

LES SCHWAB TIRE CENTER SITE DEVELOPMENT PLANS

7105 N MERIDIAN ROAD FALCON, COLORADO 80831



DEVELOPER/OWNER CONTACT

OWNER/DEVELOPER
SFP-E, LLC
GEORGE BUNTING
PO BOX 5350
20900 COOLEY RD.
BEND, OR 97701

JURISDICTIONAL CONTACTS

EL PASO COUNTY
PLANNING DEPARTMENT
JOHN GREEN
2880 INTERNATIONAL CIRCLE #110
COLORADO SPRINGS, CO 80910
(719) 520-6442

UTILITY COMPANY

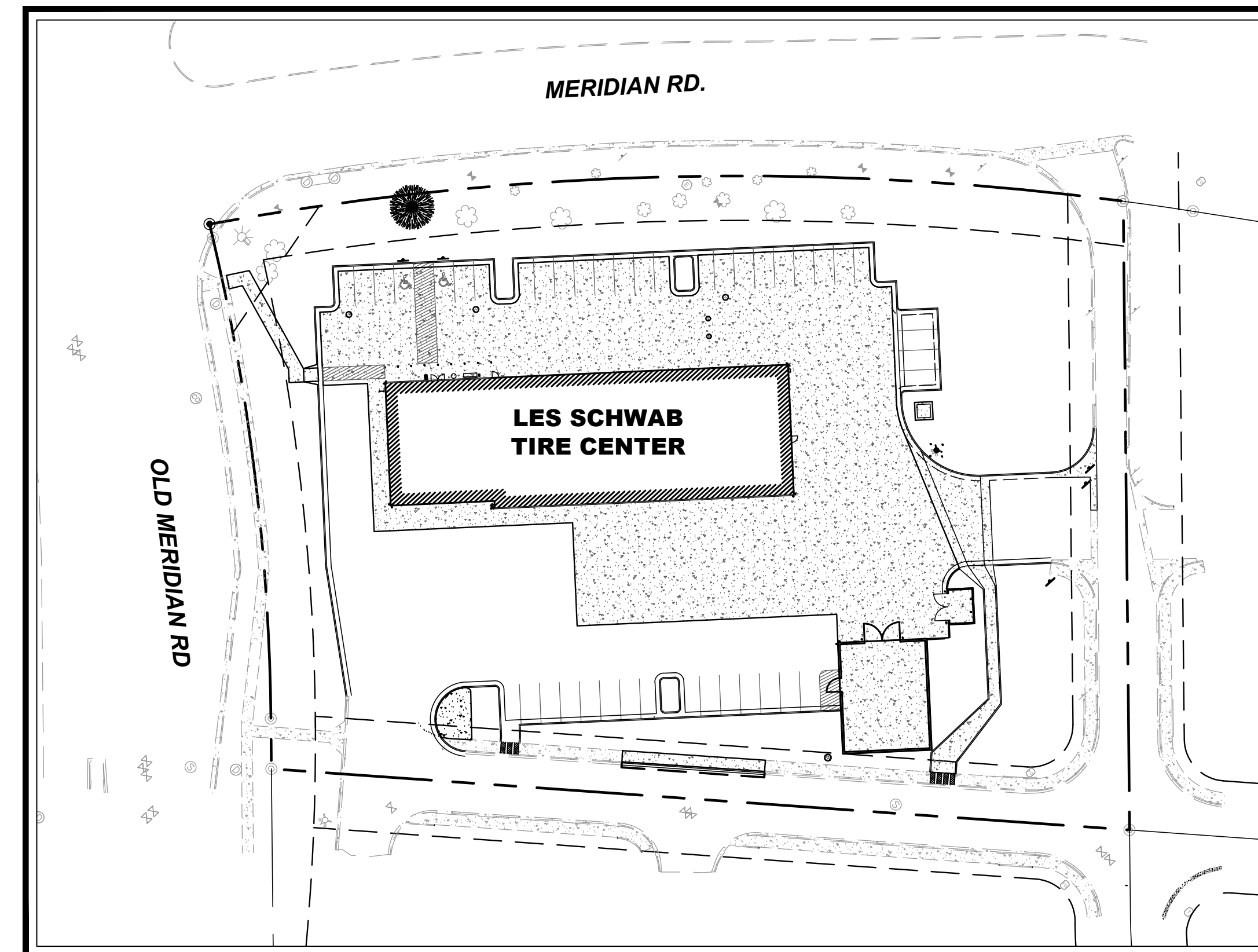
SANITARY SEWER
WOODMAN HILLS METRO DISTRICT
8046 EASTON RD.
FALCON, CO 80831
(719) 295-2500

WATER
FALCON HIGHLANDS METRO DISTRICT
111 S. TEJON ST. #705
COLORADO SPRINGS, CO 80903
(719) 635-0330

PHONE/CABLE
CONTRACTOR TO COORDINATE SERVICE
PROVIDER WITH OWNER

GAS
COLORADO SPRINGS UTILITIES
111 S. CASCADE AVE.
COLORADO SPRINGS, CO 80903
(719) 448-4808

POWER
MOUNTAIN VIEW ELECTRIC
11140 E WOODMEN ROAD
FALCON, CO 80831
(800) 388-9881



SITE MAP
1" = 50' NORTH

SHEET LIST

SURVEY
1 OF 2 A.L.T.A./N.S.P.S. LAND TITLE SURVEY - COVER SHEET
2 OF 2 A.L.T.A./N.S.P.S. LAND TITLE SURVEY - MAP SHEET

CIVIL
C000 COVER SHEET
C001 GENERAL NOTES
C002 EXISTING CONDITIONS PLAN
C100 SITE PLAN
C101 CONCRETE PAVEMENT JOINTING PLAN
C200 GRADING & DRAINAGE PLAN
C300 UTILITY PLAN
C400 CIVIL DETAILS
C401 CIVIL DETAILS
C402 CIVIL DETAILS

PCD PLANNING NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

Approved

By: Craig Dossey, Executive Director

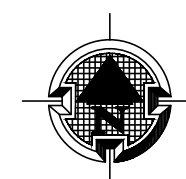
Date: 11/22/2021

El Paso County Planning & Community Development



VICINITY MAP

NTS



LEGAL DESCRIPTION

(THE FOLLOWING LEGAL DESCRIPTION WAS TAKEN FROM FIRST AMERICAN TITLE INSURANCE COMPANY COMMITMENT NO. NCS-975191-X17-OR1 WITH A COMMITMENT DATE OF OCTOBER 24, 2019 AT 5:00 P.M.)

PARCEL A:

LOT 1, MERIDIAN CROSSING FILING NO. 1A, ACCORDING TO THE PLAT RECORDED OCTOBER 3, 2018 AT RECEPTION NO. 218714221, COUNTY OF EL PASO, STATE OF COLORADO.

PARCEL B:

NON EXCLUSIVE EASEMENTS FOR CROSS ACCESS, INGRESS AND EGRESS AS SET FORTH AND GRANTED IN THE MERIDIAN CROSSING MAINTENANCE AGREEMENT AND DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS RECORDED SEPTEMBER 8, 2008 AT RECEPTION NO. 208099925 AND FIRST AMENDMENT THERETO RECORDED APRIL 8, 2009 AT RECEPTION NO. 20935924.

FOR INFORMATIONAL PURPOSES ONLY: APN: 5312114001

CONSULTANT TEAM

ARCHITECT
CUSHING TERRELL
CORY NELSON
800 W MAIN ST. STE 800
BOISE, ID 83702
(208) 336-4900

CIVIL ENGINEER
CUSHING TERRELL
ZACK GRAHAM, PE
411 E MAIN STREET SUITE 101
BOZEMAN, MT 59715
(406) 922-7137

ELECTRICAL ENGINEER
CUSHING TERRELL
MIKE BEGLINGER, PE
306 W RAILROAD ST. STE 104
MISSOULA, MT 59802
(406) 728-9522

LANDSCAPE ARCHITECT
CUSHING TERRELL
ANGELA HANSEN
800 W MAIN ST. STE 800
BOISE, ID 83702
(208) 336-4900

GEOTECHNICAL ENGINEER
PICKERING, COLE, & HIVNER
GLEN D. OHLSEN, PE
1070 WEST 124TH AVE, SUITE 300
WESTMINSTER, CO 80234
(208) 323-9520

7105 N MERIDIAN RD.
FALCON, CO
LES SCHWAB TIRE CENTER



© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT
PLANS

09.01.2021
DRAWN BY | WALKER
CHECKED BY | GRAHAM
REVISIONS



Know what's below.
Call before you dig.

COVER
SHEET

C000

ABBREVIATIONS

@	AT	LT	LEFT
AB	ABANDONED	MEG	MATCH EXISTING GRADE
AHJ	AUTHORITIES HAVING JURISDICTION	MH	MANHOLE
APPROX	APPROXIMATE	MTR	METER
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS	NTS	NOT TO SCALE
BC	BACK OF CURB	OC	ON CENTER
BCR	BACK OF CURB RADIUS	OH, OHP	OVERHEAD, OVERHEAD POWER
BM	BENCHMARK	OBU	OVERHEAD UTILITIES
BOT	BOTTOM	PB	PULL BOX
BP	BURIED POWER	PC	POINT OF CURVATURE
BT	BURIED TELEPHONE	PIP	PROTECT IN PLACE
BW	BOTTOM OF WALL	PL	PROPERTY LINE
C&G	CURB & GUTTER	PP	POWER POLE
CATV, TV	CABLE TELEVISION	PRC	POINT OF REVERSE CURVE
CI	CAST IRON	PT	POINT OF TANGENCY
CIPP	CURED IN PLACE PIPE	PVC	POLYVINYL CHLORIDE PIPE
CL	CENTERLINE	RCP	REINFORCED CONCRETE PIPE
CMP	CORRUGATED METAL PIPE	RIM	RIM OF MANHOLE LID OR GRATE
CO	CLEANOUT	ROW	RIGHT OF WAY
D, DIA	DIAMETER	SF	SQUARE FOOT, SQUARE FEET
DG	DECOMPOSED GRANITE	SP	SPECIAL PROVISIONS
DI	DUCTILE IRON	SS	SANITARY SEWER
DIP	DUCTILE IRON PIPE	SSMH	SANITARY SEWER MANHOLE
DOM	DOMESTIC WATER	ST	STORM DRAIN
DW	DRIVEWAY	STA	STATION
DWG	DRAWING	STCB	STORM CATCH BASIN
EG	EXISTING GRADE	STCI	STORM CURB INLET
ELEC, E	ELECTRIC	STD	STANDARD
EL, ELEV	ELEVATION	STMH	STORM MANHOLE
EOP, EP	EDGE OF PAVEMENT	STYD	STORM YARD DRAIN
ESCP	EROSION AND SEDIMENT CONTROL PLAN	SW	SIDEWALK
EX	EXISTING	SWPPP	STORMWATER POLLUTION PREVENTION PLAN
FC	FACE OF CURB	SY	SQUARE YARD
FG	FINISHED GRADE	T, TEL	TELEPHONE
FH, HYD	FIRE HYDRANT	TA	TOP OF ASPHALT
FL	FLOW LINE	TBC	TOP BACK OF CURB
FT	FOOT, FEET	TC	TOP OF CONCRETE
G	GAS	TEMP	TEMPORARY
GM	GAS METER	TRANS	TRANSITION
GV	GAS VALVE	TW	TOP OF WALL
GW	GUY WIRE	TYP	TYPICAL
HP	HIGH PRESSURE	VCP	VITRIFIED CLAY PIPE
IE	INVERT ELEVATION	WM	WATER MAIN
INT	INTERSECTION	WV	WATER VALVE
IRR	IRRIGATION	W/	WITH
L	LENGTH	Δ	DELTA
LF	LINEAL FOOT, LINEAR FEET		
LS	LANDSCAPING		

The following note should be added to all site development plans or non-residential site plans, as applicable, prior to PCD approval: The parties responsible for this plan have familiarized themselves with all current accessibility criteria and specifications and the proposed plan reflects all site elements required by the applicable ADA design standards and guidelines as published by the United States Department of Justice. Approval of this plan by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws.

LEGEND

EXISTING	PROPOSED	
		ASPHALT
		CONCRETE
		HEAVY DUTY ASPHALT
		HEAVY DUTY CONCRETE
		GRAVEL
		LANDSCAPE
		LANDSCAPE
		WATER MAIN
		FIRE SERVICE
		DOMESTIC WATER SERVICE
		STORM DRAIN
		SANITARY SEWER
		BURIED POWER
		OVERHEAD POWER
		BURIED TELEPHONE
		BURIED GAS
		BURIED FIBER OPTIC
		FENCE - CHAINLINK
		FENCE - WOODEN
		FENCE - BARBED WIRE
		BUILDING
		BUILDING ROOF OVERHANG
		VERTICAL CURB
		CURB AND GUTTER
		CURB AND GUTTER - CATCH
		CURB AND GUTTER - SPILL
		VEGETATION EXTENTS
		PROPERTY LINE - SUBJECT
		PROPERTY LINE - ADJACENT
		EASEMENT
		CONTROL POINT
		FOUND PROPERTY CORNER AS NOTED
		FIRE HYDRANT/ CONTROL POINT HYDRANT
		WATER VALVE
		WATER SHUTOFF
		WATER METER
		STORM DRAIN MANHOLE
		STORM DRAIN INLET STRUCTURE
		STORM DRAIN CURB INLET
		STORM DRAIN OUTLET STRUCTURE
		STORM DRAIN ROOF DOWNSPOUT
		STORM DRAIN CLEANOUT
		SANITARY SEWER MANHOLE
		SANITARY SEWER CLEANOUT
		UTILITY POLE
		GUY WIRE
		LIGHT POLE (ONE LIGHT AND DIRECTION)
		LIGHT POLE
		TRANSFORMER
		POWER METER OR POWER HANDHOLE
		GAS METER
		TELEPHONE PEDESTAL
		IRRIGATION CONTROL VALVE
		POLE SIGN AND DOUBLE POLE SIGN
		BOLLARD (OR AS NOTED)
		PARKING STALL COUNT
		DECIDUOUS TREE
		CONIFEROUS TREE
		BUSH

NOTE: ALL EXISTING LAYERS SUBJECT TO DEMOLITION TO BE SHOWN DARKER THAN INDICATED IN THIS LEGEND.

GENERAL NOTES

- ALL WORK, MATERIALS AND DETAILS PERTAINING TO CONSTRUCTION SHALL BE IN COMPLETE ACCORDANCE WITH THE EL PASO COUNTY STANDARD CONSTRUCTION SPECIFICATIONS, PROJECT SPECIFICATIONS, AND ALL OTHER GOVERNING AGENCIES' STANDARDS. REFER TO THE PROJECT SPECIFICATIONS FOR COMPLETE WORK COVERAGE.
- CONTRACTOR SHALL BE RESPONSIBLE FOR STORM WATER QUALITY DURING CONSTRUCTION. CONTRACTOR SHALL OBTAIN AND COMPLY WITH ALL CURRENT REQUIREMENTS OF THE NATIONAL POLLUTION DISCHARGE ELIMINATION SYSTEM (NPDES), AND LOCAL MS4 REQUIREMENTS WHERE APPLICABLE. THE CONTRACTOR IS RESPONSIBLE FOR THE PREPARATION AND MAINTENANCE OF A STORMWATER POLLUTION PREVENTION PLAN (SWPPP) THROUGHOUT THE DURATION OF THE PROJECT.
- THE CONTRACTOR SHALL PROTECT ADJACENT PROPERTIES, PUBLIC AND PRIVATE, AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL CONTROL DUST IN ACCORDANCE WITH REGULATIONS OF LOCAL AIR POLLUTION CONTROL AUTHORITY.
- CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES. THE CONTRACTOR IS RESPONSIBLE TO REPAIR BACK TO ORIGINAL OR BETTER CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
- CONTRACTOR SHALL REVIEW EXISTING CONDITIONS AND COORDINATE WITH OWNER, EL PASO COUNTY AND ENGINEER / ARCHITECT PRIOR TO DEMOLITION ACTIVITIES.
- TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH MUTCD GUIDANCE. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
- OWNER WILL SECURE ALL NECESSARY UTILITY PERMITS REQUIRED FOR THE COMPLETION OF THE PROJECT. CONTRACTOR SHALL PERFORM ALL WORK IN STRICT ACCORDANCE WITH PERMIT REQUIREMENTS.
- UNLESS OTHERWISE INDICATED, ALL CONSTRUCTION STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A COLORADO LICENSED LAND SURVEYOR.
- THE CONTRACTOR SHALL MAINTAIN ONE COMPLETE SET OF APPROVED DRAWINGS ON THE CONSTRUCTION SITE AT ALL TIMES. ANY APPROVED DEVIATIONS IN CONSTRUCTION FROM THE APPROVED DRAWINGS SHALL BE NOTED ON THIS SET. THE LOCATION AND DEPTH OF ALL UTILITIES ENCOUNTERED SHALL BE RECORDED AND KEPT UP TO DATE AT ALL TIMES AND AVAILABLE FOR INSPECTION BY THE OWNER'S REPRESENTATIVE UPON REQUEST. FAILURE TO COMPLY MAY RESULT IN DELAY IN PAYMENT AND/OR FINAL ACCEPTANCE OF THE PROJECT.
- UPON COMPLETION OF CONSTRUCTION, THE CONTRACTOR SHALL SUBMIT A CLEAN SET OF FIELD DRAWINGS CONTAINING ALL AS-BUILT INFORMATION TO THE ENGINEER. *(Only if required in contract with owner)*
- IF WITHIN ONE YEAR OF THE FINAL ACCEPTANCE BY THE OWNER, ANY WORK IS FOUND TO BE DEFECTIVE OR NOT IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND/OR DRAWINGS, AND UPON WRITTEN NOTICE FROM THE ENGINEER OR OWNER, THE CONTRACTOR SHALL CORRECT ANY WORK BEGINNING WITHIN SEVEN (7) CALENDAR DAYS OF RECEIPT OF NOTICE. SHOULD THE CONTRACTOR FAIL TO RESPOND TO THE WRITTEN NOTICE, THE OWNER MAY CORRECT THE WORK AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPORTING AND/OR EXPORTING ALL MATERIAL AS REQUIRED TO PROPERLY GRADE THIS SITE TO THE FINISHED ELEVATIONS SHOWN HEREON AS WELL AS THE LEGAL DISPOSAL OF WASTE IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE WORK WITH ALL OTHER TRADES.
- SAFETY - NEITHER THE OWNER NOR THE ENGINEER WILL BE RESPONSIBLE FOR COMPLIANCE WITH SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- ANY BURNING ON SITE SHALL BE SUBJECT TO LOCAL ORDINANCES.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

SHOP AND FABRICATION NOTES

- THE CONTRACTOR SHALL PREPARE AND SUBMIT FABRICATION DRAWINGS, DESIGN MIX INFORMATION, MATERIAL TESTING COMPLIANCE DATA, AND ANY OTHER PERTINENT DATA TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO PLACEMENT OF MATERIALS. FOLLOWING REVIEW, THE CONTRACTOR SHALL RESUBMIT COPIES OF ANY DRAWINGS WHICH REQUIRE REVISION OR CORRECTIONS.
- ANY REVIEW BY THE ENGINEER WILL NOT RELIEVE THE CONTRACTOR FOR RESPONSIBILITY FOR ERRORS OR OMISSIONS, OR SCHEDULE REQUIREMENTS. THE CONTRACTOR SHALL REMAIN SOLELY RESPONSIBLE FOR FULL AND COMPLETE PERFORMANCE IN ACCORDANCE WITH THE TERMS, CONDITIONS, PROVISIONS, DRAWINGS, AND SPECIFICATIONS.

ACCESS NOTES

- CONTRACTOR SHALL COORDINATE ACCESS, STAGING AND STOCKPILE LOCATIONS WITH OWNER.
- CONTRACTOR SHALL RESTORE DISTURBED AREAS TO PRE-CONSTRUCTION OR BETTER CONDITIONS.

EXISTING UTILITY NOTES

- EXISTING UNDERGROUND INSTALLATIONS AND PUBLIC UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER AND DEPICTED ON THESE PLANS TO A LEVEL OF QUALITY IN ACCORDANCE WITH ASCE 38-02.
- THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR LOCATING AND VERIFYING MATERIAL TYPES OF ALL EXISTING UTILITY INSTALLATIONS ABOVE AND BELOW GROUND IN ADVANCE OF THE PROJECT BY CONTACTING THEIR RESPECTIVE OWNERS. ALL COSTS RELATED TO LOCATING EXISTING UTILITIES ARE INCIDENTAL AND SHALL NOT BE PAID SEPARATELY. NOT ALL UTILITIES ARE IDENTIFIED ON THE PLANS. NOTIFY ENGINEER OF POTENTIAL CONFLICTS.
- THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND EL PASO COUNTY A MINIMUM OF 5 BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION.

GEOTECHNICAL REPORT

- ALL GEOTECHNICAL RECOMMENDATIONS ARE TAKEN FROM THE REPORT TITLED "GEOTECHNICAL ENGINEERING REPORT, PROPOSED LES SCHWAB TIRE CENTER" BY PICKERING, COLE & HUYNER, LLC, DATED SEPTEMBER 27TH, 2016.
- ALL REFERENCES MADE TO THE GEOTECHNICAL REPORT IN THIS PLAN SET SHALL CONSULT THE AFOREMENTIONED REPORT.

Cushing
Terrell

cushingterrell.com
800.757.9522



7105 N MERIDIAN RD.
FALCON, CO
LES SCHWAB TIRE CENTER



© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT
PLANS

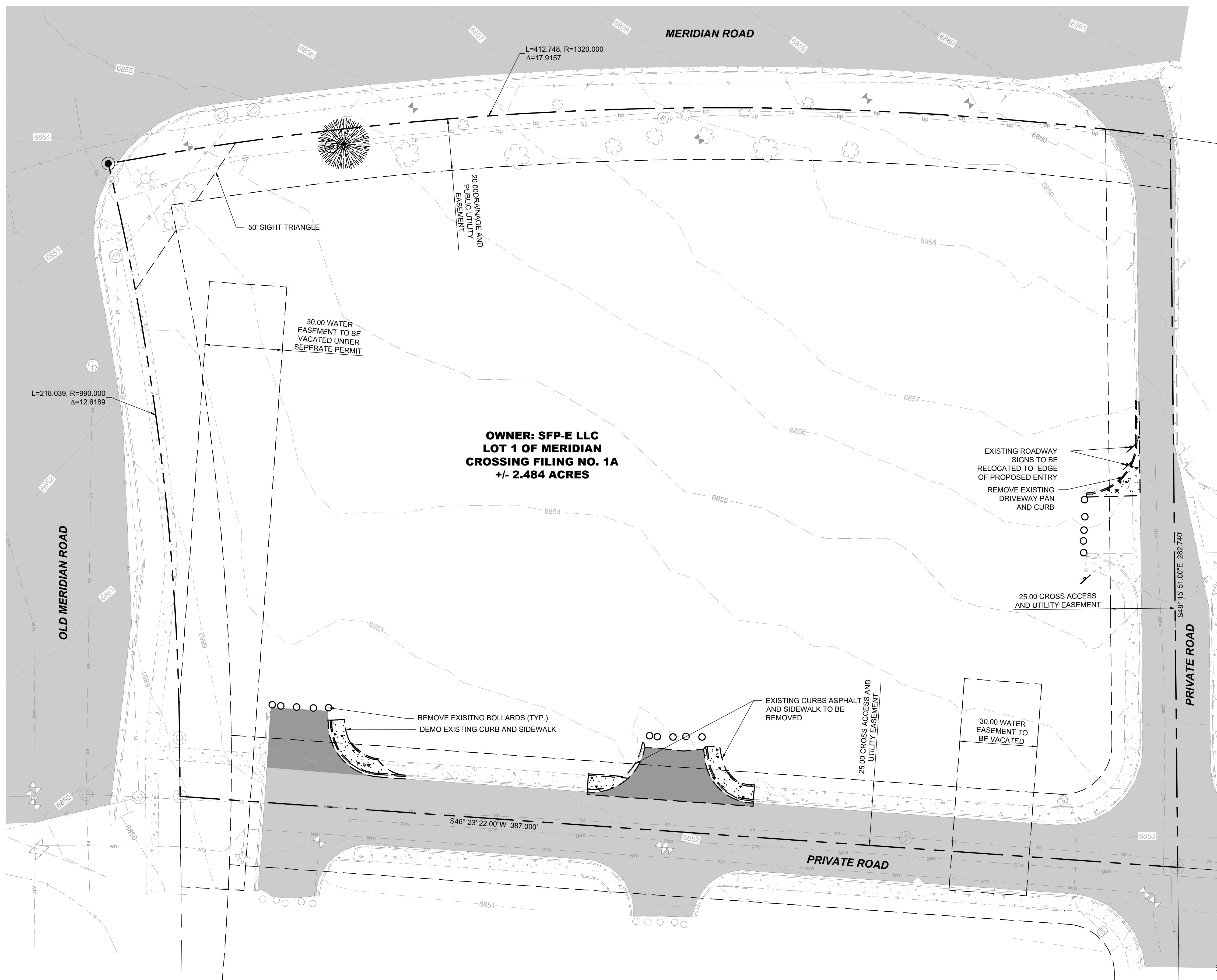
09.01.2021
DRAWN BY | WALKER
CHECKED BY | GRAHAM
REVISIONS



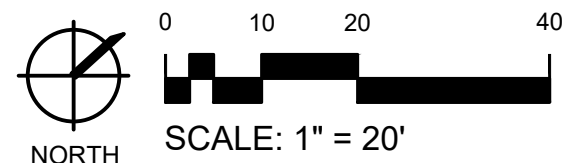
Know what's below.
Call before you dig.
PCD FILE NO. PPR-21-023

NOTES

C001



1 EXISTING CONDITIONS PLAN
C001



PROJECT CONDITIONS

1. CONDITIONS EXISTING AT TIME OF INSPECTION FOR BIDDING PURPOSES WILL BE MAINTAINED BY OWNER AS PRACTICABLE. VARIATIONS WITHIN STRUCTURES MAY OCCUR BY OWNER'S REMOVAL AND SALVAGE OPERATIONS PRIOR TO START OF DEMOLITION WORK.
2. UNLESS OTHERWISE INDICATED IN CONTRACT DOCUMENTS OR SPECIFIED BY THE OWNER, ITEMS OF SALVAGEABLE VALUE TO CONTRACTOR SHALL BE REMOVED FROM SITE AND STRUCTURES. STORAGE OR SALE OF REMOVED ITEMS ON SITE WILL NOT BE PERMITTED AND SHALL NOT INTERFERE WITH OTHER WORK SPECIFIED IN CONTRACT DOCUMENTS.
3. EXPLOSIVES SHALL NOT BE BROUGHT TO SITE OR USED

SITE PREPARATION

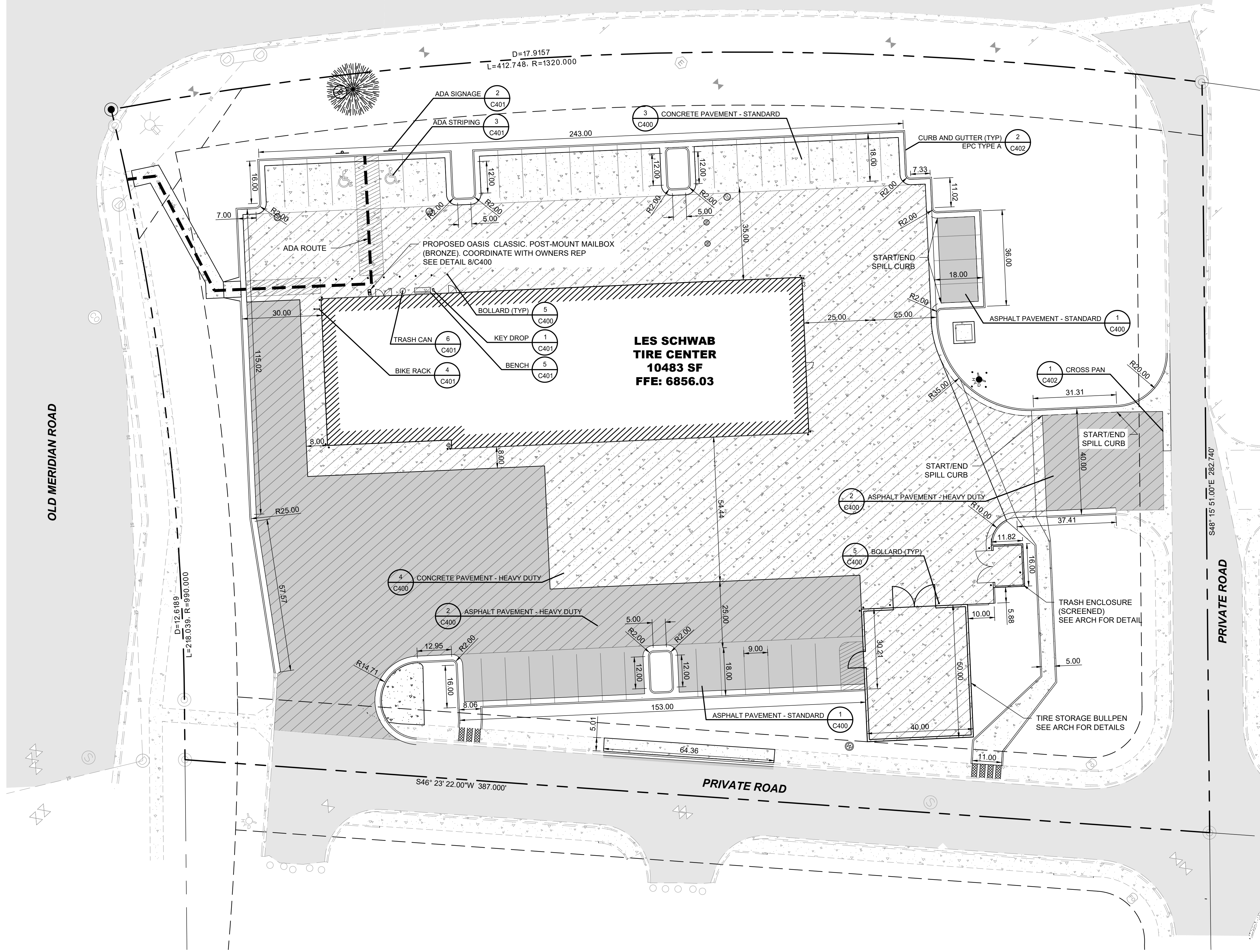
1. PROVIDE, ERECT, AND MAINTAIN EROSION CONTROL DEVICES, TEMPORARY BARRIERS, AND SECURITY DEVICES PRIOR TO THE START OF DEMOLITION.
2. PROTECT EXISTING LANDSCAPING MATERIALS, APPURTENANCES, AND STRUCTURES WHICH ARE NOT TO BE DEMOLISHED. REPAIR DAMAGE CAUSED BY DEMOLITION OPERATIONS AT NO COST TO OWNER.
3. THE CONTRACTOR IS RESPONSIBLE TO PREVENT MOVEMENT OR SETTLEMENT OF ADJACENT STRUCTURES. PROVIDE BRACING AND SHORING AS NEEDED.
4. MARK LOCATION OF UTILITIES. PROTECT AND MAINTAIN IN SAFE AND OPERABLE CONDITION UTILITIES THAT ARE TO REMAIN. PREVENT INTERRUPTION OF EXISTING UTILITY SERVICE TO OCCUPIED OR USED FACILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES AS ACCEPTABLE TO GOVERNING AUTHORITIES AND OWNER.
5. THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY DEMOLITION ACTIVITIES.

PROJECT NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF ALL PROPERTY CORNERS AND PINS.
2. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS
3. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
4. THE CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURE. CONTRACTOR SHALL USE SUPPORT SYSTEMS, SLOPING, BENCHING, AND OTHER MEANS OF PROTECTION. THIS IS TO INCLUDE, BUT NOT LIMITED, FOR ACCESS AND EGRESS FROM ALL EXCAVATION AND TRENCHING. CONTRACTOR IS RESPONSIBLE TO COMPLY WITH PERFORMANCE CRITERIA FOR OSHA.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING THE PUBLIC DURING DEMOLITION, WHICH INCLUDES BUT IS NOT LIMITED TO CONSTRUCTION FENCING, BARRICADES, SIGNAGE, ETC.
6. THE CONTRACTOR SHALL COORDINATE WITH THE PROJECT OWNER AS TO SPECIFIC DETAILS REGARDING REMOVAL OF EXISTING BUILDINGS, CONTENTS AND ASSOCIATED APPURTENANCES.
7. THE CONTRACTOR IS RESPONSIBLE TO INSPECT THE SITE PRIOR TO BIDDING AND INCLUDE IN THE BID ANY AND ALL ITEMS TO BE REMOVED, DEMOLISHED, OR MAINTAINED AS NECESSARY FOR THE CONSTRUCTION OF THIS PROJECT WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
8. ALL MATERIAL GENERATED FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE AT THE CONTRACTOR'S EXPENSE UNLESS OTHERWISE INDICATED BY THE OWNER. AN APPROPRIATE DUMP SITE SHALL BE NOMINATED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION.
9. THE CONTRACTOR SHALL VERIFY LOCATIONS AND MATERIAL TYPES OF ALL UTILITIES PRIOR TO THE START OF DEMOLITION.
10. PROVIDE POSITIVE DRAINAGE AT ALL TIMES WITHIN THE CONSTRUCTION AREA. DO NOT ALLOW WATER TO POND IN EXCAVATION AREAS, AND MAINTAIN ALL EXISTING DRAINAGE PATTERNS.
11. TRAFFIC, BOTH VEHICULAR AND PEDESTRIAN SHALL BE PROTECTED BY EFFECTIVE BARRICADES AND SIGNS IN ACCORDANCE WITH MUTCD GUIDANCE AND AS REQUIRED BY THE JURISDICTION HAVING AUTHORITY. EFFECTIVE LIGHTING OF OBSTRUCTIONS SHALL BE PROVIDED AT NIGHT.
12. PROTECTION OF PROPERTY - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF PUBLIC AND PRIVATE PROPERTY ADJACENT TO HIS WORK, AND SHALL EXERCISE DUE CAUTION TO AVOID DAMAGE TO SUCH PROPERTY. THE CONTRACTOR SHALL REPLACE OR REPAIR TO THEIR ORIGINAL CONDITION, ALL IMPROVEMENTS WITHIN OR ADJACENT TO THE WORK AREA WHICH ARE NOT DESIGNATED FOR REMOVAL, AND WHICH ARE DAMAGED OR REMOVED AS A RESULT OF OPERATIONS.



MERIDIAN ROAD



CONSTRUCTION NOTES

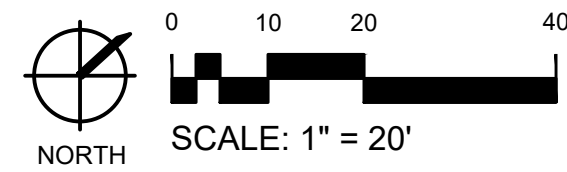
1. THE CONTRACTOR SHALL REFER TO BUILDING PLANS FOR LOCATION AND DIMENSIONS OF SLOPED PAVING, EXIT PORCHES, TRUCK DOCKS, BUILDING DIMENSIONS, BUILDING ENTRANCE LOCATIONS, TOTAL NUMBER, LOCATIONS AND SIZES OF ROOF DOWNSPOUTS.
2. ALL TRAFFIC CONTROL SIGNS SHALL BE FABRICATED AS SHOWN IN THE NATIONAL MANUAL ON UNIFORM CONTROL DEVICES FOR STREETS AND HIGHWAYS EXCEPT AS NOTED ON THE PLANS.
3. ALL CURB RADIi SHOWN ARE TO FACE OF CURB.
4. ALL PAVING DIMENSIONS ARE TO FACE OF CURB, WHERE APPLICABLE, UNLESS OTHERWISE NOTED.
5. ALL COORDINATES SHOWN ARE TO FACE OF CURB OR OUTSIDE OF WALL.
6. THE CONTRACTOR SHALL MATCH EXISTING PAVEMENT IN GRADE AND ALIGNMENT.
7. THE CONTRACTOR SHALL MATCH EXISTING CURB AND GUTTER IN GRADE, SIZE, TYPE AND ALIGNMENT AT ADJACENT ROADWAYS, UNLESS OTHERWISE NOTED.
8. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OF DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
9. ALL WORK ON THIS PLAN SHALL BE DONE IN STRICT ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
10. SEE DETAILS 8 & 9 / C400 FOR SIGN BASE AND FOUNDATION DETAILS

PAVING NOTES

1. PAVEMENT SHALL BE PLACED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
2. PAVEMENT SECTION RECOMMENDATIONS WERE TAKEN FROM THE GEOTECHNICAL REPORT.
3. SEE LANDARCH FOR CONCRETE JOINT SPACING. SEE DETAIL 2/C402 FOR CONCRETE JOINT DETAILS.

SITE DATA TABLE		
ADDRESS	7105 N MERIDIAN RD, FALCON, COLORADO	
ZONING	CR-COMMERCIAL SERVICE	
PARCEL ID	5312114001	
LAND USE	VEHICLE REPAIR GARAGE	
LOT AREA	2.48 ACRES	
LANDSCAPING (TOTAL)	31%	
PLANTING BEDS	16%	
TURF (OPEN SPACE)	15%	
BUILDING LOT COVERAGE	9.7%	
DWELLING UNITS	0	
	REQUIRED	PROPOSED
BUILDING HEIGHT	45' MAX	30
PARKING	34 (3/BAY 1/EMPLOYEE)	43
FRONT SETBACK	25' MIN	VARIABLES 82' MIN
REAR	25' MIN	VARIABLES 121' MIN
SIDE	25' MIN	VARIABLES 59' MIN

1 SITE PLAN
C100



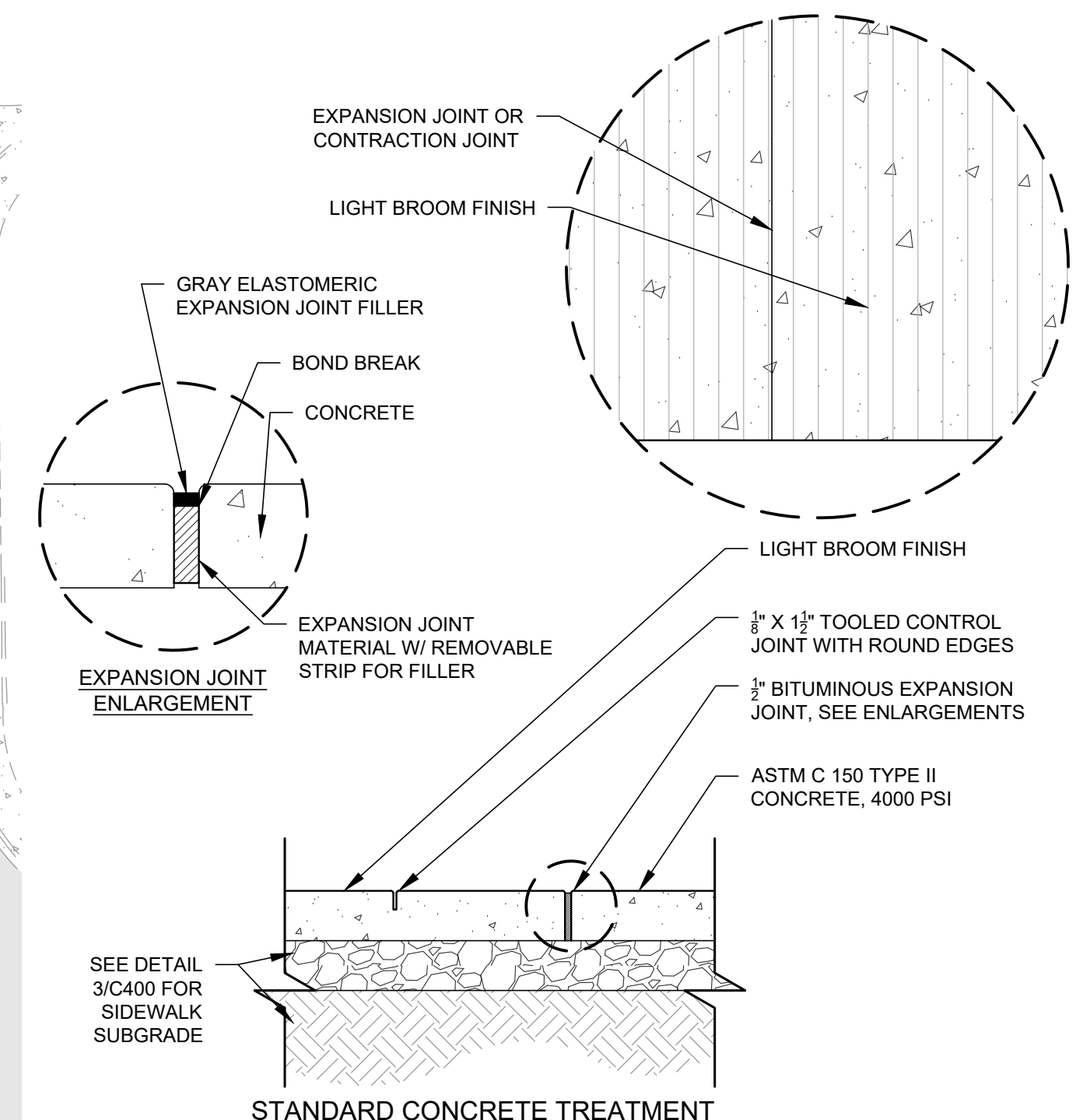


GENERAL NOTES

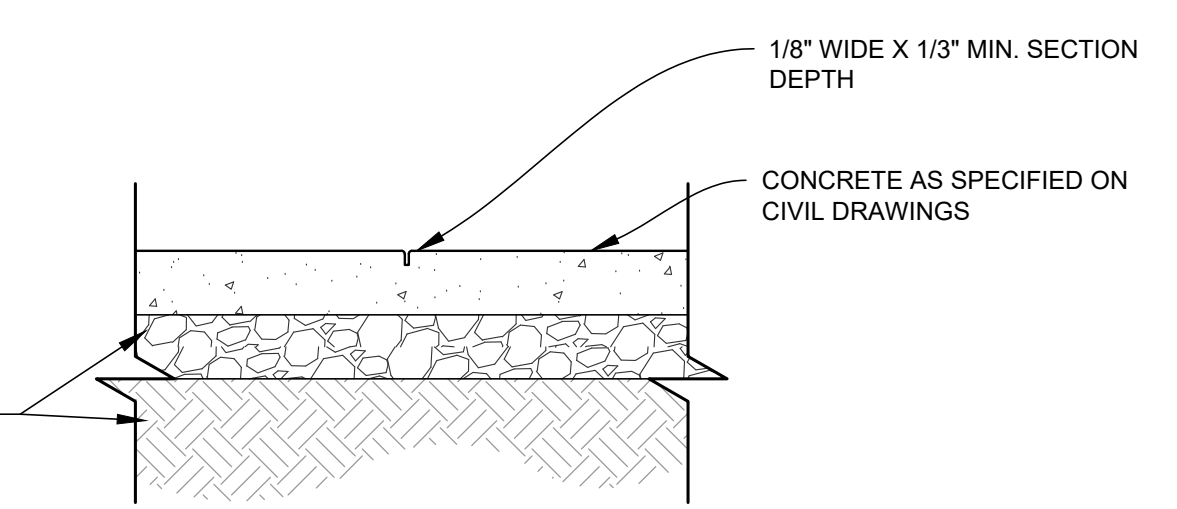
1. VERIFY EXISTING CONDITIONS AND LOCATE ALL EXISTING UTILITIES INCLUDING ANY THAT MAY NOT BE INDICATED ON THIS PLAN. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
2. DURING INSTALLATION, KEEP ADJACENT PAVING, CONSTRUCTION AREAS, AND WORK AREA CLEAN AND IN ORDERLY CONDITION. PROTECT ALL IMPROVEMENTS TO REMAIN AND REPAIR BACK TO ORIGINAL CONDITION AT CONTRACTOR'S EXPENSE IF DAMAGE OCCURS RESULTANT FROM OPERATIONS OR NEGLIGENCE OF LANDSCAPE CONTRACTORS AND OTHER TRADES. COORDINATE PROTECTION WITH OTHER TRADES.
3. MAINTAIN PROTECTION OF SITE IMPROVEMENTS DURING MAINTENANCE PERIODS AS SPECIFIED.
4. PROVIDE ALL DEMOLITION INCIDENTAL TO OR REQUIRED FOR NEW CONSTRUCTION WHETHER OR NOT IT IS SPECIFICALLY NOTED.
5. DO NOT SCALE DRAWINGS. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK. START OF WORK CONSTITUTES ACCEPTANCE OF CONDITIONS.
6. CHANGES OR DEVIATIONS FROM THE DRAWINGS MADE WITHOUT THE WRITTEN CONSENT OF THE LANDSCAPE ARCHITECT AND/OR AN APPROVED CHANGE ORDER WILL BE CONSIDERED UNAUTHORIZED. COORDINATE NECESSARY MODIFICATIONS WITH ARCHITECT PRIOR TO EXECUTING CONSTRUCTION.
7. REVIEW ALL DISCIPLINE DRAWINGS AND COORDINATE WITH GENERAL CONTRACTOR AND ALL TRADE CONTRACTORS FOR WORK SHOWN ON LANDSCAPE DRAWINGS AND SPECIFICATIONS.
8. NOTIFY LANDSCAPE ARCHITECT AND OWNER IN WRITING OF ANY EXPECTED DISRUPTIONS IN SERVICE OR CHANGES IN CONSTRUCTION SCHEDULE AND OBTAIN WRITTEN PERMISSION AS SPECIFIED.
9. NOTIFY THE LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
10. NO SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
11. PROVIDE ALL COMPONENTS AND ACCESSORIES FOR A COMPLETE AND FINISHED INSTALLATION FOR PRODUCTS SHOWN ON THE DRAWING SHEETS.
12. THE PROJECT MANUAL SPECIFICATIONS ARE AN INTEGRAL PART OF THESE DOCUMENTS. REVIEW ALL PROJECT INFORMATION.
13. NOTIFY LANDSCAPE ARCHITECT IN WRITING 7 DAYS PRIOR TO SCHEDULED INSPECTIONS.
14. ALL WORK AND MATERIALS SHALL BE IN COMPLETE ACCORDANCE WITH THE CITY STANDARDS, PROJECT SPECIFIC SPECIAL PROVISIONS, AND ALL OTHER GOVERNING AGENCIES' STANDARDS.

JOINTING LEGEND

- CONTRACTION/EXPANSION JOINT
SEE DETAIL 2/C401
- CONTRACTION JOINT
SEE DETAIL 3/C101



2 CONTRACTION / EXPANSION JOINT SECTION
C101 NOT TO SCALE



3 CONTRACTION JOINT SECTION
C101 NOT TO SCALE

7105 N MERIDIAN RD.
FALCON, CO

LES SCHWAB TIRE CENTER



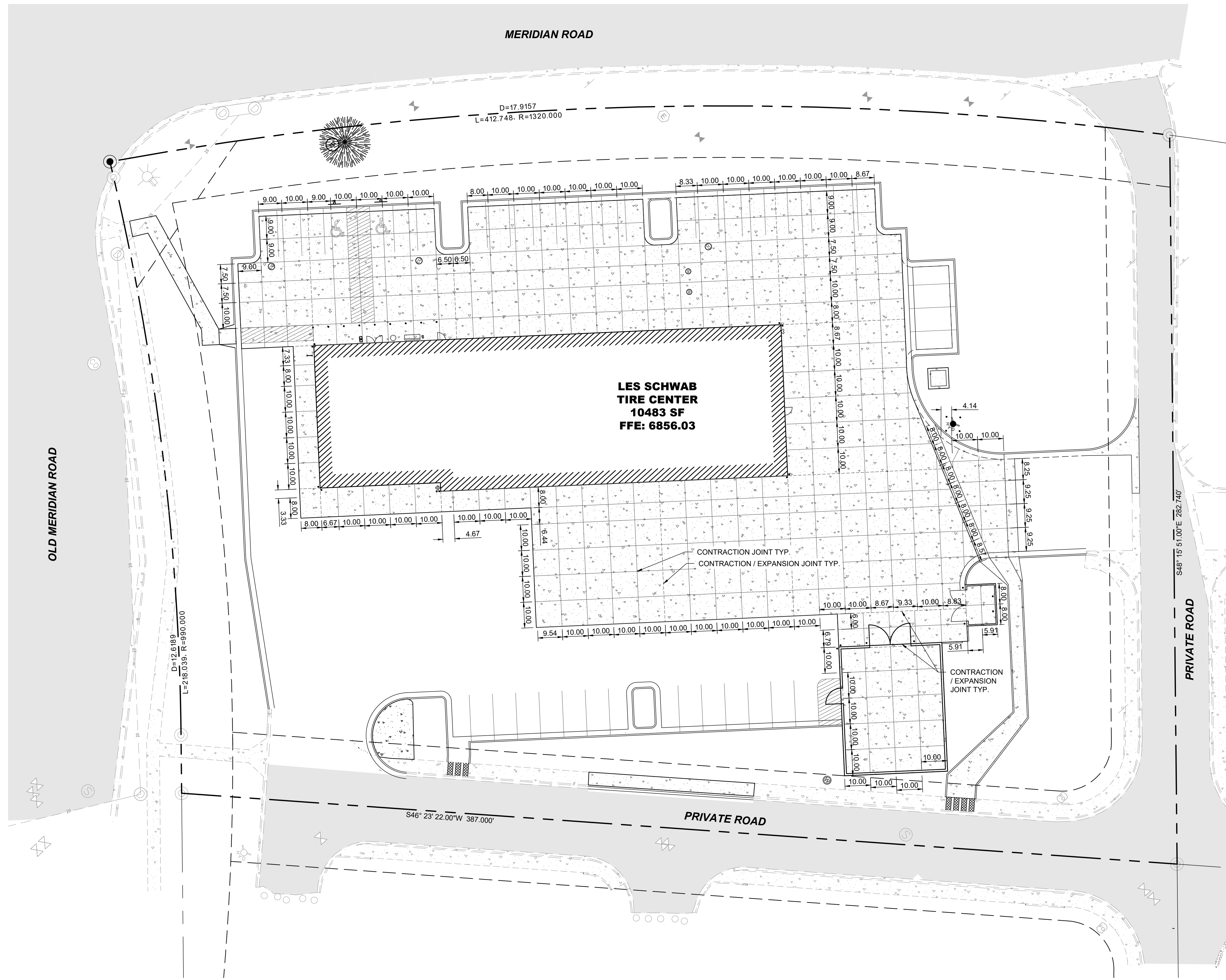
© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

09.01.2021
DRAWN BY | WALLKER
CHECKED BY | GRAHAM
REVISIONS

CONCRETE PAVEMENT JOINTING PLAN

C101



1 JOINTING PLAN
C101
NORTH
SCALE: 1" = 20'



7105 N MERIDIAN RD.
FALCON, CO
LES SCHWAB TIRE CENTER



GRADING NOTES

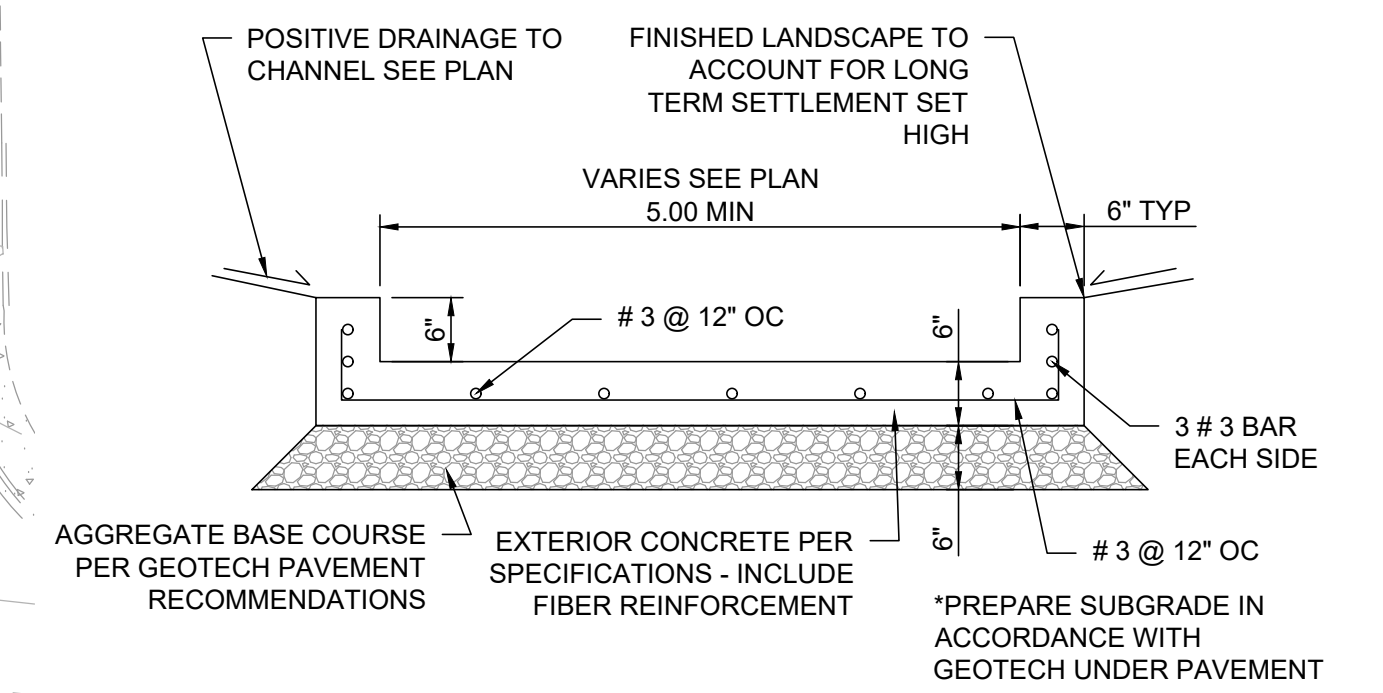
1. SITE GRADING SHALL NOT PROCEED UNTIL THE SWPPP HAS BEEN IMPLEMENTED.
2. ALL EARTHWORK AND GRADING SHALL PROCEED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
3. NO MATERIAL SHALL BE EXCAVATED, MOVED, OR COMPACTED WITHOUT THE PRESENCE OR AUTHORIZATION OF THE OWNER'S REPRESENTATIVE.
4. THE CONTRACTOR IS RESPONSIBLE TO VERIFY EXISTING CONDITIONS AND LOCATE ALL EXISTING UTILITIES PRIOR TO COMMENCING EARTH. NOTIFY ENGINEER OF ANY UNFORESEEN CONDITIONS.
5. CONTRACTOR TO PROTECT ALL EXISTING UTILITIES, SIGNS AND EXISTING STRUCTURES AND REPAIR BACK TO ORIGINAL CONDITION IF DAMAGE HAS OCCURRED DURING CONSTRUCTION.
6. PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES.
7. GRADES SHOWN REPRESENT FINISH GRADES UNLESS OTHERWISE NOTED.
8. SPOT ELEVATIONS INDICATE FLOW LINE, UNLESS OTHERWISE INDICATED.
9. FINISHED GRADE SPOT ELEVATIONS HAVE BEEN TRUNCATED. ADD 6800 FOR ACTUAL ELEVATION.
10. LONGITUDINAL SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 5%, EXCEPT FOR ON INDICATED RAMPS.
11. CROSS SLOPES OF ALL SIDEWALKS SHALL NOT EXCEED 2%. 1.5% IS PREFERRED.
12. PEDESTRIAN RAMPS SHALL NOT EXCEED 12H:1V IN ANY DIRECTION.
13. ADA PARKING AND ADA UNLOADING/LOADING AREAS SHALL NOT EXCEED 2% IN ANY DIRECTION. CONTRACTOR TO VERIFY GRADES OF BASE MATERIAL AND FORMS BEFORE PAVING INSTALLATION.
14. EXTERIOR CONCRETE FLATWORK ADJACENT TO BUILDINGS SHALL SLOPE AWAY FROM THE BUILDING AND NOT EXCEED 2%. 1% IS THE MINIMUM.
15. PROPOSED GRADE CONTOUR INTERVAL SHOWN AT ONE FOOT (1').
16. CONTRACTOR SHALL COMPLY TO THE FULLEST EXTENT WITH THE LATEST STANDARDS OF OSHA DIRECTIVES OR ANY OTHER AGENCY HAVING JURISDICTION FOR EXCAVATION AND TRENCHING.
17. THE EARTHWORK FOR ALL BUILDING FOUNDATIONS AND SLABS SHALL BE IN ACCORDANCE WITH BUILDING PLANS AND SPECIFICATIONS.
18. THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

STORMWATER NOTES

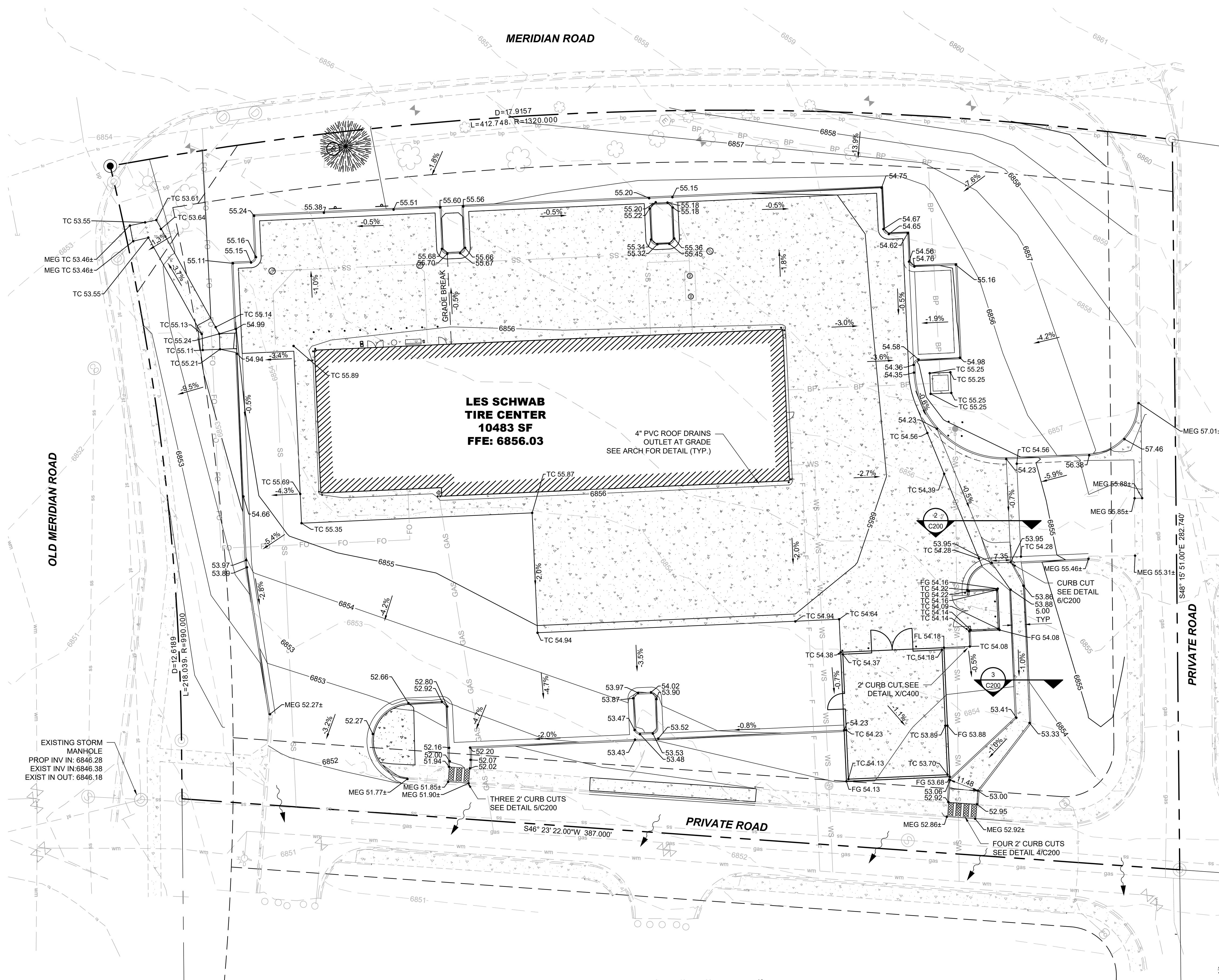
1. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (HS20) LOADING AND BE INSTALLED ACCORDINGLY.
2. TRENCHES SHALL BE PREPARED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.
3. ALL PIPE MATERIAL, FITTINGS AND STRUCTURES SHALL FOLLOW THE CONSTRUCTION DRAWINGS AND CITY REQUIREMENTS. ALL STORMWATER PIPING SHALL BE ADS N-12 OR APPROVED EQUAL.
4. ALL STORMWATER TRENCHING, BEDDING AND PIPE LAYING, SHALL FOLLOW THE CURRENT CITY REQUIREMENTS.
5. ALL JOINTS SHALL BE "WATERTIGHT".
6. PRIOR TO FINAL ACCEPTANCE, CONTRACTOR SHALL FLUSH AND CLEAN ALL STORM DRAINS AND REMOVE ALL FOREIGN MATERIAL FROM THE PIPING, MANHOLES, AND DRAINAGE INLETS.
7. CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH CITY CONSTRUCTION SPECIFICATIONS. COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
8. STORM SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT CITY STANDARDS.

GRADING LEGEND

- 2.0% PROPOSED SLOPE
 - - - - - PROPOSED GRADE BREAK
 - - - - - EXISTING STORM DRAIN
 - - - - - PROPOSED STORM DRAIN
 - FL ELEVATION FLOW LINE ELEVATION
 - MEG ELEVATION MATCH EXISTING GRADE ELEVATION
 - TC ELEVATION TOP OF CONCRETE ELEVATION
 - FG ELEVATION FINISHED LANDSCAPE GRADE ELEVATION
- NOTE: ADD 6800' TO ALL SPOT ELEVATIONS SHOWN



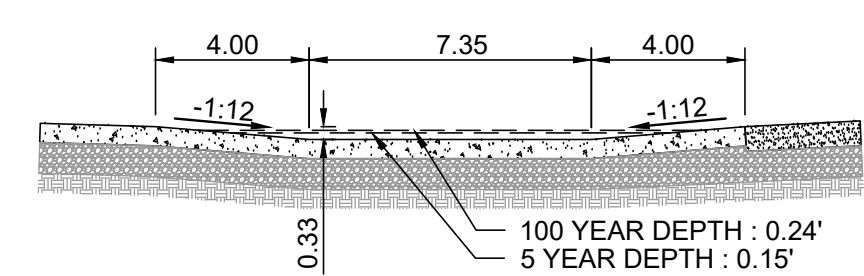
7 CONCRETE CHANNEL REINFORCEMENT DETAIL
C200 NOT TO SCALE



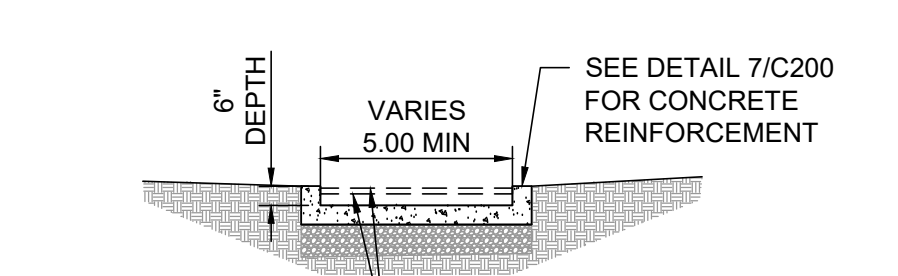
1 GRADING PLAN
C200

0 10 20 40
SCALE: 1" = 20'

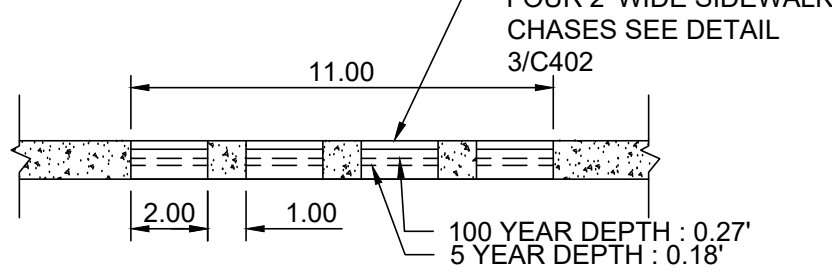
NORTH



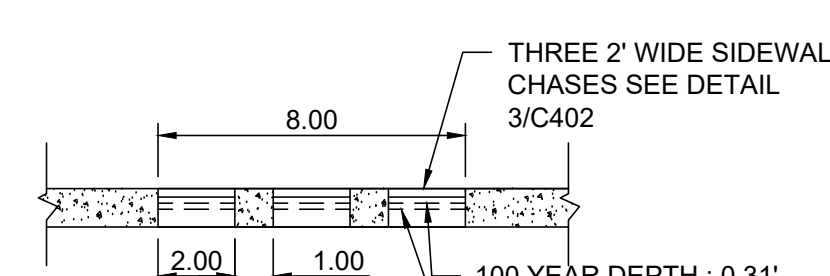
2 CROSS PAN SECTION
C200 NOT TO SCALE



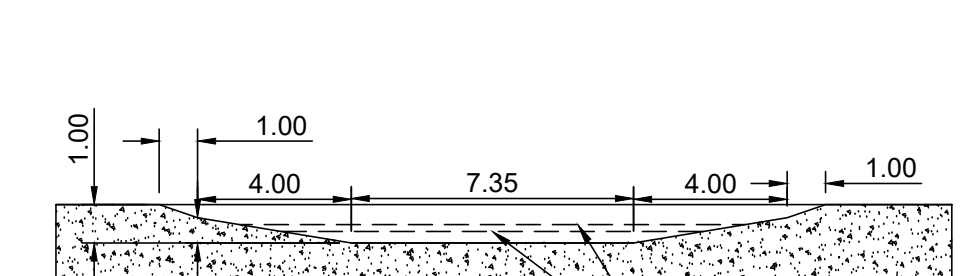
3 CONCRETE CHANNEL SECTION
C200 NOT TO SCALE



4 SIDEWALK CHASE SECTION
C200 NOT TO SCALE

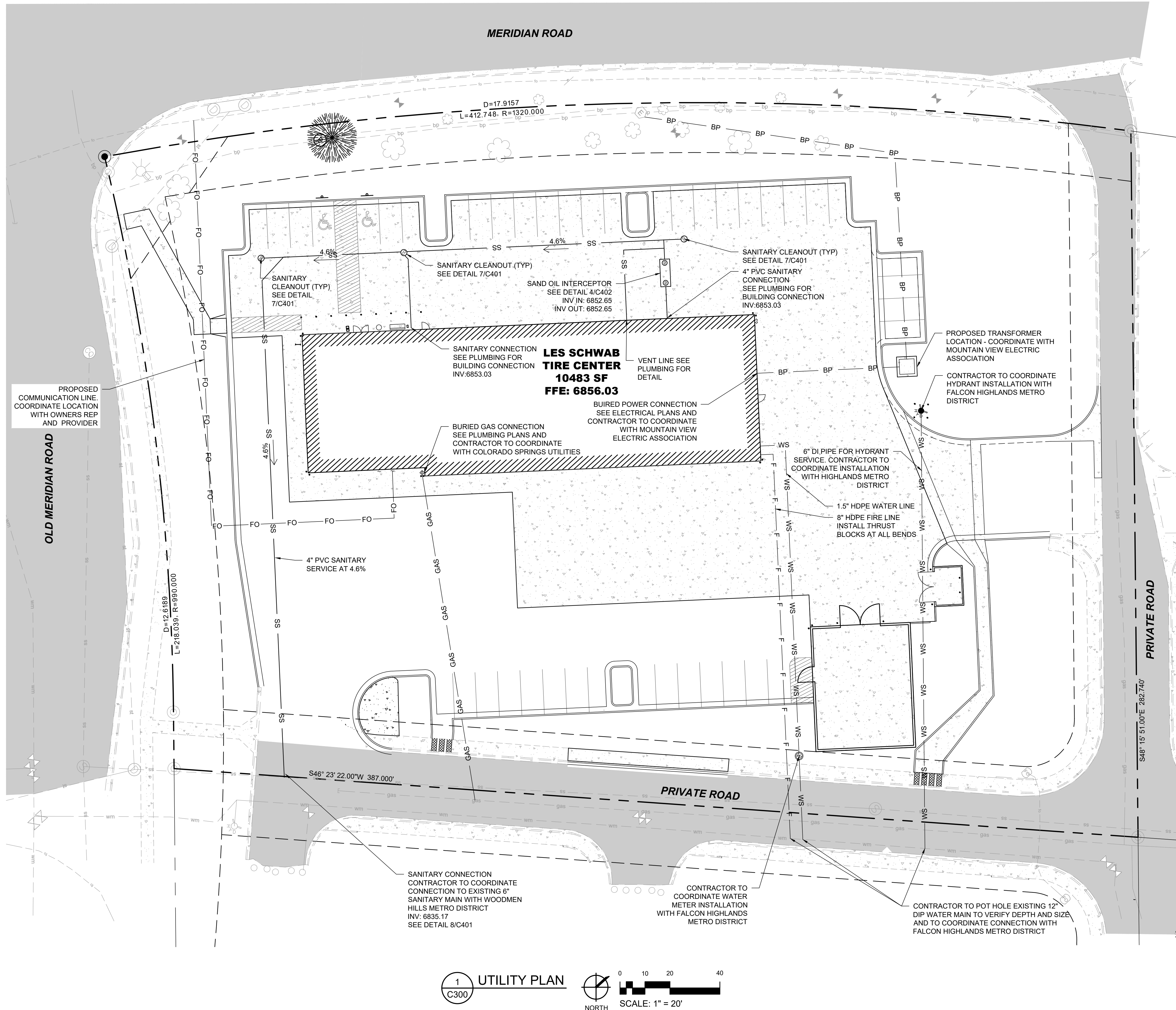


5 SIDEWALK CHASE SECTION
C200 NOT TO SCALE



6 CURB CUT DETAIL
C200 NOT TO SCALE

MERIDIAN ROAD



WATER NOTES

- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE CURRENT EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND FALCON HIGHLANDS METRO DISTRICT STANDARDS.
- UNLESS OTHERWISE SPECIFIED, WATER LINES SHALL BE PVC C900 IN CONFORMANCE WITH AWWA C900. ALL SERVICES AND CONNECTIONS SHALL BE HDPE WITH A PRESSURE RATING OF 200 PSI AND CONFORM TO THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND FALCON HIGHLANDS METRO DISTRICT STANDARDS.
- THE CONTRACTOR SHALL SUPPLY ALL NECESSARY FITTINGS, COUPLING, AND SPOOL PIECES FOR CONNECTING NEW UTILITIES TO EXISTING UTILITIES. THESE PLANS MAY NOT SHOW ALL REQUIRED COMPONENTS FOR MAKING THE CONNECTIONS.
- THE MINIMUM DEPTH OF BURY TO THE TOP OF PIPE FOR WATER LINES IS 5.0 FT. WHERE AT LEAST 5.0 FT OF COVER CANNOT BE MAINTAINED, INSTALL RIGID INSULATION BOARD ABOVE PIPING AS INDICATED ON PLANS.
- THE CONTRACTOR MUST ENSURE THAT A MINIMUM OF 10 FEET (OUTSIDE PIPE WALL TO OUTSIDE PIPE WALL) OF CLEARANCE IS MAINTAINED ON THE HORIZONTAL PLANE BETWEEN ALL WATER AND SEWER MAINS. ADDITIONALLY, THE CONTRACTOR MUST ALSO ENSURE THAT 18 INCHES OF VERTICAL CLEARANCE IS MAINTAINED BETWEEN WATER AND SEWER MAINS THAT CROSS. IMMEDIATELY NOTIFY ENGINEER OF CONFLICTS.
- LOCATIONS OF FITTINGS, BENDS, VALVES, AND OTHER APPURTENANCE ARE APPROXIMATE. PROVIDE ADEQUATE SPACING BETWEEN FIXTURES TO MAINTAIN PIPE INTEGRITY. PROVIDE AS BUILT LOCATIONS FOR ALL FIXTURES.
- ANY EXISTING OR NEW VALVES THAT CONTROL THE FALCON HIGHLANDS METRO DISTRICT WATER SUPPLY SHALL BE OPERATED BY CITY PERSONNEL ONLY.
- PRESSURE TEST AND DISINFECT ALL WATER LINES IN ACCORDANCE WITH THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND FALCON HIGHLANDS METRO DISTRICT STANDARDS AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL FITTINGS SHALL BE MECHANICAL JOINT WITH CONCRETE THRUST BLOCKS MEETING EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND FALCON HIGHLANDS METRO DISTRICT STANDARDS AND ALL OTHER GOVERNING AGENCIES' STANDARDS.
- ALL DUCTILE IRON FITTINGS TO BE WRAPPED IN POLYWRAP.
- PER THE CURRENT COLORADO DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE WATER MAIN WORK (i.e. CUT, GATE VALVES & PIPE INSTALLATION) INSPECTED AND TESTED PER CURRENT DEQ PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR.

SEWER NOTES

- UNLESS OTHERWISE NOTED, ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND WOODMAN HILLS METRO DISTRICT STANDARDS.
- UNLESS OTHERWISE SPECIFIED, SANITARY SEWER PIPE SHALL BE PVC IN CONFORMANCE WITH ASTM D-3034, SDR 26. ALL SERVICES AND CONNECTIONS SHALL CONFORM TO THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND WOODMAN HILLS METRO DISTRICT STANDARDS.
- ALL PIPES SHALL BE BEDDED WITH TYPE 1 BEDDING PER CURRENT EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND WOODMAN HILLS METRO DISTRICT STANDARDS.
- PER CURRENT COLORADO DEPARTMENT OF ENVIRONMENTAL QUALITY REQUIREMENTS, THE CONTRACTOR SHALL HAVE THE SEWER WORK INSPECTED AND TESTED PER DEQ PROCEDURES AND OBSERVED BY A DESIGNATED OWNERS INSPECTOR. MANHOLE TESTING SHALL BE PERFORMED PRIOR TO FINAL SURFACE RESTORATION.
- CONTRACTOR SHALL SUPPLY ALL MATERIALS, EQUIPMENT AND FACILITIES REQUIRED FOR TESTING ALL UTILITY PIPES IN ACCORDANCE WITH EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND WOODMAN HILLS METRO DISTRICT STANDARDS.
- COST OF ALL TESTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- SANITARY SEWER PIPE AND MANHOLES SHALL BE TESTED FOR LEAKAGE PER CURRENT EL PASO COUNTY ENGINEERING CRITERIA MANUAL AND WOODMAN HILLS METRO DISTRICT STANDARDS.
- AT THE DISCRETION OF THE ENGINEER, THE CONTRACTOR SHALL CONDUCT DEFLECTION TESTING OF SANITARY SEWER PIPES BY PULLING AN APPROVED MANDREL THROUGH THE COMPLETED PIPE LINE FOLLOWING TRENCH COMPACTION. THE DIAMETER OF THE MANDREL SHALL BE 95% OF THE DESIGNED PIPE DIAMETER. TESTING SHALL BE CONDUCTED NO MORE THAN 7 DAYS AFTER THE TRENCH HAS BEEN BACKFILLED AND COMPACTED.
- PRIOR TO MANDREL TESTING AND/OR TV INSPECTION, THE CONTRACTOR SHALL FLUSH AND CLEAN ALL SEWER PIPE AND MANHOLES.
- CONTRACTOR SHALL FIELD VERIFY LINE AND GRADE OF ANY EXISTING AND PROPOSED UTILITY.

DRY UTILITY NOTES

- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL "DRY" UTILITIES (ELECTRIC, GAS, TELEPHONE) WITH SERVICE PROVIDERS.
- REFER TO ELECTRICAL PLANS FOR ADDITIONAL CONDUIT AND SITE LIGHTING REQUIREMENTS.
- REFER TO LANDSCAPE PLANS FOR IRRIGATION CONDUIT.
- THE CONTRACTOR IS RESPONSIBLE TO CALL 1-800-424-5555 (OR 811) AT LEAST 2 WORKING DAYS PRIOR TO ANY EARTH DISTURBING ACTIVITIES OR UTILITY EXCAVATIONS.

COLORADO SPRINGS UTILITIES

- COLORADO SPRINGS UTILITIES (SPRINGS UTILITIES) SHALL MAKE THE FINAL DETERMINATION OF THE LOCATION OF GAS FACILITIES, WHICH MAY NOT BE THE SAME LOCATION AS SHOWN ON THIS PRELIMINARY UTILITY PLAN.
- PROPERTY OWNER(S) ("OWNER") ACKNOWLEDGES THAT THE CONNECTION AND/OR EXTENSION OF UTILITY SERVICES TO THE PROPERTY IDENTIFIED IN THIS PRELIMINARY UTILITY PLAN ("PROPERTY") SHALL BE IN ACCORD WITH ALL APPLICABLE CODES AND REGULATIONS, SPRINGS UTILITIES LINE EXTENSION & SERVICE STANDARDS ("STANDARDS"), TARIFFS, FALCON CITY CODE, RESOLUTIONS, AND POLICIES, AND Pikes Peak REGIONAL BUILDING DEPARTMENT CODES, IN EFFECT AT THE TIME OF UTILITY SERVICE CONNECTION AND/OR EXTENSION.
- OWNER ACKNOWLEDGES RESPONSIBILITY FOR THE COSTS OF EXTENSIONS OR UTILITY SYSTEM IMPROVEMENTS THAT SPRINGS UTILITIES DETERMINES NECESSARY TO PROVIDE UTILITY SERVICES TO THE PROPERTY OR TO ENSURE TIMELY DEVELOPMENT OF INTEGRATED UTILITY SYSTEMS SERVING THE PROPERTY AND AREAS OUTSIDE THE PROPERTY (INCLUDING THE COSTS TO DESIGN AND INSTALL ANY GAS LINES TO AND WITHIN THE PROPERTY). OWNER MAY BE ELIGIBLE FOR A COST RECOVERY AGREEMENT AS PROVIDED IN UTILITIES' RULES AND REGULATIONS.
- SPRINGS UTILITIES UTILITY SERVICES ARE AVAILABLE ON A "FIRST-COME, FIRST-SERVED" BASIS, AND THEREFORE NO SPECIFIC ALLOCATIONS OR AMOUNTS OF UTILITY SERVICES, FACILITIES, CAPACITIES OR SUPPLIES ARE RESERVED FOR THE OWNER, AND SPRINGS UTILITIES MAKES NO COMMITMENT AS TO THE AVAILABILITY OF ANY UTILITY SERVICE UNTIL SUCH TIME AS AN APPLICATION FOR PERMANENT SERVICE IS APPROVED BY SPRINGS UTILITIES.
- THE RELOCATION OR ALTERATION OF ANY EXISTING UTILITY FACILITIES WITHIN THE PROPERTY WILL BE AT THE OWNER'S SOLE COST AND EXPENSE. IF SPRINGS UTILITIES DETERMINES THAT OWNER'S RELOCATION OR ALTERATION REQUIRES NEW OR UPDATED EASEMENTS, OWNER SHALL CONVEY THOSE EASEMENTS PRIOR TO RELOCATING OR ALTERING THE EXISTING UTILITY FACILITIES.
- OWNER SHALL DEDICATE BY PLAT AND/OR CONVEY BY RECORDED DOCUMENT, ALL PROPERTY AND EASEMENTS THAT SPRINGS UTILITIES DETERMINES ARE REQUIRED FOR ALL UTILITY SYSTEM FACILITIES NECESSARY TO SERVE THE PROPERTY OR TO ENSURE DEVELOPMENT OF AN INTEGRATED UTILITY SYSTEM. ALL EASEMENTS GRANTED BY SEPARATE INSTRUMENT SHALL UTILIZE SPRINGS UTILITIES' THEN-CURRENT PERMANENT EASEMENT AGREEMENT FORM.
- OWNER MUST CONTACT SPRINGS UTILITIES FIELD ENGINEERING TO DETERMINE THE LOCATION OF ALL NATURAL GAS METERS TO SECURE APPROVAL OF GAS-SERVICE-LINE PRESSURES IN EXCESS OF SPRINGS UTILITIES STANDARD GAS SYSTEM PRESSURE. (CONTACT FIELD ENGINEERING NORTH 668-4985 OR SOUTH 668-5564).
- IT SHALL NOT BE PERMISSIBLE FOR ANY PERSON TO MODIFY THE GRADE OF THE EARTH WITHIN ANY SPRINGS UTILITIES EASEMENT OR RIGHTS OF WAY WITHOUT THE WRITTEN APPROVAL OF SPRINGS UTILITIES. IMPROVEMENTS, STRUCTURES, AND TREES SHALL NOT BE LOCATED WITHIN UTILITY EASEMENT, SHALL NOT VIOLATE NATIONAL ELECTRIC SAFETY CODE (NEC) PROVISIONS AND CLEARANCES, AND SHALL NOT IMPAIR ACCESS OR THE ABILITY TO MAINTAIN UTILITY FACILITIES.
- SPRINGS UTILITIES APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF SPRINGS UTILITIES TO APPLY ITS STANDARDS; AND IF THERE ARE ANY CONFLICTS BETWEEN ANY APPROVED DRAWINGS AND ANY PROVISION OF STANDARDS OR THE CITY CODE, THEN THE STANDARDS OR CITY CODE SHALL APPLY. SPRINGS UTILITIES' APPROVAL OF THIS PRELIMINARY UTILITY PLAN SHALL NOT BE CONSTRUED AS A LIMITATION UPON THE AUTHORITY OF THE CITY OF FALCON OR SPRINGS UTILITIES TO ADOPT DIFFERENT ORDINANCES, RULES, REGULATIONS, RESOLUTIONS, POLICIES OR CODES WHICH CHANGE ANY OF THE PROVISIONS OF THE STANDARDS SO LONG AS THESE APPLY TO THE CITY GENERALLY AND ARE IN ACCORD WITH THE THEN-CURRENT TARIFFS, RATES AND POLICIES OF SPRINGS UTILITIES.



cushingterrell.com
800.757.9522



7105 N MERIDIAN RD.
FALCON, CO
LES SCHWAB TIRE CENTER



© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

09.01.2021
DRAWN BY | WALLKER
CHECKED BY | GRAHAM
REVISIONS

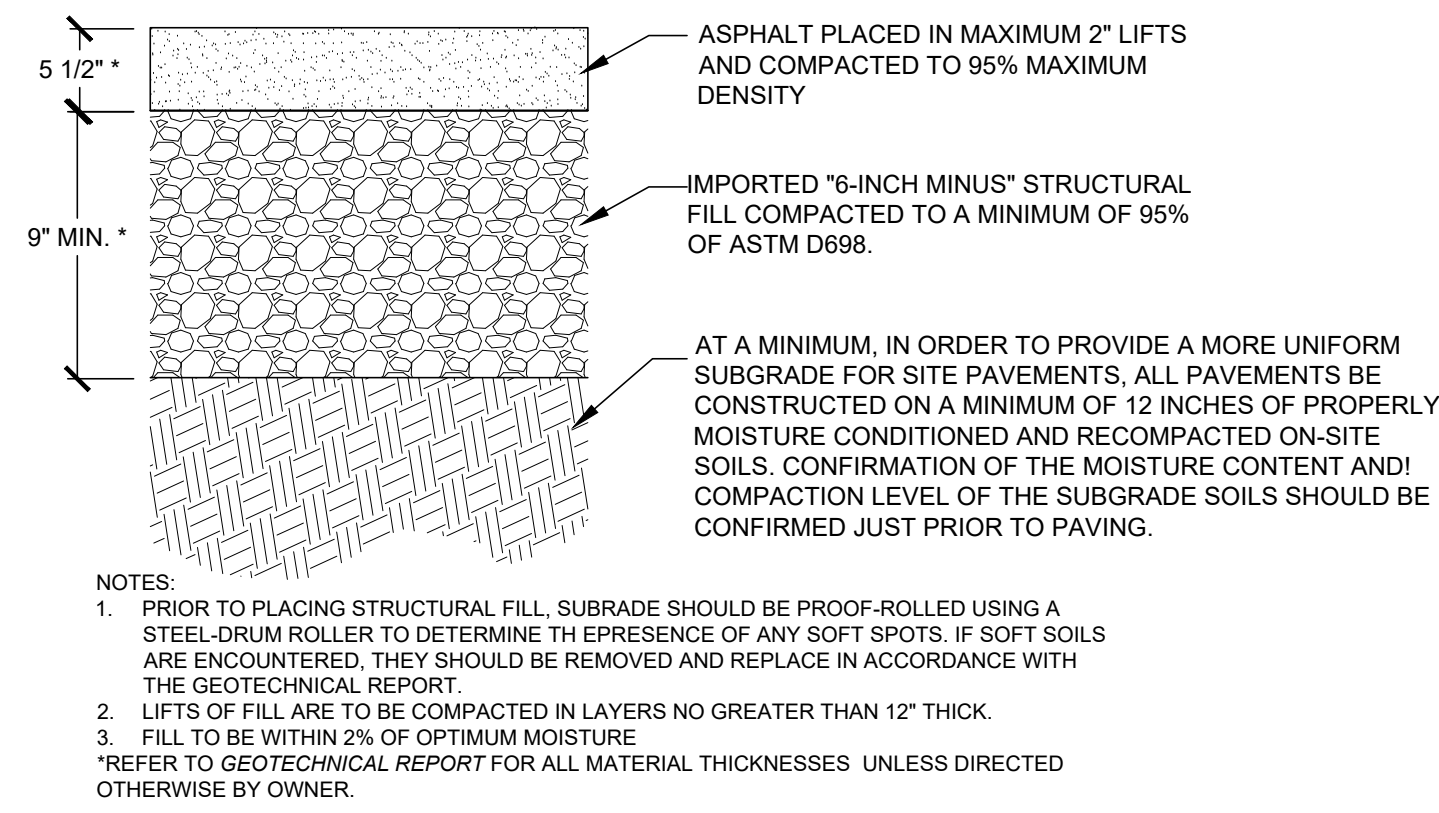
UTILITY PLAN

C300

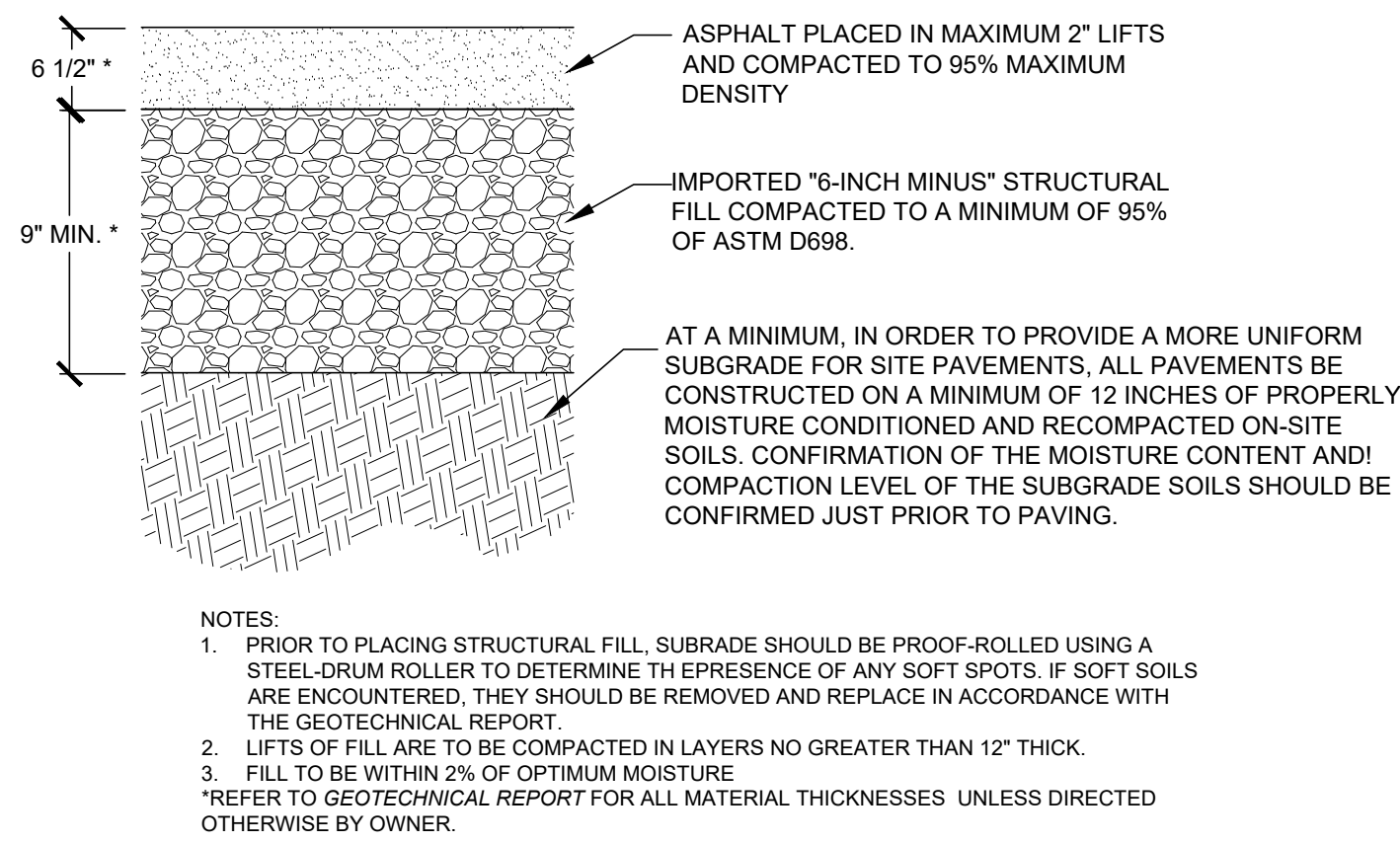
UTILITY CONTACTS

SANITARY SEWER WOODMAN HILLS METRO DISTRICT 8046 EASTON RD, FALCON, CO 80831 (719) 295-2500	GAS COLORADO SPRINGS UTILITIES 111 S. CASCADE AVE, COLORADO SPRINGS, CO 80903 (719) 448-4808	WATER FALCON HIGHLANDS METRO DISTRICT 111 S. TEJON ST, #705 COLORADO SPRINGS, CO 80903 (719) 635-0330	POWER MOUNTAIN VIEW ELECTRIC 1140 E WOODMEN ROAD FALCON, CO 80831 (800) 388-9881	PHONE/CABLE CONTRACTOR TO COORDINATE SERVICE PROVIDER WITH OWNER
--	---	--	---	---

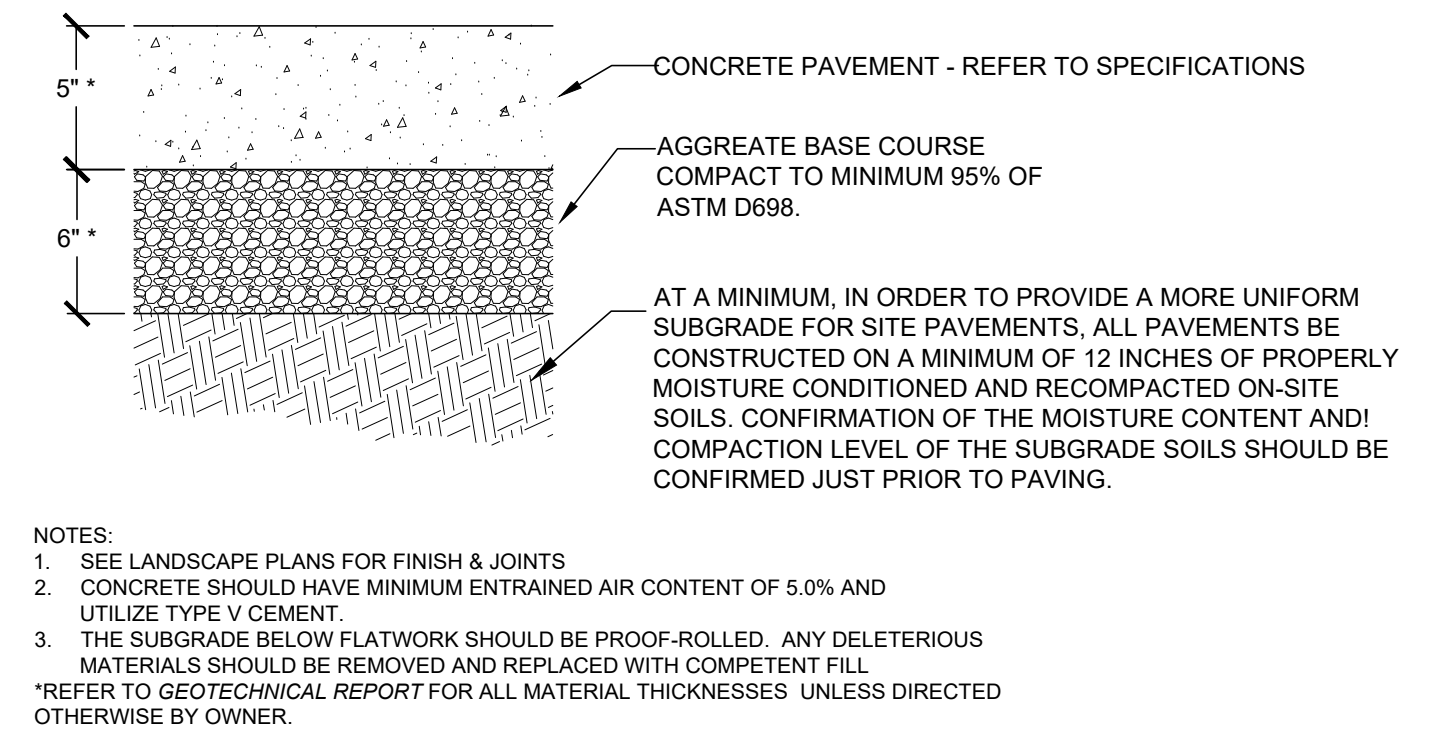




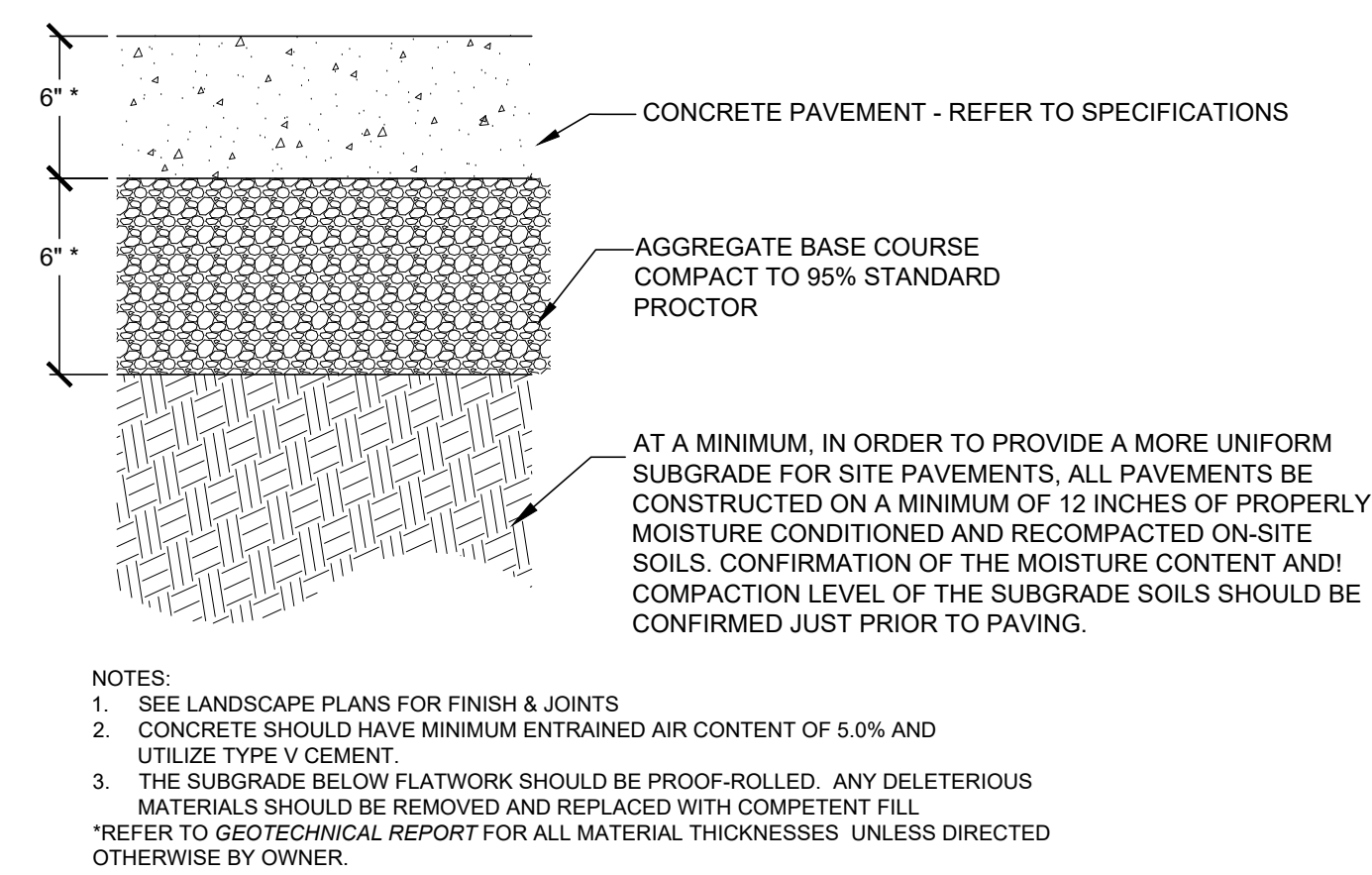
1 ASPHALT PAVEMENT - STANDARD
C400 CROSS SECTION NOT TO SCALE



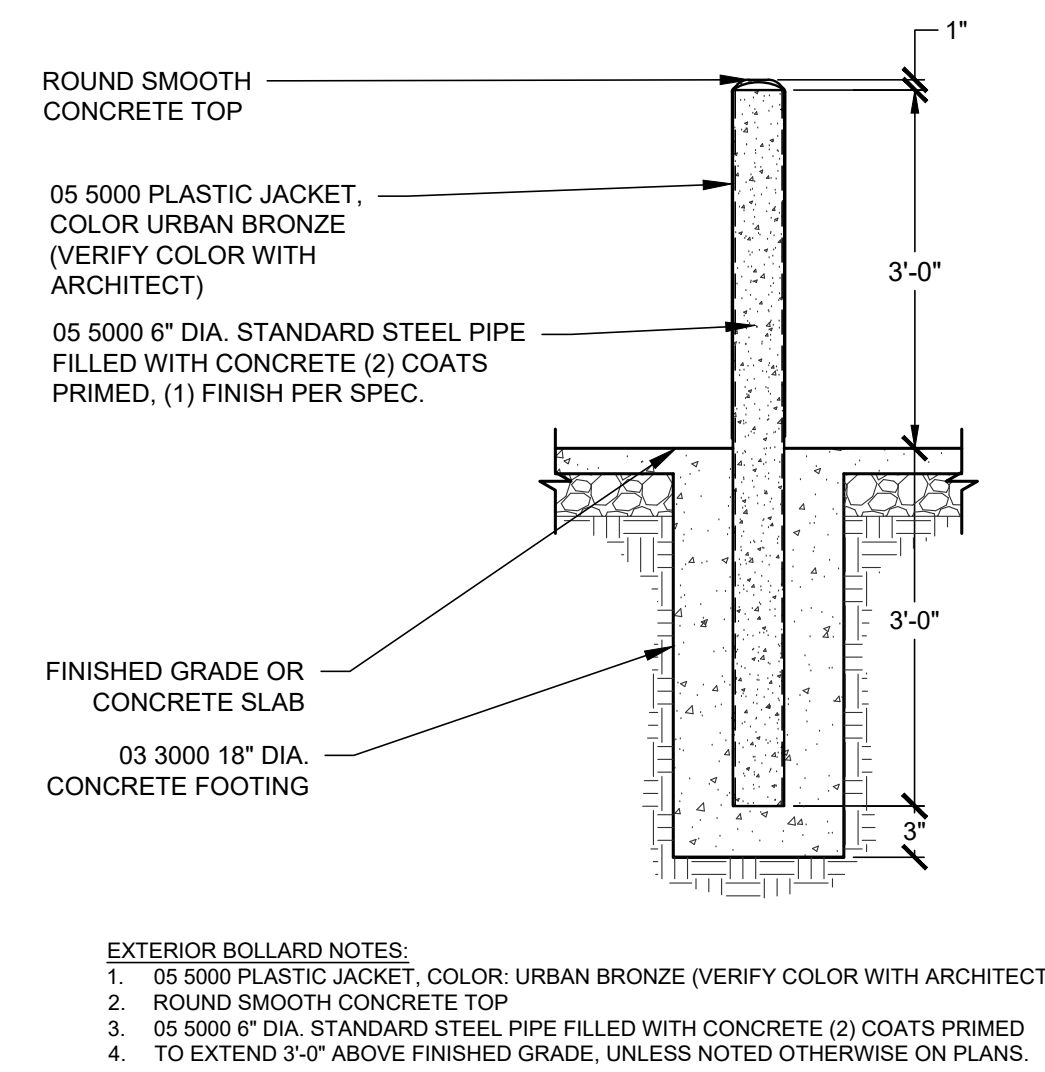
2 ASPHALT PAVEMENT - HEAVY DUTY
C400 CROSS SECTION NOT TO SCALE



3 CONCRETE PAVEMENT- STANDARD DUTY
C400 CROSS SECTION NOT TO SCALE

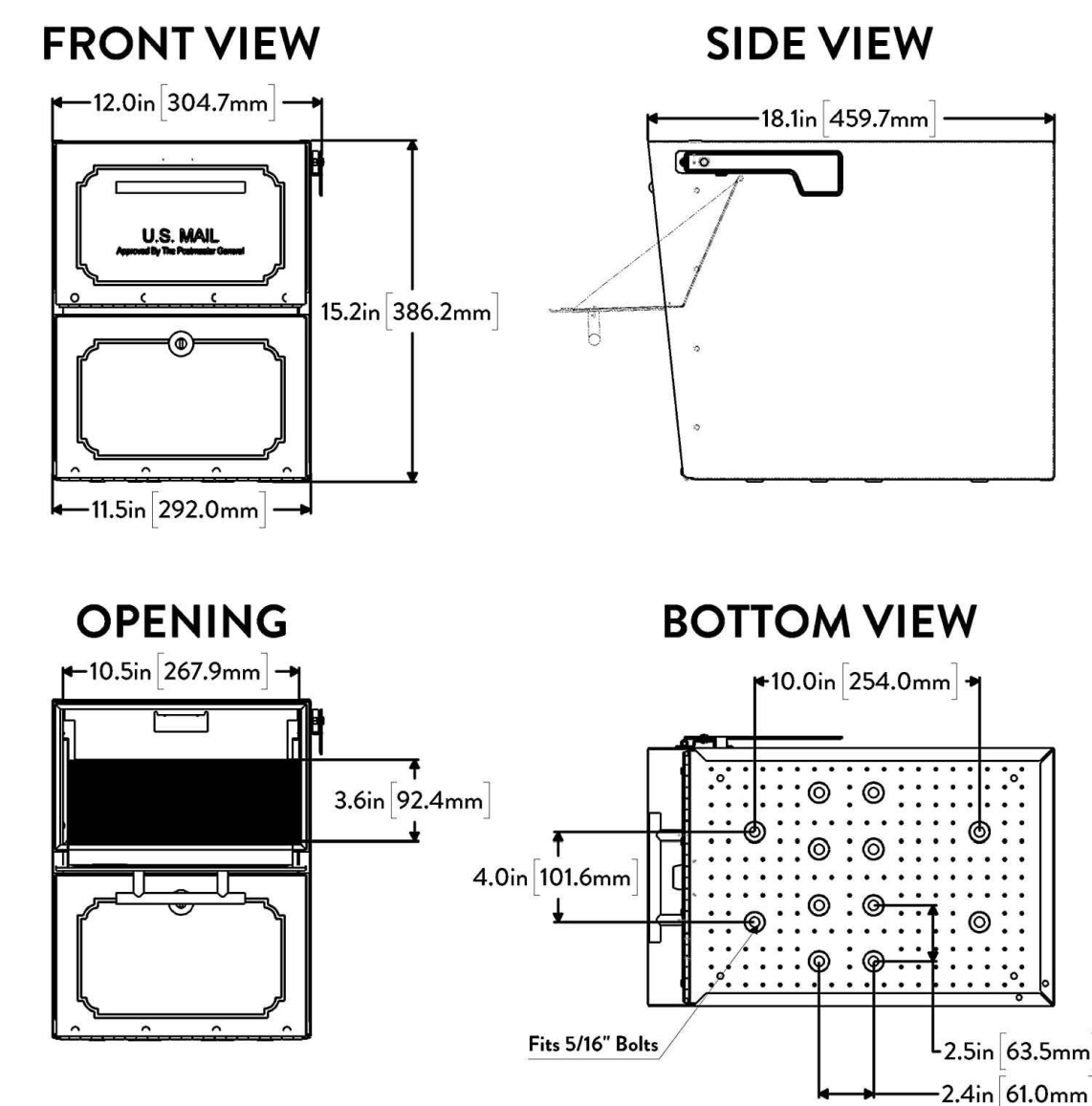


4 CONCRETE PAVEMENT - HEAVY DUTY
C400 CROSS SECTION NOT TO SCALE



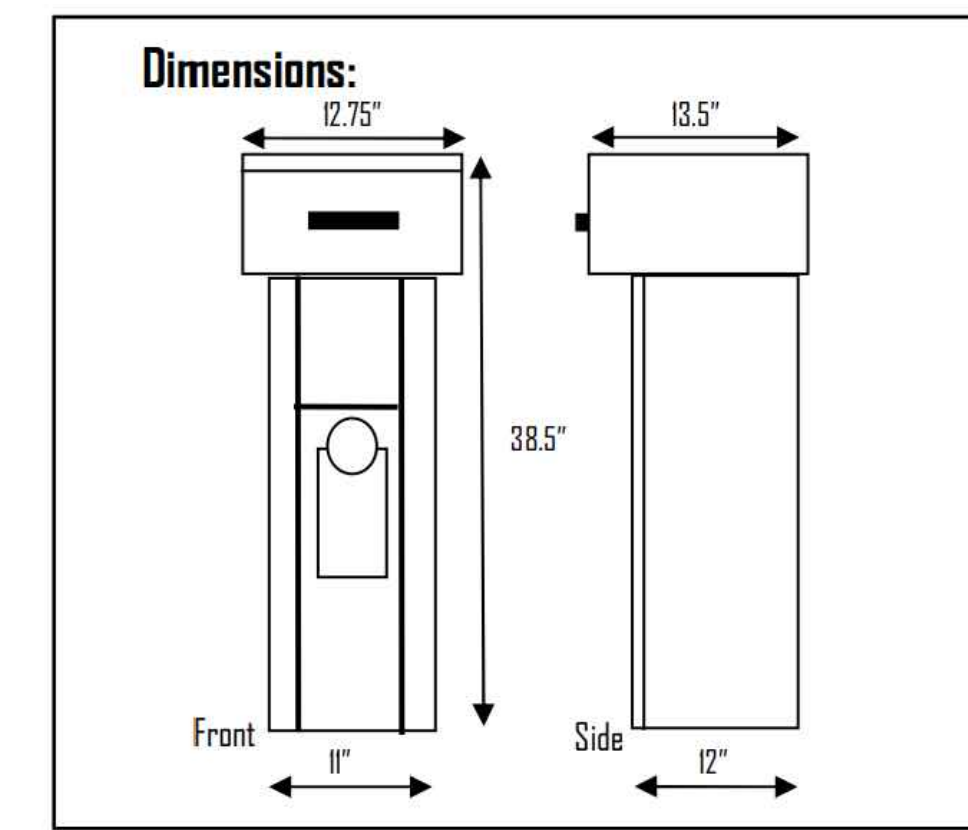
5 6" DIA. BOLLARD
C400 CROSS SECTION NOT TO SCALE

6 NOT USED
C400 CROSS SECTION NOT TO SCALE

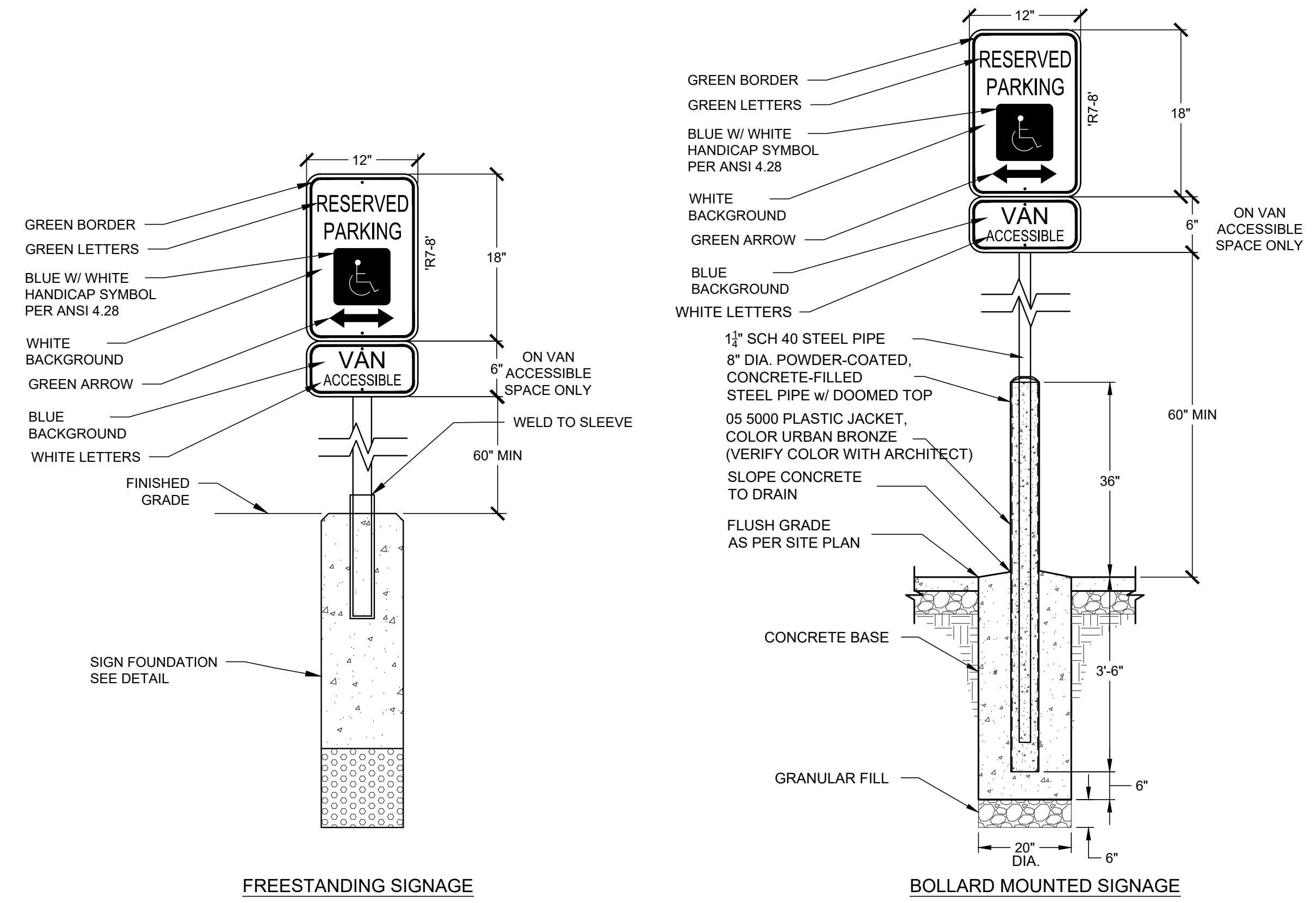


8 OASIS CLASSIC MAILBOX
C400 CROSS SECTION NOT TO SCALE

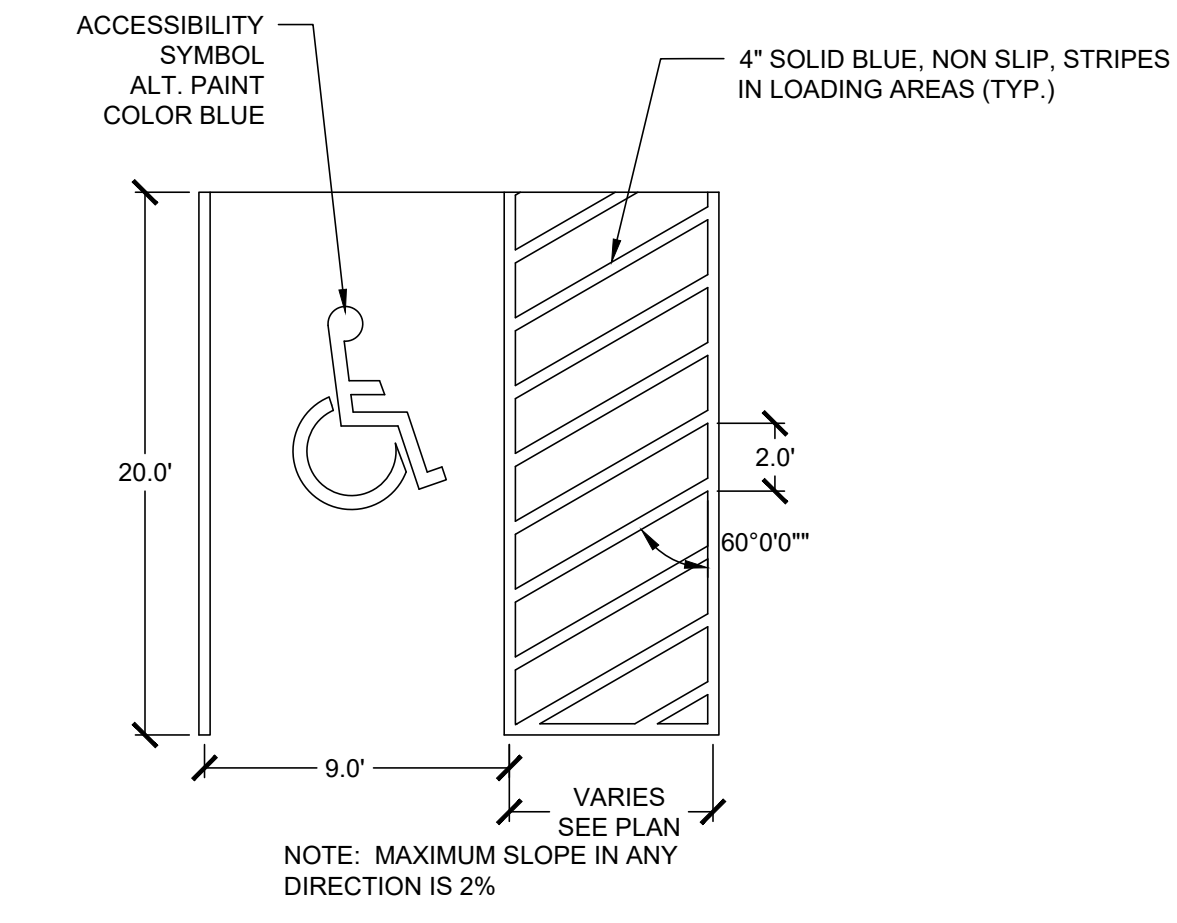
7 NOT USED
C400 CROSS SECTION NOT TO SCALE



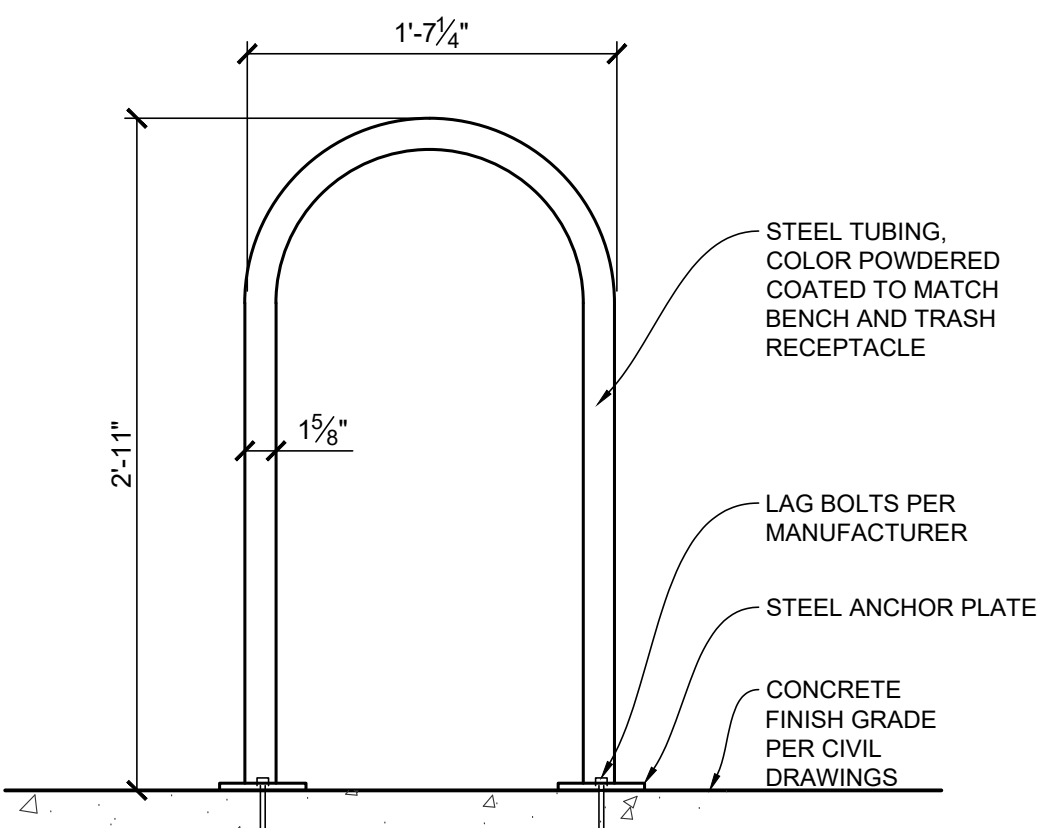
1 KEY KEEPER KEY DROP
C401 NOT TO SCALE



FREESTANDING SIGNAGE
2 ADA SIGNAGE DETAIL
C401 NOT TO SCALE
BOLLARD MOUNTED SIGNAGE

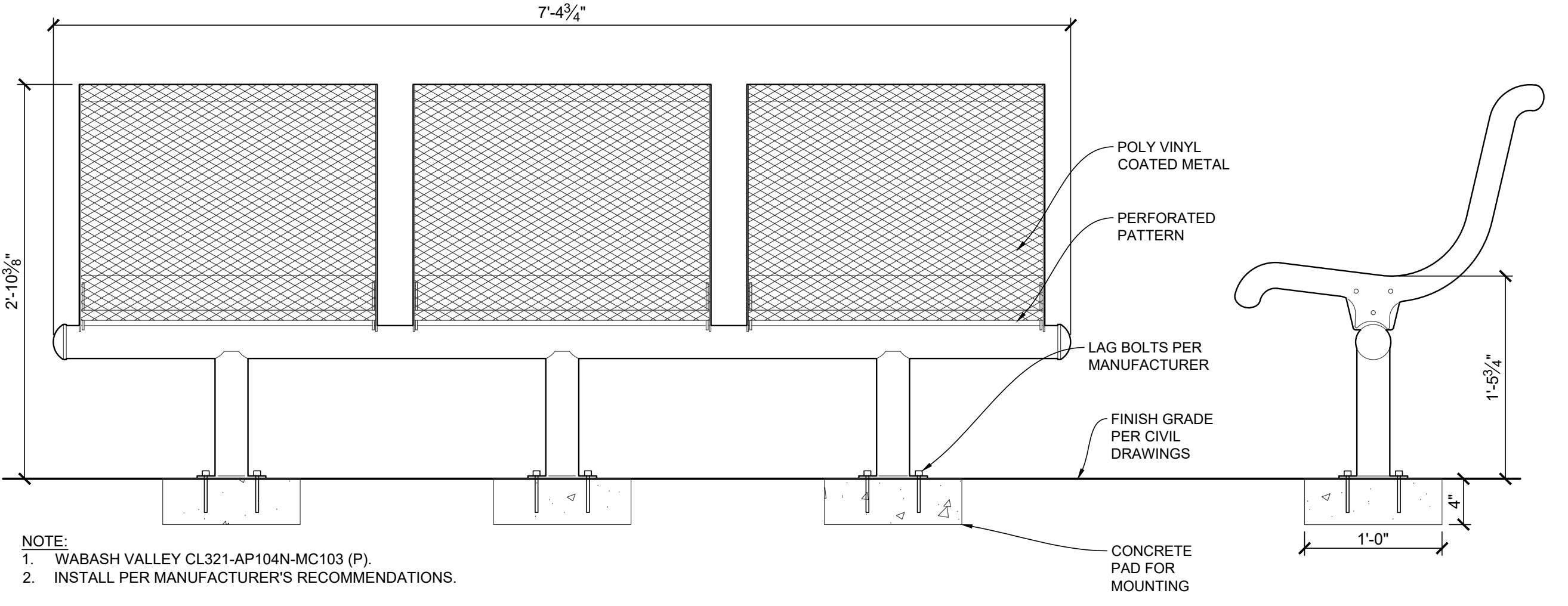


3 ACCESSIBLE PARKING STRIPING
C401 NOT TO SCALE



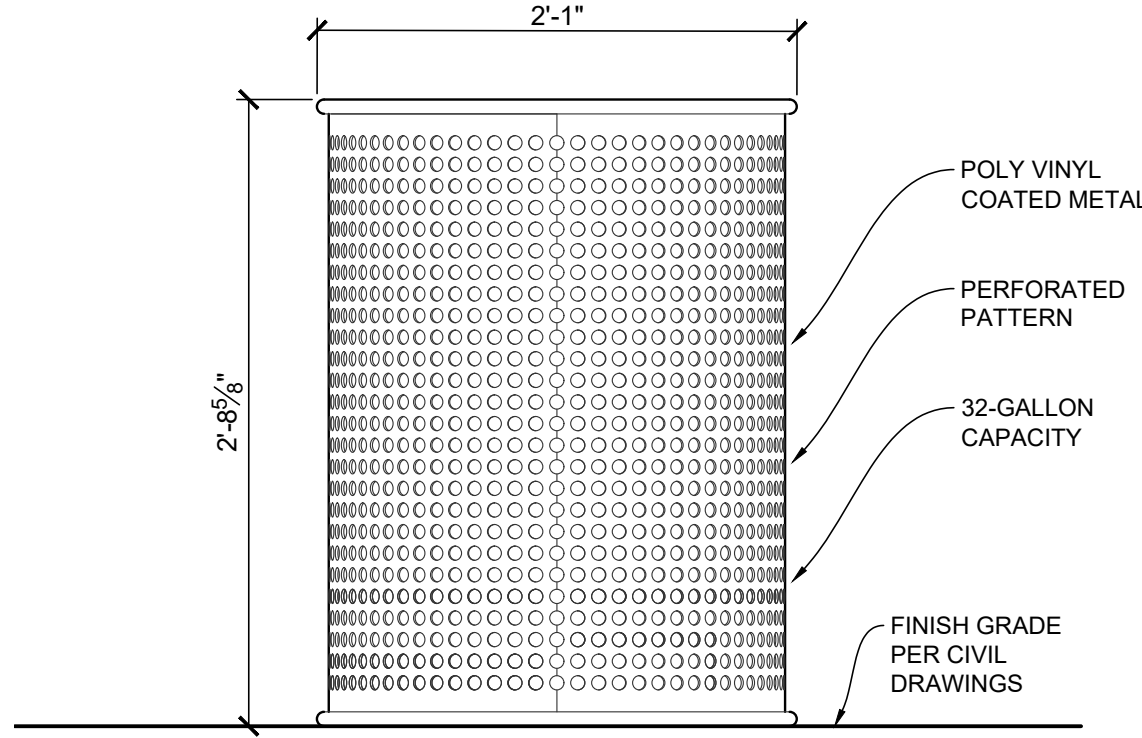
NOTE:
1. MAGLIN MBR500-00003 (MBR500-S), SURFACE MOUNTED, COLOR TO MATCH BENCH AND TRASH.
2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

4 BIKE RACK
C401 NOT TO SCALE



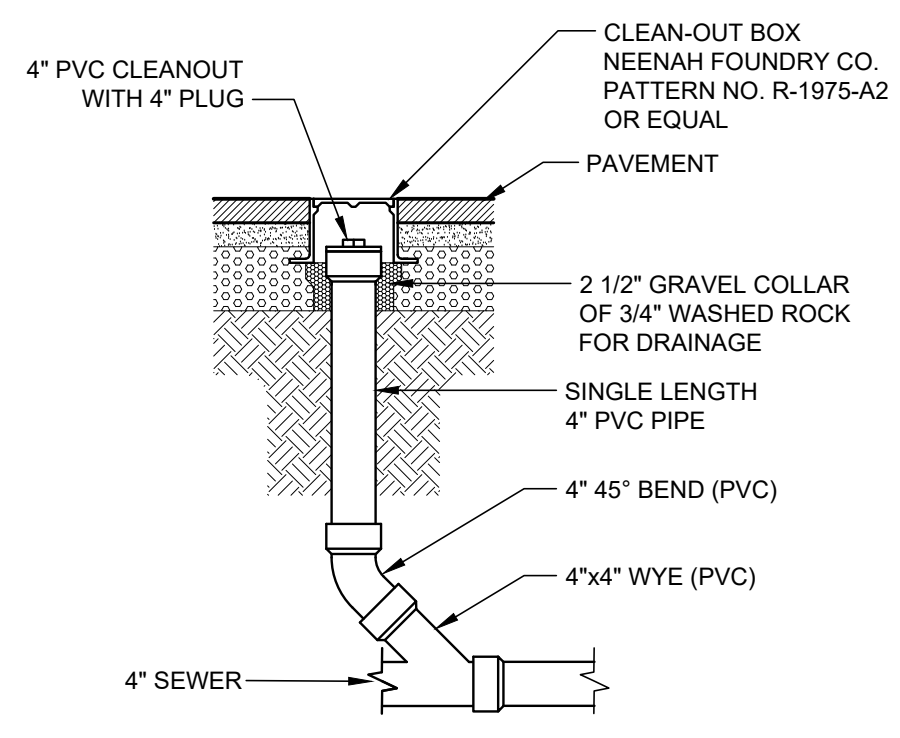
NOTE:
1. WABASH VALLEY CL321-AP104N-MC103 (P).
2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

5 BENCH
C401 NOT TO SCALE

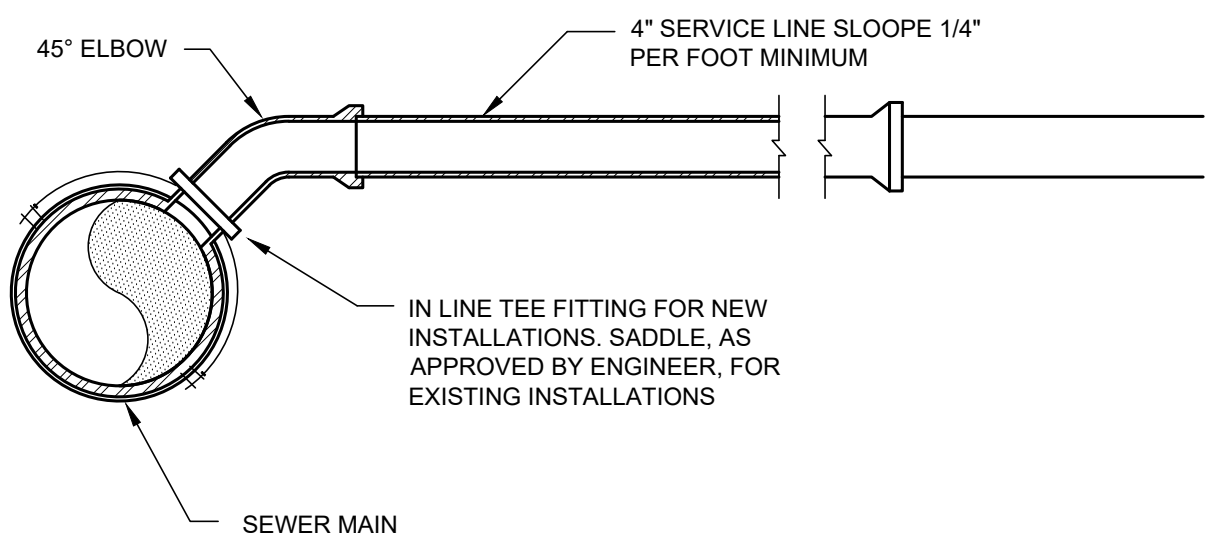


NOTE:
1. SEE SITE LEGEND FOR MANUFACTURER, MAKE, AND MODEL INFORMATION.
2. INSTALL PER MANUFACTURER'S RECOMMENDATIONS.

6 TRASH RECEPTACLE
C401 NOT TO SCALE



7 CLEANOUT
C401 NOT TO SCALE



8 SANITARY CONNECTION
C401 NOT TO SCALE

1 CROSS PAN
C402 NOT TO SCALE

DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-26	
------------------------	----------------------------	------------------------	--------------------	--

2 CURB AND GUTTER
C402 NOT TO SCALE

DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_2-20	
------------------------	----------------------------	------------------------	--------------------	--

3 SIDEWALK CHASE
C402 NOT TO SCALE

DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 12/8/15	FILE NAME: SD_3-25	
------------------------	----------------------------	------------------------	--------------------	--

4 SAND OIL INTERECPTOR
C402 NOT TO SCALE

GALLON CAPACITY	MODEL NO.	DIM "A"	DIM "B"	DIM "C"	DIM "D"	DIM "E"	DIM "F"	WEIGHT
320	463-G	4'-0"	6'-0"	2'-0"	2'-2"	3'-0"	2'-10"	7,533
500	4113-G	4'-0"	11'-0"	2'-0"	2'-2"	3'-0"	2'-10"	11,631
750	4114-G	4'-0"	11'-0"	2'-8"	2'-8"	4'-0"	3'-10"	14,031
1000	4146-G	4'-0"	11'-0"	3'-2"	3'-2"	4'-0"	4'-4"	15,330
1250	4115-G	4'-0"	11'-0"	4'-0"	4'-2"	5'-0"	4'-10"	16,431
1500	4116-G	4'-0"	11'-0"	5'-0"	5'-2"	6'-0"	5'-10"	16,831
1800	4180-G	4'-0"	11'-0"	5'-8"	5'-8"	6'-6"	6'-4"	20,031
2000	4117-G	4'-0"	11'-0"	6'-0"	6'-2"	7'-0"	6'-10"	21,231
2500	4186-G	4'-0"	12'-0"	4'-0"	4'-8"	6'-0"	6'-10"	24,529
3000	4280-G	4'-0"	12'-0"	5'-4"	5'-8"	7'-0"	6'-10"	27,444
3500	11125-G	11'-0"	12'-0"	3'-8"	3'-10"	5'-0"	4'-10"	37,890
5000	11129-G	11'-0"	17'-0"	3'-8"	3'-10"	5'-0"	4'-10"	47,085
5500	11130-G	11'-0"	17'-0"	4'-0"	4'-2"	5'-9"	5'-3"	51,451
6000	11195-G	11'-0"	19'-0"	4'-0"	4'-2"	5'-9"	5'-3"	55,897
7000	11225-G	11'-0"	22'-0"	4'-0"	4'-2"	5'-0"	4'-10"	65,583
8000	11226-G	11'-0"	22'-0"	4'-6"	4'-8"	5'-9"	5'-3"	62,566
9000	11278-G	11'-0"	27'-0"	4'-0"	4'-2"	5'-9"	5'-3"	73,680
10000	11286-G	11'-0"	29'-0"	4'-6"	4'-8"	5'-9"	5'-3"	78,126
11000	11348-G	11'-0"	34'-0"	4'-0"	4'-2"	5'-9"	5'-3"	89,241

Notes:
1. Concrete: 28 Day Compressive Strength $f'c = 4500$ psi
2. Rebar: ASTM A-615 Grade 60
3. Mesh: ASTM A-185 Grade 65
4. Design: AGI-318-DZ Building Code
5. ASTM C-857 Minimum Structural Design Loading For Underground Precast Concrete Utility Structures
6. Loads: H=20 Truck Wheel w/ 30% Impact Per AASHTO
7. Contractor To Supply & Install All Piping & Sampling Tees
8. Gray Water Only.

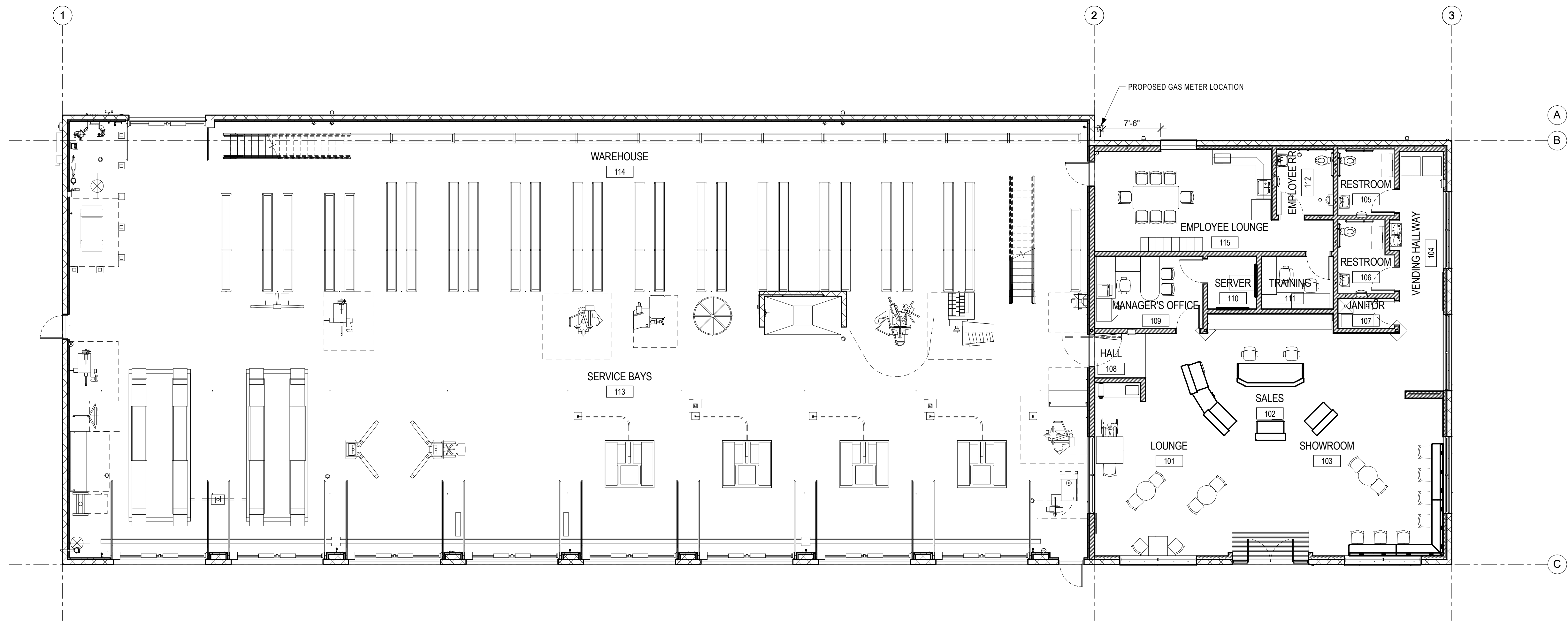
DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 11/10/04	FILE NAME: SD_4-20	
------------------------	----------------------------	-------------------------	--------------------	--

4 SAND OIL INTERECPTOR
C402 NOT TO SCALE

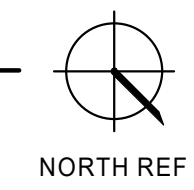
DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 11/10/04	FILE NAME: SD_4-20	
------------------------	----------------------------	-------------------------	--------------------	--

5 ASPHALT REPAIR
C402 NOT TO SCALE

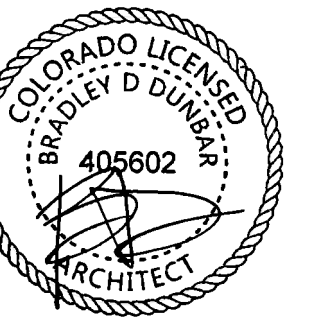
DATE APPROVED: 8/11/11	DESIGNER: André P. Brackin	REVISION DATE: 11/10/04	FILE NAME: SD_4-20	
------------------------	----------------------------	-------------------------	--------------------	--



1 FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"



NOT FOR CONSTRUCTION - PRELIMINARY DESIGN



7-20-2021
© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

07.21.2021

DRAWN BY | JONES
REVISIONS

FLOOR PLAN

A1.1



1 FRONT PERSPECTIVE
A2.0 N.T.S.



2 FRONT PERSPECTIVE @ SERVICE BAYS
A2.0 N.T.S.



3 SITE AERIAL VIEW
A2.0 N.T.S.

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

7105 N MERIDIAN RD.
FALCON, CO

LES SCHWAB TIRE CENTER

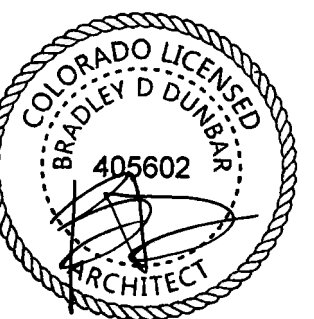
7-20-2021
© 2021 | ALL RIGHTS RESERVED

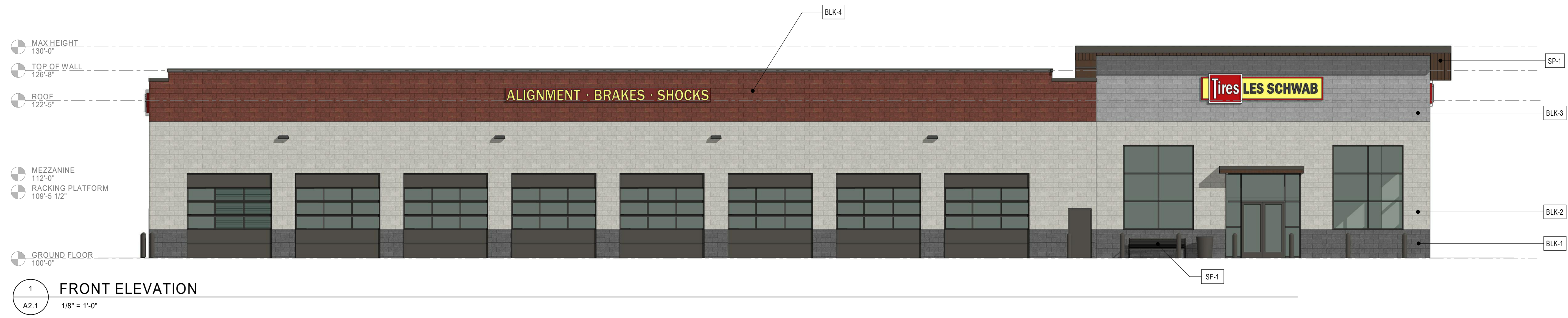
SITE DEVELOPMENT PLANS

07.21.2021
DRAWN BY | JONES
REVISIONS

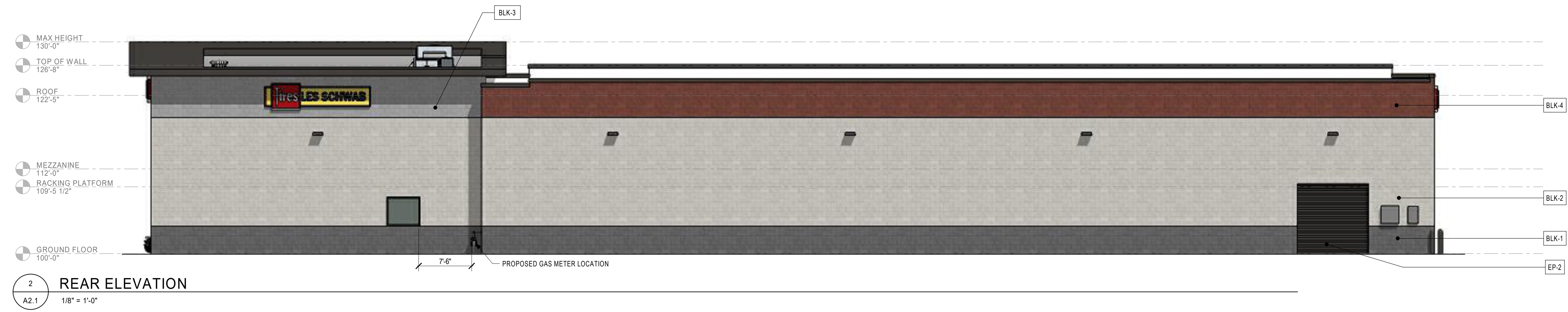
EXTERIOR VIEWS

A2.0





1 FRONT ELEVATION
A2.1 1/8" = 1'-0"



2 REAR ELEVATION
A2.1 1/8" = 1'-0"



3 SERVICE END ELEVATION
A2.1 1/8" = 1'-0"



4 SHOWROOM ELEVATION
A2.1 1/8" = 1'-0"

ELEVATION GENERAL NOTES:

- A. ANY SIGNAGE DEPICTED ON ELEVATIONS IS TO BE PERMITTED SEPARATELY, BY OWNER.
- B. ALL VERTICAL DIMENSIONS SHOWN ARE FROM FINISH FLOOR.
- C. REF CIVIL AND STRUCTURAL DRAWINGS FOR GRADE CHANGES AND RETAINING WALL DIMENSIONS AND LOCATIONS.
- D. CONNECT ALL ROOF DRAINS AND DOWNSPOUTS TO SUBGRADE DRAINAGE SYSTEM. REF CIVIL DRAWINGS.
- E. COORDINATE WITH SIGNAGE PLANS REQUIRED STRUCTURAL BACKING IN CMU AND REQUIRED ELECTRICAL ROUGH-IN LOCATIONS.
- F. VERIFY LOCAL FIRE DEPARTMENT REQUIREMENTS FOR ADDRESS NUMBER LOCATION.

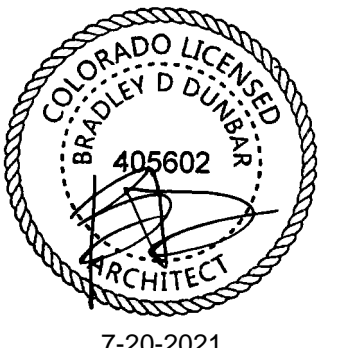
MATERIAL LEGEND:

- BLK-1 ANGELUS CMU SPLIT FACE, (ONYX)
- BLK-2 ANGELUS CMU SPLIT BURNISHED, (MISSION WHITE)
- BLK-3 ANGELUS CMU PRECISION, (GREYSTONE)
- BLK-4 ANGELUS CMU SPLIT FACE, (LANERA RED)
- SP-1 SOFFIT PANEL 6" V-GROOVE PLANKS (WHITE OAK NATURAL)
- SF-1 SITE FURNISHINGS IN DARK BRONZE, TRASH RECEPTACLE AND BENCH
- EP-2 EXTERIOR PAINT TYPE-2 (MATCH VALSPAR 397B792 FLUOROPON EXTRA DARK BRONZE)

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

7105 N MERIDIAN RD.
FALCON, CO

LES SCHWAB TIRE CENTER



7-20-2021
© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

07.21.2021
DRAWN BY | CEN
REVISIONS

EXTERIOR ELEVATIONS

A2.1



GENERAL NOTES

- A. PHOTOMETRIC CALCULATIONS DO NOT INCLUDE CONTRIBUTION FROM STREET LIGHTING OR LIGHTING FROM ADJACENT PROPERTY.
- B. ALL FIXTURES SHALL BE FULL CUT-OFF AND MOUNTED IN FULL CUT-OFF POSITION; ALL SITE POLES SHALL BE ROUND AND PAINTED IN A DARK, NON-REFLECTIVE COLOR.

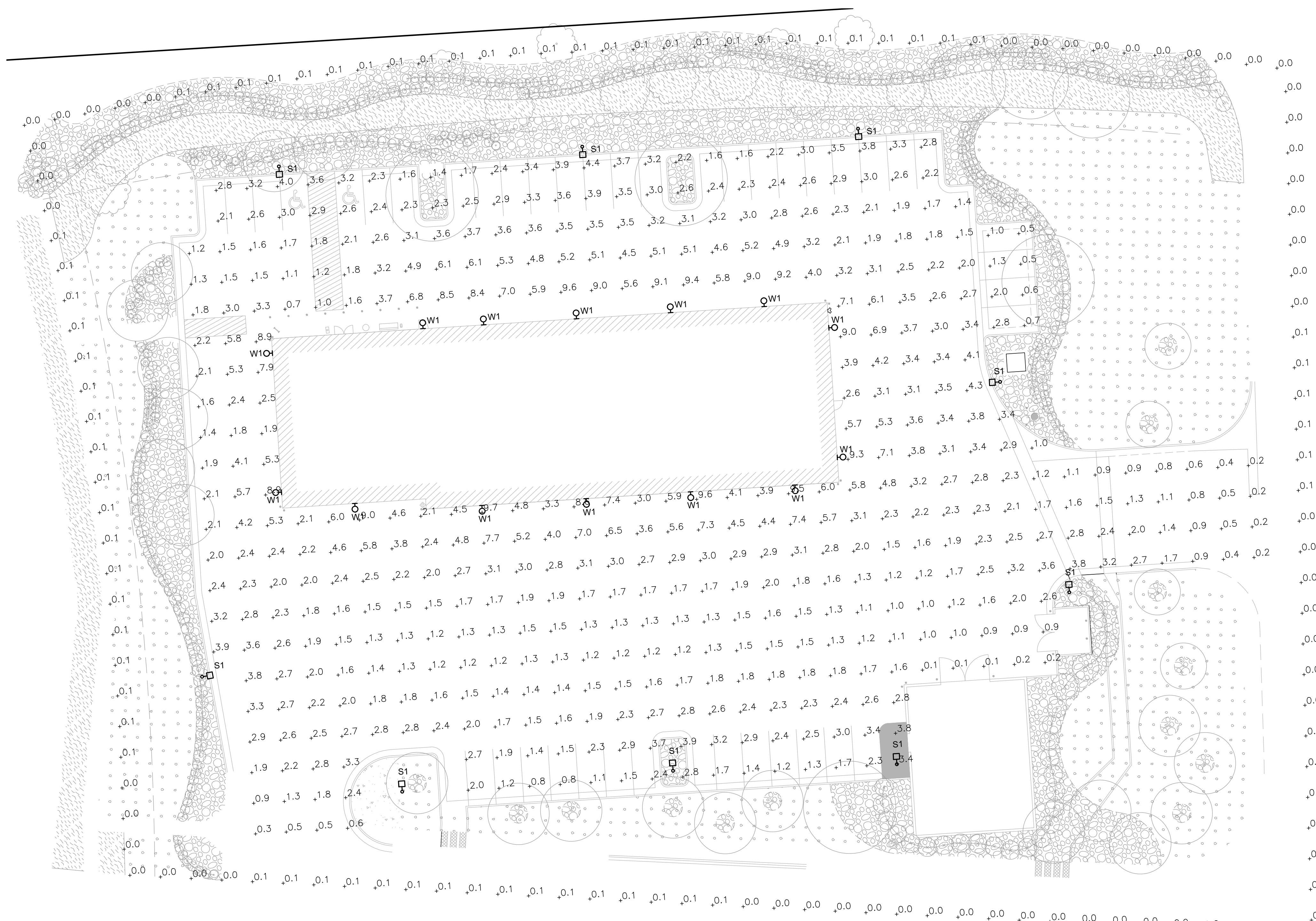
LEGEND

- □ POLE MOUNTED LIGHT
- WALL MOUNTED LIGHT

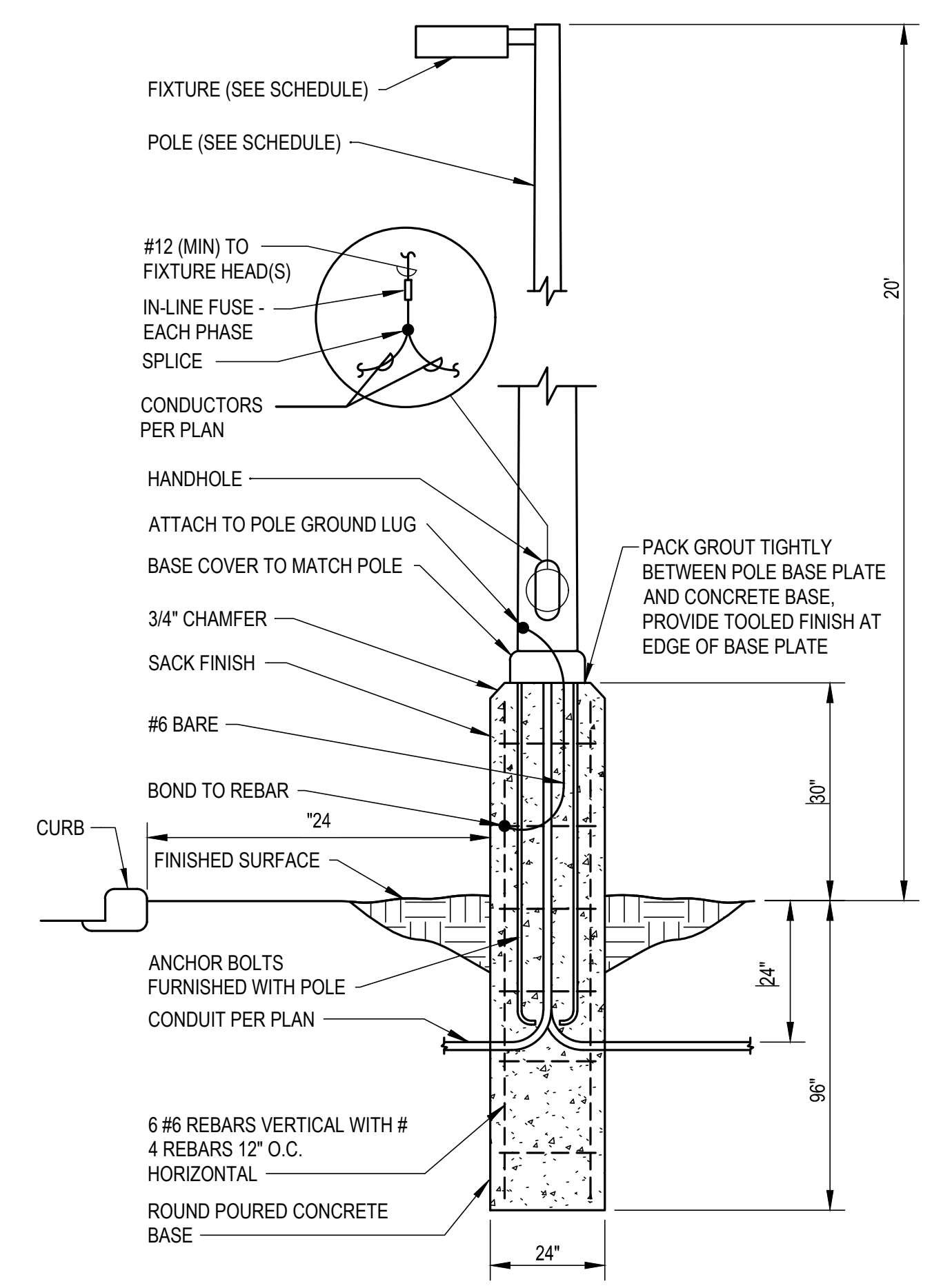
SITE LIGHTING SCHEDULE										
TYPE	DESCRIPTION	MANUFACTURER	CATALOG NUMBER	NOTES	VOLTS	LUMENS	WATTS	MOUNTING TYPE	HEIGHT	LAMP TYPE
S1	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE 4 DISTRIBUTION WITH SPILL CONTROL, MOTION SENSOR CONTROLLED DIMMING.	MCGRAW-EDISON	GLEON-SA2B-740-2-SL4-BZ-FF-MS/DIM-L40W	1, 2, 3	208	11,111	85	POLE	20'	LED, 4000K
S-POLE	ROUND TAPERED STEEL POLE, DARK BRONZE, 20' MOUNTING HEIGHT	MCGRAW-EDISON	RTS6A20S-F-N-1-X-G	1, 4						
W1	LED WALL MOUNTED FIXTURE, FULL CUT-OFF, DARK BRONZE FINISH AND MOTION SENSOR CONTROLLED DIMMING.	LUMARK	XTOR6B-W-BZ-MS/DIM-L20	1, 2	120-277	6,038	58	WALL	15'	LED, 4000K

NOTES: 1. COLOR SHALL BE DARK BRONZE. VERIFY FIXTURES AND POLES HAVE MATCHING FINISH.
2. FIXTURE SHALL BE CONTROLLED BY PROGRAMMABLE LIGHTING PANEL TO DISABLE OPERATION BETWEEN 11:00 PM AND 6:00 AM OR AS REQUIRED BY AHJ.
3. INSTALL FIXTURE HEAD WITH 0° TILT TO PROVIDE FULL-CUT-OFF DISTRIBUTION (NO LIGHT OUTPUT EMITTED ABOVE 90 DEGREES AT ANY LATERAL ANGLE AROUND THE FIXTURE).
4. COORDINATE OVERALL POLE LENGTH WITH FACTORY TO PROVIDE 20' FIXTURE MOUNTING HEIGHT WITH 30" CONCRETE BASE. PROVIDE POLE MFR'S RECOMMENDED ANCHOR BOLTS.

PHOTOMETRIC STATISTICS - ILLUMINANCE IN FOOT-CANDLES					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
PARKING LOT	+	2.8 fc	9.7 fc	0.1 fc	28.0:1
PROPERTY LINE	+	0.1 fc	0.1 fc	0.0 fc	N/A



1 SITE LIGHTING PLAN
E100
NORTH
SCALE: 1" = 20'



2 LIGHTING POLE BASE DETAIL
E100
NOT TO SCALE

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

7105 N MERIDIAN RD.
FALCON, CO

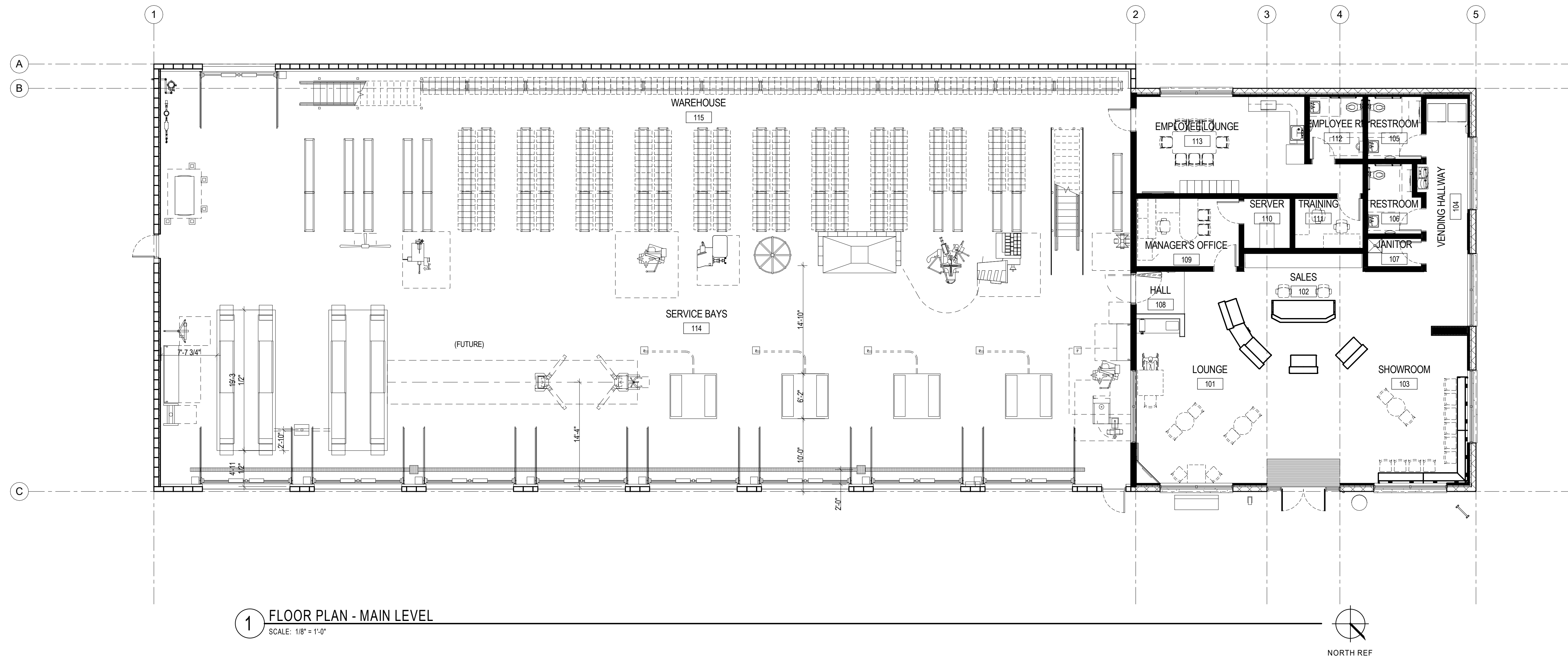
LES SCHWAB TIRE CENTER

© 2021 | ALL RIGHTS RESERVED
SITE DEVELOPMENT PLANS

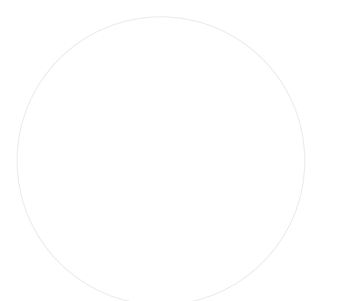
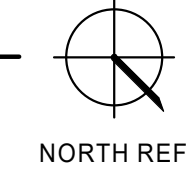
07.21.2021
DRAWN BY | MTB
CHECKED BY |
REVISIONS

SITE LIGHTING PLAN

E100



1 FLOOR PLAN - MAIN LEVEL
SCALE: 1/8" = 1'-0"





EL PASO COUNTY - 6.2.2. LANDSCAPE REQUIREMENTS

(B) Roadway Landscaping Requirements.

REQUIRED	PROVIDED
(1) Minimum Depth of Roadway Landscaping Area. Where a roadway easement has been provided, the measurement shall be from the ROW or roadway easement. MERIDIAN RD (PRINCIPAL ARTERIAL), 25 FOOT DEPTH, 1 TREE PER 20 FEET 348.20 FEET x 20 FEET = 17.31 TREES OLD MERIDIAN RD (COLLECTOR, NON-ARTERIAL), 10 FOOT DEPTH, 1 TREE PER 30 FEET 247.12 x 30 = 8.24 TREES PRIVATE DRIVE 'A' (NON-ARTERIAL), 10 FOOT DEPTH, 1 TREE PER 30 FEET 207.69 x 30 = 6.92 TREES PRIVATE DRIVE 'B' (NON-ARTERIAL), 10 FOOT DEPTH, 1 TREE PER 30 FEET 288.76 x 30 = 9.63 TREES	MERIDIAN RD: 17 TREES PROVIDED (12 EXISTING, 5 PROPOSED) OLD MERIDIAN RD: 8 TREES PROVIDED (2 EXISTING, 6 PROPOSED) PRIVATE DRIVE 'A': 7 PROPOSED TREES PRIVATE DRIVE 'B': 10 PROPOSED TREES

(C) Parking Lot Landscape Requirements.

REQUIRED	PROVIDED
(1) Required Trees. A tree of a type suitable for parking lots shall be provided for every 15 parking spaces in parking lots with 15 or more parking spaces. The required trees may be clustered and shall be located in a manner which will divide and break up expanses of paving and long rows of parking and create a canopy effect over the parking lot. 43 PARKING SPACES x 15 = 2.86	3 PARKING LOT TREES PROVIDED
(5) Required Parking Lot Screening. The minimum height of the screening shall be 3 feet and may be accomplished by using berms and plantings. A minimum of 2/3 of the road frontage or common lot, parcel, or tract boundary, not counting intersecting driveways, shall be provided with the required screening. 1089.77 FRONTAGE x 2/3 = 726.51 LF OF REQUIRED SCREENING	767.32 LF OF REQUIRED SCREENING PROVIDED

(E) Internal Landscaping.

REQUIRED	PROVIDED
(2) Requirements for Non-Residential Uses. (a) A minimum of 5% of the lot or parcel shall be landscaped. 108,185.51 SF x .05 = 5,409.28 REQUIRED LANDSCAPING	18,745 SF DRYLAND GRASS AND 8,980 SF LANDSCAPE BEDS PROVIDED
(2) Requirements for Non-Residential Uses. (b) A minimum of 1 tree shall be provided for every 500 square feet of required internal landscape area. 5,409.28 SF x 500 SF = 10.82	6 PROPOSED TREES, 5 TREES SUBSTITUTED FOR 50 SHRUBS
(2) Requirements for Non-Residential Uses. (c) Trees Replaced by Shrubs. A maximum of 1/2 of the required trees may be substituted with shrubs adjacent to retaining walls or other structures. At least 10 shrubs with a minimum container size of 5 gallons shall be provided for each tree that is replaced.	5 TREES SUBSTITUTED FOR 50 SHRUBS, EXISTING SHRUBS PROPOSED TO FULFILL REQUIREMENT

(F) Minimum Plant Sizes and Percentage of Live Ground Cover.

REQUIRED	PROVIDED
(1) Landscape Material Specifications. (a) Deciduous Shade Trees. Deciduous shade trees shall be 1 1/2 inch caliper measured 6 inches above ground, balled and burlapped.	ALL DECIDUOUS TREES ARE 1.5 INCHES IN CAL.
(1) (b) Deciduous Ornamental Trees. Deciduous ornamental trees shall be 1 inch caliper measured 6 inches above ground, balled and burlapped.	DECIDUOUS ORNAMENTAL TREES ARE 1 INCH IN CAL.
(1) (d) Evergreen and Deciduous Shrubs. Evergreen and deciduous shrubs, where required, shall be 5 gallon size.	ALL REQUIRED SHRUBS ARE 5 GALLON IN SIZE
(1) (e) Ground Cover and Vines. Ground cover and vines shall be 1 size.	ALL REQUIRED SHRUBS ARE 1 GALLON IN SIZE
(2) Required Live Material Ground Cover. Unless otherwise allowed, required landscape areas shall include a minimum of 75% ground cover by living grass or other living plant materials at maturity. The remaining 25% of the required landscape area may be covered with bark, wood chips, rock, stone, or other landscape materials or may be designed as hard-surfaced pedestrian areas. The foliage crown of trees shall not be counted in meeting the ground cover requirement. 5,409.28 REQUIRED LANDSCAPE x .75 = 4,056.96 REQUIRED LIVING GROUND COVER	18,745 SF DRYLAND GRASS AND APPROXIMATELY 2,100 SF PLANT MATERIAL PROVIDED

(G) Other Required Landscape Areas.

REQUIRED	PROVIDED
(1) Other Areas to be Landscaped or Screened. (b) Refuse Areas Screened. Refuse collection areas, including trash bins, shall be screened from view from adjacent properties and roads by an opaque wall or fence, architectural elements, dense evergreen plantings with a minimum planting height of 6 feet, or berms with dense plantings creating an opaque appearance with a minimum height of 6 feet.	TRASH ENCLOSURE SCREEN WITH DENSE EVERGREEN SHRUBS
(1) Other Areas to be Landscaped or Screened. (d) Landscaping Required Between Lot and Curb. Landscaping is required between the lot, parcel, or tract line and the required roadway landscaping area. Although this landscape area is located within the right-of-way, easement or tract, the adjacent lot, parcel or tract owner shall be responsible for maintenance. Xeric plantings shall be used in order to avoid the need to install an irrigation system within the right-of-way, easement or tract. Xeric plants may require supplemental irrigation to get them established or in times of extreme drought.	DRYLAND SEED PROPOSED BETWEEN LOT AND CURB
(1) Other Areas to be Landscaped or Screened. (f) Outside Storage Area Landscaping Requirements. (i) Site-Specific Landscaping Standards. The site-specific landscaping shall reflect a combination of berms, shrubs, trees, fences or walls which will provide, at maturity, a minimum 6 foot high, 100% opaque screening for the outside storage area.	6-FOOT HIGH MIN SHRUBS PROVIDED AROUND OUTSIDE STORAGE AREA

(I) Approval of Certificate of Occupancy or Use.

REQUIRED	PROVIDED
All required landscaping shall be completed, and then inspected and approved by the PCDD prior to the issuance of a Certificate of Occupancy by the Building Department or establishment of the use, except when financial assurance acceptable to the PCDD Director guaranteeing the completion of the landscaping is provided. Plant substitutions require approval before issuance of a Certificate of Occupancy. Any request for a Certificate of Occupancy prior to the completion of the required landscaping shall include a written request explaining the circumstances why the landscaping cannot be installed, a cost estimate prepared by a qualified party, a landscape completion agreement signed by the owner, and financial assurance acceptable to the PCDD Director. Inspection and certification by a landscape architect of compliance with this Section may be accepted at the discretion of the PCDD Director.	LISTED FOR REFERENCE

PLANT SCHEDULE

WINDSOR, CO HARDINESS ZONE 5B ANNUAL RAINFALL 15 INCHES ANNUAL SNOWFALL 44 INCHES

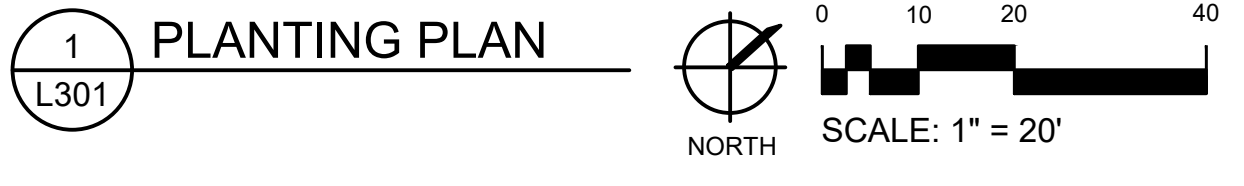
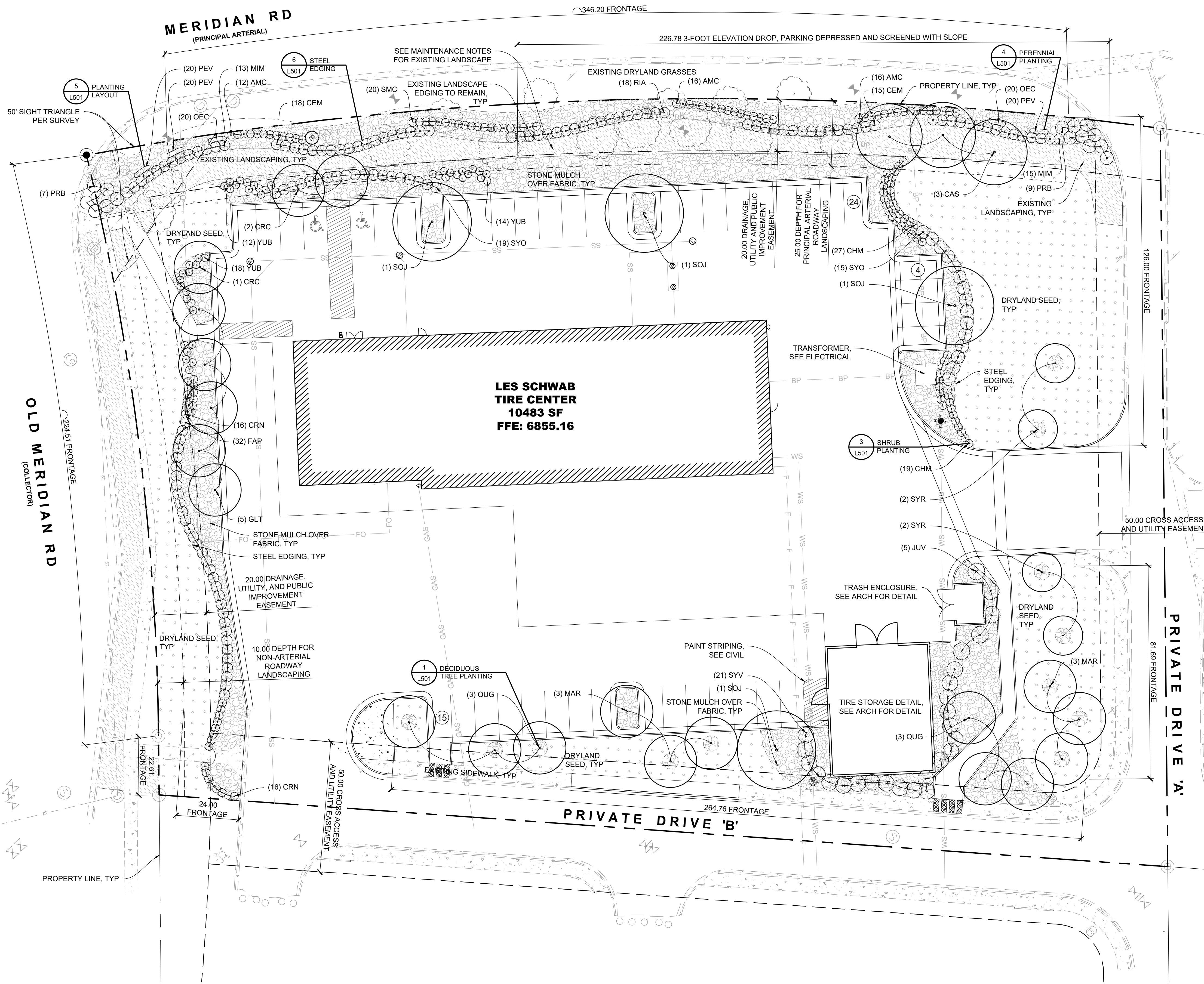
QTY	SYB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT & WIDTH
3	CAS	Catalpa speciosa	Northern Catalpa	1.5" CAL B&B	30-50h x 20-25w
3	CRC	Crataegus crus-galli var. inermis	Thornless Cockspur Hawthorn	1.5" CAL B&B	15-25h x 15-30w
5	GLT	Gleditsia triacanthos 'Draves'	Street Keeper Honeylocust	1.5" CAL B&B	45h x 20w
6	MAL	Malus 'Robinson'	Robinson Crabapple	1.5" CAL B&B	15-25h x 15-25w
6	QUJ	Quercus gambellii	Gambel Oak	1.5" CAL B&B	25 x 12
4	SOJ	Sophora japonica 'Halka'	Millettone Japanese Pagoda Tree	1.5" CAL B&B	25-40h x 20-35w
4	SYR	Syringa reticulata 'Williamette'	Ivory Pillar Japanese Tree Lilac	1.5" CAL B&B	20h x 10-15w

QTY	SYB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT & WIDTH
5	JUV	Juniperus virginiana 'Corcoror'	Emerald Sentinel™ Red Cedar	#5 GAL	12-25h x 4-10w

QTY	SYB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT & WIDTH
44	AMC	Amorpha canescens	Silvery Leadplant	#5 GAL	4h x 3w
33	CEM	Cercocarpus montanus	Mountain Mahogany	#5 GAL	5h x 4w
46	CHM	Chamaebatiaria millefolium	Fernbush	#5 GAL	2-3h x 2-3w
32	CRN	Chrysothamnus nauseosus	Rubber Rabbitbrush	#5 GAL	3-4h x 3-4w
32	FAP	Fallugia paradoxa	Apache Plume	#5 GAL	3-4h x 3-5w
28	MIM	Mirabilis multiflora	Desert Four O'Clock	#5 GAL	18" x 48"
16	PRB	Prunus besseyi 'Pawnee Buttes'	Pawnee Buttes Sandcherry	#5 GAL	4h x 4 w
18	RIA	Ribes aureum	Golden Currant	#5 GAL	5h x 4 w
21	SYV	Syringa vulgaris 'President Grevy'	President Grevy Lilac	#5 GAL	6-8h x 6-8w
34	SYO	Syringocarpus orbiculatus	Coralberry	#5 GAL	3-4h x 4-6w
44	YUB	Yucca baccata	Banana Yucca	#5 GAL	3h x 3w

QTY	SYB	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT & WIDTH
40	OEC	Oenothera caespitosa	White-tufted Evening-Primrose	#1 GAL	6h x 12w
60	PEV	Penstemon virens	Blue Mist Penstemon	#1 GAL	12h x 12w

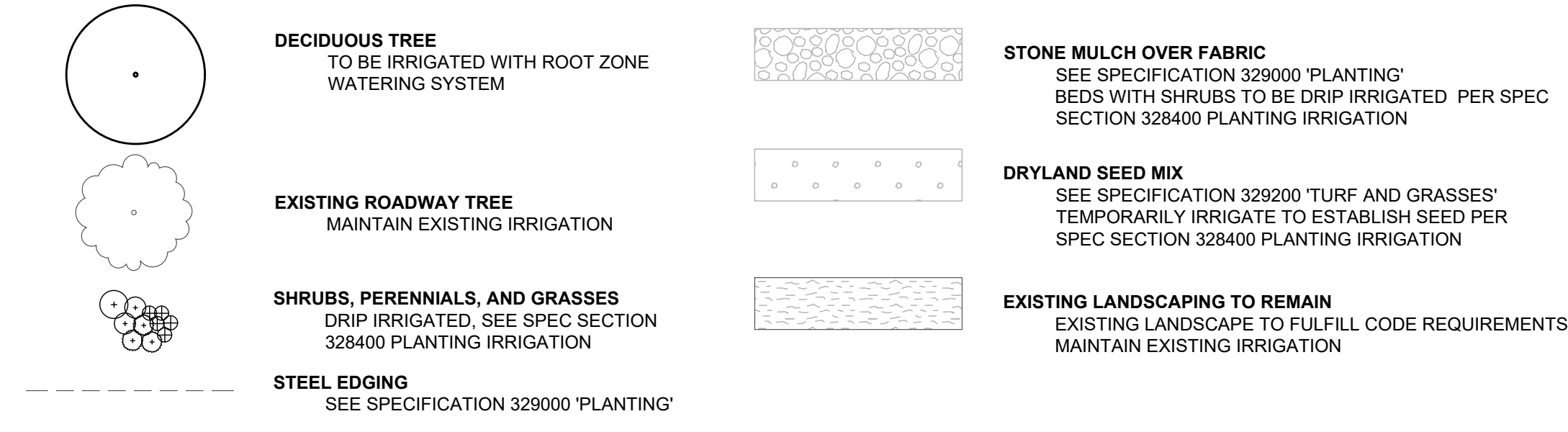
PCD FILE NO: PPR-21-023



MAINTENANCE NOTES

1. IN EXISTING LANDSCAPE AREAS TO REMAIN, REMOVE ALL WEEDS, TRASH, AND DEBRIS TO ACHIEVE AN APPEARANCE THAT IS EQUAL TO THE NEW LANDSCAPING. PROVIDE SMOOTH TRANSITION FROM EXISTING TO PROPOSED.

LANDSCAPE LEGEND



SEE L501 FOR PLANTING NOTES

MERIDIAN RD
(PRINCIPAL ARTERIAL)

EXISTING IRRIGATION ASSUMED FOR EXISTING LANDSCAPE. PROVIDE IRRIGATION FOR TREES IF NOT EXISTING AND TIE INTO DRIP ZONE 3

IRRIGATION LEGEND

SYMBOL	DESCRIPTION	DETAIL	SHEET
	WATER POINT OF CONNECTION	1	L502
	NEW MAIN LINE, ASSUMED 1.5" FIELD VERIFY STUB SCH 40 PVC	2	L502
	LATERAL LINE, CLASS 200 PVC IPS PLASTIC PIPE	2	L502
	SLEEVE SCH 40 PVC	3	L502
	ISOLATION VALVE AS SPECIFIED	5	L502
	DRIP CONTROL VALVE AS SPECIFIED	7	L502
	TREE BUBBLERS AS SPECIFIED	8	L502
	QUICK COUPLER AS SPECIFIED	9	L502
	DRIP ZONE, DRIP TUBING WITH INLINE EMITTERS, AS SPECIFIED FLOW: 6 GPH EMITTER SPACING: PER PLANT LAYOUT ROW SPACING: 12" O.C.	10	L502
	TRADITIONAL CONTROLLER AS SPECIFIED	15	L502
	WEATHER STATION AS SPECIFIED	16	L502

IRRIGATION NOTES

- SEE SPECIFICATION 328400 'PLANTING IRRIGATION' FOR MORE INFORMATION.
- CONTRACTOR TO DESIGN IRRIGATION SYSTEM PER SCHEMATIC LAYOUT AND INSTALL UNDERGROUND AUTOMATIC IRRIGATION SYSTEM TO PROVIDE ADEQUATE WATER FOR ALL PLANT MATERIAL AS SHOWN ON DRAWINGS. INSTALL MANUAL DRAINS AT LOW POINTS AND AIR RELIEF VALVES AT HIGH POINTS ALONG MAINLINE. INSTALL QUICK COUPLERS AT END OF MAINLINE AND ISOLATION VALVES DOWNSTREAM OF MAINLINE TEES.
- IRRIGATION SYSTEM TO BE INSTALLED TO PREVENT OVER-SPRAY ONTO BUILDING AND PAVED SURFACES.
- THE PLAN IS DIAGRAMMATIC FOR PIPING. ADJUST PIPE LOCATION AS NECESSARY. ALL VALVES & PIPING ARE TO BE INSTALLED IN PLANTING OR MULCH AREAS.
- DO NOT INSTALL THE IRRIGATION SYSTEM WHEN OBVIOUS OBSTRUCTIONS, GRADE CHANGES OR OTHER DETRIMENTAL SITE GEOMETRY EXISTS.
- ALL INFORMATION SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE WATER CONNECTIONS AND IRRIGATION CONTROLLER WITH OWNER'S REPRESENTATIVE. CONTRACTOR SHALL CONFIRM WATER SOURCE FOR PRESSURE AND GPM REQUIREMENTS PRIOR TO CONSTRUCTION THROUGH SUBMITTALS.
- IN THE EVENT OF ANY DISCREPANCIES, NOTIFY THE OWNER'S REPRESENTATIVE IMMEDIATELY.
- CONTRACTOR TO VERIFY AVAILABLE GALLONAGE, PRESSURE, POWER, AND PROTECTION OF WATER SOURCE AS DESIGNED BEFORE INSTALLATION OF SYSTEM.
- PROPOSED TREES, SHRUBS, AND PERENNIALS SHALL BE WATERED BY LANDSCAPE DRIFTLINE WITH DRIP ZONE CONTROL KIT AS DETAILED AND NOTED ON LEGEND. PROVIDE PVC LATERALS TO BEDS AND CONNECT TO PE PIPE AS DETAILED, SPECIFIED AND SHOWN ON PLAN.
- DRYLAND AREAS SHALL BE WATERED TEMPORARILY UNTIL ESTABLISHED. PROVIDE HEAD TO HEAD COVERAGE IN DRYLAND AREAS THAT ARE TEMPORARILY IRRIGATED.
- TREES IN TURF AREAS AS NOTED ON THE PLAN SHALL BE WATERED USING A TREE ROOT WATERING SYSTEM AND SHALL BE IRRIGATED ON A SEPARATE ZONE FROM OTHER DRIP AND SPRAY ZONES.
- CONTRACTOR SHALL PROVIDE SLEEVING FOR PIPE BELOW PAVEMENT. SLEEVE AS SPECIFIED. SUPPLY ONE EXTRA SLEEVE WITH EACH MAINLINE SLEEVE FOR CONTROL WIRES. COORDINATE SLEEVE INSTALLATION WITH OTHER TRADES AND OTHER PROJECTS. BORE UNDER EXISTING PAVED AREAS AS REQUIRED USING DRILL, AUGER, WATER JET, OR ANY OTHER INSTRUMENT APPROVED BY OWNER'S REPRESENTATIVE CAPABLE OF PRODUCING A PRECISE HOLE. BORING SHALL NOT DISTURB OVERLYING STRUCTURES OR CAUSE SETTLEMENT AND DAMAGE TO THOSE STRUCTURES. IF DEMOLISHING EXISTING PAVEMENT FOR SLEEVE INSTALLATION, PATCH EXISTING ASPHALT AS REQUIRED.
- IRRIGATION SYSTEM SHALL BE INSTALLED IN STRICT ACCORDANCE WITH ALL PERTINENT CODES AND REGULATIONS, THE REFERENCED STANDARDS, AND THE MANUFACTURER'S RECOMMENDATIONS.
- PROVIDE ALL COMPONENTS REQUIRED FOR PROPER WINTERIZATION OF SYSTEM.
- LINE SIZE WINTERIZATION BLOW-OUT ADAPTER SHALL BE INSTALLED IMMEDIATELY DOWN STREAM OF POINT OF CONNECTION.
- LATERAL LINES SHALL BE SOLVENT WELDED CL200 PVC PIPE.
- ELECTRICAL & MANUAL GATE VALVES SHALL BE INSTALLED IN VALVE BOXES OR APPROVED EQUAL. USE A 12" STANDARD BOX FOR ALL CONTROL VALVES. 10" ROUND FOR ALL OTHERS.
- PROVIDE VALVE BOX EXTENSIONS AS REQUIRED.
- ALL WIRES SHALL BE INSTALLED UNDER A MINIMUM OF 12" COVER AND MAY BE INSTALLED IN TRENCHES WITH PIPE AS LONG AS THE WIRES ARE INSTALLED UNDER THE PIPE.
- DBY DRY SPLICE WIRE CONNECTORS SHALL BE USED FOR ALL ELECTRICAL CONNECTIONS.
- ADD AIR RELIEF VALVE PER DETAIL AT HIGHEST POINT IN THE IRRIGATION SYSTEM.
- TEMPORARILY IRRIGATE HYDROSEEDDED AREAS AND TREES. TEMPORARY DRIP IS ACCEPTABLE FOR TEMPORARY TREE IRRIGATION UNTIL TREE IS ESTABLISHED. SLOW-RELEASE WATERING DEVICE IS ONLY ACCEPTABLE AS SECONDARY TEMPORARY IRRIGATION SOURCE. BELOW GROUND SPRAY SYSTEM IS ACCEPTABLE. SYSTEM TO BE APPROVED BY LANDSCAPE ARCHITECT TO ACHIEVE 100% COVERAGE IN HYDROSEEDDED AREAS. AFTER SEED IS ESTABLISHED, TEMPORARY BELOW GROUND SYSTEM SHALL BE SHUT OFF FROM THE MAIN SYSTEM VIA MANUAL VALVE. CONNECTING TO QUICK COUPLERS AND USING BATTERY OPERATED CONTROLLERS IS AN ACCEPTABLE TECHNIQUE AS PART OF A TEMPORARY SYSTEM. PROVIDE PROPOSED LAYOUT OF TEMPORARY IRRIGATION IN IRRIGATION SUBMITTAL.

OLD MERIDIAN RD
(COLLECTOR)

PRIVATE DRIVE 'A'

PRIVATE DRIVE 'B'

LES SCHWAB TIRE CENTER
10483 SF
FFE: 6855.16

Cushing Terrell.

cushingterrell.com
800.757.9522



7105 N MERIDIAN RD.
FALCON, CO

LES SCHWAB TIRE CENTER



© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

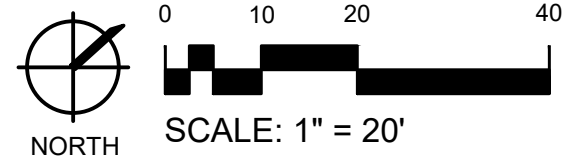
09.01.2021
DRAWN BY | DONOVAN
CHECKED BY | HANSEN
REVISIONS

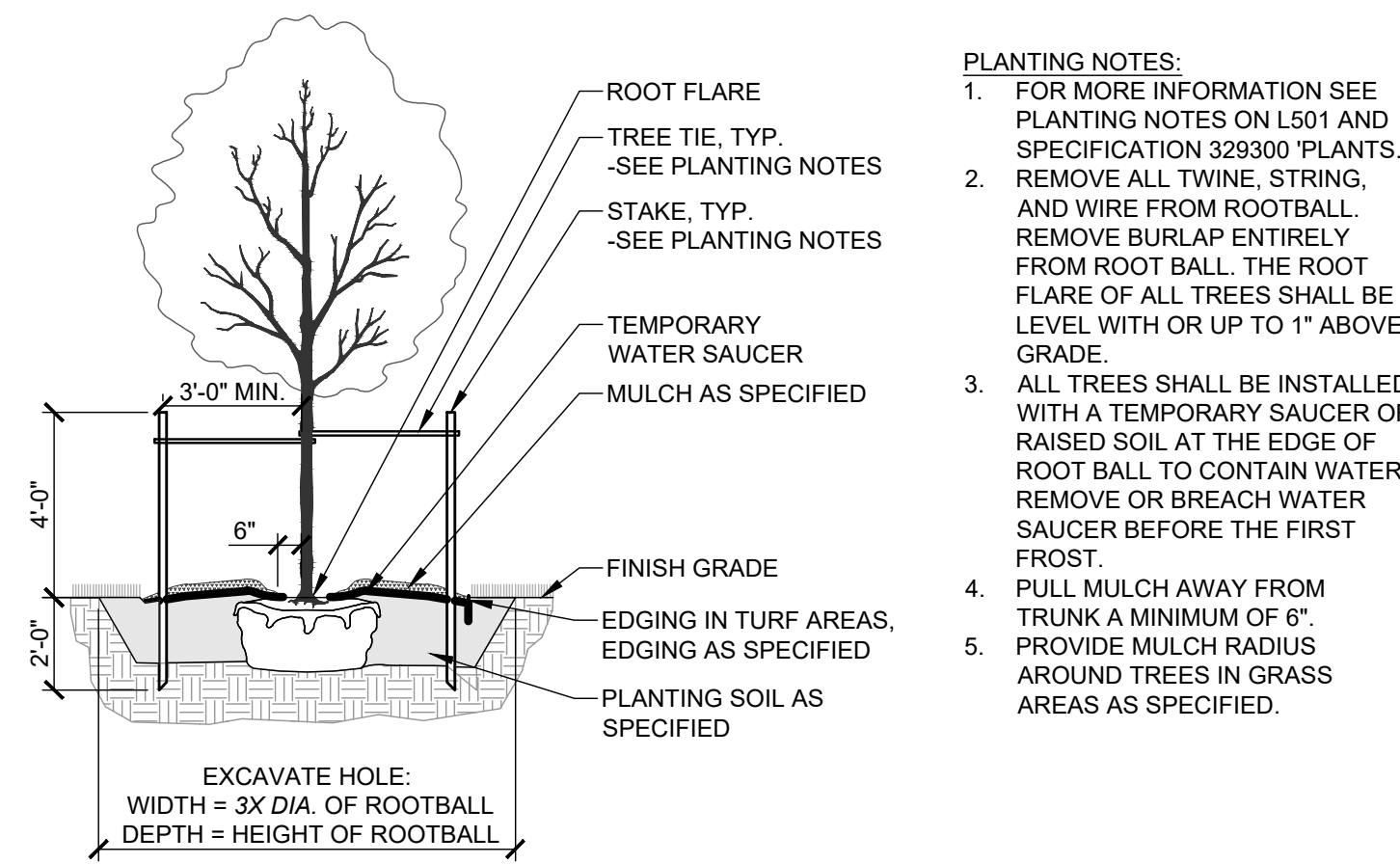
IRRIGATION PLAN

L401

1 IRRIGATION PLAN

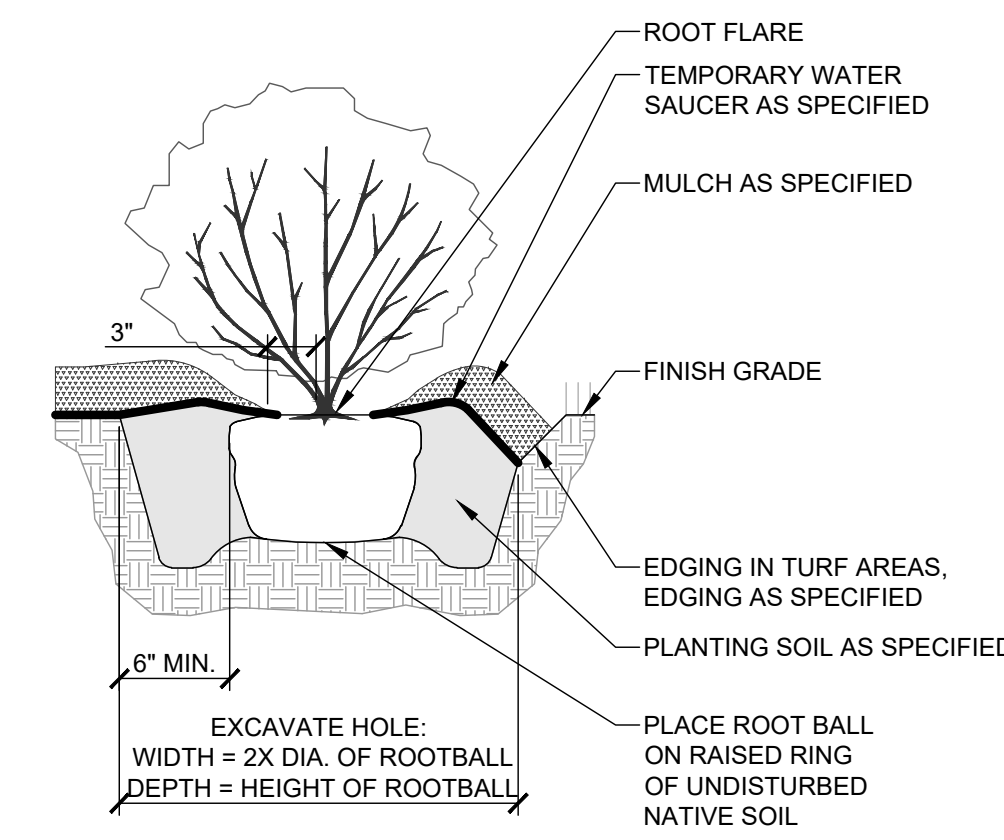
L401





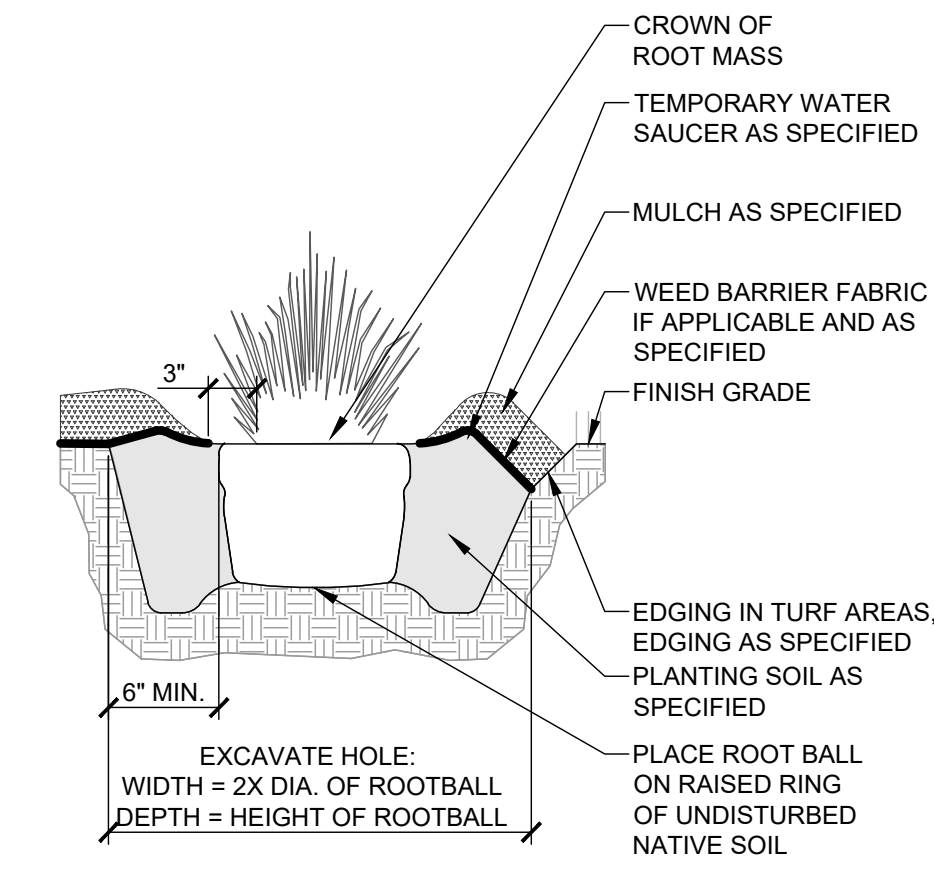
- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L501 AND SPECIFICATION 329300 'PLANTS'.
 - REMOVE ALL TWINE, STRING, AND WIRE FROM ROOTBALL. REMOVE BURLAP ENTIRELY FROM ROOT BALL. THE ROOT FLARE OF ALL TREES SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
 - ALL TREES SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT BALL TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
 - PULL MULCH AWAY FROM TRUNK A MINIMUM OF 6".
 - PROVIDE MULCH RADIUS AROUND TREES IN GRASS AREAS AS SPECIFIED.

1 DECIDUOUS TREE PLANTING
L501 1/4" = 1'-0"



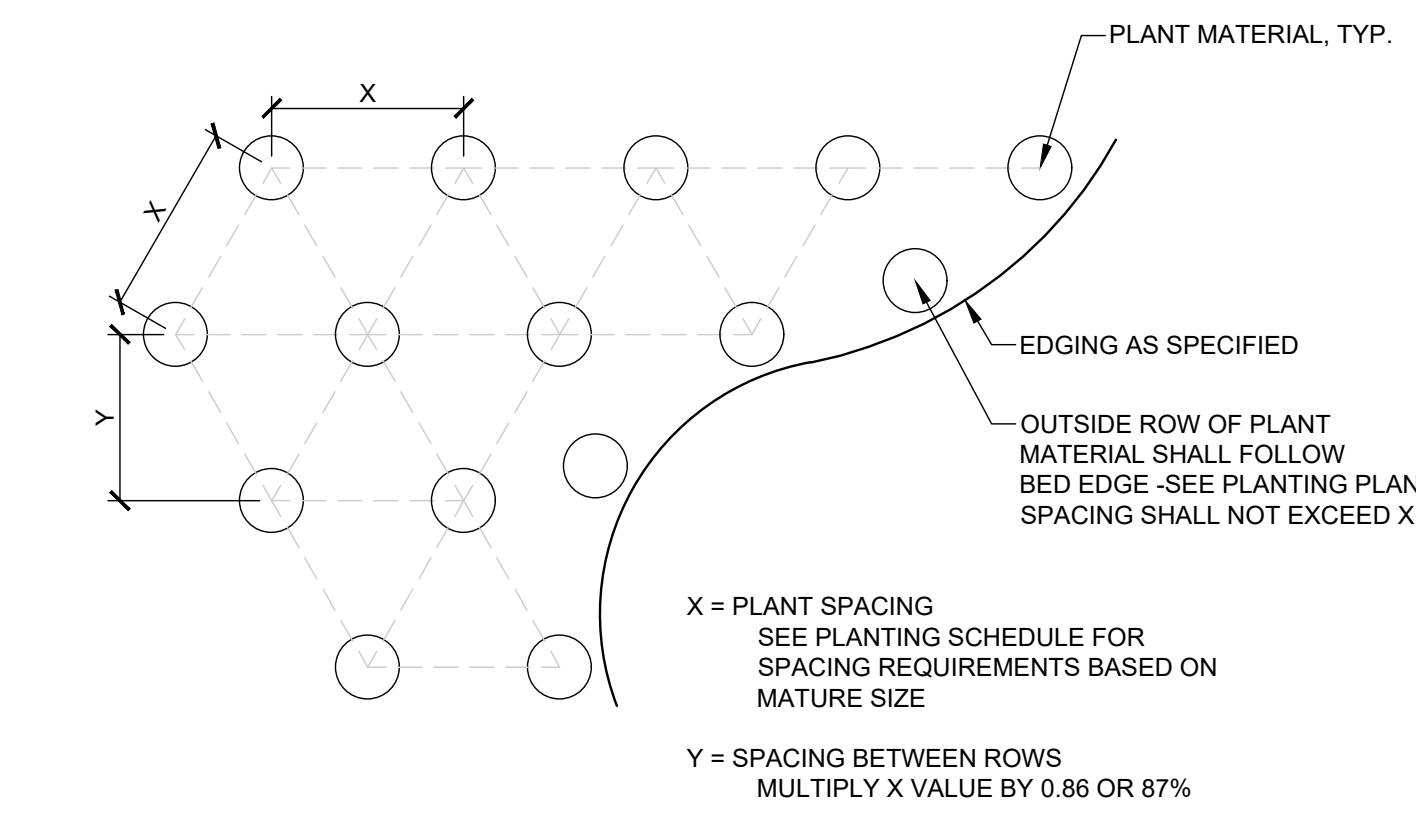
- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L501 AND SPECIFICATION 329300 'PLANTS'.
 - REMOVE ALL ROOT CONTAINMENT MATERIALS FROM ROOTBALL.
 - THE ROOT FLARE OF ALL SHRUBS SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE. ALL SHRUBS SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT BALL TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
 - PULL MULCH AWAY FROM ROOT FLARE 3".

3 SHRUB PLANTING
L501 1" = 1'-0"



- PLANTING NOTES:**
- FOR MORE INFORMATION SEE PLANTING NOTES ON L301 AND SPECIFICATION 329300 'PLANTS'.
 - REMOVE ALL ROOT CONTAINMENT MATERIALS FROM ROOT BALL.
 - THE CROWN OF THE ROOT MASS OF ALL PERENNIALS SHALL BE LEVEL WITH OR UP TO 1" ABOVE GRADE.
 - ALL PERENNIALS SHALL BE INSTALLED WITH A TEMPORARY SAUCER OF RAISED SOIL AT THE EDGE OF ROOT MASS TO CONTAIN WATER. REMOVE OR BREACH WATER SAUCER BEFORE THE FIRST FROST.
 - PULL MULCH AWAY FROM ROOT MASS A MINIMUM OF 3".

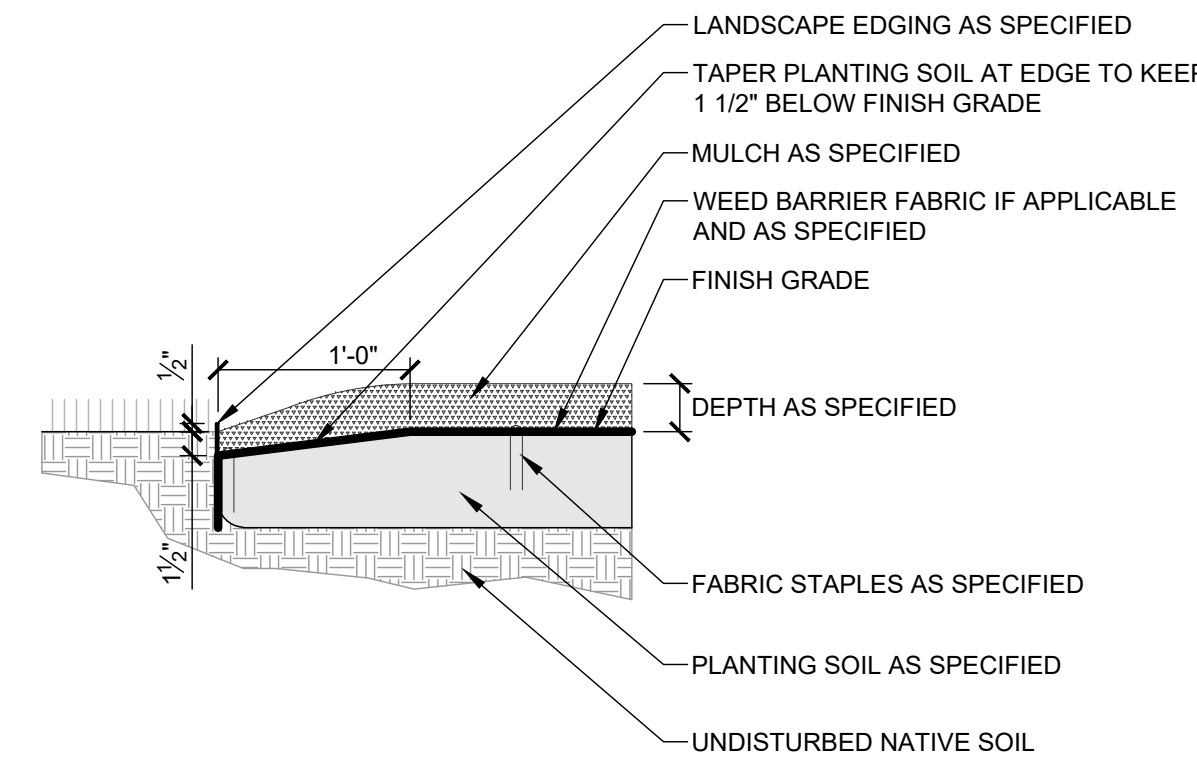
4 PERENNIAL PLANTING
L501 1" = 1'-0"



X = PLANT SPACING
SEE PLANTING SCHEDULE FOR SPACING REQUIREMENTS BASED ON MATURE SIZE

Y = SPACING BETWEEN ROWS
MULTIPLY X VALUE BY 0.86 OR 87%

5 PLANTING LAYOUT
L501 1/2" = 1'-0"



6 STEEL EDGING
L501 1" = 1'-0"

PLANTING NOTES:

- GENERAL NOTES APPLY.
- SEE SPECIFICATIONS 329113 SOIL PREPARATION, 329200 TURF AND GRASSES, AND 329300 PLANTS.
- EVALUATE EXISTING SITE CONDITIONS AND REMEDY AS REQUIRED TO PROVIDE FOR HEALTHY PLANT GROWTH AND MITIGATE UNSIGHTLY CONDITIONS.
- RE-GRADE, PREPARE SOIL AND PLANT ALL AREAS DISTURBED BY CONSTRUCTION ACTIVITY. PLANT PER PLANTING PLAN. FOR DISTURBANCES BEYOND PLAN, MATCH EXISTING PLANTS AND ACCESSORIES. A DISTURBED AREA SHALL BE WHERE CONSTRUCTION ACTIVITIES INCLUDING TRENCHING, DEMOLITION, EARTHWORK, MATERIAL STORAGE, STAGING AND PARKING OR ANY OTHER FORM OF EXCAVATION, COMPACTION, OR TRAFFIC RESULTS IN THE REMOVAL OR DISPLACEMENT OF EXISTING GROUND COVER OR GRADE. PROVIDE SMOOTH AND CLEAN TRANSITION BETWEEN EXISTING AND DISTURBANCES. IRRIGATION DISTURBANCE AREAS ARE CONCEPTUAL. COORDINATE ACTUAL.
- PERFORM SOIL SAMPLING AND TESTING AS SPECIFIED.
- PREPARE SUBGRADE AND PLACE SOIL PER SPECIFICATION 329113 'SOIL PREPARATION' FOR PLANTING SOIL. COORDINATE TOPSOIL INSTALLATION WITH OTHER TRADES. IF SUBSOIL CONDITIONS SHOW EVIDENCE OF UNEXPECTED WATER SEEPAGE OR RETENTION NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY AND MITIGATE AS REQUIRED.
- AMEND PLANTING SOIL AS SPECIFIED. SEE SPEC 329113 SOIL PREPARATION. FOR COMPACTED AREAS (PREVIOUSLY PAVED/HARDPAN AREAS), SCARIFY SOILS AS SPECIFIED AND MODIFY PLANTING PIT AS SPECIFIED & DETAILED.
- ALL PLANT MATERIAL SHALL RECEIVE AN ADEQUATE AMOUNT OF WATER TO MEET ITS WATERING REQUIREMENTS AND SHALL BE SUPPLIED BY AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. SEE SPEC 328400 PLANTING IRRIGATION AND IRRIGATION PLAN.
- PRIOR TO PLANTING, IRRIGATION SYSTEM SHALL BE FULLY OPERATIONAL AND PLANTING AREAS SHALL BE HAVE APPROPRIATE MOISTURE FOR INSTALLING PLANTS.
- INSTALL PLANTINGS AND ACCESSORIES AS DETAILED AND PER PROJECT MANUAL SPECIFICATIONS.
- MAINTAIN PLANTS AND SEEDED AREAS AS SPECIFIED.

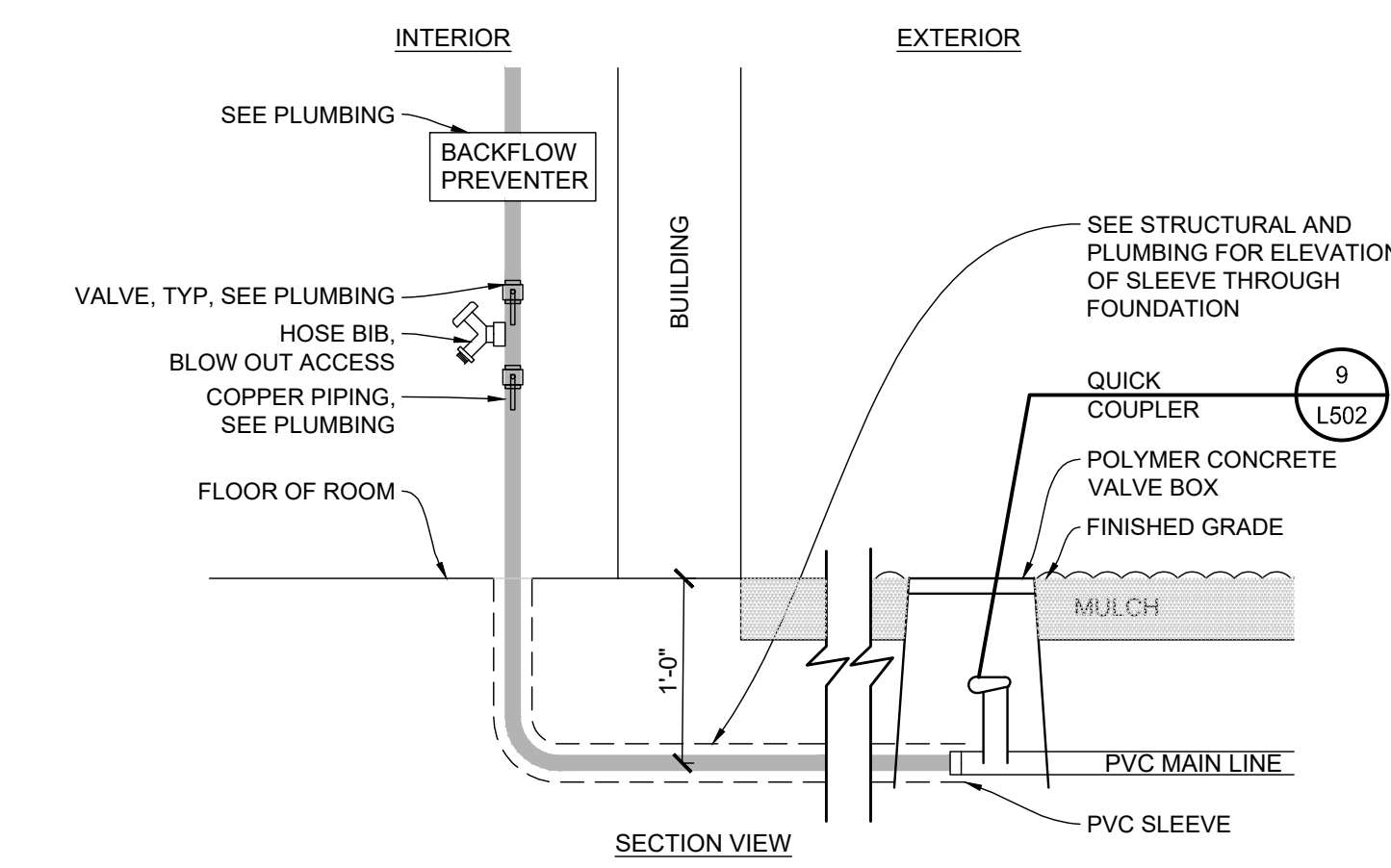
TREE, SHRUB, AND PERENNIAL NOTES:

- PRIOR TO PLANTING INSTALLATION, CONTRACTOR TO CONFIRM CONTACT LANDSCAPE ARCHITECT FOR PLANT INSPECTION AND REVIEW OF PLANT LAYOUT PRIOR TO DIGGING PLANTING HOLES.
- ALL PLANT MATERIAL SHALL BE INSTALLED AS DETAILED AND SPECIFIED AND CONFORM TO THE CURRENT AMERICAN NURSERY AND LANDSCAPE ASSOCIATION STANDARD FOR NURSERY STOCK.
- CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES. THE ILLUSTRATED LOCATION SHALL DICTATE COUNT.
- NO PLANT SUBSTITUTIONS WILL BE ALLOWED WITHOUT WRITTEN CONSENT FROM THE LANDSCAPE ARCHITECT.
- WARRANTY PLANT MATERIAL AS SPECIFIED.

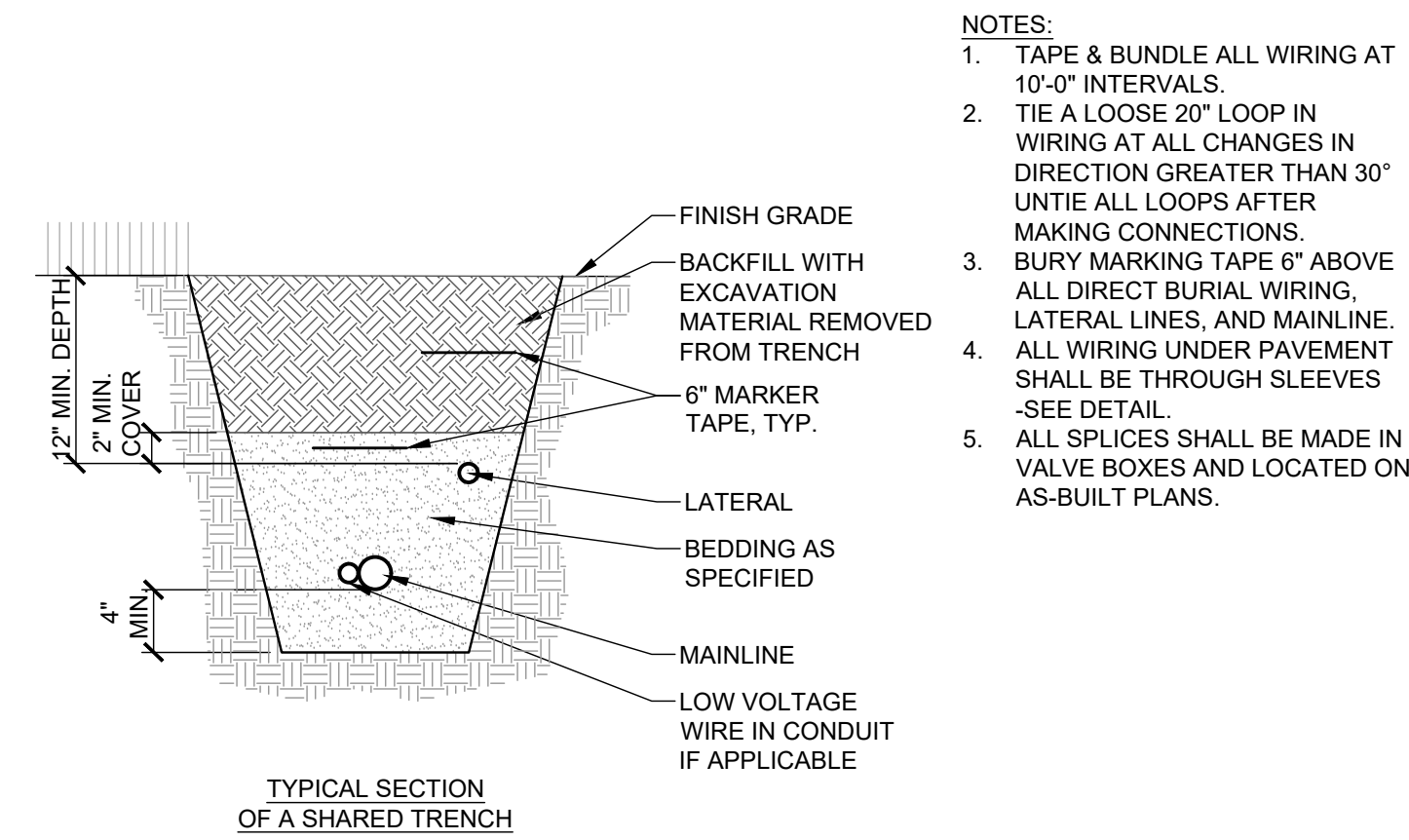
MULCH NOTES:

- ALL LANDSCAPE BEDS WITH CONTAINER PLANTS ARE TO BE MULCHED AS SPECIFIED. MODIFY FINISH GRADE ADJACENT TO WALKING SURFACES TO PREVENT MULCH FROM MIGRATING OR WASHING ONTO SUCH SURFACES DURING RAIN EVENTS.
- SUBMIT SAMPLE OF MULCH TO LANDSCAPE ARCHITECT FOR REVIEW PRIOR TO INSTALLATION.
- EDGING LOCATION AS NOTED ON DRAWINGS AND DETAILS. EDGING TO BE INSTALLED BETWEEN MULCHED TYPES AND SEEDED AREAS.

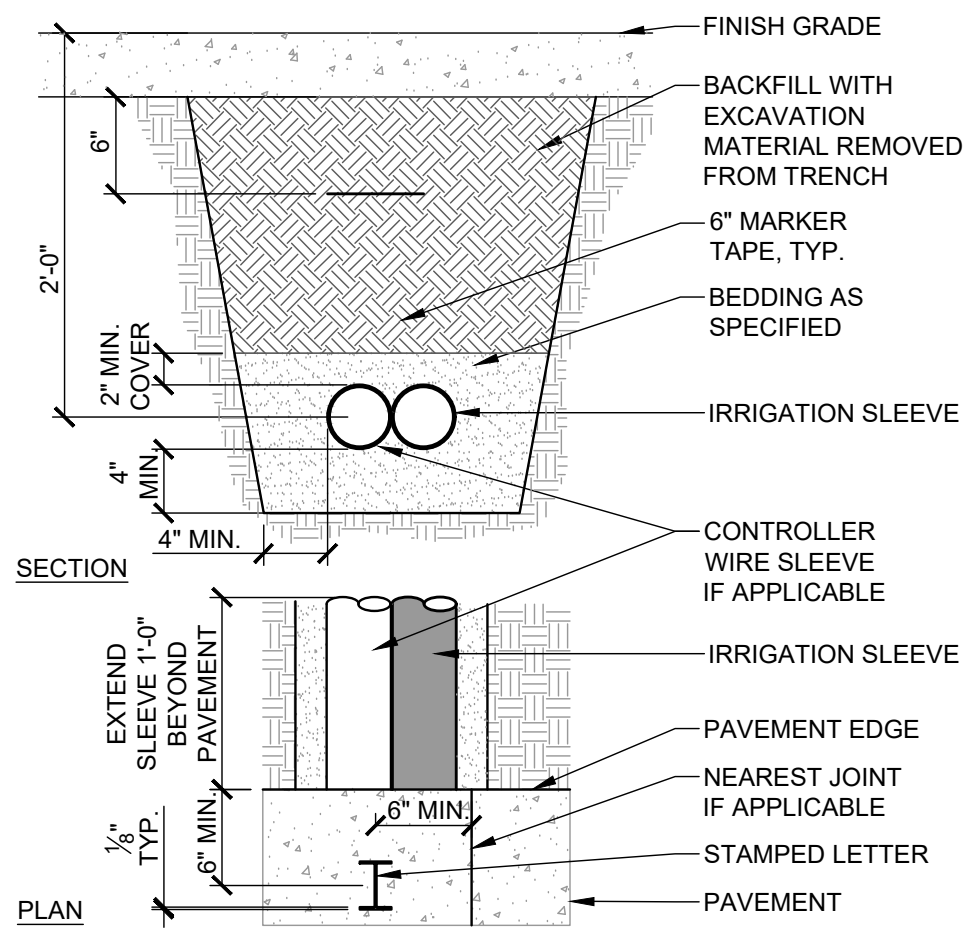




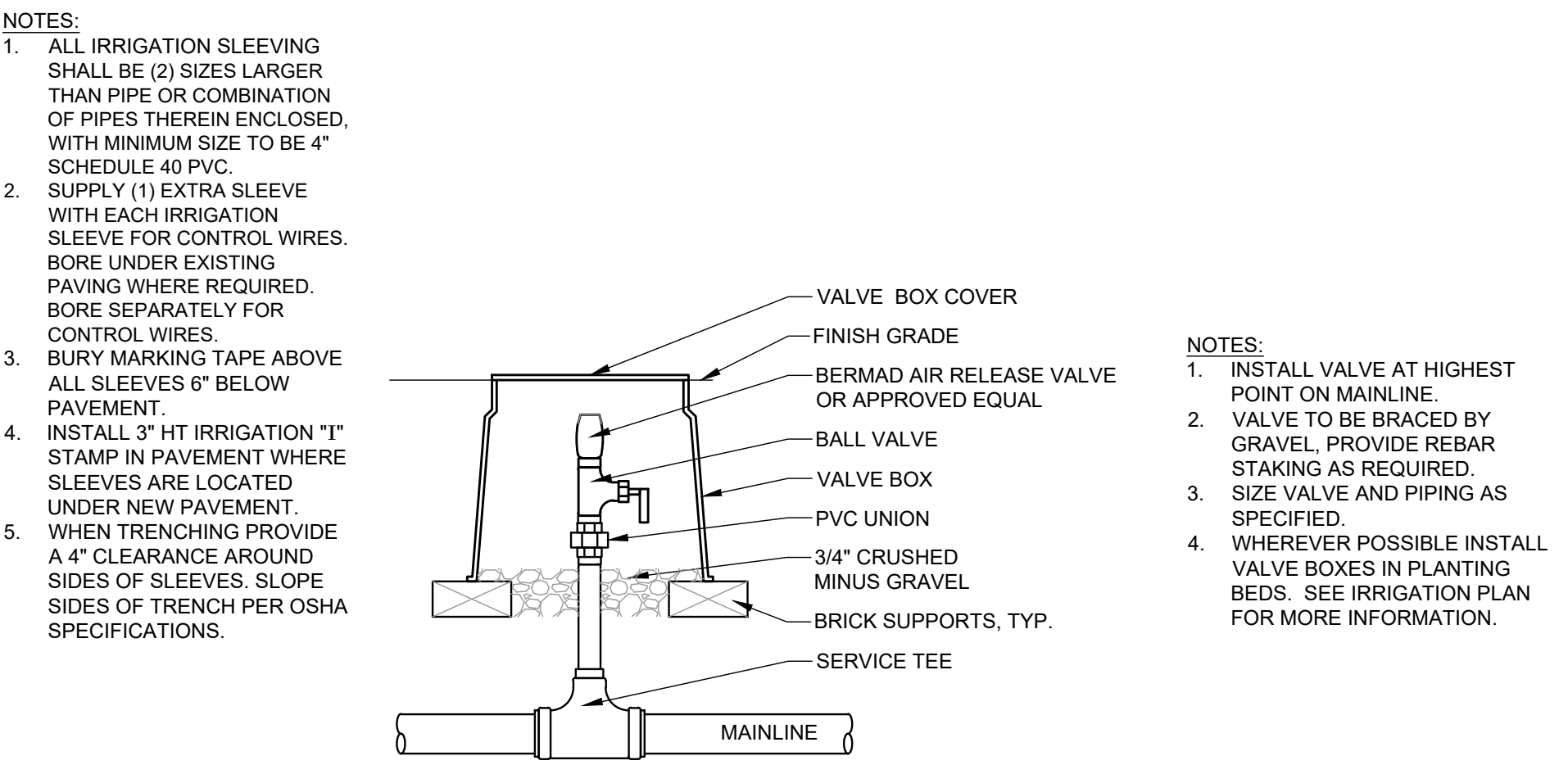
1 POINT OF CONNECTION
L502 1"=1'-0"



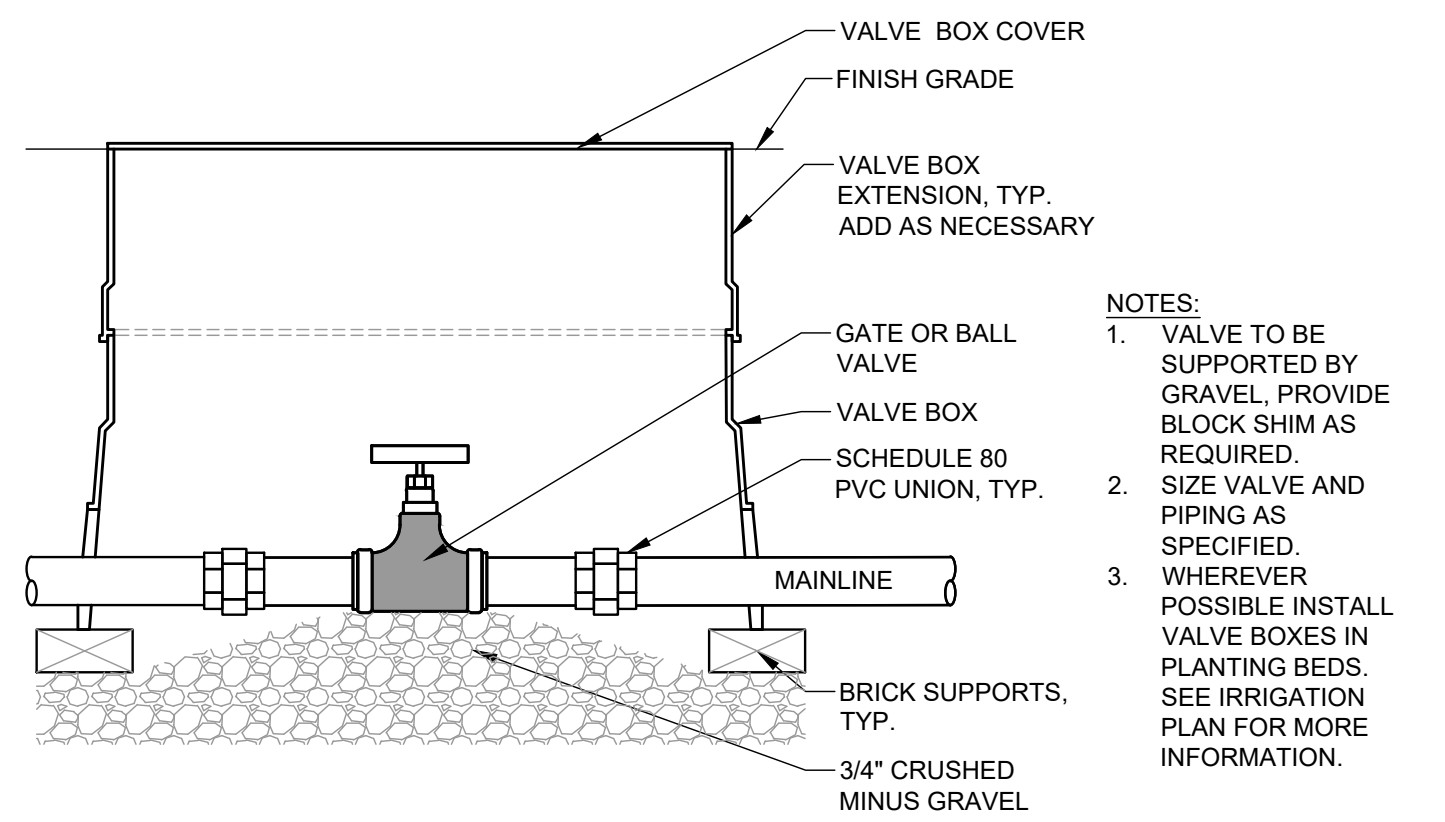
2 IRRIGATION TRENCH
L502 1"=1'-0"



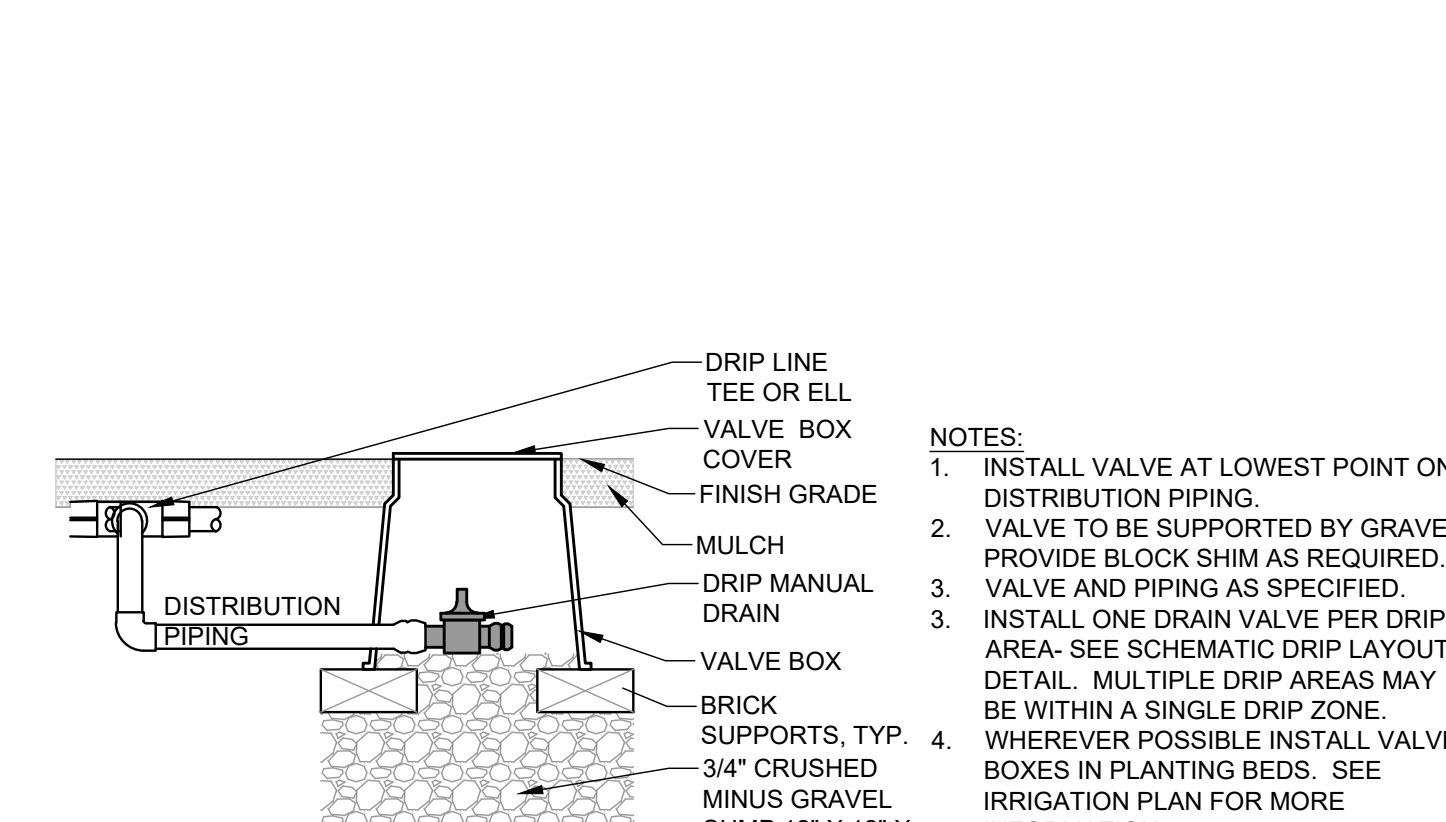
3 IRRIGATION SLEEVE
L502 1"=1'-0"



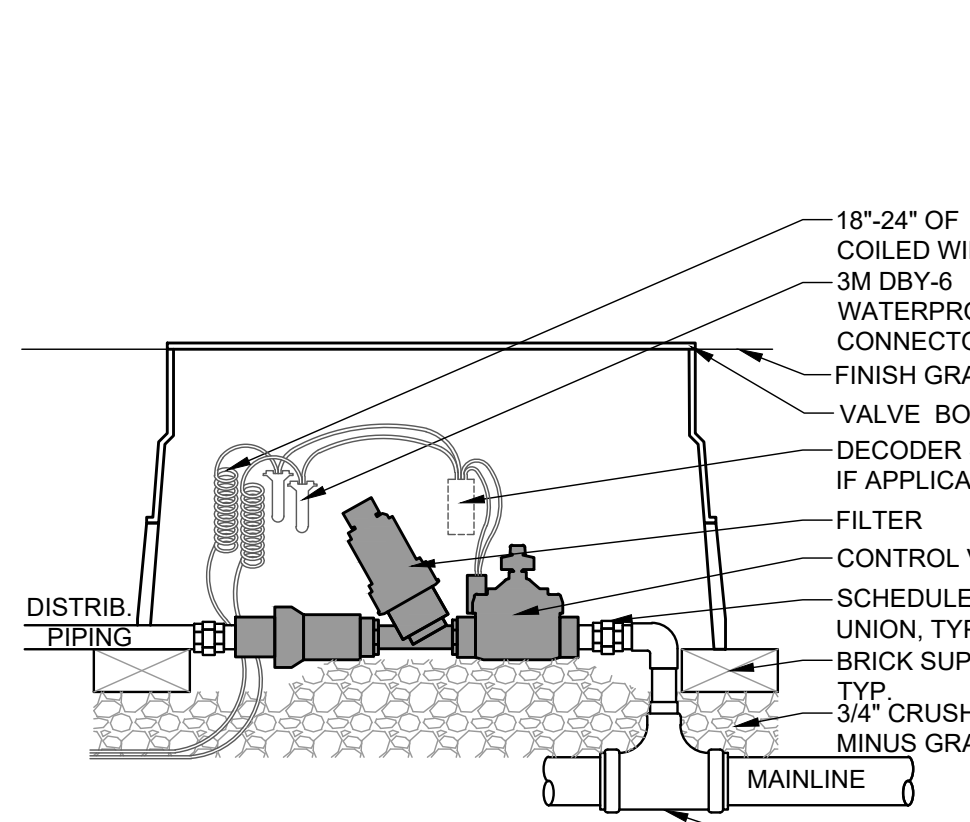
4 AIR RELIEF VALVE
L502 1 1/2"=1'-0"



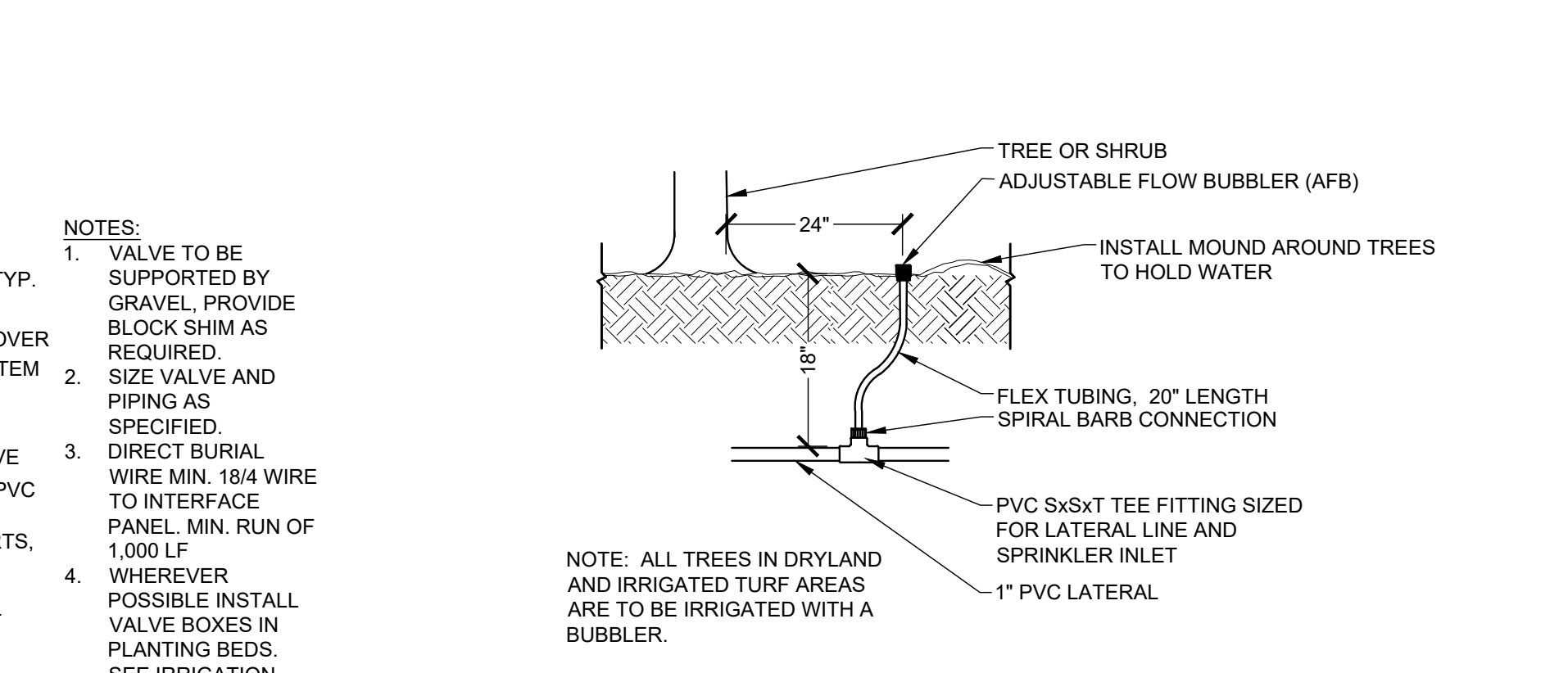
5 ISOLATION VALVE
L502 1 1/2"=1'-0"



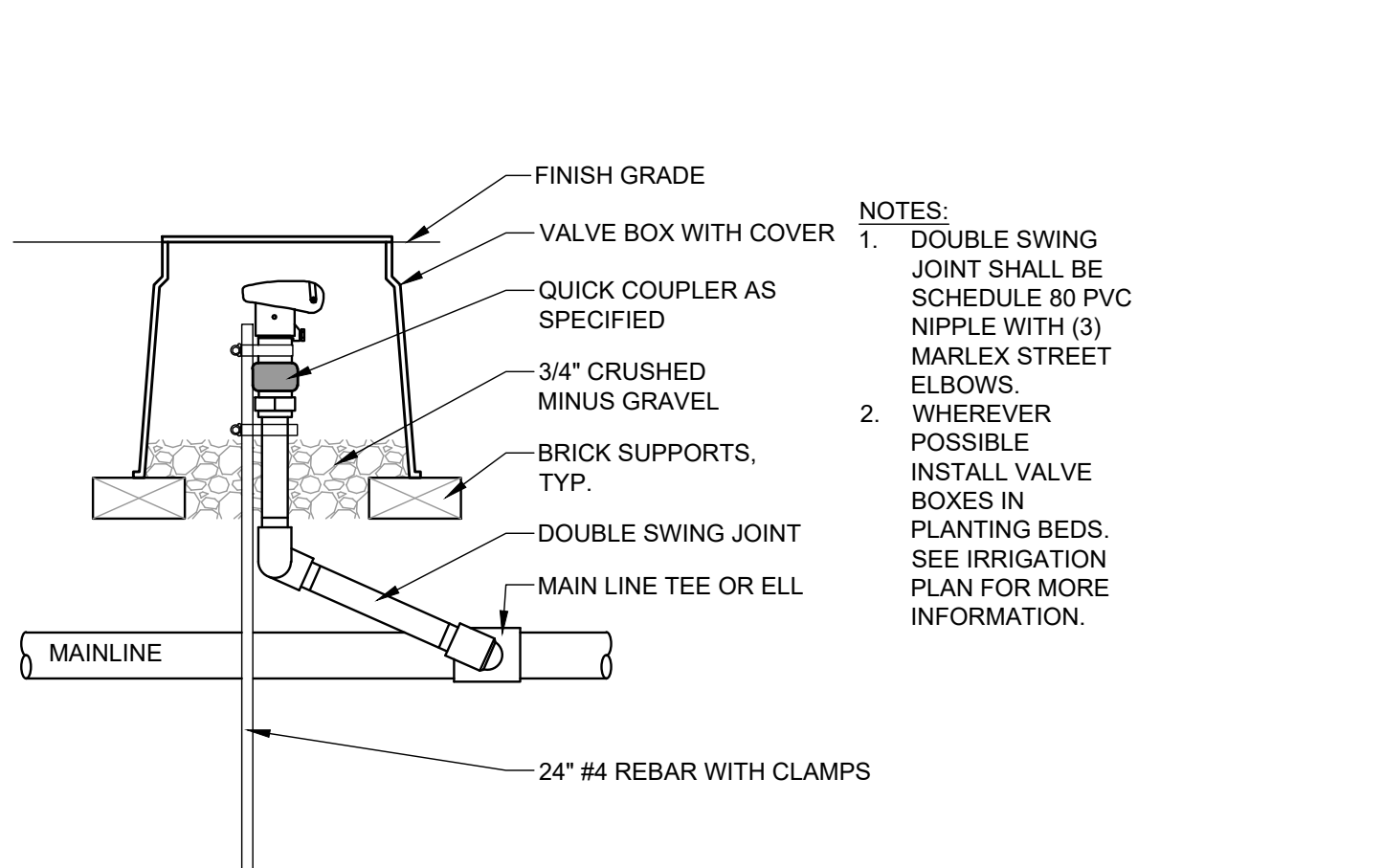
6 DRIP MANUAL DRAIN
L502 1 1/2"=1'-0"



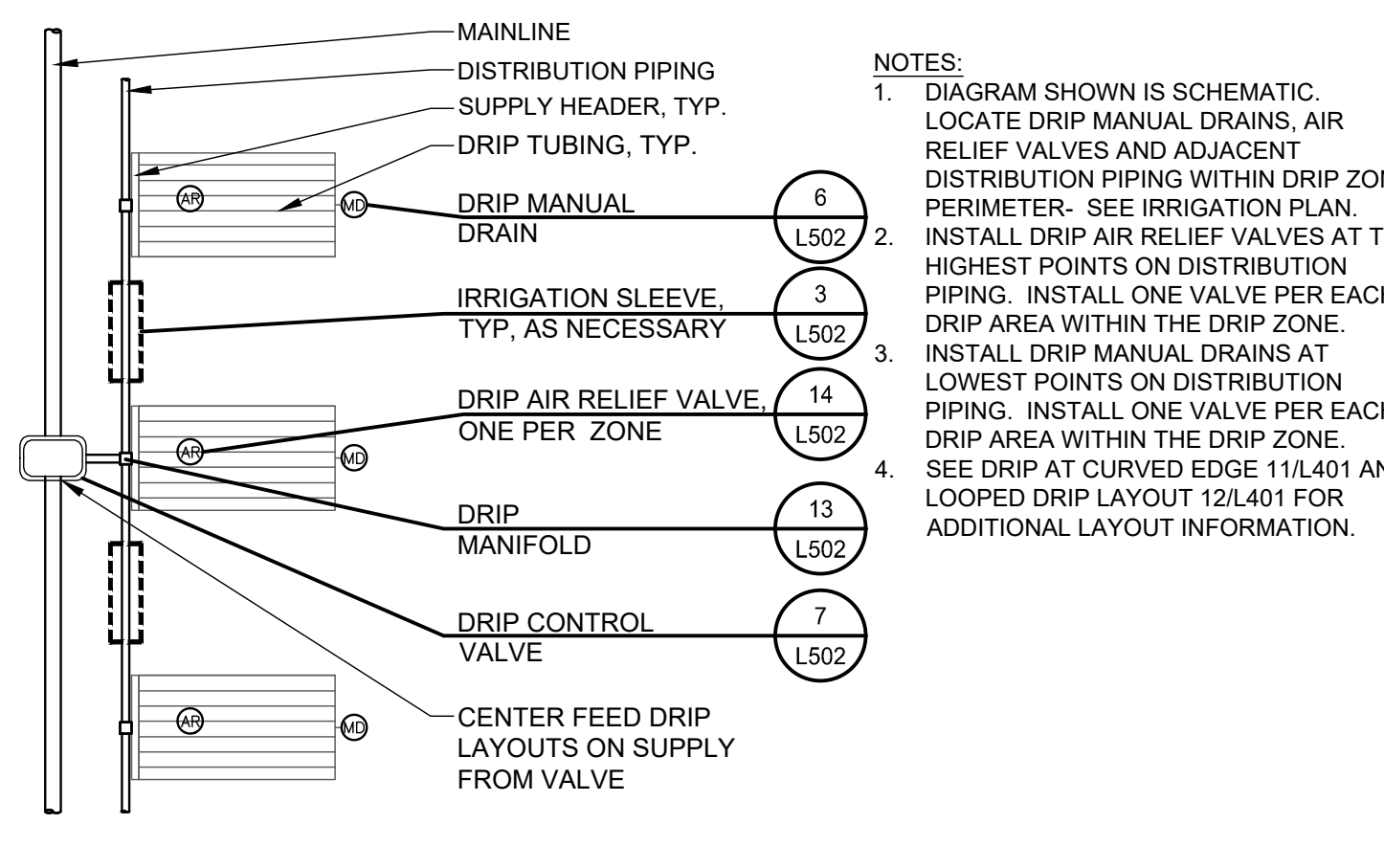
7 DRIP CONTROL VALVE
L502 1 1/2"=1'-0"



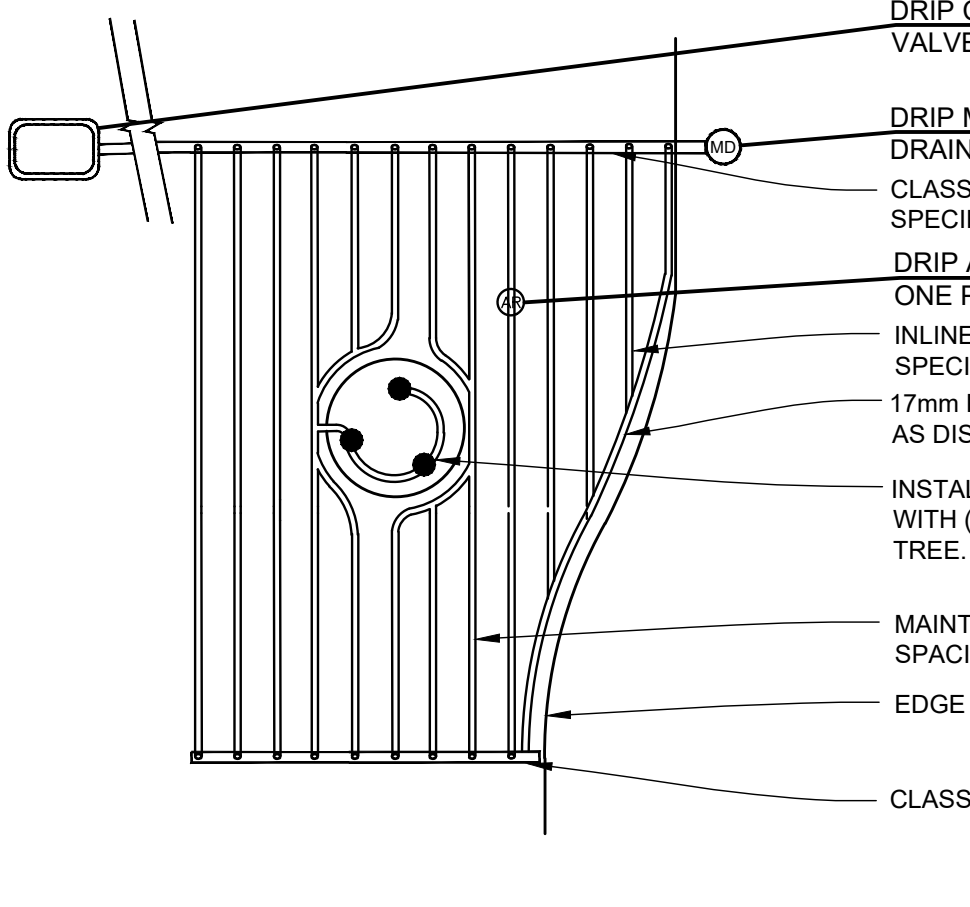
8 TREE BUBBLER
L502 1 1/2"=1'-0"



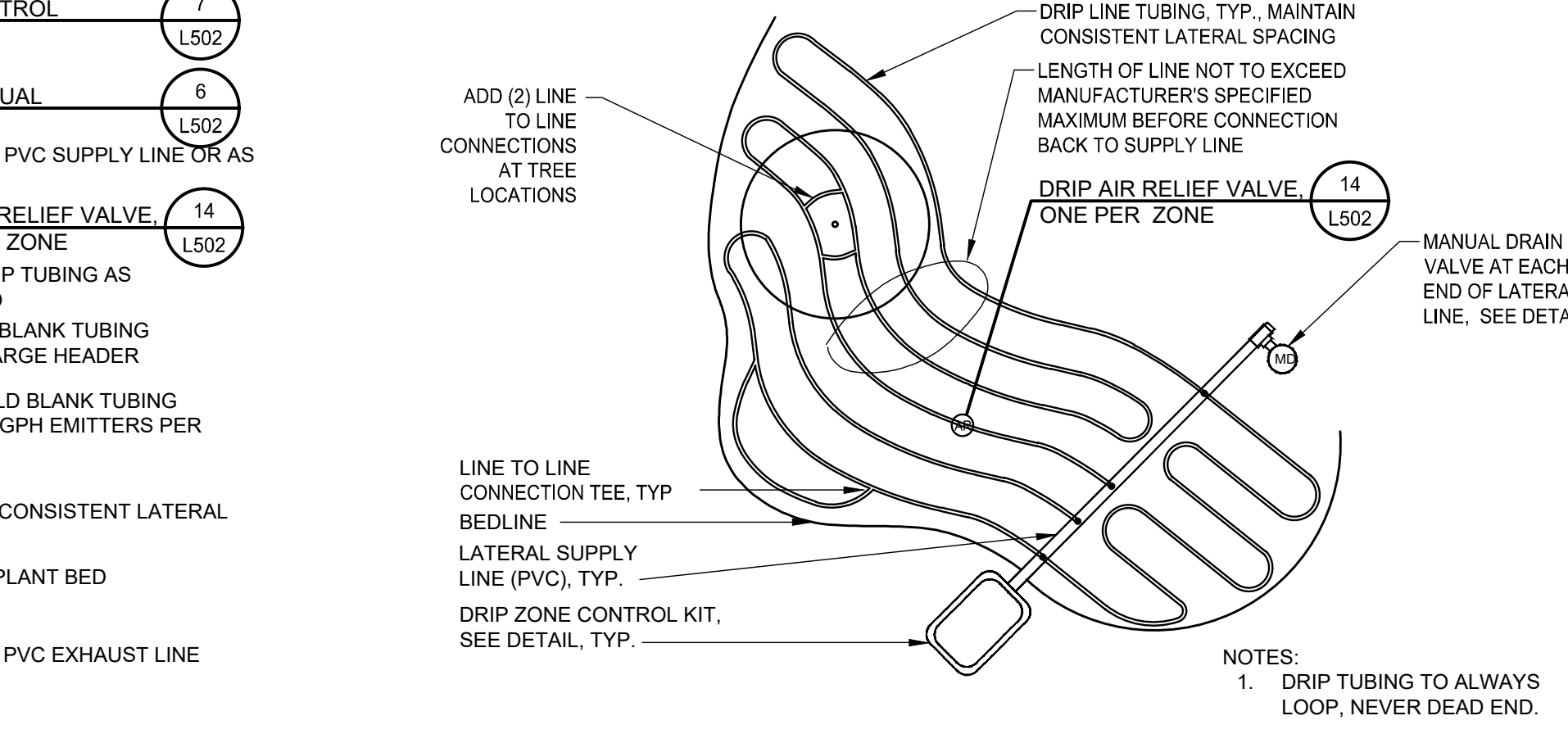
9 QUICK COUPLER
L502 1 1/2"=1'-0"



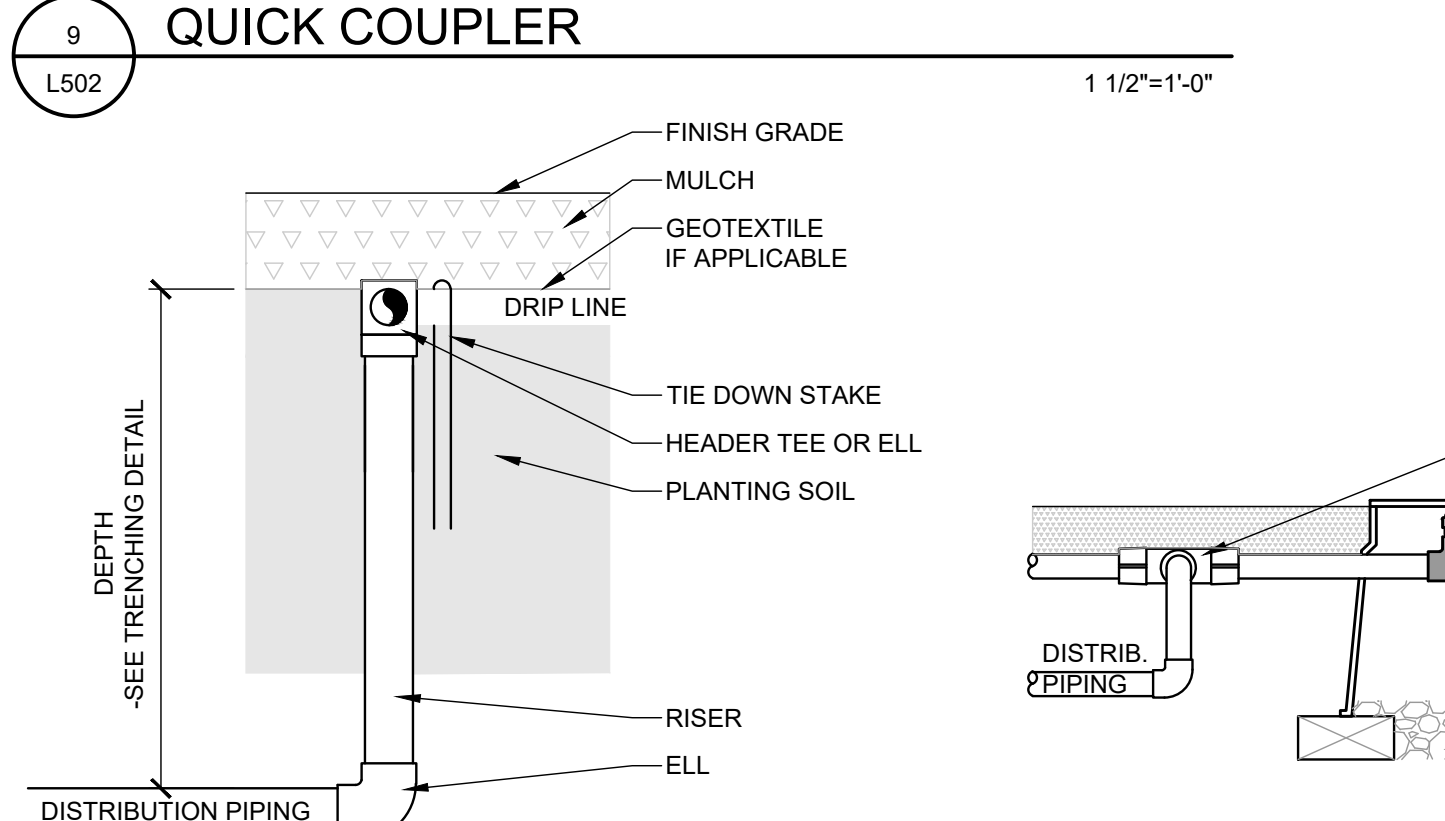
10 SCHEMATIC DRIP ZONE LAYOUT
L502 NTS



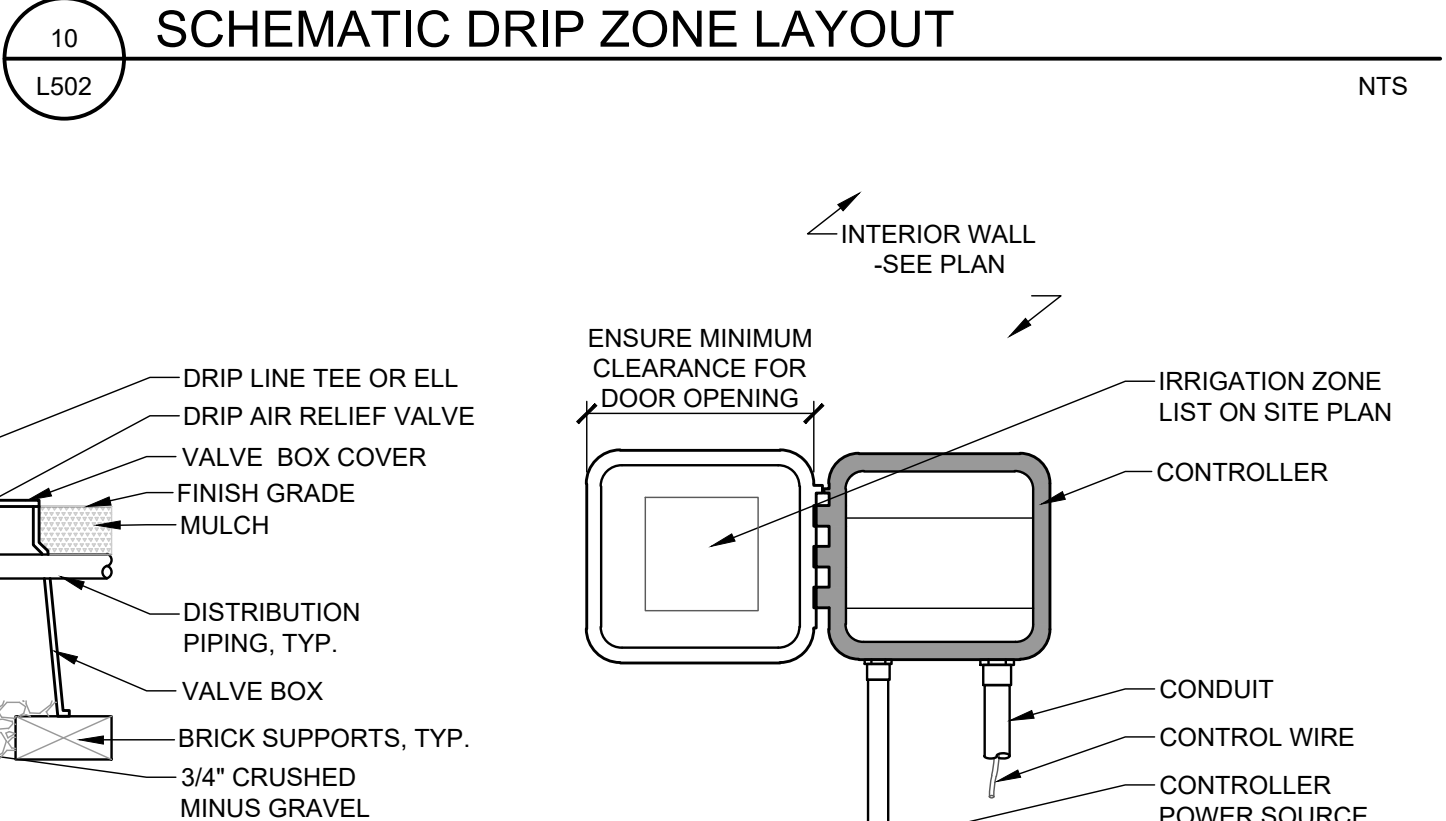
11 DRIP AT CURVED EDGE
L502 SCALE: NOT TO SCALE



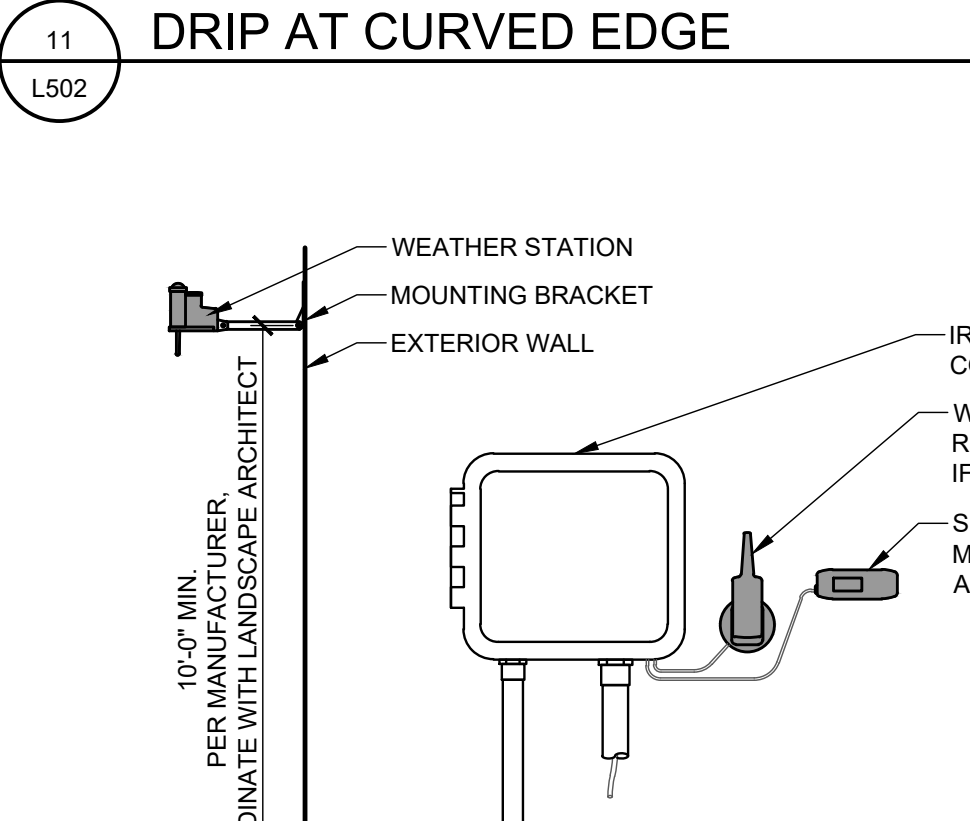
12 LOOPED DRIP LAYOUT (50 SF OR LESS)
L502 NOT TO SCALE



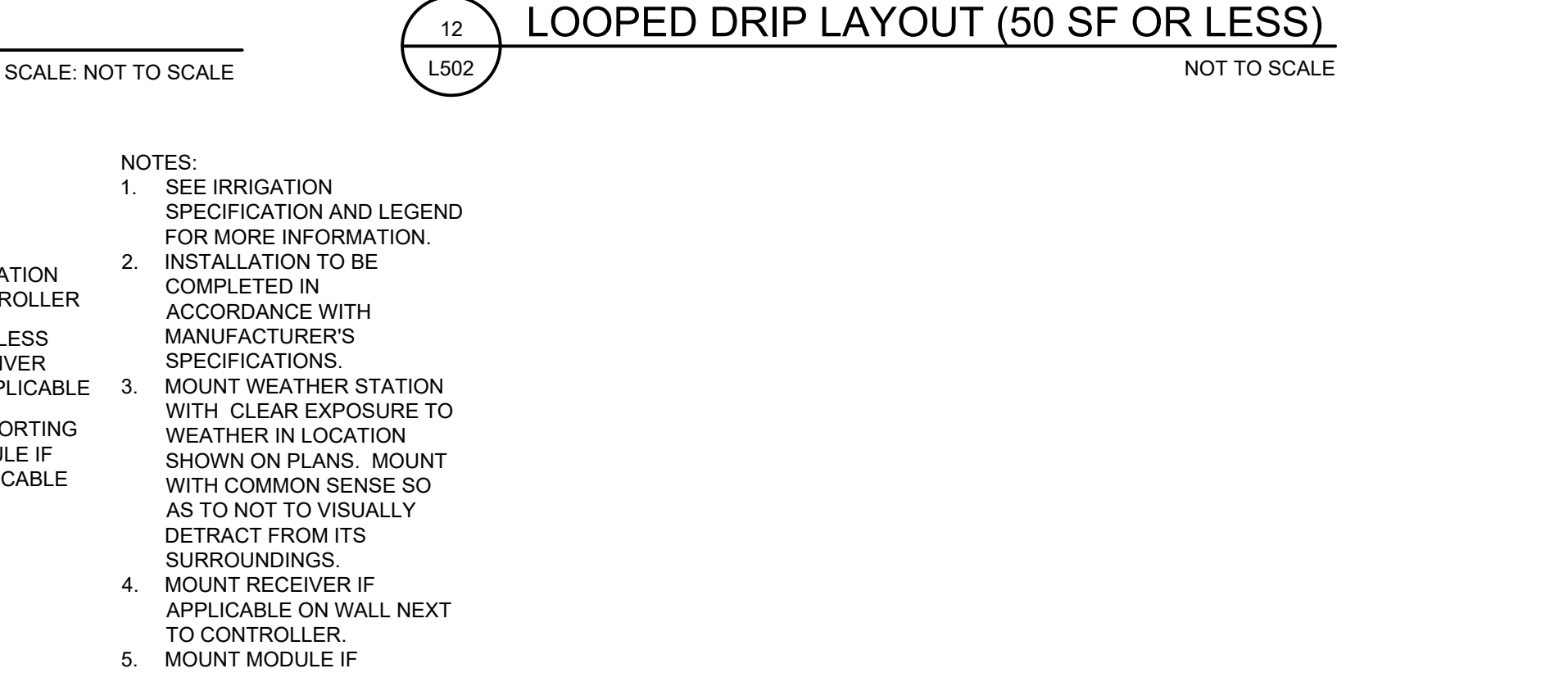
13 DRIP MANIFOLD
L502 3"=1'-0"



14 DRIP AIR RELIEF VALVE
L502 1 1/2"=1'-0"

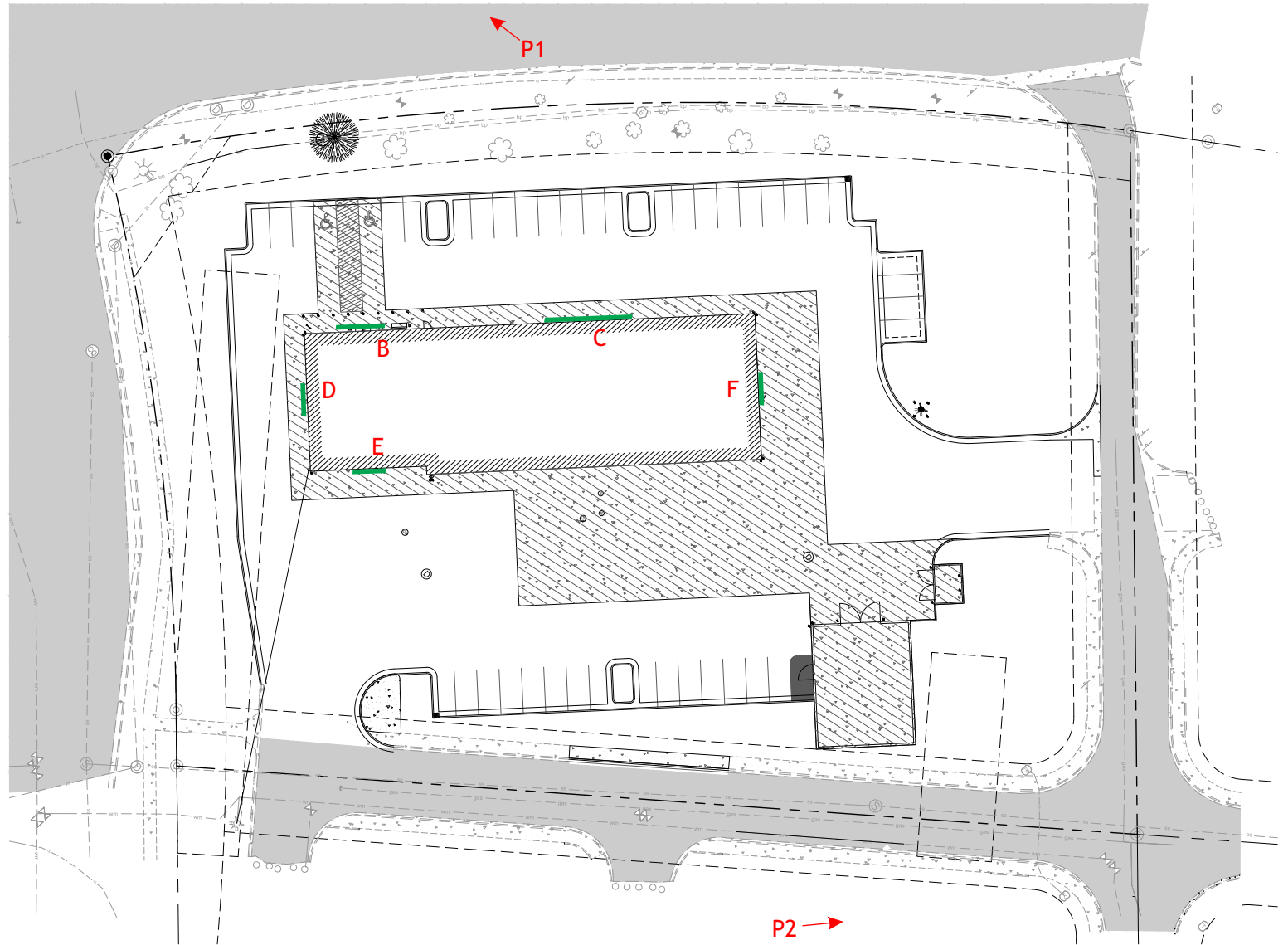
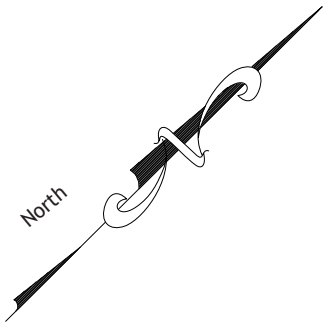


15 CONTROLLER
L502 1 1/2"=1'-0"



16 WEATHER STATION
L502 1 1/2"=1'-0"

SITE PLAN



Wall Signs

- B** North Elevation
(Logo) = 38.94 sq ft
- C** North Elevation
(Alignment Brakes Shocks) = 71.5 sq ft
- D** West Elevation
(Logo) = 38.94 sq ft
- E** South Elevation
(Logo) = 38.94 sq ft
- F** East Elevation
(Logo) = 38.94 sq ft

Location: Falcon, CO
7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO FalconSite

Scale: 1/64" = 1'

Dwg By: Darryl Cox

Date: 3/29/18
Rev. 4/13/21
Rev.

1605 NE Forbes Rd.
Bend, Oregon 97709

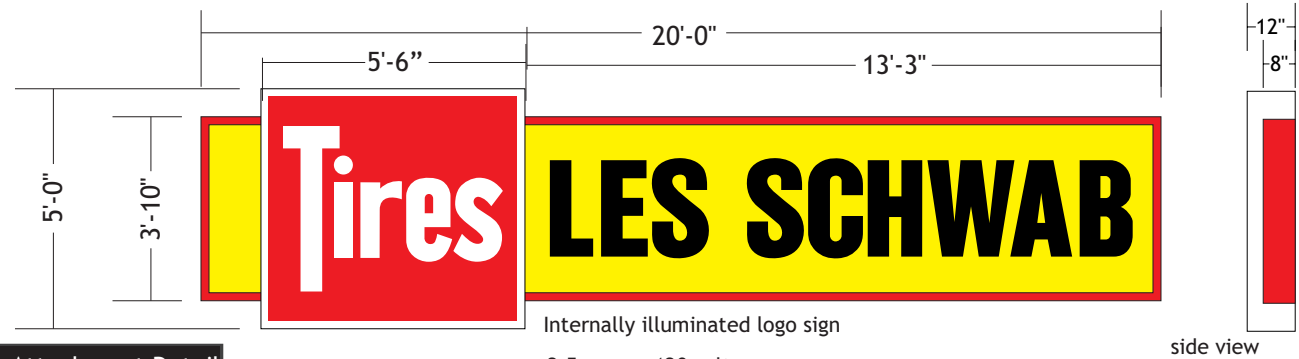
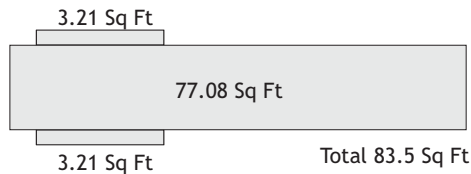


PH (541) 382-2182
FAX (541) 382-2196

Sign B



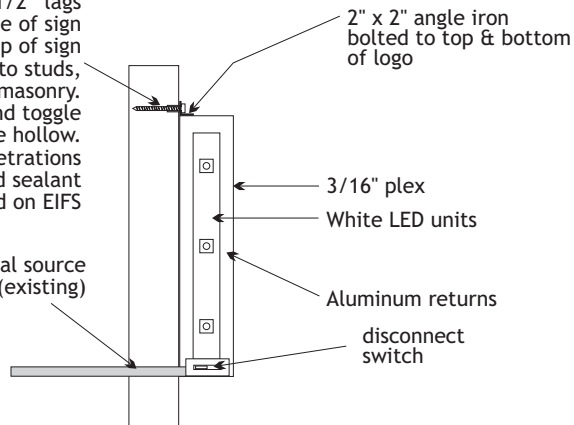
NORTH ELEVATION - SCALE: 1/32" = 1'-0"



MOUNTING DETAIL

3/8" x 4 1/2" lags at 6" from edge of sign and along top of sign at 4' intervals into studs, wood blocking or masonry. Use 3/8" "toggler" brand toggle bolts where walls are hollow. Seal building penetrations with EIFS approved sealant if installed on EIFS

Formed Logo Attachment Detail



Calculations:

Allowed Signage - 1.5 sq ft per lineal ft of bldg = 272.25 sq ft
Proposed Signage - 83.5sf

ELECTRICAL CABINET DETAIL

ITEM	SUBSTRATE	COLOR SPECIFICATION
Cabinet	Steel	LS Red
Illumination	LED	White
Faces	3/16" acrylic	Acrylite 432 Yellow / White
Copy	Vinyl	3M High Performance Black 3M Cardinal 230-53

Location: LSTC CO Falcon
7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO Falcon

Scale: 1/4" = 1'

Dwg By: Darryl Cox

Date: 3/29/18

Rev. 4/13/21

Rev.

1605 NE Forbes Rd.
Bend, Oregon 97709

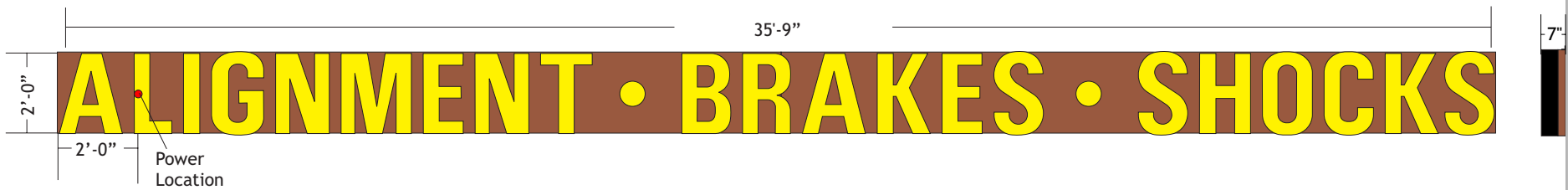


PH (541) 382-2182
FAX (541) 382-2196

Sign C

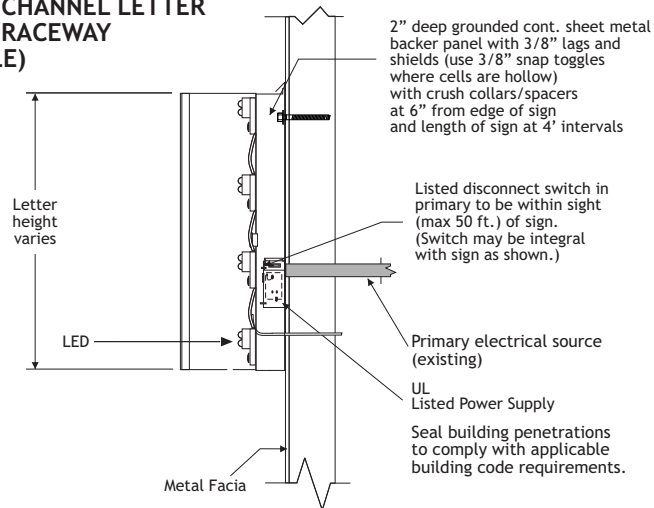


NORTH ELEVATION - SCALE: 1/32" = 1'-0"



24" High Raceway
 Scale 1/4" = 1' - 71.5sq ft
 2 Amps
 side view

MOUNTING DETAIL ILLUMINATED CHANNEL LETTER CONTINUOUS RACEWAY (NOT TO SCALE)



Calculations:
 Allowed Signage - 1.5 sq ft per lineal ft of bldg = 272.25 sq ft
 Proposed Signage - 71.5sf

Location: LSTC CO Falcon
 7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO Falcon

Scale: 1/4" = 1'

Dwg By: Darryl Cox

Date: 3/29/18

Rev. 4/13/21

Rev.

24" INDIVIDUAL CHANNEL LETTERS

ITEM	SUBSTRATE	COLOR
Returns	.040 aluminum	Black
Trimcap	1"	Black
Faces	3/16" Acrylic	Acrylite 432-2 Yellow
Illumination	LED	White
Raceway	24 gauge galv. shtmtl.	MP 15967 Colonial Red

1605 NE Forbes Rd.
 Bend, Oregon 97709

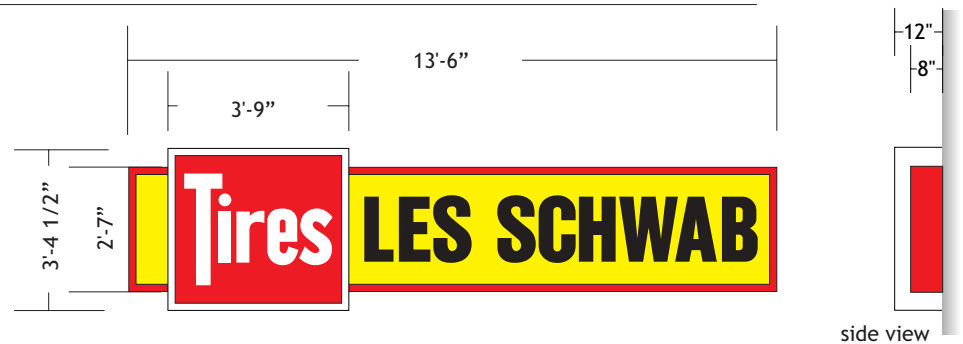
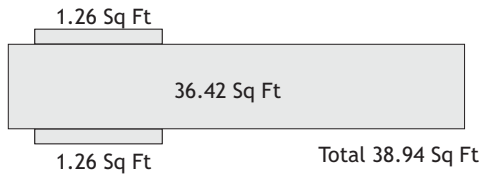


PH (541) 382-2182
 FAX (541) 382-2196

Sign D



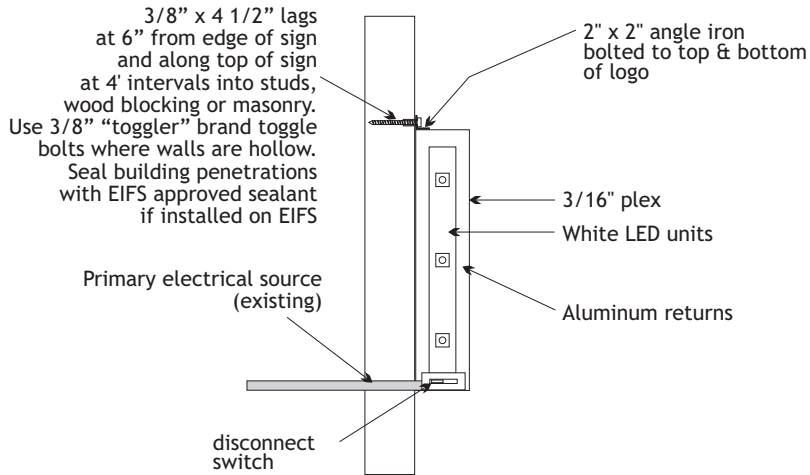
WEST ELEVATION - SCALE: 1/32" = 1'-0"



2.5 amp @ 120 volt

MOUNTING DETAIL

Formed Logo Attachment Detail



Calculations:

Allowed Signage - 1.5 sq ft per lineal ft of bldg = 272.25 sq ft
Proposed Signage - 38.94sf

Location: LSTC CO Falcon
7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO Falcon

Scale: 1/4" = 1'

Dwg By: Darryl Cox

Date: 3/29/18

Rev. 4/13/21

Rev.

ELECTRICAL CABINET DETAIL

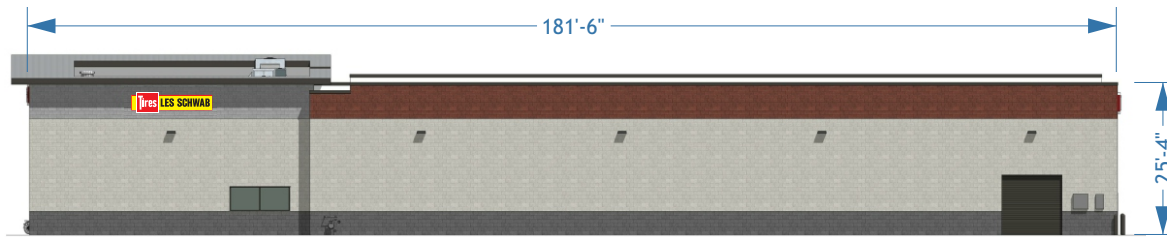
ITEM	SUBSTRATE	COLOR SPECIFICATION
Cabinet	Steel	LS Red
Illumination	LED	White
Faces	3/16" acrylic	Acrylite 432 Yellow / White
Copy	Vinyl	3M High Performance Black 3M Cardinal 230-53

1605 NE Forbes Rd.
Bend, Oregon 97709

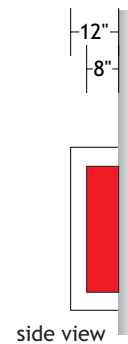
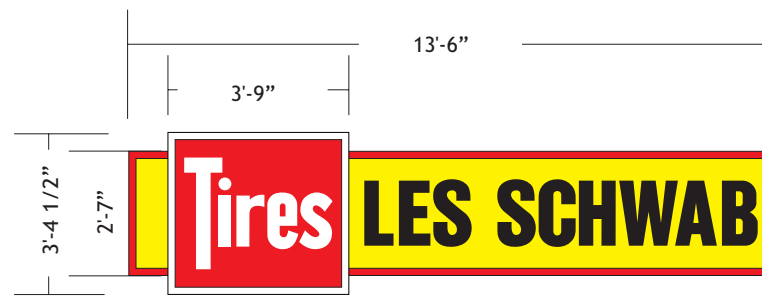
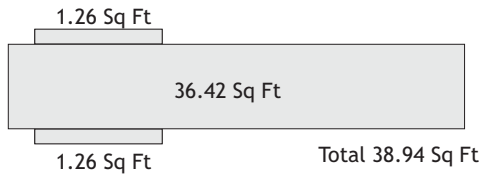


PH (541) 382-2182
FAX (541) 382-2196

Sign E



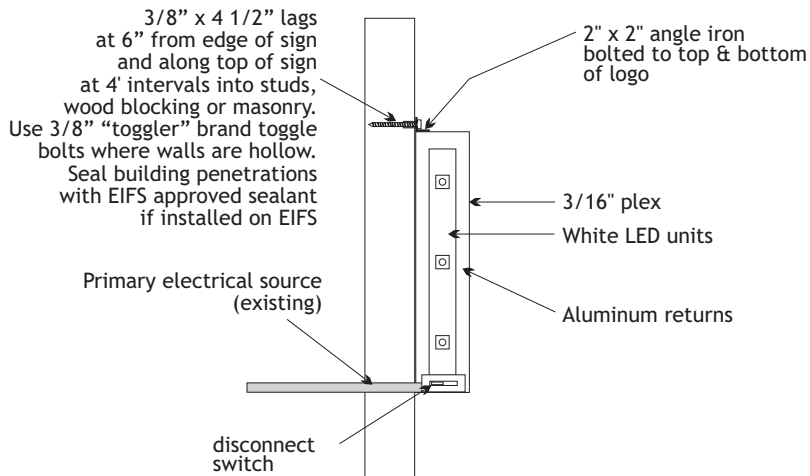
SOUTH ELEVATION - SCALE: 1/32" = 1'-0"



2.5 amp @ 120 volt

MOUNTING DETAIL

Formed Logo Attachment Detail



Calculations:

Allowed Signage - 1.5 sq ft per lineal ft of bldg = 272.25 sq ft
Proposed Signage - 38.94sf

Location: LSTC CO Falcon
7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO Falcon

Scale: 1/4" = 1'

Dwg By: Darryl Cox

Date: 3/29/18

Rev. 4/13/21

Rev.

ELECTRICAL CABINET DETAIL

ITEM	SUBSTRATE	COLOR SPECIFICATION
Cabinet	Steel	LS Red
Illumination	LED	White
Faces	3/16" acrylic	Acrylite 432 Yellow / White
Copy	Vinyl	3M High Performance Black 3M Cardinal 230-53

1605 NE Forbes Rd.
Bend, Oregon 97709

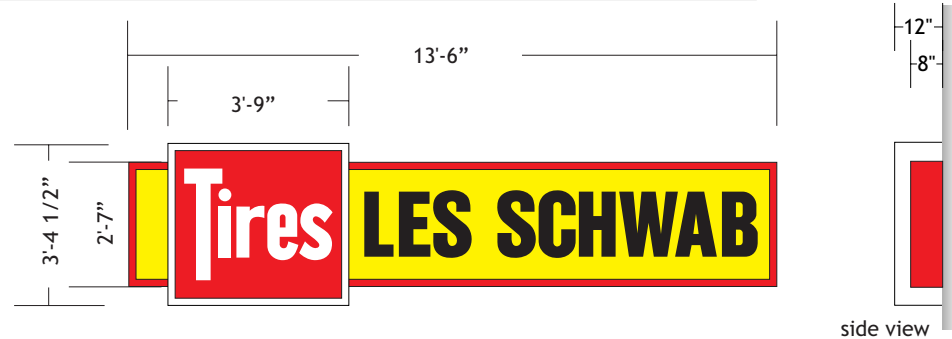
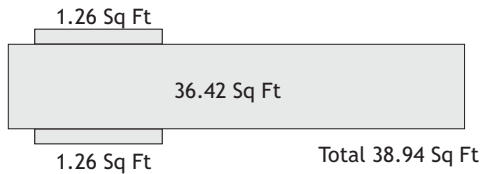


PH (541) 382-2182
FAX (541) 382-2196

Sign D



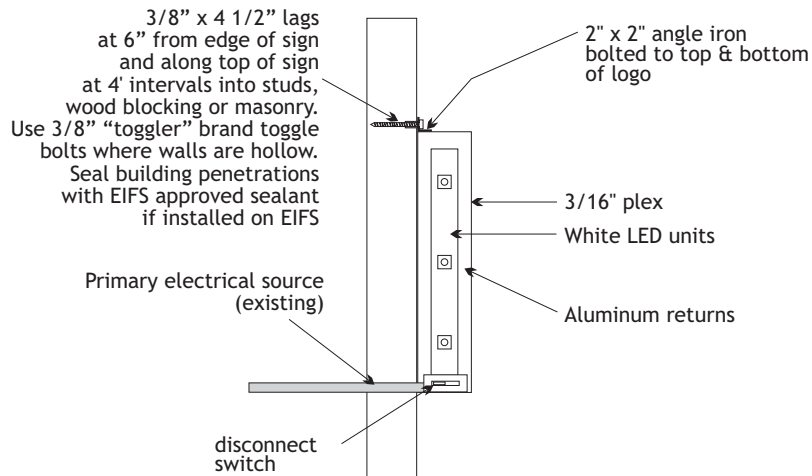
EAST ELEVATION - SCALE: 1/32" = 1'-0"



2.5 amp @ 120 volt

MOUNTING DETAIL

Formed Logo Attachment Detail



Calculations:

Allowed Signage - 1.5 sq ft per lineal ft of bldg = 272.25 sq ft
Proposed Signage - 38.94sf

Location: LSTC CO Falcon
7105 Old Meridian Rd

Proj Mgr: Cushing Terrell

File Name: LSTC CO Falcon

Scale: 1/4" = 1'

Dwg By: Darryl Cox

Date: 3/29/18

Rev. 4/13/21

Rev.

ELECTRICAL CABINET DETAIL

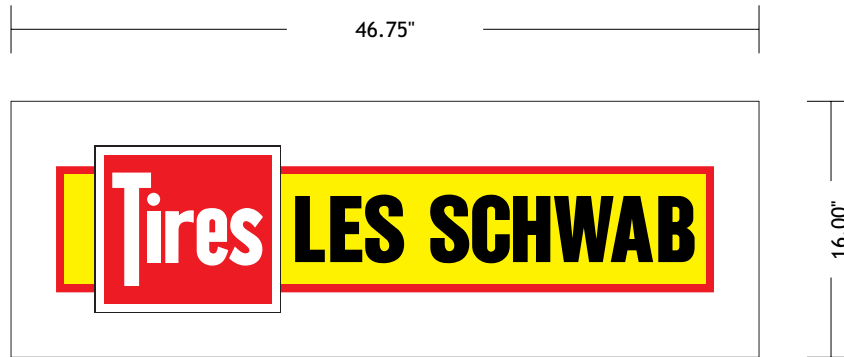
ITEM	SUBSTRATE	COLOR SPECIFICATION
Cabinet	Steel	LS Red
Illumination	LED	White
Faces	3/16" acrylic	Acrylite 432 Yellow / White
Copy	Vinyl	3M High Performance Black 3M Cardinal 230-53

1605 NE Forbes Rd.
Bend, Oregon 97709



PH (541) 382-2182
FAX (541) 382-2196

P1 - Meridian Rd



Translucent Vinyl Tenant Logos for Panels on Existing D/F Pylon Sign (one on each side of sign)
Les Schwab Vinyl:
Cardinal 230-53
Yellow 230-15
Black



Location: Falcon, CO
7105 Old Meridian Rd
Proj Mgr: Cushing Terrell
File Name: LSTC CO FalconPylon
Scale: 1" = 1'
Dwg By: Darryl Cox
Date: 3/29/18
Rev.
Rev.

1605 NE Forbes Rd.
Bend, Oregon 97709



PH (541) 382-2182
FAX (541) 382-2196

P2 - Old Meridian/McLaughlin Rd



Translucent Vinyl Tenant Logos for
Panels on Existing D/F Pylon Sign
(one on each side of sign)
Les Schwab Vinyl:
Cardinal 230-53
Yellow 230-15
Black

Location: Falcon, CO
7105 Old Meridian Rd
Proj Mgr: Galloway
File Name: LSTC CO FalconPylon
Scale: 1" = 1'
Dwg By: Darryl Cox
Date: 3/29/18
Rev.
Rev.



1605 NE Forbes Rd.
Bend, Oregon 97709



PH (541) 382-2182
FAX (541) 382-2196



GENERAL NOTES

- A. PHOTOMETRIC CALCULATIONS DO NOT INCLUDE CONTRIBUTION FROM STREET LIGHTING OR LIGHTING FROM ADJACENT PROPERTY.
- B. ALL FIXTURES SHALL BE FULL CUT-OFF AND MOUNTED IN FULL CUT-OFF POSITION; ALL SITE POLES SHALL BE ROUND AND PAINTED IN A DARK, NON-REFLECTIVE COLOR.

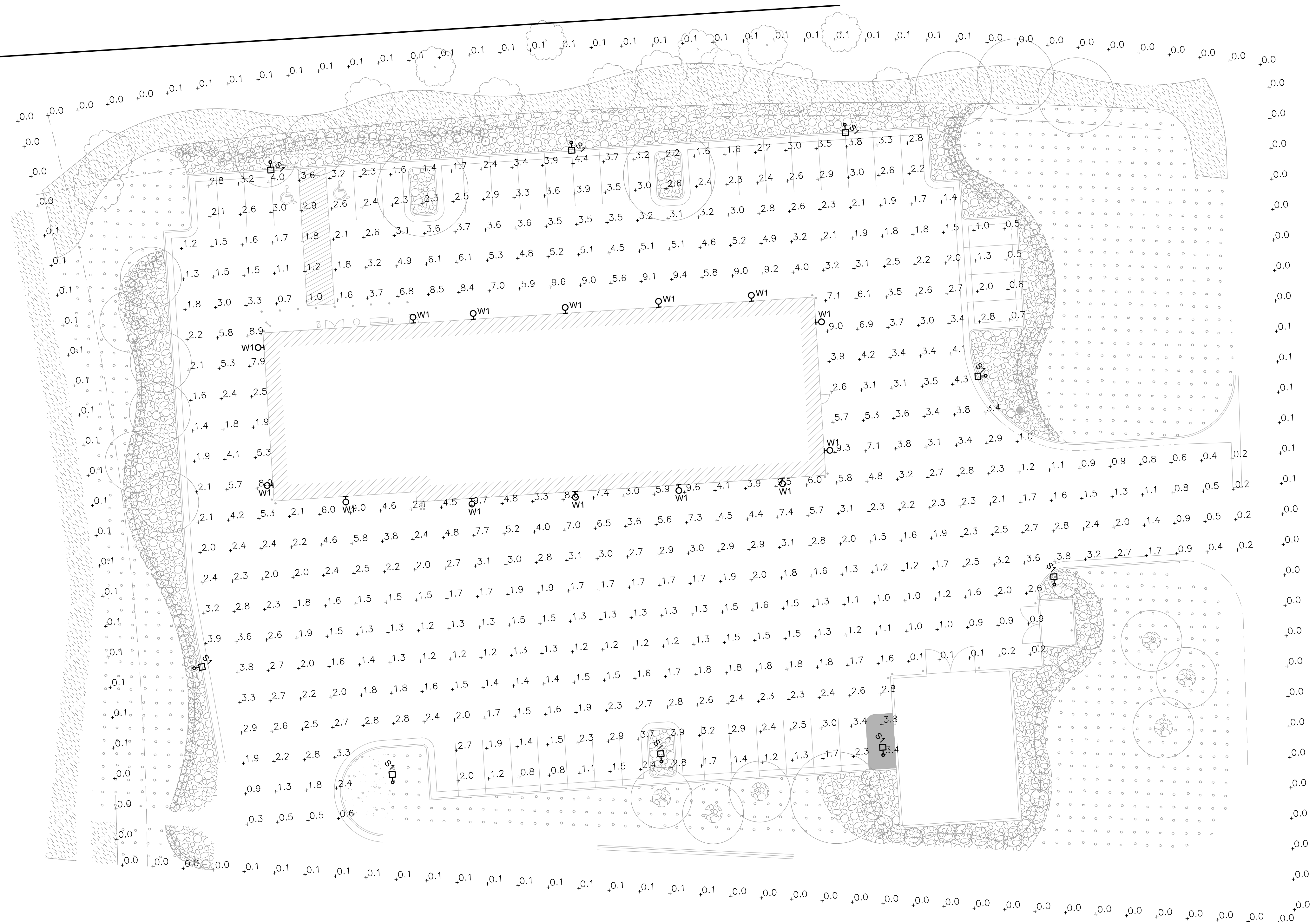
LEGEND

- □ POLE MOUNTED LIGHT
- WALL MOUNTED LIGHT

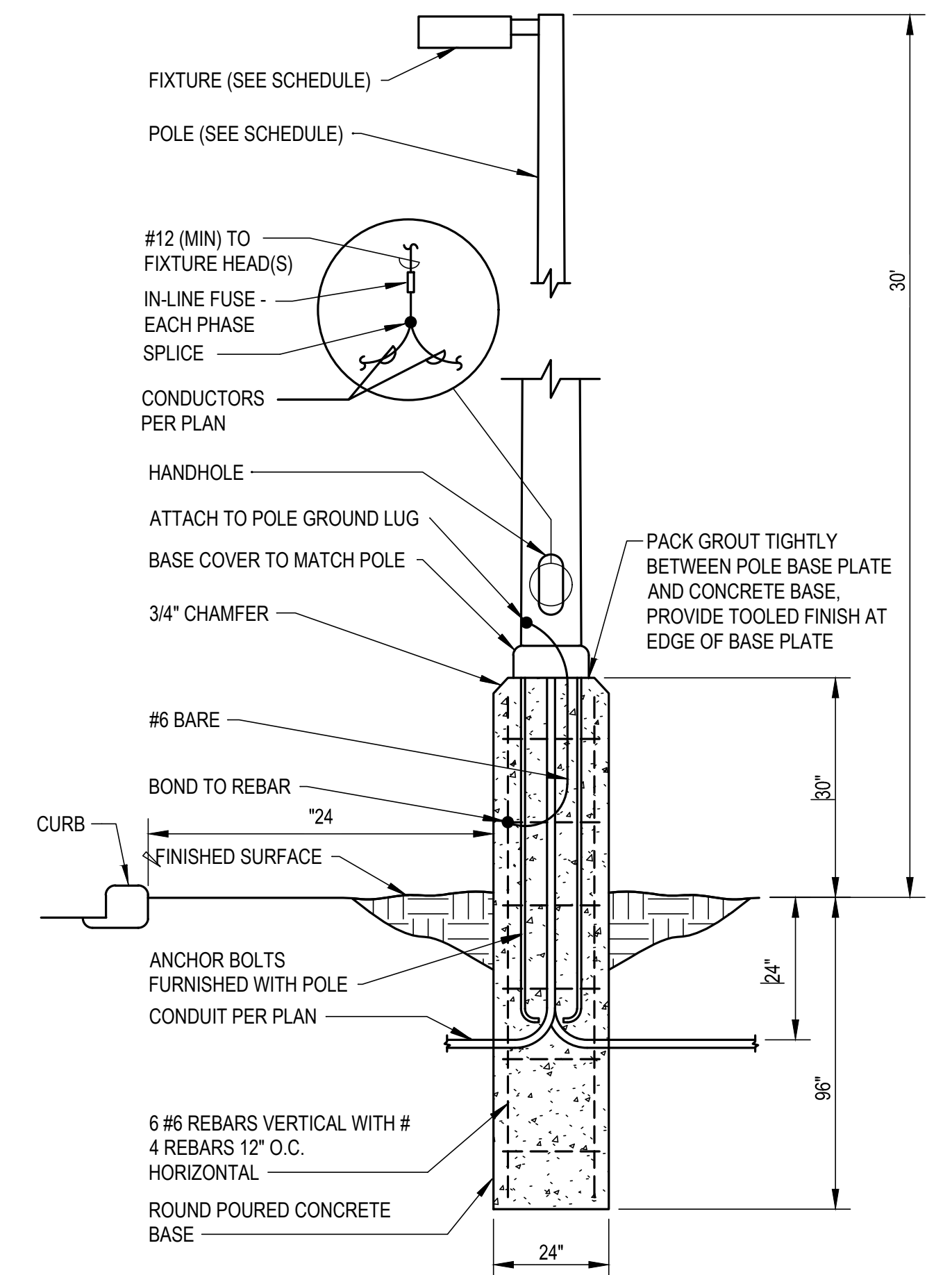
SITE LIGHTING SCHEDULE										
TYPE	DESCRIPTION	FIXTURE			MOUNTING		LAMP			
		MANUFACTURER	CATALOG NUMBER	NOTES	TYPE	HEIGHT				
S1	LED POLE MOUNTED FIXTURE, SINGLE HEAD, TYPE 4 DISTRIBUTION WITH SPILL CONTROL, MOTION SENSOR CONTROLLED DIMMING.	MCGRAW-EDISON	GLEON-SA2B-740-2-SL4-BZ-FF-MS/DIM-L40W	1, 2, 3	208	11,111	85	POLE	20'	LED, 4000K
S-POLE	ROUND TAPERED STEEL POLE, DARK BRONZE, 20' MOUNTING HEIGHT	MCGRAW-EDISON	RTS6A20S-F-N-1-X-G	1, 4						
W1	LED WALL MOUNTED FIXTURE, FULL CUT-OFF, DARK BRONZE FINISH AND MOTION SENSOR CONTROLLED DIMMING.	LUMARK	XTOR6B-W-BZ-MS/DIM-L20	1, 2	120-277	6,038	58	WALL	15'	LED, 4000K

NOTES: 1. COLOR SHALL BE DARK BRONZE. VERIFY FIXTURES AND POLES HAVE MATCHING FINISH.
2. FIXTURE SHALL BE CONTROLLED BY PROGRAMMABLE LIGHTING PANEL TO DISABLE OPERATION BETWEEN 11:00 PM AND 6:00 AM OR AS REQUIRED BY AHJ.
3. INSTALL FIXTURE HEAD WITH 0° TILT TO PROVIDE FULL-CUTOFF DISTRIBUTION (NO LIGHT OUTPUT EMITTED ABOVE 90 DEGREES AT ANY LATERAL ANGLE AROUND THE FIXTURE).
4. COORDINATE OVERALL POLE LENGTH WITH FACTORY TO PROVIDE 20' FIXTURE MOUNTING HEIGHT WITH 30" CONCRETE BASE. PROVIDE POLE MFR'S RECOMMENDED ANCHOR BOLTS.

PHOTOMETRIC STATISTICS - ILLUMINANCE IN FOOT-CANDLES					
DESCRIPTION	SYMBOL	AVG	MAX	MIN	AVG/MIN
PARKING LOT	+	2.8 fc	9.7 fc	0.1 fc	28.0:1
PROPERTY LINE	+	0.1 fc	0.1 fc	0.0 fc	N/A



1 SITE LIGHTING PLAN
E100
NORTH
SCALE: 1" = 20'

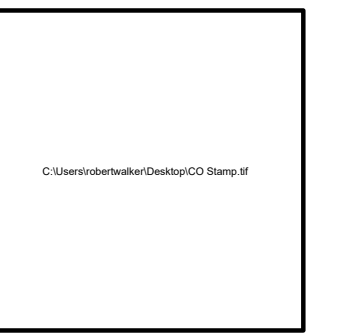


2 LIGHTING POLE BASE DETAIL
E100
NOT TO SCALE

NOT FOR CONSTRUCTION - PRELIMINARY DESIGN

7105 OLD MERIDIAN RD.
FALCON, CO

LES SCHWAB TIRE CENTER



© 2021 | ALL RIGHTS RESERVED

SITE DEVELOPMENT PLANS

04.16.2021
DRAWN BY | MTB
CHECKED BY |
REVISIONS

SITE LIGHTING PLAN

E100