



LES SCHWAB TIRE CO.
PLANNING DOCUMENTS
MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4
7105 N. MERIDIAN ROAD
FALCON, COLORADO

Project No:	LST00067
Drawn By:	JRP
Checked By:	JDP
Date:	4/6/2018

C2.0

1	PROPOSED STORM SEWER LINE.
2	PROPOSED STORM SEWER INLET.
3	PROPOSED STORM SEWER MANHOLE
4	PROPOSED CONNECTION TO EXISTING STORM SEWER MANHOLE
5	A.D.A. PARKING. MAX SLOPE 2% IN ANY DIRECTION.
6	EXPOSED BUILDING FOUNDATION.
7	PROPOSED LANDSCAPE WALL. SEE DETAIL 6/C1.6.

	PROPERTY BOUNDARY LINE
	ADJACENT PROPERTY BOUNDARY LINE
	RIGHT OF WAY LINE
	BUILDING SETBACK
	EASEMENT BOUNDARY LINE
	EXISTING TO REMAIN
	EXISTING TO BE REMOVED
	PROPOSED BY OTHERS
	PROPOSED NEW
	PROPOSED BIO-RETENTION BOUNDARY
	EXISTING CURB & GUTTER TO REMAIN
	EXISTING CURB & GUTTER TO BE REMOVED
	PROPOSED CURB & GUTTER
	PROPOSED CONCRETE PAVING
	PROPOSED STANDARD DUTY ASPHALT PAVING
	PROPOSED HEAVY DUTY ASPHALT PAVING
	PROPOSED LANDSCAPE
	PROPOSED SIDEWALK
	SAWCUT LINE
	PARKING COUNT
	PROPOSED TRANSFORMER
	PROPOSED SITE LIGHTING
	PROPOSED BACKFLOW PREVENTER
	PROPOSED METER
	PROPOSED DOUBLE DETECTOR CHECK
	PROPOSED SANITARY MANHOLE
	PROPOSED REGULATORY SIGN
	EXISTING SANITARY SEWER MANHOLE COVER
	EXISTING STORMDRAIN MANHOLE COVER
	EXISTING INLET
	EXISTING STREET LIGHT
	EXISTING FIRE HYDRANT

1. CONTRACTOR TO FURNISH AND INSTALL ALL ITEMS INDICATED AS NEW AND/OR PROPOSED.
2. ADD 6800' TO ALL SPOT ELEVATIONS.
3. CONTRACTOR SHALL FIELD VERIFY GRADES IN THE LOCATION INDICATED AT THE TIME OF CONSTRUCTION. CARE SHALL BE TAKEN TO MATCH EXISTING GRADES AT PROPERTY LINE TO ENSURE A SMOOTH TRANSITION BETWEEN PROPOSED ASPHALT PAVEMENT AND ADJACENT PROPERTY.

— 339 —	EXISTING MINOR CONTOUR
— 39 —	EXISTING MAJOR CONTOUR
— 39 —	PROPOSED MINOR CONTOUR
— 340 —	PROPOSED MAJOR CONTOUR
40.0' XX	PROPOSED SPOT ELEVATION
FF	FINISHED FLOOR
TOS	TOP OF SIDEWALK
TC	TOP OF CURB
P	TOP OF PAVEMENT
FL	FLOWLINE
HP	HIGH POINT
LP	LOW POINT
ME	MATCH EXISTING
GB	GRADE BREAK
C	TOP OF CONCRETE
EOC	EDGE OF CONCRETE
FG	FINISH GRADE
TOG	TOP OF GRATE
BOW	BACK OF WALK
FS	FINISH SURFACE
TOE	TOE OF SLOPE
TOC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
BW	BOTTOM OF WALL
TW	TOP OF WALL

DETENTIC

VIEW

Please specify where the 24" pipe ties into existing PLD. The inlet cannot be located directly net to the outlet control structure.

NOTE: CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL INFORMATION FOR FINAL ACCEPTANCE OF WORK FOR ANY LOCAL, STATE OR FEDERAL AGENCY, UTILITY DISTRICT OR ANY OTHER AGENCY OR DISTRICT HAVING APPROVAL AUTHORITY OVER WORK. THIS INFORMATION MAY INCLUDE, BUT IS NOT LIMITED TO, AS-BUILT PLANS, CERTIFICATIONS, INSPECTIONS AND REPORTS.

SURVEYOR TO OBTAIN AUTOCAD FILE FROM ENGINEER AND VERIFY ALL HORIZONTAL CONTROL DIMENSIONING PRIOR TO CONSTRUCTION STAKING. SURVEYOR MUST VERIFY ALL BENCHMARK BASIS OF BEARING AND DATUM INFORMATION TO ENSURE IMPROVEMENTS WILL BE IN THE SAME HORIZONTAL AND VERTICAL LOCATIONS SHOWN ON THE DESIGN CONSTRUCTION DRAWINGS. PRIOR TO CONSTRUCTION STAKING ANY DISCREPANCY MUST BE REPORTED TO OWNER AND ENGINEER PRIOR TO CONTINUATION OF ANY FURTHER STAKING OR CONSTRUCTION WORK.

1. ALL UTILITY LOCATIONS SHOWN ARE BASED ON MAPS PROVIDED BY THE APPROPRIATE UTILITY COMPANY AND FIELD SURFACE EVIDENCE AT THE TIME OF THE SURVEY. IT IS TO BE CONSIDERED AN APPROXIMATE LOCATION ONLY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE FIELD LOCATION OF ALL UTILITIES, PUBLIC OR PRIVATE, WHETHER SHOWN ON THE PLANS OR NOT, PRIOR TO CONSTRUCTION. REPORT ANY DISCREPANCIES TO THE ENGINEER PRIOR TO CONSTRUCTION.
2. WHERE A PROPOSED UTILITY CROSSES AN EXISTING UTILITY, IT IS THE CONTRACTOR'S RESPONSIBILITY TO FIELD VERIFY THE HORIZONTAL AND VERTICAL LOCATION OF SUCH EXISTING UTILITY EITHER THROUGH POT-HOING OR ALTERNATIVE METHOD. REPORT INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.



It appears as if there are sheets missing, please provide all sheets. Items missing are loc/vic map, standard EPC notes, signature blocks just for starters.

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E.

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

THE NATIONAL GEODETIC SURVEY (NGS) MONUMENT DESIGNATION: E 24, PD JK0239, WHICH IS AN ELEVATION OF 69.4' (NAVD 83 DATUM). THE STATION IS LOCATED ABOUT 7.1 MI (11.3 KM) SOUTH OF THE EL PASO COUNTY JAIL, 2.2 KM NORTH OF FALCON, AND ON U.S. HIGHWAY 24 IN THE SOUTHWEST 1/4 OF SECTION 32, T.12 S. R.4 W. AND AT U.S. HIGHWAY 24 MILEPOST 32.245. OWNERSHIP--EL PASO COUNTY PARK PROPERTY. TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD SKIP SET IN A 25 CM SQUARE CONCRETE POST, PROJECTING 30 CM ABOVE THE GROUND. IT IS 26.8 MM (8/9 IN) DIAMETER. FROM THE JUDGE ORR ROAD, 15.7 M (51.5 FT) NORTH OF A ROAD RAMP TO A PRIVATE RESIDENCE, 8.6 M (28.2 FT) SOUTH OF THE JUDGE ORR ROAD, 1.5 M (4.9 FT) WEST OF THE METAL WITNESS POST AND 0.6 M (2 FT) EAST FROM A FENCE POST.

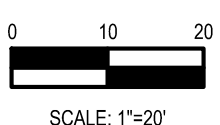
NAVD88 ELEVATION = 6902.31

The curb and gutter here is called out as existing, however with the installation of the pipe the curb and gutter will need to be removed and replaced.

Permanent easement will need to be provided, please show proposed easement on this plan.

Permission to grade on other's property will be required (yes, we know that they are the same owner, please show on this plan that they are the same owner and that will be sufficient).

PROPOSED STORM SEWER TO CONTINUE SEE INSERT THIS SHEET



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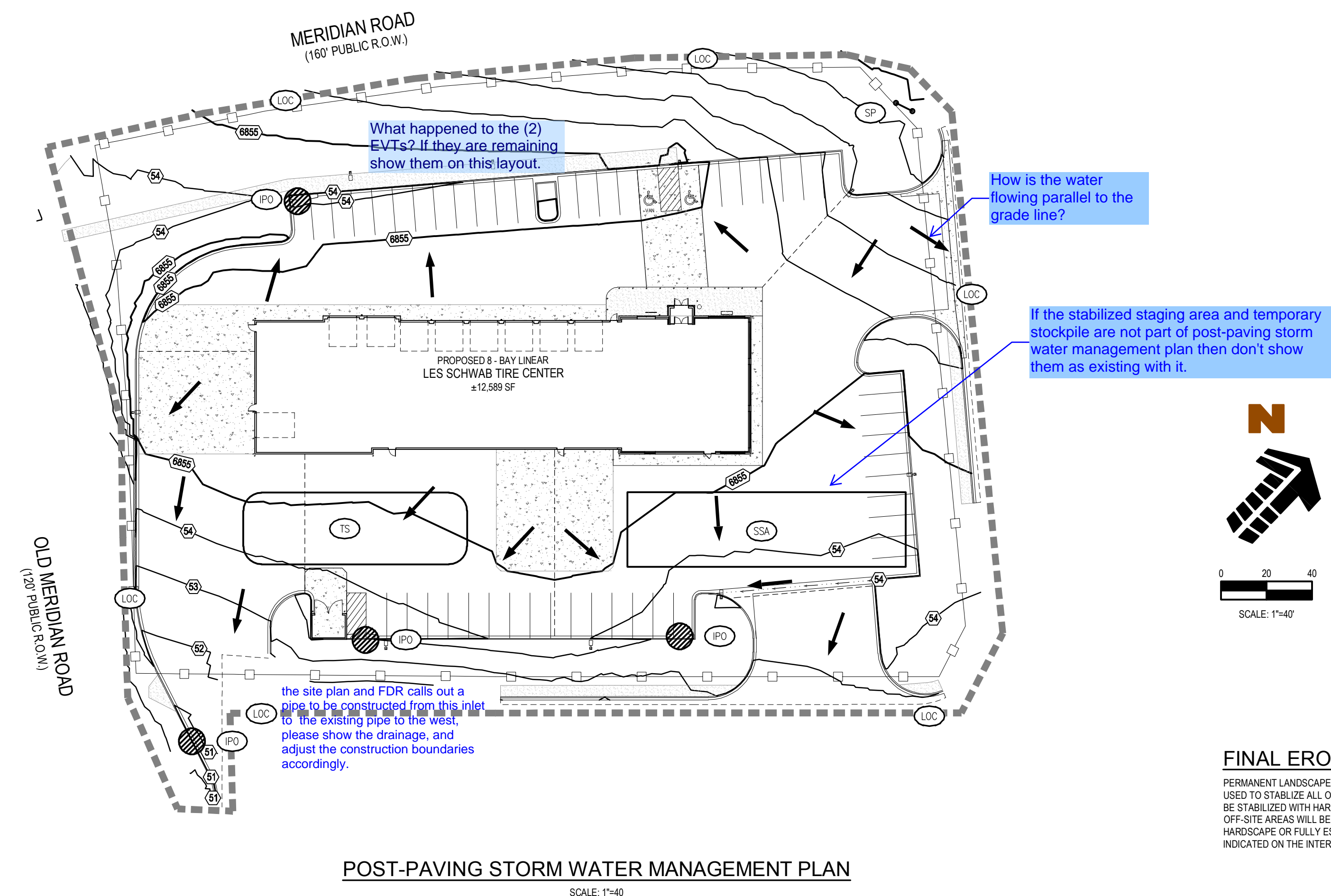
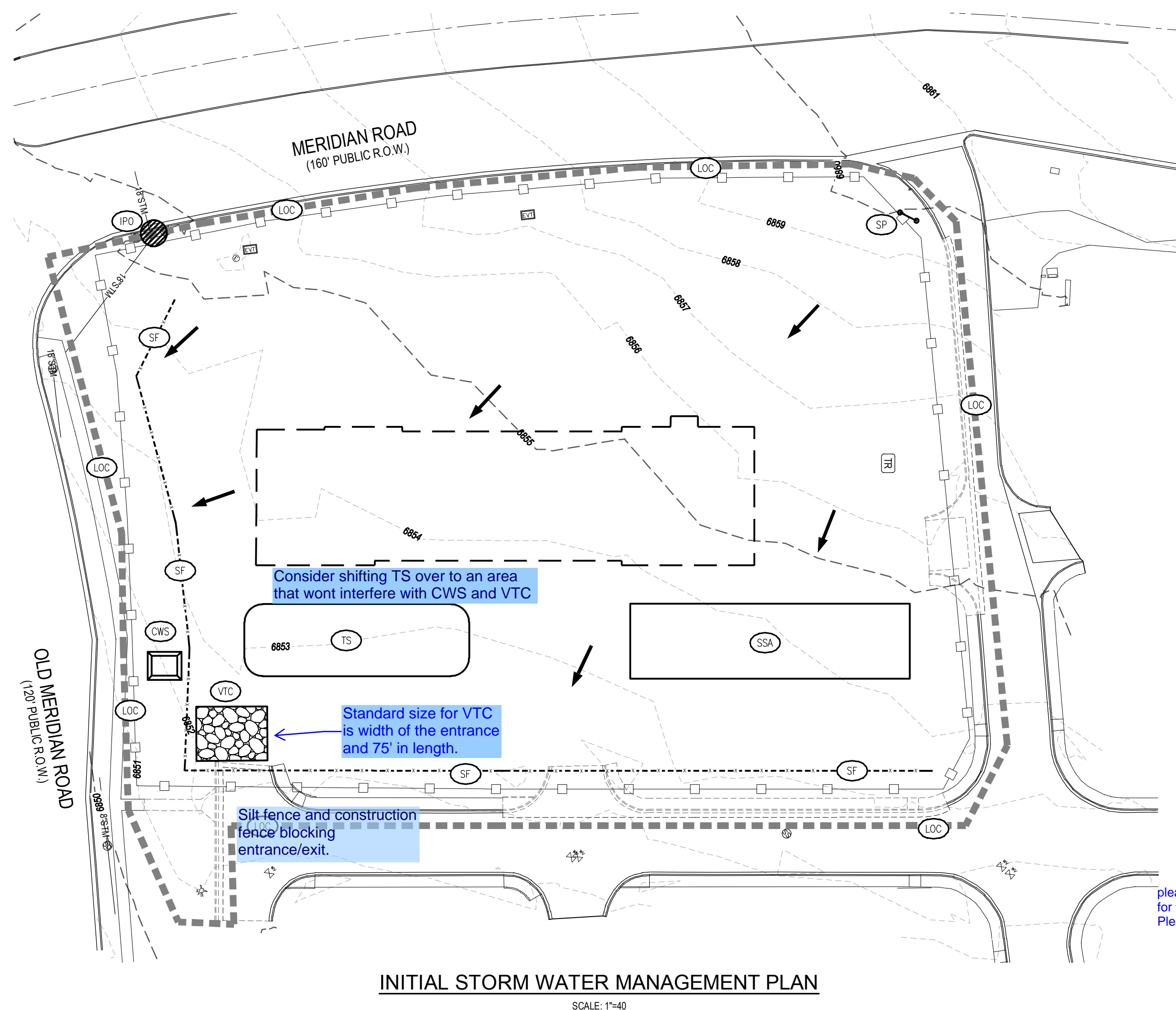
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MERIDIAN CROSSING FILING NUMBER 1
LOT 3 AND 4
7105 N. MERIDIAN ROAD
FALCON, COLORADO

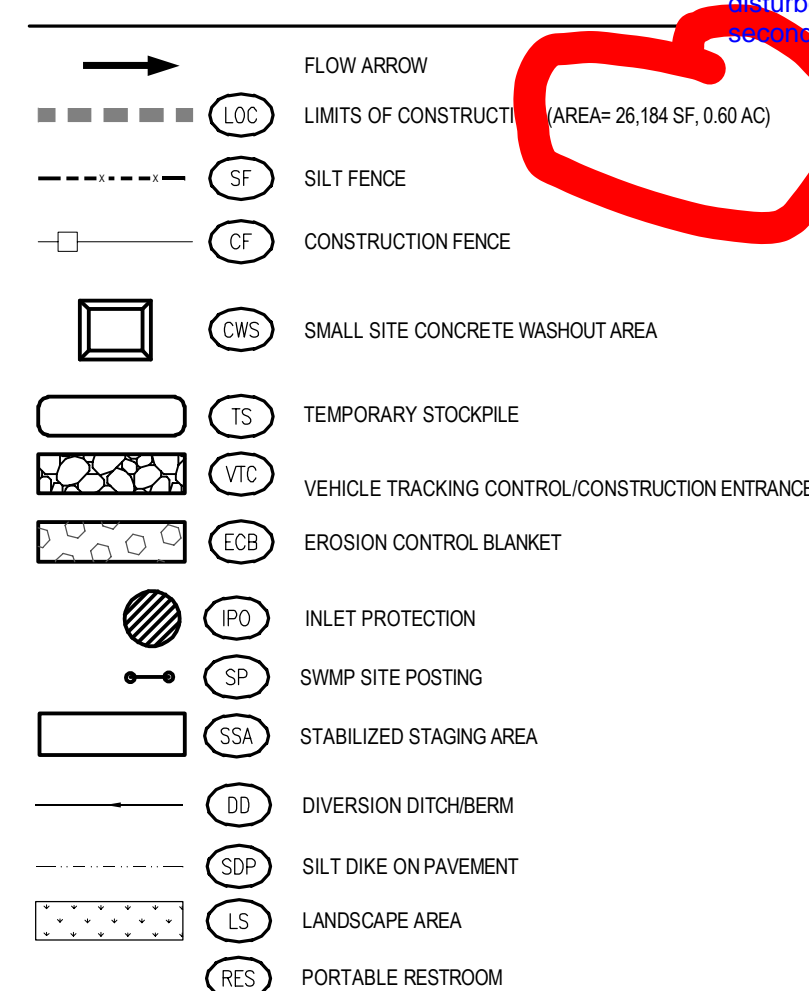
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EROSION CONTROL PLAN

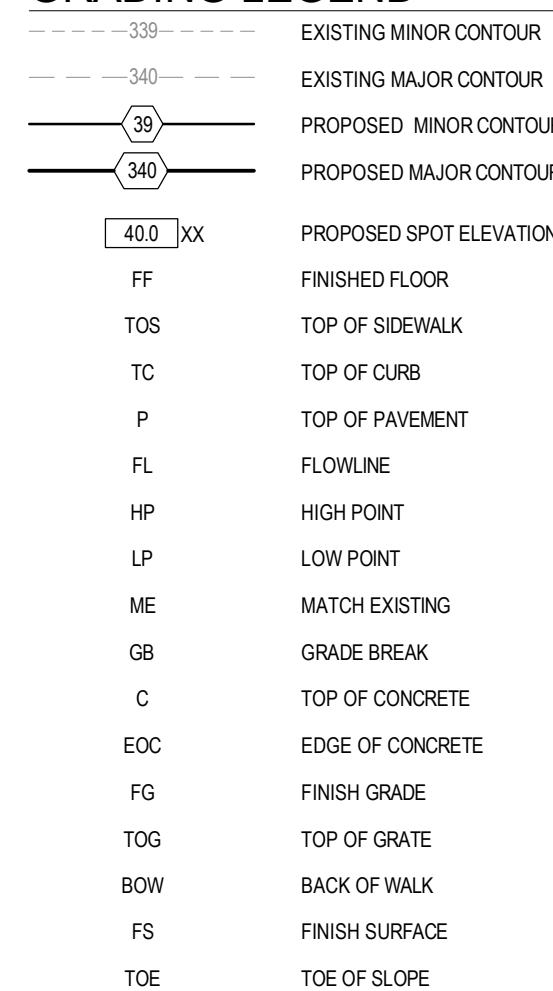
C3.0



EROSION CONTROL LEGEND



GRADING LEGEND



STORMWATER MANAGEMENT PLANS GENERAL NOTES

1. THE CONTRACTOR AND/OR AUTHORIZED AGENTS SHALL REMOVE ALL SEDIMENT, MUD, CONSTRUCTION DEBRIS, OR OTHER POTENTIAL POLLUTANTS THAT MAY HAVE BEEN DISCHARGED TO OR ACCUMULATE IN THE FLOW LINES AND PUBLIC RIGHTS OF WAY OF THE CITY AS A RESULT OF CONSTRUCTION ACTIVITIES ASSOCIATED WITH THIS SITE DEVELOPMENT OR REMEDIATION PROJECT. REMOVAL SHALL BE IN ACCORDANCE WITH THE FOLLOWING:
 2. ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES MAY BE REQUIRED OF THE OWNER AND HIS OR HER AGENTS DUE TO UNFORESEEN EROSION PROBLEMS OR IF THE SUBMITTED PLAN DOES NOT FUNCTION AS INTENDED. THE REQUIREMENTS OF THIS PLAN SHALL BE THE OBLIGATION OF THE PERMIT HOLDER UNTIL SUCH TIME AS THE PLAN IS PROPERLY COMPLETED AND SUBMITTED FOR REVIEW.
 3. THE CONTRACTOR SHALL PREVENT SEDIMENT, DEBRIS AND ALL OTHER POLLUTANTS FROM ENTERING THE STORM SEWER SYSTEM DURING ALL DEMOLITION, EXCAVATION, TRENCHING, BORING, GRADING OR OTHER CONSTRUCTION OPERATIONS THAT ARE PART OF THIS PROJECT. THE CONTRACTOR SHALL BE HELD RESPONSIBLE FOR REMEDIATION OF ANY AVERSE IMPACTS TO ADJACENT WATERSHEDS AND WETLANDS THAT MAY BE CAUSED BY THIS PROJECT.
 4. THE CONTRACTOR SHALL LOCATE, INSTALL, AND MAINTAIN ALL EROSION CONTROL, WATER MANAGEMENT, QUALITY "BEST MANAGEMENT PRACTICES" AS INDICATED IN THE APPROVED STORMWATER MANAGEMENT PLAN.
 5. THE DEVELOPER, GENERAL CONTRACTOR, GRADING CONTRACTOR AND/OR THEIR AUTHORIZED AGENTS SHALL INSURE THAT ALL LOADS OF CUT AND FILL MATERIAL, IMPORTED TO OR EXPORTED FROM THIS SITE SHALL BE PROPERLY COVERED TO PREVENT LOSS OF THE MATERIAL DURING TRANSPORT ON PUBLIC RIGHTS OF WAY.
- SOLS THAT WILL BE STOCKPILED FOR MORE THAN 30 DAYS SHALL BE PROTECTED FROM WIND AND WATER EROSION WITHIN 10 FEET OF THE STOCKPILE. CONSTRUCTION OF STOCKPILES TO BE STOCKPILED TO THE STREET OF A DRAINAGEWAY, ADDITIONAL SEDIMENT CONTROLS SUCH AS TEMPORARY DIPS OR SILT FENCE SHALL BE REQUIRED.
7. APPROVED EROSION AND SEDIMENT CONTROL, BEST MANAGEMENT PRACTICES SHALL BE MAINTAINED AND KEPT IN GOOD REPAIR OF THE DURATION OF THIS PROJECT. ACCUMULATED SEDIMENT AND DEBRIS SHALL BE REMOVED FROM BMP WHEN THE EQUIPMENT OR DEBRIS OBSTRUCTS THE FUNCTIONING OF THE BMP.
 8. THE CONTRACTOR SHALL PROTECT STORM DRAIN INLETS DIRECTLY DOWNSTREAM OF CONSTRUCTION AREA NOT NECESSARILY SHOWN ON THIS PLAN.

DUST CONTROL GENERAL NOTES

THE CITY ENGINEER MAY REQUIRE THE SUBMITTAL OF A DUST PREVENTION AND CONTROL PLAN FOR GRADING AND CONSTRUCTION AS DEEMED NECESSARY. AT THE VERY MINIMUM THE FOLLOWING CONDITIONS CONCERNING THE CONTROL OF GRADING AND CONSTRUCTION DUST SHALL BE ADHERED TO, AS WELL AS FOLLOWING SCAFFOLD REQUIREMENTS WITH REGARDS TO FUGITIVE DUST:

- FUGITIVE DUST EMISSIONS WILL BE CONTROLLED TWENTY-FOUR (24) HOURS A DAY, SEVEN (7) DAYS A WEEK, WHETHER OR NOT THERE IS CURRENT ACTIVITY ON THE SITE.
- THERE SHALL BE A 24-HOUR CONTACT NAME AND PHONE NUMBER FOR THE PERSON RESPONSIBLE FOR ENSURING THE CONTROL OF FUGITIVE DUST, WHETHER OR NOT THERE IS CURRENT ACTIVITY AT THE SITE.
- DUST CONTROL MEASURES SHALL INCLUDE, BUT ARE NOT LIMITED TO THE APPLICATION OF WATER OR DUST PALLIATIVES, THE INSTALLATION OF WIND FENCING, AND THE TREATMENT OF STAGING AREAS.
- WHEN AN ENTIRE PROJECT IS GRADED AND THE SUBSEQUENT CONSTRUCTION ON THE SITE IS TO BE COMPLETED IN PHASES, THE PORTION OF THE SITE NOT UNDER CONSTRUCTION SHALL BE TREATED WITH CHEMICAL STABILIZERS, OR PLANT MATERIALS AND AN IRRIGATION SYSTEM.

IF THE IMPORTING OR EXPORTING OF SOIL IS NECESSARY, DUST CONTROL SHALL INCLUDE PROCEDURES FOR THE CONTROL OF DUST RESULTING FROM THE LOADING, TRANSPORTATION AND UNLOADING OF SOIL FROM, TO OR WITHIN THE PROJECT AREA AND ON PUBLIC ROADWAYS.

BENCHMARK

THE NATIONAL GEOGRAPHIC SURVEY (NGS) MONUMENT DESIGNATION E 24° PD JOG 72328 WHICH HAS AN ELEVATION OF 5992.3 (NAD 83 DATUM), THE STATION IS LOCATED ABOUT 11.7 (11.1 KM) SOUTHWEST OF PEYTON, 2 MI (3.2 KM) NORTH-EAST OF FALCON AND ON U.S. HIGHWAY 24, IN THE SOUTHEAST 1/4 OF SECTION 32, T 12 S, R 64 W, AND ON A. HIGHWAY 24 MILEPOST 322.45. OWNERSHIP--EL PASO COUNTY PARK PROPERTY TO REACH THE STATION, GO TO THE INTERSECTION OF U.S. HIGHWAY 24 AND JUDGE ORR ROAD AND THE STATION IN THE NORTHEAST CORNER OF THE INTERSECTION THE STATION IS A STANDARD DISKET SET VA 25 CM SQUARE PLATE SQUARE PLATE 15.7 M (51.5 FT) ON A SIDE, 15.7 M (51.5 FT) HIGH, 15.7 M (51.5 FT) NORTH-EAST FROM JUDGE ORR ROAD, 15.7 M (51.5 FT) FROM A DIRT ROAD TO A PRIVATE RESIDENCE, 0.8 M (2.6 FT) SOUTHWEST FROM A PLASTIC WINDNESS POST, 0.7 M (2.3 FT) NORTH FROM A METAL WINDNESS POST AND 0.6 M (2.0 FT) EAST FROM A FENCE CORNER.

NAVD88 ELEVATION = 6902.3

LEGAL DESCRIPTION

ALL OF LOTS 3 AND 4, MERIDIAN CROSSING FILING NO. 1, SITUATED IN THE NORTHEAST QUARTER OF SECTION 12, TOWNSHIP 13 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, TOWN OF FALCON, COUNTY OF EL PASO, STATE OF COLORADO.

BASIS OF BEARING

BEARINGS ARE BASED ON THE NORTHWESTERLY LINE OF MERIDIAN CROSSING FILING NO. 1, LOTS 1 & 2 AND IS ASSUMED TO BEAR N51°13'14"E

please show the property lines and call out all adjacent lots by owner name
pr platted subdivision name. permission to grade on others property will be
required unless it is owned by the same persons or company. A note to such
should be added to this plan.

FINAL EROSION CONTROL NOTE

PERMANENT LANDSCAPE MATERIALS PER THE ACCOMPANYING PLAN WILL BE USED TO STABILIZE ALL ON-SITE OPEN SPACE. ALL OTHER ON-SITE AREAS WILL BE STABILIZED WITH HARDCAPE OR BUILDING CONSTRUCTION. DISTURBED OFF-SITE AREAS WILL BE PROVIDED WITH REPLACEMENT LANDSCAPE, HARDCAPE OR FULLY ESTABLISHED NATIVE SEED REVEGETATION AS INDICATED ON THE INTERIM & FINAL EROSION CONTROL PLAN. THIS SHEET.

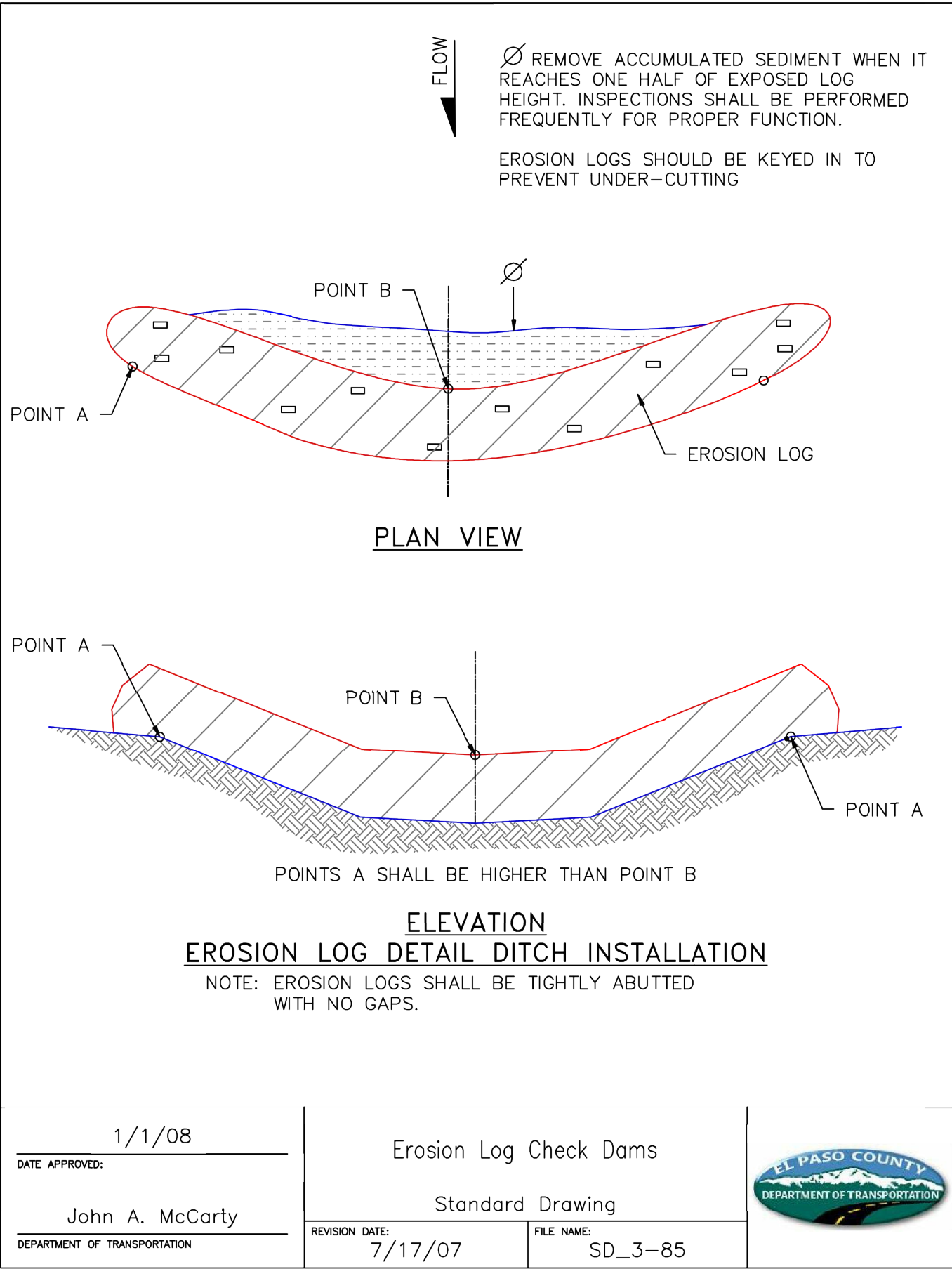


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PLANNING DOCUMENTS
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LOT 3 AND 4

7105 N. MERIDIAN ROAD
FALCON, COLORADO

Project No:	LST00067
Drawn By:	JRP
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Date:	4/6/2018

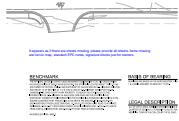
C3.5



- Add erosion logs to legend on sheet 2, if being used. Also add that erosion logs should be buried in the soil one third to one quarter the diameter of the log and stakes should be 90 degrees from each other to key in the log.

Markup Summary

dsdnijkamp (6)



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Status:
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Author: dsdnijkamp
Date: 5/4/2018 3:22:06 PM
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It appears as if there are sheets missing, please provide all sheets. items missing are loc/vic map, standard EPC notes, signature blocks just for starters.



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the site plan and FDR calls out a pipe to be constructed from this inlet to the existing pipe to the west, please show the drainage, and adjust the construction boundaries accordingly.



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please provide at lease one temp sedimentation basin for the site, and add to the FAE.
Please show all existing and proposed easements.



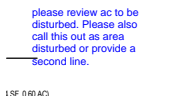
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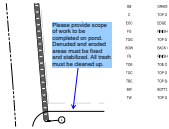
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please show the property lines and call out all adjacent lots by owner name pr platted subdivision name. permission to grade on others property will be required unless it is owned by the same persons or company. A note to such should be added to this plan.



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please review ac to be disturbed. Please also call this out as area disturbed or provide a second line.

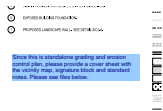


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Date: 5/4/2018 3:22:25 PM
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Please provide scope of work to be completed on pond. Denuded and eroded areas must be fixed and stabilized. All trash must be cleaned up.

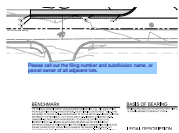


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Since this is standalone grading and erosion control plan, please provide a cover sheet with the vicinity map, signature block and standard notes. Please see files below.

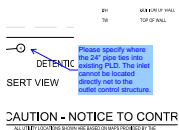


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Please call out the filing number and subdivision name, or parcel owner of all adjacent lots.

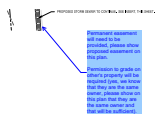


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Subject: Engineer
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Please specify where the 24" pipe ties into existing PLD. The inlet cannot be located directly net to the outlet control structure.



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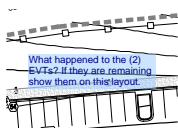
Permanent easement will need to be provided, please show proposed easement on this plan.

Permission to grade on other's property will be required (yes, we know that they are the same owner, please show on this plan that they are the same owner and that will be sufficient).



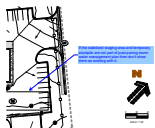
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The curb and gutter here is called out as existing, however with the installation of the pipe the curb and gutter will need to be removed and replaced.



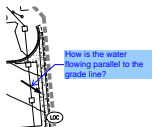
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What happened to the (2) EVTs? If they are remaining show them on this layout.



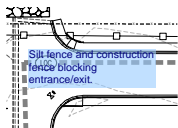
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If the stabilized staging area and temporary stockpile are not part of post-paving storm water management plan then don't show them as existing with it.



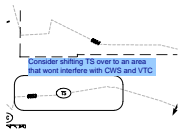
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How is the water flowing parallel to the grade line?



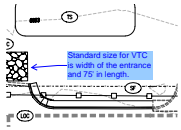
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Silt fence and construction fence blocking entrance/exit.



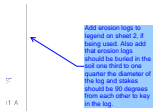
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Consider shifting TS over to an area that won't interfere with CWS and VTC



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Standard size for VTC is width of the entrance and 75' in length.



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Color: ■

Add erosion logs to legend on sheet 2, if being used. Also add that erosion logs should be buried in the soil one third to one quarter the diameter of the log and stakes should be 90 degrees from each other to key in the log.

Please provide standard details for all construction BMPs.

Subject: Engineer
Page Label: 3
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Checkmark: Unchecked
Author: dsdgrimm
Date: 5/4/2018 3:22:35 PM
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Please provide standard details for all construction BMPs.