

VENTURE ON VENETUCCI FILING NO. 1

LOCATED IN THE SOUTH HALF OF SECTION 4,
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO

Public and Common Subdivision Improvements:
No lot or interest therein, shall be sold, conveyed, or transferred whether by deed or by contract, nor shall building permits be issued, until and unless either the required public and common development improvements have been constructed and completed and preliminarily accepted in accordance with the Subdivision Improvements Agreement between the applicant/owner and El Paso County as recorded under Reception Number _____ in the Office of the Clerk and Recorder of El Paso County, Colorado or, in the alternative, other collateral is provided to make provision for the completion of said improvements in accordance with the El Paso County Land Development Code and Engineering Criteria Manual. Any such alternative collateral must be approved by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Planning and Community Development Department Director and meet the policy and procedure requirements of El Paso County prior to the release by the County of any lots for sale, conveyance or transfer.

This plat restriction may be removed or rescinded by the Board of County Commissioners or, if permitted by the Subdivision Improvements Agreement, by the Planning and Community Development Department Director upon either approval of an alternative form of collateral or completion and preliminary acceptance by the El Paso Board of County Commissioners of all improvements required to be constructed and completed in accordance with said Subdivision Improvements Agreement. The partial release of lots for sale, conveyance or transfer may only be granted in accordance with any planned partial release of lots authorized by the Subdivision Improvements Agreement.

BE IT KNOWN BY THESE PRESENTS

THAT CS 2005 INVESTMENTS, LLC, BEING THE OWNER OF THE FC

LEGAL DESCRIPTION:
A PORTION OF THE SOUTH HALF OF SECTION 4, TOWNSHIP 15 MERIDIAN, COUNTY OF EL PASO, STATE OF COLORADO, BEING M

COMMENCING AT THE SOUTHEAST QUARTER OF SAID SECTIC ALUMINUM CAP, 0.1 FEET ABOVE GRADE, STAMPED "ASC 1999 F OF SAID SECTION 4, AS MONUMENTED BY A RECOVERED 2-1/2" A with said Subdivision Improvements Agreement. The PLS 28651, BEARS N 01°01'43" W, FOR A DISTANCE OF 2633.35 F FOR THIS DESCRIPTION;
THENCE N 73°56'11" W, A DISTANCE OF 2734.78 FEET TO THE HIGHLANDS FILING NO. 4 AS RECORDED AT RECEPTION NO. 2227 POINT BEING THE POINT OF BEGINNING;
THENCE COINCIDENT WITH THE NORTH LINE AND EXTENSION THEREOF OF SAID LOT 1 THE FOLLOWING THREE (3) COURSES:

- 1) S 89°29'47" W, A DISTANCE OF 62.20 FEET;
- 2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 35°30'48", A RADIUS OF 238.00 FEET, AN ARC LENGTH OF 147.52 FEET; AND A CHORD BEARING AND DISTANCE OF S 71°14'24" W, 145.17 FEET;
- 3) S 53°58'59" W, A DISTANCE OF 190.82 FEET;
THENCE N 36°03'36" W, A DISTANCE OF 155.64 FEET;
THENCE N 21°58'50" W, A DISTANCE OF 272.69 FEET;
THENCE N 02°31'59" W, A DISTANCE OF 127.26 FEET;
THENCE N 21°58'47" W, A DISTANCE OF 284.99 FEET;
THENCE N 08°14'28" W, A DISTANCE OF 450.13 FEET;
THENCE N 18°57'10" E, A DISTANCE OF 224.76 FEET;
THENCE N 68°01'13" E, A DISTANCE OF 452.74 FEET TO A POINT ON THE WEST LINE OF TRACT B, SOUTH ACADEMY HIGHLANDS FILING NO. 2 AS RECORDED AT RECEPTION NO. 216713726 IN SAID RECORDS;
THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING TWO (2) COURSES:

1) S 05°08'13" W, A DISTANCE OF 273.60 FEET;

- 2) ALONG A TANGENT CURVE TO THE LEFT WITH A CENTRAL ANGLE OF 27°13'21", A RADIUS OF 605.00 FEET, AN ARC LENGTH OF 287.45 FEET; AND A CHORD BEARING AND DISTANCE OF S 08°28'27" E, 284.75 FEET TO A POINT ON THE WEST LINE OF TRACT A, SOUTH ACADEMY HIGHLANDS FILING NO. 1 AS RECORDED AT RECEPTION NO. 214713425 IN SAID RECORDS;
- THENCE COINCIDENT WITH THE WEST LINE OF SAID TRACT A AND EXTENSION THEREOF S 22°05'08" E, A DISTANCE OF 501.71 FEET TO A POINT ON THE WEST LINE OF VENETUCCI BOULEVARD AS DEDICATED IN SAID SOUTH ACADEMY HIGHLANDS FILING NO. 1;
- THENCE COINCIDENT WITH SAID WEST LINE THE FOLLOWING FOUR (4) COURSES:

- 1) ALONG A TANGENT CURVE TO THE RIGHT WITH A CENTRAL ANGLE OF 21°34'55", A RADIUS OF 560.00 FEET, AN ARC LENGTH OF 210.94 FEET; AND A CHORD BEARING AND DISTANCE OF S 11°17'40" E, 209.69 FEET;
- 2) S 00°30'10" E, A DISTANCE OF 51.78 FEET;
- 3) S 89°29'47" W, A DISTANCE OF 17.00 FEET;
- 4) S 00°30'13" E, A DISTANCE OF 162.77 FEET TO THE POINT OF BEGINNING.

update signature blocks

Land Owner Certification

In Witness Whereof:

HAS EXECUTED THESE PRESENTS THIS _____ DAY OF _____, 20____, A COLORADO LIMITED LIABILITY COMPANY

AUTHORIZED AGENT, MANAGER

State of Colorado
County of _____

Signed before me on _____, 20____,
by _____ (name(s) of individual(s) making statement).

(Notary's official signature)

(Title of office)

(Commission Expiration)

Acceptance Certificate for Tracts (accepting entity in existence)

The dedication of Tracts (list tracts and use) are hereby accepted for ownership and maintenance by the (Name) District/Homeowner's Association. (Name district or homeowner's association)

BY: (notarized signature)

President

State of Colorado
County of _____

Signed before me on _____, 20____,
by _____ (name(s) of individual(s) making statement).

(Notary's official signature)

(Title of office)

(Commission Expiration)

Board of County Commissioners Certificate

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Board of County Commissioners on the _____ day of _____, 200____, subject to any notes specified hereon and any conditions included in the resolution of approval. The dedications of land to the public (streets, tracts, easements; list those applicable) are accepted, but public improvements thereon will not become the maintenance responsibility of El Paso County until preliminary acceptance of the public improvements in accordance with the requirements of the Land Development Code and Engineering Criteria Manual, and the Subdivision Improvements Agreement.

Chair, Board of County Commissioners _____ Date _____

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Planning and Community Development Department Director on the _____ day of _____, 20____, subject to any notes or conditions specified hereon.

Planning and Community Development Director _____

This plat for (name of subdivision or plat) was approved for filing by the El Paso County, Colorado Planning and Community Development Department Director on the _____ day of _____, 20____, subject to any notes or conditions specified hereon.

Planning and Community Development Director _____



constraints some in tract some to be mitigated...

Soil and Geology Conditions:
Geologic Hazard Note-Final Plat: (to be customized based upon the individual circumstances) The following lots have been found to be impacted by geologic hazards. Mitigation measures and a map of the hazard area can be found in the report (Title of Report, generally from the Preliminary Plan file) by (author of the report) (date of report) in file (name of file and file number) available at the El Paso County Planning and Community Development Department.

- Downslope Creep: (name lots or location of area)
- Rockfall Source:(name lots or location of area)
- Rockfall Runout Zone:(name lots or location of area)
- Potentially Seasonally High Groundwater:(name lots or location of area)
- Other Hazard:

In Areas of High Groundwater:
Due to high groundwater in the area, all foundations shall incorporate an underground drainage system.

add notes

NOTES:

1. ACCORDING TO COLORADO LAW YOU MUST COMMENCE ANY LEGAL ACTION BASED UPON ANY DEFECT IN THIS SURVEY WITHIN THREE YEARS AFTER YOU FIRST DISCOVER SUCH DEFECT. IN NO EVENT MAY ANY ACTION BASED UPON ANY DEFECT IN THIS SURVEY BE COMMENCED MORE THAN TEN YEARS FROM THE DATE OF THE CERTIFICATION SHOWN HEREON.
2. ANY PERSON WHO KNOWINGLY REMOVES, ALTERS OR DEFACTS ANY PUBLIC LAND SURVEY MONUMENT OR LAND BOUNDARY MONUMENT OR ACCESSORY COMMITS A CLASS TWO (2) MISDEMEANOR PURSUANT TO STATE STATUTE 18-4-508, C.R.S.
3. **BASIS OF BEARINGS:** BEARINGS ARE BASED ON THE EAST LINE OF THE SOUTHEAST QUARTER OF SECTION 4, BEARING N 01°01'43" W, A DISTANCE OF 2633.35 FEET, AS MONUMENTED AT THE SOUTHEAST CORNER BY A RECOVERED 2-1/2" ALUMINUM CAP, 0.1' ABOVE GRADE, STAMPED "ASC 1999 PLS 28651", AND AT THE EAST QUARTER CORNER BY A RECOVERED 2-1/2" ALUMINUM CAP, STAMPED "ASC 1999 PLS 28651", IN RANGE BOX.
4. ALL DISTANCES SHOWN HEREON ARE GROUND DISTANCES IN U.S. SURVEY FEET.
5. THIS PROPERTY IS LOCATED WITHIN ZONE X, OTHER AREAS - DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AS SHOWN ON THE FLOOD INSURANCE RATE MAP FOR COUNTY OF EL PASO, COMMUNITY PANEL NUMBER 08041C0743G, MAP EFFECTIVE DATE 12/7/2018. THE ACCURACY OF ANY FLOOD HAZARD DATA SHOWN ON THIS SURVEY IS SUBJECT TO MAP SCALE UNCERTAINTY AND TO ANY OTHER UNCERTAINTY IN LOCATION OR ELEVATION ON THE REFERENCED FLOOD INSURANCE RATE MAPS.
6. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.
7. THE SURVEYED PROPERTY CONTAINS A CALCULATED AREA OF 706,978 SQ. FT. OR 16.2300 ACRES, MORE OR LESS.
8. THIS SURVEY DOES NOT CONSTITUTE A TITLE SEARCH BY KIMLEY-HORN AND ASSOCIATES, INC. TO DETERMINE OWNERSHIP OF THIS TRACT, VERIFY THE DESCRIPTION SHOWN, VERIFY THE COMPATIBILITY OF THIS DESCRIPTION WITH THAT OF ADJACENT TRACTS, OR VERIFY EASEMENTS OF RECORD. FOR ALL INFORMATION REGARDING EASEMENTS, RIGHTS-OF-WAY OR TITLE OF RECORD, KIMLEY-HORN AND ASSOCIATES, INC. RELIED UPON TITLE COMMITMENT FILE NO. NCS-1171373-INDY, EFFECTIVE DATE FEBRUARY 9, 2024, PREPARED BY FIRST AMERICAN NATIONAL TITLE INSURANCE COMPANY NATIONAL COMMERCIAL SERVICES. list encumbrances as notes
9. THE PROPERTY OWNER IS RESPONSIBLE FOR MAINTAINING PROPER STORM WATER DRAINAGE IN AND THROUGH THEIR PROPERTY. DRAINAGE EASEMENTS AS SPECIFICALLY NOTED ON THE PLAT SHALL BE MAINTAINED BY THE INDIVIDUAL LOT OWNER UNLESS OTHERWISE INDICATED. STRUCTURES, FENCES, MATERIALS OR LANDSCAPING THAT COULD IMPEDE THE FLOW OF RUNOFF SHALL NOT BE PLACED IN DRAINAGE EASEMENTS.
10. DEVELOPER SHALL COMPLY WITH FEDERAL AND STATE LAWS, REGULATIONS, ORDINANCES, REVIEW AND PERMIT REQUIREMENTS, AND OTHER AGENCY REQUIREMENTS, IF ANY, OF APPLICABLE AGENCIES INCLUDING, BUT NOT LIMITED TO, THE COLORADO DIVISION OF WILDLIFE, COLORADO DEPARTMENT OF TRANSPORTATION, U.S. ARMY CORPS OF ENGINEERS AND THE U.S. FISH AND WILDLIFE SERVICE REGARDING THE ENDANGERED SPECIES ACT, PARTICULARLY AS IT RELATES TO THE LISTED SPECIES (E.G. PREBLE'S MEADOW JUMPING MOUSE).
11. THE ADDRESSES EXHIBITED ON THIS PLAT ARE FOR INFORMATIONAL PURPOSES ONLY. THEY ARE NOT THE LEGAL DESCRIPTION AND ARE SUBJECT TO CHANGE.

The subdivider(s) agree on behalf of him/herself and any developer of builder successors and assignees that subdivider and/or said successors and assigns shall be required to pay traffic impact fees in accordance with the El Paso County Road Impact Fee Program (Resolution No. 19-471), or any amendments thereto, at or prior to the time of building permit submittals. The fee obligation, if not paid at final plat recording, shall be documents on all sales documents and in plat notes to ensure that a title search would find the fee obligation before sale of the property.

The subdivider/developer has familiarized itself with current Americans with Disabilities Act (ADA) laws and accessibility standards and has laid out the plat and associated grading and construction plans so that all site elements meet the applicable ADA design standards as published by the United States Department of Justice. Approval of this plat and associated construction documents by El Paso County does not assure compliance with the ADA or any regulations or guidelines enacted or promulgated under or with respect to such laws. It is the responsibility of the developer/home builder to ensure ADA accessibility during construction of the private sidewalks.

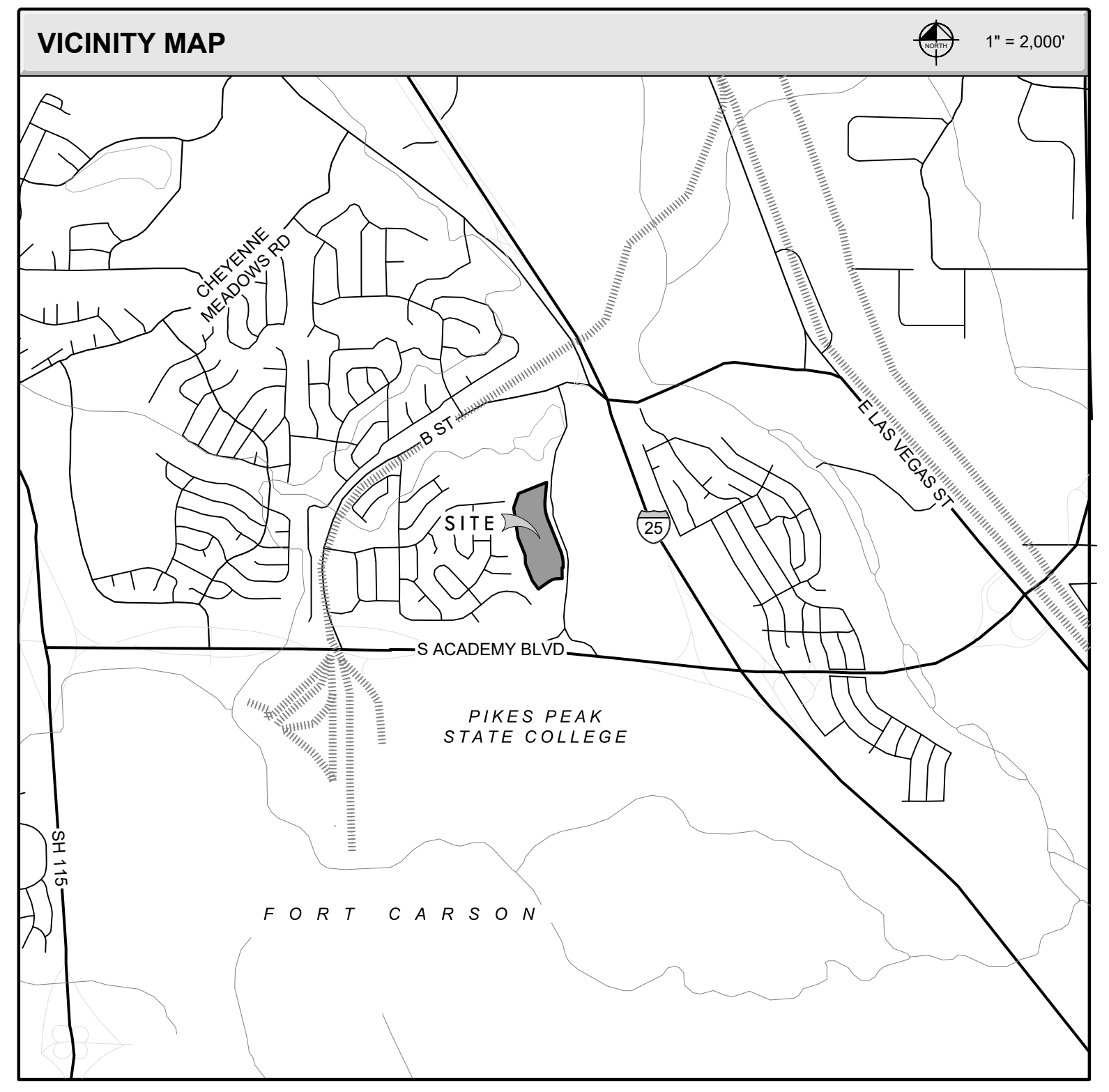
Access:
No driveway shall be established unless an access permit has been granted by City of Fountain

Private Roads:
The private roads as shown on this plat will not be maintained by El Paso County until and unless the streets are constructed in conformance with El Paso County standards in effect at the date of the request for dedication and maintenance.

Note Regarding Reports on File:
The following reports have been submitted in association with the Preliminary Plan or Final Plat for this subdivision and are on file at the County Planning and Community Development Department: Transportation Impact Study; Drainage Report; Water Resources Report; Wastewater Disposal Report; Geology and Soils Report; Fire Protection Report; Wildlife Hazard Report; Natural Features Report; (other; modify based upon specific reports)

Easements:
Unless otherwise indicated, all side, front, and rear lot lines are hereby platted on either side with a 10 foot (use 5 feet for lots smaller than 2.5 acres) public utility and drainage easement unless otherwise indicated. All exterior subdivision boundaries are hereby platted with a 20 foot (use 7 feet for lots smaller than 2.5 acres) public utility and drainage easement. The sole responsibility for maintenance of these easements is hereby vested with the individual property owners.

Water wastewater electric gas provided by



SURVEYOR'S CERTIFICATION

I, DARREN R. WOLTERSTORFF A REGISTERED LAND SURVEYOR, REGISTERED IN THE STATE OF COLORADO DO HEREBY CERTIFY THAT I HAVE PERFORMED THE SURVEY SHOWN HEREON, OR SUCH SURVEY WAS PREPARED UNDER MY DIRECT RESPONSIBILITY AND SUPERVISION, THAT THIS PLAT ACCURATELY REPRESENTS SAID SURVEY, AND THAT ALL MONUMENTS EXIST AS SHOWN HEREIN

PURSUANT TO COLORADO STATE BOARD OF LICENSURE FOR PROFESSIONAL LAND SURVEYORS RULE 6.2.2 THE UNDERSIGNED FURTHER CERTIFIES THAT THIS MAP OR PLAT WAS PREPARED BY ME OR UNDER MY RESPONSIBLE CHARGE, IS ACCURATE TO THE BEST OF MY INFORMATION, KNOWLEDGE AND BELIEF, IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE AND IS NOT A GUARANTY OR WARRANTY, EITHER EXPRESSED OR IMPLIED.

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

DARREN R. WOLTERSTORFF, PLS 38281
ON BEHALF OF KIMLEY-HORN AND ASSOCIATES, INC.
303-228-2300
WOLTERSTORFF@KIMLEY-HORN.COM

DING
OF COLORADO)
OF EL PASO) SS

I HEREBY CERTIFY THAT THIS INSTRUMENT WAS FILED FOR RECORD IN MY OFFICE AT _____, M. THIS _____ DAY OF _____, 2025, A.D., AND IS DULY RECORDED UNDER RECEPTION NO. _____ OF THE RECORDS OF EL PASO COUNTY, COLORADO.

STEVE SCHLEIKER, RECORDER

BY: _____ DEPUTY

SURCHARGE: _____
SCHOOL FEES: _____
DRAINAGE FEES: _____
PARK FEES: _____
BRIDGE FEES: _____

remove surcharge line; complete the fees; identify school district and fee amount basins fee amount and credits to be used; park fees

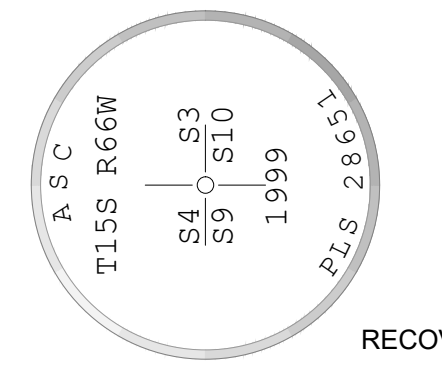
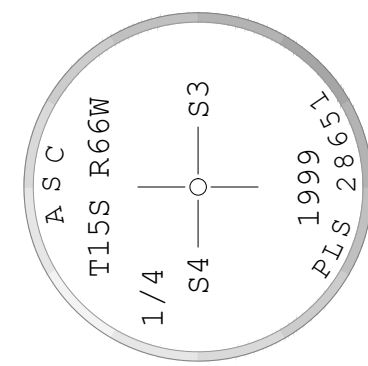
No.	DATE	REVISION DESCRIPTION	Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1	2024/11/12	REV.	N/A	PTM	DRW	2024-11-05	096302017	1 OF 2

6200 S. SYRACUSE WAY, # 300 GREENWOOD VILLAGE, CO 80111
Tel. No. (303) 228-2300
www.kimley-horn.com

Kimley»Horn

VENTURE ON VENETUCCI FILING NO. 1

LOCATED IN THE SOUTH HALF OF SECTION 4,
TOWNSHIP 15 SOUTH, RANGE 66 WEST OF THE 6TH P.M.
COUNTY OF EL PASO, STATE OF COLORADO



POINT OF COMMENCEMENT
SE QTR. SEC. 4
RECOVERED 2-1/2" ALUMINUM CAP
0.1' ABOVE GRADE

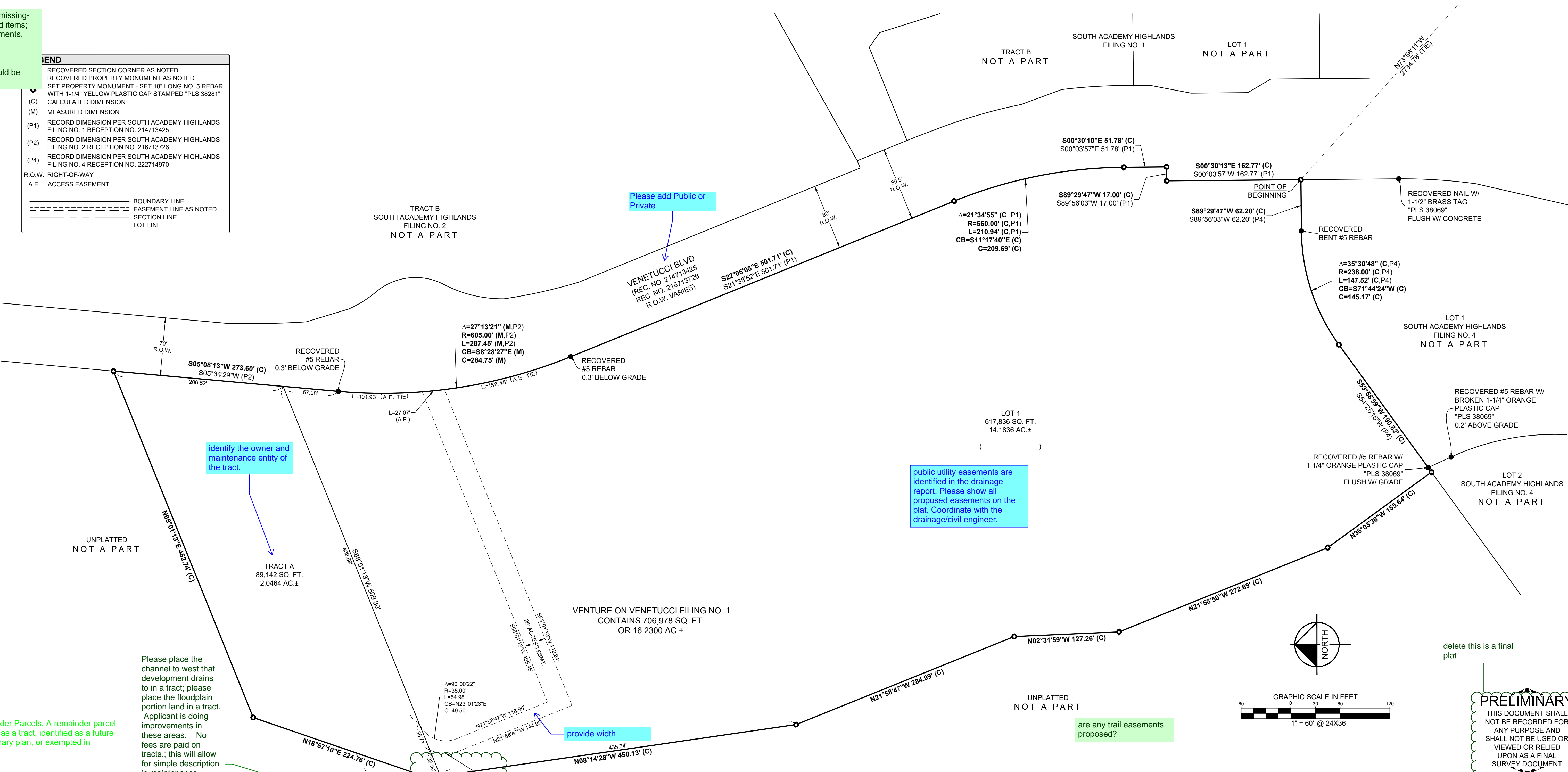
E QTR. COR. SEC. 4
RECOVERED 2-1/2"
ALUMINUM CAP
IN RANGE BOX

E LINE SE QTR. SEC. 4
N01°01'43"W 2633.35'
BASIS OF BEARINGS

several items from the checklist are missing-
please mark the checklist off and add items;
Checklist is uploaded to review comments.

Is SIA for off-site improvements should be
completed - discuss w staff

LEGEND	
(C)	RECOVERED SECTION CORNER AS NOTED
(M)	RECOVERED PROPERTY MONUMENT AS NOTED
(P1)	SET PROPERTY MONUMENT - SET 18" LONG NO. 5 REBAR WITH 1-1/4" YELLOW PLASTIC CAP STAMPED "PLS 3828" CALCULATED DIMENSION
(P2)	RECORD DIMENSION PER SOUTH ACADEMY HIGHLANDS FILING NO. 1 RECEPTION NO. 214713425
(P3)	RECORD DIMENSION PER SOUTH ACADEMY HIGHLANDS FILING NO. 2 RECEPTION NO. 216713726
(P4)	RECORD DIMENSION PER SOUTH ACADEMY HIGHLANDS FILING NO. 4 RECEPTION NO. 222714970
(R.O.W.)	RIGHT-OF-WAY
(A.E.)	ACCESS EASEMENT
(---)	BOUNDARY LINE
(- - -)	EASEMENT LINE AS NOTED
(---	SECTION LINE
(---	LOT LINE



(D) Planning Required for Remainder Parcels. A remainder parcel shall be at least 35 acres, platted as a tract, identified as a future phase consistent with the preliminary plan, or exempted in accordance with Chapter 7.

(d) Lots or Portions of Lots within Floodplain. (i) Lots Less than 2.5 Acres in Size. Lots less than 2.5 acres in size are required to be located entirely outside of the 100-year floodplain. Lands within the 100-year floodplain shall be established in a tract. A special district, HOA, or other corporate entity shall be designated to maintain the tract unless otherwise provided by this Code.

Please place the channel to west that development drains to in a tract; please place the floodplain portion land in a tract. Applicant is doing improvements in these areas. No fees are paid on tracts.; this will allow for simple description in maintenance agreements and make it very clear what is open channel area and what is to be future development when land is sold.

STORM EASEMENT TO BE DEDICATED BY SEPARATE DOCUMENT

provide easement and place adj channel in tract. NO fees are due on tracts

No.	DATE	REVISION DESCRIPTION
1	2024/11/12	REV.

Kimley»Horn
6200 S. SYRACUSE WAY, # 300
GREENWOOD VILLAGE, CO 80111
Tel. No. (303) 228-2300
www.kimley-horn.com

Scale	Drawn by	Checked by	Date	Project No.	Sheet No.
1" = 60'	PTM	DRW	2024-11-05	096302017	2 OF 2

PRELIMINARY
THIS DOCUMENT SHALL NOT BE RECORDED FOR ANY PURPOSE AND SHALL NOT BE USED OR VIEWED OR RELIED UPON AS A FINAL SURVEY DOCUMENT

D:\WORK\2024\11\2024_11_14_AJL\ASL\RAWED\11102024_6108.dwg PLOTTED BY: MCGRANAGHAN, PATRICK 11/14/2024 11:14 AM LAST SAVED: 11/15/2024 6:08 AM