


EL PASO COUNTY
COLORADO

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PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
 CRAIG DOSSEY, EXECUTIVE DIRECTOR

TO: El Paso County Board of County Commissioners
 Mark Waller, Chair

FROM: Kari Parsons, Planner III
 Jeff Rice, PE Engineer III
 Craig Dossey, Executive Director

RE: Project File #: PUDSP-20-003
 Project Name: Hills at Lorson Ranch
 Parcel Nos.: 55000-00-403, 55000-00-371, 55000-00-274, 55000-00-0275, 55000-00-276, 55000-00-278, 55000-00-279, 55000-00-280, 55000-00-405

OWNER:	REPRESENTATIVE:
Love in Action Lorson LLC Nominee 212 N. Wasatch Ave. Colorado Springs, CO. 80903	Matrix Design Group, Inc. Jason Alwine 2435 Research Parkway Colorado Springs, CO 80920

Commissioner District: 4

Planning Commission Hearing Date:	11/19/2020
Board of County Commissioners Hearing Date	12/8/2020

EXECUTIVE SUMMARY

A request by Love in Action and Lorson LLC Nominee for approval of a map amendment (rezoning) of 123.17 acres from an overall zoning and conceptual PUD (Planned Unit Development) to a site specific PUD (Planned Unit Development) plan to allow for the development of 514 single-family detached residential lots, rights-of-way, drainage, open

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space, and utility tracts. In accordance with Section 4.2.6.E of the El Paso County Land Development Code (2019), A PUD Development Plan May be Approved as a Preliminary Plan, the applicant is also requesting the PUD development plan be approved as a preliminary plan with a finding of water sufficiency for water quality, dependability and quantity. Approval by the Board of County Commissioners of the preliminary plan with a finding of sufficiency for water quality, quantity, and dependability authorizes the Planning and Community Development Department Director to administratively approve all subsequent final plat(s). The applicants are also requesting approval to perform pre-development site grading to include construction of roadways. The parcels are located east of the East Tributary of Jimmy Camp Creek, and north of Lorson Boulevard and are within Sections 13 and 24, Township 15 South, Range 65 West of the 6th P.M. The subject property is located within the boundaries of the Highway 94 Comprehensive Plan (2003) area.

A. REQUEST/MODIFICATIONS/AUTHORIZATION

Request: Approval of a map amendment (rezoning) from an overall zoning and conceptual PUD (Planned Unit Development) to a site-specific PUD (Planned Unit Development) to develop 514 single-family detached residential lots within a 123.17-acre development area. In accordance with Section 4.2.6.E of the El Paso County Land Development Code (2019), A PUD Development Plan May be Approved as a Preliminary Plan, the applicants are also requesting the PUD development plan be approved as a preliminary plan. Additionally, the applicants are also requesting approval to perform pre-development site grading to include installation of wet utilities and construction of roadways.

Modification of Existing Land Development Code (LDC) or Engineering Criteria Manual (ECM) Standard: The applicants are not requesting any modification(s) of the LDC or ECM with this application.

Authorization to Sign: PUD Development Plan and any other documents required to finalize the approval. Approval by the Board of the preliminary plan with a finding of sufficiency for water quality, quantity, and dependability authorizes the Planning and Community Development Department Director to administratively approve all subsequent final plat(s) consistent with the preliminary plan as well as the associated Subdivision Improvements Agreements, Detention Pond Maintenance Agreements and any other documents necessary to carry out the intent of the Board of County Commissioners.

B. PLANNING COMMISSION SUMMARY

Request Heard: As a Consent item at the November 19, 2020 hearing.

Recommendation: Approval based on recommended conditions and notations.

Waiver Recommendation: N/A

Vote: 8 to 0

Vote Rationale: N/A

Summary of Hearing: The applicant was represented at the hearing. Draft PC minutes are attached.

Legal Notice: Advertised in Shopper's Press on November 25, 2020.

C. APPROVAL CRITERIA

The BOCC shall determine that the following criteria for approval outlined in Section 4.2.6, and Section 7.2.1 of the El Paso County Land Development Code (2019) have been met to approve a PUD zoning district:

- The proposed PUD district zoning advances the stated purposes set forth in this section.
- The application is in general conformity with the Master Plan;
- The proposed development is in compliance with the requirements of this Code and all applicable statutory provisions and will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of El Paso County;
- The subject property is suitable for the intended uses and the use is compatible with both the existing and allowed land uses on the neighboring properties, will be in harmony and responsive with the character of the surrounding area and natural environment, and will not have a negative impact upon the existing and future development of the surrounding area;
- The proposed development provides adequate consideration for any potentially detrimental use to use relationships (e.g. commercial use adjacent to single family use) and provides an appropriate transition or buffering between uses of differing intensities both on-site and off-site which may include innovative treatments of use to use relationships;
- The allowed uses, bulk requirements and landscaping and buffering are appropriate to and compatible with the type of development, the surrounding neighborhood or area and the community;
- Areas with unique or significant historical, cultural, recreational, aesthetic or natural features are preserved and incorporated into the design of the project;
- Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide reasonable walking and biking opportunities;
- The proposed development will not overburden the capacities of existing or planned roads, utilities and other public facilities (e.g. fire protection, police protection, emergency services, and water and sanitation), and the required

public services and facilities will be provided to support the development when needed;

- The proposed development would be a benefit through the provision of interconnected open space, conservation of environmental features, aesthetic features and harmonious design, and energy efficient site design;
- The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner which would unreasonably interfere with the present or future extraction of such deposit unless acknowledged by the mineral rights owner;
- Any proposed exception or deviation from the requirements if the zoning resolution or the subdivision regulation is warranted by virtue of the design and amenities incorporated in the development plan and development guide; and
- The owner has authorized the application.

The applicant has requested the proposed PUD also be reviewed and considered as a preliminary plan. The requirements identified in Chapter 7 and Chapter 8 of the EI Paso County Land Development Code (2019) for a preliminary plan requires the BoCC find that the following additional criteria for approval of a preliminary plan have also been met:

- The proposed subdivision is in general conformance with the goals, objectives, and policies of the Master Plan;
- The subdivision is consistent with the purposes of this Code;
- The subdivision is in conformance with the subdivision design standards and any approved sketch plan;
- A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of this Code;
- A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with state and local laws and regulations, [C.R.S. §30-28-133(6) (b)] and the requirements of Chapter 8 of this Code;
- All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions. [C.R.S. §30-28-133(6)(c)];
- Adequate drainage improvements complying with State law [C.R.S. §30-28-133(3)(c)(VIII)] and the requirements of this Code and the ECM are provided by the design;

- The location and design of the public improvements proposed in connection with the subdivision are adequate to serve the needs and mitigate the effects of the development;
- Legal and physical access is or will be provided to all parcels by public rights-of-way or recorded easement, acceptable to the County in compliance with this Code and the ECM;
- The proposed subdivision has established an adequate level of compatibility by (1) incorporating natural physical features into the design and providing sufficient open spaces considering the type and intensity of the subdivision; (2) incorporating site planning techniques to foster the implementation of the County's plans, and encourage a land use pattern to support a balanced transportation system, including auto, bike and pedestrian traffic, public or mass transit if appropriate, and the cost effective delivery of other services consistent with adopted plans, policies and regulations of the County; (3) incorporating physical design features in the subdivision to provide a transition between the subdivision and adjacent land uses; (4) incorporating identified environmentally sensitive areas, including but not limited to, wetlands and wildlife corridors, into the design; and (5) incorporating public facilities or infrastructure, or provisions therefore, reasonably related to the proposed subdivision so the proposed subdivision will not negatively impact the levels of service of County services and facilities;
- Necessary services, including police and protection, recreation, utilities, open space and transportation system, are or will be available to serve the proposed subdivision;
- The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of this Code; and
- The proposed subdivision meets other applicable sections of Chapter 6 and 8 of this Code.

D. LOCATION

North: PUD (Planned Unit Development)	Vacant
South: PUD (Planned Unit Development)	Vacant
East: PUD (Planned Unit Development)	Vacant
West: PUD (Planned Unit Development)	Single-family residential

E. BACKGROUND

The proposed Hills at Lorson Ranch development is within the Lorson Ranch at Jimmy Camp Creek Sketch Plan, which was approved by the Board of County Commissioners on March 25, 2004 (PCD File No. SKP-03-002). The subject site is included in the Lorson Ranch Overall Development and Phasing Plan, approved by

the Board of County Commissioners on December 15, 2005 (PCD File No. PUD-05-003). The Overall Development and Phasing Plan was subsequently amended in November of 2006 (PCD File NO.PUD-06-011). The Overall Development and Phasing Plan approval addressed general land uses, overall density, transitions and buffers. It also designated major open space, drainage, and transportation corridors.

A minor amendment to the Lorson Ranch at Jimmy Camp Creek Sketch Plan was approved on April 21, 2016 (PCD File No. SKP-15-001). The amendment included a revision to the location of the anticipated school site and open space, minor changes to the allowed density within the planning area and downgrading the classification of certain roadways to be specifically determined following review of traffic studies submitted with subsequent final plats. Subsequent plats are required to submit a development specific traffic study to evaluate each development's impact to the nearby roadways and to determine if any off-site escrow or improvements are required. To date, no roadways within the Lorson Ranch development have been identified as requiring a further upgrade after the minor sketch plan amendment was approved.

The Hills at Lorson Ranch PUD is located within the eastern portion of the Lorson Ranch at Jimmy Camp Creek Sketch Plan (PCD File No. SKP-15-001), and the Overall Development and Phasing Plan (PCD File No. PUD-06-011), which established a density of 4-6 dwelling units per acre in the subject area. The adjacent properties within the Lorson Ranch development to the north, south and east are zoned PUD (Planned Unit Development) and have an established density of 4-6 dwelling units per acre. The Peaceful Valley Lake Estates subdivision lies one-fifth (1/5) of a mile to the south of the proposed development and is zoned RR-5 (Residential Rural). The abrupt change in density from the RR-5 zoning district to the proposed density of 4-6 dwelling units per acre within the Lorson Ranch Development was determined by the Board of County Commissioners to require a more significant transition from the rural residential properties to the proposed urban development. The Board required the PUD to depict a minimum of 2.5-acre lots adjacent to the rural residential boundary and a minimum of a 100-foot building setback from the southern boundary line between the Peaceful Valley Lake Estates subdivision and future lots within the Lorson Ranch development. This is anticipated to mitigate impacts to the rural residential properties to the south and provide a density transition from rural development to urban development located with Lorson Ranch.

The requested Hills at Lorson Ranch development does not include the land immediately adjacent to the Peaceful Valley Lakes Estates, therefore, no additional

setback or increased lot size is depicted on the plan. Subsequent land use applications immediately adjacent to Peaceful Valley Lake Estates subdivision will require the applicant(s) to depict 2.5-acre lots adjacent to the Peaceful Valley Lake Estates subdivision and incorporate a 100-foot building setback into the development guidelines of the PUD plan. The proposed PUD rezoning proposes an average density of 4.17 dwelling units per acre and includes the development of 514 detached single-family lots (54.09 acres), 30.9 acres of public right-of-way, and 12 tracts totaling 38.17 acres for drainage, utilities, associated easements, two pocket parks, landscaping, and open space. Lorson Ranch Metropolitan District No. 1 is anticipated to own and maintain the tracts exclusive of the future development tract (tract to be owned and developed by others). The minimum lot size proposed within the PUD development plan is 2,500 square feet, with the lot sizes increasing up to a maximum of 5,000 square feet.

Section 4.2.6.F.8 of the Land Development Code requires a minimum of ten (10) percent of the overall residential PUD be set aside as open space area. The PUD area is 123.17 acres in size, which would require a total of 12.3 acres of open space area. The applicant is providing 38.17 acres (31 percent) of designated open space tracts which include: drainage, utilities, associated easements, two (2) pocket parks (27,866 square feet), trails, and landscaping.

If the Hills at Lorson PUD Development Plan and Preliminary Plan are approved, and a finding of water sufficiency for water quality, quantity, and dependability is made by the Board of County Commissioners, then it is anticipated that the applicant will request administrative approval by the Planning and Community Development Department Executive Director of all subsequent final plats.

F. ANALYSIS

1. Land Development Code Analysis

This application meets the preliminary plan submittal requirements, the standards for Divisions of Land in Chapter 7, and the standards for Subdivision in Chapter 8 as well as the Planned Unit Development (PUD) requirements outlined in Chapter 4 of the El Paso County Land Development Code (2019).

2. Zoning Compliance

The PUD Development Plan identifies allowed and permitted uses; use, density, and dimensional standards such as setbacks, maximum lot coverage, and maximum building height; and overall landscaping requirements. The PUD Development Plan and Preliminary Plan are consistent with the proposed PUD

development guidelines and with the submittal and processing requirements of the Land Development Code.

3. Policy Plan Analysis

The El Paso County Policy Plan (1998) has a dual purpose; it serves as a guiding document concerning broader land use planning issues and provides a framework to tie together the more detailed sub-area elements of the County Master Plan.

Relevant policies are as follows:

Policy 6.1.4 – Encourage the logical timing and phasing of development to allow for the efficient and economical provision of facilities and services.

Policy 6.1.11 - Plan and implement land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.

Policy 10.2.2- Carefully consider the availability of water and wastewater services prior to approving new development.

Policy 11.3.2- When possible, safely design and incorporate drainage facilities as an aesthetic element with developments.

Policy 12.1.3-Approve new urban and rural residential development only if structural fire protection is available.

Goal 13.1- Encourage an adequate supply of housing types to meet the needs of County residents

The Lorson Ranch at Jimmy Camp Creek Sketch Plan (PCD File No. SKP-15-001) and the Overall Development and Phasing Plan (PCD File No.PUD-06-011) depict RMH (Residential Medium High, 4-6 dwelling units per acre) for the subject property and the properties surrounding the subject development are also depicted by the same density, 4-6 dwelling units per acre. The PUD and preliminary plan depict a range in lot sizes from 2,500 square feet up to 5,000 square feet, which is anticipated to provide a variety of housing types to meet the needs of County residents. The development proposes an overall density of 4.17 dwelling units per acre and is compatible with the existing urban development to the west and the future planned development anticipated to be located to the north, south, and east within the overall Lorson Ranch development. The proposed density of 4.17 dwelling units/acre is within the 4-6 dwelling unit per

acre density range allowed for this area under the approved sketch plan and Overall Development and Phasing Plan (PCD File No. PUD-06-11). The single-family residential development depicted on the PUD development plan and preliminary plan is a compatible and practical extension of the planned and existing urban single-family residential development in the area.

According to the water and wastewater resources reports submitted in support of the development plan, Widefield Water and Sanitation District has available water supply and wastewater treatment capacity to provide adequate service to the development. Please see the Water Master Plan section below for additional analysis regarding master plan consistency pertaining to water. The applicant has consulted with Security Fire Protection District to ensure the District could adequately serve the development via the proposed public roadways. The District did not have concerns with the design of the development.

The proposed PUD and preliminary plan include drainage facilities, two pocket parks and multiple tracts that are anticipated to serve as open space areas. The plans depict trails within the proposed open space which are anticipated to connect to the existing pedestrian network within the overall Lorson development, which also connect to the Jimmy Camp Creek Regional Trail.

Staff recommends that the layout and design of the PUD development plan and preliminary plan is consistent with the policies pertaining specifically to the concept of integrating new compatible land uses in terms of density and access. The policies promote conservation of open space and promote the efficient development of the property by minimizing infrastructure costs.

4. Small Area Plan Analysis

The Hills at Lorson Ranch PUD/Preliminary Plan is within the Highway 94 Comprehensive Plan (2003) area. Specifically, a portion of the proposed PUD/preliminary plan is within Sub-Area 4, Colorado Centre, of the Highway 94 Plan. The subject property is located both north and south of Fontaine Boulevard. Fontaine Boulevard is depicted as the southern boundary line of the Plan area.

The Colorado Centre Sub-Area includes several development “recommendations”. The “recommendations” identified on page 140 within the Plan are as follows:

- “An overriding concern in the Sub-Area is compatibility with City industrial and residential areas.”

- “Urban uses are recommended for County enclaves surrounded by the City of Colorado Springs. Enclaves should be built to City standards and ultimately annexed in the City of Colorado Springs.”
- “Within unincorporated areas of the Sub-Area, five-acre densities are recommended. 35-acre densities are recommended east of Jimmy Camp Creek. Once City properties are developed, five-acre densities should be accommodated east of Jimmy Camp Creek.”

Approval of the original Lorson Ranch at Jimmy Camp Creek Sketch Plan, which was approved by the Board of County Commissioners on March 25, 2004 (PCD File No. SKP-03-002) and the Lorson Ranch Overall Development and Phasing Plan, approved by the Board of County Commissioners on December 15, 2005 (PCD File No. PUD-05-003) created an inconsistency with the third recommendation for the Sub-Area regarding densities east of Jimmy Camp Creek. Near the time of the sketch plan and overall PUD plan approval, central services for water and wastewater were made available with expansion of the service area of the Widefield Water and Sanitation District into the Sub-Area. Such physical expansion allowed for urban development within the County without requiring annexation into the City of Colorado Springs. The availability of central services inherently impacted the character of the Sub-Area by changing it from planned rural and low-density residential development to significantly more urban, higher density development.

5. Water Master Plan Analysis

The El Paso County Water Master Plan (2018) has three main purposes; better understand present conditions of water supply and demand; identify efficiencies that can be achieved; and encourage best practices for water demand management through the comprehensive planning and development review processes. Relevant policies are as follows:

Goal 1.1 – Ensure an adequate water supply in terms of quantity, dependability and quality for existing and future development.

Goal 1.2 – Integrate water and land use planning.

Goal 3.1 – Promote cooperation among water providers to achieve increased efficiencies on infrastructure.

Policy 4.1.4 – Work collaboratively with water providers, stormwater management agencies, federal agencies, and State agencies to ensure drinking water sources are protected from contamination and meet or exceed established standards.

Policy 6.0.11 – Continue to limit urban level development to those areas served by centralized utilities.

Policy 6.4.1.3 – Support efforts by water providers to obtain renewable water supplies through collaborative efforts and regionalization.

Policy 6.4.1.4 – Promote long-term planning by water providers for sustainable water supplies serving new development.

The subject property is located within Region 7, Fountain Area, which is expected to have the largest growth demand in the County by 2060. Specifically, the Plan states:

“Areas projected to develop by 2040 are located south of Fountain (City) on the north and south sides of Link Road. Areas northwest of Fountain along the east and west sides of Marksheffel Road are also expected to grow by then, as well as the area south of Fountain on the west side of I-25.”

The proposed development is located east of Marksheffel Road, which is a developing area as identified in the Water Master Plan (2018). The Widefield Water and Sanitation District has provided a water and wastewater commitment letter to serve the development. The District has recently upgraded their water infrastructure by replacing water lines in the area to increase efficiency for deliverable water to the 374-acre Pikes Peak National Cemetery to the north, the overall Lorson Ranch Development, and to Peaceful Valley Lake Estates located south of Lorson Ranch. The applicants' water resource report indicates the District has an ample supply of water to serve this development and future developments within the District. The report also identified that the District has a renewable water supply. This geographical area within the District's service area has not experienced groundwater contamination like other locations within the service area. Please see the Water section below for a summary of the water findings and recommendations for the proposed development in regard to water quality, quantity, and dependability.

6. Other Master Plan Elements

The El Paso County Wildlife Habitat Descriptors (1996) identifies the parcels as having a high wildlife impact potential. El Paso County Community Services Department, Environmental Division, and Colorado Parks and Wildlife (CPW) were sent a referral and have no outstanding comments.

The Master Plan for Mineral Extraction (1996) identifies valley fill (sand and gravel) which is anticipated to have little resource value in the area of the subject

parcels. A mineral rights certification was prepared by the applicant indicating that, upon researching the records of El Paso County, no severed mineral rights exist.

The El Paso County Parks Master Plan (2016) does not identify a trail within the subject property. The applicant has depicted a gravel trail in the open space Tract K, which is anticipated to connect to the existing sidewalk along Fontaine Boulevard. The existing sidewalk adjacent to Fontaine Boulevard connects to the Jimmy Camp Creek Regional Trail. Additionally, sidewalk connections within the development will also provide pedestrian connectivity to Fontane Boulevard and Tract K.

The El Paso County Major Transportation Corridors Plan (2016) is discussed below in Section G.5 of this report.

G. PHYSICAL SITE CHARACTERISTICS

1. Hazards

No hazards were identified during the review of the combined PUD and preliminary plan application that would impede development. As recommended by the Colorado Geological Survey (CGS), the following note has been added to Sheet No. 1 of the PUD and preliminary plan:

“ A Geology and Soils Report, The Hills at Lorson Ranch, El Paso County, Colorado” (RMG Rocky Mountain Group, May 20, 2020 [or the correct date of any revised report]) is held in the Hills at Lorson Ranch Combined PUD/Preliminary Plan File (PUDSP203) at the El Paso County Planning and Community Development Department. Geologic hazards that would preclude the proposed development were not found to be present at this site. Geologic constraints are present, and include: expansive soils and bedrock, hydrocompactive soils, faults, seismicity, radon, erosion, steep slopes and fill soils. These geologic and engineering conditions are relatively common to the area, and can be satisfactorily mitigated through proper engineering, design, and construction practices.”

2. Wildlife

The El Paso County Wildlife Habitat Descriptors (1996) identifies the parcels as having a moderate wildlife impact potential. The applicants' Natural Features Report, dated May 26, 2020, states that Mule and White-tailed Deer, Pronghorn Antelope, fox, coyote, prairie dog, rabbits, raptors, and songbirds are present in the subject area. The report states that the development is not anticipated to

negatively impact the wildlife above. The report also indicates that Colorado Parks and Wildlife does not express concern regarding impacts to the wildlife.

3. Floodplain

As indicated on FEMA Flood Insurance Rate Map (FIRM) panel number 08041C0976G, the property is located entirely outside of the 100-year regulatory floodplain.

4. Drainage and Erosion

The Lorson Ranch development is located within the Jimmy Camp Creek drainage basin, which is a fee basin with a surety component. The basin does not have a County-approved Drainage Basin Planning Study (DBPS).

The Hills at Lorson Ranch generally drains to the west to existing storm drain facilities that flow to the Jimmy Camp Creek East Fork tributary, that in turn eventually outfalls to the Jimmy Camp Creek main channel south of Lorson Ranch. Two existing and six proposed full-spectrum detention (FSD) and water quality capture volume (WQCV) facilities throughout the development will serve the project and some offsite areas. The Preliminary Drainage Report for The Hills at Lorson Ranch concludes that “The proposed development and drainage infrastructure will not cause adverse impacts to adjacent properties or properties located downstream.”

The downstream storm drains have been constructed in conjunction with previous Lorson Ranch subdivisions. The final channel stabilization improvements to the Jimmy Camp Creek East Tributary downstream of The Hills at Lorson Ranch are proposed to be constructed in conjunction with the Creekside at Lorson Ranch Filing No. 1 final plat.

The applicant has submitted grading and erosion control plans for approval to perform pre-development site grading, as well as standalone construction drawings for advance road construction of the collector roads serving the proposed development. The plans shall be approved prior to grading occurring on the site. Collateral is required for the pre-development site grading at the time of the pre-construction meeting between the applicant and the PCD Inspections staff.

5. Transportation

The proposed The Hills at Lorson Ranch development is located north of the eastward extension of Lorson Boulevard, north and south of the extension of

Fontaine Boulevard, and east of Lamprey Drive in the eastern portion of the overall Lorson Ranch development. Access to the development will be from the eastward extensions of Fontaine Boulevard and Lorson Boulevard and a new collector road connection located between them, which is Walleye Drive.

The proposed roads within The Hills at Lorson Ranch will be public local and collector roads. As outlined in the traffic impact study submitted with this project, offsite road improvements may be required with this project, specifically, intersection improvements at Fontaine Boulevard and Old Glory Drive (west intersection). Escrow provisions and/or construction of improvements could include stop signs, signals, or other improvements as warranted. The developer has already met obligations to provide escrow for the anticipated traffic signal improvements at Marksheffel Road and Lorson Boulevard and will be required to construct that signal when warrants are met. The development of this subdivision does not warrant the traffic signal.

Traffic generated from the 514 dwelling units proposed in this development will result in approximately 4,852 average daily trips (ADT). The proposed The Hills at Lorson Ranch roadways and ADT depicted in the PUD and preliminary plan and traffic study submitted by the applicant are in conformance with the El Paso County 2016 Major Transportation Corridors Plan Update (MTCP) as are the existing roads serving the proposed development. This development is subject to the El Paso County Road Impact Fee Program (Resolution 19-471), as amended, at the time of final plat recording.

H. SERVICES

1. Water

Widfield Water and Sanitation District provides water service and has committed to serve the property.

Water Sufficiency:

Quality: Sufficient

Quantity: Sufficient

Dependability: Sufficient

Attorney's summary: The State Engineer's Office has made a finding of adequacy and has stated water can be provided without causing injury to decreed water rights. The County Attorney's Office has made a favorable recommendation of a finding of sufficiency with regard to water quantity and dependability. El Paso County Public Health has made a favorable recommendation regarding water quality.

2. Sanitation

Wastewater service is provided by Widefield Water and Sanitation District. The District has provided a wastewater commitment letter demonstrating the District has adequate capacity to serve the development.

3. Emergency Services

The property is within the Security Fire Protection District. The District provided a commitment letter and approval of the PUD and preliminary plan design.

4. Utilities

Mountain View Electric Association (MVEA) will provide electrical service to the property. Black Hills Energy will provide natural gas services to the property.

5. Metropolitan Districts

The property is within Lorson Ranch Metropolitan District No. 6 and is also anticipated to be included into Lorson Ranch Metropolitan District No. 1, which have a combined mill levy of 66.67 mills. The applicant has stated that District No. 1 will be responsible for maintaining the detention pond and tracts throughout the development. The property is anticipated to be within Public Improvement District No. 2. Traffic impact fees associated with the District shall be paid in accordance with Resolution 19-471.

6. Parks/Trails

Land dedication and fees in lieu of park land dedication are not required for a map amendment (rezoning) or preliminary plan application. Fees in lieu of park land dedication will be due at the time of recording the final plat.

The EPC Community Services Department, Parks Division, has provided the following comment which will be incorporated into the anticipated final plat(s) recommended conditions of approval:

“The Park Advisory Board recommends that the Planning Commission and the Board of County Commissioners include the following conditions when considering and/or approving The Hills at Lorson Ranch Planned Unit Development / Preliminary Plan: (1) required fees for regional park purposes total \$240,038 and urban park purposes total \$151,630. However, these fees will be calculated upon review of forthcoming final plats. A park lands agreement may be an acceptable alternative to urban park fees provided the agreement is approved by the County and executed prior to recording the forthcoming final plats.”

7. Schools

The subject property is located within the boundaries of Widefield School District No. 3. The applicant is not required to pay fees in lieu of land dedication for a school site pursuant to a School Site Dedication and Waiver of Fees in Lieu of Land Dedication agreement between Lorson, LLC, Widefield School District No. 3 and El Paso County as originally approved by the Board of County Commissioners on April 12, 2012, and as amended by approval of the Board of County Commissioners on August 23, 2016. The amendment removed the land bank (land set aside in lieu of fees to be paid) located in the southeast corner of the overall Lorson development and required an alternate 25 acre school site tract be identified, which occurred with recordation of the Pioneer Landing Filing No. 2 at Lorson Ranch final plat. The Lorson Ranch East Filing No. 1 final plat adjusted the boundary of the school tract to accommodate the Fontaine Boulevard and Lamprey Road roundabout which is in preliminary acceptance. The construction of the Grand Mountain Elementary (K-8) School located northeast of the roundabout is complete.

I. APPLICABLE RESOLUTIONS

See attached Resolution.

J. STATUS OF MAJOR ISSUES

There are no major outstanding issues.

K. RECOMMENDED CONDITIONS AND NOTATIONS

Should the Board of County Commissioners find that the request meets the criteria for approval outlined in Section 4.2.6, and Section 7.2.1 of the El Paso County Land Development Code (2019), staff recommends the following conditions and notations:

CONDITIONS

1. Development of the property shall be in accordance with this PUD development plan. Minor changes in the PUD development plan, including a reduction in residential density, may be approved administratively by the Director of the Planning and Community Development Department consistent with the Land Development Code. Any substantial change will require submittal of a formal PUD development plan amendment application.
2. Approved land uses are those defined in the PUD development plan and development guide.
3. All owners of record must sign the PUD development plan.

4. The PUD development plan shall be recorded in the office of the El Paso County Clerk & Recorder prior to scheduling any final plats for hearing by the Planning Commission. The development guide shall be recorded in conjunction with the PUD development plan.
5. The developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Parks and Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed threatened species.
6. Applicable park, drainage, bridge, and traffic fees shall be paid to El Paso County Planning and Community Development at the time of final plat(s) recordation.
7. The developer shall obtain approval of the necessary pre-development site grading construction documents prior to scheduling a preconstruction meeting with the Planning and Community Development Department Inspections staff.\
8. The developer shall participate in a fair and equitable manner in the design and construction of intersection improvements at the intersection of Fontaine Boulevard and Old Glory Drive, which shall be determined during the final plat review process.

NOTATIONS

1. Subsequent final plat filings may be approved administratively by the Planning and Community Development Director pursuant to Section 7.2.1.3.D of the Land Development Code.
2. If a zone or rezone petition has been disapproved by the Board of County Commissioners, resubmittal of the previously denied petition will not be accepted for a period of one (1) year if it pertains to the same parcel of land and is a petition for a change to the same zone that was previously denied. However, if evidence is presented showing that there has been a substantial change in physical conditions or circumstances, the Planning Commission may reconsider said petition. The time limitation of one (1) year shall be computed from the date of final determination by the Board of County Commissioners or, in the event of court litigation, from the date of the entry of final judgment of any court of record.

3. Rezoning requests not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed withdrawn and will have to be resubmitted in their entirety.
4. Preliminary plans not forwarded to the Board of County Commissioners within 12 months of Planning Commission action shall be deemed withdrawn and shall have to be resubmitted in their entirety.
5. Approval of the preliminary plan will expire after two (2) years unless a final plat has been approved and recorded or a time extension has been granted.
6. The license agreement for this project will require review and may require adjustments to the landscaping plan at the final plat stage; if minor revisions are necessary the PUD/SP plan will not require revision.
7. The developer has already met obligations to provide escrow for the anticipated traffic signal improvements at Marksheffel Road and Lorson Boulevard and will be required to construct that signal when warrants are met.
8. The developer shall participate in a fair and equitable manner in the design and construction of intersection improvements at the intersection of Fontaine Boulevard and Old Glory Drive, which shall be determined during the final plat review process.

L. PUBLIC COMMENT AND NOTICE

The Planning and Community Development Department notified 20 adjoining property owners on October 30, 2020, for the Planning Commission meeting. Responses will be provided at the hearing.

M. ATTACHMENTS

Vicinity Map
Letter of Intent
Development Plan / Preliminary Plan
State Engineers Letter
County Attorney's Letter
Planning Commission Draft Minutes from November 19, 2020 Hearing
Planning Commission Resolution
Board of County Commissioners' Resolution

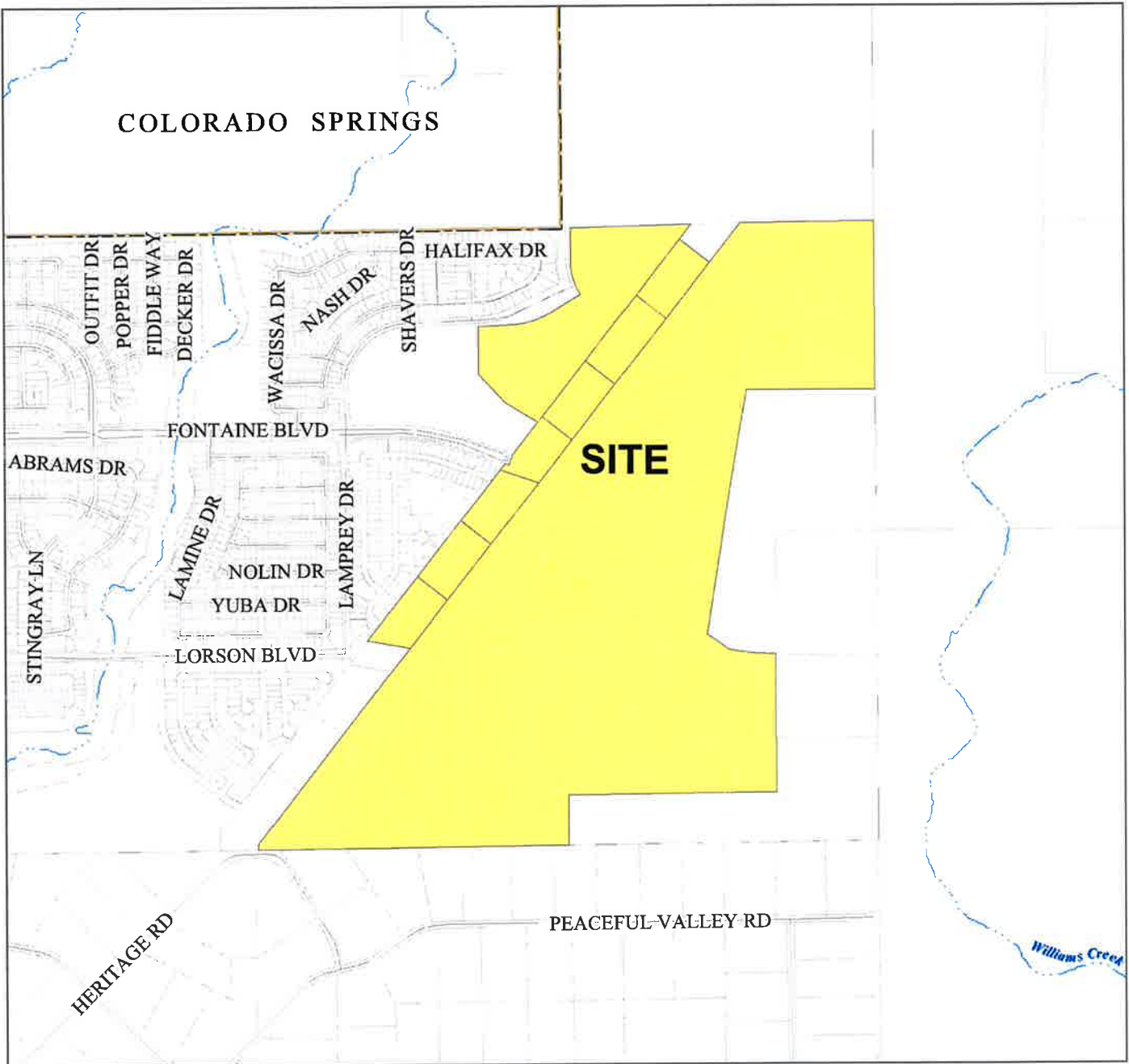
El Paso County Parcel Information

File Name: PUDSP-20-003

Zone Map No. --

Date: October 29, 2020

PARCEL	NAME
5500000275	LORSON LLC NOMINEE FOR
5500000274	LORSON LLC NOMINEE FOR
5500000276	LORSON LLC NOMINEE FOR
5500000405	LORSON LLC NOMINEE FOR
5500000278	LORSON LLC NOMINEE FOR
5500000279	LORSON LLC NOMINEE FOR
5500000280	LORSON LLC NOMINEE FOR
5500000371	LOVE IN ACTION
5500000403	LORSON LLC NOMINEE FOR



Please report any parcel discrepancies to:
 El Paso County Assessor
 1675 W. Garden of the Gods Rd
 Colorado Springs, CO 80907
 (719) 520-6600



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**THE HILLS AT LORSON RANCH
LETTER OF INTENT
Planned Unit Development, Preliminary Plan, Early Grading, Roadways
& Wet Utilities**

August 23, 2020



PREPARED FOR:

Lorson LLC
212 N. Wahsatch Ave., Suite 301
Colorado Springs, CO 80903

PREPARED BY:

Matrix Design Group
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920

Owner/ Applicant: Lorson LLC et/ al
212 N. Wahsatch Ave., Suite 301
Colorado Springs, CO 80903
Office: (719) 635-3200

Planner: Matrix Design Group
2435 Research Parkway, Suite 300
Colorado Springs, CO 80920
Office: (719) 575-0100

Civil Engineer: Core Engineering Group
15004 1st Avenue S.
Burnsville, MN 55306
Office: (952) 303-4212

Tax Schedule No: 5500000403; 5500000371; 5500000274; 5500000276; 5500000278;
5500000279; 5500000280; 5500000405; 5500000405 (two parcels same
number)

Site Location, Size, Zoning:

Lorson LLC is respectfully submitting development applications for The Hills at Lorson Ranch to include a combined PUD Development Plan/ Preliminary Plan, request for early grading, and request for early construction of utility mains. The site is 123 acres with 514 single family detached residential lots located within the eastern portion of the Lorson Ranch. The Hills at Lorson Ranch is a continuation of the Lorson Ranch development and will open the eastern portions of Lorson Ranch to development as new roadways and utility main extensions will be designed and constructed as part of this proposed development. The site is currently zoned RLM (Residential Low/ Medium 4-6 DU/ Acre) as illustrated on the Lorson Ranch Minor Sketch Plan Amendment (SKP-15-001) approved April 21, 2016. The proposed PUDSP application submittal includes 514 new single family lots on 123.167 acres for a density of 4.17 DU/ Acre.

The site is bordered by an existing 325' wide powerline easement to the west for a majority of the site, although this easement does bisect the northern most area of the proposed PUDSP. The site proposed development is also bordered by vacant Lorson Ranch property to the north, east, and south. The parcels that make up this submittal are vacant with no existing buildings, structures or facilities. There are existing drainage and channel improvement features that were installed in previous filings. The existing 325' wide overhead electric power line easement runs through the site in a northeasterly direction shall remain. The site layout has been designed to accommodate this easement and will cause little to no impact. The site contains no natural drainage ways or significant natural features.

Request & Justification:

The purpose of this application is to request approval of a combined PUD Development and Preliminary Plan (PUDSP); a Pre-Development Early Grading Request; installation of wet utility

and construction of collector roadways for the Hills at Lorson Ranch as part of PCD submittal File No. CDR207; request for administrative review of future final plats; and request for findings of water sufficiency as part of this PUDSP submittal. The collector roadways and utilities are being reviewed under a separate submittal though concurrently with this PUDSP application. The necessary public rights-of-way for the any public roadways will be provided for review and approved for use with the initial final plat for the Hills at Lorson Ranch. The PUD Development and Preliminary Plan shows the general concept for the design of the single-family detached residential community and open spaces, as well as identify the development standards for the proposed residential product types. The plan describes the lot sizes, transportation systems, public rights-of-way, and easements necessary for the development. Since the site is quite large and grading operations are expected to be substantial, the early grading request will permit grading operations to begin upon approval of the PUD/ Preliminary Plan and prior to Final Plat. Early installation of wet utilities is also being requested for the main trunk lines within arterial and collector roadways since these roadways are essential to the sequencing of future lot construction.

The proposed PUDSP illustrates 514 new detached single family residential units on 123.167 acres for a density of 4.17 DU/ Acre. The PUDSP also indicates 14.279 acres of park space and landscape area; 23.894 acres of open space to be left natural as part of the existing utility easements; and 30.9 acres of new public streets right-of -way including extension of arterial and collector roadways. The site layout incorporates a mix of lot sizes to include: 50' x 110' (5,500 SF); and 60' x 110' (6,600' SF); 45' x 95' (4,275 SF); and front loaded 35' x 84' (2,940 SF). The smallest lot size of 35' wide introduces a new single car garage product to Lorson Ranch further increasing affordable housing options within the development. All streets shall be public, permitting on-street parking, with corner lots for all unit types designed with additional corner lot width to accommodate sight distance and sidewalk requirements. In addition to the on-street parking, each lot will provide a full-length driveway for off-street parking. There is no proposed access to the south into Peaceful Valley Estates. There shall be no direct lot access to any arterial or collector streets. Fontaine Blvd. as well as Lorson Blvd. are designed to handle existing and proposed traffic expected to be developed within the Lorson Ranch community. A traffic impact analysis was completed and is included with this submittal.

The community is designed to provide for functioning automobile and pedestrian circulation, taking advantage of surrounding land uses. Within the overall Lorson Ranch development, open space and community connections are planned providing easy access to open space corridors such as Jimmy Camp Creek, pocket parks and the adjoining neighborhoods. This is achieved through planned trails through open space tracts, internal sidewalks, and the existing utility/ powerline easement. While the PUDSP drawings illustrate a single phase due to major utility infrastructure needs, the platting of individual lots and construction of housing may occur in phases based on market trends. Roadways, utilities, drainage, and necessary improvements will be constructed in the most optimal and efficient manner in order to facilitate development construction and sequencing.

As with previous Lorson Ranch developments, Lorson Ranch East will be developed and advanced per the Sixth Amended Development Agreement Lorson Ranch. The 6th Amended Development agreement outlines updated access, road impact fees, and future road ROW's issues with previous agreements remaining in effect.

El Paso County PUD Section 4.2.6(D) Approval Criteria, 1998 El Paso County Policy Plan, and El Paso County Preliminary Plan Section 7.2.1(D)-2E Approval Criteria:

The purpose of the PUD is to provide the information necessary to rezone a property to the PUD Zoning district and to provide a graphical representation to serve as the zoning of the property after approval. The PUDSP sets forth the stated purpose of the PUD Zoning and Preliminary Plan Criteria through illustrated detailed use design, dimensional and development standards, utility connections, landscaping and other important site improvements.

The 1998 El Paso County Policy Plan establishes broad goals and policies intended to serve as a framework for land use applications and development in the County. The County Wide Policy Plan ties the specific small area plans, and other Master Plan elements such as the Water Master Plan, Master Plan for Mineral Extraction, El Paso County Department of Parks and Leisure Services Master Plan and the Major Transportation Corridors Plan together. The Policy Plan provides general direction in terms of water use, density, buffers, transitions, and infrastructure where no small area plan exists. The Hills at Lorson Ranch PUDSP meets the requirements of these planning tools as outlined in more detail within the sections below.

The Lorson Ranch Minor Sketch Plan Amendment approved April 21, 2016 (SKP-15-001) illustrates the proposed PUDSP area as RLM (Residential Low/ Medium) with a permitted density of 4-6 DU/ Acre. The PUDSP submitted with this application remains consistent with the approved Sketch Plan Amendment by maintaining the approved residential zoning designation and approved densities of 514 new single family lots on 123.167 acres for a density of 4.17 DU/ Acre.

The proposed property is suitable for the intended use and the use is compatible with both the existing and allowed land uses on the neighboring properties to the west and southeast consisting of single family residential or open space. The new development will be in harmony with the existing surrounding character of the area and natural environment using varying residential densities, perimeter buffering and provisions for both natural and built open space. There are no areas of significant historical, cultural or recreational features found on site.

The project has been designed to not be detrimental to the health, safety, or welfare of the present or future inhabitants by meeting the submittal guidelines as illustrated in the zoning code and application packet.

The proposed PUDSP will not have a negative impact upon the existing and future development of the area, but rather continue with the planned sequencing of phasing and development. This design approach supports *Policy 6.1.1: Allow for a balance of mutually supporting interdependent land uses, including employment, housing and services in the more urban and urbanizing areas of the County* and *Policy 6.1.3: Encourage new development which is contiguous and compatible with previously developed areas in terms of factors such as density, land use and access.*

The proposed single family residential use will not overburden the capacities of existing or planned roads, utilities or other public features, drainage, police protection, emergency services, and water/ wastewater services as these services have been planned for in advance

and are adequately sized to meet the demands of this phase and other future phases. A sufficient water supply has been acquired and can provide the water necessary for the proposed 514 units. In addition, a wastewater system has been established and can adequately serve the proposed units. Please refer to the water and wastewater reports for more information.

By providing open space areas and extending existing utility services already approved and in place, the Hills at Lorson Ranch supports *Policy 6.1.5: Support the development of well-planned mixed-use projects* and *Policy 6.1.11: Plan and implement land development so that it will be functionally and aesthetically integrated within the context of adjoining properties and uses.*

A Geology and Soils Report was prepared by RMG-Rocky Mountain Group and is included with the submittal package. As part of this report, 110 exploratory test borings were completed. There are no significant geological hazards found to be present on the site including the lack of ground water which was not encountered on site. Geologic constraints found to be present include expansive soils and bedrock; hydrocompactive soils; faults; seismicity; radon; erosion; steep slopes; and fill soils. These geologic and engineering conditions are relatively common to the area, and, can be satisfactorily mitigated through proper engineering design, and construction practices. Bedrock was also encountered in the majority of test borings performed and is anticipated to be encountered in the building excavations or utility trenches for this development. It may be necessary to design and implement mitigation alternatives on a lot by lot basis. Refer to the soils report for more detailed information.

2003 Highway 94 Comprehensive Plan

Per the Highway 94 Comprehensive Plan Map 8.1, it appears the northern most portion of the Hills at Lorson Ranch is within Sub-Area 4 of the 2003 Highway 94 Comprehensive Plan. This area of the project is located north of Fontaine Blvd. The portions of the PUDSP south of Fontaine Blvd. are not included within the Highway 94 Comp Plan.

Sub-Area 4 is characterized as the Colorado Centre and calls for higher intensity land uses that will blend with the existing Colorado Springs character. This proposal meets several of the Highway 94 plan's goals, including:

-Goal 1. Guide growth in a manner that respects the emerging needs of the community....:
Lorson Ranch provides valuable and affordable housing to the Fountain Valley area. Lorson Ranch also provides housing along existing major transportation corridors such as Marksheffel Rd.

-Goal 2. Achieve a desirable and efficient use of the land while enhancing the physical environment through functional and compatible land use configurations:
This site was previously approved for residential uses and this PUDSP continues the existing pattern of residential development.

-Objective 2.2: Ensure that the nature and intensity of proposed development are consistent with the Land Use Map and Sub-Area scenarios:

-Goal 3. Ensure that residential development is appropriate for the Planning Area:

The Hills at Lorson Ranch continues the existing development pattern already approved, built, and thriving elsewhere in Lorson Ranch.

EL PASO COUNTY WATER MASTER PLAN:

The Hills at Lorson Ranch is located within the Widefield Water and Sanitation District's (WWSD) boundaries and will rely upon municipal services for water supply. These municipal services have been provided in previous Lorson Ranch filings and will be extended to this proposed development. There are no proposed wells or individual septic systems within the Hills at Lorson Ranch. The WWSD has provided letters of intent to serve commitment letters for the Hills at Lorson Ranch. The district has also provided the water quality report as required by El Paso County. The Hills at Lorson Ranch will seek the Colorado State Engineer's sufficiency of water finding for both quantity and quality as part of this PUDSP permitting administrative review of future final plats.

The Hills at Lorson Ranch is located in Pressure Zone 6 (upper zone). WWSD has an existing 16" diameter potable water main in Grayling Drive and a Booster Station (Rolling Hills Booster Pump Station) located on the north side of Grayling Drive east of Lamprey Drive. In addition, a 12" water main is constructed from Lorson Ranch to an offsite water tank (Rolling Hills Tank) which will serve this development. The WWSD has a regional lift station south of Lorson Ranch at Marksheffel Road and Mesa Ridge Parkway that will be used to provide wastewater gravity service to Lorson Ranch. Existing sanitary sewer has been stubbed out to this site from Lorson Ranch East and will provide gravity sewer service to the site.

The current Legal Water Supply Holding of the District are estimated at 7,900 annual acre-feet. The WWSD has a current developed physical water supply of 5271 ac-ft of water per year and the three year average demand is 2615 ac-ft per year which is 49.6% of the existing physical supply. In 2019, the District placed the Fontaine Water Treatment Facility online. This plant uses ion exchange to remove PFOS and PFOA from the District's water supply. This plant added an additional 500 gpm of treated water to the system.

Water Demand calculations were completed based on the proposed zoning and densities. Water demand is 0.35 ac-ft/year per Single Family Equivalent for an overall demand of 179.9 ac-ft/year for the 514 proposed lots. This subdivision also includes irrigation for landscaping of streetscapes and parks which has been estimated at 32 single family equivalents for a landscaping water demand total of 11.2 ac-ft/ year. The total new water commitment for the Hills at Lorson Ranch is 191.1 ac-ft per year for the 514 lots and the landscaping. The Widefield Water and Sanitation District has an excess capacity in their existing water supply system to serve this subdivision

In addition, the Hills at Lorson Ranch meets the stated Goals and Policies:

- Goal 1.2 – Integrate water and land use planning
- Goal 4.2 – Support the efficient use of water supplies
- Goal 6.1.2 – Promote water conservation

through integrated master planning of site planning, landscape and water resource best management practices. Water conservation is achieved through higher densities with smaller individual yards and more common open space. The common open space emphasizes water conservation using native turf seeds and limited high water sod.

Master Plan for Mineral Extraction:

The *1996 Master Plan for Mineral Extraction* updates and supersedes the *1975 El Paso County Master Plan for Mineral Extraction of Commercial Mineral Deposits* as amended in 1978 and 1982. This updated plan has two primary purposes, the first is to facilitate continued compliance with the mineral resource protection mandates outlined in the "Preservation of Commercial Mineral Deposits Act" of 1973 and the second is to provide guidance to the El Paso County Planning Commission and Board of County Commissioners in evaluating land use proposals involving new or expanded mining and mineral resource processing operations. Per the El Paso County Master Plan for Mineral Extraction Aggregate Resource Maps, this site is identified as 'Valley Fill' containing sand and gravel with silt and clay deposited by water in one or a series of stream valleys. The proposed project does not contain any mineral deposits of commercial value.

Total Number of Residential Units, Density, and Lot Sizes: 514 Single-Family Detached Residential Units for a density of 4.17 DU/ Acre. The site layout includes a mix of residential lot sizes: 50' x 110' (5,500 SF); and 60' x 110' (6,600' SF); 45' x 95' (4,275 SF); and front loaded 35' x 84' (2,940 SF).

Total Number of Industrial or Commercial Sites:

There are no industrial or commercial sites proposed with this project.

Phasing Plan and Schedule of Development:

The Hills at Lorson Ranch will be developed as a single phase due to necessary utility commitments and infrastructure connections. The plat filings may be submitted in phases pending market demand; however major roadway and utilities will be installed with the first phase.

Areas of Required Landscaping:

The proposed PUDSP includes landscape design and streetscape planting requirements for the streetscapes along Fontaine Blvd, Lorson Blvd. and Walleye Dr. as well as for the proposed park areas. The landscape design includes a mix of deciduous and evergreen trees with varying ground plane treatments. There are no landscape waivers being requested at this time.

Approximate Acres and Percent of Land Set Aside for Open Space:

The PUDSP proposes 38.17 acres of open space, landscape area, and pocket parks totaling 31% of the overall site acreage. The 38.17 acres of open space tracts include 23.89 acres of powerline easement, 11.37 acres for open space and landscape area, and 2.91 acres for pocket parks as illustrated on the landscape plans. The open space tracts include elements such as landscaping, existing natural open space to remain, trails, pocket parks and detention facilities. Per the EPCLDC, 12.3 acres or 10% of the total site area of open space is required within the PUD zoning district. Of the 38.17 acres being provided with the Hills at Lorson Ranch, 23.89 acres consist of the powerline easement. This easement forms a natural buffer within the community providing opportunities for pedestrian trail connectivity. In addition, trail corridors have been illustrated on the plans along the powerline easement providing numerous connections to adjoining neighborhoods. The total open space provided with this application

is part of the cumulative open space of the overall Lorson Ranch development in accordance with the Lorson Ranch Sketch Plan Minor Amendment.

Types of Proposed Recreational Facilities:

While there are no major recreational facilities such as large playfields proposed within the Hills at Lorson Ranch, the PUDSP identifies three locations in each of the neighborhood areas that are centrally located and ideal for pocket park type amenities. These pocket park areas will be developed within each individual filing to be owned and maintained by the Lorson Ranch Metropolitan District No. 1. The exact nature of these pocket park sites are unknown at this time as the final park site amenities will be coordinated with El Paso County Parks based on construction sequencing. The installation timing will also be coordinated with County Park staff depending on final plat sequencing and construction phasing. Where possible the park sites are located near or adjacent to the existing and proposed trail corridors providing pedestrian connectivity throughout Lorson Ranch. This includes connectivity to internal sidewalks and the proposed trail corridor within the powerline easement.

Traffic Engineering:

Vehicular access and street layout shall be as illustrated on the PUDSP with all roadways to be public, built to El Paso County standards. The applicant requests that platted lots within the Hills at Lorson Ranch be included in the county wide Public Improvements District (PID 2) implemented as part of the Traffic Impact Fee resolution.

The Hills at Lorson Ranch includes the continuation of two major roadways, the eastward extension of both Fontaine Blvd. and Lorson Blvd. The extension of these roadways will provide the necessary points of ingress/ egress for this development and create numerous circulation routes through internal neighborhoods. A new collector shown as Walleye Dr. is being installed running north/ south connecting Fontaine Blvd. to Lorson Blvd. This proposed collector will run northward connecting with yet another proposed collector roadway, Grayling Dr. Grayling Dr. is being shown as extending to northern property line of Lorson Ranch for a future connection with adjacent parcels.

Fontaine Blvd. is being designed as a two-lane minor arterial with a 100' public right-of-way. The traffic report discusses the merits and justification for this roadway designation and configuration. However, as part of future consideration for possible expansion, the tracts on either side of Fontaine Blvd. are being reserved as landscape setbacks and public improvement corridors should the additional right of way be needed for expanding Fontaine Blvd. There will be no direct lot access to Fontaine Blvd.

Lorson Blvd. is a planned continuous roadway that will extend from Marksheffel Rd in the far southwestern corner of Lorson Ranch. Lorson Blvd. is being shown as an Urban Non Residential Collector roadway with a proposed 64' right-of-way. This is a continuation of Lorson Blvd. as approved with the Lorson Ranch East project.

Proposed Services:

1. Water/ Wastewater: Widefield Water and Sanitation District
2. Gas: Black Hills Energy
3. Electric: Mountain View Electric
4. Fire: Security Fire Protection District
5. School: Widefield District #3
6. Roads: El Paso County Road and Bridge
7. Police Protection: El Paso County Sheriff's Department

Impacts associated with the PUD Development Plan & Preliminary Plan:

Floodplain: This site is not located within a designated FEMA floodplain as determined by the flood insurance map, community map number '08041C0976G' effective date December 7, 2018.

Site Geology: RMG has provided a Geology Soils Report with this submittal. This report has identified any potential Geologic Hazards on site related to development of the property along with proposed mitigation of the hazards. The development will incorporate the recommended mitigation during final design and construction on site.

Wetlands: There are no drainage areas, drainage ways or water courses found on site, as a result there are not wetlands present. All drainage and erosion criteria have been met following El Paso County Development Standards.

Air Pollution: By adhering to current air quality regulations, any air pollution emanating from the development will be negligible. The site has very little vegetation and contains mostly native turfgrass which may result in higher than normal amounts of dust during windy days. However, the proposed development will provide irrigated turf areas and native seeding to help alleviate the dust issues. Construction practices will adhere to El Paso County health department, as well as state department codes and regulations

Water Pollution: By adhering to current wastewater and stormwater regulations, any water pollution emanating from the development will be negligible. An erosion and sedimentation plan will be in place prior to construction.

Noise Pollution: Vehicular movement is expected to be the only major source of noise pollution emanating from the site after construction is complete. The proposed development is surrounded by similar land uses and the effects of noise generated from the site will have little or no impact on other surrounding areas.

Visual Assessment: The natural mountain backdrop of the Rampart Range is perhaps the best natural feature of the Hills at Lorson Ranch community with sweeping views in nearly all directions. The scenic view shed is impaired somewhat by intervening development; however, the panoramic views remain quite spectacular.

Vegetation, Wildlife Habitats and Migration Routes:

Proposed landscaping will include low-water use plant material, and where possible, the plant material will be native to the Colorado Springs region.

The Colorado Division of Wildlife note the following as also present in the area.

- Prairie Dog
- Mule and White Tailed Deer
- Pronghorn Antelope
- Fox species
- Coyote
- Rabbits
- Raptors
- Songbirds
- Numerous Small Mammals

Due to the construction activity and adjoining residential developments, it is not anticipated that the application will have significant impacts on wildlife in the area.

LOCATED AT THE INTERSECTION OF STATE HIGHWAY 163 AND IN THE
 SOUTHWEST QUARTER OF SECTION 11, T15S, R35W OF THE 6TH P.M.,
 EL PASO COUNTY, STATE OF COLORADO

LANDSCAPE/PARK OPEN SPACES/TOTAL

LANDSCAPE/PARK IMPROVEMENTS

REMANUS/ PUBLIC DETENTION

RURUS UTILITIES

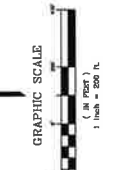
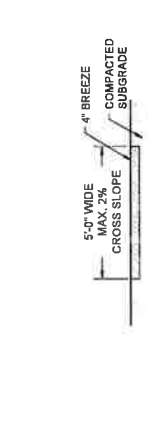
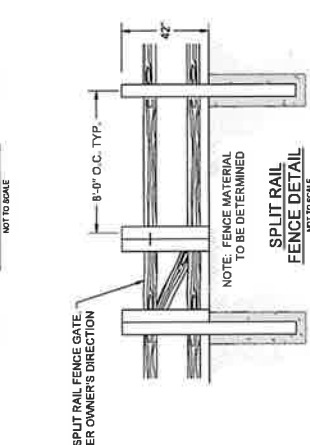
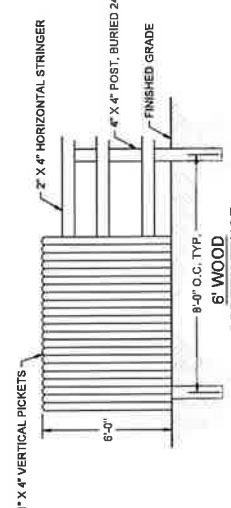
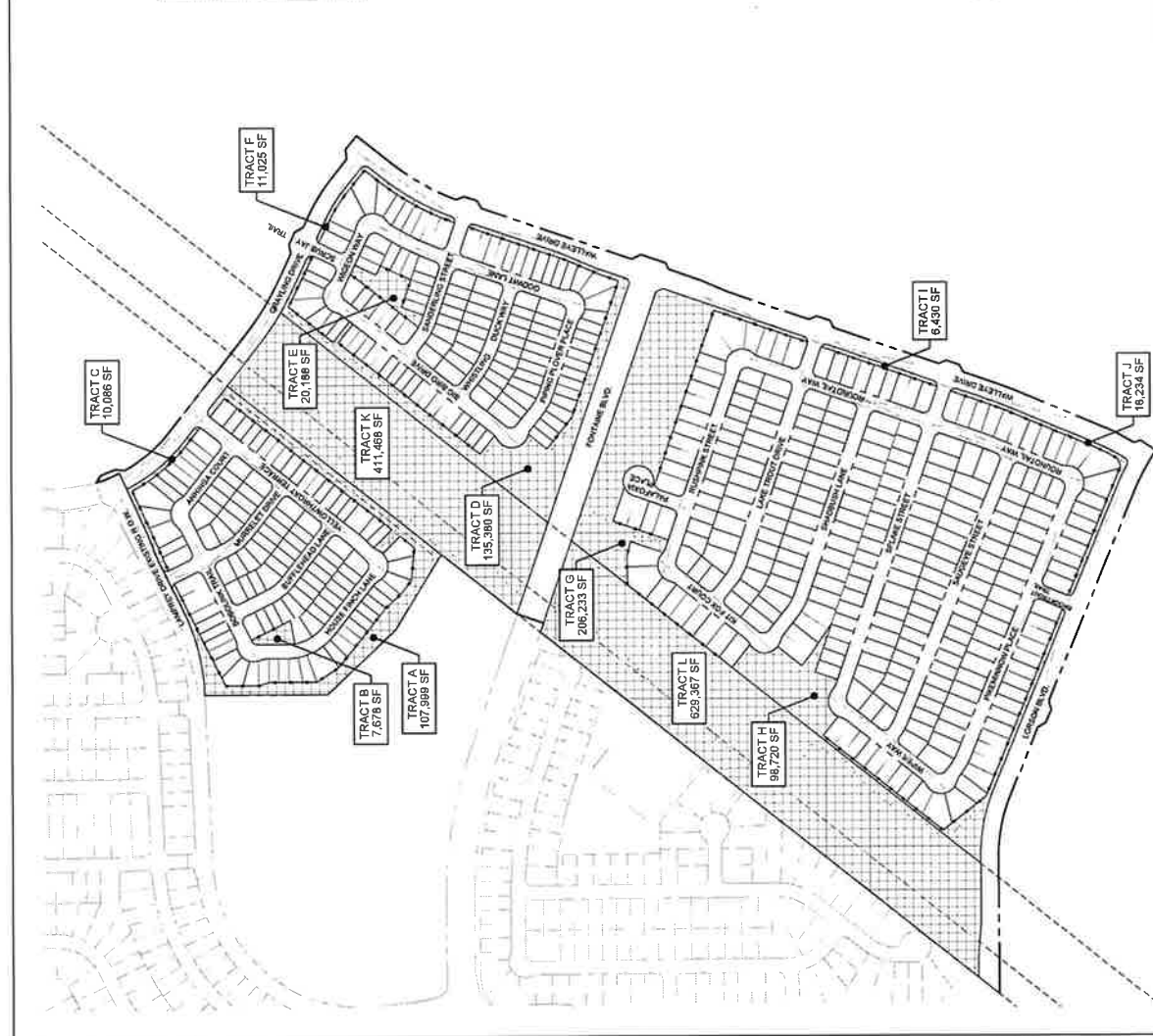
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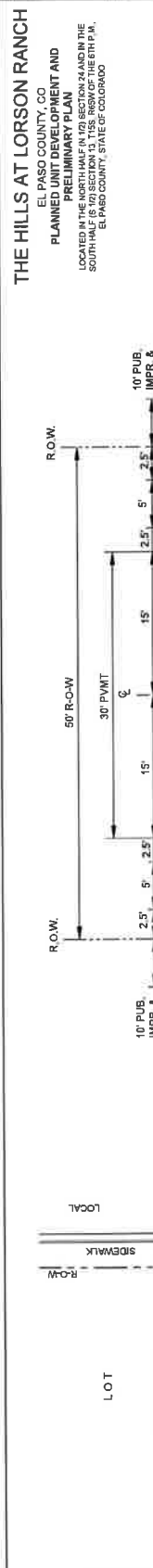
OWNED BY

MAINTAINED BY

TRACT	SIZE (SF)	LANDSCAPE/PARK OPEN SPACES/TOTAL	LANDSCAPE/PARK IMPROVEMENTS	REMANUS/ PUBLIC DETENTION	RURUS UTILITIES	ELECTRIC	OWNED BY	MAINTAINED BY
A	527,999	X	X	X	X	X	LAND	LAND
B	7,578	X	X	X	X	X	LAND	LAND
C	10,086	X	X	X	X	X	LAND	LAND
D	135,380	X	X	X	X	X	LAND	LAND
E	20,186	X	X	X	X	X	LAND	LAND
F	11,025	X	X	X	X	X	LAND	LAND
G	206,233	X	X	X	X	X	LAND	LAND
H	98,720	X	X	X	X	X	LAND	LAND
I	6,430	X	X	X	X	X	LAND	LAND
J	16,234	X	X	X	X	X	LAND	LAND
K	411,468	X	X	X	X	X	LAND	LAND
L	829,247	X	X	X	X	X	LAND	LAND
	1,802,806							

LAND - LORSON RANCH METROPOLITAN DISTRICT





NOTE:
 1. ADDITIONAL PUBLIC IMPROVEMENT EASMENTS ARE REQUIRED WHERE SIDEWALK ENCROACHES INTO THE PRIVATE LOTS.
 2. SEE CONSTRUCTION DRAWINGS AND FINAL PLAT.
 3. SEE CONSTRUCTION DRAWINGS AND PLAT FOR SIGHT TRIANGLE.
LOCAL ROADWAY SIGHT TRIANGLE PUBLIC IMPROVEMENT ESMT.
 NOT TO SCALE

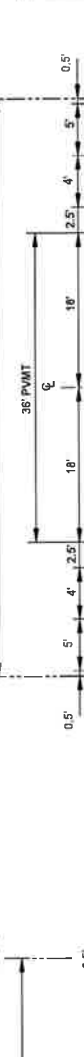
TYPICAL SECTION 50' R.O.W. RESIDENTIAL URBAN LOCAL
 NOT TO SCALE



TYPICAL SECTION 60' R.O.W. RESIDENTIAL URBAN COLLECTOR
 NOT TO SCALE



TYPICAL SECTION 64' R.O.W. RESIDENTIAL URBAN COLLECTOR
 NOT TO SCALE



TYPICAL SECTION 100' R.O.W. FONTAINE BLVD
 NOT TO SCALE



TYPICAL SECTION 100' R.O.W. FONTAINE BLVD (NON-RES COLLECTOR)
 NOT TO SCALE



NOTE:
 1. PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 2. DESIGN SPEED: 35 MPH
 3. 40MPH FOR TURNING (WET/BOUND) (NON-RES COLLECTOR)

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 35 MPH

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 40 MPH
 POSTED SPEED: 35 MPH

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 35 MPH
 POSTED SPEED: 35 MPH

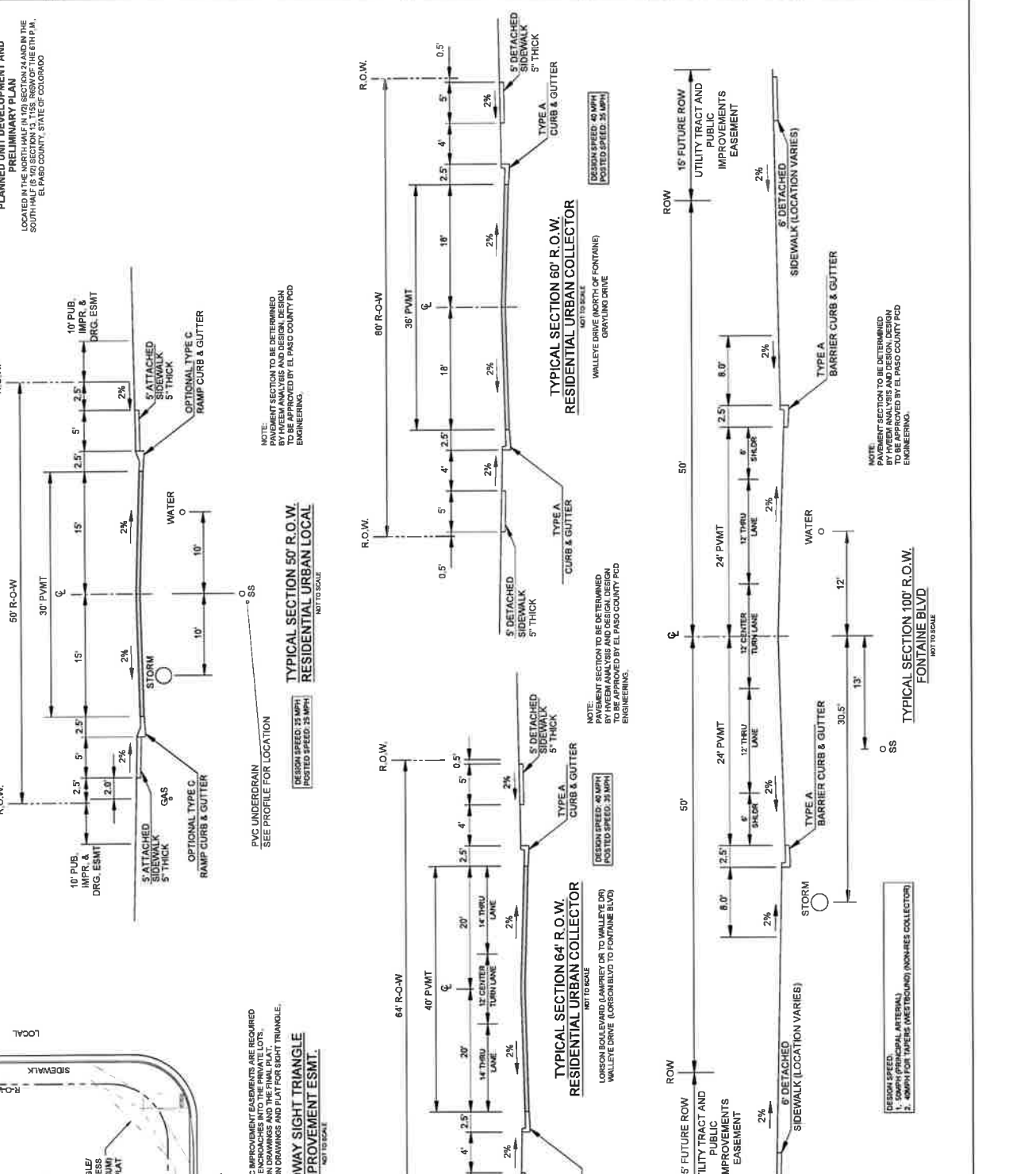
THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN
 LOCATED IN THE 6TH SEQUENTIAL ROLLBACK
 SOUTH HALF (S) OF SECTION 13, T15S, R03W OF THE 6TH P.M.,
 EL PASO COUNTY, STATE OF COLORADO

Matrix
 CIVIL ENGINEERS
 271 N WINGATCHER, SUITE 301
 COLORADO SPRINGS, CO 80902
 (719) 583-2828

PROJECT: THE HILLS AT LORSON RANCH
 PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
 DATE: 10/22/2020
 PREPARED BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: PUD DETAILS

DT03
 SHEET 04 OF 17

PCD FILE NO. 200298



NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 35 MPH
 POSTED SPEED: 35 MPH

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 35 MPH
 POSTED SPEED: 35 MPH

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 40 MPH
 POSTED SPEED: 35 MPH

NOTE:
 PAVEMENT SECTION TO BE DETERMINED BY HYVEM ANALYSIS AND DESIGN. DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD ENGINEERING.
 DESIGN SPEED: 35 MPH
 POSTED SPEED: 35 MPH



NO.	DATE	REVISION	BY
1	10/22/2020	REVISION PER COUNTY REVIEW	JAA
2	10/22/2020	REVISION PER COUNTY REVIEW	JAA

THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 36 AND IN THE
 SOUTHWEST 1/4 SECTION 37 OF T4S 30N R 10E,
 SOUTHWEST EL PASO COUNTY, STATE OF COLORADO

PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
 THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
 SUBMITTED FOR REVIEW
 DATE: 10/22/2023
 PREPARED BY: JAA
 PROJECT NO.: 20231001
 COUNTY: EL PASO COUNTY
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

CONTRACT NO.:
 213 N WASHINGTON, SUITE 300
 CO SPRING, COLORADO 80909
 (719) 535-2300

Matrix
 PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
 THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
 SUBMITTED FOR REVIEW
 DATE: 10/22/2023
 PREPARED BY: JAA
 PROJECT NO.: 20231001
 COUNTY: EL PASO COUNTY
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROPERTY MAP
 THE HILLS AT LORSON RANCH
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN
 EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2023

PROPOSED EASEMENT
 PROPERTY BOUNDARY
 SHEET MATCHLINE
 6 WOODEN SCREEN FENCE
 8 WOODEN SCREEN FENCE
 9 WOODEN SCREEN FENCE
 PROPOSED UTILITY STRUCTURES
 PROPOSED CONTOURS
 EXISTING CONTOURS

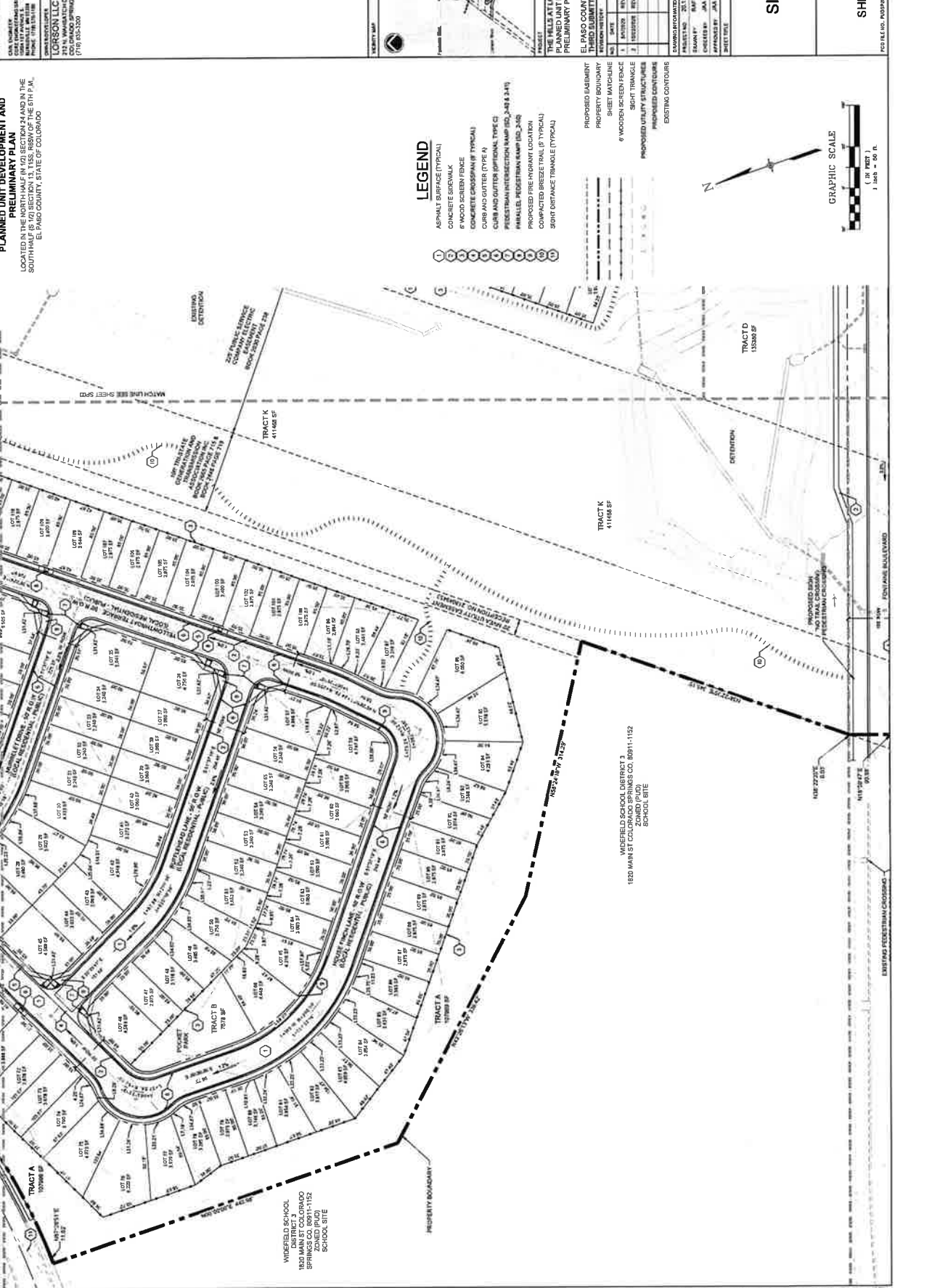
ASPHALT SURFACE (TYPICAL)
 CONCRETE SURFACE (TYPICAL)
 FURROWED SURFACE (TYPICAL)
 CURB AND GUTTER (TYPICAL)
 CURB AND GUTTER (TYPE A)
 PROPOSED INTERSECTION RAMP (SD, 2+48 & 3+41)
 PARALLEL PEDESTRIAN RAMP (SD, 2+48)
 PROPOSED FIRE HYDRANT LOCATION
 COMPACTED BREZEZ TRAIL (S TYPICAL)
 SHORT DISTANCE TRIANGLE (TYPICAL)

WIDEFIELD SCHOOL DISTRICT 3
 1830 MAIN ST COLORADO SPRINGS CO, 80911-1122
 UNZONED (PUD)
 SCHOOL SITE

TRACT A 70098 SF
 TRACT B 7078 SF
 TRACT C 41168 SF
 TRACT D 41168 SF
 TRACT E 13280 SF

PROPERTY BOUNDARY
 1830 MAIN ST COLORADO SPRINGS CO, 80911-1122
 UNZONED (PUD)
 SCHOOL SITE

WIDEFIELD SCHOOL DISTRICT 3
 1830 MAIN ST COLORADO SPRINGS CO, 80911-1122
 UNZONED (PUD)
 SCHOOL SITE



WIDEFIELD SCHOOL DISTRICT 3
 1830 MAIN ST COLORADO SPRINGS CO, 80911-1122
 UNZONED (PUD)
 SCHOOL SITE

THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**

LOCATED IN THE UNINCORPORATED AREA OF EL PASO COUNTY, COLORADO
 SOUTHWEST INTERSECTION OF THE S1/4 SECTION 11, T15S, R10W OF THE 6TH P.M.
 EL PASO COUNTY, STATE OF COLORADO

Matrix
 ARCHITECTURAL ARCHITECTS
 1000 UNIVERSITY DRIVE
 SUITE 200
 DENVER, CO 80202
 PHONE: (303) 733-1100
 FAX: (303) 733-1101

LORSON LLC
 217 N. WAUSAQUON, SUITE 201
 COLORADO SPRINGS, CO 80903
 (P) 303-592-0000

CONTRACT NUMBER
 PROJECT NUMBER
 SHEET NUMBER

EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2009
 PRELIMINARY PLAN

DATE: 10/22/09
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROJECT NUMBER: 09-001
 SHEET NUMBER: 001
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2009
 PRELIMINARY PLAN

DATE: 10/22/09
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROJECT NUMBER: 09-001
 SHEET NUMBER: 001
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2009
 PRELIMINARY PLAN

DATE: 10/22/09
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROJECT NUMBER: 09-001
 SHEET NUMBER: 001
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2009
 PRELIMINARY PLAN

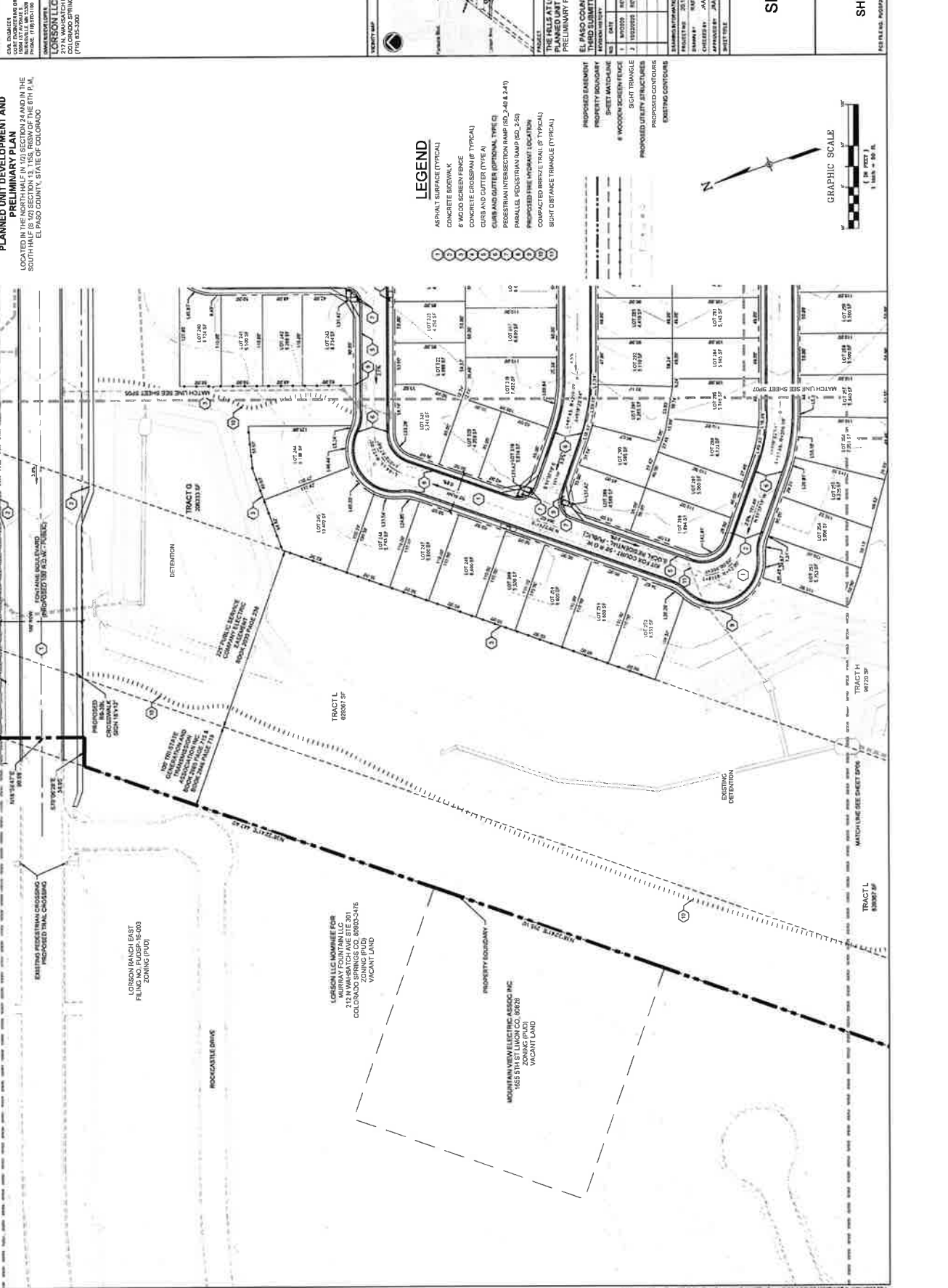
DATE: 10/22/09
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROJECT NUMBER: 09-001
 SHEET NUMBER: 001
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2009
 PRELIMINARY PLAN

DATE: 10/22/09
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN

PROJECT NUMBER: 09-001
 SHEET NUMBER: 001
 DRAWN BY: JAA
 CHECKED BY: JAA
 APPROVED BY: JAA
 SHEET TITLE: SITE PLAN



THE HILLS AT LORSON RANCH - THE HILLS AT LORSON RANCH PLAN (PRELIMINARY PLAN) SHEET 08 OF 17

THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN
 LOCATED IN THE NORTH-HALF IN T29, SECTION 24 AND IN THE SOUTH-WEST-QUARTER IN T29, SECTION 25, T29S, R17E, E1/4, EL PASO COUNTY, STATE OF COLORADO

CONTRACT NO. 2011105.001
 PROJECTED TO 2011105.001
 COUNTY OF EL PASO, COLORADO
 DATE OF PREPARATION: JAN 2011
 DRAWN BY: JAA
 SHEET TITLE: SITE PLAN

PROPOSED BASEMENT
 PROPERTY BOUNDARY
 SHEET MATCHLINE
 8' WOODEN SCREEN FENCE
 8' WOODEN SCREEN FENCE
 8' WOODEN SCREEN FENCE
 PROPOSED UTILITY STRUCTURES
 PROPOSED CONTOURS
 EXISTING CONTOURS

ASPHALT SURFACE (TYPICAL)
 CONCRETE SIDEWALK
 8' WOOD SCREEN FENCE
 CONCRETE CROSSWALK (TYPICAL)
 CURB AND GUTTER (TYPE A)
 CURB AND GUTTER (OPTIONAL TYPE C)
 REGISTRATION INTERSECTION RAMP (SD, 3.46 & 3.47)
 PARALLEL INTERSECTION RAMP (SD, 3.30)
 PROPOSED FIRE HYDRANT LOCATION
 COMPACTED BREEZE TRAIL (TYPICAL)
 SHORT DISTANCE TRIANGLE (TYPICAL)

EL PASO COUNTY, CO
 THIRD SUBMITTAL: OCTOBER 22, 2020

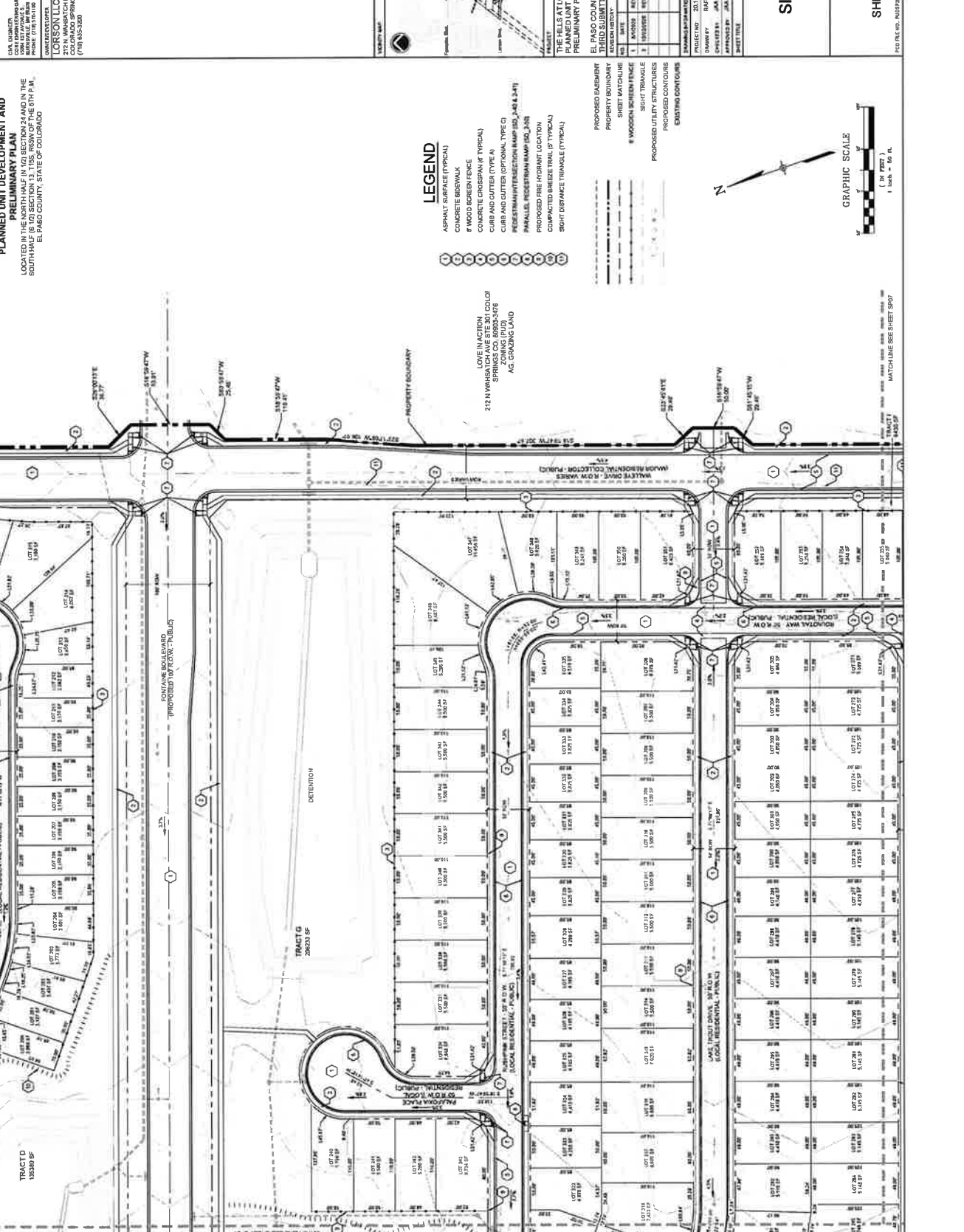
NO.	DESCRIPTION	DATE
1	APPROVED BY EL PASO COUNTY	10/22/20
2	REVISIONS PER COUNTY REVIEW	10/22/20
3	REVISIONS PER COUNTY REVIEW	10/22/20

PROJECT NO. 2011105.001
 COUNTY OF EL PASO, COLORADO
 DATE OF PREPARATION: JAN 2011
 DRAWN BY: JAA
 SHEET TITLE: SITE PLAN

SITE PLAN

SP05

SHEET 09 OF 17
 PLO RECORD: 201105005

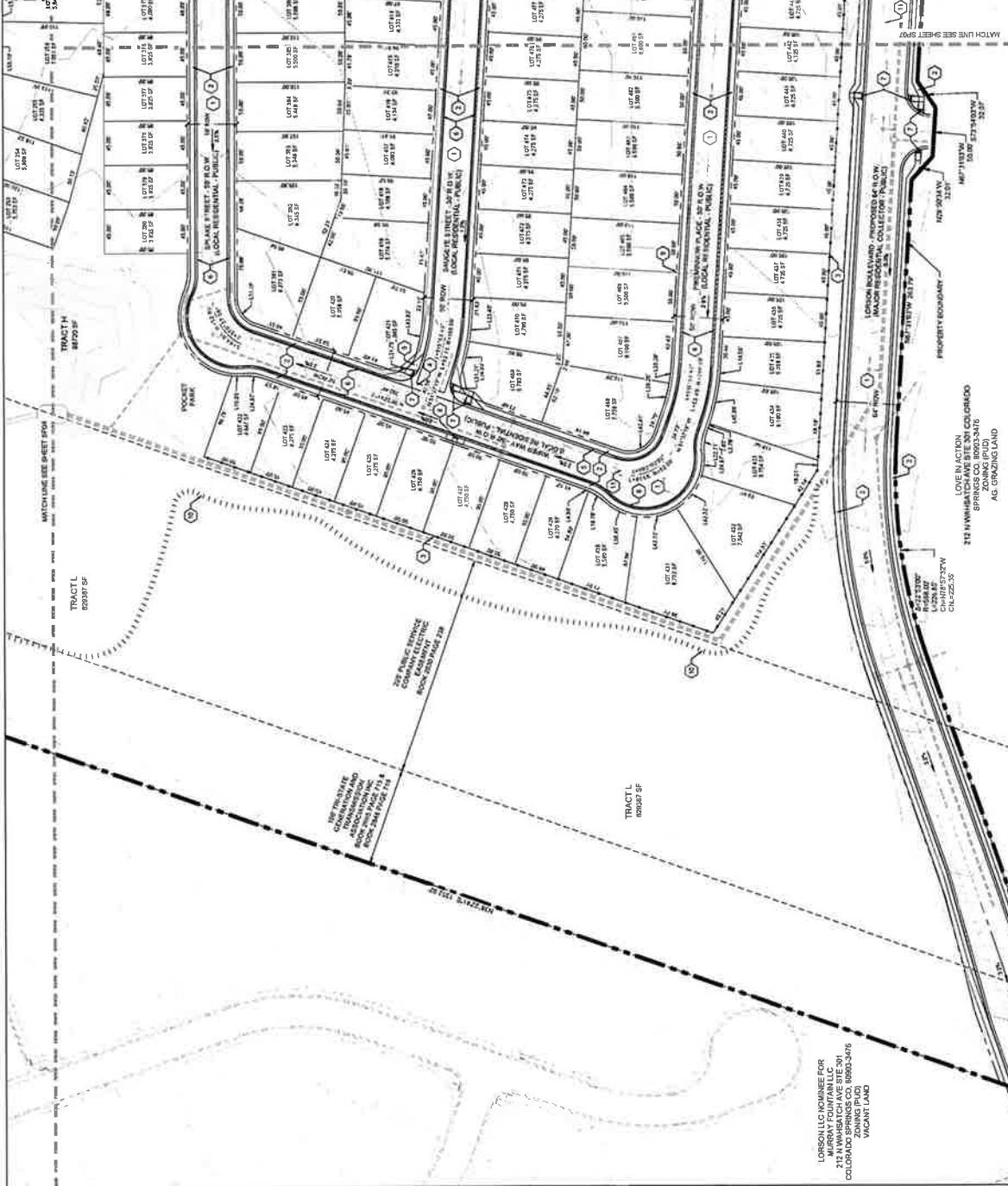


TRACT D 10000 SF
 TRACT G 20000 SF
 TRACT I 10000 SF
 TRACT J 10000 SF
 TRACT K 10000 SF
 TRACT L 10000 SF
 TRACT M 10000 SF
 TRACT N 10000 SF
 TRACT O 10000 SF
 TRACT P 10000 SF
 TRACT Q 10000 SF
 TRACT R 10000 SF
 TRACT S 10000 SF
 TRACT T 10000 SF
 TRACT U 10000 SF
 TRACT V 10000 SF
 TRACT W 10000 SF
 TRACT X 10000 SF
 TRACT Y 10000 SF
 TRACT Z 10000 SF

THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
**PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN**
 LOCATED IN THE NORTH HALF (N 1/2) SECTION 34 AND IN THE
 SOUTHWEST 1/4 SECTION 35, T12N, R30E, S41E, 6TH P.M.,
 EL PASO COUNTY, STATE OF COLORADO

OWNER: LORSON RANCH, LLC
 3010 COLONADO SPRINGS, CO 80903
 (719) 855-2000

DESIGNER: Matrix
 3010 COLONADO SPRINGS, CO 80903
 (719) 855-2000



LEGEND

- ADJACENT PARCELS (TYPICAL)
- CONCRETE DRIVEWAY
- 6" WOOD SCREEN FENCE
- CURB AND GUTTER (TYPICAL)
- CURB AND GUTTER (OPTIONAL) (TYPICAL)
- RESISTANT INTERSECTION RAMP (EQ. 2.461.2.41)
- PARALLEL RESURFACING (EQ. 3.20)
- PROPOSED FIRE HYDRANT LOCATION
- COMPACTED BREZE TRAIL (TYPICAL)
- RIGHT OF WAY TRIANGLE (TYPICAL)
- PROPOSED EASEMENT
- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOOD SCREEN FENCE
- RIGHT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS



GRAPHIC SCALE
 1" = 300' ±

SITE PLAN

SP06

SHEET 10 OF 17

PREPARED BY: JAA

NO.	DATE	DESCRIPTION
1	10/22/2025	INITIAL PRELIMINARY PLAN
2	10/22/2025	REVISIONS
3	10/22/2025	REVISIONS

THE HILLS AT LORSON RANCH
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN
 EL PASO COUNTY, CO
 THIRD SUBMITTAL, OCTOBER 22, 2025

PROJECT NO: 251725.001
 SHEET NO: 10 OF 17
 APPROVED BY: JAA
 SHEET TITLE

LORSON, LLC FOR USE FOR
 MURRAY FOUNTAIN, LLC
 212 N WHARF AVE, STE 301
 COLORADO SPRINGS, CO 80903-3416
 ZONING (P.U.D.)
 VACANT LAND

THE HILLS AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LOCATED IN THE NORTH HALF (N 1/2) SECTION 36 AND IN THE
SOUTH HALF (S 1/2) SECTION 37 T14N R14E
EL PASO COUNTY, STATE OF COLORADO

CONSULTANTS
Matrix
PLANNED UNIT DEVELOPMENT
238 RESEARCH PARKWAY
COLORADO SPRINGS, CO 80921
TEL: 719.578.1100
WWW.MATRIXARCHITECT.COM

OWNER
COT DEVELOPMENT GROUP
10000 W. WASHINGTON
DENVER, CO 80231
TEL: 303.733.1100

CONTRACT NO.
212 N WASHINGTON, SUITE 301
COLORADO SPRINGS, CO 80903
(719) 578-2325

LEGEND

- ASPHALT SURFACE (TYPICAL)
- CONCRETE SIDEWALK
- 6" WOOD SCREEN FENCE
- CONCRETE CROSSWALK (TYPICAL)
- CURB AND GUTTER (OPTIONAL TYPICAL)
- PROPOSED INTERSECTION RAMP (SD, 3-48.1, 2-41)
- PARALLEL WALKWAY (SD, 3-48)
- PROPOSED FIRE HYDRANT LOCATION
- COMPACTED BRITTLE TRAIL (TYPICAL)
- SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED BASEMENT

- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SHOUT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

GRAPHIC SCALE



PROPERTY BOUNDARY

EL PASO COUNTY, CO
THIRD SUBMITTAL, OCTOBER 22, 2025

PROJECT INFORMATION

NO.	DATE	DESCRIPTION
1	10/22/25	REVISIONS
2	10/22/25	REVISIONS
3	10/22/25	REVISIONS

DESIGNED BY

PROJECT NO.: 212 N WASH
DRAWN BY: JAA
APPROVED BY: JAA
SHEET TITLE

THE HILLS AT LORSON RANCH

PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

LEGEND

- ASPHALT SURFACE (TYPICAL)
- CONCRETE SIDEWALK
- 6" WOOD SCREEN FENCE
- CONCRETE CROSSWALK (TYPICAL)
- CURB AND GUTTER (OPTIONAL TYPICAL)
- PROPOSED INTERSECTION RAMP (SD, 3-48.1, 2-41)
- PARALLEL WALKWAY (SD, 3-48)
- PROPOSED FIRE HYDRANT LOCATION
- COMPACTED BRITTLE TRAIL (TYPICAL)
- SIGHT DISTANCE TRIANGLE (TYPICAL)

PROPOSED BASEMENT

- PROPERTY BOUNDARY
- SHEET MATCHLINE
- 6" WOODEN SCREEN FENCE
- SHOUT TRIANGLE
- PROPOSED UTILITY STRUCTURES
- PROPOSED CONTOURS
- EXISTING CONTOURS

GRAPHIC SCALE



PROPERTY BOUNDARY

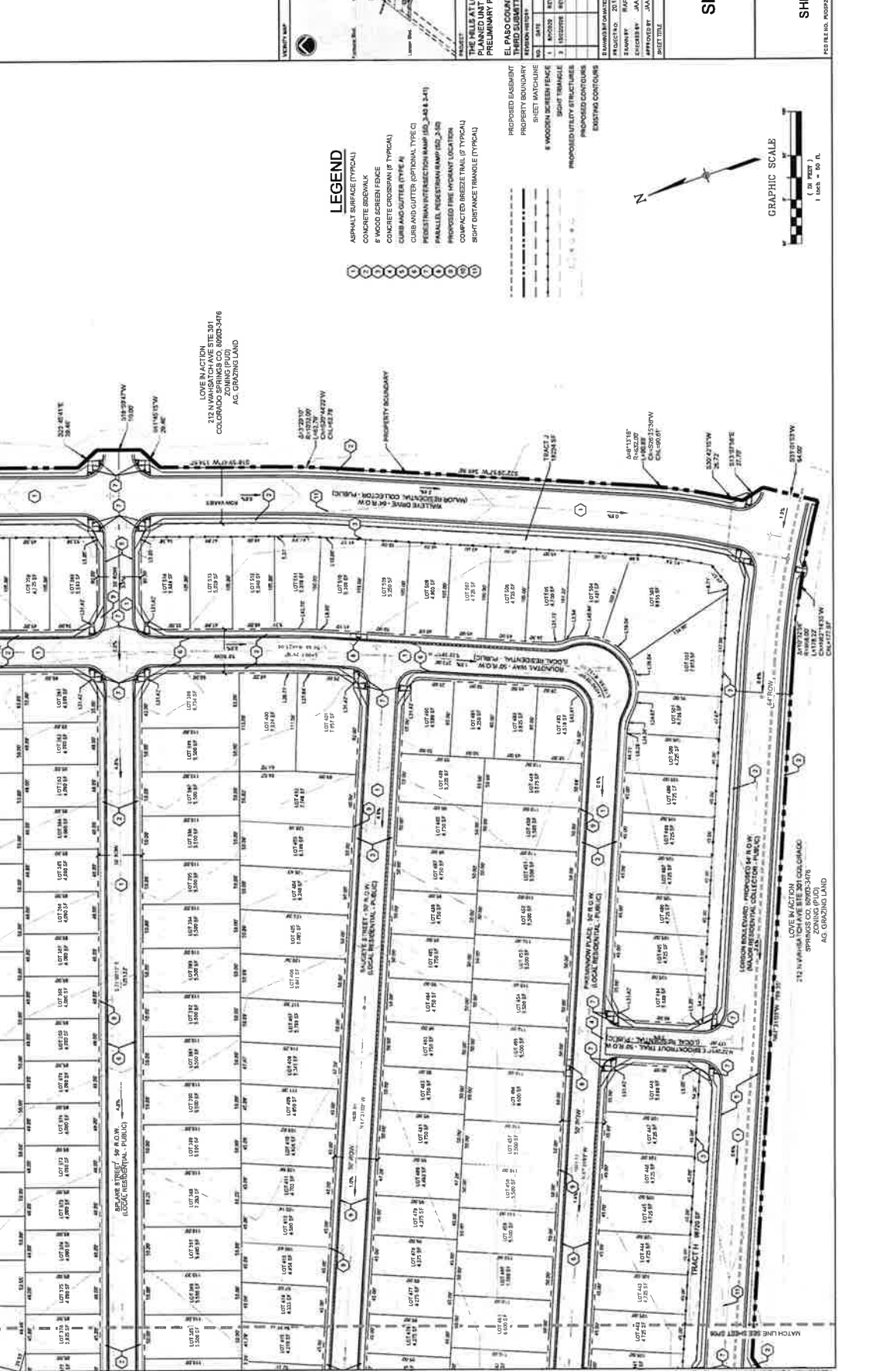
EL PASO COUNTY, CO
THIRD SUBMITTAL, OCTOBER 22, 2025

PROJECT INFORMATION

NO.	DATE	DESCRIPTION
1	10/22/25	REVISIONS
2	10/22/25	REVISIONS
3	10/22/25	REVISIONS

DESIGNED BY

PROJECT NO.: 212 N WASH
DRAWN BY: JAA
APPROVED BY: JAA
SHEET TITLE





PLANNING AND ARCHITECTURE
1000 EAST AVENUE
SUITE 1000
DENVER, CO 80202
PHONE: 303.733.1300
WWW.MATRIXARCHITECT.COM

LORSON LLC
212 N. MARSHALL DR., SUITE 300
DENVER, CO 80202
PHONE: 303.733.1300

THE HILLS AT LORSON RANCH
EL PASO COUNTY, CO
PLANNING AND ARCHITECTURE
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF IN 1/2 SECTION 24 AND IN THE
SOUTH HALF (S 1/2) SECTION 13, T15S, R68W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

PROJECT NO. 20-1128-001
CHECKED BY: JA
APPROVED BY: JA
SHEET TITLE: PLANTING PLAN

DATE: 08/12/2020
REVISIONS PER COUNTY REVIEW
REVISIONS PER COUNTY REVIEW

PLANTING PLAN
SCALE: 1" = 40'

LS02
SHEET 13 OF 17
PER PERM NO. 20200382

LANDSCAPE LEGEND:

SYMBOL	QUANTITY	DESCRIPTION
	14 1/2 SF	IRRIGATED NATIVE SEED. TO BE PROVIDED BY SEED SUPPLIER. SEED SUPPLIER TO PROVIDE SPECIFICATIONS AND APPROVAL. FERTILIZER TO BE PROVIDED BY SEED SUPPLIER.
	43 7/11 SF	NON-IRRIGATED NATIVE SEED. TO BE PROVIDED BY SEED SUPPLIER. SEED SUPPLIER TO PROVIDE SPECIFICATIONS AND APPROVAL. FERTILIZER TO BE PROVIDED BY SEED SUPPLIER.
	8 1/2 SF	FUTURE PLANTINGS TO BE PROVIDED BY SEED SUPPLIER. SEED SUPPLIER TO PROVIDE SPECIFICATIONS AND APPROVAL. FERTILIZER TO BE PROVIDED BY SEED SUPPLIER.

FIREBREAK, TYP. REF. CNA
 UTILITY EASEMENT, TYP. REF. CNA
 PROPERTY LIMIT LINE
 LANDSCAPE BUFFER / RETACK LINE
 CONCRETE SIDEWALK, REF. CNA

DEVELOPMENT PLAN DATA:

LANDSCAPE SETBACKS:

STREET MAKE OR ZONE BOUNDARY:

STREET	MAKE OR ZONE BOUNDARY	LANDSCAPE SETBACKS
GRAYLING DR.	COLLECTOR	10' / 10'
WALLEYE DR.	COLLECTOR	10' / 10'
LAMPREY DR.	COLLECTOR	10' / 10'
LORSON BLVD.	ARTERIAL	25' / 25'

PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS

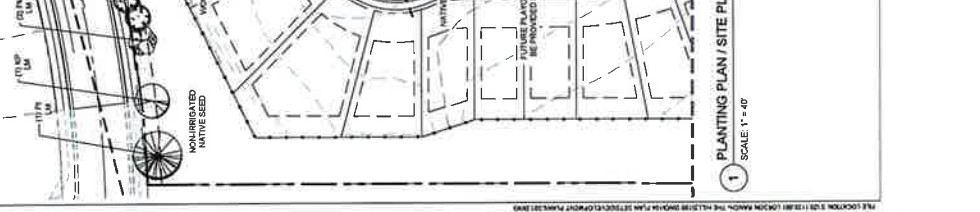
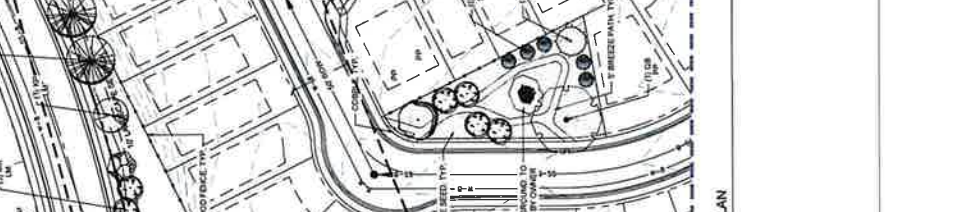
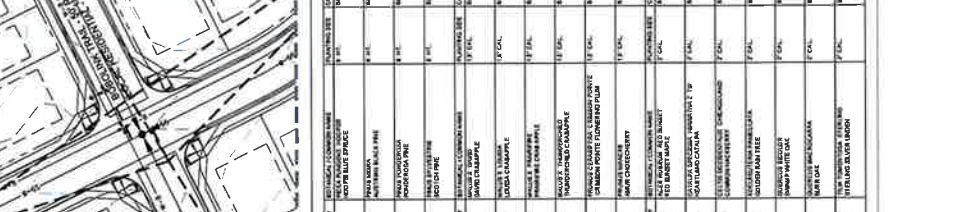
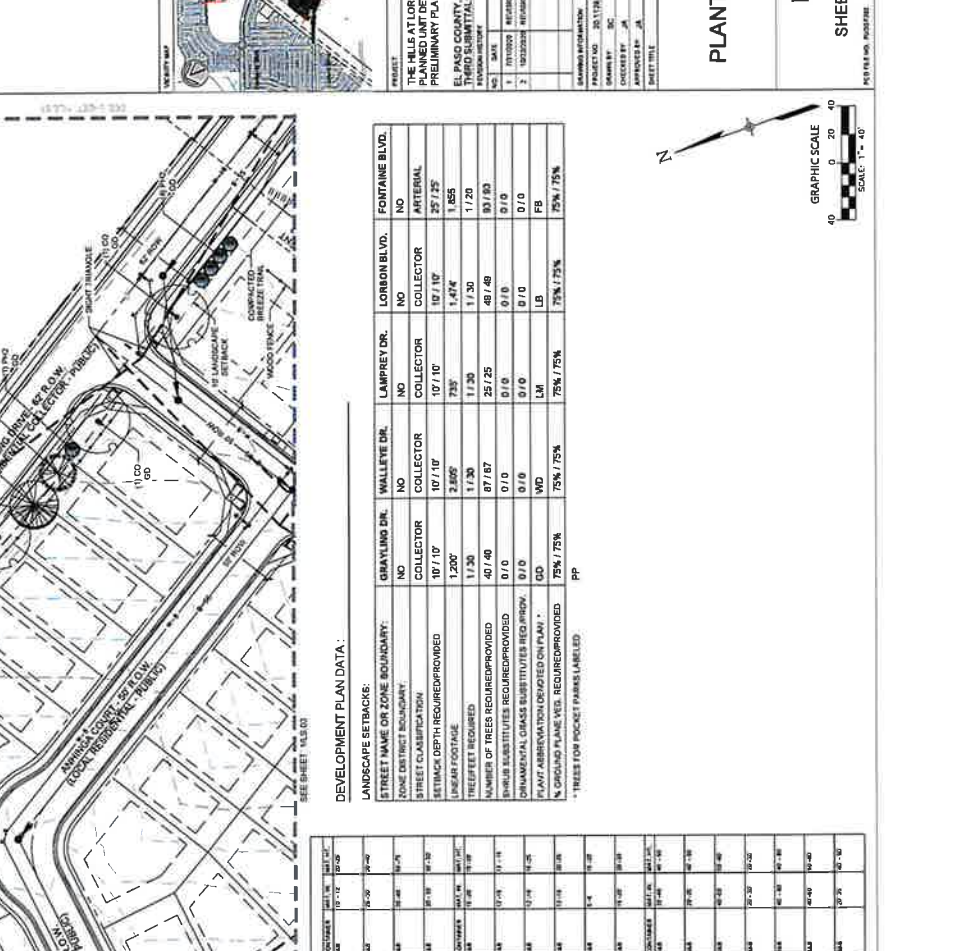
PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS

PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS

PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS

PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS

PLANTING PLAN DATA	QUANTITY	DESCRIPTION
PLANTING PLAN DATA	14 1/2 SF	IRRIGATED NATIVE SEED
PLANTING PLAN DATA	43 7/11 SF	NON-IRRIGATED NATIVE SEED
PLANTING PLAN DATA	8 1/2 SF	FUTURE PLANTINGS



THE HILLS AT LORSON RANCH
EL PASO COUNTY, CO
PLANNING AND ARCHITECTURE
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF IN 1/2 SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R68W OF THE 6TH P.M., EL PASO COUNTY, STATE OF COLORADO

PROJECT NO. 20-1128-001
CHECKED BY: JA
APPROVED BY: JA
SHEET TITLE: PLANTING PLAN
DATE: 08/12/2020
REVISIONS PER COUNTY REVIEW
REVISIONS PER COUNTY REVIEW

PLANTING PLAN
SCALE: 1" = 40'

LS02
SHEET 13 OF 17
PER PERM NO. 20200382

CONSULTANTS
PLANNET LANDSCAPE ARCHITECT



3111 1/2 W. WASHINGTON AVE.
SUITE 100
DENVER, CO 80202
TEL: 303.733.1138
WWW.MATRIXARCH.COM

LORSON LLC
2720 N. WASHINGTON DR., SUITE 501
COLORADO SPRINGS, CO 80909
(719) 595.2500



PROJECT
THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN

EL PASO COUNTY, CO
APPROVED DATE: OCTOBER 22, 2020

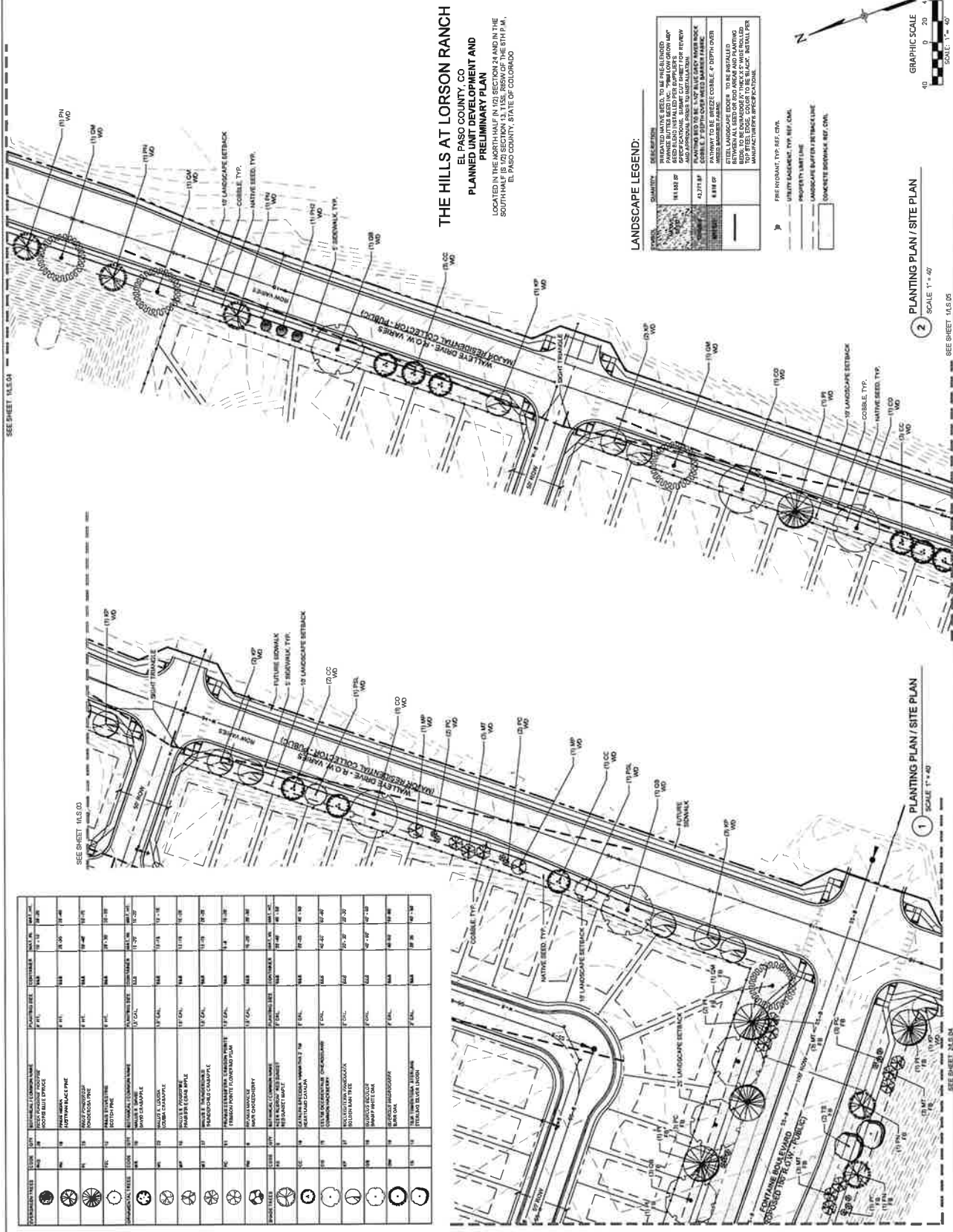
NO.	DATE	DESCRIPTION
1	07/21/2020	REVISIONS PER COUNTY REVIEW
2	09/22/2020	REVISIONS PER COUNTY REVIEW

SCALE: 1" = 100'

APPROVED BY: [Signature]
CHECKED BY: [Signature]
DATE: 10/22/20

PLANTING PLAN

LS04
SHEET 15 OF 17



THE HILLS AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE NORTH HALF N 1/2 SECTION 34 AND IN THE
SOUTH HALF S 1/2 SECTION 13, T15S, R89W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING
(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING



NO.	SYMBOL	LANDSCAPE ITEM	PLANTING RATE	PLANTING DATE	PLANTING METHOD	PLANTING NOTES
1	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
2	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
3	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
4	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
5	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
6	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
7	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
8	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
9	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
10	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
11	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
12	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
13	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	
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30	(Symbol)	PERVIOUS NATIVE SEEDS TO BE RE-SEEDING	1000	10/20/20	SPREAD	

1 PLANTING PLAN / SITE PLAN
SCALE 1" = 40'

2 PLANTING PLAN / SITE PLAN
SCALE 1" = 40'

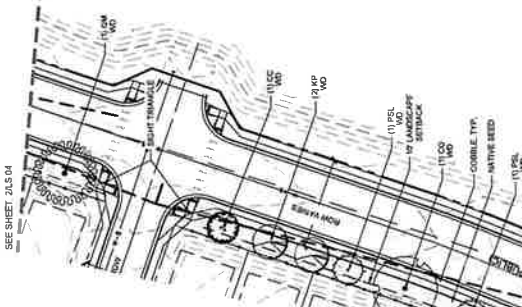
THE HILLS AT LORSON RANCH
EL PASO COUNTY, CO
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
LOCATED IN THE 50TH AND 60TH MAPS IN THE
SOUTHMAP, THE 100TH SECTION 13, T15S, R30W OF THE 6TH P.M.,
EL PASO COUNTY, STATE OF COLORADO

LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
	BRIGADE ANTIWEED, TO BE INSTALLED TO PREVENT "DROPPED SEED" FROM SPREADING TO ADJACENT AREAS. THIS SHALL BE INSTALLED PER SUPPLIER'S INSTRUCTIONS AND APPROVAL PRIOR TO INSTALLATION.
	PAVING TO BE BRIDGE CORBLE. TO BE INSTALLED BETWEEN ALL SEEDS TO BE PLANTED AND PLANTING TO PREVENT SEEDS FROM BEING WASHED AWAY. INSTALL PER MANUFACTURER'S SPECIFICATIONS.
	SEE SYMBOL TYPE REF. OR
	PROPERTY BARRIER REF. OR
	PROGRESSIVE BARRIER REF. OR
	CONCRETE SIDEWALK REF. OR

2 PLANTING PLAN / SITE PLAN
SCALE 1" = 40'

NO.	SYM.	PLANT SPECIFICATION	QTY
1	(1) CC	CONCRETE SIDEWALK 18" WIDE	11
2	(1) CB	BRIGADE ANTIWEED 18" DIA	11
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100	(1) CB	BRIGADE ANTIWEED 18" DIA	11



CONTRACT:

Matrix
PLANNING ARCHITECT
1000 17th St
Suite 1000
Boulder, CO 80502
781.440.1318

LORSON LLC
270 N. WASHINGTON DR., SUITE 201
DENVER, CO 80209
(303) 733-2000

PROJECT:

THE HILLS AT LORSON RANCH
PLANNED UNIT DEVELOPMENT AND
PRELIMINARY PLAN
EL PASO COUNTY, CO
TRACED DEVELOPMENT, OCTOBER 23, 2020
REVISED PER COUNTY REVIEW

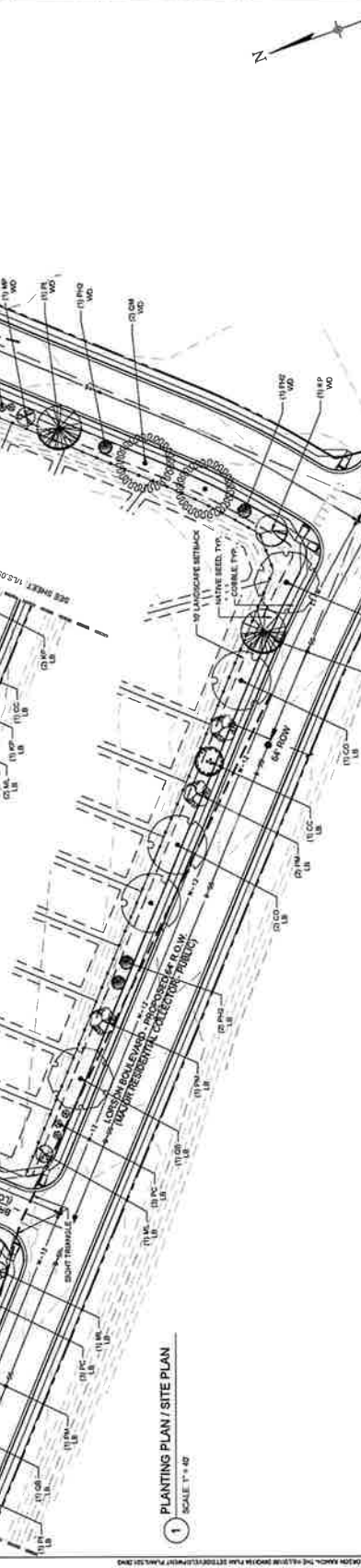
NO.	DATE	REVISION
1	10/23/20	REVISED PER COUNTY REVIEW
2	10/23/20	REVISED PER COUNTY REVIEW

DESIGNED BY: JA
APPREVED BY: JA
DATE PLOTTED: 10/23/2020
PROJECT NO.: 201708-001

PLANTING PLAN

LS05

SHEET 16 OF 17



1 PLANTING PLAN / SITE PLAN
SCALE 1" = 40'

SEE SHEET 15.05

Matrix
 LANDSCAPE ARCHITECT
 1000 CHERRY STREET, SUITE 100
 DENVER, CO 80202
 TEL: 303.733.1100
 WWW.MATRIXLA.COM

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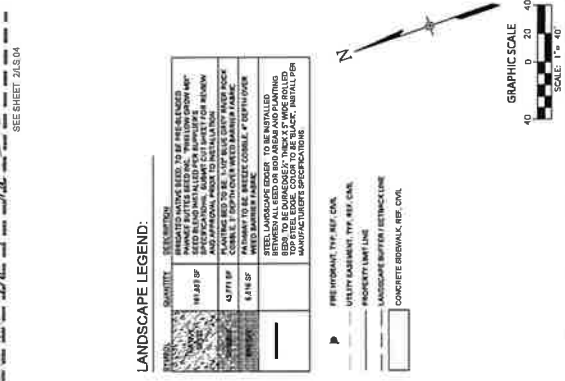
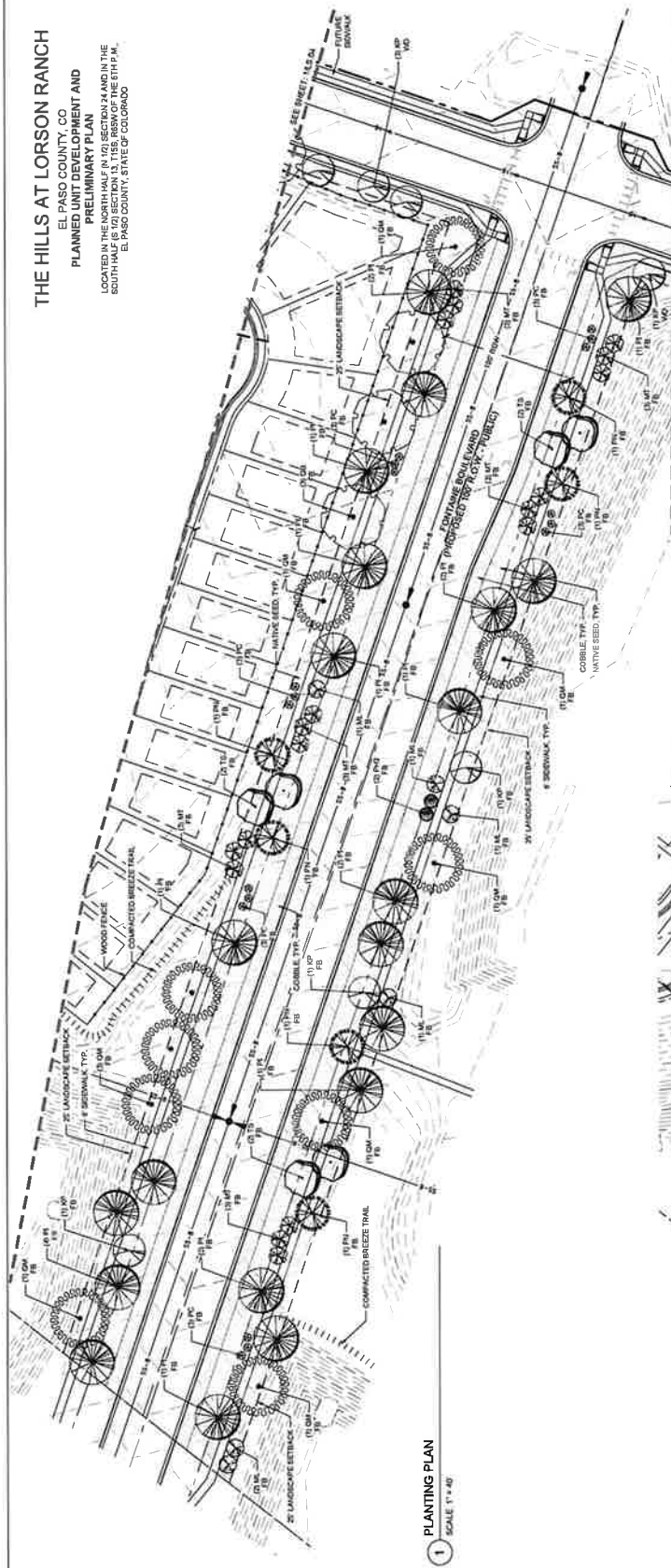
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THE HILLS AT LORSON RANCH
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN
 EL PASO COUNTY, CO
 SUBMITTED: OCTOBER 23, 2020

PLANTING PLAN
 LS06
 SHEET 17 OF 17

THE HILLS AT LORSON RANCH
 EL PASO COUNTY, CO
 PLANNED UNIT DEVELOPMENT AND
 PRELIMINARY PLAN
 LOCATED IN THE SOUTHWEST CORNER OF SECTION 18, T15S, R66W OF THE 11TH P.M.
 EL PASO COUNTY, STATE OF COLORADO



LANDSCAPE LEGEND:

SYMBOL	DESCRIPTION
(Symbol)	18" DBP SP. PLANTING
(Symbol)	4" DBP SP. PLANTING
(Symbol)	6" DBP SP. PLANTING
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(Symbol)	192" DBP SP. PLANTING
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(Symbol)	196" DBP SP. PLANTING
(Symbol)	198" DBP SP. PLANTING
(Symbol)	200" DBP SP. PLANTING



June 24, 2020

Kari Parsons
El Paso County Development Services Department
2880 International Circle, Suite 110
Colorado Springs, CO 80910-3127

RE: Hills at Lorson Ranch Subdivision
N1/2, Sec. 24 and S1/2, Sec.13, Twp. 15S, Rng. 65W, 6th P.M.
Water Division 2, Water Districts 10
CDWR Assigned Subdivision No. 27184

To Whom It May Concern:

We have received the above-referenced proposal to subdivide an existing 123.167 acre tract of land into 514 single family lots and irrigated green space. According to the submittal, the proposed supply of water and wastewater disposal is to be served by the Widefield Water and Sanitation District ("Widefield").

Water Supply Demand

The Water Supply Information Summary, Form No. GWS-76, provided with the submittal estimates a demand of 191.1 acre-feet for all intended uses in the subdivision. This includes 179.9 acre-feet/year for 514 household units, which equates to an anticipated water demand of 0.35 acre-feet/year per household. The subdivision also includes irrigated green space which is anticipated to require 11.2 acre-feet/year. The application does not contain information about the size of the irrigated area.

Please note that standard water use rates, as found in the Guide to Colorado Well Permits, Water Rights, and Water Administration, are 0.3 acre-foot/year for each ordinary household, 0.05 acre-foot/year for four large domestic animals, and 0.05 acre-foot/year for each 1,000 square feet of lawn and garden irrigation.

Source of Water Supply

The source of water for the proposed development is to be served by the Widefield Water and Sanitation District. A letter of commitment dated May 26, 2020 from Widefield was provided with the materials and indicated that 191.10 acre-feet are committed to the proposed subdivision. The letter also notes Widefield's commitment to provide wastewater disposal.

According to the records of this office, Widefield has sufficient water resources to supply this development as described above.

Additional Comments

Should the development include construction and/or modification of any storm water structure(s), the Applicant should be aware that, unless the storm water structure(s) can meet the requirements of a “storm water detention and infiltration facility” as defined in section 37-92-602(8), Colorado Revised Statutes, the structure may be subject to administration by this office. The applicant should review DWR’s *Administrative Statement Regarding the Management of Storm Water Detention Facilities and Post-Wildland Fire Facilities in Colorado*, available online at: https://dnrweblink.state.co.us/dwr/0/edoc/3576581/DWR_3576581.pdf?searchid=978a5a31-ddf9-4e09-b58c-a96f372c943d, to ensure that the notice, construction and operation of the proposed structure meets statutory and administrative requirements.

State Engineer’s Office Opinion

Pursuant to Section 30-28-136(1)(h)(II) C.R.S., it is the opinion of this office that the proposed water supply can be provided without causing injury to decreed water rights, and the supply is expected to be adequate. Should you or the applicant have questions regarding any of the above, please feel free to contact me directly.

Sincerely,



Kate Fuller, P.E.
Water Resources Engineer

cc: Bill Tyner, Division 2 Engineer
Doug Hollister, District 10 Water Commissioner

acre-feet which is roughly 48% of the existing available physical supply.” The *Report* further detailed the District’s renewable and surface water supplies. Pursuant to the documentation provided by the District, their annually renewable sources fall within the provisions of LDC Section 8.4.7.C.1, and are therefore considered to have a minimum life of 300 years.

4. The District provided a letter of commitment for The Hills at Lorson Ranch dated May 26, 2020, stating the “Widefield Water and Sanitation District commits to providing water and sewer service to the above-mentioned subdivision per this letter.” The District further detailed that the commitment is for “514 Residential Lots plus Median Landscaping (32 sfe) for 191.10 acre-feet” and notes the District has “more than adequate water supply.”

5. In a letter dated June 24, 2020, the State Engineer reviewed the application to subdivide the 123.167 +/- acres into 514 single family lots. The Engineer stated that according to their records, “Widefield has sufficient water resources to supply this development as described above.” Further, the State Engineer stated that “Pursuant to Section 30-28-136(1)(h)(II), C.R.S., it is the opinion of this office that the proposed water supply can be provided without causing injury to decreed water rights, and the supply is expected to be adequate.”

6. PFCs. On May 19, 2016, the Environmental Protection Agency (“EPA”) announced that it lowered the health advisory levels (“HAL”) for perfluorinated compounds (“PFC”) to 70 parts per trillion. One of the three local water providers whose PFC levels now exceed the EPA’s HAL is Widefield Water and Sanitation District. There has been much coverage in the local press and much public concern expressed over PFCs recently. The District Manager at the time provided a letter dated July 29, 2016 (see **Exhibit 1** attached hereto), in which he explains that the PFCs are unregulated and unenforceable, and the new HAL “. . . in no way impacts or reduces Widefield Water and Sanitation District’s water supply quantity or our ability to serve water to our current or future customers.”

7. Analysis: With a proposed annual demand of 191.1 acre-feet/year, based on the current commitment of the District to supply that amount to the subdivision based on the annually renewable water supply, it appears the proposed water supply will be sufficient.

8. Section 8.4.7(B)(10)(g), of the El Paso County Land Development Code allows for the presumption of acceptable water quality for projects such as this where water is supplied by an existing Community Water Supply operating in conformance with Colorado Primary Drinking Water Regulations unless there is evidence to the contrary.

9. Therefore, based upon the finding of sufficiency and no injury by the State Engineer, the District’s commitment, and based on the requirements below, the County Attorney’s Office recommends a finding that the proposed water supply is **sufficient** in terms of quantity and dependability. The El Paso County Health Department may wish to confirm that the District is in compliance with the water quality regulations.

REQUIREMENTS:

- A. Applicant and all future owners of lots within this filing shall be advised of, and comply with, the conditions, rules, regulations, limitations, and specifications set by the District.

cc: Kari Parsons, Project Manager, Planner III



RECEIVED

AUG 01 2016

El Paso County
Attorney's Office

37 Widefield Boulevard, Colorado Springs, Colorado 80911

July 29, 2016

Cole Emmons
County Attorney's Office
27 East Vermijo Avenue
Colorado Springs, Colorado 80903

Re: Perfluorinated Compounds

Dear Mr. Emmons:

Due to all of the negative media pertaining to PFC's in the water, I wanted to write to you to explain what has occurred and to reiterate in writing that the new health advisory level for PFC's in no way impacts or reduces Widefield Water and Sanitation District's water supply quantity or our ability to serve water to our current or future customers.

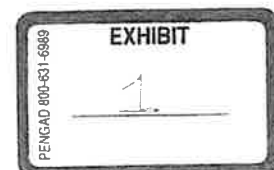
On May 19, 2016, the Environmental Protection Agency (EPA) announced it lowered the health advisory levels (HAL's) for both PFOS and PFOA to 70 parts per trillion. In addition, the Colorado Department of Public Health and Environment (CDPHE) decided to include PFHpA into the 70 parts per trillion combined level. By adding three of the PFC's together and lowering the level, the wells in the Widefield aquifer do not meet the new Health Advisory Level. Prior to May 19, 2016, Widefield Water and Sanitation District's well water was below the former Health Advisory Level for PFC's. PFC's are unregulated and unenforceable.

As an unregulated contaminant the EPA nor CDPHE requires public water suppliers to do anything about exceeding the health advisory level for PFC's other than notifying customers that the water may at times exceed the new HAL. WWSD can legally operate all of our wells without providing any form of treatment. Although we are not required by regulations to treat for or remove PFC's from the water, WWSD plans on designing and building a treatment plant(s) to remove PFC's in order to restore and maintain consumer confidence. We are also currently working with the Air Force, who has authorized funds to help us mitigate the PFC concerns, as it is suspected that the Air Force's use of firefighting foams may have contributed to, or caused the PFC contamination.

Widefield Water and Sanitation District water quantity or ability to deliver water is not at all impacted by the PFC issue in any way. In addition, we plan on having it mitigated before next year's high summer demand period.

Sincerely,


Steve Wilson, District Manager



PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT
CRAIG DOSSEY, EXECUTIVE DIRECTOR

Planning Commission Meeting
Thursday, November 19, 2020
El Paso County Planning and Community Development Department
200 S. Cascade Ave – Centennial Hall Hearing Room
Colorado Springs, Colorado

INFORMATIONAL LUNCH WORK SESSION 11:30 a.m. A video recording of the work session will be available for future orientation guidance to Planning Commission members.

Topics discussed (no action taken):

- Why the hearing is structured the way it is.
- Review criteria and how it is applicable to different projects.
- How conditions, notations, waivers and modifications come about on staff reports.
- Summary of what is discretionary and what is not as far as type of project.
- The difference between legislative and quasi-judicial projects.
- Recusal and conflicts of interest.
- Cost of services/fees and how those are established.
- Transportation fees and how do they cover costs of roads, improvements, traffic signals, etc.
- Utility location approvals and 1041 permits.
- Financial plans for special districts.

REGULAR HEARING
1:00 p.m.

PRESENT AND VOTING: BRIAN RISLEY, TOM BAILEY, SARAH BRITTAIN JACK, TIM TROWBRIDGE, JOAN LUCIA-TREESE, JAY CARLSON, BECKY FULLER, AND BLEA-NUNEZ. MS. BLEA-NUNEZ AND MR. CARLSON LEFT THE MEETING AROUND 12:45 PM. THEY WERE NOT PRESENT FOR THE HEARING AND NOT VOTING MEMBERS FOR THE LISTED AGENDA ITEMS.

PRESENT VIA ELECTRONIC MEANS AND VOTING: ERIC MORAES AND THOMAS GREER

PRESENT AND NOT VOTING: NONE

ABSENT: BLEA-NUNEZ AND CARLSON ABSENT FOR HEARING PORTION.

STAFF PRESENT: CRAIG DOSSEY, MARK GEBHART, NINA RUIZ, KARI PARSONS, LINDSAY DARDEN, STEVE KUEHSTER, JEFF RICE (VIA REMOTE ACCESS), EL PASO COUNTY ATTORNEY LORI SEAGO

OTHERS SPEAKING AT THE HEARING: DAVE GORMAN AND VINCENT CROWDER

Report Items

1. A. Report Items -- Planning and Community Development Department – Mr. Dossey -- The following information was discussed:

- a) The next scheduled Planning Commission meeting is for **Thursday, December 3, 2020 at 1:00 p.m.**
- b) **Mr. Dossey** gave an update of the Planning Commission agenda items and action taken by the Board of County Commissioners since the last Planning Commission meeting.
- c) **Mr. Dossey** also gave the statistics of the Regional Building single-family building permits. The County has processed approximately 4,000 permits for the month of October.
- d) **Mr. Gebhart** gave a report on the Master Plan process and timeline. The draft plan is still in review by staff.

B. Public Input on Items Not Listed on the Agenda - NONE

2. Pulled Consent Items to Regular

A. Approval of the Minutes – November 5, 2020

The minutes were unanimously approved as presented. (8-0)

B. SP-19-007

DARDEN

**PRELIMINARY PLAN
CLAREMONT BUSINESS PARK 2**

A request by Hammers Construction, Inc., Case L G, Lena Case, and Nancy Starr for approval of a preliminary plan to create ten (10) commercial lots. The 13.66 acre property is zoned CS (Commercial Service) and is located at the southwest corner of the Marksheffel Road and Meadowbrook Parkway intersection and within Sections 5 and 8, Township 14, and Range 65 West of the 6th P.M. (Parcel Nos. 54054-12-001, 54054-12-004, 54054-12-002, 54054-12-003, and 54081-01-057) (Commissioner District No. 2)

PC ACTION: FULLER MOVED/LUCIA-TREESE SECONDED FOR APPROVAL OF CONSENT ITEM NUMBER 2B, SP-19-007, A PRELIMINARY PLAN FOR CLAREMONT BUSINESS PARK 2, UTILIZING RESOLUTION PAGE NO. 25, CITING 20-052 WITH THREE (3) CONDITIONS AND THREE (3) NOTATIONS, AND THREE (3) WAIVERS WITH A CONDITIONAL FINDING OF WATER SUFFICIENCY FOR WATER QUANTITY AND DEPENDABILITY AND A SUFFICIENCY FOR WATER QUALITY, AND THAT THIS ITEM BE FORWARDED TO THE BOARD OF COUNTY COMMISSIONERS FOR THEIR CONSIDERATION. THE MOTION WAS APPROVED UNANIMOUSLY (8-0).

C. PUDSP-20-003

PARSONS

**PLANNED UNIT DEVELOPMENT/PRELIMINARY PLAN
HILLS AT LORSON RANCH**

A request by Lorson, LLC, Nominee, and Love in Action for approval of a map amendment (rezoning) of 123.67 acres from a conceptual PUD (Planned Unit Development) to a site-specific PUD (Planned Unit Development) and approval of a preliminary plan for 514 single-family detached residential lots. The property is located east of the East Tributary of Jimmy Camp Creek, north of Lorson Boulevard and is within Sections 13 and 24, Township 15 South, Range 65 West of the 6th P.M. (Parcel Nos. 55000-00-403, 55000-00-371, 55000-00-274, 55000-00-276, 55000-00-275, 55000-00-278, 55000-00-279, 55000-00-280, 55000-00-405) (Commissioner District No. 4)

PC ACTION: BAILEY MOVED/LUCIA-TREESE SECONDED APPROVAL OF PUDSP-20-003 FOR A PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN FOR HILLS AT LORSON RANCH UTILIZING RESOLUTION PAGE NOS. 29 AND 25, CITING 20-053, WITH SEVEN (7) CONDITIONS, AND SEVEN (7) NOTATIONS, WITH A FINDING OF WATER SUFFICIENCY FOR WATER QUALITY, QUANTITY, AND DEPENDABILITY F, AND THAT THIS ITEM BE FORWARDED TO THE BOARD OF COUNTY COMMISSIONERS FOR THEIR CONSIDERATION. THE MOTION WAS APPROVED UNANIMOUSLY (8-0).

REGULAR ITEMS

3. PUDSP-19-002

PARSONS

**PLANNED UNIT DEVELOPMENT/PRELIMINARY PLAN
SANCTUARY OF PEACE RESIDENTIAL COMMUNITY**

A request by Benet Hill Monastery of Colorado Springs, Inc., for approval of a map amendment (rezoning) of 49.58 acres from A-5 (Agricultural) and RR-5 (Residential Rural) to PUD (Planned Unit Development) and approval of a preliminary plan for 26 single-family attached residential lots and a private business event center with guest lodging. The property is located north of Stagecoach Road, south of Benet Lane, east of Roller Coaster Road, and west of Highway 83 and is within Section 27, Township 11 south, Range 66 West of the 6th P.M. (Parcel No. 61270-00-063) (Commissioner District No. 1)

Ms. Parsons gave a brief overview of the project and asked **Ms. Seago** to go over the review criteria for a PUD and preliminary plan. She then asked the applicants' representative, **Mr. Dave Gorman**, to give their presentation. **Mr. Vincent Crowder** may also give information.

Ms. Fuller – Are you saying that the HOA doesn't own the open space? If we were to approve this, the open space cannot be developed without coming back to this body? And the HOA owns the water and other services? **Mr. Gorman** – That is all correct. **Ms. Seago** – Can you describe what easements, covenants or HOAs are proposed that will continue to be in place to ensure that it continues down the road. **Mr. Gorman** – There is a set of declared covenants, they include the water system, how the water rights are transferred, and also sets aside that the HOA owns and runs the wastewater system. The tract for the roadway will be owned by the HOA. The surrounding open space is detailed in this document as well. There has to be action by the Planning Commission and the BoCC to change that open space.

Mr. Vincent Crowder – We worked long and hard with the attorneys. The intent is to provide the maximum preservation of the open space in perpetuity. The monastery retains the ownership, but it would be for the exclusive use of the home owners. We want to ensure that the open space is never developed. **Ms. Fuller** – The ownership of the open space concerns me. **Mr. Crowder** – That is provided for in the covenants. It was for the right reason that we put this in place if it creates a problem, we can revisit it again.

Mr. Trowbridge – In the letter of intent, it indicates Tract D that includes the open space is owned by the HOA and not the monastery. **Mr. Gorman** – That is not correct. We would need to fix that before going to the Board of County Commissioners.

Mr. Crowder gave a brief history of the Monastery and the Sisters mission.

Ms. Lucia-Treese – This is a unique case for us. One of my concerns is what if somewhere down the line, the monastery could not sustain this property and would have to close? What happens to these 26 homes? How are they protected? **Mr. Crowder** – The covenants provide that the owners in the instance where they have to liquidate, they would have right of first refusal to acquire the property. It's my understanding that under Canon Law, it determines the ultimate fate of the monastery, it provides for caretakes and succession of ownership. **Ms. Lucia-Treese** – How is that a peace of mind to potential buyers if they had to close? **Mr. Crowder** – We believe we've answered it with covenants, but if that is not sufficient, we could add additional protection. It is our intent that it would remain in their control in perpetuity.

Ms. Fuller – You described how they leveraged acquiring this property. I'm concerned that the monastery wants its cake and eat it too. I see issues with the property owners being able to acquire those properties if the monastery is not able to sustain it. It's highly unique that the HOA doesn't own the open space, but the monastery does. **Mr. Crowder** – It is a unique situation. I would ask that the attorneys consult to see how these issues be addressed.

Mr. Trowbridge – I would ask that the Commissioners describe what approval criteria they are addressing with the issues they've pointed out. I see this as a legal document between the monastery and homeowners and not part of the project before us. **Mr. Risley** – I would ask that the applicants complete their presentation and allow the staff to do theirs and then we get some of those concerns worked out.

Mr. Gorman – There will be other applications submitted to the County, such as the final plat, and those issues will lie more with those applications. We understand the concerns about ownership, and we will move forward and address those concerns with the appropriate conditions and notations. We ask that you consider the PUD and preliminary plan and ask for approval.

Ms. Parsons then gave her full presentation to the Planning Commission and answered questions. Ms. Parsons stated she will work with applicant to address the tracts ownership prior to the BOCC hearing.

Mr. Trowbridge – How is the water and septic kept up to state standards as a special district or metropolitan district would do? **Ms. Parsons** – When a new water system is created, CDPHE will provide an acknowledgement letter to say that they've reviewed the water system design and that the design is feasible.. The County Attorney's office uses that to state water sufficiency for water quality, quantity, and dependability. The applicant builds the system and they have to provide 15 building permitted units on the system prior to the CDPHE providing the final permit for the

new water system. **Ms. Seago** – Once CDPHE has approved the system, it is a community water system just like any other water system provided by a district. They are monitored by CDPHE regarding quality and performance.

Mr. Trowbridge – Is there a different classification or a variance that is needed for the event center? Are there any safety concerns? **Ms. Parsons** – It's a private events center proposed to serve the Monastery and future residents only. This is not a typical event center like you have seen before. **Mr. Bailey** – You used the term private events center, but that's not what the applicant's stated. It's actually probably more restrictive than what the approach has been. You say it meets the criteria, but are you applying a more stringent criteria? **Ms. Parsons** – It won't be available or rented to anyone that does not own a home or that is not affiliated with the Monastery. Staff had to make sure that the PUD guidelines were not being discriminative.. **Mr. Trowbridge** – The phrase private event center does appear in the applicants' letter of intent. It's a monastery supported event center for the residents of the monastery and the future residents of the homes..

IN FAVOR: NONE

IN OPPOSITION:

Ms. Leann Pickle – She has concerns with traffic and general speeding on Highway 83. About two years ago we did traffic studies and it showed too many driveways and entrances. There are no turn lanes into driveways, and there is high speed traveling that is around turns and up and down hills. There are multiple crashes every week and at least one traffic death per month. I'm wondering if we could wait for the CDOT study to be completed.

Mr. Crowder had an opportunity for rebuttal. We too are concerned about traffic on Highway 83. We have submitted to CDOT that there is sufficient funding to provide turn lanes onto and off of Highway 83. CDOT has issued a permit based on the existing traffic.

Mr. Risley – Based on the discussion that may come up, would the owner be open to conditions that would address the ownership of the open space? Also, would the applicant be open to having the final plat heard before the Planning Commission and it not be administratively determined? **Mr. Crowder** – It's my understanding that it will be part of the final plat, but we are willing to consider conditions. I would make one notation, and that is we had already invested a lot of money to get this place in the process. For us to include water to a higher degree, it would be hundreds of thousands of dollars. We want to express our intent and our concerns about requiring this to be implemented.

Mr. Bailey – The PCD Director has the discretion to elevate the administrative final plat to be heard by the Planning Commission. **Mr. Risley** – Yes, that is exactly right.

Ms. Seago – We could continue this item to make sure the attorneys, the staff, and the applicants have ample time to address your concerns. I would recommend you don't add conditions to the ownership.

DISCUSSION:

Ms. Fuller – This is something that I think we need another opportunity to look at again especially with the covenants concerns.

Ms. Brittain Jack – Why are we here, to make a decision on a zoning issue, not the covenants. I get the fact that the law says the County Planning Department gets to make that administrative decision. Are we here to talk about covenants or the zoning request. We just had a presentation on how we are to be looking at the criteria.

Ms. Lucia-Treese – The phrase that jumps out to me is will not be detrimental to the health, safety and well being of it's residents. It comes up along with the covenants because its part of the whole development plan and looking at that criteria. So much of that open space being owned by the monastery and not the residents is a concern.

Mr. Bailey – The analysis of this is very unique so I commend the staff on their efforts. Ultimately, I agree very much with the findings that it meets the approval criteria. I like that it is unique and tries to balance the demand for people who want to live in a rural environment. I like the clustering in a forested area. I see the potential of it happening in other places in the County. I believe that the process is such that there are enough safeguards with CDPHE and CDOT on all the concerns and will protect this. If this was a request to put 18 2.5 acre lots in that area, we wouldn't even have this discussion. I think its important that we encourage this kind of thinking and I will support the PUD and preliminary plan. I have confidence in Mr. Dossey to make the decision to bring the plat to the Planning Commission if he feels it necessary. Thank you for an innovative solution to a housing issue to a market we haven't served very well, and I look forward to this going through.

Ms. Fuller – I think it's a fantastic idea. It's innovative. I just can't get over the ownership piece of the open space, but I hope you can resolve this before this goes to the Board of County Commissioners. I won't be in favor of this request.

Mr. Trowbridge – I'd like to second everything that **Mr. Bailey** said. I have a nephew that is in urban planning, and I think its something he would be excited about. I love that they've already done mitigation for wildfire. The water and wastewater systems are sufficient. I have faith that the applicant will work out the ownership of the open space before it gets finalized. It's an exciting opportunity.

Ms. Parsons – In lieu of final plat coming to the PC, the applicants would like to continue this item to date certain in lieu of a full hearing for final plat. **Ms. Risley** – That is really not within our purview to add that condition. **Mr. Bailey** – The plat goes to the PCD Director at his discretion to either handle it administratively or elevate it to full hearing. **Ms. Ruiz** – I think what the applicants are hoping for is if there is a delay they are able to provide additional information. It is correct, that the PCD Director has that discretion, but he will take all this conversation into consideration. **Ms. Brittain Jack** – I have confidence in **Mr. Dossey** to make that decision.

Mr. Risley – The benefit of acting on a zoning issue today is important and then act on a final plat at the necessary time. **Mr. Bailey** – To the applicants, I have full faith in the process. If the final plat meets the criteria, Mr. Dossey will approve it and move on. If he has any issues, he will send it to hearing. We supported him having the authority to do so. Delaying at this point, does no good.

Mr. Bailey – For a motion that we make right now, do we need to specify the deviations or modifications be part of our vote? **Ms. Parsons** – The request includes four PUD modifications and four deviations of the ECM.

PC ACTION: TROWBRIDGE MOVED/BRITTAIN JACK SECONDED FOR APPROVAL REGULAR ITEM NUMBER 3, PUDSP-19-002, FOR A PLANNED UNIT DEVELOPMENT AND PRELIMINARY PLAN FOR THE SANCTUARY OF PEACE RESIDENTIAL COMMUNITY UTILIZING RESOLUTION PAGE NOS. 25 AND 29, CITING 20-054, WITH ELEVEN (11) CONDITIONS AND FOUR (4) NOTATIONS, AND FOUR (4) MODIFICATIONS AND FOUR (4) DEVIATIONS, WITH A FINDING OF WATER SUFFICIENCY FOR WATER QUALITY, QUANTITY, AND DEPENDABILITY, AND APPROVAL OF PRE-DEVELOPMENT SITE GRADING, AND THAT THIS ITEM BE FORWARDED TO THE BOARD OF COUNTY COMMISSIONERS FOR THEIR CONSIDERATION. THE MOTION WAS APPROVED (7-1). Fuller nay vote.

4. **El Paso County Master Plan – Information Update – No Action Needed – Ms. Ruiz** gave an update of the Master Plan during report items. No further information provided.

NOTE: For information regarding the Agenda item the Planning Commission is considering, call the Planning and Community Development Department for information (719-520-6300). Visit our Web site at www.elpasoco.com to view the agenda and other information about El Paso County. Results of the action taken by the Planning Commission will be published following the meeting. (The name to the right of the title indicates the Project Manager/Planner processing the request.) If the meeting goes beyond noon, the Planning Commission may take a lunch break.

MAP AMENDMENT (REZONING) – PLANNED UNIT DEVELOPMENT (PUD)
(RECOMMEND APPROVAL)

Commissioner Bailey moved that the following Resolution be adopted:

BEFORE THE PLANNING COMMISSION
OF THE COUNTY OF EL PASO
STATE OF COLORADO
RESOLUTION NO. PUDSP-20-003
Hills at Lorson Ranch

WHEREAS, Love in Action and Lorson, LLC Nominee, did file an application with the El Paso County Planning and Community Development Department to amend the El Paso County Zoning Map to rezone property in the unincorporated area of El Paso County as described in Exhibit A, which is attached hereto and incorporated herein by reference to the PUD (Planned Unit Development) zoning district; and

WHEREAS, a public hearing was held by this Commission on November 19, 2020; and

WHEREAS, based on the evidence, testimony, exhibits, consideration of the master plan for the unincorporated area of the County, presentation and comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, comments by the general public, and comments by the El Paso County Planning Commission Members during the hearing, this Commission finds as follows:

1. The application was properly submitted for consideration by the Planning Commission.
2. Proper posting, publication, and public notice was provided as required by law for the hearing before the Planning Commission of El Paso County.
3. The hearing before the Planning Commission was extensive and complete, all pertinent facts, matters, and issues were submitted and reviewed, and all interested persons were heard at that hearing.
4. That all exhibits were received into evidence; and
5. The proposed PUD (Planned Unit Development) District zoning is in general conformity with the Master Plan for El Paso County, Colorado.
6. The proposed PUD District zoning advances the stated purposes set forth in Chapter 4, Section 4.2.6, of the El Paso County Land Development Code.

7. There has been a substantial change in the character of the area since the land was last zoned.
8. The proposed development is in compliance with the requirements of the Land Development Code and all applicable statutory provisions and will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of El Paso County.
9. The subject property is suitable for the intended uses and the use is compatible with both the existing and allowed land uses on the neighboring properties, will be in harmony and responsive with the character of the surrounding area and natural environment; and will not have a negative impact upon the existing and future development of the surrounding area.
10. The proposed development provides adequate consideration for any potentially detrimental use-to-use relationships (e.g. commercial use adjacent to single-family use) and provides an appropriate transition or buffering between uses of differing intensities both on-site and off-site.
11. The allowed uses, bulk requirements and required landscaping and buffering are appropriate to and compatible with the type of development, the surrounding neighborhood or area and the community.
12. The areas with unique or significant historical, cultural, recreational, aesthetic or natural features are preserved and incorporated into the design of the project.
13. Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide reasonable walking and biking opportunities.
14. The proposed development will not overburden the capacities of existing or planned roads, utilities and other public facilities (e.g., fire protection, police protection, emergency services, and water and sanitation), and the required public services and facilities will be provided to support the development when needed.
15. The proposed development would be a benefit through the provision of interconnected open space, conservation of environmental features, aesthetic features and harmonious design, and energy-efficient site design.
16. The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner which would unreasonably interfere with the present or future extraction of such deposit unless acknowledged by the mineral rights owner.
17. Any proposed exception or deviation from the requirements of the zoning resolution or the subdivision regulations is warranted by virtue of the design and amenities incorporated in the development plan and development guide.
18. The owner has authorized the application.

19. The subdivision is in conformance with the subdivision design standards and any approved sketch plan.
20. Sufficiency: A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of the Land Development Code.
21. A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with State and local laws and regulations [C.R.S. §30-28-133(6)(b)] and the requirements of Chapter 8 of the Land Development Code.
22. All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions [C.R.W. §30-28-133(6)(c)].
23. Adequate drainage improvements complying with State law [C.R.S. §30-28-133(3)(c)(VIII)] and the requirements of the Land Development Code and the Engineering Criteria Manual are provided by the design.
24. The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of the Land Development Code.
25. The proposed subdivision meets other applicable sections of Chapters 6 and 8 of the Land Development Code.
26. All data, surveys, analyses, studies, plans, and designs as are required by the State of Colorado and El Paso County have been submitted, reviewed, and found to meet all sound planning and engineering requirements of the El Paso County Subdivision Regulations.
27. For the above-stated and other reasons, the proposed zoning is in the best interest of the health, safety, morals, convenience, order, prosperity and welfare of the citizens of El Paso County.

NOW, THEREFORE, BE IT RESOLVED that the Planning Commission recommends approval of the application to amend the EL Paso County Zoning Map to rezone rezone property to the PUD (Planned Unit Development) zoning district .

BE IT FURTHER RESOLVED that the Planning Commission recommends approval of the PUD Development Plan as a preliminary plan.

BE IT FURTHER RESOLVED that the Planning Commission recommends the following conditions and notations and modifications be placed upon this approval:

CONDITIONS

1. Development of the property shall be in accordance with this PUD development plan. Minor changes in the PUD development plan, including a reduction in residential density, may be approved administratively by the Director of the Planning and Community Development Department consistent with the Land Development Code. Any substantial change will require submittal of a formal PUD development plan amendment application.
2. Approved land uses are those defined in the PUD development plan and development guide.
3. All owners of record must sign the PUD development plan.
4. The PUD development plan shall be recorded in the office of the El Paso County Clerk & Recorder prior to scheduling any final plats for hearing by the Planning Commission. The development guide shall be recorded in conjunction with the PUD development plan.
5. The developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Parks and Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed threatened species.
6. Applicable park, drainage, bridge, and traffic fees shall be paid to El Paso County Planning and Community Development at the time of final plat(s) recordation.
7. The developer shall obtain approval of the necessary pre-development site grading construction documents prior to scheduling a preconstruction meeting with the Planning and Community Development Department Inspections staff.

NOTATIONS

1. Subsequent final plat filings may be approved administratively by the Planning and Community Development Director pursuant to Section 7.2.1.3.D of the Land Development Code.
2. If a zone or rezone petition has been disapproved by the Board of County Commissioners, resubmittal of the previously denied petition will not be accepted for a period of one (1) year if it pertains to the same parcel of land and is a petition for a change to the same zone that was previously denied. However, if evidence is

presented showing that there has been a substantial change in physical conditions or circumstances, the Planning Commission may reconsider said petition. The time limitation of one (1) year shall be computed from the date of final determination by the Board of County Commissioners or, in the event of court litigation, from the date of the entry of final judgment of any court of record.

3. Rezoning requests not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed withdrawn and will have to be resubmitted in their entirety.
4. Preliminary plans not forwarded to the Board of County Commissioners within 12 months of Planning Commission action shall be deemed withdrawn and shall have to be resubmitted in their entirety.
5. Approval of the preliminary plan will expire after two (2) years unless a final plat has been approved and recorded or a time extension has been granted.
6. The license agreement for this project will require review and may require adjustments to the landscaping plan at the final plat stage; if minor revisions are necessary the PUD/SP plan will not require revision.
7. The developer has already met obligations to provide escrow for the anticipated traffic signal improvements at Marksheffel Road and Lorson Boulevard and will be required to construct that signal when warrants are met.
8. The developer shall participate in a fair and equitable manner in the design and construction of intersection improvements at the intersection of Fontaine Boulevard and Old Glory Drive, which shall be determined during the final plat review process.

AND BE IT FURTHER RESOLVED that this Resolution and the recommendations contained herein be forwarded to the El Paso County Board of County Commissioners for its consideration.

Commissioner Lucia-Treese seconded the adoption of the foregoing Resolution.

The roll having been called, the vote was as follows:

Commissioner Brittain Jack	aye
Commissioner Risley	aye
Commissioner Fuller	aye
Commissioner Trowbridge	aye
Commissioner Lucia-Treese	aye
Commissioner Greer	aye
Commissioner Bailey	aye

Commissioner Moraes

aye

The Resolution was adopted by a vote of 8 to 0 by the El Paso County Planning Commission, State of Colorado.

DATED: November 19, 2020

Brian Risley, Chair

EXHIBIT A

A PARCEL OF LAND IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF "LORSON RANCH EAST FILING NO. 1" AS RECORDED UNDER RECEPTION NO. 219714285 IN THE EL PASO COUNTY, COLORADO RECORDS;

THENCE N38°22'41"E ALONG THE EASTERLY LINE THEREOF AND ITS NORTHERLY EXTENSION, SAID LINE BEING THE NORTHWESTERLY LINE OF THAT 100 FOOT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT DESCRIBED IN BOOK 2665 PAGE 715 OF THE EL PASO COUNTY RECORDS, 1352.92 FEET TO THE SOUTHERLY CORNER OF THE MOUNTAIN VIEW ELECTRIC ASSOCIATION (MVEA) SUBSTATION AS RECORDED UNDER RECEPTION NO. 206041590;
THENCE CONTINUING N38°22'41"E ALONG THE SOUTHEASTERLY LINE OF SAID MVEA SUBSTATION, 295.16 FEET;
THENCE N38°22'41"E A DISTANCE OF 447.40 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF FONTAINE BOULEVARD AS PLATTED IN "LORSON RANCH EAST FILING NO. 1"

THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES;
(1) THENCE S70°06'29"E, A DISTANCE OF 34.95 FEET;
(2) THENCE N18°59'47"E, A DISTANCE OF 99.98 FEET;
(3) THENCE N38°22'35"E, A DISTANCE OF 0.03 FEET TO THE SOUTHWEST CORNER OF TRACT J, "LORSON RANCH EAST FILING NO. 1";

THENCE ALONG THE LINES OF SAID TRACT J THE FOLLOWING FOUR (4) COURSES;
(1) THENCE N38°22'35"E, ALONG THE EASTERLY LINE THEREOF 345.15 FEET;
(2) THENCE N58°24'10"W, A DISTANCE OF 314.29 FEET;
(3) THENCE N43°26'13"W, A DISTANCE OF 336.42 FEET;
(4) THENCE N0°00'00"E, A DISTANCE OF 440.98 FEET TO THE SOUTH LINE OF "LORSON RANCH EAST FILING NO. 3" AS RECORDED UNDER RECEPTION NO. 220714474 IN THE EL PASO COUNTY RECORDS;

THENCE ALONG THE SOUTHERLY LINES THEREOF THE FOLLOWING SIX (6) COURSES;
(1) THENCE N87°26'51"E, A DISTANCE OF 11.92 FEET;
(2) THENCE 304.57 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 704.79 FEET, A CENTRAL ANGLE OF 24°45'36", THE CHORD OF 302.21 FEET BEARS N75°30'05"E;
(3) THENCE N63°33'19"E, A DISTANCE OF 194.38 FEET;
(4) THENCE N67°51'09"E, A DISTANCE OF 113.39 FEET;
(5) THENCE N65°49'40"E, A DISTANCE OF 232.85 FEET;
(6) THENCE 90.04 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 533.00 FEET, A CENTRAL ANGLE OF 9°40'45", THE CHORD OF 89.94 FEET BEARS N21°59'18"W;

THENCE S57°31'41"E, A DISTANCE OF 30.77 FEET;
THENCE S22°54'14"E, A DISTANCE OF 56.00 FEET;
THENCE S7°28'57"W, A DISTANCE OF 33.43 FEET;
THENCE 213.93 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 533.00 FEET, A CENTRAL ANGLE OF 22°59'49", THE CHORD OF 212.50 FEET BEARS S40°31'27"E;

THENCE S52°01'21"E, A DISTANCE OF 254.46 FEET TO THE NORTHWESTERLY LINE OF AFORESAID 100 FOOT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT;

THENCE S37°58'39"W, ALONG SAID NORTHWESTERLY LINE 2.00 FEET;
THENCE S52°01'21"E, A DISTANCE OF 185.54 FEET;
THENCE 210.78 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 970.00 FEET, A CENTRAL ANGLE OF 12°27'02", THE CHORD OF 210.37 FEET BEARS S58°14'52"E;
THENCE S64°28'23"E, A DISTANCE OF 122.30 FEET;
THENCE N78°34'24"E, A DISTANCE OF 33.27 FEET;
THENCE S64°28'23"E, A DISTANCE OF 50.00 FEET;
THENCE S27°31'10"E, A DISTANCE OF 33.27 FEET;
THENCE S64°28'23"E, A DISTANCE OF 56.25 FEET;
THENCE 141.30 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 630.00 FEET, A CENTRAL ANGLE OF 12°51'04", THE CHORD OF 141.01 FEET BEARS S58°02'51"E;
THENCE S51°37'19"E, A DISTANCE OF 94.90 FEET;
THENCE N83°22'41"E, A DISTANCE OF 33.94 FEET;
THENCE S51°37'19"E, A DISTANCE OF 62.00 FEET;
THENCE S38°22'41"W, A DISTANCE OF 159.73 FEET;
THENCE 267.95 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 868.00 FEET, A CENTRAL ANGLE OF 17°41'14", THE CHORD OF 266.89 FEET BEARS S29°32'04"W;
THENCE S23°47'26"E, A DISTANCE OF 29.39 FEET;
THENCE S18°59'47"W, A DISTANCE OF 50.00 FEET;
THENCE S61°35'11"W, A DISTANCE OF 30.06 FEET;
THENCE S18°59'47"W, A DISTANCE OF 567.87 FEET;
THENCE S26°00'13"E, A DISTANCE OF 36.77 FEET;
THENCE S18°59'47"W, A DISTANCE OF 93.91 FEET;
THENCE S63°59'47"W, A DISTANCE OF 25.46 FEET;
THENCE S18°59'47"W, A DISTANCE OF 119.41 FEET;
THENCE S23°17'08"W, A DISTANCE OF 106.97 FEET;
THENCE S18°59'47"W, A DISTANCE OF 307.87 FEET;
THENCE S23°45'41"E, A DISTANCE OF 29.46 FEET;
THENCE S18°59'47"W, A DISTANCE OF 50.00 FEET;
THENCE S61°45'15"W, A DISTANCE OF 29.46 FEET;
THENCE S18°59'47"W, A DISTANCE OF 396.74 FEET;
THENCE S23°45'41"E, A DISTANCE OF 29.46 FEET;
THENCE S18°59'47"W, A DISTANCE OF 50.00 FEET;
THENCE S61°45'15"W, A DISTANCE OF 29.46 FEET;
THENCE S18°59'47"W, A DISTANCE OF 134.57 FEET;
THENCE 62.79 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 1,032.00 FEET, A CENTRAL ANGLE OF 3°29'10", THE CHORD OF 62.78 FEET BEARS S20°44'22"W;
THENCE S22°28'57"W, A DISTANCE OF 349.86 FEET;
THENCE 90.69 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 632.00 FEET, A CENTRAL ANGLE OF 8°13'18", THE CHORD OF 90.61 FEET BEARS S26°35'36"W;
THENCE S30°42'15"W, A DISTANCE OF 26.72 FEET;
THENCE S13°07'56"E, A DISTANCE OF 27.70 FEET;
THENCE S33°01'53"W, A DISTANCE OF 64.00 FEET;
THENCE N56°58'07"W, A DISTANCE OF 9.29 FEET;
THENCE 178.22 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 968.00 FEET, A CENTRAL ANGLE OF 10°32'56", THE CHORD OF 177.97 FEET BEARS N62°14'35"W;

THENCE N67°31'03"W, A DISTANCE OF 789.35 FEET;
THENCE S73°54'03"W, A DISTANCE OF 32.07 FEET;
THENCE N67°31'03"W, A DISTANCE OF 50.00 FEET;
THENCE N28°50'34"W, A DISTANCE OF 32.01 FEET;
THENCE N67°31'03"W, A DISTANCE OF 263.79 FEET;
THENCE 226.85 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS
OF 568.00 FEET, A CENTRAL ANGLE OF 22°53'00", THE CHORD OF 225.35 FEET
BEARS N78°57'32"W;
THENCE S89°35'58"W, A DISTANCE OF 490.91 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS AN AREA OF 5,365,144 S.F. (123.167 ACRES MORE OR LESS).

RESOLUTION NO. 20-

EL PASO COUNTY BOARD OF COUNTY COMMISSIONERS, STATE OF
COLORADO

APPROVAL OF THE HILLS AT LORSON RANCH MAP AMENDMENT
(REZONING) AND PUD DEVELOPMENT PLAN (PUDSP-20-003)

WHEREAS Love in Action, LLC, did file an application with the El Paso County Planning and Community Development Department for an amendment to the El Paso County Zoning Map to rezone property located within the unincorporated area of the County, more particularly described in Exhibit A, which is attached hereto and incorporated by reference from the conceptual PUD (Planned Unit Development) zoning district to the site-specific PUD (Planned Unit Development) zoning district in conformance with the supporting PUD Development plan; and

WHEREAS, a public hearing was held by the El Paso County Planning Commission on November 19, 2020, upon which date the Planning Commission did by formal resolution recommend approval of the subject map amendment application and supporting PUD Development Plan; and

WHEREAS, a public hearing was held by this Board on December 8, 2020; and

WHEREAS, based on the evidence, testimony, exhibits, consideration of the master plan for the unincorporated area of the County, presentation and comments of the El Paso County Planning and Community Development Department and other County representatives, comments of public officials and agencies, comments from all interested persons, comments by the general public, comments by the El Paso County Planning Commission Members, and comments by the Board of County Commissioners during the hearing, this Board finds as follows:

1. The application was properly submitted for consideration by the Board of County Commissioners.
2. Proper posting, publication, and public notice were provided as required by law for the hearings before the Planning Commission and Board of County Commissioners of El Paso County.
3. That the hearings before the Planning Commission and Board of County Commissioners were extensive and complete, all pertinent facts, matters and issues were submitted and reviewed, and all interested persons were heard at those hearings.

4. The proposed PUD (Planned Unit Development) District zoning is in general conformity with the Master Plan for El Paso County, Colorado.
5. The proposed PUD District zoning advances the stated purposes set forth in Chapter 4, Section 4.2.6, of the Land Development Code.
6. The proposed development is in compliance with the requirements of the Land Development Code and all applicable statutory provisions and will not otherwise be detrimental to the health, safety, or welfare of the present or future inhabitants of El Paso County.
7. The subject property is suitable for the intended uses and the use is compatible with both the existing and allowed land uses on the neighboring properties, will be in harmony and responsive with the character of the surrounding area and natural environment; and will not have a negative impact upon the existing and future development of the surrounding area.
8. The proposed development provides adequate consideration for any potentially detrimental use-to-use relationships (e.g. commercial use adjacent to single-family use) and provides an appropriate transition or buffering between uses of differing intensities both on-site and off-site.
9. The allowed uses, bulk requirements and required landscaping and buffering are appropriate to and compatible with the type of development, the surrounding neighborhood or area and the community.
10. The areas with unique or significant historical, cultural, recreational, aesthetic or natural features are preserved and incorporated into the design of the project.
11. Open spaces and trails are integrated into the development plan to serve as amenities to residents and provide reasonable walking and biking opportunities.
12. The proposed development will not overburden the capacities of existing or planned roads, utilities and other public facilities (e.g., fire protection, police protection, emergency services, and water and sanitation), and the required public services and facilities will be provided to support the development when needed.
13. The proposed development would be a benefit through the provision of interconnected open space, conservation of environmental features, aesthetic features and harmonious design, and energy-efficient site design.

14. The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner which would unreasonably interfere with the present or future extraction of such deposit unless acknowledged by the mineral rights owner.
15. Any proposed exception or deviation from the requirements of the zoning resolution or the subdivision regulations is warranted by virtue of the design and amenities incorporated in the development plan and development guide.
16. The owner has authorized the application.
17. The proposed land use does not permit the use of any area containing a commercial mineral deposit in a manner, which would interfere with the present or future extraction of such deposit by an extractor.
18. The subdivision is in conformance with the subdivision design standards and any approved Sketch Plan.
19. Sufficiency: A sufficient water supply has been acquired in terms of quantity, quality, and dependability for the type of subdivision proposed, as determined in accordance with the standards set forth in the water supply standards [C.R.S. §30-28-133(6)(a)] and the requirements of Chapter 8 of the Land Development Code.
20. A public sewage disposal system has been established and, if other methods of sewage disposal are proposed, the system complies with State and local laws and regulations [C.R.S. §30-28-133(6)(b)] and the requirements of Chapter 8 of the Land Development Code.
21. All areas of the proposed subdivision, which may involve soil or topographical conditions presenting hazards or requiring special precautions, have been identified and the proposed subdivision is compatible with such conditions [C.R.W. §30-28-133(6)(c)].
22. Adequate drainage improvements complying with State law [C.R.S. §30-28-133(3)(c)(VIII)] and the requirements of the Land Development Code and the Engineering Criteria Manual are provided by the design.
23. The subdivision provides evidence to show that the proposed methods for fire protection comply with Chapter 6 of the Land Development Code.
24. The proposed subdivision meets other applicable sections of Chapters 6 and 8 of the Land Development Code.
25. All data, surveys, analyses, studies, plans, and designs as are required by the State of Colorado and El Paso County have been submitted, reviewed,

and found to meet all sound planning and engineering requirements of the El Paso County Subdivision Regulations.

26. For the above-stated and other reasons, the proposed zoning is in the best interest of the health, safety, morals, convenience, order, prosperity and welfare of the citizens of El Paso County.

27. For the above-stated and other reasons, the proposed zoning is in the best interest of the health, safety, morals, convenience, order, prosperity and welfare of the citizens of El Paso County.

NOW, THEREFORE, BE IT RESOLVED the El Paso County Board of County Commissioners hereby approves the application to amend the El Paso County Zoning Map to rezone property located in the unincorporated area of El Paso County from the conceptual PUD (Planned Unit Development) zoning district to the site-specific PUD (Planned Unit Development) zoning district in conformance with the supporting PUD Development Plan.

BE IT FURTHER RESOLVED that the Board of County Commissioners hereby approves the PUD Development Plan as a preliminary plan.

BE IT FURTHER RESOLVED the following conditions and notations shall be placed upon this approval:

CONDITIONS

1. Development of the property shall be in accordance with this PUD development plan. Minor changes in the PUD development plan, including a reduction in residential density, may be approved administratively by the Director of the Planning and Community Development Department consistent with the Land Development Code. Any substantial change will require submittal of a formal PUD development plan amendment application.
2. Approved land uses are those defined in the PUD development plan and development guide.
3. All owners of record must sign the PUD development plan.
4. The PUD development plan shall be recorded in the office of the El Paso County Clerk & Recorder prior to scheduling any final plats for hearing by the Planning Commission. The development guide shall be recorded in conjunction with the PUD development plan.

5. The developer shall comply with federal and state laws, regulations, ordinances, review and permit requirements, and other agency requirements, if any, of applicable agencies including, but not limited to, the Colorado Parks and Wildlife, Colorado Department of Transportation, U.S. Army Corps of Engineers and the U.S. Fish and Wildlife Service regarding the Endangered Species Act, particularly as it relates to the Preble's Meadow Jumping Mouse as a listed threatened species.
6. Applicable park, drainage, bridge, and traffic fees shall be paid to El Paso County Planning and Community Development at the time of final plat(s) recordation.
7. The developer shall obtain approval of the necessary pre-development site grading construction documents prior to scheduling a preconstruction meeting with the Planning and Community Development Department Inspections staff.
8. The developer shall participate in a fair and equitable manner in the design and construction of intersection improvements at the intersection of Fontaine Boulevard and Old Glory Drive, which shall be determined during the final plat review process.

NOTATIONS

1. Subsequent final plat filings may be approved administratively by the Planning and Community Development Director pursuant to Section 7.2.1.3.D of the Land Development Code.
2. If a zone or rezone petition has been disapproved by the Board of County Commissioners, resubmittal of the previously denied petition will not be accepted for a period of one (1) year if it pertains to the same parcel of land and is a petition for a change to the same zone that was previously denied. However, if evidence is presented showing that there has been a substantial change in physical conditions or circumstances, the Planning Commission may reconsider said petition. The time limitation of one (1) year shall be computed from the date of final determination by the Board of County Commissioners or, in the event of court litigation, from the date of the entry of final judgment of any court of record.
3. Rezoning requests not forwarded to the Board of County Commissioners for consideration within 180 days of Planning Commission action will be deemed withdrawn and will have to be resubmitted in their entirety.

4. Preliminary plans not forwarded to the Board of County Commissioners within 12 months of Planning Commission action shall be deemed withdrawn and shall have to be resubmitted in their entirety.
5. Approval of the preliminary plan will expire after two (2) years unless a final plat has been approved and recorded or a time extension has been granted.
6. The license agreement for this project will require review and may require adjustments to the landscaping plan at the final plat stage; if minor revisions are necessary the PUD/SP plan will not require revision.
7. The developer has already met obligations to provide escrow for the anticipated traffic signal improvements at Marksheffel Road and Lorson Boulevard and will be required to construct that signal when warrants are met.
8. The developer shall participate in a fair and equitable manner in the design and construction of intersection improvements at the intersection of Fontaine Boulevard and Old Glory Drive, which shall be determined during the final plat review process.

AND BE IT FURTHER RESOLVED the record and recommendations of the El Paso County Planning Commission be adopted, except as modified herein.

DONE THIS 8th day of December, 2020, at Colorado Springs, Colorado.

BOARD OF COUNTY COMMISSIONERS
OF EL PASO COUNTY, COLORADO

ATTEST:

By: _____
Chair

By: _____
County Clerk & Recorder

EXHIBIT A

A PARCEL OF LAND IN THE NORTH HALF (N 1/2) SECTION 24 AND IN THE SOUTH HALF (S 1/2) SECTION 13, T15S, R65W OF THE 6TH P.M., EL PASO COUNTY, COLORADO MORE PARTICULARLY DESCRIBED AS FOLLOWS;

BEGINNING AT THE SOUTHEAST CORNER OF "LORSON RANCH EAST FILING NO. 1" AS RECORDED UNDER RECEPTION NO. 219714285 IN THE EL PASO COUNTY, COLORADO RECORDS;

THENCE N38°22'41"E ALONG THE EASTERLY LINE THEREOF AND ITS NORTHERLY EXTENSION, SAID LINE BEING THE NORTHWESTERLY LINE OF THAT 100 FOOT TRI-STATE GENERATION AND TRANSMISSION ASSOCIATION INC. EASEMENT DESCRIBED IN BOOK 2665 PAGE 715 OF THE EL PASO COUNTY RECORDS, 1352.92 FEET TO THE SOUTHERLY CORNER OF THE MOUNTAIN VIEW ELECTRIC ASSOCIATION (MVEA) SUBSTATION AS RECORDED UNDER RECEPTION NO. 206041590;
THENCE CONTINUING N38°22'41"E ALONG THE SOUTHEASTERLY LINE OF SAID MVEA SUBSTATION, 295.16 FEET;
THENCE N38°22'41"E A DISTANCE OF 447.40 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF FONTAINE BOULEVARD AS PLATTED IN "LORSON RANCH EAST FILING NO. 1"

THENCE ALONG SAID RIGHT-OF-WAY LINE THE FOLLOWING THREE (3) COURSES;

- (1) THENCE S70°06'29"E, A DISTANCE OF 34.95 FEET;
- (2) THENCE N18°59'47"E, A DISTANCE OF 99.98 FEET;
- (3) THENCE N38°22'35"E, A DISTANCE OF 0.03 FEET TO THE SOUTHWEST CORNER OF TRACT J, "LORSON RANCH EAST FILING NO. 1";

THENCE ALONG THE LINES OF SAID TRACT J THE FOLLOWING FOUR (4) COURSES;

- (1) THENCE N38°22'35"E, ALONG THE EASTERLY LINE THEREOF 345.15 FEET;
- (2) THENCE N58°24'10"W, A DISTANCE OF 314.29 FEET;
- (3) THENCE N43°26'13"W, A DISTANCE OF 336.42 FEET;

(4) THENCE N0°00'00"E, A DISTANCE OF 440.98 FEET TO THE SOUTH LINE OF "LORSON RANCH EAST FILING NO. 3" AS RECORDED UNDER RECEPTION NO. 220714474 IN THE EL PASO COUNTY RECORDS;

THENCE ALONG THE SOUTHERLY LINES THEREOF THE FOLLOWING SIX (6) COURSES;

- (1) THENCE N87°26'51"E, A DISTANCE OF 11.92 FEET;
- (2) THENCE 304.57 FEET ALONG A CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 704.79 FEET, A CENTRAL ANGLE OF 24°45'36", THE CHORD OF 302.21 FEET BEARS N75°30'05"E;
- (3) THENCE N63°33'19"E, A DISTANCE OF 194.38 FEET;
- (4) THENCE N67°51'09"E, A DISTANCE OF 113.39 FEET;
- (5) THENCE N65°49'40"E, A DISTANCE OF 232.85 FEET;
- (6) THENCE 90.04 FEET ALONG A CURVE TO THE RIGHT, SAID CURVE HAVING A RADIUS OF 533.00 FEET, A CENTRAL ANGLE OF 9°40'45", THE CHORD OF 89.94 FEET BEARS N21°59'18"W;

THENCE S57°31'41"E, A DISTANCE OF 30.77 FEET;
THENCE S22°54'14"E, A DISTANCE OF 56.00 FEET;
THENCE S7°28'57"W, A DISTANCE OF 33.43 FEET;
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