOLLARD DETAIL — NOT TO SCALE



6 LANDSCAPE RETAINING WALL — NOT TO SCALE



7 STOP SIGN R1-1 — NOT TO SCALE

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LOT 3 AND 4

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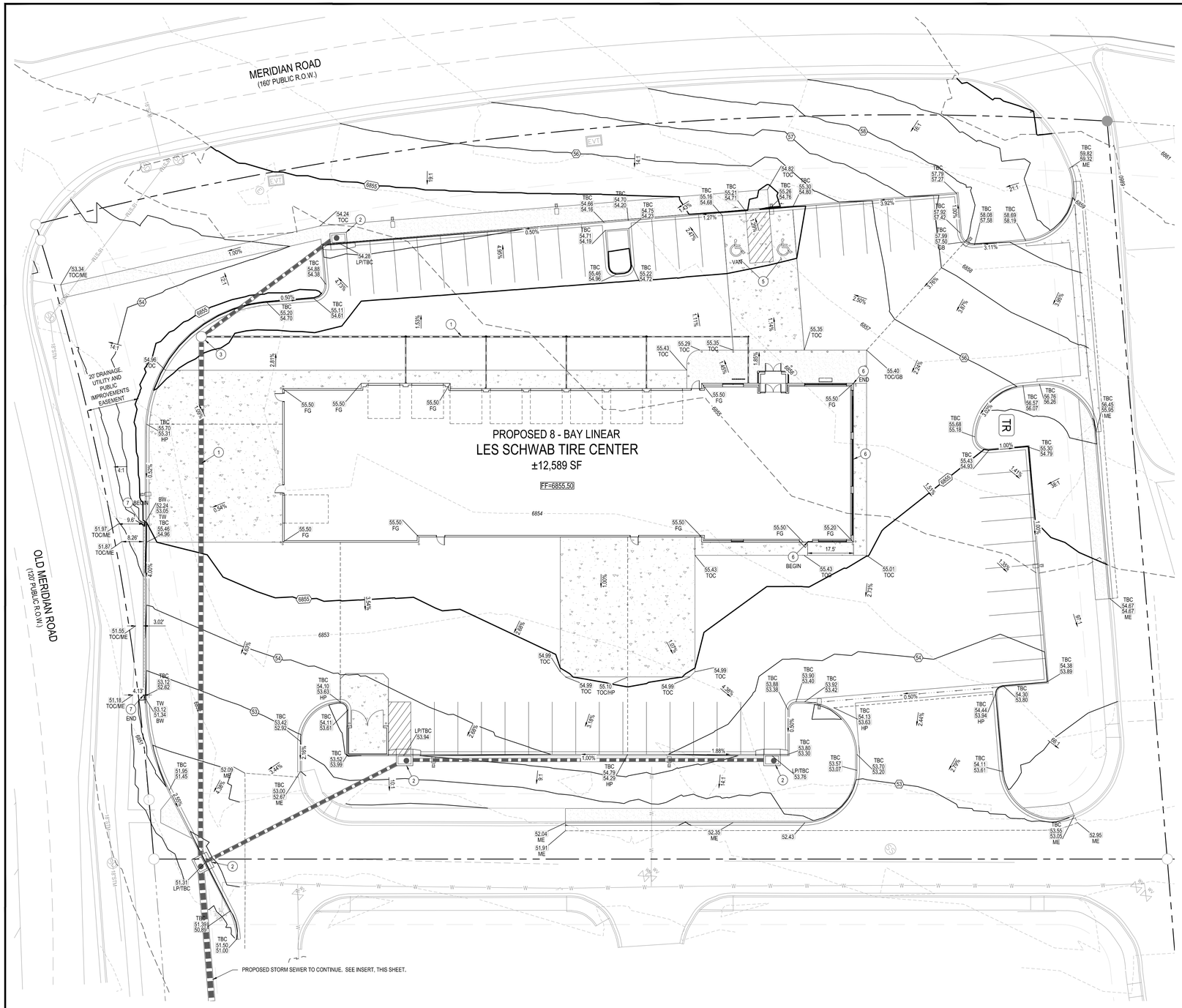
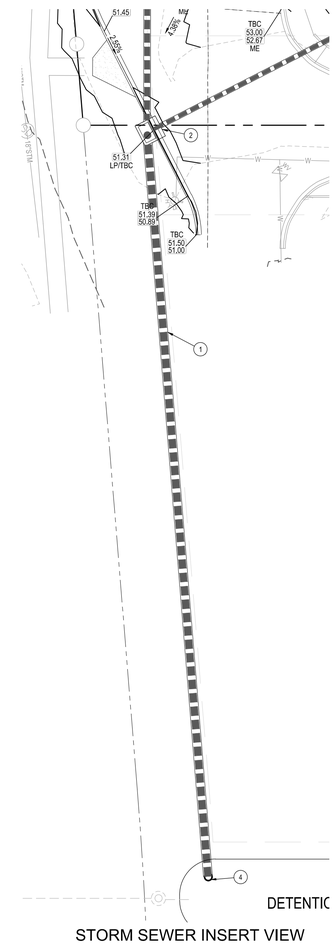
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

SITE DETAILS

C1.6





GRADING SCHEDULE

1. PROPOSED STORM SEWER LINE.
2. PROPOSED STORM SEWER INLET.
3. PROPOSED STORM SEWER MANHOLE
4. PROPOSED CONNECTION TO EXISTING STORM SEWER MANHOLE.
5. A.D.A. PARKING. MAX SLOPE 2% IN ANY DIRECTION.
6. EXPOSED BUILDING FOUNDATION.
7. PROPOSED LANDSCAPE WALL. SEE DETAIL 6/C1.6.

SITE LEGEND

- PROPERTY BOUNDARY LINE
- ADJACENT PROPERTY BOUNDARY LINE
- RIGHT OF WAY LINE
- BUILDING SETBACK
- EASEMENT BOUNDARY LINE
- EXISTING TO REMAIN
- EXISTING TO BE REMOVED
- PROPOSED BY OTHERS
- PROPOSED NEW
- PROPOSED BIO-RETENTION BOUNDARY
- EXISTING CURB & GUTTER TO REMAIN
- EXISTING CURB & GUTTER TO BE REMOVED
- PROPOSED CURB & GUTTER
- PROPOSED CONCRETE PAVING
- PROPOSED STANDARD DUTY ASPHALT PAVING
- PROPOSED HEAVY DUTY ASPHALT PAVING
- PROPOSED LANDSCAPE
- PROPOSED SIDEWALK
- SAWCUT LINE
- 6 — PARKING COUNT
- TR — PROPOSED TRANSFORMER
- PROPOSED SITE LIGHTING
- RP — PROPOSED BACKFLOW PREVENTER
- M — PROPOSED METER
- DDC — PROPOSED DOUBLE DETECTOR CHECK
- PROPOSED SANITARY MANHOLE
- PROPOSED REGULATORY SIGN
- SS — EXISTING SANITARY SEWER MANHOLE COVER
- SD — EXISTING STORMDRAIN MANHOLE COVER
- EXISTING INLET
- EXISTING STREET LIGHT
- EXISTING FIRE HYDRANT

NOTES:

1. CONTRACTOR TO FURNISH AND INSTALL ALL ITEMS INDICATED AS NEW AND/OR PROPOSED.
2. ADD 6800' TO ALL SPOT ELEVATIONS.
3. CONTRACTOR SHALL FIELD VERIFY GRADES IN THE LOCATION INDICATED AT THE TIME OF CONSTRUCTION. CARE SHALL BE TAKEN TO MATCH EXISTING GRADES AT PROPERTY LINE TO ENSURE A SMOOTH TRANSITION BETWEEN PROPOSED ASPHALT PAVEMENT AND ADJACENT PROPERTY.

GRADING LEGEND

- 339 — EXISTING MINOR CONTOUR
- 340 — EXISTING MAJOR CONTOUR
- 39 — PROPOSED MINOR CONTOUR
- 340 — PROPOSED MAJOR CONTOUR
- 40.0 XX — PROPOSED SPOT ELEVATION
- FF — FINISHED FLOOR
- TOS — TOP OF SIDEWALK
- TC — TOP OF CURB
- P — TOP OF PAVEMENT
- FL — FLOWLINE
- HP — HIGH POINT
- LP — LOW POINT
- ME — MATCH EXISTING
- GB — GRADE BREAK
- C — TOP OF CONCRETE
- EOC — EDGE OF CONCRETE
- FG — FINISH GRADE
- TOG — TOP OF GRATE
- BOW — BACK OF WALK
- FS — FINISH SURFACE
- TOE — TOE OF SLOPE
- TOC — TOP OF CONCRETE
- TBC — TOP BACK OF CURB
- BW — BOTTOM OF WALL
- TW — TOP OF WALL

N

0 10 20
SCALE: 1"=20'

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24' , PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45, OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK, BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE AT THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

CAUTION - NOTICE TO CONTRACTOR

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF SURVEY AND IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's **below.** **Call** before you dig.

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PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

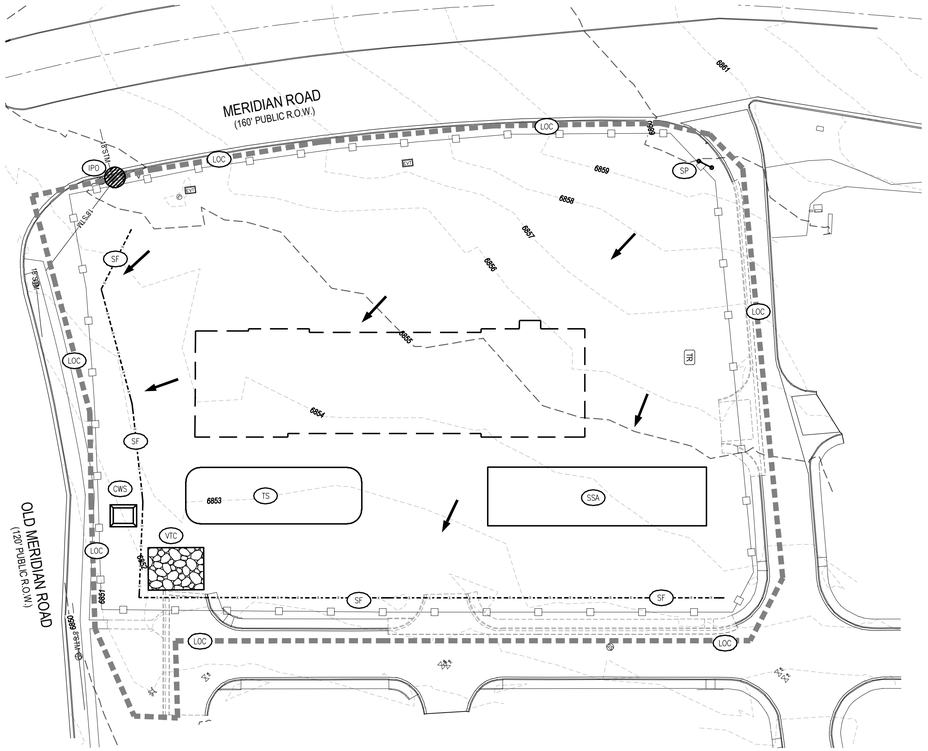
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

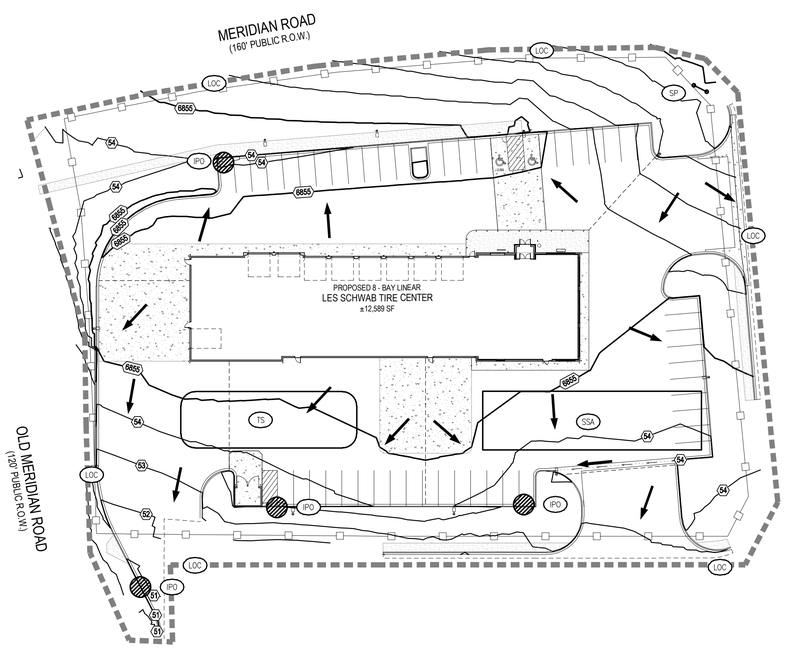
GRADING PLAN

C2.0



INITIAL STORM WATER MANAGEMENT PLAN

SCALE: 1"=40



POST-PAVING STORM WATER MANAGEMENT PLAN

SCALE: 1"=40

EROSION CONTROL LEGEND

	FLOW ARROW
LOC	LIMITS OF CONSTRUCTION (AREA= 26,184 SF, 0.60 AC)
SF	SILT FENCE
CF	CONSTRUCTION FENCE
CWS	SMALL SITE CONCRETE WASHOUT AREA
TS	TEMPORARY STOCKPILE
VTC	VEHICLE TRACKING CONTROL/CONSTRUCTION ENTRANCE
ECB	EROSION CONTROL BLANKET
IPO	INLET PROTECTION
SP	SWMP SITE POSTING
SSA	STABILIZED STAGING AREA
DD	DIVERSION DITCH/BERM
SDP	SILT DIKE ON PAVEMENT
LS	LANDSCAPE AREA
RES	PORTABLE RESTROOM

GRADING LEGEND

339	EXISTING MINOR CONTOUR
340	EXISTING MAJOR CONTOUR
39	PROPOSED MINOR CONTOUR
340	PROPOSED MAJOR CONTOUR
40.0 XX	PROPOSED SPOT ELEVATION
FF	FINISHED FLOOR
TOS	TOP OF SIDEWALK
TC	TOP OF CURB
P	TOP OF PAVEMENT
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
GB	GRADE BREAK
C	TOP OF CONCRETE
EOC	EDGE OF CONCRETE
FG	FINISH GRADE
TOG	TOP OF GRATE
BOW	BACK OF WALK
FS	FINISH SURFACE
TOE	TOE OF SLOPE

FINAL EROSION CONTROL NOTE

PERMANENT LANDSCAPE MATERIALS PER THE ACCOMPANYING PLAN WILL BE USED TO STABILIZE ALL ON-SITE OPEN SPACE. ALL OTHER ON-SITE AREAS WILL BE STABILIZED WITH HARDSCAPE OR BUILDING CONSTRUCTION. DISTURBED OFF-SITE AREAS WILL BE PROVIDED WITH REPLACEMENT LANDSCAPE, HARDSCAPE OR FULLY ESTABLISHED NATIVE SEED REVEGETATION AS INDICATED ON THE INTERIM & FINAL EROSION CONTROL PLAN, THIS SHEET.

STORMWATER MANAGEMENT PLANS GENERAL NOTES

1. THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR, ACCUMULATE IN, THE FLOW LINES AND PUBLIC RIGHTS OF WAYS OF THE CITY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR CONSTRUCTION PROJECT. SAID REMOVAL SHALL BE CONDUCTED IN A TIMELY MANNER.
2. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND THE PERMIT IS RELEASED.
3. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.
4. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL AND WATER QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
5. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
6. SOILS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 14 DAYS OF STOCKPILE CONSTRUCTION. IF STOCKPILES ARE LOCATED WITHIN 100 FEET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIKES OR SILT FENCE SHALL BE REQUIRED.
7. APPROVED EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM A BMP WHEN THE SEDIMENT OR DEBRIS ADVERSELY IMPACTS THE FUNCTIONING OF THE BMP.
8. THE CONTRACTOR SHALL PROTECT STORM DRAIN INLETS DIRECTLY DOWNSTREAM OF CONSTRUCTION AREA NOT NECESSARILY SHOWN ON THIS PLAN.

DUST CONTROL GENERAL NOTES

THE CITY ENGINEER MAY REQUIRE THE SUBMITTAL OF A DUST PREVENTION AND CONTROL PLAN FOR GRADING AND CONSTRUCTION AS DEEMED NECESSARY. AT THE VERY MINIMUM THE FOLLOWING CONDITIONS CONCERNING THE CONTROL OF GRADING AND CONSTRUCTION DUST SHALL BE ADHERED TO, AS WELL AS FOLLOWING SCAQMD REQUIREMENTS WITH REGARDS TO FUGITIVE DUST.

- FUGITIVE DUST EMISSIONS WILL BE CONTROLLED TWENTY-FOUR (24) HOURS A DAY, SEVEN (7) DAYS A WEEK, WHETHER OR NOT THERE IS CURRENT ACTIVITY ON THE SITE.
- THERE SHALL BE A 24-HOUR CONTACT NAME AND PHONE NUMBER FOR THE PERSON RESPONSIBLE FOR ENSURING THE CONTROL OF FUGITIVE DUST, WHETHER OR NOT THERE IS CURRENT ACTIVITY AT THE SITE.
- DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO THE APPLICATION OF WATER OR DUST PALLIATIVES, THE INSTALLATION OF WIND FENCING, AND THE TREATMENT OF STAGING AREAS.
- WHEN AN ENTIRE PROJECT IS GRADED AND THE SUBSEQUENT CONSTRUCTION ON THE SITE IS TO BE COMPLETED IN PHASES, THE PORTION OF THE SITE NOT UNDER CONSTRUCTION SHALL BE TREATED WITH CHEMICAL STABILIZERS, OR PLANT MATERIALS AND AN IRRIGATION SYSTEM.

IF THE IMPORTING OR EXPORTING OF SOIL IS NECESSARY, DUST CONTROL SHALL INCLUDE PROCEDURES FOR THE CONTROL OF DUST RESULTING FROM THE LOADING, TRANSPORTATION AND UNLOADING OF SOIL FROM, TO OR WITHIN THE PROJECT AREA AND ON PUBLIC ROADWAYS.

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24 ', PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

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LEGAL DESCRIPTION

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BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

Please call all GEC plan sheets in this set as preliminary grading plan. note that this plan is not being reviewed as the official GEC plan.

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PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

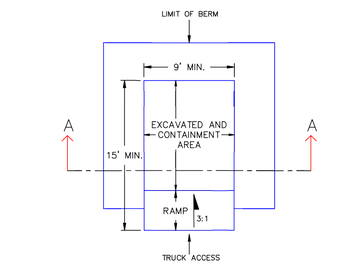
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

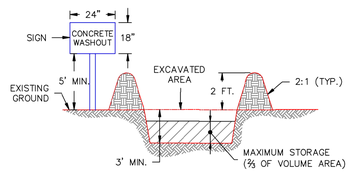
Project No:	LST00067
Drawn By:	JDP
Checked By:	JDP
Date:	4/6/2018

EROSION CONTROL PLAN

C3.0



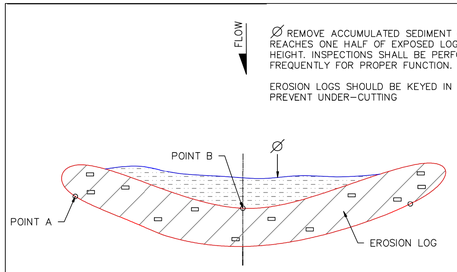
PLAN VIEW



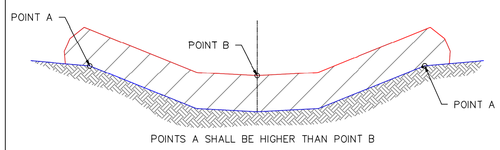
SECTION A–A

NOTES:
1. SIGN MATERIAL, EXCAVATION, AND RESTORATION ARE INCLUDED IN THE COST OF THE CONCRETE WASHOUT STRUCTURE.
2. EROSION BALES MAY BE USED AS AN ALTERNATIVE FOR THE BERM.

1/1/08 DATE APPROVED: John A. McCarty DEPARTMENT OF TRANSPORTATION	Concrete Washout Structure Standard Drawing REVISION DATE: 7/17/07	FILE NAME: SD_3–84



PLAN VIEW



POINTS A SHALL BE HIGHER THAN POINT B

ELEVATION
EROSION LOG DETAIL DITCH INSTALLATION

NOTE: EROSION LOGS SHALL BE TIGHTLY ABUTTED WITH NO GAPS.

1/1/08 DATE APPROVED: John A. McCarty DEPARTMENT OF TRANSPORTATION	Erosion Log Check Dams Standard Drawing REVISION DATE: 7/17/07	FILE NAME: SD_3–85

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LOT 3 AND 4

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FALCON, COLORADO

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Project No:	LST00067
Drawn By:	JRP
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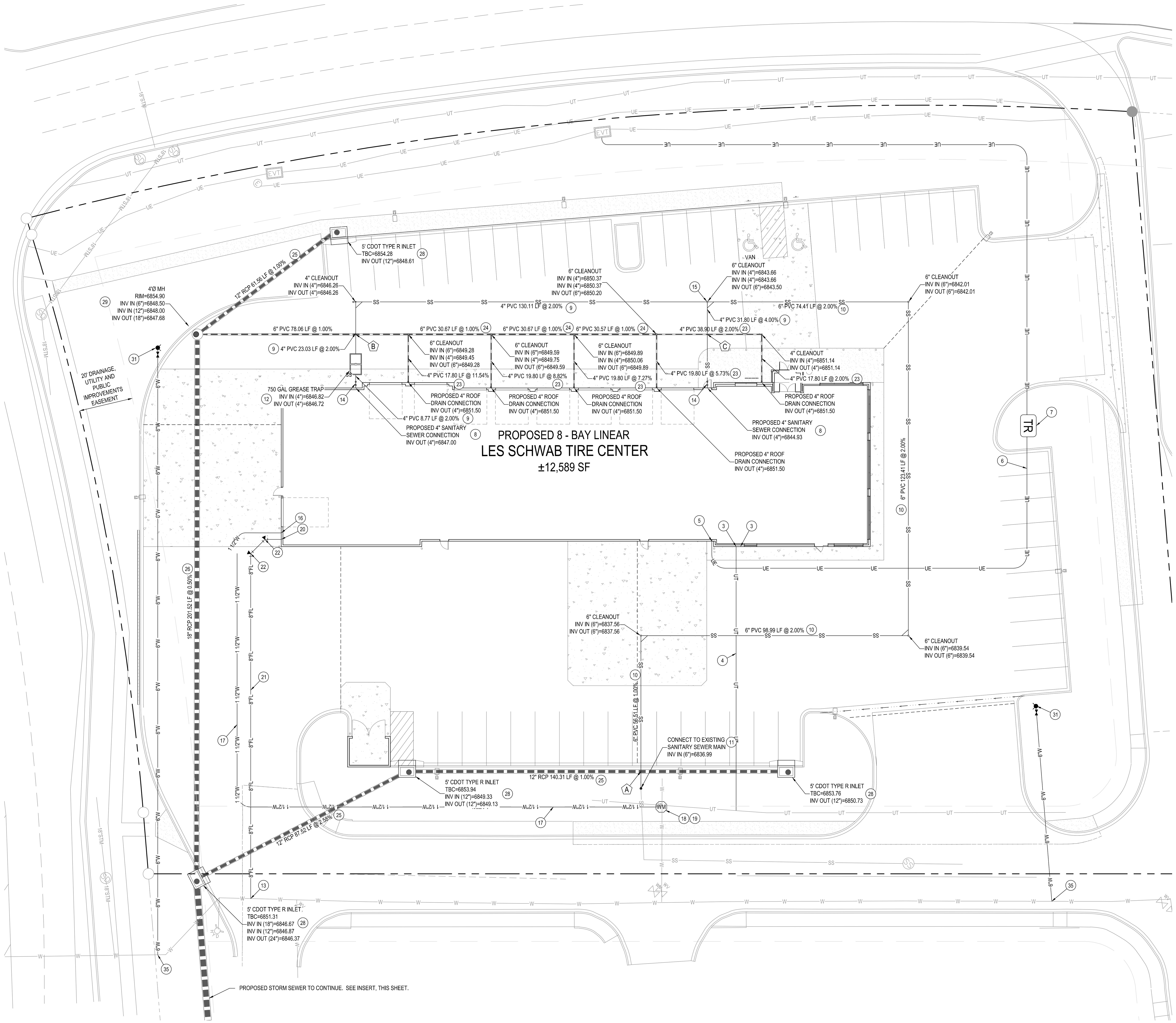
Date:	4/6/2018

EROSION CONTROL DETAILS

C3.5



UTILITY SCHEDULE

1. GAS METER, BOLLARD PROTECTION, AND SERVICE ENTRY TO THE BUILDING. CONTRACTOR TO COORDINATE INSTALLATION WITH THE SERVICE PROVIDER. REFERENCE BUILDING MECHANICAL PLANS.
2. PROPOSED ROUTING OF GAS SERVICE; CONTRACTOR TO COORDINATE FINAL LOCATIONS AND INSTALLATION WITH THE UTILITY PROVIDER.
3. PROPOSED TELECOMMUNICATIONS SERVICE ENTRY TO BUILDING.
4. PROPOSED ROUTING OF TELECOMMUNICATIONS SERVICE LINE AND CONNECTION TO MAIN, CONTRACTOR TO COORDINATE WITH UTILITY PROVIDER.
5. PROPOSED ELECTRICAL SERVICE ENTRY TO BUILDING.
6. PROPOSED ROUTING OF SECONDARY ELECTRICAL SERVICE. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
7. PROPOSED LOCATION OF PRIMARY ELECTRICAL SERVICE CONNECTION AND TRANSFORMER. CONTRACTOR TO COORDINATE INSTALLATION WITH THE UTILITY PROVIDER.
8. PROPOSED 4" SANITARY SEWER SERVICE ENTRY TO BUILDING.
9. CONTRACTOR TO PROVIDE AND INSTALL 4" SANITARY SEWER SERVICE LINE.
10. CONTRACTOR TO PROVIDED AND INSTALL 6" SANITARY SEWER SERVICE LINE.
11. PROPOSED CONNECTION TO EXISTING SANITARY SEWER SERVICE LINE. CONTRACTOR TO POTHOLE AND LOCATE SANITARY SEWER LATERAL (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
12. CONTRACTOR TO PROVIDE AND INSTALL 750 GALLON SAND/OIL INTERCEPTOR. SEE DETAIL ON SHEET C4.5.
13. CONTRACTOR TO CONNECT 8-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POTHOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.
14. CONTRACTOR TO PROVIDE AND INSTALL 4-INCH 2-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
15. CONTRACTOR TO PROVIDE AND INSTALL 1-WAY CLEANOUT TO GRADE WITH TRAFFIC RATED LID.
16. PROPOSED 1.5-INCH WATER SERVICE ENTRY TO BUILDING.
17. CONTRACTOR TO PROVIDE AND INSTALL ± 270 LF OF 1.5-INCH TYPE K COPPER WATER SERVICE LINE.
18. CONTRACTOR TO PROVIDE AND INSTALL 1-INCH WATER SERVICE METER.
19. PROPOSED 1.5" CONNECTION TO EXISTING WATER STUB.
20. PROPOSED 8" FIRE SERVICE ENTRY TO BUILDING.
21. CONTRACTOR TO PROVIDE AND INSTALL ± 142 LF OF 8-INCH FULLY RESTRAINED DUCTILE IRON FIRE SUPPRESSION SERVICE LINE.
22. CONTRACTOR TO INSTALL 45-DEGREE BEND AND THURST BLOCKING.
23. CONTRACTOR TO PROVIDE AND INSTALL 4-INCH PCV STORM DRAIN LINE.
24. CONTRACTOR TO PROVIDE AND INSTALL 6-INCH PVC STORM DRAIN LINE.
25. CONTRACTOR TO PROVIDE AND INSTALL 12-INCH PVC STORM DRAIN LINE.
26. CONTRACTOR TO PROVIDE AND INSTALL 18-INCH RCP STORM DRAIN LINE.
27. CONTRACTOR TO PROVIDE AND INSTALL SITE LIGHTING, REFERENCE PHOTOMETRIC PLANS FOR DETAILS.
28. CONTRACTOR TO PROVIDE AND INSTALL STORM SEWER INLET.
29. CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø STORM SEWER MANHOLE.
30. CONTRACTOR TO PROVIDE AND INSTALL 4-FOOT Ø SANITARY SEWER MANHOLE.
31. CONTRACTOR TO PROVIDE AND INSTALL FIRE HYDRANT ASSEMBLY.
32. CONTRACTOR TO PROVIDE AND INSTALL POST INDICATOR VALVE (PIV).
34. CONTRACTOR TO PROVIDE AND INSTALL FIRE DEPARTMENT CONNECTION (FDC).
35. CONTRACTOR TO CONNECT 6-INCH UNDERGROUND FIRE LINE TO EXISTING WATER MAIN. CONTRACTOR TO POTHOLE AND LOCATE WATER MAIN (DEPTH AND LOCATION) IMMEDIATELY AFTER CONSTRUCTION STARTS TO VERIFY DEPTH, SIZE AND LOCATION. INFORM ENGINEER OF AS BUILT LOCATION.

UTILITY LEGEND

Symbol	Description
8" W	EXISTING 8" WATER LINE
6" W	EXISTING 6" WATER LINE
1" W	EXISTING 1" WATER LINE
2" W	EXISTING 2" WATER LINE
1" W	PROPOSED 1" WATER LINE
2" W	PROPOSED 2" WATER LINE
8" FL	PROPOSED 8" FIRE LINE
SS	EXISTING SANITARY SEWER
SS	PROPOSED SANITARY SEWER
SD	EXISTING STORM SEWER
4" STM	PROPOSED 4" STORM SEWER
	PROPOSED STORM SEWER (> 4")
G	PROPOSED GAS LINE
UE	PROPOSED UNDERGROUND ELECTRICAL
UT	EXISTING UNDERGROUND TELEPHONE
UT	PROPOSED UNDERGROUND TELEPHONE
	WATER LINE KICK BLOCK LOCATION
TYP.	TYPICAL AS SHOWN

SITE LEGEND

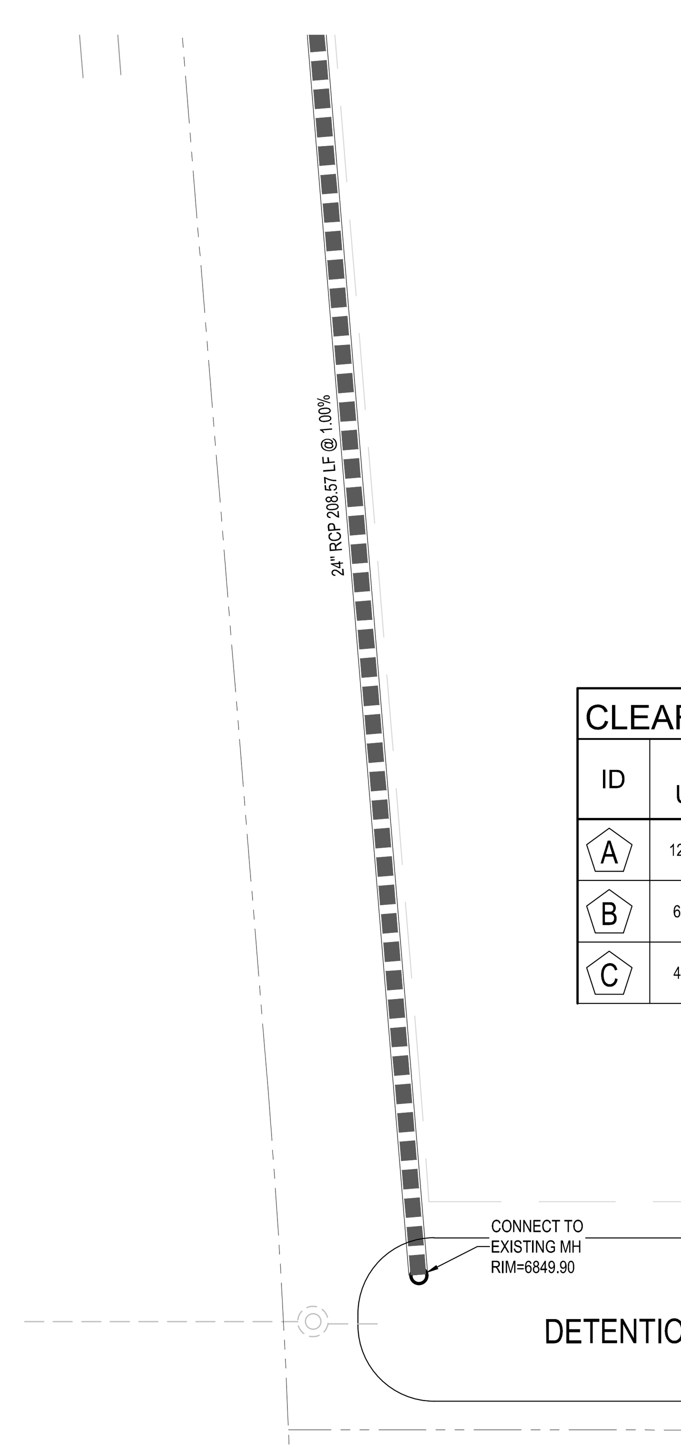
Symbol	Description
	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY LINE
	EASEMENT BOUNDARY LINE
	EXISTING TO REMAIN
	PROPOSED NEW
	EXISTING CURB & GUTTER TO REMAIN
	PROPOSED CURB & GUTTER
	PROPOSED CONCRETE PAVING
	PROPOSED STANDARD DUTY ASPHALT PAVING
	PROPOSED HEAVY DUTY ASPHALT PAVING
	PROPOSED LANDSCAPE
	PROPOSED SIDEWALK
	SAWCUT LINE
6	PARKING COUNT
T	PROPOSED TRANSFORMER
	PROPOSED SITE LIGHTING
RP	PROPOSED BACKFLOW PREVENTER
WM	PROPOSED METER
DDC	PROPOSED DOUBLE DETECTOR CHECK
	PROPOSED SANITARY MANHOLE
	PROPOSED REGULATORY SIGN
SS	EXISTING SANITARY SEWER MANHOLE COVER
SD	EXISTING STORMDRAIN MANHOLE COVER
	EXISTING INLET
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT

UTILITY NOTES

1. CO-TRENCH ELECTRIC AND TELECOMMUNICATIONS SERVICE LINES WHERE ROUTING ALLOWS.
2. CONTRACTOR TO CONSTRUCT TRANSFORMER PAD TO THE UTILITY PROVIDERS SPECIFICATION AND COORDINATE INSTALLATION WITH SAME. CONFIRM WITH UTILITY PROVIDER.
3. TYPICAL CONTRACTOR PROVIDE & INSTALL SECONDARY ELECTRIC LINES ON SITE.
4. CONTRACTOR TO PROVIDE AND INSTALL 3 #10, 3/4-INCH CONDUITS FOR SITE LIGHTING; TYPICAL ALL SITE LIGHTING. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
5. CONTRACTOR TO PROVIDE AND INSTALL (2) 2-INCH SCHEDULE 40 PVC FOR POWER AND CONTROLS TO MONUMENT SIGN. REFERENCE SITE ELECTRIC PLANS FOR RUN TERMINUS AND CIRCUITING REQUIREMENTS.
6. TYPICAL INLETS INCLUDE A DEPRESSION AND A GUTTER TRANSITION. CONTRACTOR TO CONFIRM WITH STANDARD INLET DETAIL DEPRESSION INFORMATION PRIOR TO CONSTRUCTION STAKING.

CLEARANCE TABLE

ID	HIGH UTILITY	INVERT	LOW UTILITY	SOFFIT	CLEARANCE
A	12-INCH STORM	6850.19	6-INCH SANITARY	6837.70	12.3-FEET
B	6-INCH STORM	6849.16	4-INCH SANITARY	6847.35	1.6-FEET
C	4-INCH STORM	6850.83	4-INCH SANITARY	6845.60	5.0-FEET



STORM SEWER INSERT VIEW

BENCHMARK

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION 'E 24' , PID JK0239, WHICH HAS AN ELEVATION OF 6902.3 (NAVD 88 DATUM). THE STATION IS LOCATED ABOUT 7 MI (11.3 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTHEAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND AT U.S. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISK SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 M (87.9 FT) EAST-NORTHEAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WITNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WITNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3'

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

CAUTION - NOTICE TO CONTRACTOR

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2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY, EITHER THROUGH POTHOLING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.

811 Know what's below. Call before you dig.

N

0 10 20
SCALE: 1"=20'

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

7105 N. MERIDIAN ROAD
FALCON, COLORADO

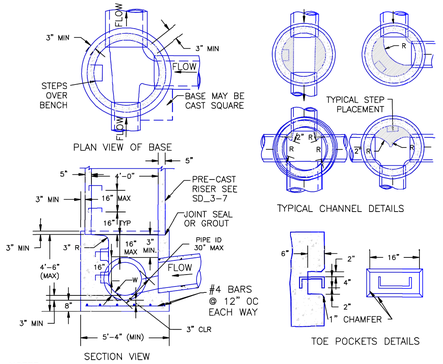
#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

UTILITY PLAN

C4.0

h:\les schwab\co, falcon - lst000067 - sec meridian & old meridian\CADD\3 CD\LST0067_C4.0-Utility Plan.dwg - Jeremy Toone - 4/6/2018



NOTES

1. TYPE II MANHOLES SHALL BE USED WHEN APPROPRIATE AND TYPICALLY WHEN THE PIPE SIZES ARE 30" OR LESS INSIDE DIAMETER.

2. VIEW AND DETAILS ARE TYPICAL. DESIGN ENGINEER SHALL DETERMINE MANHOLE BASE CONFIGURATION AND DIMENSIONS FOR PARTICULAR PIPE SIZES AND ALIGNMENT.

3. EITHER LADDER OF STEPS SHALL BE INSTALLED WHEN MANHOLE DEPTH EXCEEDS 30". STEPS IN BASE SHALL BE INSTALLED IN "TOE POCKETS" (SEE DETAIL THIS SHEET). LOWEST STEP SHALL BE A MAXIMUM OF 16" ABOVE THE FLOOR.

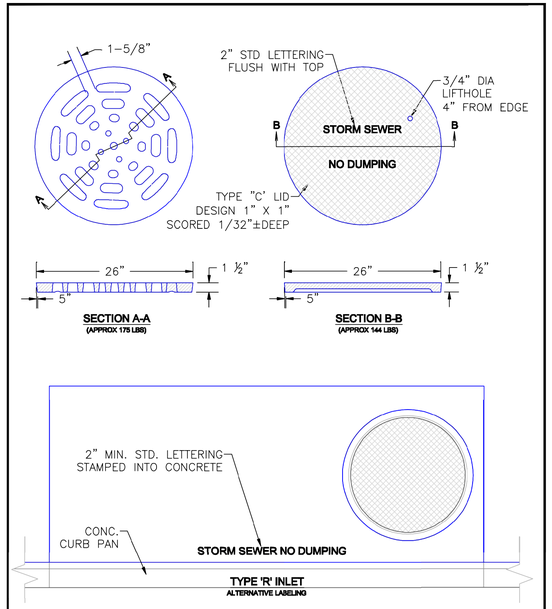
4. PIPES SHALL BE TRIMMED TO FINAL SHAPE AND SET BEFORE MANHOLE IS POURED.

5. BENCH SHALL BE SLOPED TOWARD CENTER OF MANHOLE BASE (4:1 MAX., ½" PER FOOT. MIN.).

6. FLOOR OF MANHOLE SHALL BE TROWELLED TO A SMOOTH, HARD SURFACE AND SHALL SLOPE TOWARDS THE OUTLET (8:1., ½" PER FT. MIN.) . FLOOR SHALL BE SHAPED AND CHANNELED; SEE DETAILS THIS SHEET.

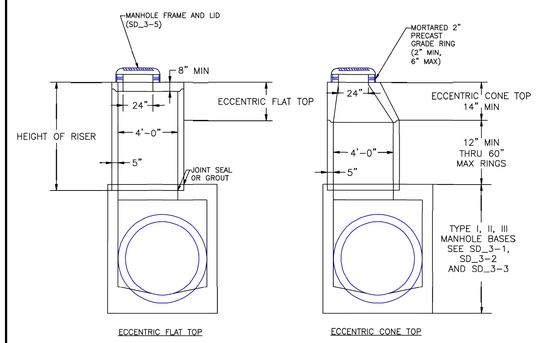
SCALE: NOT TO SCALE

DATE APPROVED: André P. Brackin, DEPARTMENT OF TRANSPORTATION	Storm Sewer Manhole Detail Type II Standard Drawing	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
	REVISION DATE: 11/10/04 — FILE NAME: SD_3-2	



SCALE: NOT TO SCALE

DATE APPROVED: André P. Brackin, DEPARTMENT OF TRANSPORTATION	Storm Sewer Manhole Details Standard Drawing	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
	REVISION DATE: 9/16/10 — FILE NAME: SD_3-5	



NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE STANDARD AND SUPPLEMENTAL SPECIFICATIONS APPLICABLE TO THE PROJECT.
2. PRECAST RISERS SHALL CONFORM TO ASTM C478.
3 STEPS SHALL BE INSTALLED WHEN MANHOLE DEPTH EXCEEDS 30". STEPS SHALL BE CAST IRON OR EXTRUDED ALUMINUM, 1000 LB CAPACITY, 12" WIDE WITH NON-SKID GROOVES AND DROP FRONT ON SAFETY NOSES, IN ACCORDANCE WITH APPROVED OSHA REQUIREMENTS.

SCALE: NOT TO SCALE

DATE APPROVED: André P. Brackin, DEPARTMENT OF TRANSPORTATION	Storm Sewer Manhole Riser and Cover Detail Standard Drawing	EL PASO COUNTY DEPARTMENT OF TRANSPORTATION
	REVISION DATE: 11/23/04 — FILE NAME: SD_3-7	

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PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

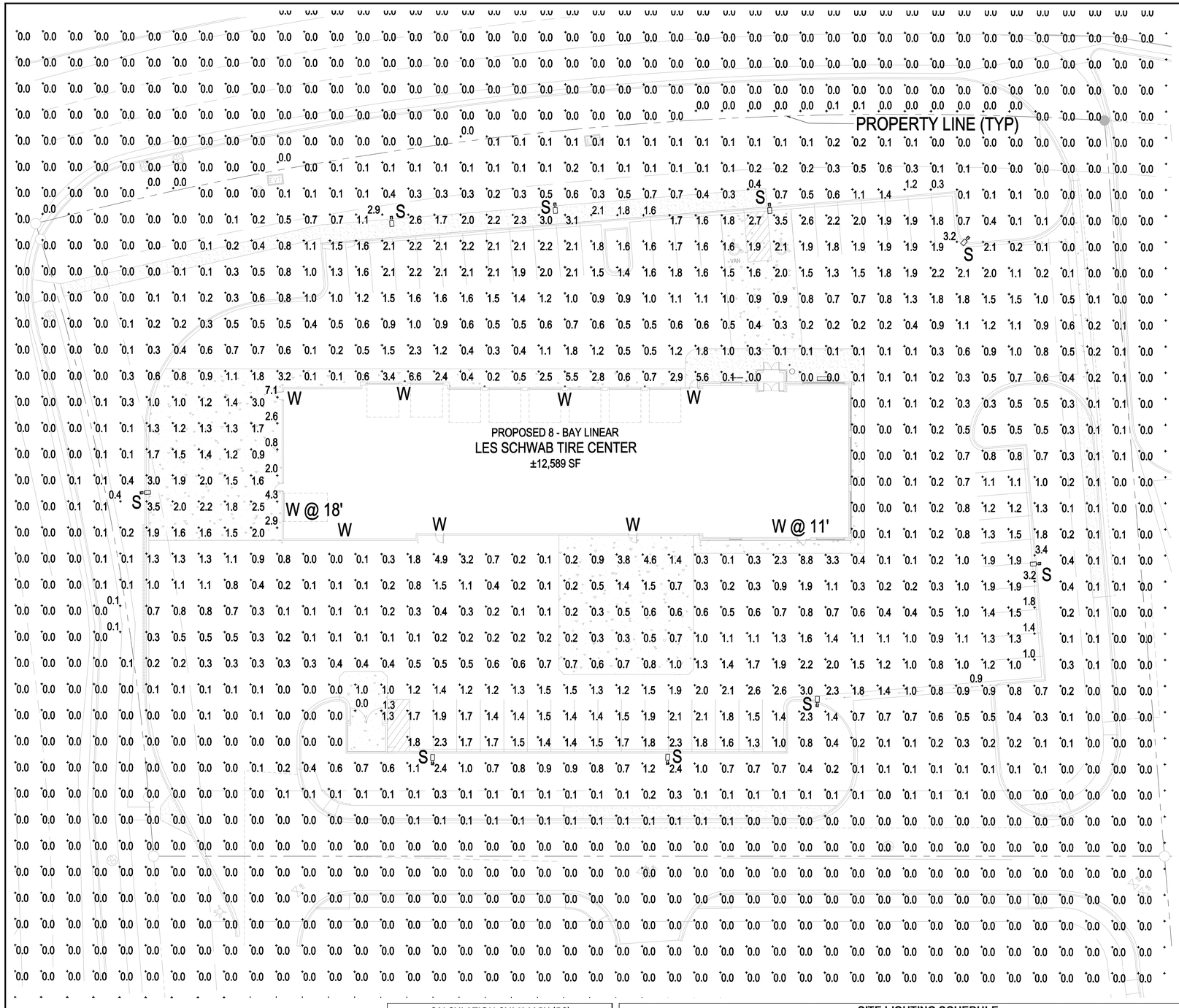
7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

UTILITY DETAILS

C4.5



N

0 10 20

SCALE: 1"=20'

CALCULATION SUMMARY (FC)				
LABEL	AVG	MAX	MIN	AVG/MIN
PARKING	1.87	3.50	0.70	2.67
DRIVEWAY	0.97	7.10	0.10	9.70

SITE LIGHTING SCHEDULE

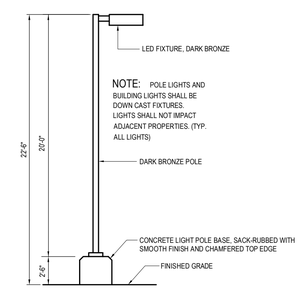
MARK	MANUFACTURER	CATALOG NO.	BEAM DISTRIB.	LAMP DATA	VOLTS	FIXTURE QUAN. PER POLE	FIXTURE AND POLE FINISH	MOUNTIN HT. (FT.)	POLE TYPE	DESCRIPTIO N	REMARKS
S	GALLEON	GLEON-AE-01-LED-E1-SL3	IV	LED PROVIDED W/ FIXTURE	120/277	1	BRONZE	20' - 0"	SSA	PARKING LOT LIGHT	
W	COOPER	XTOR3B	-	LED PROVIDED W/ FIXTURE	120/277	-	BRONZE	14' - 0" U.N.O.	-	BUILDING MOUNTED	

GENERAL NOTES:

a SEE SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS FOR LUMINAIRES, LAMPS, AND BALLASTS.

b CONTRACTOR TO VERIFY LIGHT FIXTURE CATALOG NUMBER AND INSTALLATION REQUIREMENTS PRIOR TO ORDERING.

c POLE TYPE DESCRIPTION (ABC): A - SHAPE, R-ROUND, S-SQUARE; B - PROFILE, S-STRAIGHT, T-TAPERED; C - MATERIAL, A-ALUMINUM, S-STEEL



2 AREA LIGHT DETAIL
SCALE: NOT TO SCALE

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MERIDIAN CROSSING FILING NUMBER 1
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7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JTH
Checked By:	DNJ
Date:	4/6/2018

PHOTOMETRICS PLAN

PP1.1

h:\les schwab\co, falcon - lst00067 - ben mendoza & will mansfield\CAD\COLOSTORZ_PP-01\Photometrics Plan.dwg - Jeff Fisher - 4/6/2018

McGRAW-EDISON®

DESCRIPTION

The Galleon™ LED luminaire delivers exceptional performance in a highly scalable, low-profile design. Patented, high-efficiency AccuLED Optics™ system provides uniform and energy conscious illumination to walkways, parking lots, roadways, building areas and security lighting applications. IP66 rated.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction
Extruded aluminum driver enclosure thermally isolated from Light Squares for optimal thermal performance. Heavy-wall, die-cast aluminum end caps enclose housing and die-cast aluminum heat sinks. A unique, patent pending interlocking housing and heat sink provides scalability with superior structural rigidity. 3G vibration tested. Optional tool-less hardware available for ease of entry into electrical chamber. Housing is IP66 rated.

Optics
Choice of 16 patented, high-efficiency AccuLED Optics. The optics are precisely designed to shape the distribution maximizing efficiency and application spacing. AccuLED Optics create consistent distributions with the scalability to meet customized application requirements. Offered standard in 4000K (+/- 275K) CCT and minimum 70 CRI. Optional 6000K CCT and 3000K CCT. For the ultimate level of spill light control, an optional house side shield accessory can be field or factory installed. The house side shield is designed to seamlessly integrate with the SL2, SL3, SL4 or AFL optics.

Electrical
LED drivers are mounted to removable tray assembly for ease of maintenance. 120-277V 50/60Hz, 347V 60Hz or 480V 60Hz operation. Standard with 0-10V dimming. Shipped standard with Cooper Lighting proprietary circuit module designed to withstand 10kV of transient line surge. The Galleon LED luminaire is suitable for operation in -40°C to 40°C ambient environments. For applications with ambient temperatures exceeding 40°C, specify the HA (High Ambient) option. Light Squares are IP66 rated. Greater than 90% lumen maintenance expected at 60,000 hours. Available in standard 1A drive current and optional 530mA and 700mA drive currents.

Mounting
Extruded aluminum arm includes internal bolt guides allowing for easy positioning of fixture during assembly. Designed for pole or wall mounting. When mounting two or more luminaires at 90° or 120° apart, the EA extended arm may be required. Refer to the arm mounting requirement table on page 3. Round pole top adapter included. For wall mounting, specify wall mount bracket option. 3G vibration rated.

Finish
Housing finished in super durable TGIC polyester powder coat paint, 2.5 mil nominal thickness for superior protection against fade and wear. Heat sink is powder coated black. Standard colors include black, bronze, grey, white, dark platinum and graphite metallic. RAL and custom color matches available. Consult the McGraw-Edison Architectural Colors brochure for the complete selection.

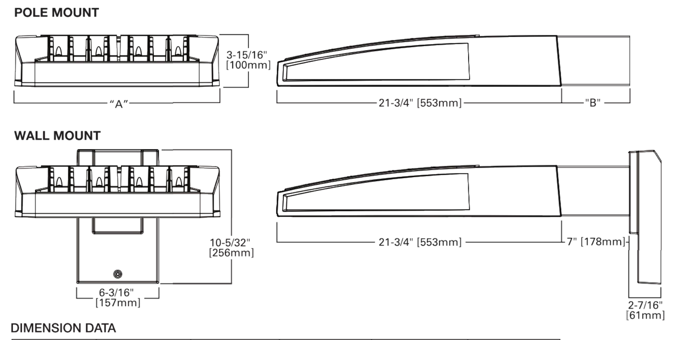
Warranty
Five-year warranty.

GLEON
GALLEON LED

1-10 Light Squares
Solid State LED

AREA/SITE LUMINAIRE

DIMENSIONS



DIMENSION DATA

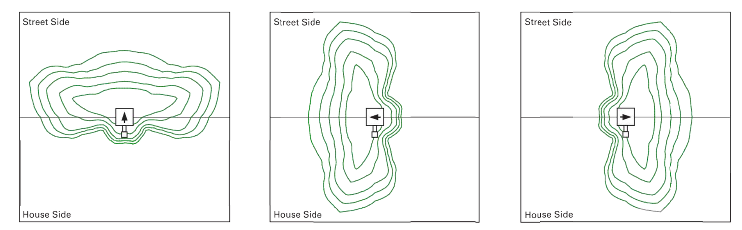
Number of Light Squares	"A" Width	"B" Standard Arm Length	"B" Optional Arm Length [1]	Weight with Arm (lbs.)	EPA with Arm [2] (Sq. Ft.)
1-4	15-1/2" (394mm)	7" (178mm)	10" (254mm)	33 (15.0 kgs.)	0.96
5-6	21-5/8" (549mm)	7" (178mm)	10" (254mm)	44 (20.0 kgs.)	1.00
7-8	27-5/8" (702mm)	7" (178mm)	13" (330mm)	54 (24.5 kgs.)	1.07
9-10	33-3/4" (857mm)	7" (178mm)	16" (406mm)	63 (28.6 kgs.)	1.12

NOTES: **1** Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table. **2** EPA calculated with optional arm length.

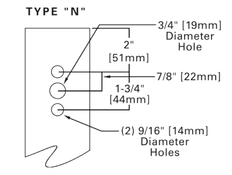
CERTIFICATION DATA
UL/cUL Wet Location Listed
ISO 9001
LM79 / LM80 Compliant
3G Vibration Rated
IP66 Rated
DesignLights Consortium® Qualified*

ENERGY DATA
Electronic LED Driver
>0.9 Power Factor
<20% Total Harmonic Distortion
120V-277V 50/60Hz
347V & 480V 60Hz
-40°C Min. Temperature
40°C Max. Temperature
50°C Max. Temperature (HA Option)

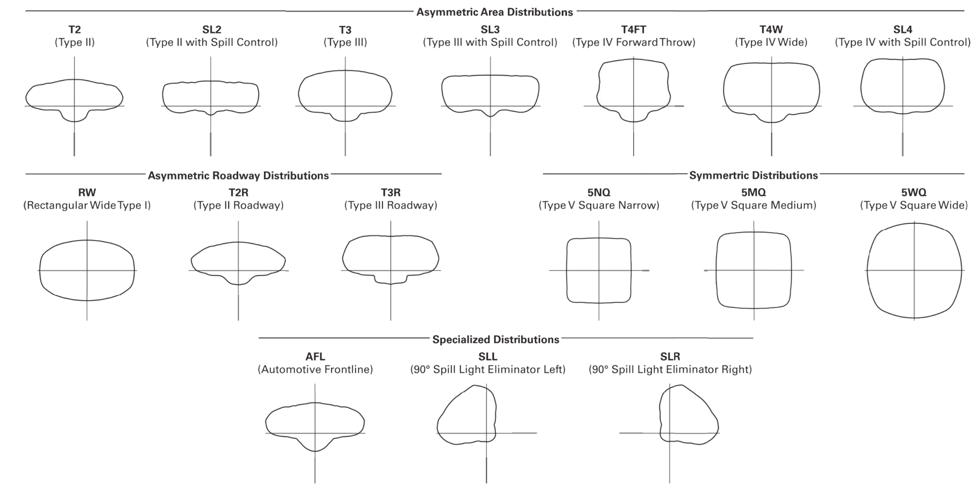
OPTIC ORIENTATION



DRILLING PATTERN

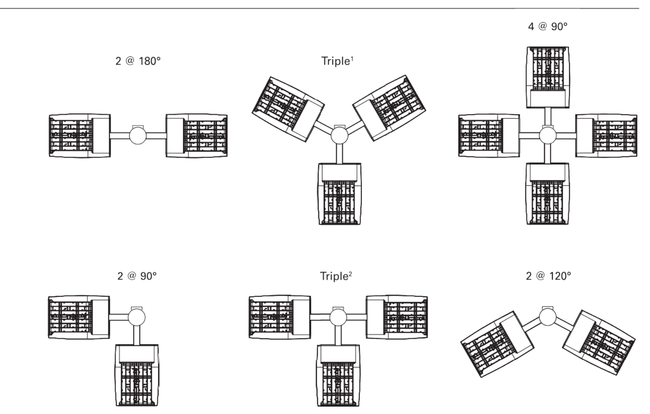


OPTICAL DISTRIBUTIONS



ARM MOUNTING REQUIREMENTS

Configuration	90° Apart	120° Apart
GLEON-AE-01	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-02	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-03	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-04	7" Arm (Standard)	7" Arm (Standard)
GLEON-AE-05	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-06	10" Extended Arm (Required)	7" Arm (Standard)
GLEON-AE-07	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-08	13" Extended Arm (Required)	13" Extended Arm (Required)
GLEON-AE-09	16" Extended Arm (Required)	16" Extended Arm (Required)
GLEON-AE-10	16" Extended Arm (Required)	16" Extended Arm (Required)



LUMEN MULTIPLIER

Ambient Temperature	Lumen Multiplier
0°C	1.02
10°C	1.01
25°C	1.00
40°C	0.99
50°C	0.97

LUMEN MAINTENANCE

Ambient Temperature	TM-21 Lumen Maintenance (60,000 Hours)	Theoretical L70 (Hours)
25°C	> 94%	> 350,000
40°C	> 93%	> 250,000
50°C	> 90%	> 170,000

ORDERING INFORMATION

Sample Number: GLEON-AE-04-LED-E1-T3-GM-700

Product Family [1]	Light Engine	Number of Light Squares [2]	Lamp Type	Voltage	Distribution	Color	Mounting
GLEON=Galleon	**AE**=1A Drive Current	**01**=1 **02**=2 **03**=3 **04**=4 **05**=5 **06**=6 **07**=7 **08**=8 **09**=9 **10**=10	**LED**=Solid State Light Emitting Diodes	**E1**=120-277V **347**=347V [3] **480**=480V [3,4]	**T2**=Type II **T2R**=Type II Roadway **T3**=Type III **T3R**=Type III Roadway **T4FT**=Type IV Forward Throw **T4W**=Type IV Wide **5NQ**=Type V Narrow **5MQ**=Type V Square Medium **5WQ**=Type V Square Wide **SL2**=Type II w/Spill Control **SL3**=Type III w/Spill Control **SL4**=Type IV w/Spill Control **SLL**=90° Spill Light Eliminator Left **SLR**=90° Spill Light Eliminator Right **RW**=Rectangular Wide Type I **AFL**=Automotive Frontline	**AP**=Grey **BZ**=Bronze **BK**=Black **DP**=Dark Platinum **GM**=Graphite Metallic **WH**=White	**[Blank]**=Arm for Round or Square Pole **EA**=Extended Arm [5] **MA**=Mast Arm Adapter [6] **WM**=Wall Mount

Options (Add as Suffix)	Accessories (Order Separately)
2L=Two Circuits [7,8] **7030**=70 CRI 3000K [9] **7060**=70 CRI 6000K [9] **530**=Drive Current Factory Set to 530mA [10] **700**=Drive Current Factory Set to 700mA [10] **F**=Single Fuse (120, 277 or 347V. Must Specify Voltage) **FF**=Double Fuse (208, 240 or 480V. Must Specify Voltage) **P**=Button Type Photocontrol (120, 208, 240 or 277V) **PER7**=NEMA 7-Pin Twistlock Photocontrol Receptacle **R**=NEMA Twistlock Photocontrol Receptacle **HA**=50°C High Ambient [8] **MS/DIM-L08**=Motion Sensor for Dimming Operation, Maximum 8' Mounting Height [11,12,13,14] **MS/DIM-L20**=Motion Sensor for Dimming Operation, 9' - 20' Mounting Height [11,12,13,14] **MS/DIM-L40**=Motion Sensor for Dimming Operation, 21' - 40' Mounting Height [11,12,13,14] **MS/X-L08**=Bi-Level Motion Sensor, Maximum 8' Mounting Height [11,12,13,14,15] **MS/X-L20**=Bi-Level Motion Sensor, 9' - 20' Mounting Height [11,12,13,14,15] **MS/X-L40**=Bi-Level Motion Sensor, 21' - 40' Mounting Height [11,12,13,14,15] **MS-L08**=Motion Sensor for ON/OFF Operation, Maximum 8' Mounting Height [11,12,13,14] **MS-L20**=Motion Sensor for ON/OFF Operation, 9' - 20' Mounting Height [11,12,13,14] **MS-L40**=Motion Sensor for ON/OFF Operation, 21' - 40' Mounting Height [11,12,13,14] **DIMRF-LW**=LumaWatt Wireless Sensor, Wide Lens for 8' - 16' Mounting Height [16] **DIMRF-LN**=LumaWatt Wireless Sensor, Narrow Lens for 16' - 40' Mounting Height [16] **L90**=Optics Rotated 90° Left **R90**=Optics Rotated 90° Right **MT**=Factory Installed Mesh Top **TH**=Tool-less Door Hardware **LCF**=Light Square Trim Plate Painted to Match Housing [17] **HSS**=Factory Installed House Side Shield [18]	**OA/RA1016**=NEMA Photocontrol Multi-Tap - 105-285V **OA/RA1027**=NEMA Photocontrol - 480V **OA/RA1201**=NEMA Photocontrol - 347V **OA/RA1013**=Photocontrol Shorting Cap **OA/RA1014**=120V Photocontrol **MA1252**=10kV Surge Module Replacement **MA1036-XX**=Single Tenon Adapter for 2-3/8" O.D. Tenon **MA1037-XX**=2@180° Tenon Adapter for 2-3/8" O.D. Tenon **MA1197-XX**=3@120° Tenon Adapter for 2-3/8" O.D. Tenon **MA1188-XX**=4@90° Tenon Adapter for 2-3/8" O.D. Tenon **MA1189-XX**=2@90° Tenon Adapter for 2-3/8" O.D. Tenon **MA1190-XX**=3@90° Tenon Adapter for 2-3/8" O.D. Tenon **MA1191-XX**=2@120° Tenon Adapter for 2-3/8" O.D. Tenon **MA1038-XX**=Single Tenon Adapter for 3-1/2" O.D. Tenon **MA1039-XX**=2@180° Tenon Adapter for 3-1/2" O.D. Tenon **MA1192-XX**=3@120° Tenon Adapter for 3-1/2" O.D. Tenon **MA1193-XX**=4@90° Tenon Adapter for 3-1/2" O.D. Tenon **MA1194-XX**=2@90° Tenon Adapter for 3-1/2" O.D. Tenon **MA1195-XX**=3@90° Tenon Adapter for 3-1/2" O.D. Tenon **FSIR-100**=Wireless Configuration Tool for Occupancy Sensor [19] **GLEON-MT1**=Field Installed Mesh Top for 1-4 Light Squares **GLEON-MT2**=Field Installed Mesh Top for 5-6 Light Squares **GLEON-MT3**=Field Installed Mesh Top for 7-8 Light Squares **GLEON-MT4**=Field Installed Mesh Top for 9-10 Light Squares **LS/HSS**=Field Installed House Side Shield [18,20]

Notes:
1. DesignLights Consortium® Qualified. Refer to www.designlights.org Qualified Products List under Family Models for details.
2. Standard 4000K CCT and minimum 70 CRI.
3. Requires the use of a step down transformer when combined with MS/DIM, MS/X or DIMRF.
4. Not to be used with un-grounded systems.
5. May be required when two or more luminaires are oriented on a 90° or 120° drilling pattern. Refer to arm mounting requirement table.
6. Factory installed.
7. 2L is not available with MS, MS/X or MS/DIM at 347V or 480V. 2L in AE-02 through AE-04 requires a larger housing, normally used for AE-05 or AE-06. Extended arm option may be required when mounting two or more fixtures per pole at 90° or 120°. Refer to arm mounting requirement table.
8. Not available with LumaWatt wireless sensors.
9. Extended lead times apply. Use dedicated IES files for 3000K and 6000K when performing layouts. These files are published on the Galleon luminaire product page on the website.
10. 1 Amp standard. Use dedicated IES files for 530mA and 700mA when performing layouts. These files are published on the Galleon luminaire product page on the website.
11. Consult factory for more information.
12. Utilizes internal step down transformer when 347V or 480V is selected.
13. The FSIR-100 accessory is required to adjust parameters.
14. Not available with HA option.
15. Replace X with number of Light Squares operating in low output mode.
16. LumaWatt wireless sensors are factory installed only requiring network components RF-EM1, RF-GW1 and RF-ROUT1 in appropriate quantities. See www.cooperlighting.com for LumaWatt application information.
17. Not available with house side shield (HSS).
18. Only for use with SL2, SL3, SL4 and AFL distributions. The Light Square trim plate is painted black when the HSS option is selected.
19. This tool enables adjustment of parameters including high and low modes, sensitivity, time delay, cutoff and more. Consult your Eaton's Cooper Lighting business representative for additional details.
20. One required for each Light Square.

MANUFACTURER SPECIFICATION SHEET FOR AREA FIXTURES 'S' AND 'D'

Lumark

DESCRIPTION

The patented Lumark Crosstour™ LED Wall Pack Series of luminaires provides an architectural style with super bright, energy efficient LEDs. The low-profile, rugged die-cast aluminum construction, universal back box, stainless steel hardware along with a sealed and gasketed optical compartment make the Crosstour impervious to contaminants. The Crosstour wall luminaire is ideal for wall/surface, inverted mount for façade/canopy illumination, post/bollard, site lighting, floodlight and low level pathway illumination including stairs. Typical applications include building entrances, multi-use facilities, apartment buildings, institutions, schools, stairways and loading docks test.

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

SPECIFICATION FEATURES

Construction
Slim, low-profile LED design with rugged one-piece, die-cast aluminum hinged removable door and back box. Matching housing styles incorporate both a small and medium design. The small housing is available in 12W, 18W and 26W. The medium housing is available in the 38W model. Patented secure lock hinge feature allows for safe and easy tool-less electrical connections with the supplied push-in connectors. Back box includes three half-inch, NPT threaded conduit entry points. The universal back box supports both the small and medium forms and mounts to standard 3-1/2" to 4" round and octagonal, 4" square, single gang and masonry junction boxes. Key hole gasket allows for adaptation to junction box or wall. External fin design extracts heat from the fixture surface. One-piece silicone gasket seals door and back box. Minimum 5" wide pole for site lighting application. Not recommended for car wash applications.

Optical
Silicone sealed optical LED chamber incorporates a custom engineered mirrored anodized reflector providing high-efficiency illumination. Optical assembly includes impact-resistant tempered glass and meets IESNA requirements for full cutoff compliance. Available in seven lumen packages; 5000K, 4000K and 3000K CCT.

Electrical
LED driver is mounted to the die-cast housing for optimal heat sinking. LED thermal management system incorporates both conduction and natural convection to transfer heat rapidly away from the LED source. 12W, 18W, 26W and 38W series operate in -40°C to 40°C [-40°F to 104°F]. High ambient 50°C models available. Crosstour luminaires maintain greater than 89% of initial light output after 72,000 hours of operation. Three half-inch NPT threaded conduit entry points allow for thru-branch wiring. Back box is an authorized electrical wiring compartment. Integral LED electronic driver incorporates surge protection. 120-277V 50/60Hz or 347V 60Hz models.

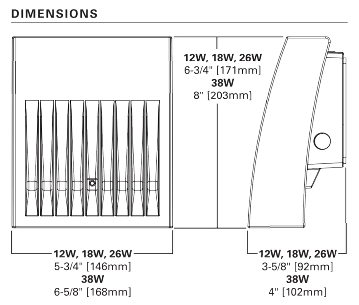
Finish
Crosstour is protected with a Super durable TGIC carbon bronze or summit white polyester powder coat paint. Super durable TGIC powder coat paint finishes withstand extreme climate conditions while providing optimal color and gloss retention of the installed life.

Warranty
Five-year warranty.

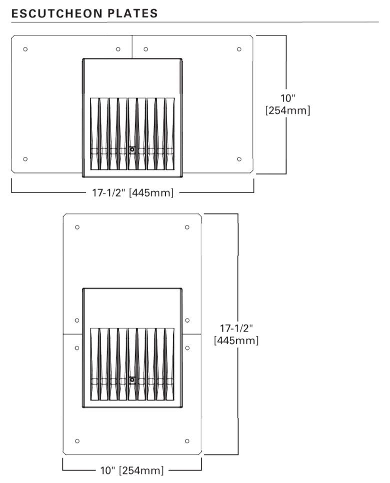
XTOR
CROSSTOUR LED

APPLICATIONS:
WALL / SURFACE
POST / BOLLARD
LOW LEVEL
FLOODLIGHT
INVERTED
SITE LIGHTING

DIMENSIONS



ESCUTCHEON PLATES



CERTIFICATION DATA
UL/cUL Wet Location Listed
LM79 / LM80 Compliant
ROHS Compliant
ADA Compliant
NOM Compliant Models
IP66 Ingressed Protection Rated
Title 24 Compliant
DesignLights Consortium® Qualified*

TECHNICAL DATA
40°C Maximum Ambient Temperature
External Supply Wiring 90°C Minimum

EPA
Effective Projected Area (Sq. Ft.):
XTOR1B, XT0R2B, XT0R3B=0.34
XTOR4B=0.45

SHIPPING DATA:
Approximate Net Weight:
3.7 – 5.25 lbs. [1.7 – 2.4 kgs.]

ORDERING INFORMATION

Sample Number: XTOR2B-W-WT-PC1

Series [1]	LED Kelvin Color	Housing Color	Options (Add as Suffix)	Accessories (Order Separately)
XTOR1B=Small Door, 12W **XTOR2B**=Small Door, 18W **XTOR3B**=Small Door, 26W **XTOR4B**=Medium Door, 38W	**[Blank]**=Bright White (Standard), 5000K **W**=Neutral White, 4000K **Y**=Warm White, 3000K	**[Blank]**=Carbon Bronze (Standard) **WT**=Summit White **BK**=Black **BZ**=Bronze **AP**=Grey **GM**=Graphite Metallic **DP**=Dark Platinum	**PC1**=Photocontrol 120V [2] **PC2**=Photocontrol 208-277V [2,3] **347V**=347V [4] **HA**=50°C High Ambient [4]	**WG/XTOR**=Wire Guard [5] **XTORFLD-KNC**=Knuckle Floodlight Kit [6] **XTORFLD-TRN**=Trunnion Floodlight Kit [6] **XTORFLD-KNC-WT**=Knuckle Floodlight Kit, Summit White [6] **XTORFLD-TRN-WT**=Trunnion Floodlight Kit, Summit White [6] **EWP/XTOR**=Escutcheon Wall Plate, Carbon Bronze **EWP/XTOR-WT**=Escutcheon Wall Plate, Summit White

NOTES:
1. DesignLights Consortium® Qualified and classified for both DLC Standard and DLC Premium, refer to www.designlights.org for details.
2. Photocontrols are factory installed.
3. Order PC2 for 347V models.
4. Thru-branch wiring not available with HA option or with 347V. XTOR3B not available with HA and 347V or 120V combination.
5. Wire guard for wall/surface mount. Not for use with floodlight kit accessory.
6. Floodlight kit accessory supplied with knuckle (KNC) or trunnion (TRN) base, small and large top visors and small and large impact shields.

STOCK ORDERING INFORMATION

12W Series	18W Series	26W Series	38W Series
XTOR1B=12W, 5000K, Carbon Bronze	**XTOR2B**=18W, 5000K, Carbon Bronze	**XTOR3B**=26W, 5000K, Carbon Bronze	**XTOR4B**=38W, 5000K, Carbon Bronze
XTOR1B-WT=12W, 5000K, Summit White	**XTOR2B-W**=18W, 4000K, Carbon Bronze	**XTOR3B-W**=26W, 4000K, Carbon Bronze	**XTOR4B-W**=38W, 4000K, Carbon Bronze
XTOR1B-PC1=12W, 5000K, 120V PC, Carbon Bronze	**XTOR2B-WT**=18W, 5000K, Summit White	**XTOR3B-WT**=26W, 5000K, Summit White	**XTOR4B-WT**=38W, 5000K, Summit White
XTOR1B-W=12W, 4000K, Carbon Bronze	**XTOR2B-PC1**=18W, 5000K, 120V PC, Carbon Bronze	**XTOR3B-PC1**=26W, 5000K, 120V PC, Carbon Bronze	**XTOR4B-PC1**=38W, 5000K, 120V PC, Carbon Bronze
XTOR1B-W-PC1=12W, 4000K, 120V PC, Carbon Bronze	**XTOR2B-W-PC1**=18W, 4000K, 120V PC, Carbon Bronze		**XTOR4B-W-PC1**=38W, 4000K, 120V PC, Carbon Bronze

MANUFACTURER SPECIFICATION SHEET FOR WALL FIXTURE 'W'

SSX STEEL
SQUARE
STRAIGHT

INVUE®

Catalog #		Type	
Project			
Comments		Date	
Prepared by			

FEATURES
- ASTM Grade steel base plate with ASTM A366 base cover
- Hand hole assembly 3" x 5" on 5" and 6" pole; and 2" x 4" on 4" pole
- 10'-39' mounting heights
- Drilled or tenon (specify)

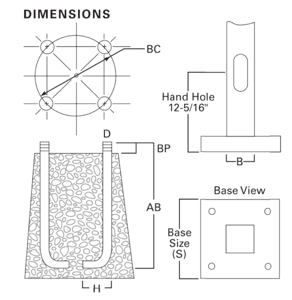
ORDERING INFORMATION

SAMPLE NUMBER: SSX5A20SGMM1G

Product Family	Shaft Size (Inches) [1]	Wall Thickness (Inches)	Mounting Height (Feet)	Base Type	Finish	Mounting Type	Number and Location of Arms	Options (Add as Suffix)
SSX=Steel Square Straight	**4**=4" **5**=5" **6**=6"	**A**=0.120" **M**=0.188" **X**=0.250"	**10**=10' **15**=15' **20**=20' **25**=25' **30**=30' **35**=35' **39**=39'	**S**=Square Steel Base	**AP**=Grey **BK**=Black **BZ**=Bronze **DP**=Dark Platinum **GM**=Graphite Metallic **GN**=Hartford Green **WH**=White	**2**=2-3/8" O.D. Tenon (4" Long) **3**=3-1/2" O.D. Tenon (5" Long) **4**=4" O.D. Tenon (6" Long) - Slide/Flite/Epic **5**=3" O.D. Tenon (4" Long) - Mesa **6**=2-3/8" O.D. Tenon (6" Long) **7**=4" O.D. Tenon (10" Long) - SDM1/SDM2 **A**=Icon and Ascent Small Drill Pattern **C**=Icon and Ascent Medium Drill Pattern **E**=Vision Site Small Drill Pattern **F**=Vision Site Structural Mount **G**=Vision Site Medium Structural Mount **J**=Icon Small Structural Drill Pattern **K**=Icon Medium Structural Drill Pattern **M**=Vision Site Medium Drill Pattern **X**=None	**1**=Single **2**=2 at 180° **3**=Triple [2] **4**=4 at 90° **5**=2 at 90° **X**=None	**A**=1/2" Tapped Hub (Specify location desired) **B**=3/4" Tapped Hub (Specify location desired) **C**=Convenience Outlet [3] **E**=GFCI Convenience Outlet [3] **G**=Ground Lug **H**=Additional Hand Hole [4] **V**=Vibration Dampener

NOTES: 1. All shaft sizes nominal. **2.** Square poles are 3 at 90°, round poles are 3 at 120°. **3.** Outlet is located 4' above base and on same side of pole as hand hole, unless specified otherwise. Receptacle not included, provision only. **4.** Additional hand hole is located 12" below pole top and 90° from standard hand hole location, unless otherwise specified.

DIMENSIONS



WARNING: The use of unauthorized accessories such as banners, signs, cameras or pennants for which the pole was not designed voids the pole warranty from Eaton's Cooper Lighting business and may result in pole failure causing serious injury or property damage. Upon request, Eaton's Cooper Lighting business will supply information regarding total loading capacity. The pole warranty from Eaton's Cooper Lighting business is void unless poles are used and installed as a complete pole/luminaire combination. This warranty specifically excludes failure as the result of a third party act or omission, misuse, unanticipated uses, fatigue failure or similar phenomena resulting from induced vibration, harmonic oscillation or resonance associated with movement of air currents around the product.

Specifications and dimensions subject to change without notice. Consult your Eaton's Cooper Lighting business representative or visit www.cooperlighting.com for available options, accessories and ordering information.

Effective Projected Area (At Pole Top)

Mounting Height (Feet)	Catalog Number [1,2]	Wall Thickness (Inches)	Base Square [3] (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection [3] (Inches)	Shaft Size [3] (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) [4]				Max. Fixture Load - Includes Bracket (Pounds)
MH			S	BC	BP	B	D x AB x H		80 mph	90 mph	100 mph	110 mph	
10	SSX4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	30.0	22.0	17.0	13.0	100
15	SSX4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	15.0	11.5	8.7	6.5	100
20	SSX4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	8.7	5.9	3.9	2.5	150
20	SSX5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	15.4	11.1	7.9	5.5	150
25	SSX4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.7	1.7	0.3	--	200
25	SSX5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	9.3	6.0	3.5	1.6	200
25	SSX6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.9	6.1	3.5	1.2	200
30	SSX5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	4.7	2.1	--	--	200
30	SSX5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	10.4	6.4	3.5	1.5	200
30	SSX6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.3	1.4	--	--	200
30	SSX6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	19.0	13.0	8.7	5.6	200
35	SSX5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.8	2.8	--	--	200
35	SSX6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	12.8	7.2	3.7	1.0	200
35	SSX6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.5	11.0	6.8	3.5	200
39	SSX6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.3	3.0	--	--	300
39	SSX6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	13.0	7.0	3.7	0.8	300

Effective Projected Area (Two Feet Above Pole Top)

Mounting Height (Feet)	Catalog Number [1,2]	Wall Thickness (Inches)	Base Square [3] (Inches)	Bolt Circle Diameter (Inches)	Anchor Bolt Projection [3] (Inches)	Shaft Size [3] (Inches)	Anchor Bolt Diameter x Length x Hook (Inches)	Net Weight (Pounds)	Maximum Effective Projected Area (Square Feet) [4]				Max. Fixture Load - Includes Bracket (Pounds)
MH			S	BC	BP	B	D x AB x H		80 mph	90 mph	100 mph	110 mph	
10	SSX4A10S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	85	23.0	17.5	14.0	11.0	100
15	SSX4A15S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	118	13.4	10.0	7.5	5.7	100
20	SSX4A20S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	150	7.6	5.2	3.4	2.1	150
20	SSX5A20S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	183	13.8	9.9	7.1	4.9	150
25	SSX4A25S	0.120	10-1/2	11	4-1/2	4	3/4 x 25 x 3	181	3.4	1.6	0.3	--	200
25	SSX5A25S	0.120	10-1/2	11	5	5	3/4 x 25 x 3	222	8.5	5.5	3.2	1.5	200
25	SSX6A25S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	284	9.1	5.6	3.0	1.2	200
30	SSX5A30S	0.120	10-1/2	11	4-1/2	5	3/4 x 25 x 3	260	1.8	--	--	--	200
30	SSX5M30S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	392	9.6	5.9	1.9	0.2	200
30	SSX6A30S	0.120	12-1/2	12-1/2	5	6	1 x 36 x 4	330	4.1	1.3	--	--	200
30	SSX6M30S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	489	18.5	12.5	8.4	5.3	200
35	SSX5M35S	0.188	10-1/2	11	4-1/2	5	3/4 x 25 x 3	453	5.5	2.4	--	--	200
35	SSX6M35S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	564	11.8	7.0	3.5	1.0	200
35	SSX6X35S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	738	16.0	10.5	6.4	3.4	200
39	SSX6M39S	0.188	12-1/2	12-1/2	5	6	1 x 36 x 4	618	7.0	2.4	--	--	300
39	SSX6X39S	0.250	12-1/2	12-1/2	5	6	1 x 36 x 4	816	12.0	6.7	3.0	0.5	300

NOTES:
1. Catalog number includes pole with hardware kit. Anchor bolts not included. Before installing, make sure proper anchor bolts and templates are obtained from Eaton's Cooper Lighting business.
2. Tenon size or machining for rectangular arms must be specified. Hand hole position relative to drill location.
3. Shaft size, base square, anchor bolts and projections may vary slightly. All dimensions nominal.
4. EPAs based on shaft properties with wind normal to flat. EPAs calculated using base wind velocity as indicated plus 30% gust factor.

MANUFACTURER SPECIFICATION SHEET OF POLES FOR FIXTURES 'S' AND 'D'

Galloway
Planning. Architecture. Engineering.
1755 Telstar Drive, Suite 107
Colorado Springs, Co 80920
719.900.7220 O
www.gallowayUS.com

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Tires LES SCHWAB

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NOT FOR CONSTRUCTION

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

Project No:	LST00067
Drawn By:	JTH
Checked By:	DNJ
Date:	4/6/2018

PHOTOMETRICS DETAILS

PP1.1

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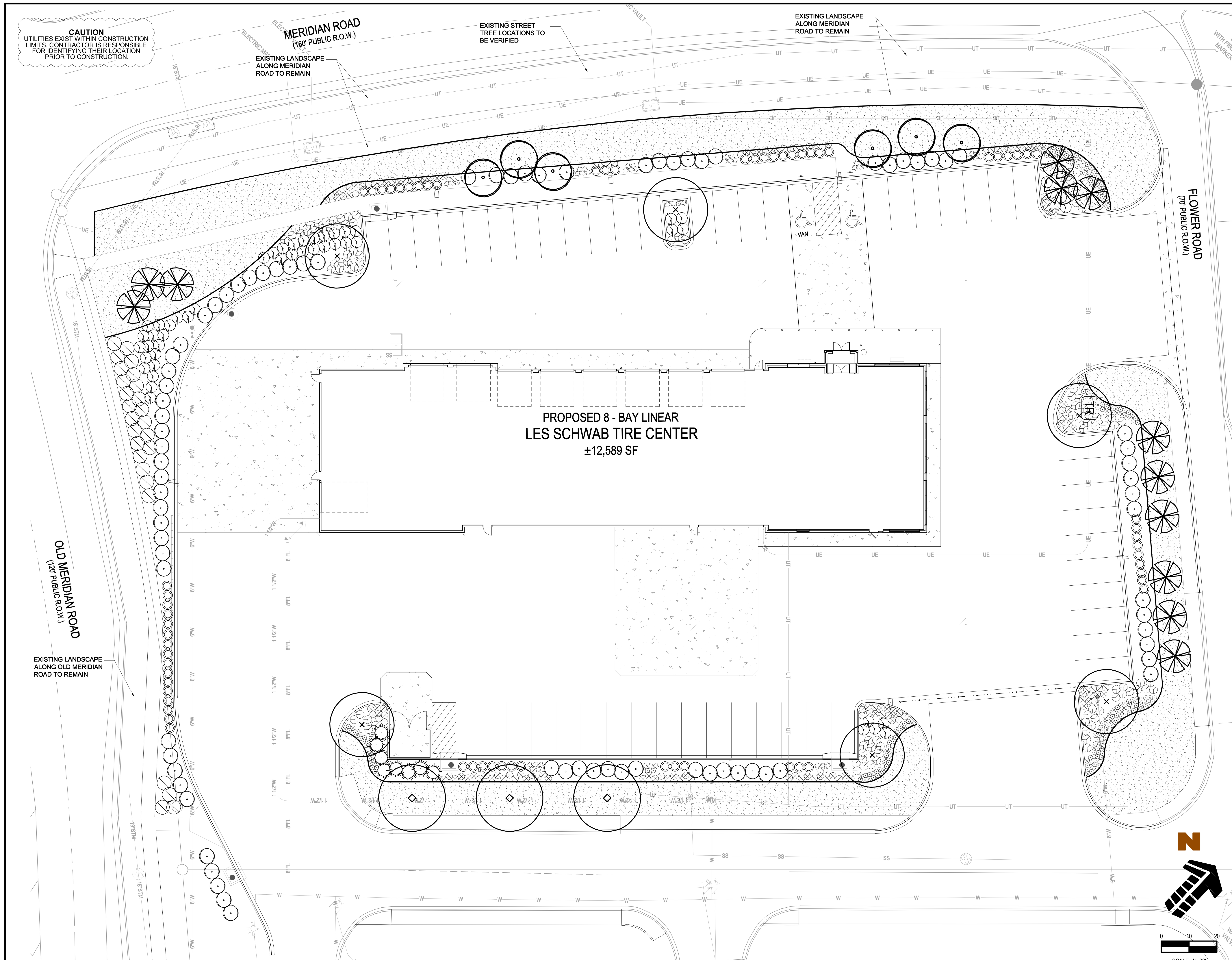


PLANTING LEGEND

SYMBOL	LEGEND ABBREV.	BOTANIC NAME	COMMON NAME	PLANTING SIZE	QUANTITY	MATURE SIZE	WATER USE
OVERSTORY DECIDUOUS TREES							
	AMGR	AMELANCHIER X GRANDIFLORA	AUTUMN BRILLIANCE SERVICEBERRY	2.0" CAL. B&B	12	20' X 10'	LOW
	GLSH	GLEDITSIA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2.0" CAL. B&B	6	40' X 40'	LOW
	QUMA	QUERCUS MACROCARPA	BUR OAK	2.0" CAL. B&B	3	50' X 40'	LOW
	SYRE	SYRINGA RETICULATA	JAPANESE TREE LILAC	2.0" CAL. B&B	6	15' X 12'	LOW
DECIDUOUS SHRUBS							
	PEAT	PEROVSKIA ATRIPLICIFOLIA	RUSSIAN SAGE	#5 CONTAINER 18"-24"	47	4' X 4'	LOW
	PRPB	PRUNUS BESSEYI 'PAWNEE BUTTES'	PAWNEE BUTTES SAND CHERRY	#5 CONTAINER 18"-24"	26	1.5' X 6'	LOW
	RORA	ROSA 'RADRAZZ'	KNOCK OUT ROSE	#5 CONTAINER 18"-24"	66	3' X 3'	LOW
EVERGREEN SHRUBS							
	EUIJ	EUONYMUS FORTUNEI 'IVORY JANE'	IVORY JANE EUONYMUS	#5 CONTAINER 18"-24"	78	3' X 6'	LOW
	JUME	JUNIPERUS X MEDIA 'SEA GREEN'	SEA GREEN JUNIPER	#5 CONTAINER 18"-24"	8	8' X 6'	LOW
ORNAMENTAL GRASSES AND PERENNIALS							
	CAKF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	#1 CONTAINER	49	4.5' X 2.0'	LOW
	COMO	COREOPSIS VERTICILLATA 'MOONBEAM'	MOONBEAM COREOPSIS	#1 CONTAINER	234	1.5' X 1.5'	LOW
	HESE	HELICTOTRICHON SEMPERVIRENS	BLUE AVENA GRASS	#1 CONTAINER	133	2' X 2'	LOW
	PEKR	PENNISETUM ORIENTALE 'KARLEY ROSE'	ORIENTAL FOUNTAIN GRASS	#1 CONTAINER	87	2' X 2'	LOW
SEED, MULCH AND MISCELLANEOUS							
	TURF	RTF SOD	SOD		13,033 SF	---	MODERATE
	MULCH	2" - 4" DIA. MULTI - COLOR ROCK MULCH W/ SHREDDED BARK MULCH RING, SEE MULCH NOTES	ROCK MULCH		9,701 SF	---	---
	STEEL EDGING				1,180 LF	---	---

UTILITY NOTES

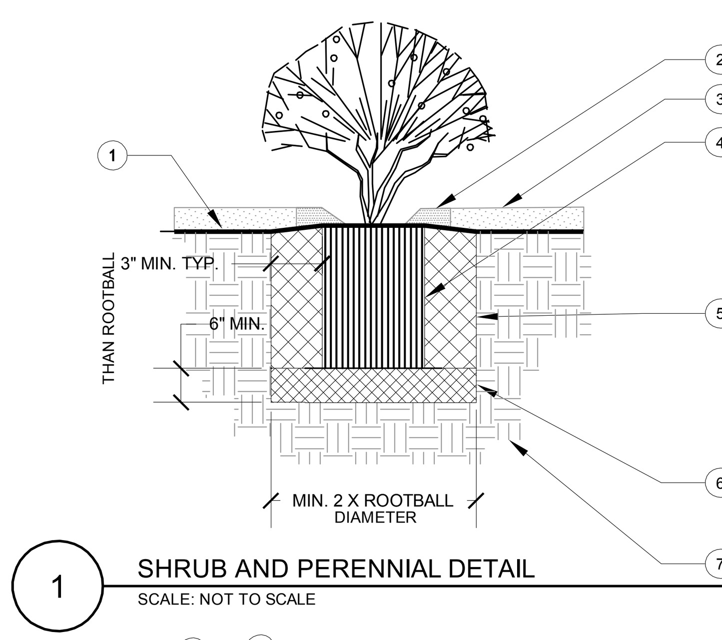
1. THE LANDSCAPE CONTRACTOR IS REQUIRED TO CONTACT THE COUNTY PUBLIC WORKS DEPARTMENT, AND ANY OTHER PUBLIC OR PRIVATE AGENCY NECESSARY FOR UTILITY LOCATION PRIOR TO ANY CONSTRUCTION.
2. THIS DRAWING IS A PART OF A COMPLETE SET OF BID DOCUMENTS, SPECIFICATIONS, ADDITIONAL DRAWINGS, AND EXHIBITS. UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE, AND REVIEWING ALL RELATED DOCUMENTS.
3. THE LOCATION OF THE ALL UNDERGROUND UTILITIES ARE LOCATED ON THE ENGINEERING DRAWINGS FOR THIS PROJECT. THE MOST CURRENT REVISION IS HERE IN MADE PART OF THIS DOCUMENT. UNDERGROUND UTILITIES EXIST THROUGHOUT THIS SITE AND MUST BE LOCATED PRIOR TO ANY CONSTRUCTION ACTIVITY. WHERE UNDERGROUND UTILITIES EXIST, FIELD ADJUSTMENT MAY BE NECESSARY AND MUST BE APPROVED BY A REPRESENTATIVE OF THE OWNER. NEITHER THE OWNER NOR THE LANDSCAPE ARCHITECT ASSUMES ANY RESPONSIBILITY WHATSOEVER, IN RESPECT TO THE CONTRACTORS ACCURACY IN LOCATING THE INDICATED PLANT MATERIAL, AND UNDER NO CIRCUMSTANCES SHOULD THESE PLANS BE USED WITHOUT REFERENCING THE ABOVE MENTIONED DOCUMENTS.

IRRIGATION CONCEPT

1. AN AUTOMATIC IRRIGATION SYSTEM SHALL BE INSTALLED AND OPERATIONAL BY THE TIME OF FINAL INSPECTION. THE ENTIRE IRRIGATION SYSTEM SHALL BE INSTALLED BY A QUALIFIED IRRIGATION CONTRACTOR.
2. THE IRRIGATION SYSTEM SHALL TAP OFF BUILDING'S POTABLE WATER SERVICE AFTER THE WATER METER, BEFORE BUILDING'S DOUBLE CHECK VALVE.
3. THE IRRIGATION SYSTEM WILL OPERATE ON POTABLE WATER, AND THE SYSTEM WILL HAVE APPROPRIATE BACKFLOW PREVENTION DEVICES INSTALLED TO PREVENT CONTAMINATION OF THE POTABLE SOURCE.
4. ALL NON-TURF/SEED PLANTED AREAS WILL BE DRIP IRRIGATED. TURF SOD/SEED SHALL RECEIVE POP-UP SPRAY IRRIGATION FOR HEAD TO HEAD COVERAGE.
5. ALL PLANTS SHARING SIMILAR HYDROZONE CHARACTERISTICS SHALL BE PLACED ON A VALVE DEDICATED TO PROVIDE THE NECESSARY WATER REQUIREMENTS SPECIFIC TO THAT HYDROZONE.
6. THE IRRIGATION SYSTEM SHALL BE DESIGNED AND INSTALLED, TO THE MAXIMUM EXTENT POSSIBLE, TO CONSERVE WATER BY USING THE FOLLOWING DEVICES AND SYSTEMS: MATCHED PRECIPITATION RATE TECHNOLOGY ON ROTOR AND SPRAY HEADS (WHEREVER POSSIBLE), RAIN SENSORS, AND SMART MULTI-PROGRAM COMPUTERIZED IRRIGATION CONTROLLERS FEATURING SENSORY INPUT CAPABILITIES.

LANDSCAPE GUARANTEE AND MAINTENANCE

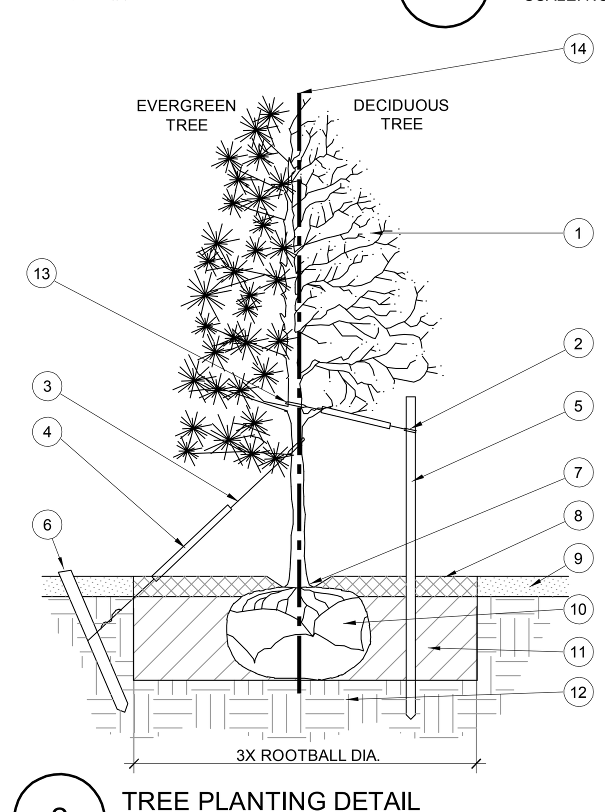
1. THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL TREES, SHRUBS, PERENNIALS, SOD, SEEDED AREAS, AND IRRIGATION SYSTEMS FOR A PERIOD OF ONE YEAR FROM THE DATE OF THE OWNER'S ACCEPTANCE. THE CONTRACTOR SHALL REPLACE, AT HIS OWN EXPENSE, ANY PLANTS WHICH DIE IN THAT TIME, OR REPAIR ANY PORTIONS OF THE IRRIGATION SYSTEM WHICH OPERATE IMPROPERLY.
2. THE LANDSCAPE CONTRACTOR SHALL MAINTAIN THE LANDSCAPE IN A NEAT, CLEAN, AND HEALTHY CONDITION FOR A PERIOD OF 90 DAYS. THIS SHALL INCLUDE PROPER PRUNING, MOWING AND AERATION OF LAWNS, WEEDING, REPLACEMENT OF MULCH, REMOVAL OF LITTER, AND THE APPROPRIATE WATERING OF ALL PLANTINGS. IRRIGATION SHALL BE MAINTAINED IN PROPER WORKING ORDER, WITH SCHEDULING ADJUSTMENTS BY SEASON AND TO MAXIMIZE WATER CONSERVATION. IF SITE OPENS DURING WINTER, TO AVOID FREEZE DAMAGE ON PLANTINGS, THE 90 DAYS SHOULD BEGIN AFTER ACCEPTANCE OF THE WORK.
3. DURING THE LANDSCAPE MAINTENANCE PERIOD, THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES IN ALL LANDSCAPE AREAS AT THE MINIMUM SLOPE SPECIFIED IN THE GEOTECHNICAL REPORT. LANDSCAPE AREAS WHICH SETTLE AND CREATE THE POTENTIAL FOR PONDING SHALL BE REPAIRED TO ELIMINATE PONDING POTENTIAL AND BLEND IN WITH THE SURROUNDING GRADES. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.



1. FINISH GRADE IN PLANTING AREA.
2. DOUBLE SHREDDED CEDAR BARK MULCH, 4" DEEP, INSTALLED TO 1.5X THE CONTAINER WIDTH OF ALL SHRUBS.
3. MULCH, SPECIFIED IN PLANTING LEGEND.
4. PLANT ROOT BALL. SET TOP ROOTBALL 2" ABOVE ADJECENT GRADE. IN BERMED AREAS SET ROOTBALL 2" ABOVE LOWER ADJECENT GRADE - INSTALL WATER RING (2 - 3" HT.)
5. BACKFILL MIX (PER PLANTING SPECIFICATIONS). AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS. JET BACKFILL WITH WATER TO ELIMINATE VOIDS.
6. COMPACTED BACKFILL MIX (75%).
7. UNDISTURBED NATIVE SOIL.

1 SHRUB AND PERENNIAL DETAIL

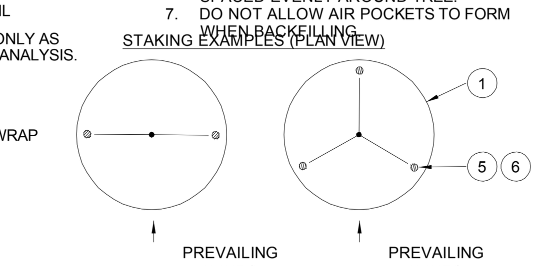
SCALE: NOT TO SCALE



1. TREE CANOPY.
2. NYLON TREE STRAPS AT ENDS OF WIRES - SECURE TO STAKE OR DEADMEN WITH NAILS.
3. 12 GAUGE GALVANIZED WIRE. SECURE TO TRUNK JUST ABOVE LOWEST MAJOR BRANCHES.
4. 24" X 3/4" P.V.C. MARKERS OVER WIRES.
5. PRESSURE-TREATED WOOD STAKE, 2" DIA. EXTEND STAKES 12" MIN. INTO UNDISTURBED SOIL.
6. PRESSURE-TREATED WOOD DEADMEN, TWO PER TREE (MIN.). BURY OUTSIDE OF PLANTING PIT AND 18" MIN. INTO UNDISTURBED SOIL.
7. TRUNK FLARE.
8. WOOD MULCH TREE RING 3' DIA MIN. TYPE AND DEPTH PER PLANS. DO NOT PLACE MULCH WITHIN 3" OF TRUNK.
9. FINISH GRADE. SEE PLANTING PLAN FOR GROUND COVER TREATMENT
10. ROOT BALL-SEE NOTE 3, THIS DETAIL
11. BACKFILL. AMEND AND FERTILIZE ONLY AS RECOMMENDED IN SOIL FERTILITY ANALYSIS.
12. UNDISTURBED NATIVE SOIL
13. SOFT VELCRO, OR OTHER FABRIC WRAP
14. CENTRAL LEADER, SEE CROWN OBSERVATION DETAIL

NOTES:
1. SCARIFY SIDES OF PLANTING PIT PRIOR TO SETTING TREE.
2. REMOVE EXCESS SOIL APPLIED ON TOP OF THE ROOTBALL THAT COVERS THE ROOT FLARE. THE PLANTING HOLE DEPTH SHALL BE SUCH THAT THE ROOTBALL RESTS ON UNDISTURBED SOIL, AND THE ROOT FLARE IS 3"-5" ABOVE FINISH GRADE.
3. CUT OFF BOTTOM 1/3 OF WIRE BASKET BEFORE PLACING TREE IN HOLE, CUT OFF AND REMOVE REMAINDER OF BASKET AFTER TREE IS SET IN HOLE. REMOVE ALL NYLON TIES, TWINE, ROPE, AND OTHER PACKING MATERIAL. REMOVE ALL BURLAP FROM AROUND ROOTBALL.
4. TREE WRAP IS NOT TO BE USED ON ANY NEW PLANTINGS, EXCEPT IN LATE FALL PLANTING SITUATIONS, AND ONLY THEN AFTER CONSULTATION WITH THE LANDSCAPE ARCHITECT. WHEN WRAPPING TREE, WRAP FROM TRUNK FLARE TO LOWEST MAJOR BRANCH.
5. REMOVE ALL NURSERY STAKES AFTER PLANTING.
6. FOR TREES OVER 3" CALIPER, USE THREE STAKES OR DEADMEN (AS APPROPRIATE), SPACED EVENLY AROUND TREE.
7. DO NOT ALLOW AIR POCKETS TO FORM WHEN BACKFILLING.

STAKING EXAMPLES (PLAN VIEW)



2 TREE PLANTING DETAIL

SCALE: NOT TO SCALE

PLANTING NOTES

GENERAL
1. ALL WORK SHALL CONFORM TO ALL APPLICABLE STATE AND LOCAL CODES, STANDARDS, AND SPECIFICATIONS.
2. LANDSCAPE DESIGN IS DIAGRAMMATIC IN NATURE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN TAKEOFFS AND QUANTITY CALCULATIONS. IN THE EVENT OF A DISCREPANCY BETWEEN THE PLAN AND THE LANDSCAPE LEGEND, THE PLANT QUANTITY AS SHOWN ON THE PLAN SHALL TAKE PRECEDENCE AND NOTIFY THE LANDSCAPE ARCHITECT OF THESE DISCREPANCIES. MINOR ADJUSTMENTS TO THE LANDSCAPE MATERIAL AND LOCATIONS MAY BE PROPOSED FOR CITY CONSIDERATION AT THE CONSTRUCTION DOCUMENT STAGE TO RESPOND TO MARKET AND FIELD CONDITIONS. HOWEVER, THERE SHALL BE NO REDUCTION IN THE NUMBER AND SIZE OF MATERIALS.
3. CONTRACTOR SHALL MAKE HIMSELF AWARE OF THE LOCATIONS OF EXISTING AND PROPOSED UTILITIES, AND SHALL BE RESPONSIBLE FOR ANY DAMAGE TO THE UTILITIES AND/OR ANY INJURY TO ANY PERSON. THIS DRAWING IS PART OF A COMPLETE SET OF CONTRACT DOCUMENTS. UNDER NO CIRCUMSTANCES SHOULD THIS PLAN BE USED FOR CONSTRUCTION PURPOSES WITHOUT EXAMINING ACTUAL LOCATIONS OF UTILITIES ON SITE AND REVIEW ALL RELATED PLANS AND DOCUMENTS.
4. ALL UTILITY EASEMENTS SHALL REMAIN UNOBSTRUCTED AND FULLY ACCESSIBLE ALONG THEIR ENTIRE LENGTH FOR MAINTENANCE EQUIPMENT.
5. THE CONTRACTOR SHALL TAKE EXTREME CARE NOT TO DAMAGE ANY EXISTING PLANTS INDICATED AS "TO REMAIN". ANY SUCH PLANTS DAMAGED BY THE CONTRACTOR SHALL BE REPLACED WITH THE SAME SPECIES, SIZE, AND QUANTITY AT THE CONTRACTOR'S OWN EXPENSE, AND AS ACCEPTABLE TO THE OWNER. REFER TO THE TREE PROTECTION NOTES ON THE PLANS (AS APPLICABLE).
6. LANDSCAPE CONTRACTOR SHALL EXAMINE THE SITE CONDITIONS UNDER WHICH THE WORK IS TO BE PERFORMED AND NOTIFY THE GENERAL CONTRACTOR IN WRITING OF UNSATISFACTORY CONDITIONS. IF SITE CONDITIONS OR PLANT AVAILABILITY REQUIRE CHANGES TO THE PLAN, THEN AN APPROVAL WILL BE OBTAINED FROM THE CITY. DO NOT PROCEED UNTIL CONDITIONS HAVE BEEN CORRECTED.
7. ALL CONSTRUCTION DEBRIS AND MATERIAL SHALL BE REMOVED AND CLEANED OUT PRIOR TO INSTALLATION OF TOPSOIL, TREES, SHRUBS, AND TURF.
8. FOR ALL INFORMATION ON SURFACE MATERIAL OF WALKS, DRIVES, AND PARKING LOTS, SEE THE SITE PLAN. SEE PHOTOMETRIC PLAN FOR FREE STANDING LIGHTING INFORMATION.
9. THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT ONE WEEK PRIOR TO BEGINNING CONSTRUCTION.
10. WINTER WATERING SHALL BE AT THE EXPENSE OF THE CONTRACTOR UNTIL SUCH TIME AS FINAL ACCEPTANCE IS RECEIVED.
11. ALL LANDSCAPE CONSTRUCTION PRACTICES, WORKMANSHIP, AND ETHICS SHALL, BE IN ACCORDANCE WITH INDUSTRY STANDARDS SET FORTH IN THE CONTRACTORS HANDBOOK PUBLISHED BY THE COLORADO LANDSCAPE CONTRACTORS ASSOCIATION.
12. LANDSCAPE AND IRRIGATION WORK SHALL BE COMPLETED PRIOR TO THE ISSUANCE OF THE FINAL CERTIFICATE OF OCCUPANCY.

FINISH GRADING AND SOIL PREPARATION
13. CONTRACTOR SHALL CONSTRUCT AND MAINTAIN FINISH GRADES AS RECOMMENDED BY THE GEOTECHNICAL REPORT. ALL LANDSCAPE AREAS SHALL HAVE POSITIVE DRAINAGE AWAY FROM STRUCTURES AT THE MINIMUM SLOPE SPECIFIED IN THE REPORT, AND AREAS OF POTENTIAL PONDING SHALL BE REGRADED TO BLEND IN WITH THE SURROUNDING GRADES AND ELIMINATE PONDING POTENTIAL. SHOULD ANY CONFLICTS AND/OR DISCREPANCIES ARISE BETWEEN THE GEOTECHNICAL REPORT, THE GRADING PLANS, THESE NOTES, AND ACTUAL CONDITIONS, THE CONTRACTOR SHALL IMMEDIATELY BRING SUCH ITEMS TO THE ATTENTION OF THE LANDSCAPE ARCHITECT AND OWNER.
14. AFTER FINISH GRADES HAVE BEEN ESTABLISHED, IT IS RECOMMENDED THAT THE CONTRACTOR SHALL HAVE SOIL SAMPLES TESTED BY AN ESTABLISHED SOIL TESTING LABORATORY FOR THE FOLLOWING: GENERAL SOIL FERTILITY, PH, ORGANIC MATTER CONTENT, SALT (CEC), LIME, SODIUM ADSORPTION RATIO (SAR) AND BORON CONTENT. EACH SAMPLE SUBMITTED SHALL CONTAIN NO LESS THAN ONE QUART OF SOIL. CONTRACTOR SHALL ALSO SUBMIT THE PROJECT'S PLANT LIST TO THE LABORATORY ALONG WITH THE SOIL SAMPLES. THE SOIL REPORT PRODUCED BY THE LABORATORY SHALL CONTAIN RECOMMENDATIONS FOR THE FOLLOWING (AS APPROPRIATE): GENERAL SOIL PREPARATION AND BACKFILL MIXES, PRE-PLANT FERTILIZER APPLICATIONS, AND ANY OTHER SOIL RELATED ISSUES. THE REPORT SHALL ALSO PROVIDE A FERTILIZER PROGRAM FOR THE ESTABLISHMENT PERIOD AND FOR LONG-TERM MAINTENANCE.
15. THE CONTRACTOR SHALL RECOMMEND INSTALLATION OF SOIL AMENDMENTS AND FERTILIZERS PER THE SOILS REPORT FOR THE THE OWNER/OWNER'S REPRESENTATIVE CONSIDERATION.
16. AT A MINIMUM, ALL TOPSOIL SHALL BE AMENDED WITH NITROGEN STABILIZED ORGANIC AMENDMENT COMPOST AT A RATE OF 5.0 CUBIC YARDS AND AMMONIUM PHOSPHATE 16-20-0 AT A RATE OF 15 POUNDS PER THOUSAND SQUARE FEET OF LANDSCAPE AREA. COMPOST SHALL BE MECHANICALLY INTEGRATED INTO THE TOP 6" OF SOIL BY MEANS OF ROTOTILLING AFTER CROSS-RIPPING. GROUND COVER & PERENNIAL BED AREAS SHALL BE AMENDED AT A RATE OF 8 CUBIC FEET PER THOUSAND SQUARE FEET OF NITROGEN STABILIZED ORGANIC AMENDMENT AND 10 LBS. OF 12-12-12 FERTILIZER PER CU. YD., ROTOTILLED TO A DEPTH OF 8". NO MANURE OR ANIMAL-BASED PRODUCTS SHALL BE USED FOR ORGANIC AMENDMENTS.

PLANTING
17. ALL DECIDUOUS TREES SHALL HAVE FULL, WELL-SHAPED HEADS/ALL EVERGREENS SHALL BE UNSHEARED AND FULL TO THE GROUND; UNLESS OTHERWISE SPECIFIED. TREES WITH CENTRAL LEADERS WILL NOT BE ACCEPTED IF LEADER IS DAMAGED OR REMOVED. PRUNE ALL DAMAGED TWIGS AFTER PLANTING.
18. ALL PLANTS WITHIN A SPECIES SHALL HAVE SIMILAR SIZE, AND SHALL BE OF A FORM TYPICAL FOR THE SPECIES. ANY PLANT DEEMED UNACCEPTABLE BY THE LANDSCAPE ARCHITECT SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND SHALL BE REPLACED WITH AN ACCEPTABLE PLANT OF LIKE TYPE AND SIZE AT THE CONTRACTOR'S OWN EXPENSE. ANY PLANTS APPEARING TO BE UNHEALTHY, EVEN IF DETERMINED TO STILL BE ALIVE, SHALL NOT BE ACCEPTED. THE LANDSCAPE ARCHITECT SHALL BE THE SOLE JUDGE AS TO THE ACCEPTABILITY OF PLANT MATERIAL.
19. ALL TREES SHALL BE GUYED AND WOOD STAKED AS PER DETAILS. NO 'T-STAKES' SHALL BE USED FOR TREES.
20. ALL PLANT MATERIALS SHALL BE TRUE TO TYPE, SIZE, SPECIES, QUALITY, AND FREE OF INJURY, BROKEN ROOT BALLS, PESTS, AND DISEASES, AS WELL AS CONFORM TO THE MINIMUM REQUIREMENTS DESCRIBED IN THE "AMERICAN STANDARD FOR NURSERY STOCK". FOLLOW GREENCO TREE PLANTING RECOMMENDATIONS FOR MINIMUM QUALITY REQUIREMENTS FOR TREES.
21. ALL TREE AND SHRUB BED LOCATIONS ARE TO BE STAKED OUT ON SITE FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
22. ALL TREES PLANTED ADJACENT TO PUBLIC AND/OR PEDESTRIAN WALKWAYS AND/OR SIGHT TRIANGLES SHALL BE PRUNED CLEAR OF ALL BRANCHES BETWEEN GROUND AND A HEIGHT OF EIGHT (8) FEET FOR THAT PORTION OF THE PLAN LOCATED OVER THE SIDEWALK AND/OR ROAD.
23. ALL TURF IS SPECIFIED THROUGH GREEN VALLEY TURF COMPANY, 13159 N. US HIGHWAY 85, LITTLETON, CO 80125, (303) 798-6764. RTF TALL FESCUE HAS BEEN APPROVED IN MANY JURISDICTIONS AS A LOW-MODERATE HYDROZONE PLANT MATERIAL. INSTALL AND MAINTAIN IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
24. ALL PLANT MATERIAL SHALL NOT BE PLANTED PRIOR TO INSTALLATION OF TOPSOIL.
25. ALL PLANT BEDS SHALL BE CONTAINED WITH STEEL EDGER. STEEL EDGER IS NOT REQUIRED ALONG CURBS, WALKS OR BUILDING FOUNDATIONS. ALL EDGING SHALL OVERLAP AT JOINTS A MINIMUM OF 6-INCHES, AND SHALL BE FASTENED WITH A MINIMUM OF 4 PINS PER EACH 10 FOOT SECTION. THE TOP OF ALL EDGING MATERIAL SHALL BE A ROLLED TOP AND 1/2 INCH ABOVE THE FINISHED GRADE OF ADJACENT LAWN OR MULCH AREAS. COLOR: BLACK.
26. THE DEVELOPER, HIS SUCCESSOR, OR ASSIGNEE SHALL BE RESPONSIBLE FOR ESTABLISHING AND CONTINUING A REGULAR PROGRAM OF MAINTENANCE FOR ALL LANDSCAPED AREAS. SEE LANDSCAPE GUARANTEE AND MAINTENANCE NOTE.
27. A 3-FOOT CLEAR SPACE SHALL BE MAINTAINED AROUND THE CIRCUMFERENCE OF ALL FIRE HYDRANTS.
28. LANDSCAPE CONTRACTOR TO SUBMIT SAMPLES OF MISCELLANEOUS LANDSCAPING MATERIALS TO THE LANDSCAPE ARCHITECTS AND OWNER'S REPRESENTATIVE FOR APPROVAL PRIOR TO INSTALLATION, IE.; MULCH, EDGER, LANDSCAPE FABRIC, ETC.

MULCHING
29. ALL MULCH IS RECOMMENDED THROUGH SANTA FE SAND AND GRAVEL, 6601 S SANTA FE DRIVE, LITTLETON, CO 80120, (303) 794-5960
30. AFTER ALL PLANTING IS COMPLETE, THE CONTRACTOR SHALL INSTALL A MINIMUM 4" THICK LAYER OF MULCH AS SPECIFIED IN THE PLANTING LEGEND. INSTALL A 4" THICK RING OF DOUBLE SHREDDED CEDAR BARK MULCH AROUND ALL PLANT MATERIAL IN ROCK MULCH BEDS WHERE LANDSCAPING IS SHOWN ON THE PLANS. WOOD MULCH RING SIZE SHALL BE THE CONTAINER SIZE OF THE SHRUBS, PERENNIALS, AND ORNAMENTAL GRASSES. TREE RING SIZE SHALL BE GREEN INDUSTRIES OF COLORADO INDUSTRY STANDARD WIDTH.
31. ALL MULCH SHALL BE HARVESTED IN A SUSTAINABLE MANNER FROM A LOCAL SOURCE.
32. INSTALL DEWITT PRO-5 WEED BARRIER FABRIC UNDER ALL ROCK MULCH SHRUB BEDS SPECIFIED ON THE PLANS ONLY. NO LANDSCAPE FABRIC SHALL BE USED IN WOOD MULCH AREAS. NO PLASTIC WEED BARRIERS SHALL BE SPECIFIED.
33. ABSOLUTELY NO EXPOSED GROUND SHALL BE LEFT SHOWING ANYWHERE ON THE PROJECT AFTER MULCH HAS BEEN INSTALLED.
34. ALL PLANTING AREAS WITH LESS THAN A 4:1 GRADIENT SHALL RECEIVE A LAYER OF MULCH, TYPE AND DEPTH PER PLANS. SUBMIT 1 CUBIC FOOT SAMPLE OF MULCH (ONE SAMPLE PER TYPE) TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. THE MULCH SHALL BE SPREAD EVENLY THROUGHOUT ALL PLANTING AREAS EXCEPT SLOPES 4:1 OR STEEPER, OR AS OTHERWISE DENOTED ON THE PLAN. ABSOLUTELY NO EXPOSED GROUND SHALL REMAIN IN AREAS TO RECEIVE MULCH AFTER MULCH HAS BEEN INSTALLED.
35. ALL PLANTING AREAS ON SLOPES OVER 4:1 SHALL RECEIVE COCONUT FIBER EROSION CONTROL NETTING FROM ROLLS. NETTING SHALL BE #CT-125, AS MANUFACTURED BY NORTH AMERICAN GREEN (OR EQUAL). INSTALL AND STAKE PER MANUFACTURER'S SPECIFICATIONS. SEE ALSO THE CIVIL ENGINEER'S EROSION CONTROL PLAN.

Galloway
Planning. Architecture. Engineering.
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719.900.7220 O
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Tires LES SCHWAB

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LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4

7105 N. MERIDIAN ROAD
FALCON, COLORADO

#	Date	Issue / Description	Init.
0	3/27/18	CLIENT SET	JDP
1	4/6/18	SDP SET	JDP

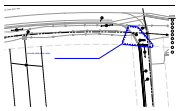
Project No:	LST00067
Drawn By:	DTT
Checked By:	JDP
Date:	4/6/2018

LANDSCAPE PLAN

L1.1

Markup Summary

dsdnijkamp (9)



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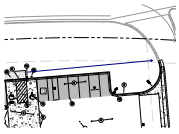
provide pedestrian ramp.



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Please call out all adjacent property owners or platted name for all lots adjacent to the two/one you are developing.

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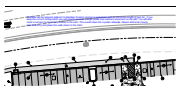
provide appropriate signs for right turn only (or no left turn).



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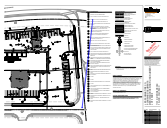
Sidewalk will be required adjacent to Meridian Road to connect a pedestrian path for the entire length of your lot. If you keep the current configuration you will need to provide a larger public improvement easement on the plat. You will also need to connect to the drive entrance to the east. This would make this a public sidewalk. Please reference County criteria and try and place this walk closer to the C&G.



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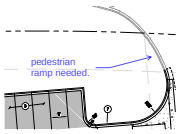

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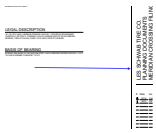
pedestrian ramp needed.



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Please call all GEC plan sheets in this set as preliminary grading plan.
note that this plan is not being reviewed as the official GEC plan.

dsdsevigny (3)

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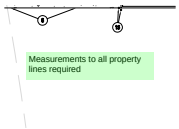
The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval:
The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

A separate ADA route sheet needs to be included in the submittal application



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Measurements to all property lines required

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Date: 5/7/2018 7:48:57 AM
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Please provide the required parking spaces by the LDC and the amount of parking provided along with ADA parking.