

FINAL PLAT

CITIZEN ON CONSTITUTION FILING No. 1
A REPLAT OF TRACTS M & N, URBAN COLLECTION AT PALMER VILLAGE
A PORTION OF THE NORTHEAST QUARTER OF
SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

KNOW ALL BY THESE PRESENTS:

That Citizen on Constitution, LLC, being the owner of the following described tract of land to wit:

LEGAL DESCRIPTION:

Tracts M and N, Urban Collection at Palmer Village, County of El Paso, State of Colorado,
Containing a calculated area of 534,215 square feet (12.264 acres) of land, more or less.

DEDICATION

The above owner has caused said parcel of land to be platted into a lot, tracts and easements as shown hereon. The undersigned does hereby grant and convey to the County of El Paso all right-of-way dedications and easements for public use. The tract of land herein platted shall be known as CITIZEN ON CONSTITUTION FILING No. 1 in the County of El Paso, State of Colorado.

OWNERSHIP AND ACKNOWLEDGMENT STATEMENT:

The aforementioned, Citizen on Constitution, LLC, has executed this instrument this \_\_\_ day of \_\_\_\_\_, 20\_\_\_ A.D.

Eric Garrett, Manager

OWNERS CERTIFICATE

The undersigned, being all the owners, mortgagees, beneficiaries of deeds of trust and holders of other interests in the land described herein, have laid out, subdivided, and platted said lands into a lot, tracts, a street and easements, as shown hereon under the name and subdivision of CITIZEN ON CONSTITUTION FILING No. 1. All public improvements so platted are hereby dedicated to public use and said owner does hereby covenant and agree that the public improvements will be constructed to El Paso County standards and that proper drainage and erosion control for same will be provided at said owner's expense, all to the satisfaction of the Board of County Commissioners of El Paso County, Colorado. Upon acceptance by resolution, all public improvements so dedicated within the public right-of-way will become matters of maintenance by El Paso County, Colorado. However, El Paso County shall NOT maintain the easements, private access into Lot 1 or any improvements within Tracts A and B. The utility easements shown hereon are hereby dedicated for public utilities and communication systems and other purposes as shown hereon. The entities responsible for providing the services for which the easements are established are hereby granted the perpetual right of ingress and egress from and to adjacent properties for installation, maintenance, and replacement of utility lines and related facilities.

By: Eric Garrett, Manager, Citizen on Constitution, LLC

By:
Title:

ATTEST: (if corporation)

Secretary/Treasurer

STATE OF
COUNTY OF } SS

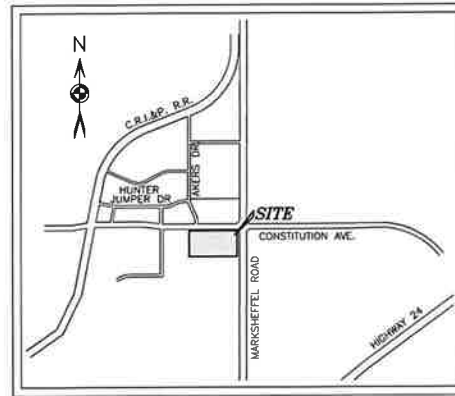
The above and aforementioned instrument was acknowledged before me this \_\_\_ day of \_\_\_\_\_, 20\_\_\_ A.D.

By: Eric Garrett, Manager

Witness my hand and seal:

My Commission expires \_\_\_\_\_

Notary Public



VICINITY MAP
(NOT TO SCALE)

EASEMENT STATEMENT:

Unless otherwise indicated, all side, front and rear lot lines are hereby platted on either side with a 10 foot public utility and drainage easement. All exterior subdivision boundaries are hereby platted with a 20 foot public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the property owner.

EASEMENT AND TRACT MAINTENANCE NOTES:

Tract A shall be utilized as \_\_\_\_\_. Ownership and maintenance of Tract A shall be vested to \_\_\_\_\_.
Tract B shall be utilized as a drainage tract. Ownership and maintenance of Tract B shall be vested to \_\_\_\_\_. Tract B is subject to a Private Detention Basin/Stormwater Quality BMP Maintenance Agreement and Easement as recorded at Reception No. \_\_\_\_\_ of the records of El Paso County. The (owner or district) is responsible for maintenance of the subject drainage facilities.

SUMMARY:

Table with 3 columns: Description, Acres, Percentage. Rows include 1 LOT (8.927 ACRES, 72.79%), 2 TRACTS (1.985 ACRES, 15.19%), DEDICATED RIGHT-OF-WAY (1.352 ACRES, 11.02%), and TOTAL (12.264 ACRES, 100.00%).

FLOOD PLAIN CERTIFICATION:

The Federal Emergency Management Agency, Flood Insurance Rate Map No. 08041C0756G, effective date December 7, 2018, indicates this parcel of land to be located in Zone X (Areas determined to be outside the 0.2% annual chance floodplain).

SURVEYOR'S CERTIFICATE:

I Spencer J. Barron, a duly registered Professional Land Surveyor in the State of Colorado, do hereby certify that this plat truly and correctly represents the results of a survey made on October 6, 2021, by me or under my direct supervision and that the monuments exist as shown hereon; that mathematical closure errors are less than 1:10,000; and that said plat has been prepared in compliance with the applicable laws of the State of Colorado dealing with monuments, subdivision, or surveying of land and the applicable provisions of the El Paso County Land Development Code.

This certification is neither a warranty nor guarantee, either expressed or implied.

Spencer J. Barron
Colorado Professional Land Surveyor No. 38141
For and on behalf of Barron Land, LLC

COUNTY APPROVAL

This plat for CITIZEN ON CONSTITUTION FILING No. 1 was approved for filing by the El Paso County, Colorado Planning

and Community Development Department this \_\_\_ day of \_\_\_\_\_, 20\_\_\_

Planning and Community Development Director Date

This plat for CITIZEN ON CONSTITUTION FILING No. 1 was approved for filing by the El Paso County, Colorado Board of County Commissioners on the \_\_\_ day of \_\_\_\_\_, 20\_\_\_ subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (right-of-way, street, tracts and easements) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Urban Collection at Palmer Village is vacated and amended for the areas described by this replat subject to all covenants, conditions, and restrictions recorded against and appurtenant to the original plat recorded in the Office of the El Paso County Clerk and Recorder, Reception #221714632.

President, Board of County Commissioners Date

RECORDING

STATE OF COLORADO }
COUNTY OF EL PASO } SS

I hereby certify that this instrument was filed for record at my office at \_\_\_ o'clock \_\_M., this day of \_\_\_\_\_, 2022 A.D., and is duly recorded under Reception Number \_\_\_\_\_ of the records of El Paso County, Colorado.

Fee: \_\_\_\_\_

Surcharge: \_\_\_\_\_

Chuck Broerman, Recorder

By: Deputy

FEES:

- School Fee (School District 49):
Bridge Fee (Sand Creek Drainage Basin):
Urban Park Fee:
Regional Park Fee:
Drainage Fee (Sand Creek Drainage Basin):

SHEET INDEX

- SHEET 1 - COVER, LEGAL DESCRIPTION, VICINITY MAP
SHEET 2 - GENERAL NOTES
SHEET 3 - AS PLATTED BOUNDARY
SHEET 4 - AS RE-PLATTED BOUNDARY

Table with columns: No., Date, Remarks, Date, By. Includes a row for DATE: 04/04/2022 and REMISIONS.

PCD File No. SF-22-06



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Colorado Springs, CO 80917 F: 719.456.6527
www.BARRONLAND.com

PROJECT No.: 21-04B SHEET 1 OF 4

FINAL PLAT

**CITIZEN ON CONSTITUTION FILING No. 1**  
 A REPLAT OF TRACTS M & N, URBAN COLLECTION AT PALMER VILLAGE  
 A PORTION OF THE NORTHEAST QUARTER OF  
 SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
 COUNTY OF EL PASO, STATE OF COLORADO

**SURVEYOR'S NOTES**

1. NOTICE: According to Colorado law you must commence any legal action based upon any defect in this survey within three years after you first discover such defect. In no event may any action based upon any defect in this survey be commenced more than ten years from the date of the certification shown hereon.
2. The approval of this Replat vacates all prior plats for the area described by this plat.
3. The lineal units used in this drawing are U.S. Survey Feet. A U.S. Survey Foot is defined as 1200/3937 meters.
4. This survey does not constitute a title search by Barron Land, LLC to determine ownership, rights-of-way, or easements of record. For information regarding ownership, rights-of-way, and easements of record, Barron Land, LLC relied upon Title Commitment No. NCS-1074278-INDY, with an effective date of January 19, 2022 as provided by First American Title Insurance Company.
5. This survey was performed in the field on October 6, 2021.
6. The overall subject parcel contains a calculated area of 534,215 square feet (12.264 acres) of land, more or less.
7. BASIS OF BEARINGS: Bearings are based upon the South Right-of-Way line of Constitution Avenue, as described in "Parcel B" within the Warranty Deed recorded under Reception No. 210085356, monumented on the West with a #4 rebar with yellow plastic cap stamped "PLS 4842" and on the East with a #5 rebar with yellow plastic cap stamped "Aztec PLS 36567" and is assumed to bear N 89°53'50" E, a distance of 1691.84 feet.
8. The subject property shown herein lies within Zone X, areas determined to be outside the 0.2% annual chance floodplain, as shown on Federal Emergency Management Agency flood insurance rate map number 08041C0756G, effective December 7, 2018.
9. This site is not within a designated F.E.M.A. floodplain as determined by the flood insurance rate map number 08041C0756G, effective December 7, 2018.
10. Access to Marksheffel Road will be via Lot 1. This access point is limited to right in/right out access only.
11. Geologic hazard note:  
 The following Lot and tracts have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the geotechnical investigation and geologic hazard evaluation prepared by CTL Thompson Inc., dated April 24, 2020 and is held in the Urban Collection at Palmer Village FUD preliminary plan file (PUOSP-19-011) at the El Paso County Planning and Community Development Department.  
 -Artificial/undocumented fill (one lot and 2 tracts)  
 These conditions can be mitigated by regrading, properly engineered foundations, and recognized construction techniques. The proposed units within the subdivision will not include basements, which will mitigate the potential shallow groundwater constraint.
12. The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guideline enacted or promulgated under or with respect to such laws.
13. Snow storage shall be accommodated on site at the ends of the Private drive aisles, not in the Public Right-of-Way.
14. Emergency access gates are to be designed by the Developer and must include the Diablo Control Proximity Auto Opening System ([www.diablocontrols.com](http://www.diablocontrols.com)) and override to provide emergency and Fire Department ingress and egress.
15. Any person who knowingly removes or knowingly causes to be removed any Public land survey monument, as defined by Section 38-53-103 (18), C.R.S., or control corner, as defined in Section 38-53-103 (6), C.R.S., or a restoration of any such monument or who knowingly removes or knowingly causes to be removed any bearing tree knowing such is a bearing tree or other accessory, as defined by Section 38-53-103(1), C.R.S., even if said person has Title to the land on which said monument or accessory is located, commits a class 2 misdemeanor unless, prior to such removal, said person has caused a Colorado professional land surveyor to establish at least two witness corners or reference marks for each such monument or accessory removed and has filed or caused to be filed a monument record pursuant to Article 53 of Title 38, C.R.S.
16. A standard Avigation Easement conveyed to the City of Colorado Springs, appurtenant to the Colorado Springs Airport recorded March 14, 1989 in Book 5612 at Page 726 covers the subject Property but is not shown herein.
17. A standard Avigation Easement recorded March 20, 2014 at Reception No. 214022685 covers the subject Property but is not shown herein.
18. No Lots shall be sold, conveyed, or transferred to a Party other than one that purchases the entire Subdivision, whether by Deed or by Contract, unless and until the required Public and Common development improvements for the Subdivision have been constructed and completed in accordance with the Subdivision Improvements Agreement recorded at Reception No. 221189154 and Reception No. \_\_\_\_\_, the approved construction plans and preliminary acceptance of said improvements has been received from El Paso county. Should a Party purchase the entire Subdivision, Lots within the Subdivision may be sold, conveyed, or transferred and have building permits issued upon receipt of collateral acceptable to the County which is sufficient to guarantee construction of the improvements in the approved financial assurance estimate. If subdivider or a purchaser posts collateral more than ninety (90) days following plat recording, an updated financial assurance estimate may be required. This Plat restriction may be removed or rescinded by the Board of County Commissioners or, if permitted by the Subdivision improvements agreement, by the planning and community development department director upon either approval of an alternative form of collateral or completion and preliminary acceptance by the El Paso board of county commissioners of all improvements required to be constructed and completed in accordance with said subdivision improvements agreement. The partial release of Lots for sale, conveyance or transfer may only be granted in accordance with any planned partial release of Lots authorized by the Subdivision improvements agreement.

**SURVEYOR'S NOTES (CONTINUED)**

19. The Subdivider(s) agrees on behalf of him/herself and any developer or builder successors and assignees that subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County road impact fee program resolution (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittal. The fee obligation, if not paid at Final Plat recording, shall be documented on all sales documents and on Plat notes to ensure that a title search would find the fee obligation before sale of the Property.
20. All property within this subdivision, except Right of Way Dedications as shown hereon, is subject to a declaration of covenants as recorded at Reception No. \_\_\_\_\_ of the records of the El Paso County Clerk and Recorder.
21. Notice of potential aircraft overflight and noise impact associated with airport: this serves as notice of potential aircraft overflight and noise impacts on this property due to its close proximity to an airport, which is being disclosed to all prospective purchasers considering the use of this property for residential and other purposes. This property is subject to the overflight and associated noise of arriving and departing aircraft during the course of normal airport operations.
22. All property owners are responsible for maintaining proper storm water drainage in and through their Property. Public drainage easements as specifically noted on the Plat shall be maintained by the individual Lot owners unless otherwise indicated. Structures, fences, materials or landscaping that could impede the flow of runoff shall not be placed in drainage Easements.
23. No driveway shall be established unless an access permit has been granted by the City of Colorado Springs.
24. Mailboxes shall be installed in accordance with all El Paso County and United States Postal Service regulations.
25. The following reports have been submitted in association with the preliminary plan or Final Plat for this Subdivision and are on file at the County Planning and Community Development Department: transportation impact study; drainage report; water resources report; wastewater disposal report; geology and soils report; fire protection report; noise report.
26. Developer shall comply with Federal and State laws, regulations, ordinances, review and permit requirements, and other Agency requirements, if any, of applicable Agencies including, but not limited to, the Colorado Parks and Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife service regarding the endangered species act, particularly as it relates to the listed species (e.g., Preble's Meadow jumping mouse).
27. The addresses exhibited on this Plat are for informational purposes only. They are not the legal description and are subject to change.
28. The property shown hereon is located within the Constitution Heights Metropolitan District per the document recorded at Reception No. 210099703 of the El Paso County Clerk and Recorder.
29. Pikes Peak Regional Building Enumerations approval provided by email dated \_\_\_\_\_ and recorded in the El Paso County Clerk and Recorder records at Reception No. \_\_\_\_\_.
30. All paved areas within Lot 1 that are intended for vehicular travel shall have an ingress and egress easement to provide vehicular access and is recorded in the El Paso County Clerk and Recorder records at Reception No. \_\_\_\_\_.
31. Utility Providers:  
 Sanitary Sewer: Cherokee Metropolitan District  
 Water: Cherokee Metropolitan District  
 Electric: Colorado Springs Utilities  
 Gas: Colorado Springs Utilities

PCD File No. SF-22-06

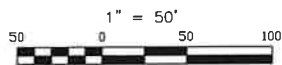
| DATE: 04/04/2022 |         | REVISIONS |    |
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 PROJECT No: 21-048 SHEET 2 OF 4

FINAL PLAT

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 SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M.  
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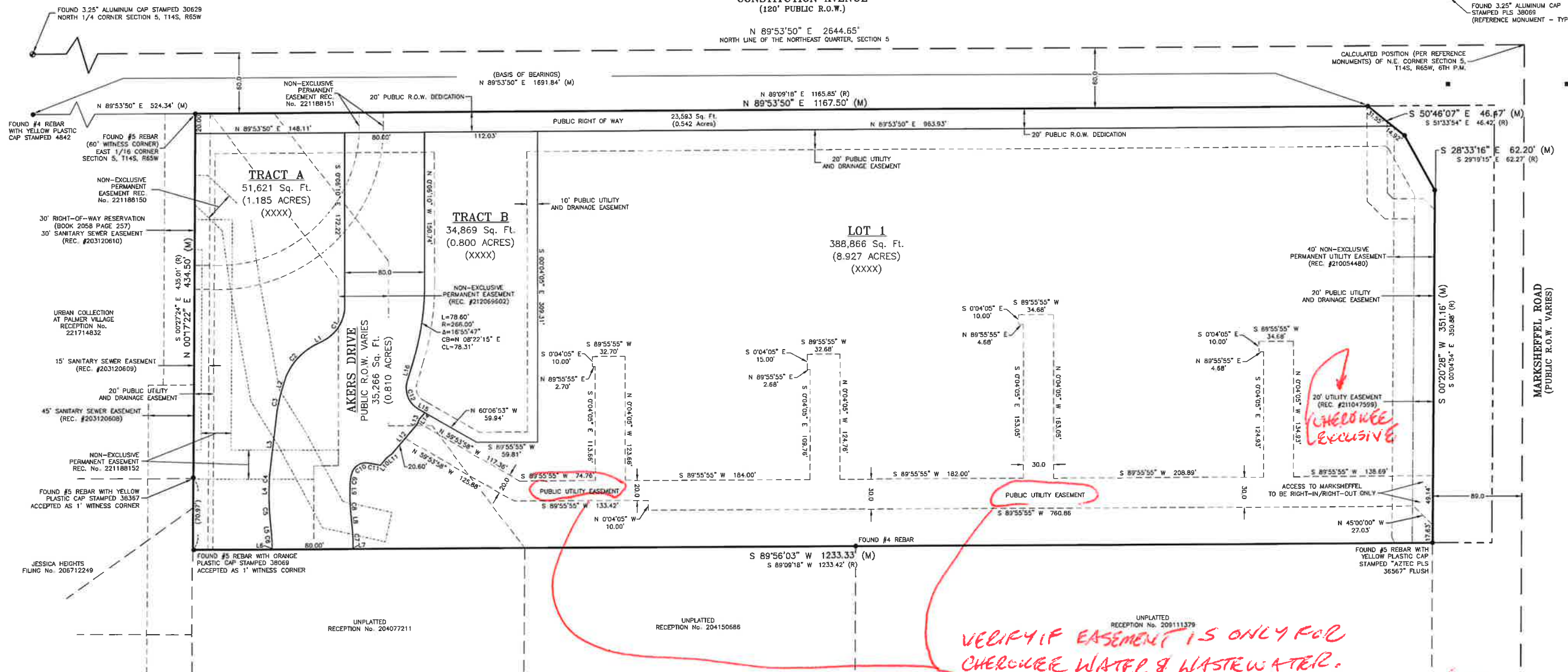
LEGEND:

- FOUND SECTION MONUMENT AS NOTED
- FOUND #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" UNLESS NOTED OTHERWISE
- FOUND REFERENCE MONUMENT AS NOTED
- (M) FIELD-MEASURED DIMENSIONS
- (R) RECORD DIMENSIONS
- (C) CALCULATED DIMENSIONS
- R.O.W. RIGHT-OF-WAY
- (XXXX) LOT ADDRESS
- SUBDIVISION BOUNDARY LINES
- LOT/TRACT LINES
- DEDICATION LINES
- ADJACENT PARCEL LINES
- SECTION LINES
- EASEMENT LINES

AS RE-PLATTED

CONSTITUTION AVENUE  
 (120' PUBLIC R.O.W.)

N 89°53'50" E 2644.65'  
 NORTH LINE OF THE NORTHEAST QUARTER, SECTION 5



*VERIFY IF EASEMENT IS ONLY FOR  
 CHEROKEE WATER & WASTEWATER.*

*IF OTHER UTILITIES ARE PRESENT*

*SHOW LOCATIONS  
 TYPICAL CHEROKEE WATER/WASTEWATER SEPARATION IS  
 10' OR  
 & 10' FROM  
 GAS & ELECT.*

| LINE BEARING | DISTANCE      | POINT  | BEARING       | DISTANCE | POINT  |
|--------------|---------------|--------|---------------|----------|--------|
| L1           | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L2           | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L3           | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L4           | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L5           | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L6           | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L7           | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L8           | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L9           | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L10          | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L11          | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L12          | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L13          | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L14          | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |
| L15          | N 89°53'50" E | W17.53 | S 89°53'50" W | 17.53    | W17.53 |
| L16          | S 89°53'50" W | W17.53 | N 89°53'50" E | 17.53    | W17.53 |

UNPLATTED RECEPTION No. 209111379

UNPLATTED RECEPTION No. 204077211

UNPLATTED RECEPTION No. 204150686

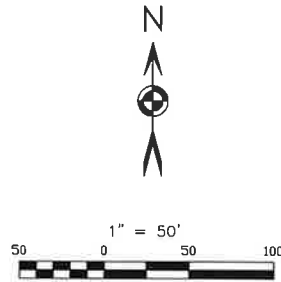
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|------------------|---------|-----------|----|
| No.              | Remarks | Date      | By |
|                  |         |           |    |

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 PROJECT No: 21-048 SHEET 4 OF 4

FINAL PLAT

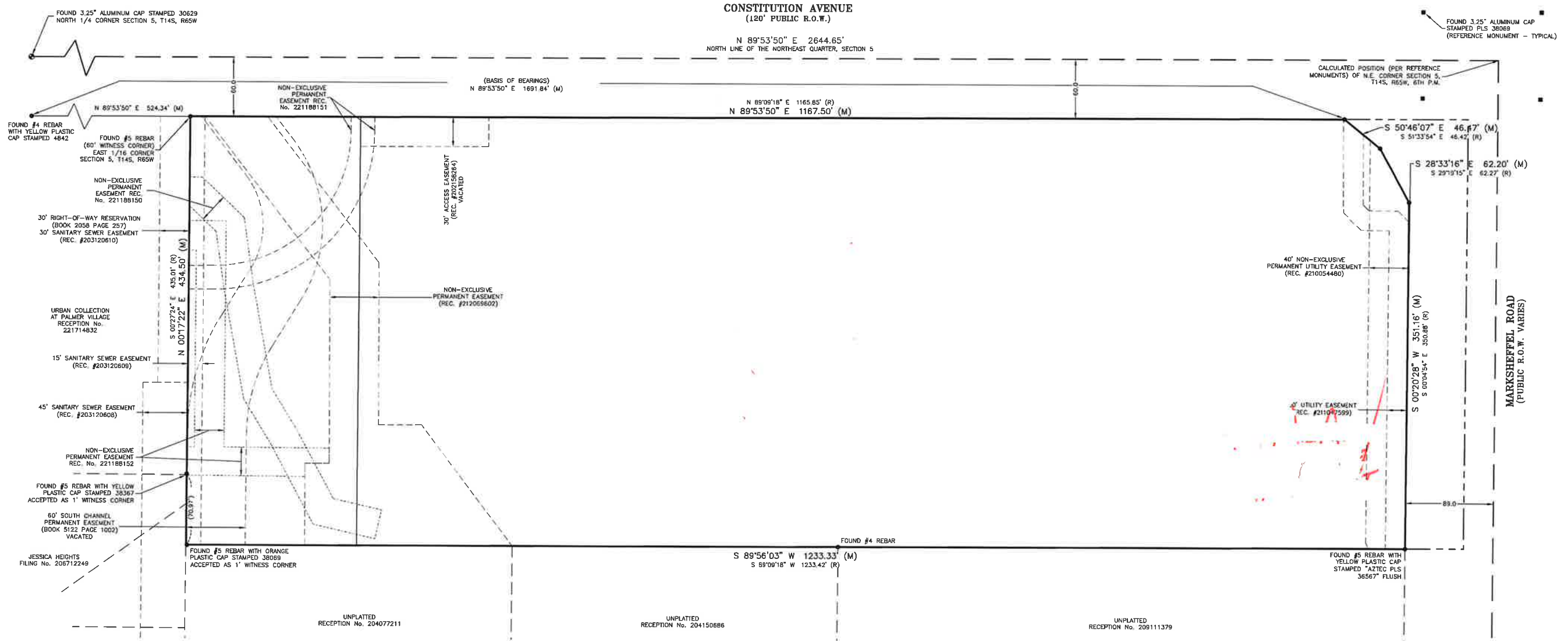
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LEGEND:

- FOUND SECTION MONUMENT AS NOTED
- FOUND #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" UNLESS NOTED OTHERWISE
- FOUND REFERENCE MONUMENT AS NOTED
- (M) FIELD-MEASURED DIMENSIONS
- (R) RECORD DIMENSIONS
- (C) CALCULATED DIMENSIONS
- R.O.W. RIGHT-OF-WAY
- (XXXX) LOT ADDRESS
- SUBDIVISION BOUNDARY LINES
- - - ADJACENT PARCEL LINES
- SECTION LINES
- - - EASEMENT LINES

AS PLATTED



PCD File No. SF-22-06

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| No.              | Remarks | Date      | By |
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 PROJECT No.: 21-048 SHEET 3 OF 4

# THE CITIZEN ON CONSTITUTION UTILITY AND WATER SERVICE PLANS

## A PORTION OF THE NORTHEAST QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., CITY OF COLORADO SPRINGS, COUNTY OF EL PASO, STATE OF COLORADO

**LAND AREA:**  
543,215 SQ. FT. OR 12.264 ACRES MORE OR LESS

**BASIS OF BEARING:**  
BEARINGS ARE BASED UPON THE SOUTH RIGHT-OF-WAY LINE OF CONSTITUTION AVENUE, MONUMENTED ON THE WEST WITH A #4 REBAR WITH YELLOW PLASTIC CAP STAMPED "PLS 4842" AND ON THE EAST WITH A #5 REBAR WITH YELLOW PLASTIC CAP STAMPED "AZTEC PLS 36567" AND IS ASSUMED TO BEAR N 89°53'50" E, A DISTANCE OF 1691.84 FEET.

**BENCHMARK/ PROJECT CONTROL:**  
ELEVATIONS ARE BASED UPON CITY OF COLORADO SPRINGS FMS BENCHMARK "BLT104" (ELEVATION=6452.43 NGVD29)

**LEGAL DESCRIPTION**  
PARCEL A:

A PARCEL OF LAND LOCATED IN SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5; THENCE SOUTH 89°53'50" WEST, 30.00 FEET ALONG THE NORTH LINE OF THE NORTHEAST QUARTER OF SAID SECTION 5 TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD; THENCE SOUTH 00°20'42" WEST, 60.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT WIDE RIGHT-OF-WAY OF CONSTITUTION AVENUE TO THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE SOUTH 00°20'42" WEST, 435.00 FEET ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF MARKSHEFFEL ROAD TO THE SOUTHEAST CORNER OF THE TRACT OF LAND DESCRIBED IN BOOK 2083 AT PAGE 687 OF THE RECORDS OF SAID COUNTY; THENCE SOUTH 89°53'50" WEST, 1292.28 FEET ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE TO THE POINT OF BEGINNING, EL PASO COUNTY, COLORADO

EXCEPT THAT PORTION DESCRIBED AS FOLLOWS: THAT PORTION OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH P.M., SITUATE IN EL PASO COUNTY, COLORADO, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:  
COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5 THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE (1) CONTINUE ON THE LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO THE POINT OF BEGINNING.

EXCEPT THAT PORTION CONVEYED TO THE BOARD OF COUNTY COMMISSIONER, EL PASO COUNTY, COLORADO IN WARRANTY DEED RECORDED JUNE 9, 2010 UNDER RECEPTION NO. 210054574.

COUNTY OF EL PASO,  
STATE OF COLORADO.

PARCEL B:

THAT PORTION OF THE NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN, SITUATE IN COUNTY EL PASO, STATE OF COLORADO AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 5, THENCE SOUTH 89°53'50" WEST ON THE NORTH LINE THEREOF, 1,322.28 FEET TO THE NORTHWEST CORNER OF SAID NORTHEAST ONE-QUARTER OF THE NORTHEAST ONE-QUARTER OF SECTION 5, THENCE SOUTH 00°20'41" WEST ON THE WEST LINE OF SAID NORTHEAST ONE-QUARTER OF SECTION 5, 60.00 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED 120.00 FOOT RIGHT-OF-WAY OF CONSTITUTION AVENUE AND THE POINT OF BEGINNING OF THE TRACT OF LAND HEREIN DESCRIBED; THENCE (1) CONTINUE ON LAST MENTIONED COURSE, 435.00 FEET; (2) NORTH 89°53'50" EAST, 172.42 FEET; (3) NORTH 00°20'41" EAST, 435.00 FEET TO A POINT ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE; (4) SOUTH 89°53'50" WEST ON SAID SOUTHERLY RIGHT-OF-WAY LINE OF PROPOSED CONSTITUTION AVENUE, 172.42 FEET TO A POINT OF BEGINNING.

COUNTY OF EL PASO,  
STATE OF COLORADO.

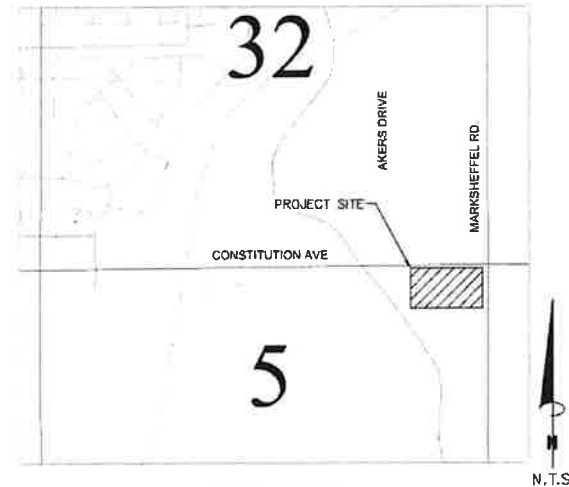
(PER TITLE COMMITMENT FILE NO. NCS-1074278-INDY AS PROVIDED BY FIRST AMERICAN TITLE INSURANCE COMPANY.)

**FLOOD ZONE DESIGNATION**

FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, MAP NUMBER 08041C0756G, EFFECTIVE DATE DECEMBER 7, 2018, INDICATES THIS PARCEL OF LAND TO BE LOCATED IN ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN)

**GENERAL NOTES**

1. BASED ON ELEVATION DATA, THE APPLICANT WILL NEED TO FILE FEDERAL AVIATION ADMINISTRATION (FAA) FORM 7460-1 "NOTICE OF PROPOSED CONSTRUCTION OR ALTERATION" FOR ANY NEW VERTICAL DEVELOPMENT AT THIS SITE, INCLUDING TEMPORARY CONSTRUCTION EQUIPMENT, AND PROVIDE FAA DOCUMENTATION TO THE AIRPORT BEFORE THE COMMENCEMENT OF CONSTRUCTION ACTIVITIES, FAA'S WEBSITE (HTTPS://OEAFAA.FAA.GOV/OEAFAA/EXTERNAL/PORTAL.ASP).



VICINITY MAP  
N.T.S

| SHEET INDEX |                                   |
|-------------|-----------------------------------|
| SHEET NO.   | SHEET TITLE                       |
| C3.0        | COVER SHEET                       |
| C3.1        | NOTES                             |
| C3.2        | NOTES                             |
| C3.3        | UTILITY SERVICE PLAN              |
| C3.4        | UTILITY SERVICE PLAN              |
| C3.5        | WATER PLAN                        |
| C3.6        | WATER PLAN                        |
| C3.7        | SAN SEWER PLAN & PROFILE LINE A   |
| C3.8        | SAN SEWER PLAN & PROFILE LINE A   |
| C3.9        | STORM PLAN AND PROFILE LINE A     |
| C3.10       | STORM PLAN AND PROFILE LINE B & C |
| C3.11       | STORM PLAN AND PROFILE LINE D     |
| C3.12       | STORM PLAN AND PROFILE LINE D     |
| C3.13       | STORM PLAN AND PROFILE LINE E     |
| C3.14       | STORM PLAN AND PROFILE LINE F     |
| C3.15       | STORM PLAN AND PROFILE LINE F     |
| C3.16       | STORM PLAN AND PROFILE LINE G     |
| C3.17       | STORM PLAN AND PROFILE LINE H     |
| C3.18       | STORM PLAN AND PROFILE LINE I & J |

**CONTACTS:**

**OWNER:**  
THE CITIZEN ON CONSTITUTION, LLC.  
C/O THE GARRETT COMPANIES, INC.  
1051 GREENWOOD SPRINGS BLVD, SUITE 101  
GREENWOOD, IN 46143  
TEL: (317) 497-8275  
CONTACT: ANDREW WHITE

**ENGINEER:**  
KIMLEY-HORN AND ASSOCIATES, INC.  
2 NORTH NEVADA AVENUE, SUITE 300  
COLORADO SPRINGS, CO 80903  
TEL: (303) 228-2318  
CONTACT: DAN SKEEHAN, P.E.

**EL PASO COUNTY:**  
EL PASO COUNTY  
PCD DEPARTMENT  
2880 INTERNATIONAL CIRCLE, SUITE 110  
COLORADO SPRINGS, CO 80910  
PHONE: (719) 520-6300

**SURVEYOR:**  
BARRON LAND, LLC  
2780 N. ACADEMY BLVD SUITE 311  
COLORADO SPRINGS, CO 80917  
TEL: (719) 360-6827  
CONTACT: SPENCER BARRON, PLS

**DEVELOPER'S SIGNATURE BLOCK**

I, THE OWNER/DEVELOPER HAVE READ AND WILL COMPLY WITH ALL OF THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

NAME \_\_\_\_\_ DATE \_\_\_\_\_

**ENGINEER'S SIGNATURE BLOCK**

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS AND SAID PLANS AND SPECIFICATIONS ARE IN CONFORMITY WITH THE APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY FOR ANY LIABILITY CAUSED BY ANY NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE DETAILED PLANS AND SPECIFICATIONS

01/27/2022  
DAN SKEEHAN, PE - KIMLEY-HORN AND ASSOCIATES, INC. DATE

**EL PASO COUNTY REVIEW STATEMENT**

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN DIMENSIONS AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION

JENNIFER IRVINE, P.E. \_\_\_\_\_ DATE \_\_\_\_\_  
COUNTY ENGINEER / ECM ADMINISTRATOR

OWNER'S SIGNATURE BLOCK  
WATER & WASTEWATER

|  |   |
|--|---|
|  | NO. _____ BY _____ DATE _____<br>REVISION _____ |
|  |   |
| 2022 KIMLEY-HORN AND ASSOCIATES, INC.<br>2 North Nevada Avenue, Suite 300<br>Colorado Springs, CO 80903 (303) 228-2318 |   |
| DESIGNED BY: NMH<br>DRAWN BY: NMH<br>CHECKED BY: DLS<br>DATE: 01/27/2022   |   |
| THE CITIZEN ON CONSTITUTION<br>EL PASO COUNTY, COLORADO<br>UTILITY AND WATER SERVICE PLANS<br>COVER SHEET              |   |
| PRELIMINARY<br>FOR REVIEW ONLY<br>NOT FOR<br>CONSTRUCTION<br>  |   |
| PROJECT NO.<br>096481004<br>SHEET<br><b>C3.0</b>   |   |

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**PRIVATE ENGINEER'S NOTICE TO CONTRACTORS:**

- THE FOLLOWING NOTES ARE PROVIDED TO GIVE DIRECTIONS TO THE CONTRACTOR BY THE ENGINEER OF THE PLANS.
- THE CHEROKEE METRO DISTRICT ENGINEER'S SIGNATURE ON THESE PLANS DOES NOT CONSTITUTE APPROVAL OF ANY OF THESE NOTES AND THE CITY WILL NOT BE HELD RESPONSIBLE FOR THEIR ENFORCEMENT.
  - APPROVAL OF THESE PLANS BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
  - THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY CHEROKEE METRO DISTRICT DOES NOT AUTHORIZE THE SUBDIVIDER AND OWNER TO VIOLATE ANY FEDERAL, STATE OR COUNTY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
  - NEITHER THE OWNER, NOR THE ENGINEER OF WORK WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
  - CONTRACTOR AGREES THAT HE/SHE SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING: SAFETY OF ALL PERSONS AND PROPERTY, AND THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND THAT THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPT LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL SLOPES, STREETS, UTILITIES, AND STORM SEWERS ARE BUILT IN ACCORDANCE WITH THESE PLANS. IF THERE IS ANY QUESTION REGARDING THESE PLANS OR FIELD STAKES, THE CONTRACTOR SHALL REQUEST AN INTERPRETATION BEFORE DOING ANY WORK BY CALLING THE ENGINEER OF RECORD AT 719-453-0180. IN THE EVENT THAT PROPOSED EROSION CONTROL IS INSUFFICIENT, CONTRACTOR WILL INSTALL ADDITIONAL EROSION CONTROLS AT OWNER'S EXPENSE.
  - EXCEPT AS NOTED HEREON ALL UTILITY SERVICES WITHIN THIS DEVELOPMENT ARE UNDERGROUND INSTALLATIONS. THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES PRIOR TO STARTING WORK NEAR THEIR FACILITIES, AND SHALL COORDINATE HIS WORK WITH COMPANY REPRESENTATIVES. FOR UTILITY MARK-OUT SERVICE, CALL 811.
  - THE EXISTENCE AND LOCATION OF UNDERGROUND UTILITIES OR STRUCTURES SHOWN ON THESE PLANS WERE OBTAINED FROM A SEARCH OF THE AVAILABLE RECORDS. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO OTHER EXISTING UTILITIES EXCEPT AS SHOWN ON THESE PLANS. NO REPRESENTATION IS MADE AS TO THE ACCURACY OR COMPLETENESS OF SAID UTILITY INFORMATION. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHERS NOT OF RECORD OR NOT SHOWN ON THESE PLANS. UTILITIES NOT OF RECORD OR NOT SHOWN ON PLANS SHALL BE CONSIDERED UNFORESEEN CONDITIONS AND DAMAGES THERETO SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
  - LOCATION AND ELEVATION OF EXISTING IMPROVEMENTS SHALL BE CONFIRMED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION OF NEW WORK.
  - CONTRACTOR SHALL MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE.
  - FOR ALL UTILITY TRENCHES, SOILS REPORTS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD BY A QUALIFIED SOILS ENGINEER WHICH CERTIFY THAT TRENCH BACKFILL WAS COMPACTED AS DIRECTED BY THE SOILS ENGINEER IN ACCORDANCE WITH THE ON-SITE EARTHWORK SPECIFICATIONS.
  - ANY WORK DONE WITHOUT INSPECTION OR MATERIALS TESTING IS SUBJECT TO REMOVAL OR CORRECTION.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ANY DAMAGE TO THE EXISTING IMPROVEMENTS AND REPLACEMENT TO THE SATISFACTION OF THE FIELD ENGINEER.
  - PRIOR TO COMMENCING CONSTRUCTION, THE CONTRACTOR SHALL VERIFY ALL JOIN CONDITIONS FOR GRADING, DRAINAGE AND UNDERGROUND FACILITIES, INCLUDING LOCATION AND ELEVATION OF EXISTING UNDERGROUND FACILITIES AT CROSSINGS WITH PROPOSED UNDERGROUND FACILITIES, AT THE OWNER'S DISCRETION AND EXPENSE. IF CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLANS THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SHALL NOT BEGIN CONSTRUCTION UNTIL THE CHANGED CONDITIONS HAVE BEEN EVALUATED.
  - THE CONTRACTOR SHALL FAMILIARIZE HIMSELF/HERSELF WITH THE PLANS, THE SOILS AND/OR GEOLOGY REPORTS, AND THE SITE CONDITIONS PRIOR TO COMMENCING WORK.
  - SHOULD CONFLICTING INFORMATION BE FOUND ON THE PLANS OR IN THE FIELD, THE CONTRACTOR SHALL NOTIFY THE PROJECT ENGINEER AT KIMLEY-HORN BEFORE PROCEEDING WITH THE WORK IN QUESTION.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. CONTRACTOR'S LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, CONTRACTOR'S LAND SURVEYOR SHALL REPLACE SUCH MONUMENTS WITH APPROPRIATE MONUMENTS. A CORNER RECORD OR RECORD OF SURVEY AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT. IF ANY VERTICAL CONTROL IS TO BE DISTURBED OR DESTROYED, THE COLORADO SPRINGS (EL PASO COUNTY) FIELD SURVEY SECTION MUST BE NOTIFIED, IN WRITING, AT LEAST 3 DAYS PRIOR TO THE CONSTRUCTION. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPLACING ANY VERTICAL CONTROL BENCHMARKS DESTROYED BY THE CONSTRUCTION.
  - DEVIATIONS FROM THESE PLANS SIGNED PLANS WILL NOT BE ALLOWED UNLESS THE COUNTY ENGINEER APPROVES A CONSTRUCTION CHANGE OR THE COUNTY/AGENCY INSPECTOR REQUIRES THE CHANGE.
  - AS-BUILT DRAWINGS MUST BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT.
  - THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT OR COLORADO DIVISION OF WILDLIFE. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
  - NOTES AND DETAILS DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE GIVEN, CONSTRUCTION SHALL BE AS SHOWN FOR SIMILAR WORK.
  - IF AT ANY TIME DURING THE GRADING OPERATION, ANY UNFAVORABLE GEOLOGICAL CONDITIONS ARE ENCOUNTERED, GRADING IN THAT AREA SHALL STOP UNTIL APPROVED CORRECTIVE MEASURES ARE OBTAINED.
  - STRAIGHT GRADE SHALL BE MAINTAINED BETWEEN CONTOUR LINES AND SPOT ELEVATIONS UNLESS OTHERWISE SHOWN ON THE PLANS. THE CONTRACTOR SHALL TAKE ADDITIONAL CARE TO ENSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURE WHILE MEETING MINIMUM AND MAXIMUM PAVEMENT SLOPES AS DEFINED IN THE CRITERIA.
  - ALL DEBRIS AND FOREIGN MATERIAL SHALL BE REMOVED FROM THE SITE AND DISPOSED OF AT APPROVED DISPOSAL SITES. THE CONTRACTOR SHALL OBTAIN NECESSARY PERMITS FOR THE TRANSPORTATION OF MATERIAL TO AND FROM THE SITE.
  - DIMENSIONS TO PIPELINES ARE TO CENTERLINE UNLESS OTHERWISE NOTED.
  - CONSTRUCTION STAKING FOR IMPROVEMENTS SHOWN IN THESE PLANS SHALL BE PERFORMED BY CONTRACTOR'S LICENSED LAND SURVEYOR.
  - ALL DIMENSIONS ARE IN FEET OR DECIMALS THEREOF.
  - SPOT GRADES ARE TO FLOWLINE OR FINISH PAVEMENT GRADE UNLESS OTHERWISE NOTED.
  - CONTRACTOR TO BE AWARE OF ALL OVERHEAD LINES AT ALL TIMES, SO AS NOT TO DISTURB THEM.
  - STORM DRAINAGE SYSTEMS SHOWN ON THESE PLANS HAVE BEEN DESIGNED FOR THE FINAL SITE CONDITION AT COMPLETION OF THE PROJECT. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE DRAINAGE OF THE SITE, DURING INTERIM CONDITIONS OF CONSTRUCTION.
  - RETAINING WALLS LOCATED CLOSER TO THE PROPERTY LINE THAN THE HEIGHT OF THE WALL SHALL BE BACKFILLED NOT LATER THAN 10 DAYS AFTER CONSTRUCTION OF THE WALL AND NECESSARY STRUCTURAL SUPPORTING MEMBERS UNLESS RECOMMENDED OTHERWISE BY RESPONSIBLE ENGINEER.
  - THE CONTRACTOR IS RESPONSIBLE FOR APPLYING FOR AND OBTAINING A STATE STORMWATER DISCHARGE PERMIT FROM COLORADO DEPARTMENT OF PUBLIC HEALTH AND ENVIRONMENT (CDPHE) AT MINIMUM 10 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES ONSITE. 10 BUSINESS DAYS IS THE MINIMUM TIME REQUIRED BY THE STATE TO PROCESS THE APPLICATION. IT IS HIGHLY RECOMMENDED THAT THE CONTRACTOR APPLY FOR THE PERMIT AT LEAST 20 BUSINESS DAYS PRIOR TO THE START OF GRADING ACTIVITIES.

**WATER PROJECT SPECIFIC NOTES**

- | APPLICABLE                          | NOT-APPLICABLE                      |  |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | ANY EXISTING STUBS AND APPURTENANCES THAT WILL NOT BE USED SHALL BE REMOVED AND REPLACED WITH AN ACCEPTABLE SECTION OF MAIN AT THE EXPENSE OF THE CONTRACTOR.                        |
| <input checked="" type="checkbox"/> | <input type="checkbox"/>            | A CONNECTION TO AN EXISTING STUB IS PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF THE DEPTHS OR LOCATIONS OF EXISTING STUBS SHOWN ON ANY 'AS-BUILT' DRAWINGS. |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | A WATER STUB-OUT(S) IS/ARE PROPOSED. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THAT THE DESIGN OR INSTALLATION OF THE PROPOSED WATER STUB-OUT WILL MEET FUTURE DEVELOPMENT NEEDS.   |
| <input type="checkbox"/>            | <input checked="" type="checkbox"/> | A WATER QUALITY PLAN HAS BEEN APPROVED FOR THIS PROJECT  |

**WATER PLAN NOTES**

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 888-4396 OR SOUTH: 888-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

**GENERAL:**

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT WATER LINE EXTENSION AND SERVICE STANDARDS (WATER LESS).
- THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION.
- CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES, HYDRANTS, VALVES AND SERVICE LINES. IF FIELD CONDITIONS ARE FOUND TO BE DIFFERENT THAN SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE INSPECTOR AND THE ENGINEER OF RECORD IMMEDIATELY.
- NO TREES OR STRUCTURES ARE PERMITTED WITHIN FIFTEEN FEET (15') OF A WATER MAIN.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO ANY UTILITY FACILITIES AS A RESULT OF HIS ACTIONS. THE CONTRACTOR SHALL MAKE ALL THE REQUIRED REPAIRS IMMEDIATELY TO THE SATISFACTION OF COLORADO SPRINGS UTILITIES AND CHEROKEE METRO DISTRICT.
- ALL FIELD STAKING SHALL COMPLY WITH THE WATER LESS AND CHEROKEE STANDARDS.
- THE CONTRACTOR SHALL MAKE THEIR BEST EFFORT TO ENSURE THAT WATER SERVICE TO ADJACENT PROPERTIES IS MAINTAINED DURING CONSTRUCTION.
- CORROSION PROTECTION MEASURES SHALL COMPLY WITH THE WATER LESS AND CHEROKEE STANDARDS.
- NO SERVICE TAPS SHALL BE MADE UNTIL AUTHORIZATION HAS BEEN GRANTED BY THE CHEROKEE METRO DISTRICT INSPECTOR.
- ALL BENDS SHALL BE FIELD STAKED PRIOR TO CONSTRUCTION AND THE STATIONING ON THE FIELD STAKES SHALL MATCH THE STATIONING ON THE PLANS.
- FIELD MODIFICATIONS TO A FIRE SERVICE LINE OR FIRE HYDRANT DESIGN OR LOCATION MAY NEED TO BE APPROVED BY THE DESIGN ENGINEER, FALCON FIRE DEPARTMENT AND CHEROKEE METRO DISTRICT, AS REQUIRED BY THE INSPECTOR.
- REUSE OR SALVAGE OF ANY MATERIAL IS LEFT TO THE DISCRETION OF THE CHEROKEE METRO DISTRICT INSPECTOR.
- ALL TRENCH BACKFILL AND COMPACTION SHALL BE IN ACCORDANCE WITH SECTION 206 OF THE CHEROKEE METRO DISTRICT STANDARD SPECIFICATIONS MANUAL AND CHEROKEE STANDARDS.
- ALL ISOLATION VALVES TO OPEN COUNTERCLOCKWISE.

STDS & CSU

**Kimley»Horn**

2022 KIMLEY-HORN AND ASSOCIATES, INC.  
Northwood Avenue, Suite 100  
Colorado Springs, CO 80903 (303) 728-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
NOTES

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
**Kimley»Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO  
096481D04

SHEET  
**C3.1**

| NO. | REVISION | BY | DATE | APPR. |
|-----|----------|----|------|-------|
|     |          |    |      |       |

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WASTEWATER PROJECT SPECIFIC NOTES

Table with 2 columns: APPLICABLE and NON-APPLICABLE. Contains 9 rows of project-specific notes regarding pipe standards, manhole assessments, abandoned manholes, and stub requirements.

WASTEWATER PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION.

- GENERAL:
1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CSU WASTEWATER LINE EXTENSION AND SERVICE STANDARDS...
2. THE CONTRACTOR SHALL OBTAIN LOCATES PRIOR TO ANY EXCAVATION...
3. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES...

12. INTERIOR LINING CONFORMING TO CSU STD 4.5.A

13. MAINS & LATERALS TO BE CSU STD AS LISTED IN TABLE 26.B.3

UTILITY SERVICE PLAN NOTES

THE CONTRACTOR SHALL NOTIFY COLORADO SPRINGS UTILITIES' INSPECTIONS OFFICE (NORTH: 668-4396 OR SOUTH: 668-4658) AND/OR CHEROKEE METRO DISTRICT (719-597-5080) A MINIMUM OF 48 HOURS PRIOR TO THE START OF CONSTRUCTION

GENERAL:

- 1. ALL CONSTRUCTION METHODS AND MATERIALS SHALL MEET CHEROKEE METRO DISTRICT WASTEWATER AND WATER LINE EXTENSION AND SERVICE STANDARDS (WATER/WASTEWATER LESS) WITH CMO EXCEPTIONS
2. CHEROKEE METRO DISTRICT DOES NOT GUARANTEE THE ACCURACY OF LOCATIONS OF EXISTING PIPELINES...

WASTEWATER:

- 1. SERVICE STUBS SHALL BE INSTALLED A MINIMUM OF SEVEN FEET (7') INTO THE PROPERTY, UNLESS OTHERWISE SHOWN...
2. SERVICES SHALL BE CONNECTED A MINIMUM OF FIVE FEET (5') FROM THE OUTSIDE EDGE OF ANY MANHOLE...

WATER:

- 1. SERVICE STUBS SHALL BE INSTALLED WITH THE CURB STOP AT OR NEAR PROPERTY LINE AND SHALL NOT BE INSTALLED WITHIN DRIVEWAYS OR SIDEWALKS...
2. SERVICE TAPS SHALL BE MADE A MINIMUM OF THREE FEET (3') FROM THE BELL OR APPURTENANCE ON THE WATER MAIN...

Revision table with columns: NO., REVISION, BY, DATE, APPR.

Kimley-Horn logo and address: 2020 KIMLEY-HORN AND ASSOCIATES, INC. 2 North Nevada Avenue, Suite 300, Colorado Springs, CO 80903 (303) 228-2300

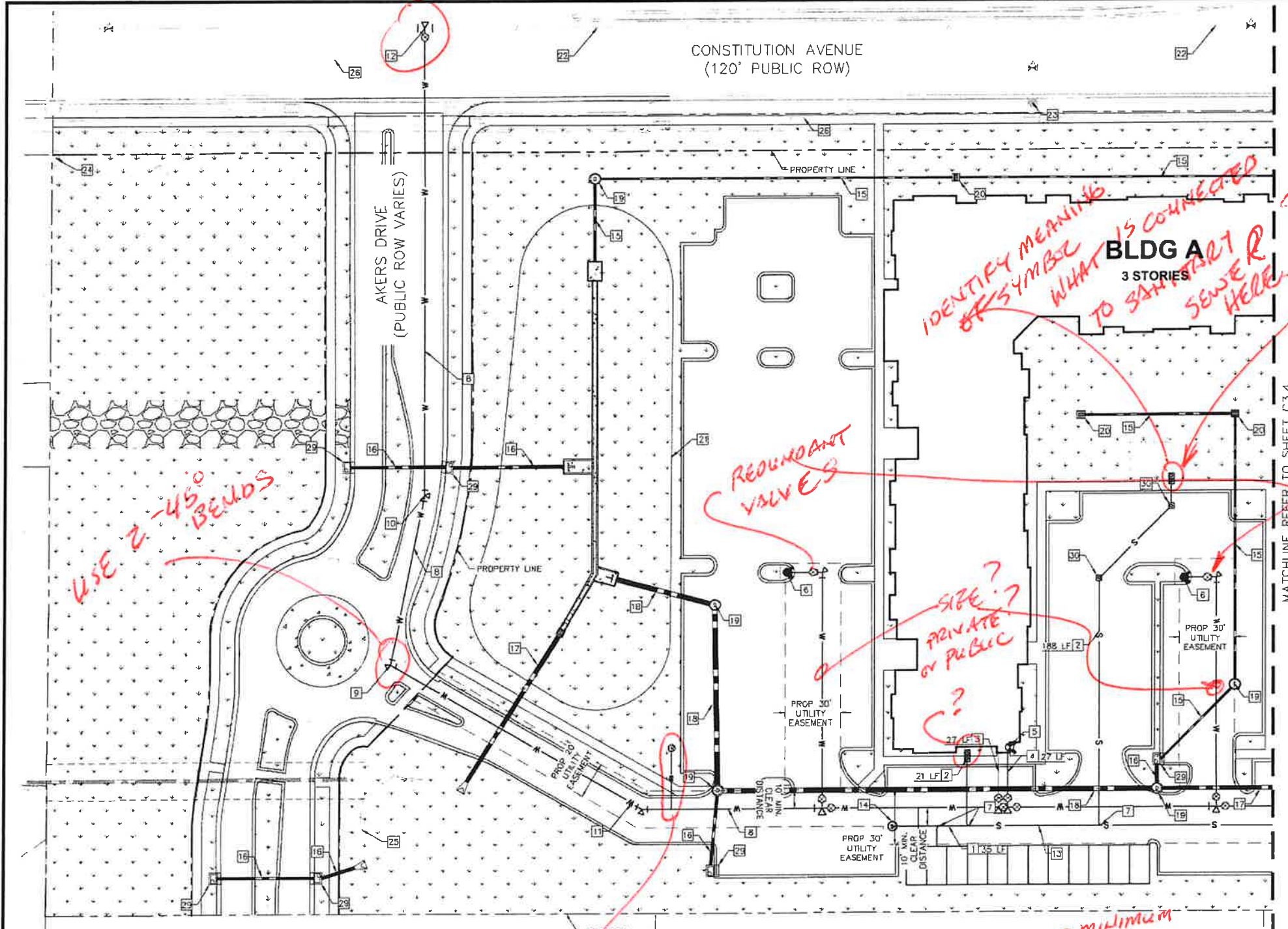
DESIGNED BY: NMH
DRAWN BY: NMH
CHECKED BY: DLS
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION
EL PASO COUNTY, COLORADO
UTILITY AND WATER SERVICE PLANS
NOTES

PRELIMINARY
FOR REVIEW ONLY
NOT FOR
CONSTRUCTION
Kimley-Horn logo

PROJECT NO
096481004
SHEET
C3.2

INSTALL TEE W/ 3 VALVES



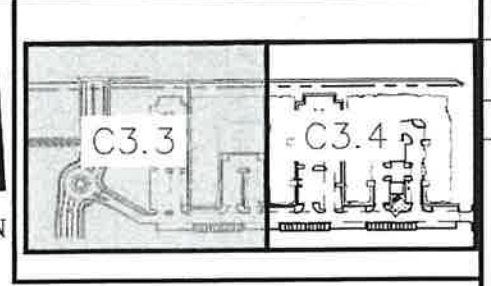
USE 2-45° BENDS

REDUNDANT VALVES

IDENTIFY MEANING OF SYMBOLS WHAT IS CONNECTED TO SANITARY SEWER HERE?

SIZE? PRIVATE OR PUBLIC?

MINIMUM BUILDING FOUNDATION



**LEGEND**

- PROPERTY LINE
- EXISTING WATER LINE & VALVE
- - - PROPOSED WATER LINE & VALVE
- ▲ PROPOSED FIRE HYDRANT
- EXISTING SANITARY SEWER LINE & MANHOLE
- - - PROPOSED SANITARY SEWER LINE & MANHOLE
- PROPOSED STORM SEWER LINE & MANHOLE
- □ ▽ PROPOSED STORM SEWER STRUCTURES

**KEY NOTE LEGEND**

- 1 PROPOSED 4" SDR35 PVC SANITARY SERVICE
- 2 PROPOSED 8" SDR35 PVC SANITARY SERVICE
- 3 PROPOSED 8" C900 PVC FIRE SERVICE
- 4 PROPOSED 4" C900 PVC DOMESTIC SERVICE LINE
- 5 PROPOSED FIRE DEPARTMENT CONNECTION
- 6 PROPOSED FH ASSEMBLY PER CSU STANDARD DETL A5-6
- 7 PROPOSED WASTEWATER TAP PER CSU WASTEWATER STANDARD DETAIL D1-6
- 8 PROPOSED 8" C900 PVC WATER MAIN (PUBLIC)
- 9 90° BEND
- 10 11.25° BEND
- 11 22.5° BEND
- 12 PROPOSED WATER MAIN POINT OF CONNECTION
- 13 PROPOSED 8" SANITARY MAIN
- 14 PROPOSED SANITARY MANHOLE
- 15 PROPOSED 12" HDPE STORM LINE
- 16 PROPOSED 18" HDPE STORM LINE
- 17 PROPOSED 24" HDPE STORM LINE
- 18 PROPOSED 30" HDPE STORM LINE
- 19 PROPOSED STORM MANHOLE
- 20 PROPOSED CDOT TYPE 1.3 INLET
- 21 PROPOSED DETENTION POND
- 22 EXISTING WATER MAIN
- 23 EXISTING FIRE HYDRANT
- 24 EXISTING SANITARY MANHOLE
- 25 EXISTING STORM CUTFALL
- 26 EXISTING FIBER OPTIC LINE
- 27 EXISTING ELECTRICAL LINE
- 28 EXISTING CABLE TV LINE
- 29 PROPOSED CDOT TYPE-R INLET
- 30 PROPOSED CLEANOUT

**Kimley-Horn**  
 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 956 North 9th Avenue, Suite 300  
 Englewood, CO 80153 (303) 228-2300

DESIGNED BY: NMH  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 UTILITY SERVICE PLAN

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION

PROJECT NO: 096481004  
 SHEET: C3.3

PAINT CHECKED COLORS

SHOW LOCATIONS OF GAS & ELECTRIC - PROVIDE 10 SEPARATION FROM WATER & WASTEWATER

WILL THERE BE CURB STOP OR ONLY VALVE @ MAIN & AT METER?

**NOTES:**

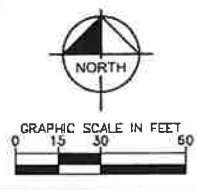
1. ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
2. ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POT-HOLING OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
3. THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
4. ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.

**CAUTION NOTE (SERVICE LINES):**  
 CONTRACTOR SHALL MAINTAIN 1' OF VERTICAL SEPARATION AT ALL DRY UTILITY CROSSINGS. CONTRACTOR SHALL POT-HOLE ALL EXISTING UTILITY CROSSINGS TO VERIFY DEPTH AND COORDINATE WITH ENGINEER OF RECORD.

IDENTIFY SIZE & PURPOSE - ADD VALVE(S) TO ISOLATE

**WATER SERVICE LINE NOTES:**

1. CURB STOPS SHALL BE INSTALLED 7 FEET FROM THE PROPERTY LINE IN ACCORDANCE WITH CSU STD. DETAIL B2-3.
2. ALL WATER SERVICE LINES SHALL BE STUBBED AND TERMINATE AT THE CURB STOP.
3. METER LOCATIONS ARE NOT SHOWN ON THIS PLAN. METERS TO BE INSTALLED INSIDE THE MULTI-FAMILY STRUCTURE IN ACCORDANCE WITH CMD STD. DTL. B1-11A.
4. ALL QUANTITIES PER THIS PLAN ARE FOR REFERENCE ONLY.
5. CHEROKEE METRO DISTRICT'S RESPONSIBILITY ENDS AT VALVED CONNECTION AT MAIN OR SEWER LATERAL CONNECTION.
6. PAVEMENT REPAIRS OR LANDSCAPE REPAIRS FOR WATER AND SANITARY SEWER REPAIRS ARE RESPONSIBILITY OF OWNER.



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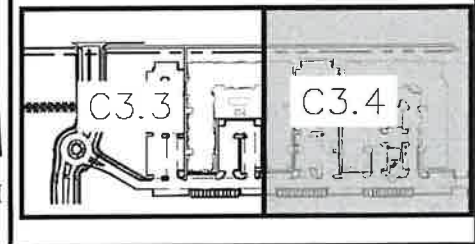
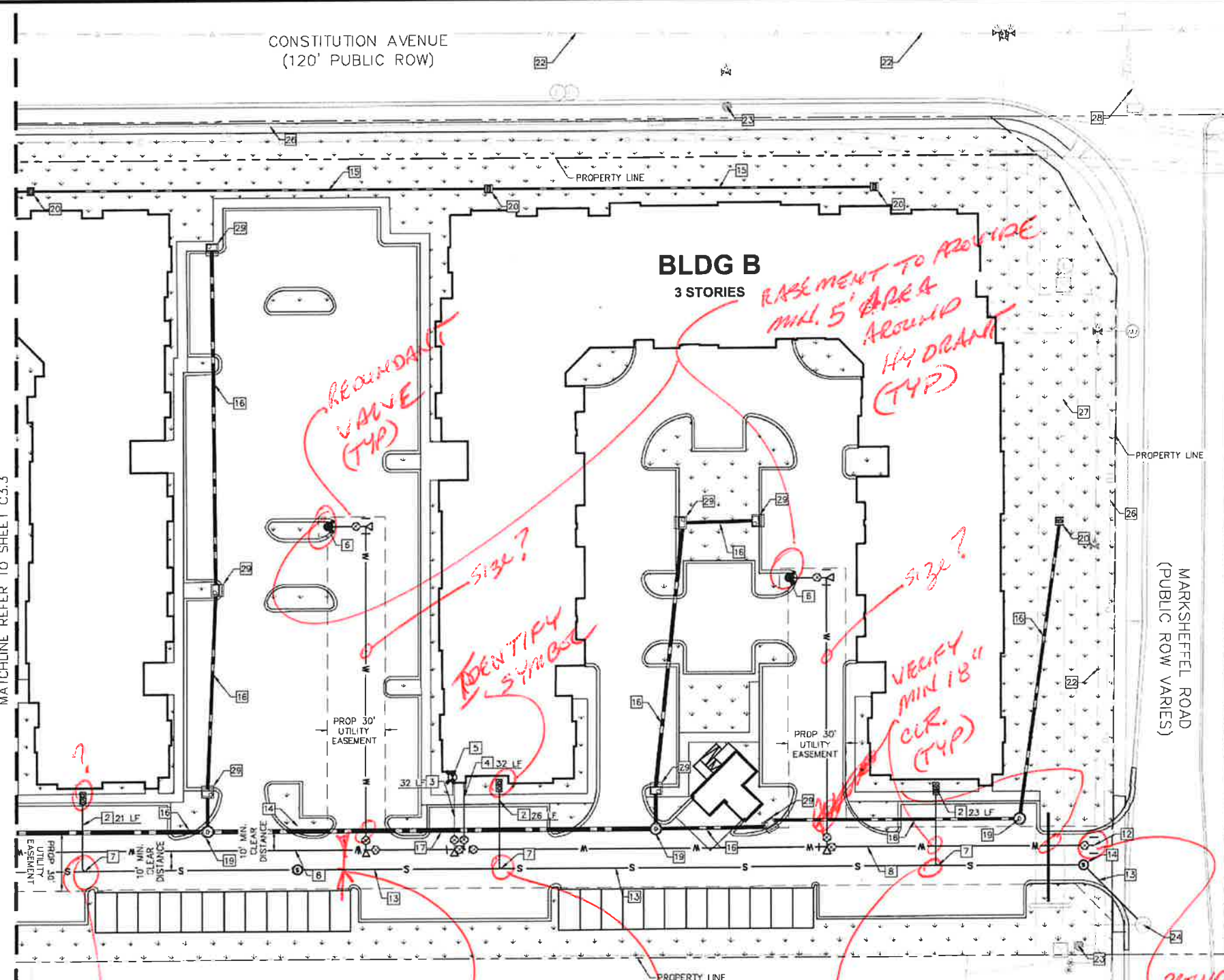
**811** Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987  
 CALL 48 HOURS IN ADVANCE BEFORE YOU DIG, DRILL, OR DIGITATE FOR THE SAFETY OF UNDERGROUND MEMBERS & STRUCTURES.



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MATCHLINE REFER TO SHEET C3.3



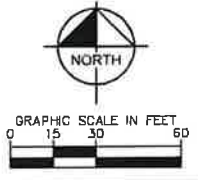
- LEGEND**
- PROPERTY LINE
  - EXISTING WATER LINE & VALVE
  - PROPOSED WATER LINE & VALVE
  - PROPOSED FIRE HYDRANT
  - EXISTING SANITARY SEWER LINE & MANHOLE
  - PROPOSED SANITARY SEWER LINE & MANHOLE
  - PROPOSED STORM SEWER LINE & MANHOLE
  - PROPOSED STORM SEWER STRUCTURES

- KEY NOTE LEGEND**
- 1 PROPOSED 4" SDR35 PVC SANITARY SERVICE
  - 2 PROPOSED 8" SDR35 PVC SANITARY SERVICE
  - 3 PROPOSED 8" C900 PVC FIRE SERVICE
  - 4 PROPOSED 4" C900 PVC DOMESTIC SERVICE LINE
  - 5 PROPOSED FIRE DEPARTMENT CONNECTION
  - 6 PROPOSED FH ASSEMBLY PER CSU STANDARD DETL. A5-6
  - 7 PROPOSED WASTEWATER TAP PER CSU WASTEWATER STANDARD DETAIL D1-6
  - 8 PROPOSED 8" C900 PVC WATER MAIN (PUBLIC)
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  - 30 PROPOSED CLEANOUT

- NOTES:**
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  - ALL CONDITIONS SHOWN TO BE "EXISTING" OR "ASSUMED" SHALL BE VERIFIED IN THE FIELD BY THE GENERAL CONTRACTOR PRIOR TO START OF CONSTRUCTION INCLUDING BUT NOT LIMITED TO POTHOLES OF EXISTING UTILITY ELEVATIONS AT CROSSINGS AND TIE-IN LOCATIONS. ANY DISCREPANCIES SHALL BE NOTED AND SUBMITTED TO THE OWNER AND THE ENGINEER FOR REVIEW. CHANGES TO THE ORIGINAL DESIGN OF THIS PROJECT DUE TO EXISTING SITE CONDITIONS MUST BE APPROVED BY BOTH THE ENGINEER AND OWNER PRIOR TO MAKING ANY CHANGES.
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  - ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH ALL RESTRAINTS PER CSU STANDARDS.

**CAUTION NOTE (SERVICE LINES):**  
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**Kimley-Horn**  
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2 North Nevada Avenue, Suite 300  
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
UTILITY SERVICE PLAN

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR  
CONSTRUCTION  
Kimley-Horn  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481004

SHEET  
C3.4

| NO. | REVISION | BY | DATE | APPRO. |
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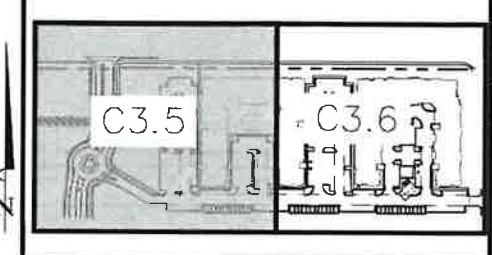
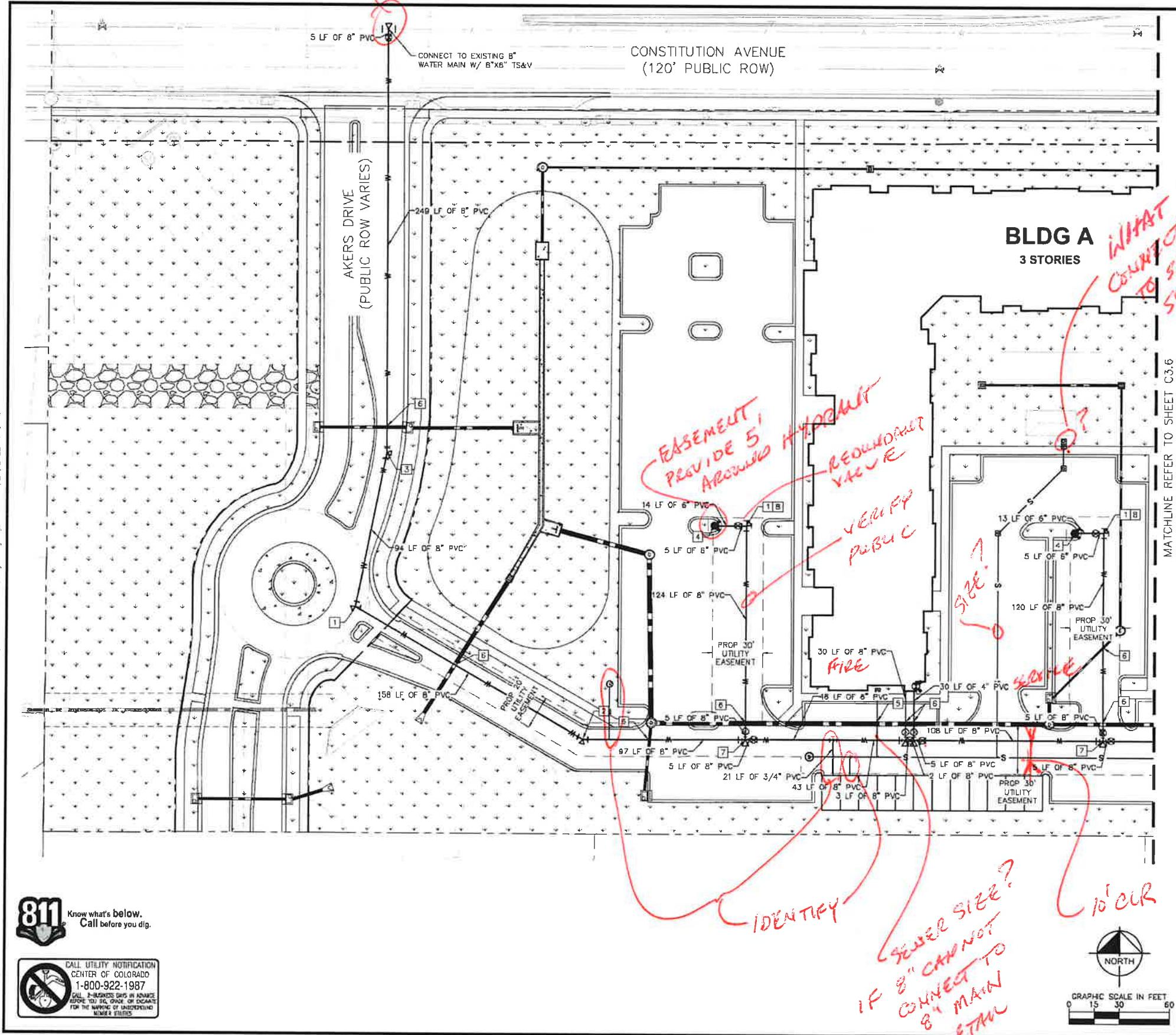
MIN 10' CLR  
8" SERVICE  
CAN NOT COME  
TO 8" MAIN.  
MAX 6" PER  
CSU STD. D1-16

PROVIDE TEE  
+ 3 VALVES

SHOW GAS & ELECTRIC  
SHOW 10' SEPARATION  
FROM WATER & WASTE  
WATER

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TEE & 3 VALVES



**LEGEND**

|  |  |
|--|--|
|  | PROPERTY LINE                          |
|  | EXISTING WATER LINE & VALVE            |
|  | PROPOSED WATER LINE & VALVE            |
|  | PROPOSED FIRE HYDRANT                  |
|  | EXISTING SANITARY SEWER LINE & MANHOLE |
|  | PROPOSED SANITARY SEWER LINE & MANHOLE |
|  | PROPOSED STORM SEWER LINE & MANHOLE    |
|  | PROPOSED STORM SEWER STRUCTURES        |

- KEY NOTE LEGEND**
- 90° HORIZONTAL BEND WITH THRUST BLOCK
  - 22.5° HORIZONTAL BEND WITH THRUST BLOCK
  - 11.25° HORIZONTAL BEND WITH THRUST BLOCK
  - FH ASSEMBLY PER CSU STANDARD DETL. A5-6
  - SANITARY SEWER CROSSING
  - STORM SEWER CROSSING
  - 8"x8" FIRE SERVICE TEE W/ 8" GATE VALVE (3-VALVE CLUSTER)
  - 8"x6" REDUCER W/ THRUST BLOCK

- NOTES:**
- ALL WATER LINES TO BE BEDDED PER COLORADO SPRINGS UTILITIES SPECIFICATIONS.
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  - THE HORIZONTAL DIMENSIONS BETWEEN PROPOSED UTILITY LINES MAY VARY SLIGHTLY BASED ON INSTALLED VALVES, ADAPTER, AND PUMPS.
  - ALL APPURTENANCES ON HYDRANT LATERALS SHALL BE INSTALLED WITH MJ RESTRAINTS PER CSU STANDARDS.
  - ALL WATER LINES DESIGNATED PVC TO BE CONSTRUCTED WITH C900 PVC PIPE.

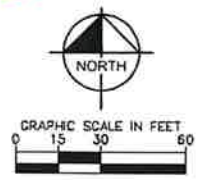
**CAUTION NOTE (SERVICE LINES):**  
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LABOR FIRE & SERVICE WATER LINES

**811** Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE TOY, SO, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND NUMBER 4 UTILITIES



**Kimley Horn**  
 2020 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue, Suite 300  
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 WATER PLAN

PROJECT NO. 096481004  
 SHEET C3.5

SEWER SIZE? IF 8" CANNOT CONNECT TO 8" MAIN W/ DETAIL DI-6 6" MAX

10' CUR

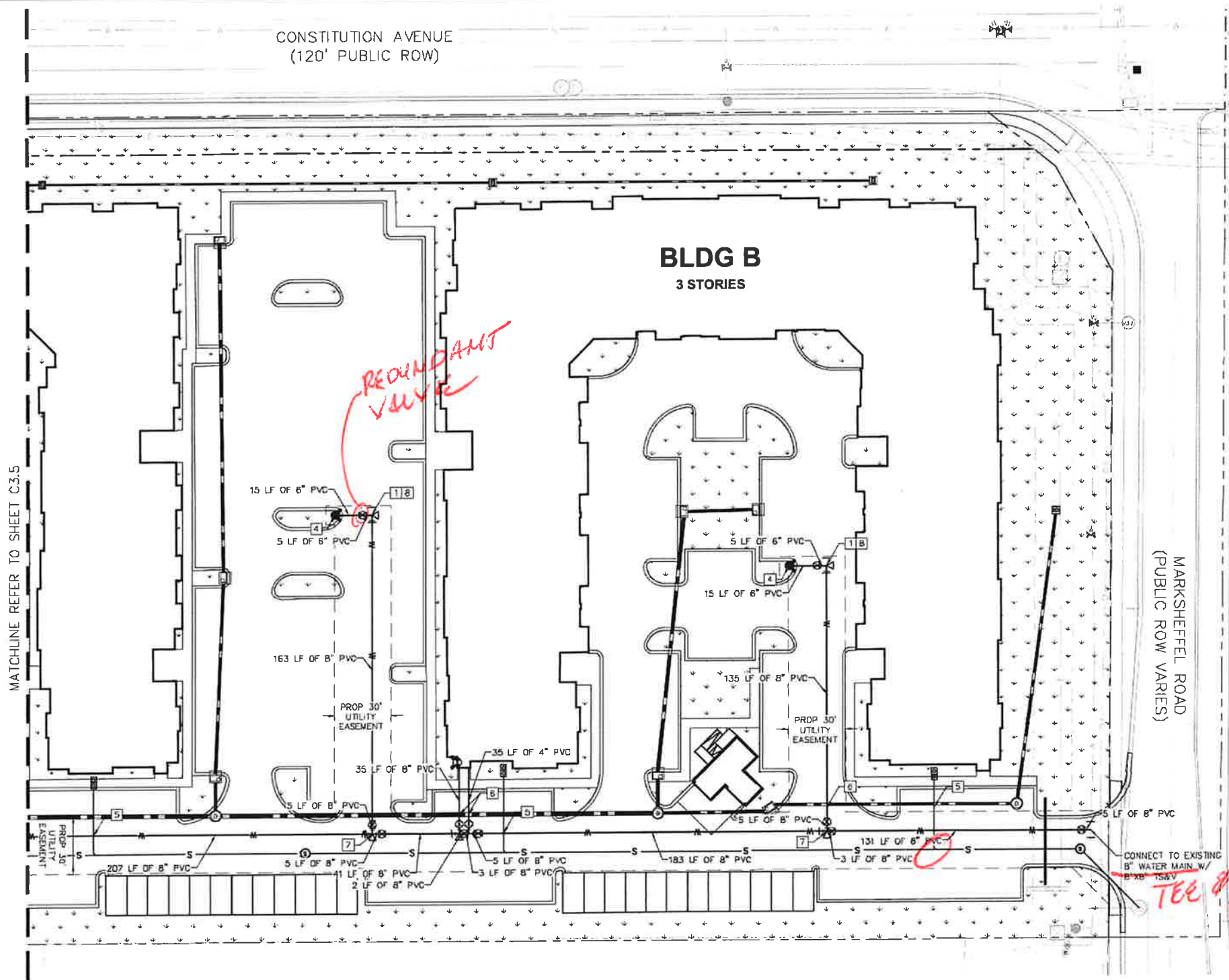
IDENTIFY

WHAT IS CONNECTED TO SANI. SEWER?

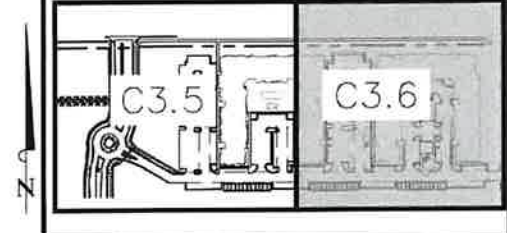
EASEMENT PROVIDE 5' AROUND HYDRANT  
 ROUNDOUT VALVE  
 VERIFY PUBLIC

SEE COMMENTS ON C3.4

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MATCHLINE REFER TO SHEET C3.5



KEY MAP  
NOT TO SCALE

- LEGEND**
- PROPERTY LINE
  - EXISTING WATER LINE & VALVE
  - PROPOSED WATER LINE & VALVE
  - PROPOSED FIRE HYDRANT
  - EXISTING SANITARY SEWER LINE & MANHOLE
  - PROPOSED SANITARY SEWER LINE & MANHOLE
  - PROPOSED STORM SEWER LINE & MANHOLE
  - PROPOSED STORM SEWER STRUCTURES

- KEY NOTE LEGEND**
- 1 90° HORIZONTAL BEND WITH THRUST BLOCK
  - 2 22.5° HORIZONTAL BEND WITH THRUST BLOCK
  - 3 11.25° HORIZONTAL BEND WITH THRUST BLOCK
  - 4 FH ASSEMBLY PER CSU STANDARD DETL. A5-6
  - 5 SANITARY SEWER CROSSING
  - 6 STORM SEWER CROSSING
  - 7 8"x8" FIRE SERVICE TEE W/ 8" GATE VALVE (3-VALVE CLUSTER)
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**NOTES:**

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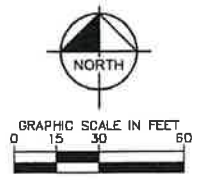
DESIGNED BY: NMH  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 WATER PLAN

**811** Know what's below.  
 Call before you dig.

CALL UTILITY NOTIFICATION  
 CENTER OF COLORADO  
 1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE  
 BEFORE YOU DIG, GRADE, OR DRILL  
 FOR THE MARKING OF UNDERGROUND  
 UTILITY LINES



**PRELIMINARY**  
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 NOT FOR  
 CONSTRUCTION

**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO  
 096481004

SHEET  
**C3.6**

*IF CURB BOX LOCATE MUST 7' FROM BLDG FDN.*

*WHAT CONNECTED TO? SHOW OR REF. C3.3*

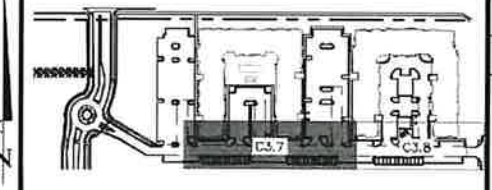
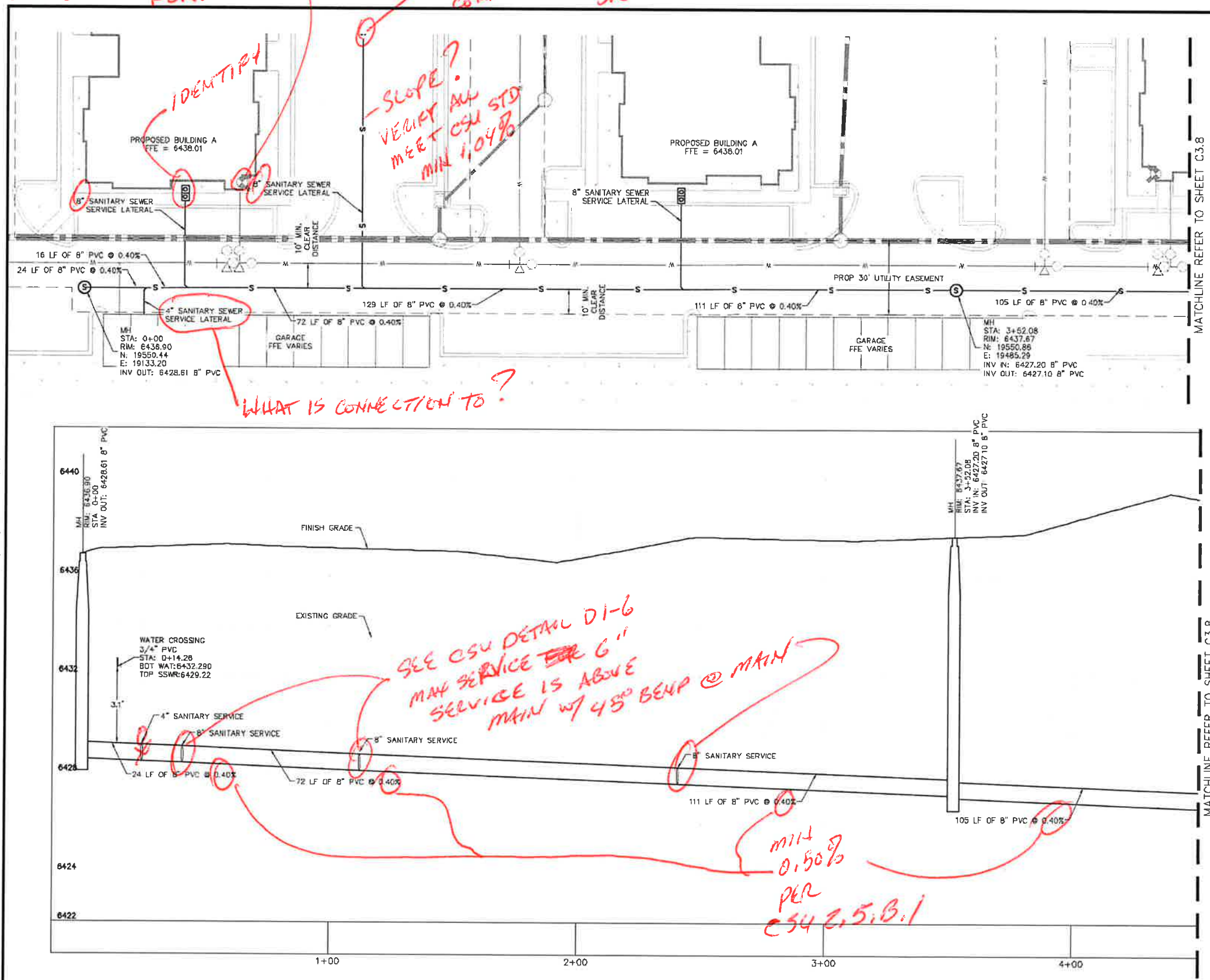
*IDENTIFY*

*SLOPE? VERIFY ALL MEET CSU STD MIN 1.04%*

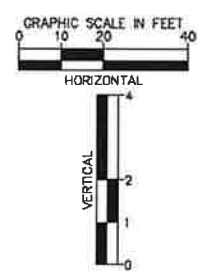
*WHAT IS CONNECTION TO?*

*SEE CSU DETAIL D1-6 MAIN SERVICE FOR 6" SERVICE IS ABOVE MAIN w/ 45° BEND @ MAIN*

*MIN 0.50% PER CSU 2.5.B.1*



KEY MAP NOT TO SCALE



**LEGEND:**

- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- - - EXISTING SANITARY SEWER
- - - PROPOSED SANITARY SEWER
- ⊙ SANITARY SEWER MANHOLE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ PROPOSED STORM MANHOLE
- ▬ PROPOSED STORM SEWER
- PROPOSED WATER LINE
- PROPOSED FIRE HYDRANT
- PROPOSED STORM INLET

**SANITARY SEWER NOTES**

1. MANHOLE R/W ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. ALL SANITARY SEWER MANHOLES AND MAINS ARE PUBLIC UNLESS OTHERWISE NOTED.
3. ALL SERVICE LATERALS SHALL BE A MINIMUM OF 8" PVC AND PRIVATE UNLESS OTHERWISE NOTED ON PLANS.
4. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING SANITARY SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
5. CONTRACTOR TO MODIFY EXISTING MANHOLE R/W ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.
6. SANITARY MAINS UNDER 1.04% SLOPE SHALL REQUIRE SELECT BEDDING PER CSU WASTEWATER LESS 5.11.D.3



| NO. | REVISION | BY | DATE | APPR. |
|-----|----------|----|------|-------|
|     |          |    |      |       |

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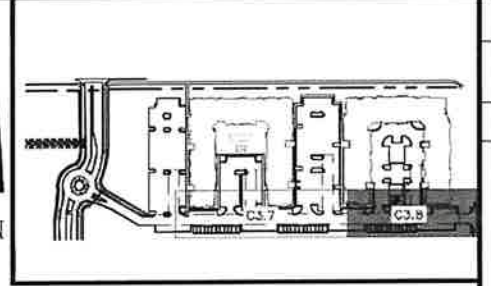
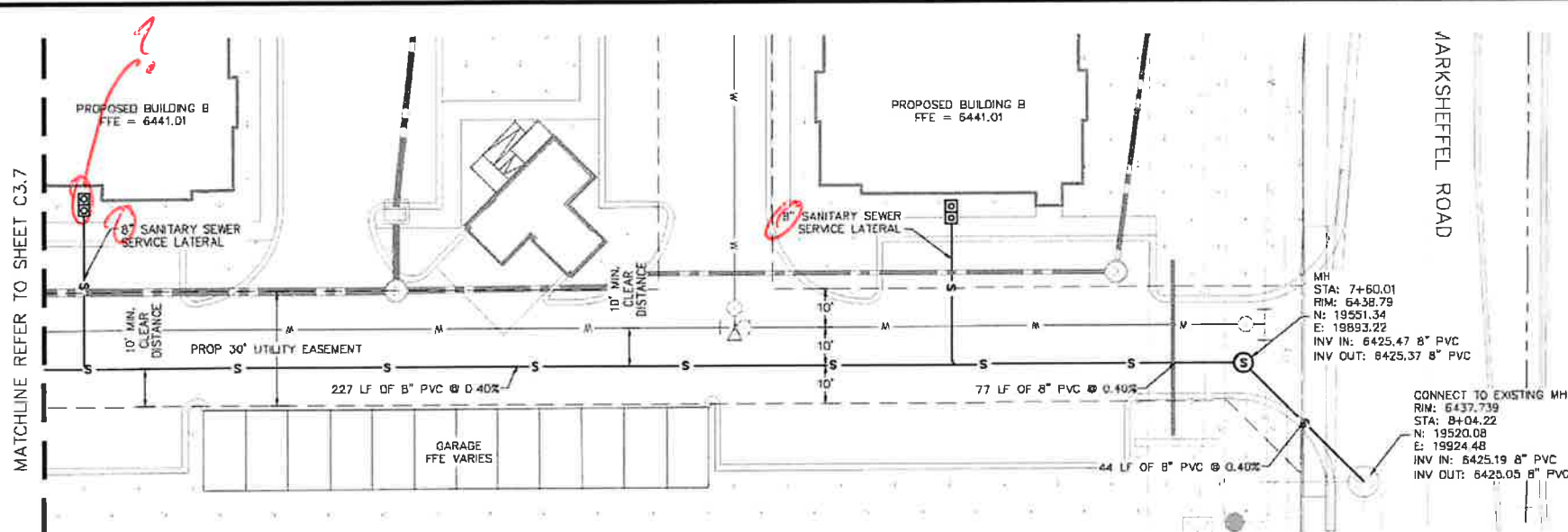
THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
**SAN. SEWER PLAN & PROFILE LINE A**

PRELIMINARY  
 FOR REVIEW ONLY  
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**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

PROJECT NO  
 096481004  
 SHEET  
**C3.7**

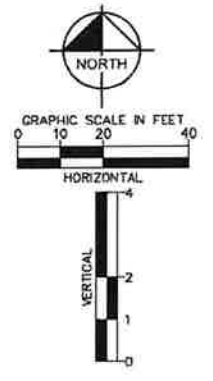
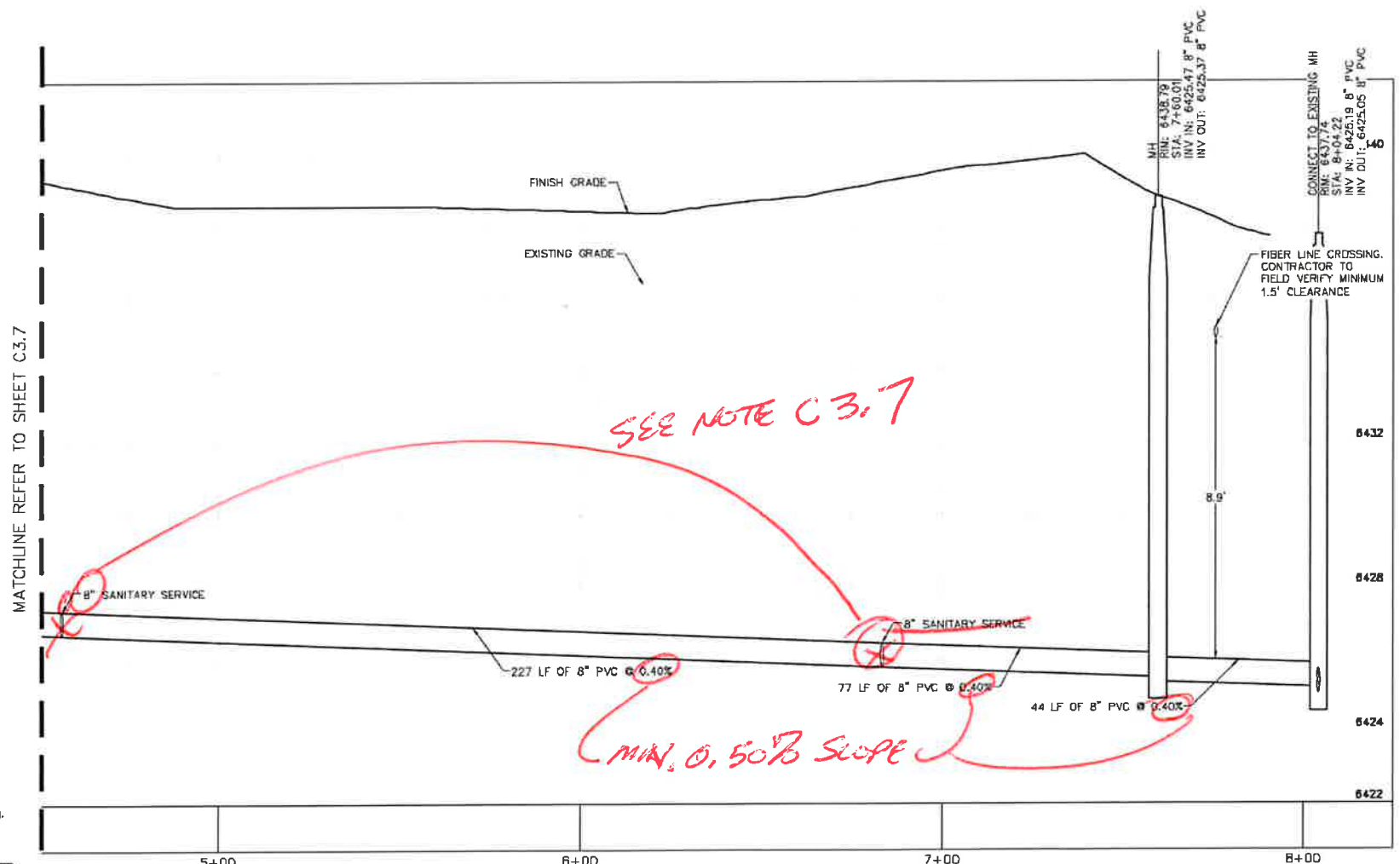
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- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - - - EXISTING SANITARY SEWER
  - - - PROPOSED SANITARY SEWER
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ EXISTING SANITARY MANHOLE
  - ⊙ PROPOSED STORM MANHOLE
  - ▬ PROPOSED STORM SEWER
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  - ⊕ PROPOSED FIRE HYDRANT
  - ⊕ PROPOSED STORM INLET

- SANITARY SEWER NOTES**
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CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, DRILL, OR EXCAVATE FOR THE WARNING OF UNDERGROUND NUMBER 8 UTILITIES

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CHECKED BY: DLS  
DATE: 01/27/2022

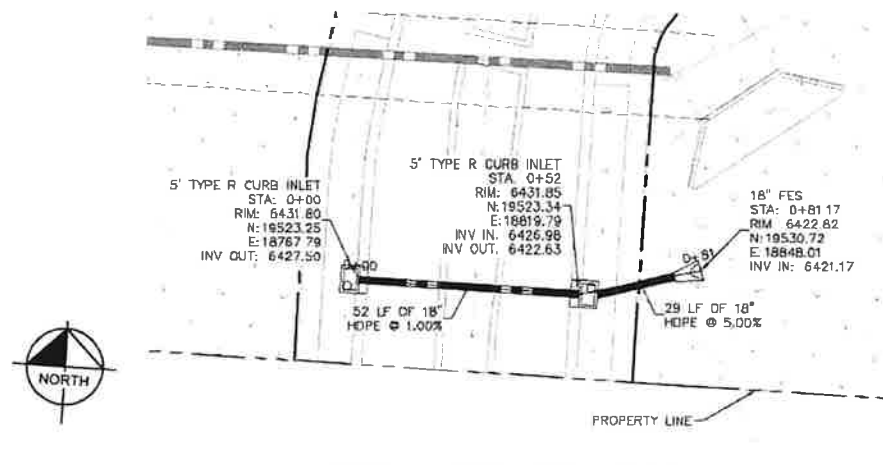
THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
SAN. SEWER PLAN & PROFILE LINE A

PRELIMINARY  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION

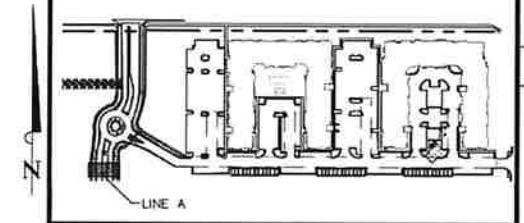
PROJECT NO. 096481004  
SHEET C3.8

| NO. | REVISION | BY | DATE | APPR. |
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STORM SEWER LINE A STA 0+00-0+81 PLAN VIEW

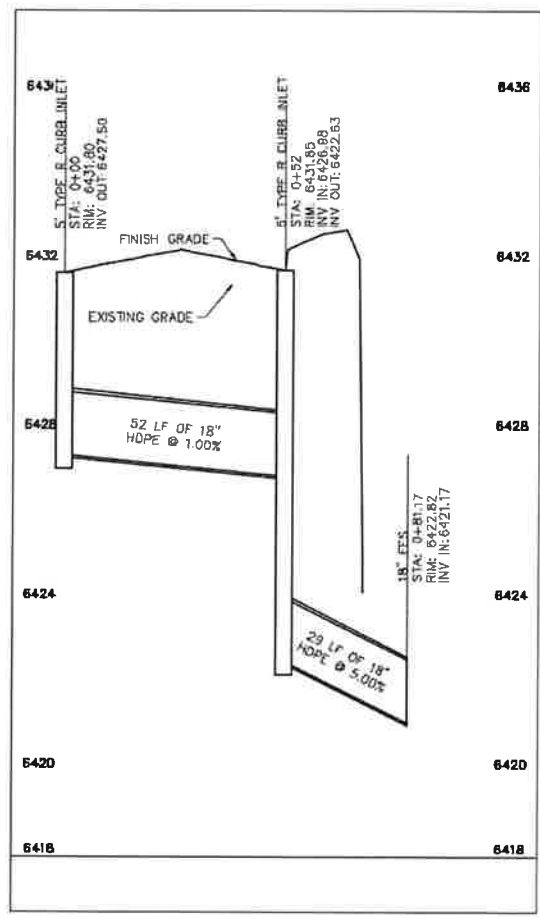


KEY MAP NOT TO SCALE

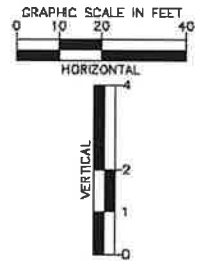
- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET

**STORM SEWER NOTES**

1. MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
2. CONTRACTOR SHALL MODIFY STANDARD INLET STRUCTURE DIMENSIONS AND STRUCTURAL COMPONENTS TO ACCOMMODATE ASSOCIATED ENTRY AND OUTLET PIPES.
3. ALL STORM SEWER MAINS PIPE, INLETS AND MANHOLES ARE PRIVATELY OWNED AND MAINTAINED BY THE OWNER UP UNTIL THE PUBLIC CONNECTION POINT, UNLESS OTHERWISE NOTED ON THE PLANS.
4. ALL CURB INLET STATIONS ARE BASED ON THE MIDPOINT OF THE CURB INLET AT THE FLOWLINE.
5. ALL CURB INLET FL ELEVATIONS AND STATIONING ARE BASED ON THE MIDPOINT OF THE CURB INLET AT FLOWLINE.
6. ALL STORM SEWER PIPE 12" AND GREATER SHALL BE HDPE UNLESS OTHERWISE NOTED.
7. ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT. RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
8. CONTRACTOR SHALL VERIFY LOCATIONS AND ELEVATIONS OF EXISTING STORM SEWER AT ALL CONNECTION POINTS AND NOTIFY ENGINEER OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
9. CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.



STORM SEWER LINE A STA 0+00-0+81 PROFILE VIEW



**811** Know what's below. Call before you dig.

CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987

CALL 24 HOURS A DAY IN ADVANCE BEFORE YOU DIG, DRILL, OR LOCATE FOR THE SAFETY OF UNDERGROUND UTILITIES.

**Kimley»Horn**  
 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 2 North Nevada Avenue, Suite 300  
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 01/27/2022

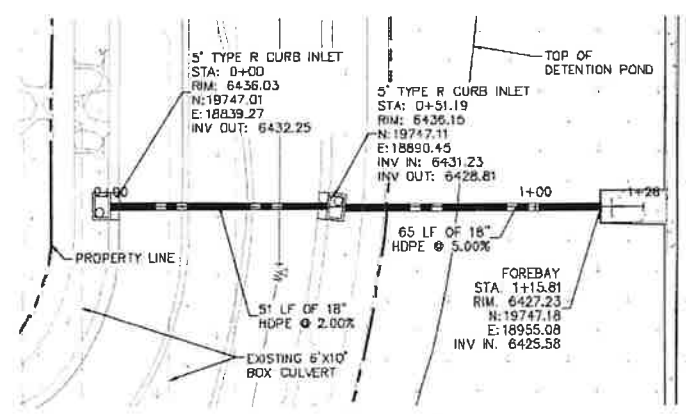
THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 STORM PLAN AND PROFILE LINE A

PRELIMINARY  
 FOR REVIEW ONLY  
 NOT FOR CONSTRUCTION  
**Kimley»Horn**  
 Kimley-Horn and Associates, Inc.

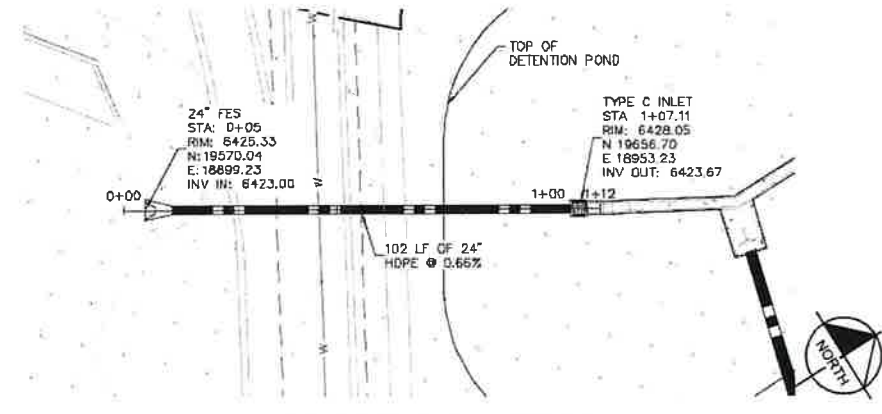
PROJECT NO  
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**C3.9**

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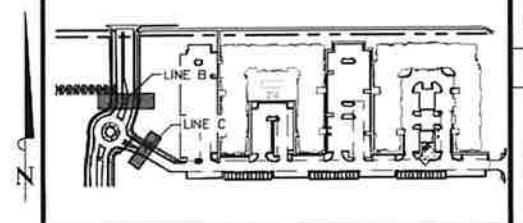
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STORM SEWER LINE B STA 0+00-1+26 PLAN VIEW

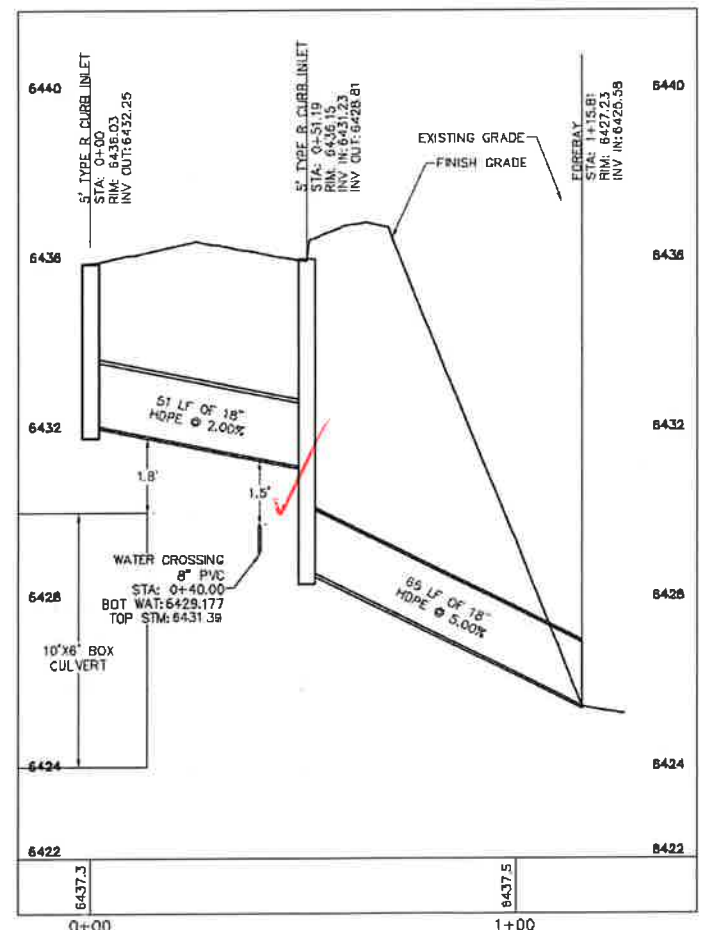


STORM SEWER LINE C STA 0+00-1+12 PLAN VIEW

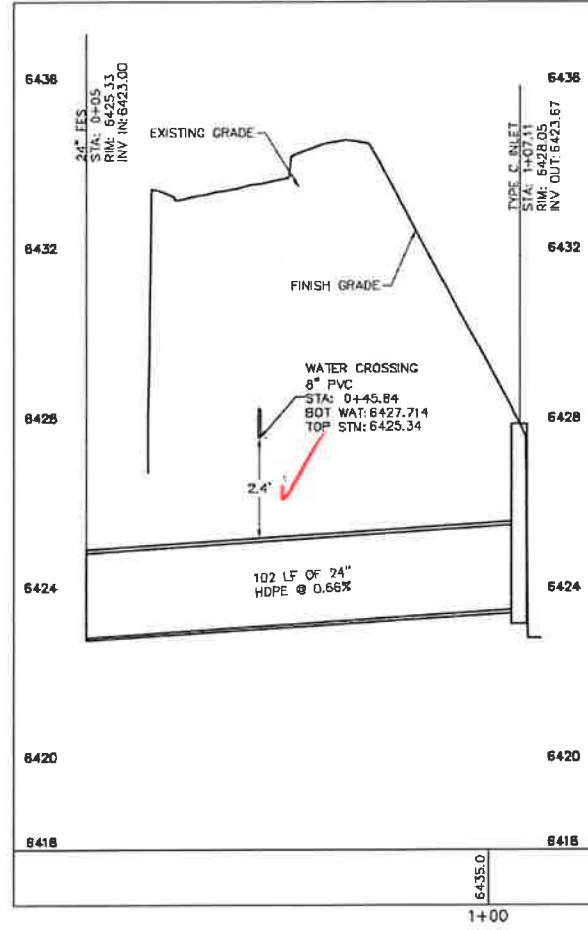


KEY MAP  
NOT TO SCALE

- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET



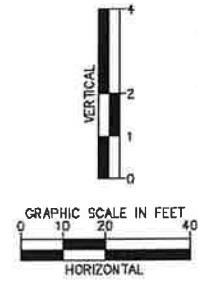
STORM SEWER LINE B STA 0+00-1+26 PROFILE VIEW



STORM SEWER LINE C STA 0+00-1+12 PROFILE VIEW

**STORM SEWER NOTES**

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CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG. ORDER OF DIGGING FOR THE MARKING OF UNDERGROUND UTILITIES

**Kimley Horn**  
2022 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue, Suite 300  
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

**THE CITIZEN ON CONSTITUTION**  
**EL PASO COUNTY, COLORADO**  
**UTILITY AND WATER SERVICE PLANS**  
**STORM PLAN AND PROFILE LINE B & C**

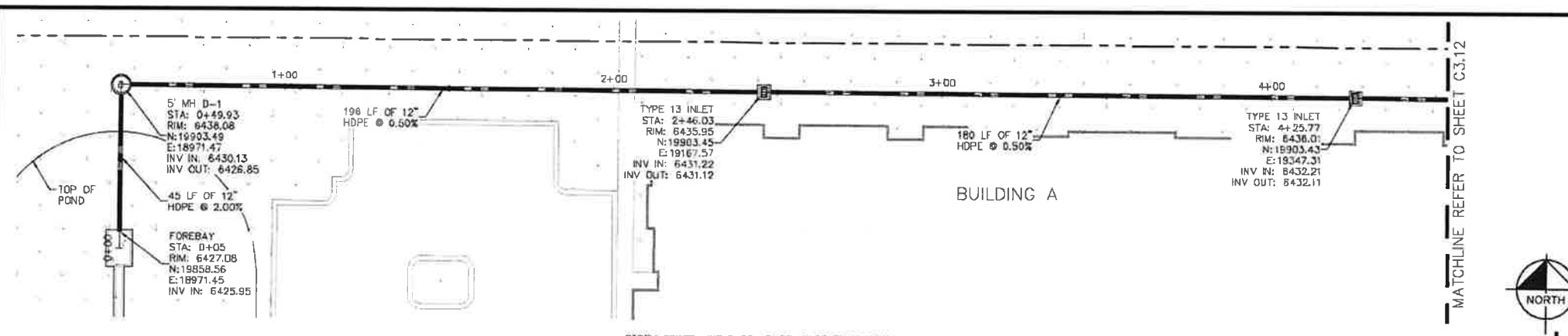
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FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
**Kimley Horn**  
Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481004

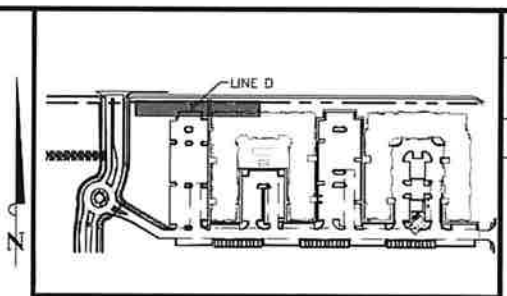
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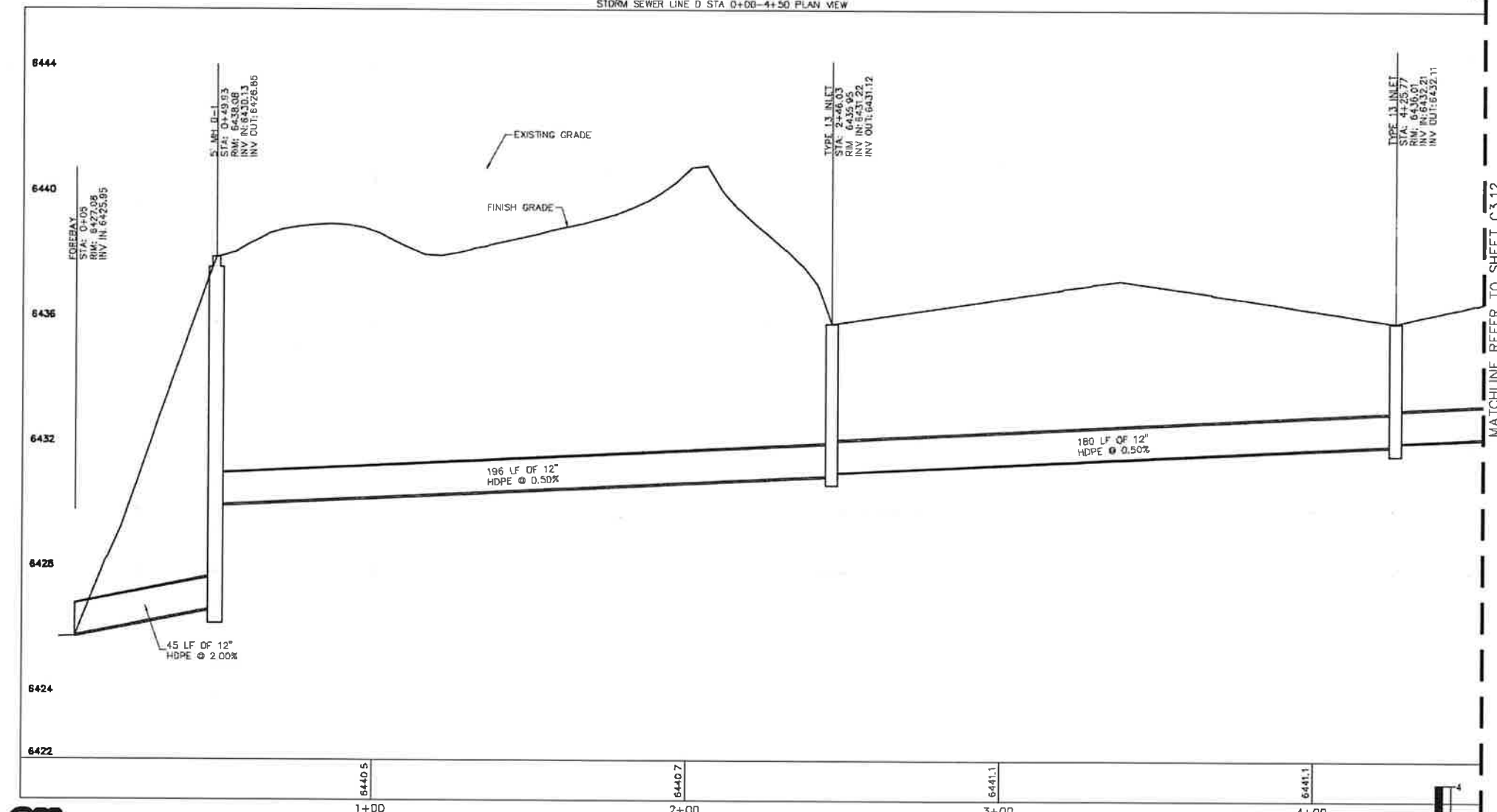
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STORM SEWER LINE D STA 0+00-4+50 PLAN VIEW



KEY MAP NOT TO SCALE



STORM SEWER LINE D STA 0+00-4+50 PROFILE VIEW

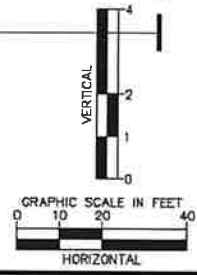
- LEGEND:**
- PROPERTY LINE
  - EXISTING EASEMENT LINE
  - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - EXISTING FIRE HYDRANT
  - PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET

**STORM SEWER NOTES**

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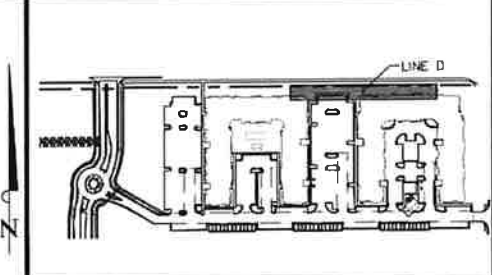
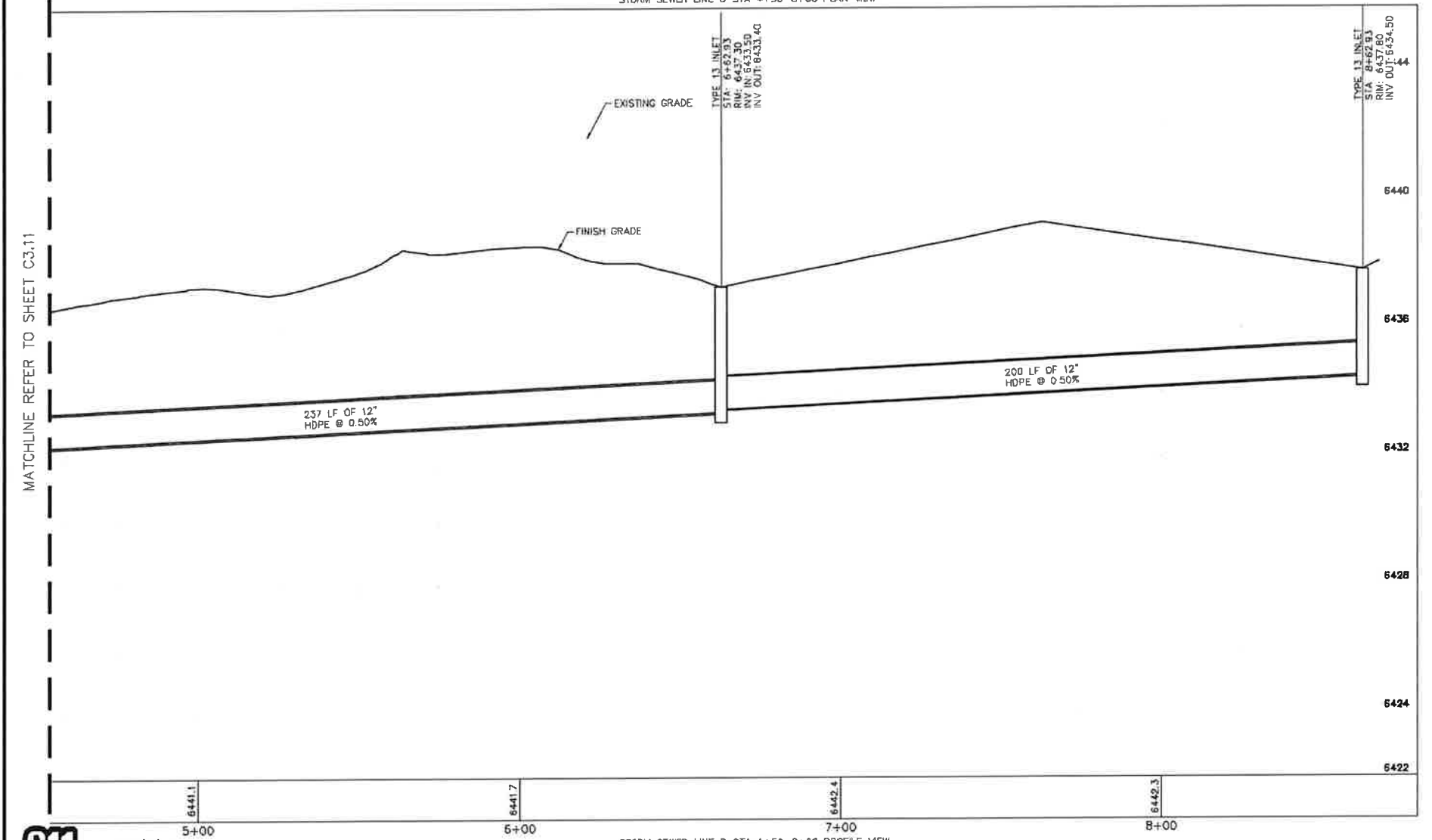
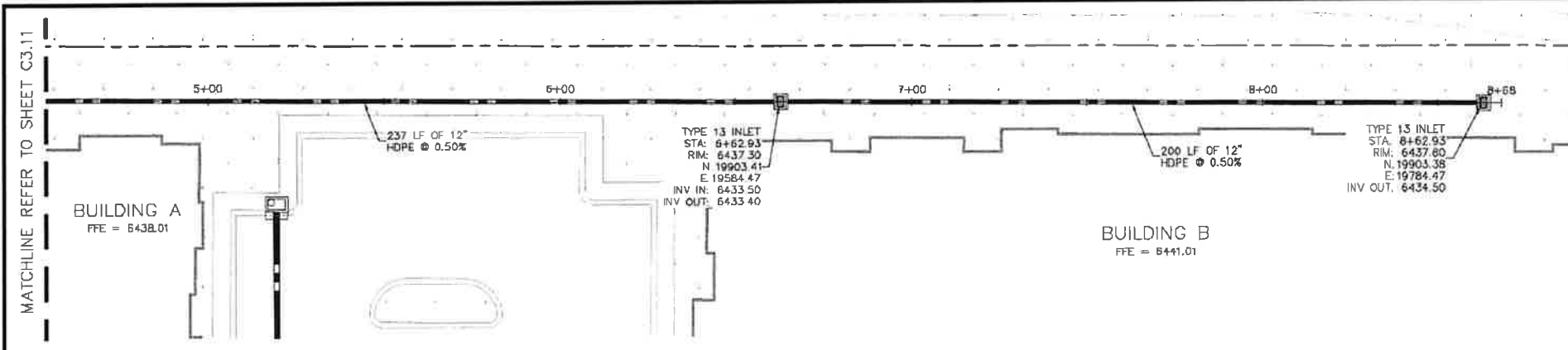
CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
CALL 3-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR DEMOLISH FOR THE WARNING OF UNDERGROUND UTILITY SERVICES.



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| NO.   | REVISION | BY | DATE | APPROV. |
|   |          |    |      |         |
|   |          |    |      |         |
| 2022 KIMLEY-HORN AND ASSOCIATES, INC.<br>2 North Nevada Avenue, Suite 300<br>Colorado Springs, CO 80903 (303) 228-2300                    |          |    |      |         |
| DESIGNED BY: NMH<br>DRAWN BY: NMH<br>CHECKED BY: DLS<br>DATE: 01/27/2022  |          |    |      |         |
| <b>THE CITIZEN ON CONSTITUTION</b><br>EL PASO COUNTY, COLORADO<br>UTILITY AND WATER SERVICE PLANS<br><b>STORM PLAN AND PROFILE LINE D</b> |          |    |      |         |
| PRELIMINARY<br>FOR REVIEW ONLY<br>NOT FOR<br>CONSTRUCTION<br>   |          |    |      |         |
| PROJECT NO.<br>096481004  |          |    |      |         |
| SHEET<br><b>C3.11</b>   |          |    |      |         |

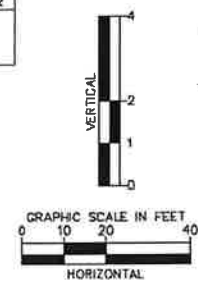


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- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
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  - EXISTING WATER LINE
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  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - (S) SANITARY SEWER MANHOLE
  - (D) PROPOSED STORM MANHOLE
  - (E) EXISTING STORM MANHOLE
  - (C) PROPOSED CURB INLET
  - (G) EXISTING CURB INLET
  - (G) PROPOSED GRATE INLET

- STORM SEWER NOTES**
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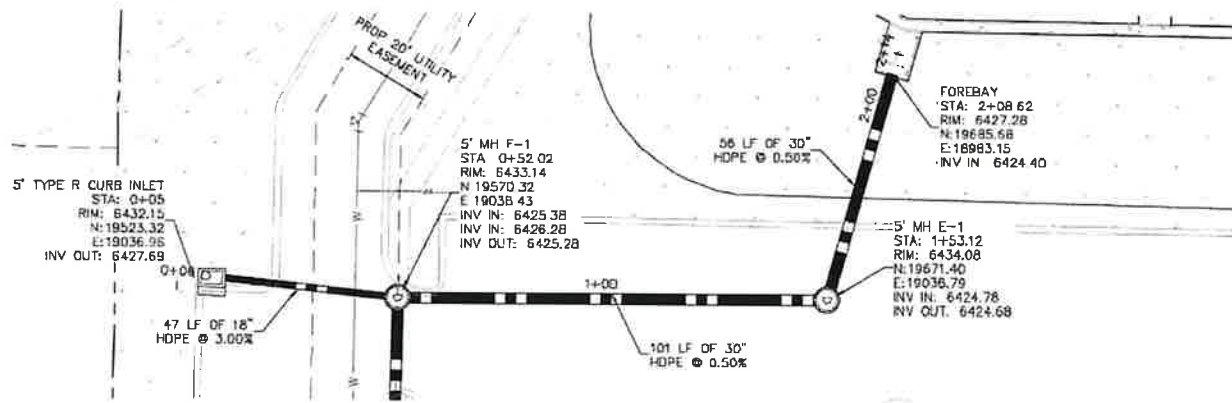
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| <p><b>Kimley»Horn</b></p> <p>2022 KIMLEY-HORN AND ASSOCIATES, INC.<br/>2 North Nevada Avenue, Suite 300<br/>Colorado Springs, CO 80903 (303) 228-2300</p> | <p>DESIGNED BY: NMH<br/>DRAWN BY: NMH<br/>CHECKED BY: DLS<br/>DATE: 01/27/2022</p> |
| <p>THE CITIZEN ON CONSTITUTION<br/>EL PASO COUNTY, COLORADO<br/>UTILITY AND WATER SERVICE PLANS<br/>STORM PLAN AND PROFILE LINE D</p>                     |  |
| <p><b>PRELIMINARY</b><br/>FOR REVIEW ONLY<br/>NOT FOR CONSTRUCTION</p> <p><b>Kimley»Horn</b><br/>Kimley-Horn and Associates, Inc.</p>                     |  |
| <p>PROJECT NO<br/>096481004</p> <p>SHEET<br/><b>C3.12</b></p>   |  |

**811** Know what's below.  
Call before you dig.

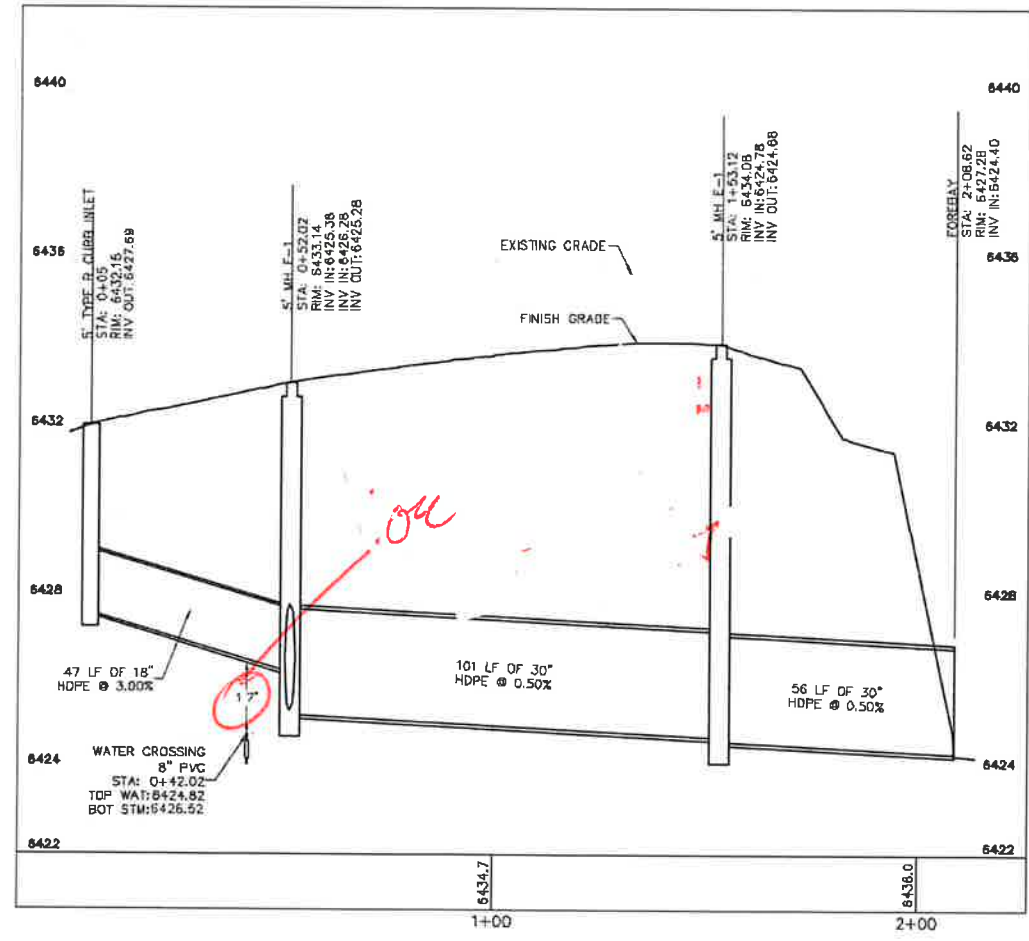
CALL UTILITY NOTIFICATION  
CENTER OF COLORADO  
1-800-922-1987

CALL 2-BUSINESS DAYS IN ADVANCE  
BEFORE YOU DIG, ORANGE OR DIGGING  
FOR THE MARKING OF UNDERGROUND  
UTILITY LINES

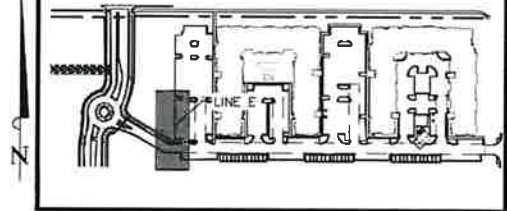
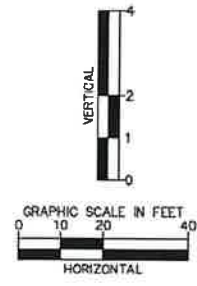
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STORM SEWER LINE E STA 0+00-2+14 PLAN VIEW



STORM SEWER LINE E STA 0+00-2+14 PROFILE VIEW



KEY MAP NOT TO SCALE

LEGEND:

- PROPERTY LINE
- - - - - EXISTING EASEMENT LINE
- - - - - PROPOSED EASEMENT LINE
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- PROPOSED STORM SEWER
- EXISTING WATER LINE
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- PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- (S) SANITARY SEWER MANHOLE
- (D) PROPOSED STORM MANHOLE
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CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, PROBE, OR EXCAVATE FOR THE WORKING OF UNDERGROUND NUMBER 8 UTILITIES

**Kimley»Horn**  
 2022 KIMLEY-HORN AND ASSOCIATES, INC.  
 2140 Colorado Avenue, Suite 300  
 Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
 DRAWN BY: NMH  
 CHECKED BY: DLS  
 DATE: 01/27/2022

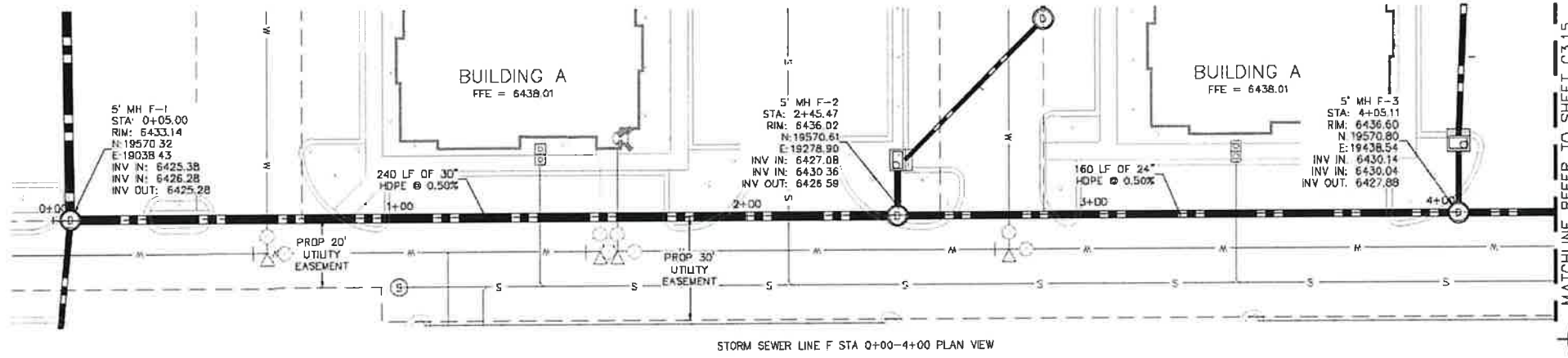
THE CITIZEN ON CONSTITUTION  
 EL PASO COUNTY, COLORADO  
 UTILITY AND WATER SERVICE PLANS  
 STORM PLAN AND PROFILE LINE E

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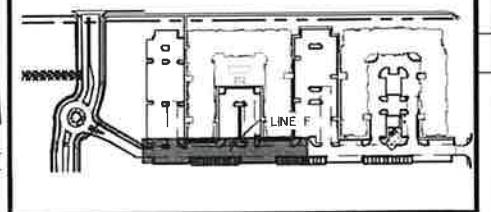
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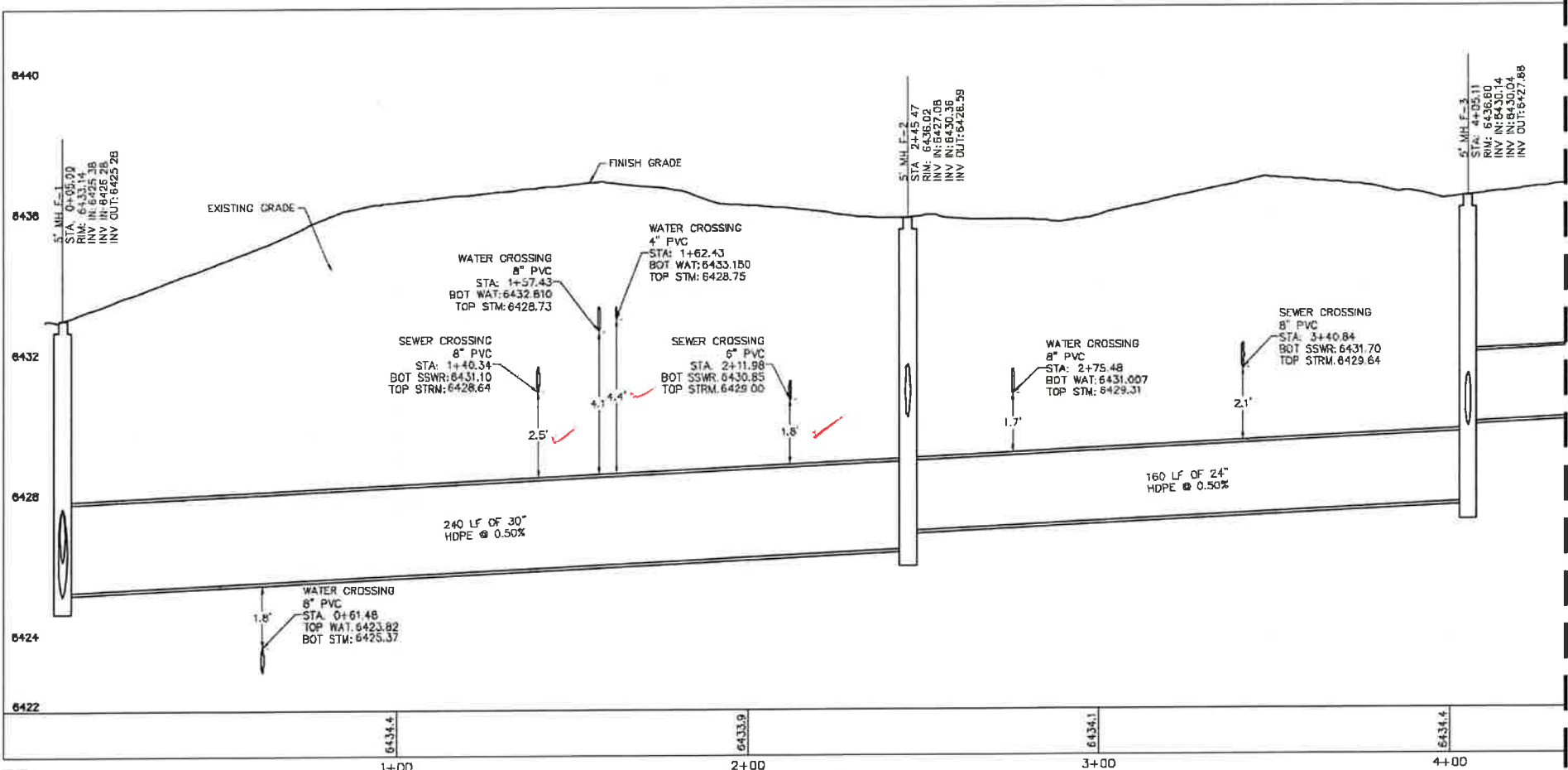


STORM SEWER LINE F STA 0+00-4+00 PLAN VIEW



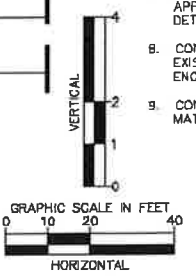
KEY MAP NOT TO SCALE

- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
  - EXISTING WATER LINE
  - PROPOSED WATER LINE
  - ▲ EXISTING FIRE HYDRANT
  - ▲ PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
  - ▲ PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - SANITARY SEWER MANHOLE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED CURB INLET
  - EXISTING CURB INLET
  - PROPOSED GRATE INLET



STORM SEWER LINE F STA 0+00-4+00 PROFILE VIEW

- STORM SEWER NOTES**
- MANHOLE RIM ELEVATIONS PROVIDED FOR REFERENCE ONLY. CONTRACTOR SHALL INSTALL MANHOLES IN ACCORDANCE WITH APPLICABLE DETAILS BASED UPON FINAL FINISH GRADING AT MANHOLE LOCATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTMENTS TO ACCOMMODATE DEVIATIONS IN SITE GRADING AT NO COST TO THE OWNER.
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  - ALL CURB INLET STATIONS ARE BASED ON THE MIDPOINT OF THE CURB INLET AT THE FLOWLINE.
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  - ALL PRIVATE LANDSCAPE DRAINS SHALL BE NYOPLAST TYPE OR APPROVED EQUIVALENT; RE: UTILITY DETAILS FOR NYOPLAST DETAILED DRAWINGS.
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  - CONTRACTOR TO MODIFY EXISTING MANHOLE RIM ELEVATIONS TO MATCH PROPOSED FINISH GRADE AS NECESSARY.



CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE  
EXCEPT FOR THE SERVICE OF LOCATING  
FOR THE MARKING OF UNDERGROUND  
UTILITY LINES

**Kimley-Horn**  
2022 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue, Suite 300  
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM PLAN AND PROFILE LINE F

PRELIMINARY  
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NOT FOR  
CONSTRUCTION  
Kimley-Horn and Associates, Inc.

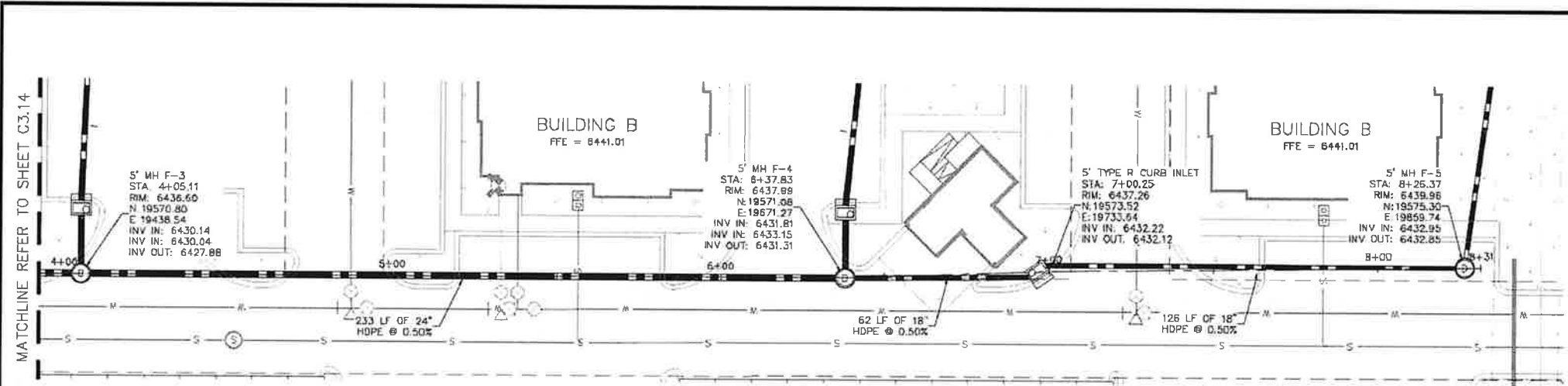
PROJECT NO  
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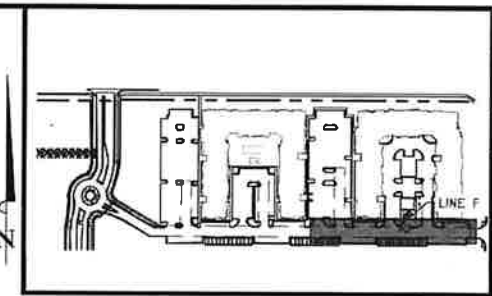
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STORM SEWER LINE F STA 4+00-8+31 PLAN VIEW



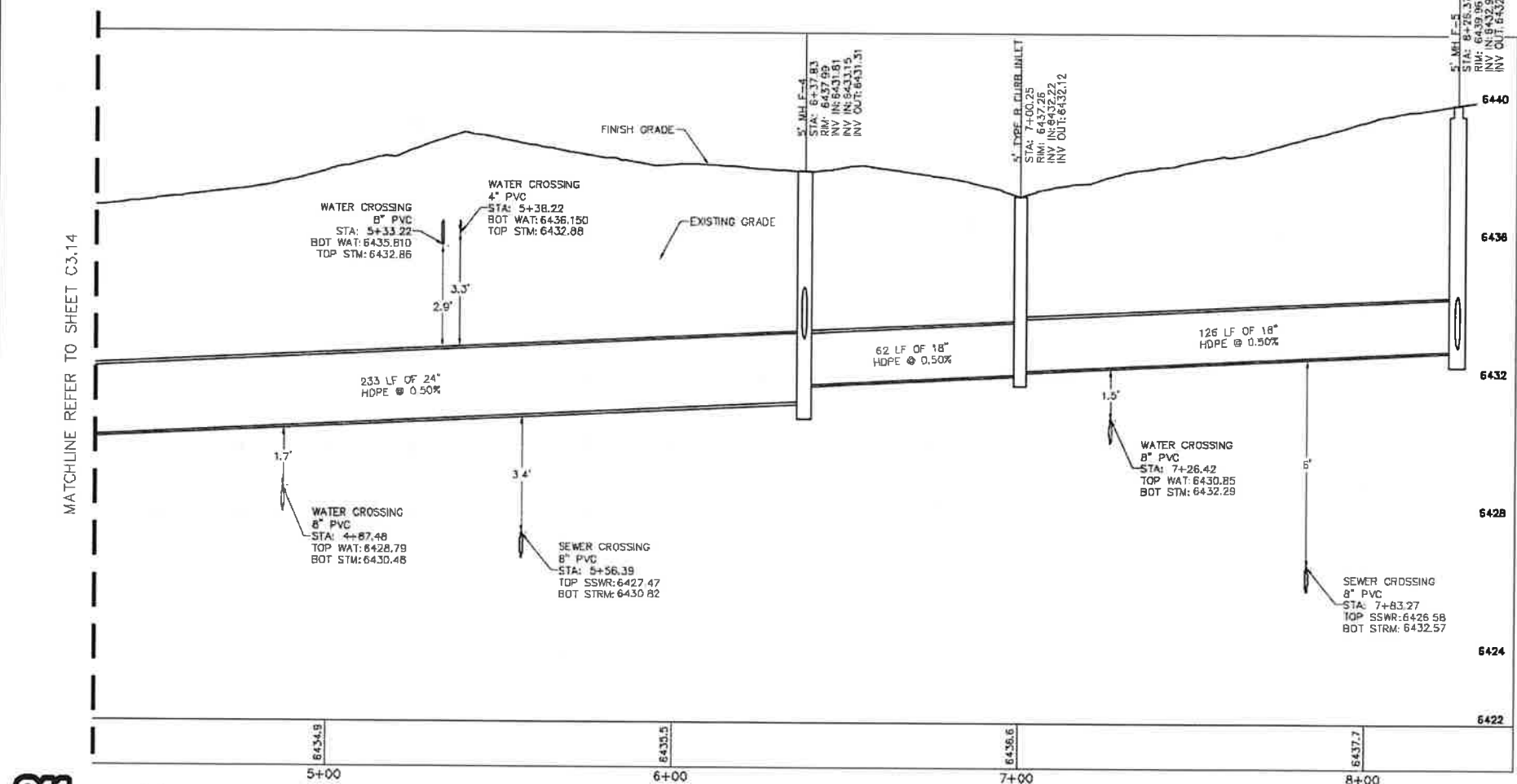
KEY MAP NOT TO SCALE

LEGEND:

- PROPERTY LINE
- - - EXISTING EASEMENT LINE
- - - PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
- PROPOSED WATER LINE
- ▲ EXISTING FIRE HYDRANT
- ▲ PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
- ▲ PROPOSED FIRE DEPARTMENT CONNECTION W/ APPROVED KNOX HARDWARE
- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SANITARY SEWER MANHOLE
- PROPOSED STORM MANHOLE
- EXISTING STORM MANHOLE
- PROPOSED CURB INLET
- EXISTING CURB INLET
- PROPOSED GRATE INLET

STORM SEWER NOTES

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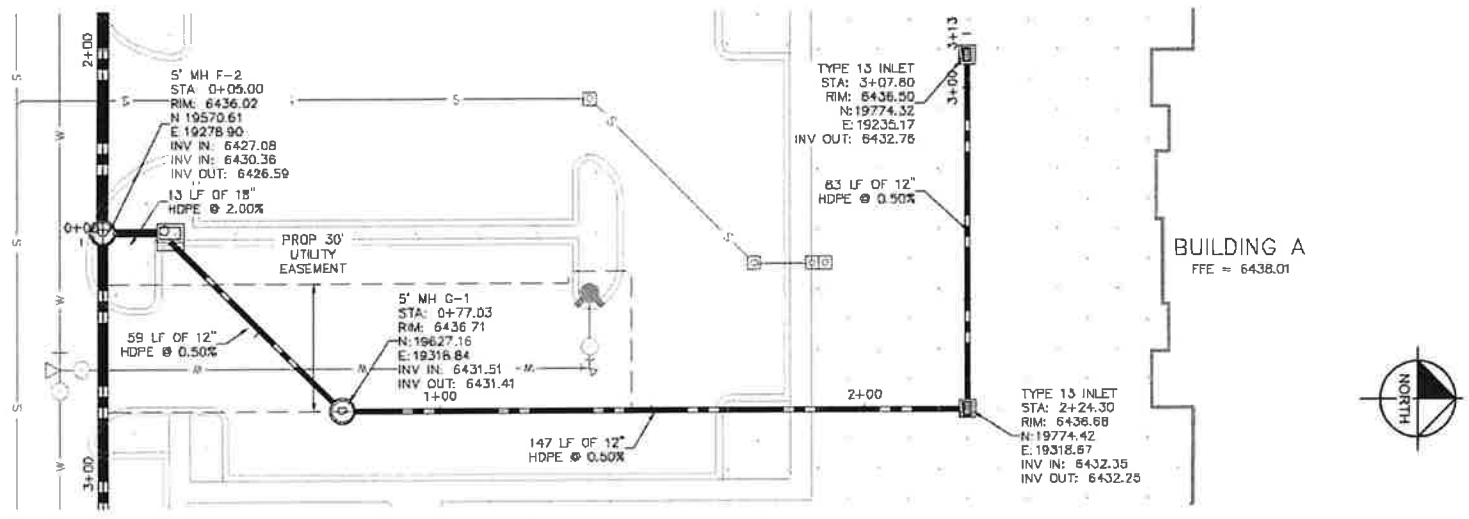
STORM SEWER LINE F STA 4+00-8+31 PROFILE VIEW



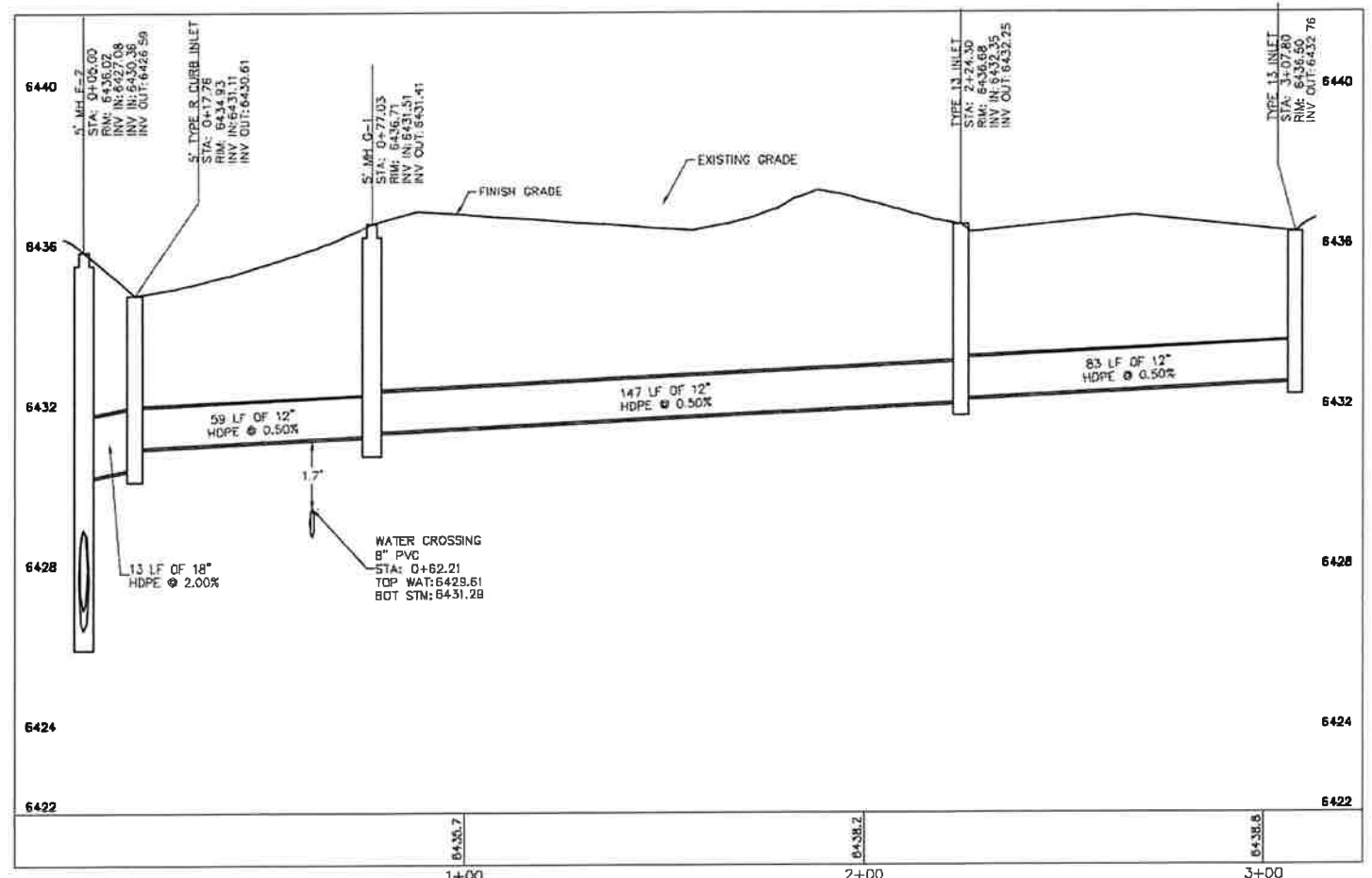
CALL UTILITY NOTIFICATION CENTER OF COLORADO 1-800-922-1987

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|-------------------------|---|---|----|------|-------|
| DESIGNED BY: NMH        |   | REVISION  | BY | DATE | APPRO |
| DRAWN BY: NMH           |   | NO  |    |      |       |
| CHECKED BY: DLS         |   |   |    |      |       |
| DATE: 01/27/2022        | THE CITIZEN ON CONSTITUTION<br>EL PASO COUNTY, COLORADO<br>UTILITY AND WATER SERVICE PLANS<br>STORM PLAN AND PROFILE LINE F | 2022 KIMLEY-HORN AND ASSOCIATES, INC.<br>2100 North Academy Blvd<br>Colorado Springs, CO 80903 (303) 428-2300 |    |      |       |
| PROJECT NO<br>096481004 |   |   |    |      |       |
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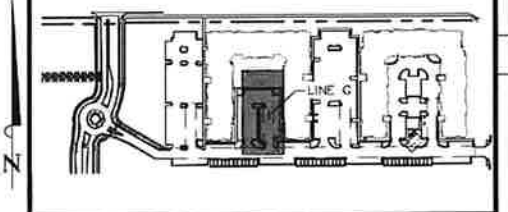
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STORM SEWER LINE C STA 0+00-3+13 PLAN VIEW



STORM SEWER LINE C STA 0+00-3+13 PROFILE VIEW



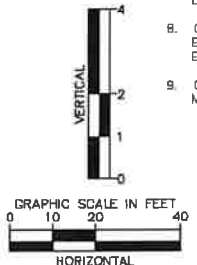
KEY MAP NOT TO SCALE

LEGEND:

- PROPERTY LINE
- EXISTING EASEMENT LINE
- PROPOSED EASEMENT LINE
- EXISTING STORM SEWER
- PROPOSED STORM SEWER
- EXISTING WATER LINE
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- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT AND BOLLARD ASSEMBLY PER COA STD DETAIL 208
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- EXISTING SANITARY SEWER
- PROPOSED SANITARY SEWER
- SM SANITARY SEWER MANHOLE
- SD PROPOSED STORM MANHOLE
- SP EXISTING STORM MANHOLE
- CI PROPOSED CURB INLET
- CI EXISTING CURB INLET
- GI PROPOSED GRATE INLET

STORM SEWER NOTES

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CALL UTILITY NOTIFICATION CENTER OF COLORADO  
1-800-922-1987  
CALL 2-BUSINESS DAYS IN ADVANCE FROM THE DATE OF DESIGN OR RECORDS FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES

**Kimley-Horn**  
2022 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue, Suite 300  
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM PLAN AND PROFILE LINE C

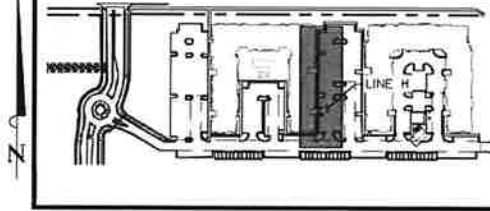
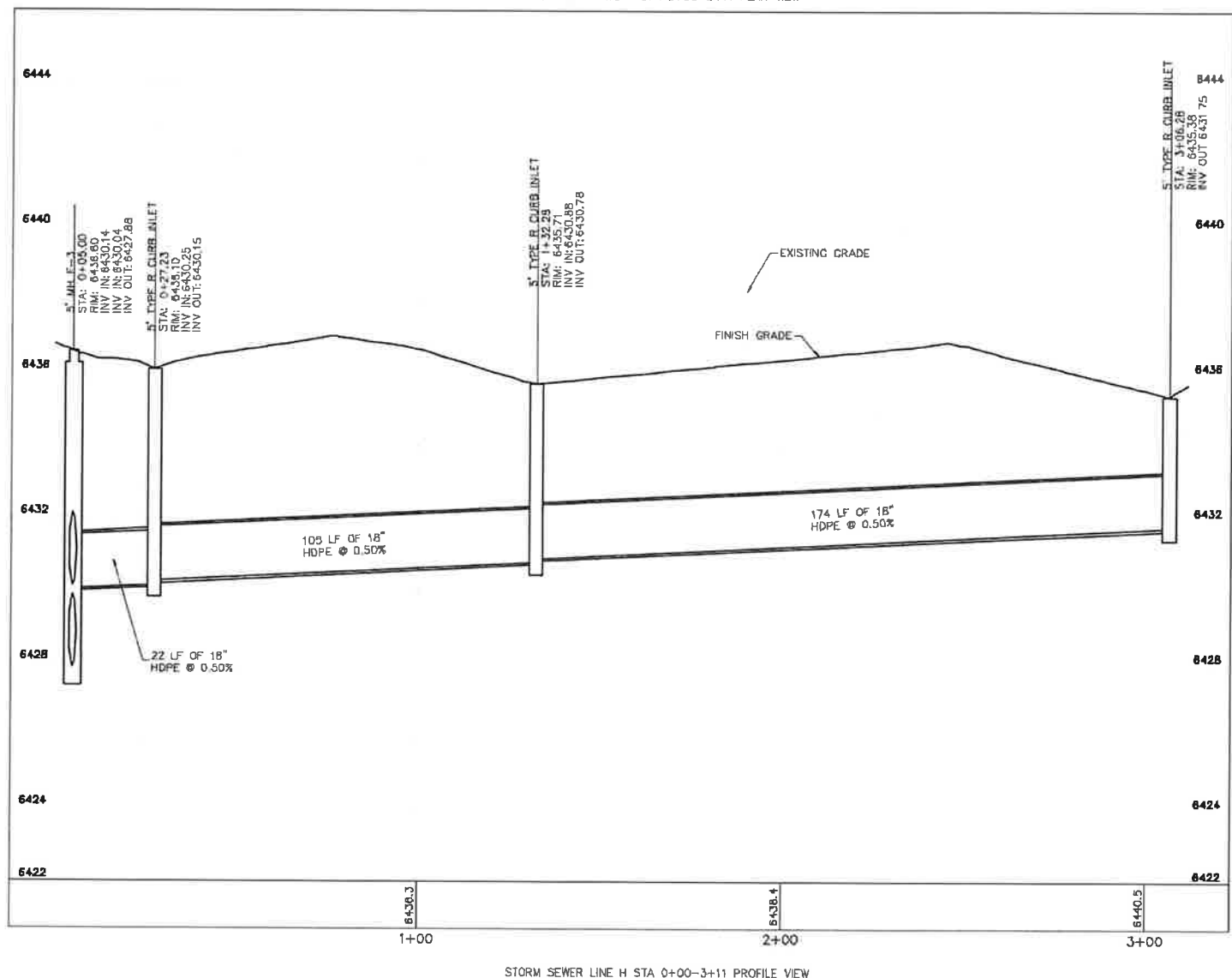
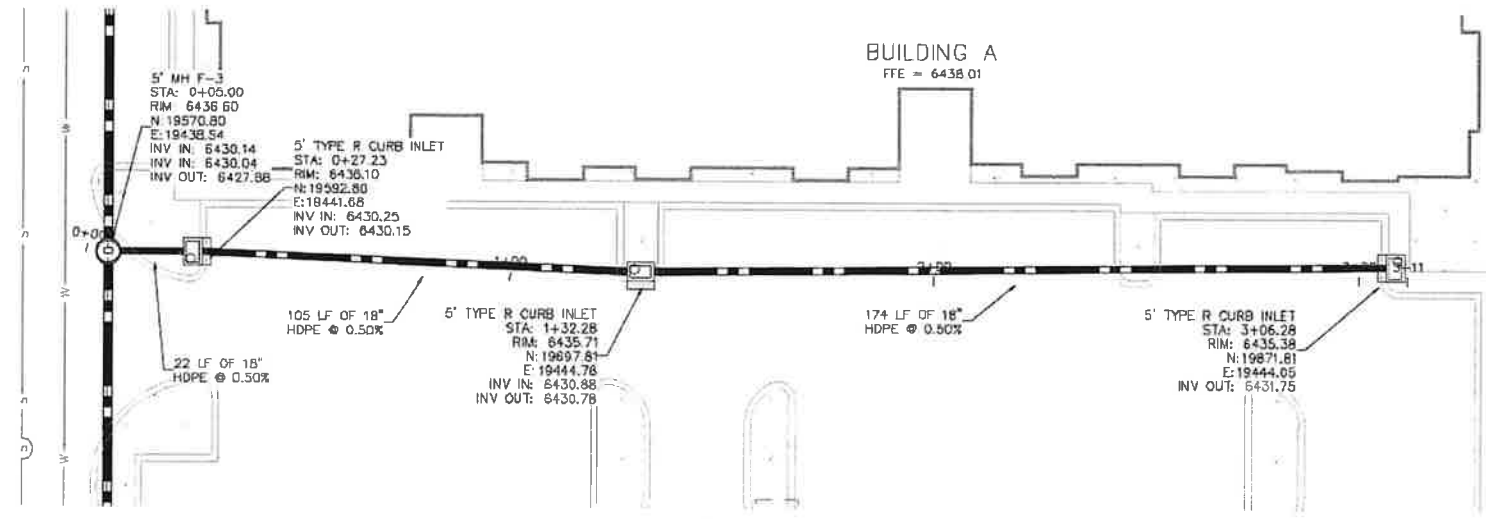
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Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481004  
SHEET

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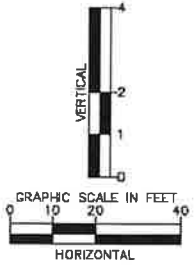
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- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
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  - EXISTING SANITARY SEWER
  - PROPOSED SANITARY SEWER
  - S SANITARY SEWER MANHOLE
  - D PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
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**Kimley & Horn**  
2022 KIMLEY-HORN AND ASSOCIATES, INC.  
2 North Nevada Avenue, Suite 300  
Colorado Springs, CO 80903 (303) 228-2300

DESIGNED BY: NMH  
DRAWN BY: NMH  
CHECKED BY: DLS  
DATE: 01/27/2022

THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
**STORM PLAN AND PROFILE LINE H**

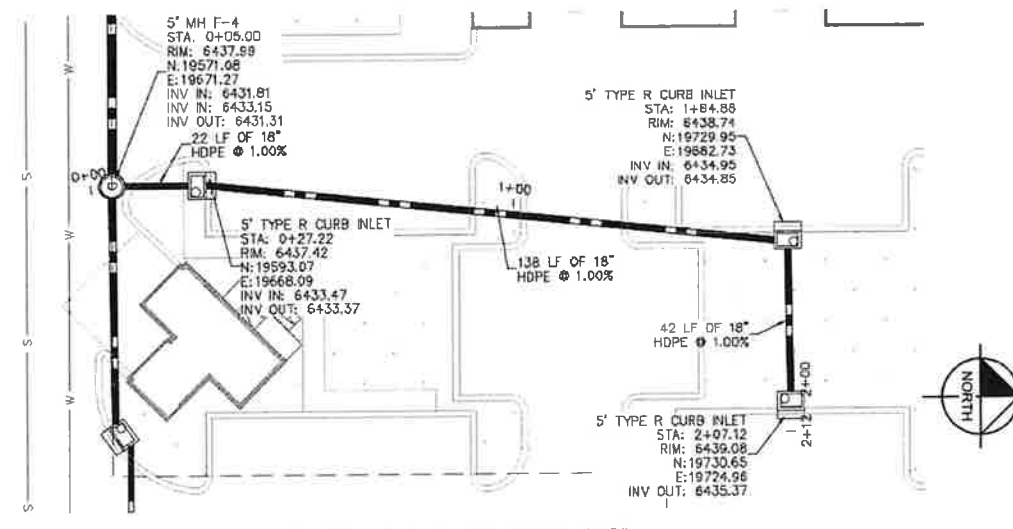
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Kimley-Horn and Associates, Inc.

PROJECT NO.  
096481004

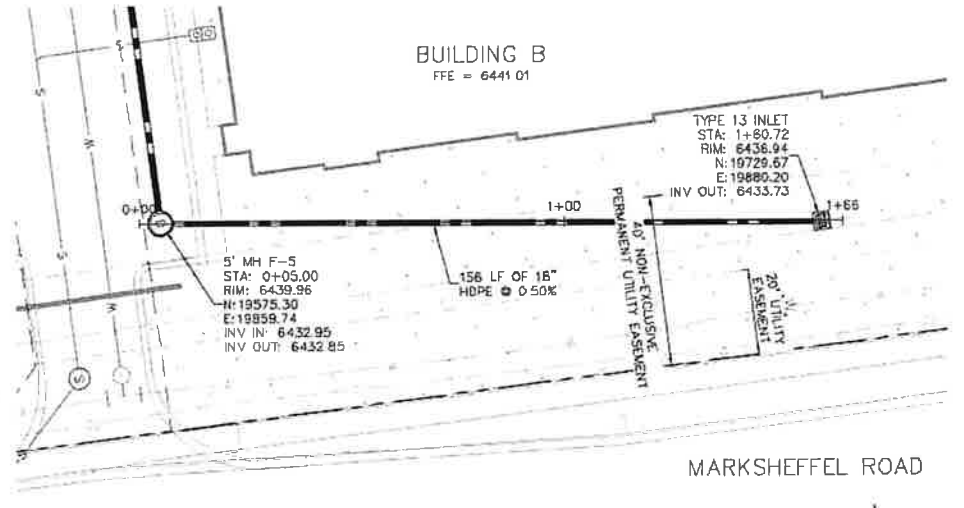
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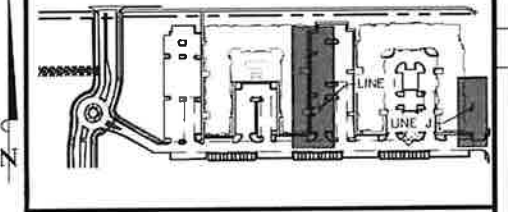
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STORM SEWER LINE I STA 0+00-2+12 PLAN VIEW

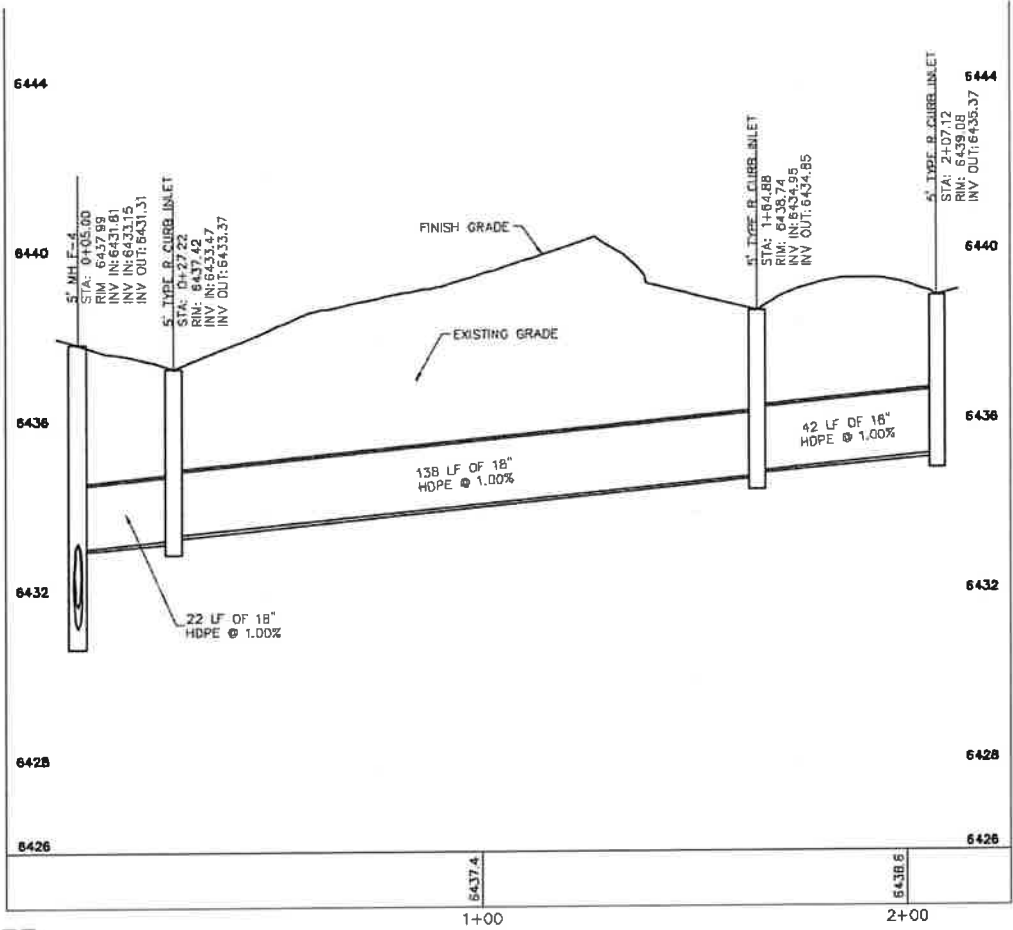


STORM SEWER LINE J STA 0+00-1+66 PLAN VIEW

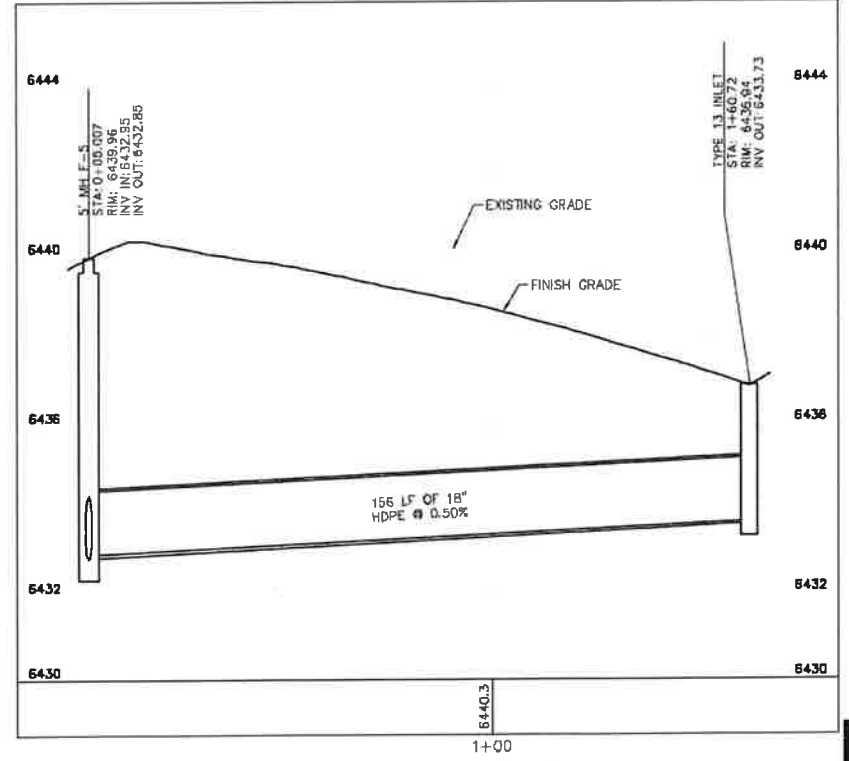


KEY MAP  
NOT TO SCALE

- LEGEND:**
- PROPERTY LINE
  - - - EXISTING EASEMENT LINE
  - - - PROPOSED EASEMENT LINE
  - EXISTING STORM SEWER
  - PROPOSED STORM SEWER
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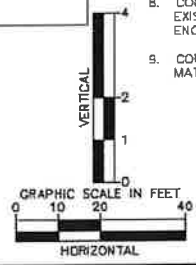


STORM SEWER LINE I STA 0+00-2+12 PROFILE VIEW



STORM SEWER LINE J STA 0+00-1+66 PROFILE VIEW

- STORM SEWER NOTES**
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Colorado Springs, CO 80903 (303) 228-2300

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DRAWN BY: NMH  
CHECKED BY: DLS  
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THE CITIZEN ON CONSTITUTION  
EL PASO COUNTY, COLORADO  
UTILITY AND WATER SERVICE PLANS  
STORM PLAN AND PROFILE LINE I & J

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