

Existing house

exterior wall
2x framing 16" O.C.

Tuck metal Flashing
under existing Lap siding

Asphalt Roofing
15# Felt Paper
5/8" Plywood
2x6 Joist

2x8 Ledger
attach w/ 2
4" Ledger lock screws
16" O.C. (each stud)

6" Ledger/ack
screw 1 per Rafter

5x10 Full
Sawn Beam
Birds mouth
cut w/ Blacking
pest
connector

Pt. 4x4 min.

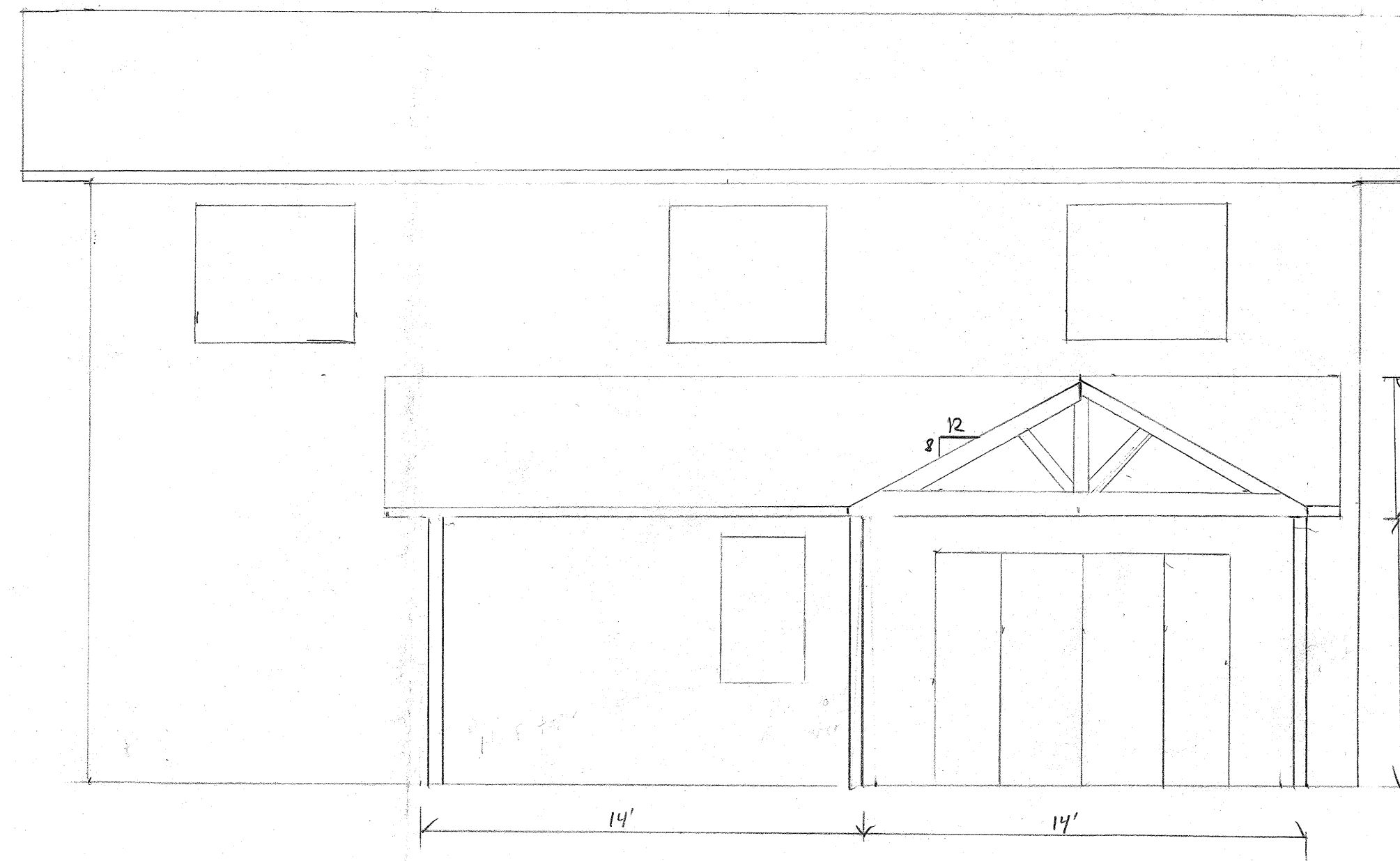
Existing 4" slab

Simpson Post Base
Grade
24" Ø pier
30" Below Grade
(3 places)

Section A scale 1/2" = 1'

General Notes

- All Lumber Hem Fir #2 or Better
- Pt. Suitable for Ground Contact
- Nail Plywood sheathing 6" ends 12" Field unblocked edge 6d 13/16
- Assumed soil bearing 1500# Per Sq
- Per size Calc. $12 \times 28 \times 30 \div 3 = 3360 \#$ 24" Ø pier OK



Elevation (Back) scale 1/4" = 1'

APPROVED
Plan Review
03/12/2024 1:37:54 PM
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EPC Planning & Community
Development Department



ANY APPROVAL GIVEN BY
EL PASO COUNTY
DOES NOT OBLIATE THE NEED
TO COMPLY WITH APPLICABLE
FEDERAL, STATE, OR LOCAL
LAWS AND/OR REGULATION
Planning & Community Development Department
approval is contingent upon compliance with all
applicable notes on the recorded plat.

An access permit must be granted by the
Planning & Community Development Department
prior to the establishment of any driveway onto a
County road.

Division of blockage of any drainage way
is not permitted without approval of the
Planning & Community Development Department

Not Required
BESQCP

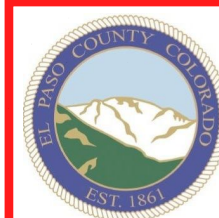
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Development Department

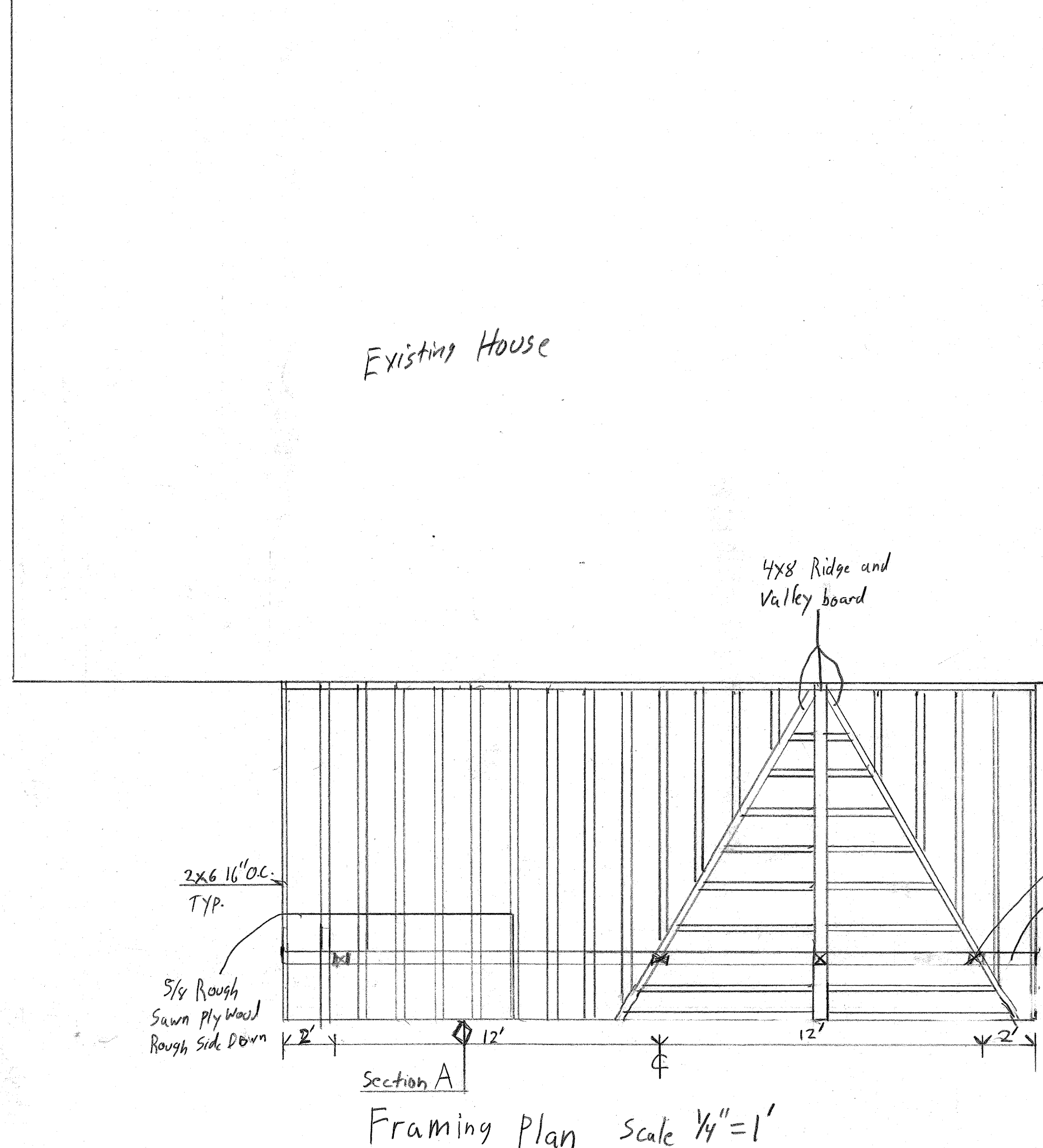
Covered Patio Plan

Nathan and Olivia
4776 Justeagan Dr
Colorado Springs, CO. 80911

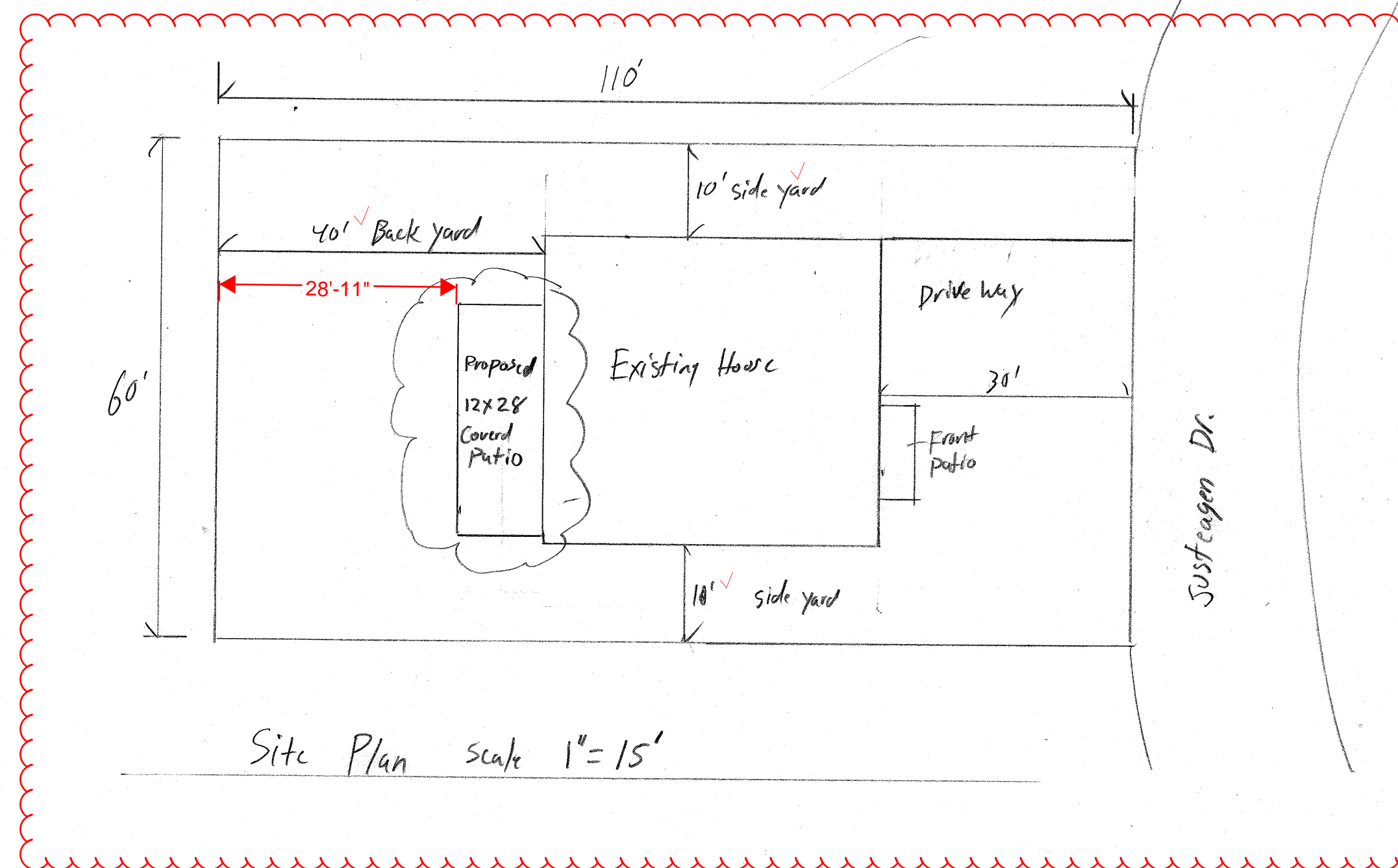
LOT 75 PAINTED SKY AT
WATERVIEW FIL NO 6



It is the owner's responsibility to
coordinate with easement holders
to avoid impact to utilities that
may be located in the easements.



Framing plan scale 1/4" = 1'



Site Plan scale 1" = 15'

Drawn by LDS 2-7-24

RESIDENTIAL



2023 PPRBC
IECC: N/A

Address: 4776 JUSTEAGEN DR, COLORADO SPRINGS

Parcel: 5507111024

Plan Track #: 186880 

Received: 01-Mar-2024 (SIERRAC)

Description:

PATIO COVER

Contractor: HOMEOWNER

Type of Unit:

Required PPRBD Departments (2)

<p>Floodplain</p> <p>(N/A) RBD GIS</p>	<p>Construction</p>
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Required Outside Departments (1)

<p>County Zoning</p> <p>APPROVED Plan Review</p> <p>03/12/2024 1:39:27 PM <i>dsdmaes</i></p> <p>EPC Planning & Community Development Department</p>
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Release of this plan does not preclude compliance with all applicable codes, ordinances and other pertinent regulations. This plan set must be present on the job site for every inspection.