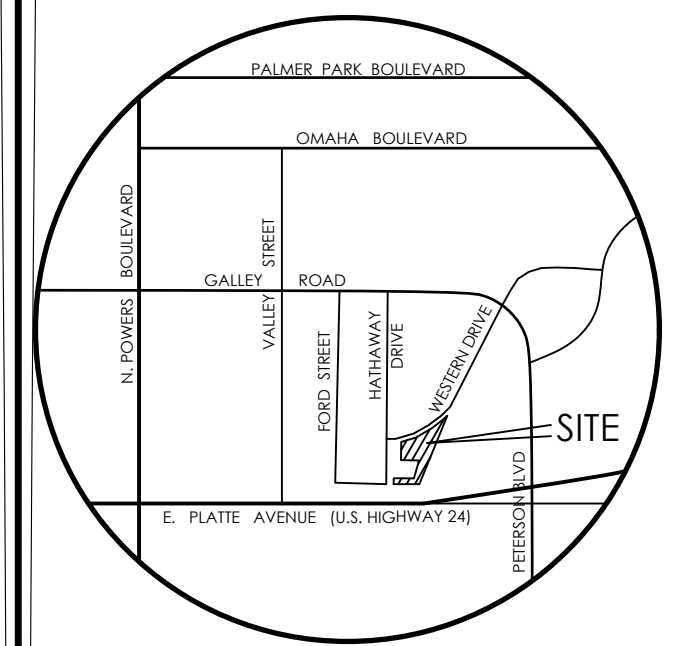


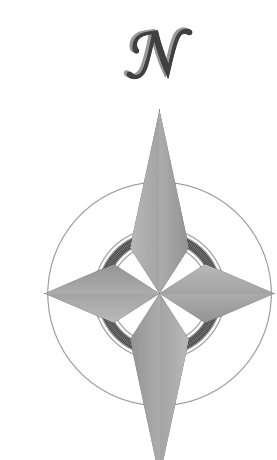
SITE DEVELOPMENT PLAN FOR TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C
LOCATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWNSHIP 14 SOUTH, RANGE 65 WEST OF THE 6TH PRINCIPAL MERIDIAN,
EL PASO COUNTY, COLORADO



VICINITY MAP
NOT TO SCALE

BENCHMARK
THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED BY MVE INC. USING DATA PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD '88.



1" = 100' 1:1,200



REVISIONS

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DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C

COVER SHEET

DP-1 MVE PROJECT 61203
MVE DRAWING DEV-CS

MARCH 1, 2024
SHEET 1 OF 6

LEGEND

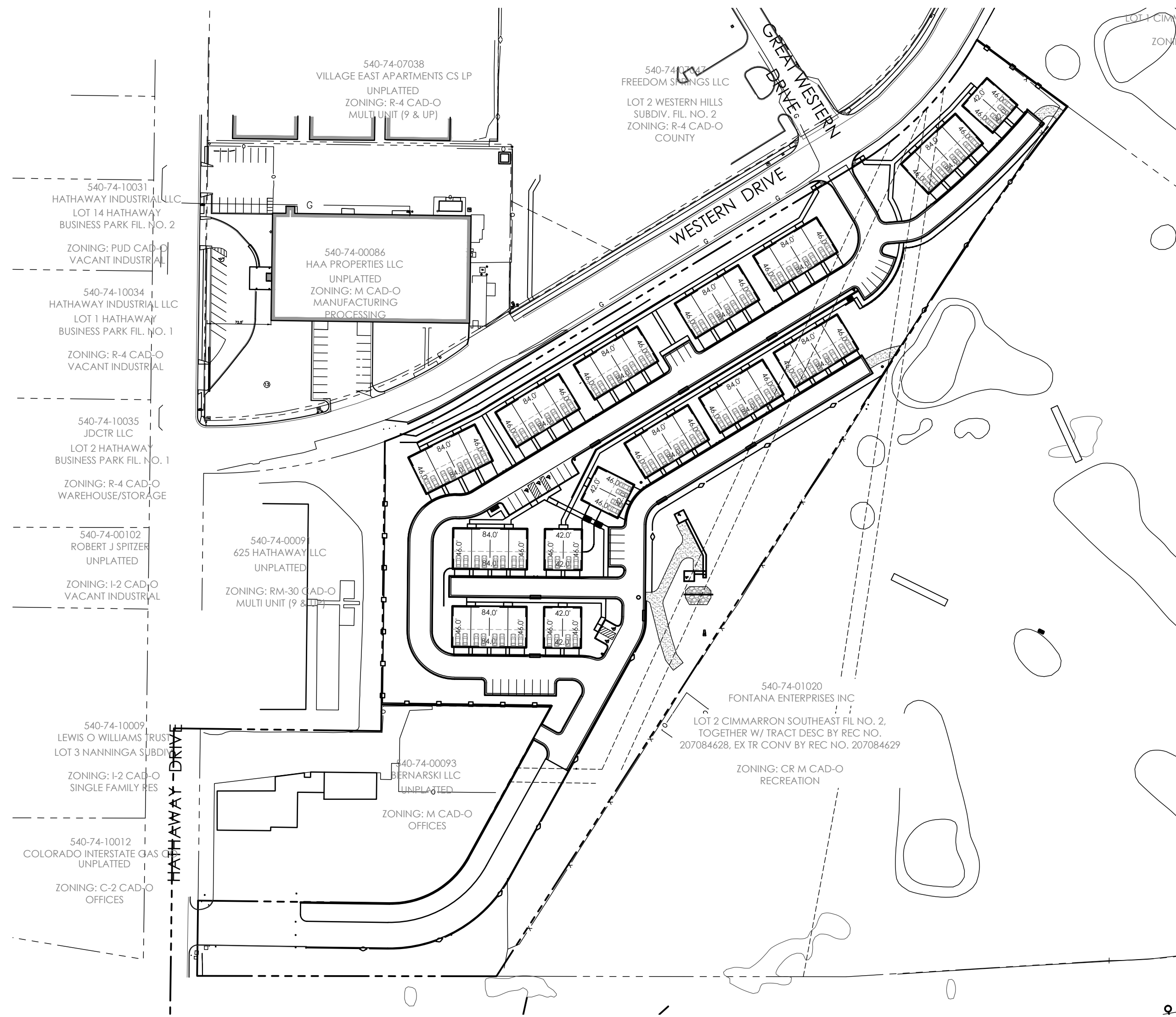
-----	PROPERTY LINE	-----	INDEX CONTOUR
- - - - -	EASEMENT LINE	-----	INTERMEDIATE CONTOUR
-----	LOT LINE	-----	CONCRETE AREA
-----	BUILDING SETBACK LINE	-----	ASPHALT AREA
-----	ADJACENT PROPERTY LINE	-----	CURB AND GUTTER
EXISTING			
-----	INDEX CONTOUR	-----	CONCRETE AREA
-----	INTERMEDIATE CONTOUR	-----	ASPHALT AREA
-----	CONCRETE AREA	-----	CURB AND GUTTER
-----	ASPHALT AREA	-----	BUILDING/ BUILDING OVERHANG
-----	CURB AND GUTTER	-----	DECK
-----	BUILDING/ BUILDING OVERHANG	-----	RETAINING WALL - SOLID/ ROCK
-----	DECK	-----	SIGN
-----	RETAINING WALL - SOLID/ ROCK	-----	BOLLARD
-----	SIGN	-----	WOOD FENCE
-----	BOLLARD	-----	CHAIN LINK FENCE
-----	WOOD FENCE	-----	BARBED WIRE FENCE
-----	CHAIN LINK FENCE	-----	TREE (EVERGREEN/DECIDUOUS)
-----	BARBED WIRE FENCE	-----	SHRUB
-----	TREE (EVERGREEN/DECIDUOUS)	-----	ROCK
-----	SHRUB	-----	
-----	ROCK	-----	

ABBREVIATION LEGEND

ASPH	ASPHALT
CONC	CONCRETE
C & G	CURB & GUTTER
DET.	DETAIL
ESMT	EASEMENT
ME	MATCH EXISTING
P.B., PG.	PLAT BOOK, PAGE
PVMT	PAVEMENT
RET. WALL	RETAINING WALL
REC. NO.	RECEPTION NUMBER
R.O.W.	RIGHT-OF-WAY
SF	SQUARE FOOT
STBK	SETBACK
SW	SIDEWALK
UTIL	UTILITY
Ⓢ	CATCH CURB
Ⓣ	SPILL CURB

SHEET INDEX

SITE DEVELOPMENT PLAN	
DP-1	COVER SHEET
DP-2	SITE PLAN (NORTH)
DP-3	SITE PLAN (SOUTH)
DP-4	PRELIMINARY GRADING PLAN
DP-5	PRELIMINARY UTILITY PLAN
DP-6	SITE DETAILS



SITE DATA

OWNER / DEVELOPER J. ELLIOTT HOMES, INC. 13761 BANDANERO DRIVE PEYTON, CO 80831 PH (719) 499-8214	COVERAGE DATA
CONSULTANT/ENGINEER M.V.E. INC. 1903 LELARAY STREET, SUITE 200 COLORADO SPRINGS, CO 80909 (719) 635-5736	52 TOWNHOME UNITS (966 EA) 50,232 SF 16.2%
SURVEYOR POLARIS SURVEYING, INC. 1903 LELARAY STREET, SUITE 102 COLORADO SPRINGS, CO 80909 (719) 448-0844	PAVEMENT (PARKING/WALK) 98,148 SF 31.7%
ZONING RESIDENTIAL MULTI-DWELLING (RM-30)	LANDSCAPING 161,689 SF 52.1%
BUILDING USE TOWN HOMES	TOTAL AREA 310,069 SF 100.0% = 7.118± ACRES
CONSTRUCTION SCHEDULE START: FALL 2024 FINISH: FALL 2025	PARKING DATA 52 MULTI-FAMILY RESIDENTIAL UNITS (3 BEDROOM) REQUIRED PARKING: 2.0 SPACES / 3 BEDROOM UNIT = 2.0 X 52 = 104 GUEST REQUIRED: 1 SPACE / 4 UNITS = 52 / 4 = 13 ADA SPACES REQUIRED: 5
TAX SCHEDULE NO. 5407401016	TOTAL SPACES REQUIRED: 122
PROPERTY ADDRESS 721 WESTERN DRIVE COLORADO SPRINGS, CO 80915	PROVIDED: GARAGES: 104 OUTSIDE PARKING (GUEST): 30 ADA SPACES: 5
LEGAL DESCRIPTION LOT 1, CIMARRON SOUTHEAST FILING NO. 2C AS RECORDED IN PLAT BOOK H-3 AT PAGE 89 OF THE RECORDS OF EL PASO COUNTY, COLORADO CONTAINING A CALCULATED AREA OF 7.118 ACRES, MORE OR LESS.	TOTAL SPACES PROVIDED: 139 SPACES
DEVELOPMENT NOTES:	BUILDING TYPE BUILDING AREA - 3,864 SF TWO / THREE STORY - TYPE II-B NOT FIRE SPRINKLED / NO FIRE WALLS
1. WATER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.	BUILDING HEIGHT 40 FT MAX. (THREE STORY)
2. SEWER SERVICE PROVIDED BY CHEROKEE METROPOLITAN DISTRICT.	SETBACKS 25' FRONT (WESTERN DRIVE) 15' REAR 15' SIDE 25' PERIMETER BOUNDARY
3. GAS AND ELECTRIC SERVICE PROVIDED BY COLORADO SPRINGS UTILITIES.	
4. OWNERSHIP AND MAINTENANCE OF THE GENERAL COMMON ELEMENT (GCE), TRACT A SHALL BE VESTED TO THE TOWNHOMES AT WESTERN HOME OWNERS ASSOCIATION. THIS INCLUDES THE MAINTENANCE OF THE PRIVATE ROADS, COMMON AREAS, ETC.	

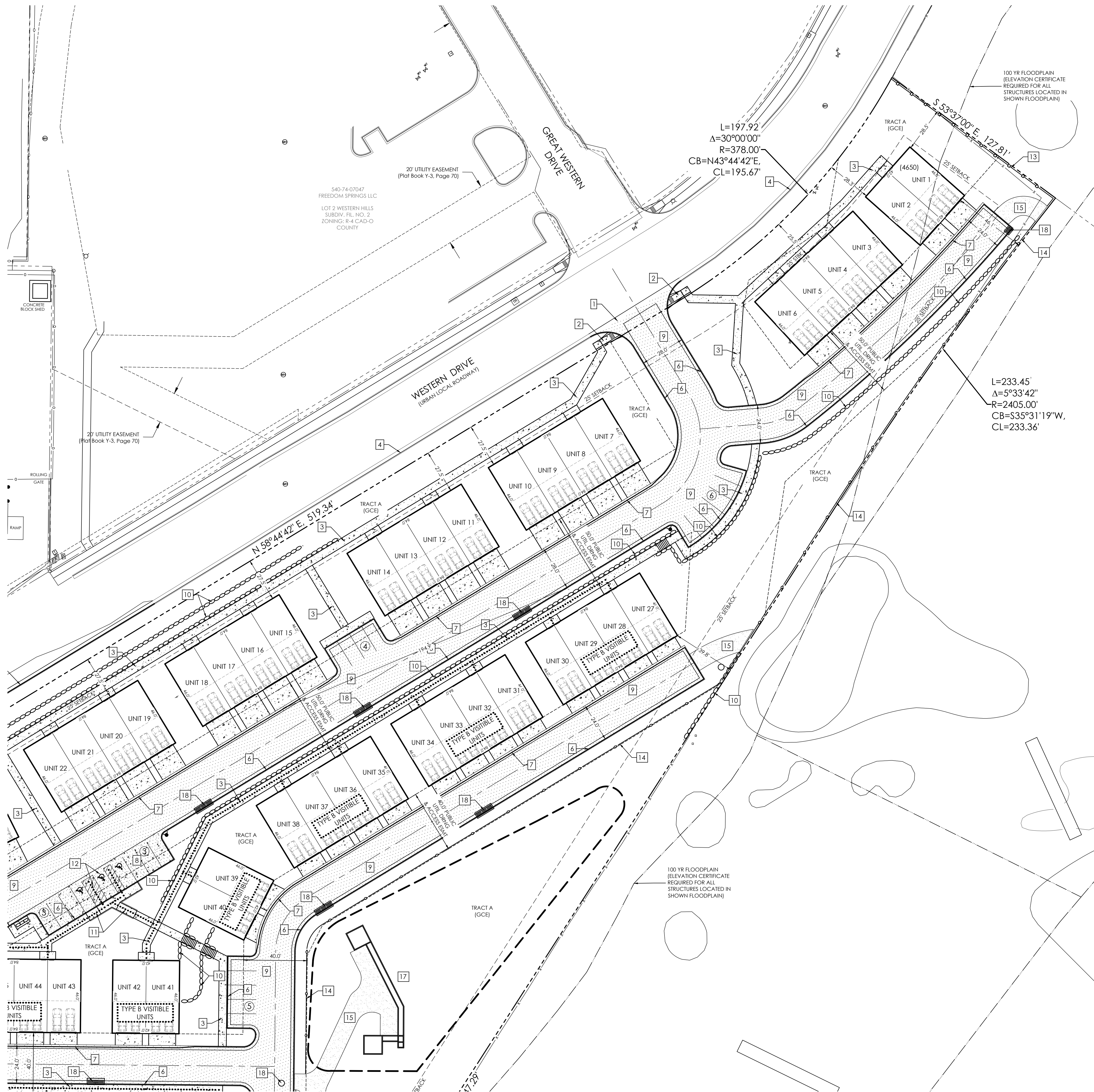
FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

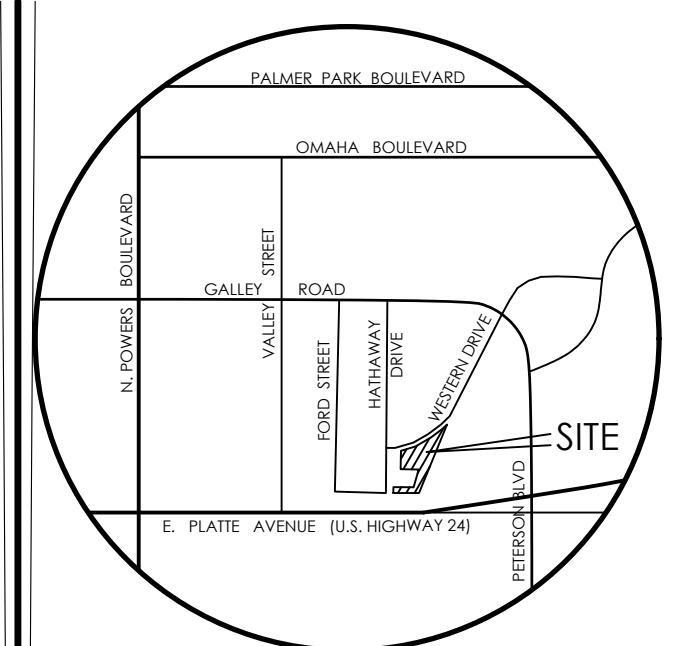
MAP NOTES

- BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
- THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.
- ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE NOT PERFORMED.

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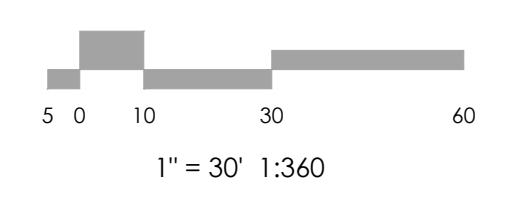
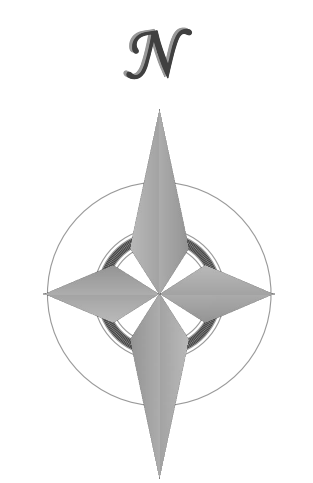


- SITE PLAN SPECIFIC NOTES**
- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
 - 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
 - 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
 - 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
 - 5 INSTALL EPC TYPE A CURB & GUTTER (PUBLIC) (EPC DET SD_2-20)
 - 6 INSTALL EPC TYPE A CURB & GUTTER (PRIVATE) (EPC DET SD_2-20)
 - 7 INSTALL EPC TYPE C CURB & GUTTER (EPC DET SD_2-20)
 - 8 INSTALL CONCRETE PAVEMENT (SEE DETAIL)
 - 9 INSTALL ASPHALT PAVEMENT (SEE DETAIL)
 - 10 INSTALL 4' HIGH MAX HEIGHT CONCRETE RETAINING WALL (SEE DETAIL)
 - 11 INSTALL INTERIOR PEDESTRIAN CURB RAMP (SEE DETAIL)
 - 12 INSTALL ADA PAVEMENT STRIPES (SEE DETAIL)
 - 13 INSTALL 6' HIGH OPAQUE WOOD FENCE (SEE DETAIL)
 - 14 INSTALL SPLIT RAIL WOOD FENCE
 - 15 INSTALL GRAVEL ACCESS DRIVE
 - 16 INSTALL CONCRETE PRIVACY WALL (SEE DETAIL)
 - 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
 - 18 INSTALL STORM INLET / MANHOLE (PRIVATE)



VICINITY MAP
NOT TO SCALE

BENCHMARK
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ADA ACCESSIBILITY POINT CALCULATION:

REQUIRED:
PER CRC 9-5-105, 24 POINTS ARE NEEDED FOR THIS SITE (43-57 = 24 UNITS).

PROVIDED:
PROPOSED UNITS ARE TO BE TYPE B VISITABLE, WHICH CARRY 1 POINT PER UNIT.
26 UNITS (TYPE B VISITABLE) = 26 UNITS @ 1 PT/UNIT = 26 POINTS PROVIDED
26 POINTS > 24 POINTS REQUIRED.

INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

ADA NOTE

THE PARTIES RESPONSIBLE FOR THIS PLAN HAVE FAMILIARIZED THEMSELVES WITH ALL CURRENT ACCESSIBILITY CRITERIA AND SPECIFICATIONS AND THE PROPOSED PLAN REFLECTS ALL SITE ELEMENTS REQUIRED BY THE APPLICABLE ADA DESIGN STANDARDS AND GUIDELINES AS PUBLISHED BY THE UNITED STATES DEPARTMENT OF JUSTICE. APPROVAL OF THIS PLAN BY EL PASO COUNTY DOES NOT ASSURE COMPLIANCE WITH THE ADA OR ANY REGULATIONS OR GUIDELINES ENACTED OR PROMULGATED UNDER OR WITH RESPECT TO SUCH LAWS.

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

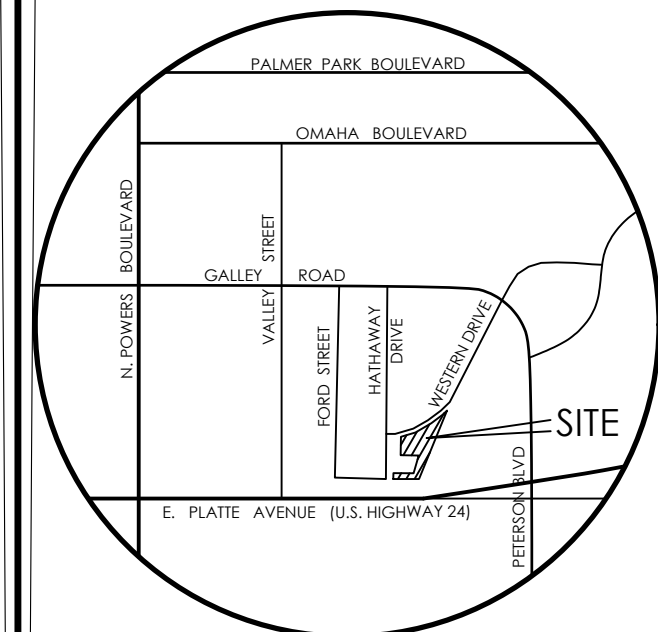
**SITE DEVELOPMENT
PLAN
SITE PLAN**

DP-2 MVE PROJECT 61203
MVE DRAWING DEV-SP

MARCH 1, 2024
SHEET 2 OF 6

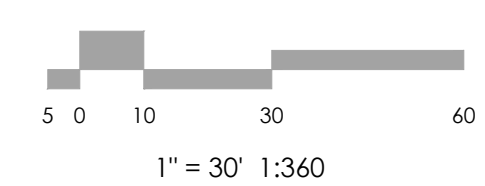
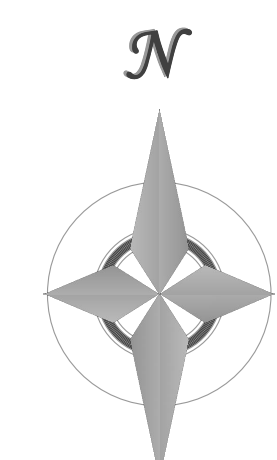
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VICINITY MAP
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BENCHMARK
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REVISIONS

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DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

SITE DEVELOPMENT
PLAN
SITE PLAN

DP-3 MVE PROJECT 61203
MVE DRAWING DEV-SP

MARCH 1, 2024
SHEET 3 OF 6

SITE PLAN SPECIFIC NOTES

- 1 INSTALL 6' CROSS PAN (EPC DET SD_2-26)
- 2 INSTALL PEDESTRIAN CURB RAMP (EPC DET SD_2-41)
- 3 INSTALL 5' WIDE SIDEWALK (SEE DETAIL)
- 4 EXISTING EPC TYPE A CURB & GUTTER TO REMAIN
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- 17 INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
- 18 INSTALL STORM INLET / MANHOLE (PRIVATE)

ADA ACCESSIBILITY POINT CALCULATION:

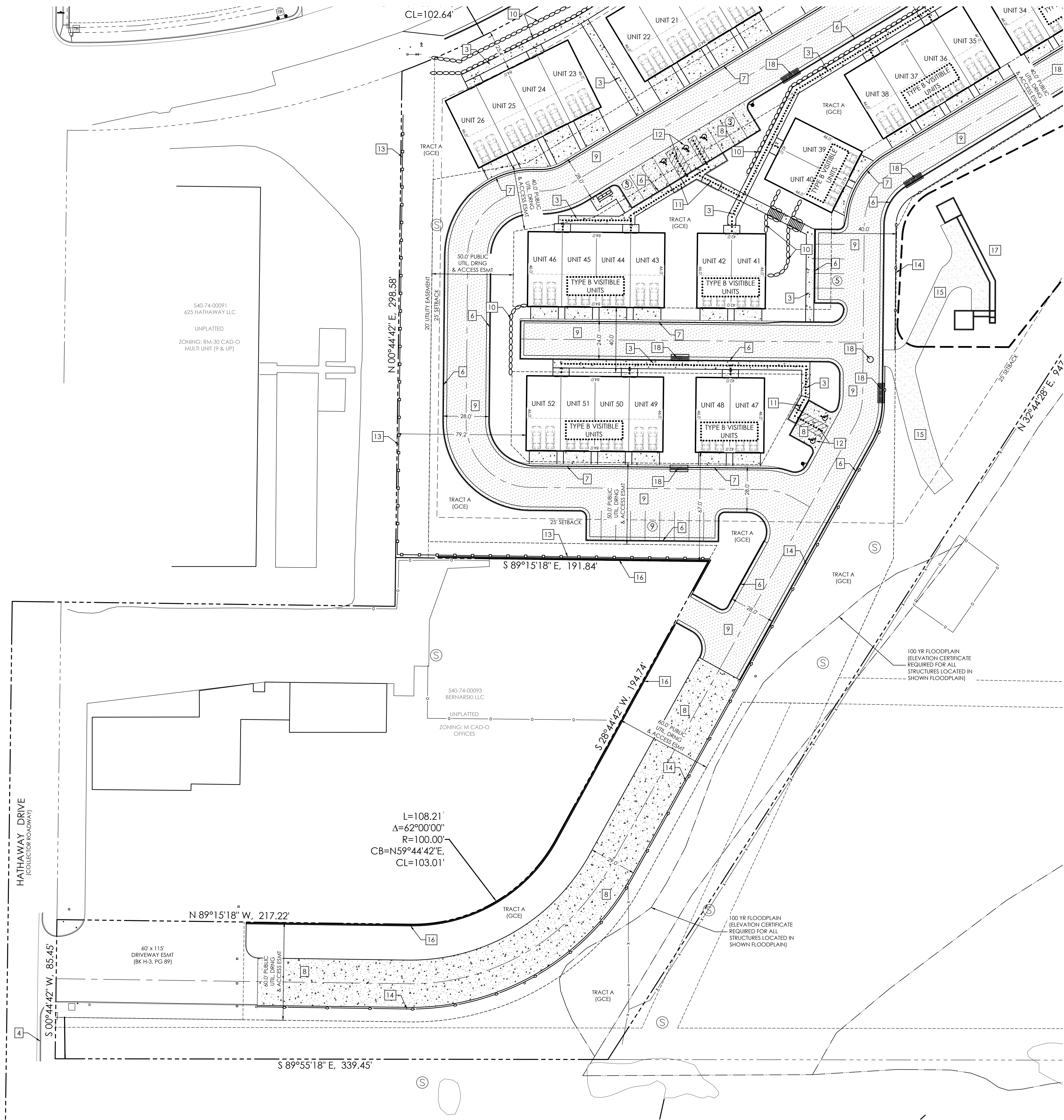
REQUIRED:
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PROVIDED:
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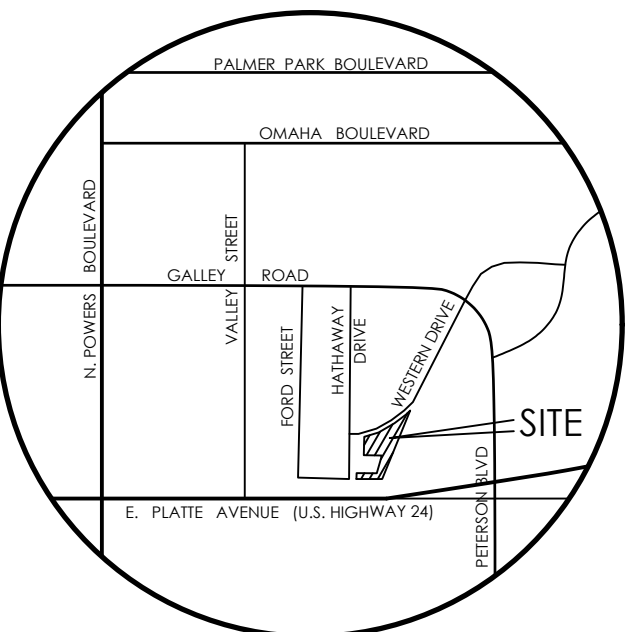
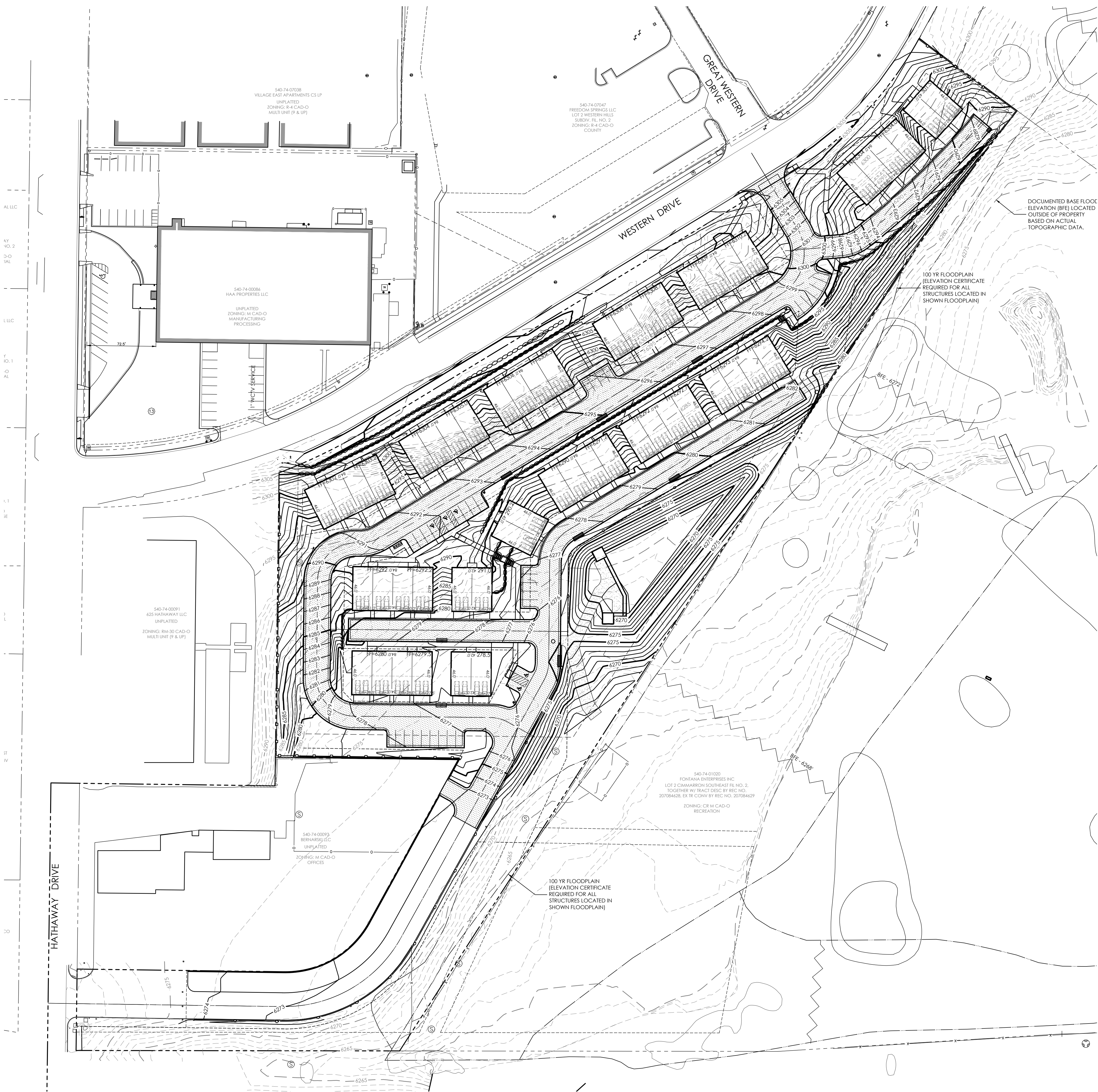
INTERIOR OF UNITS COMPLY WITH SECTION 1003 OF ICC A117.1-2009 AND IBC 1107.6

ADA NOTE

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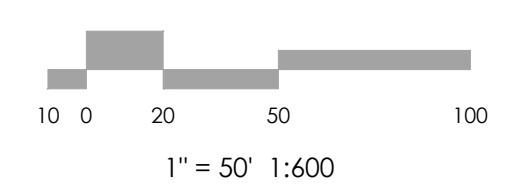
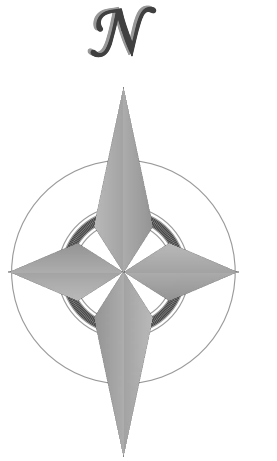


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VICINITY MAP
NOT TO SCALE

BENCHMARK
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MVE, INC.
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

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CHECKED BY _____
AS-BUILT BY _____
CHECKED BY _____

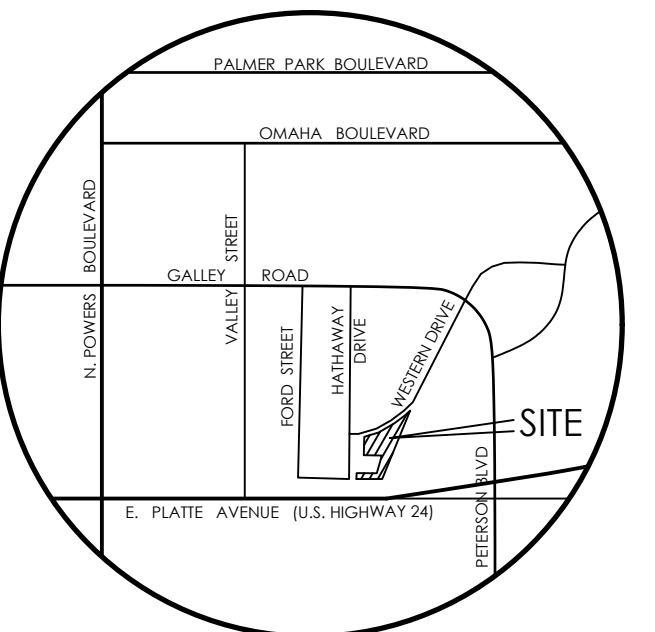
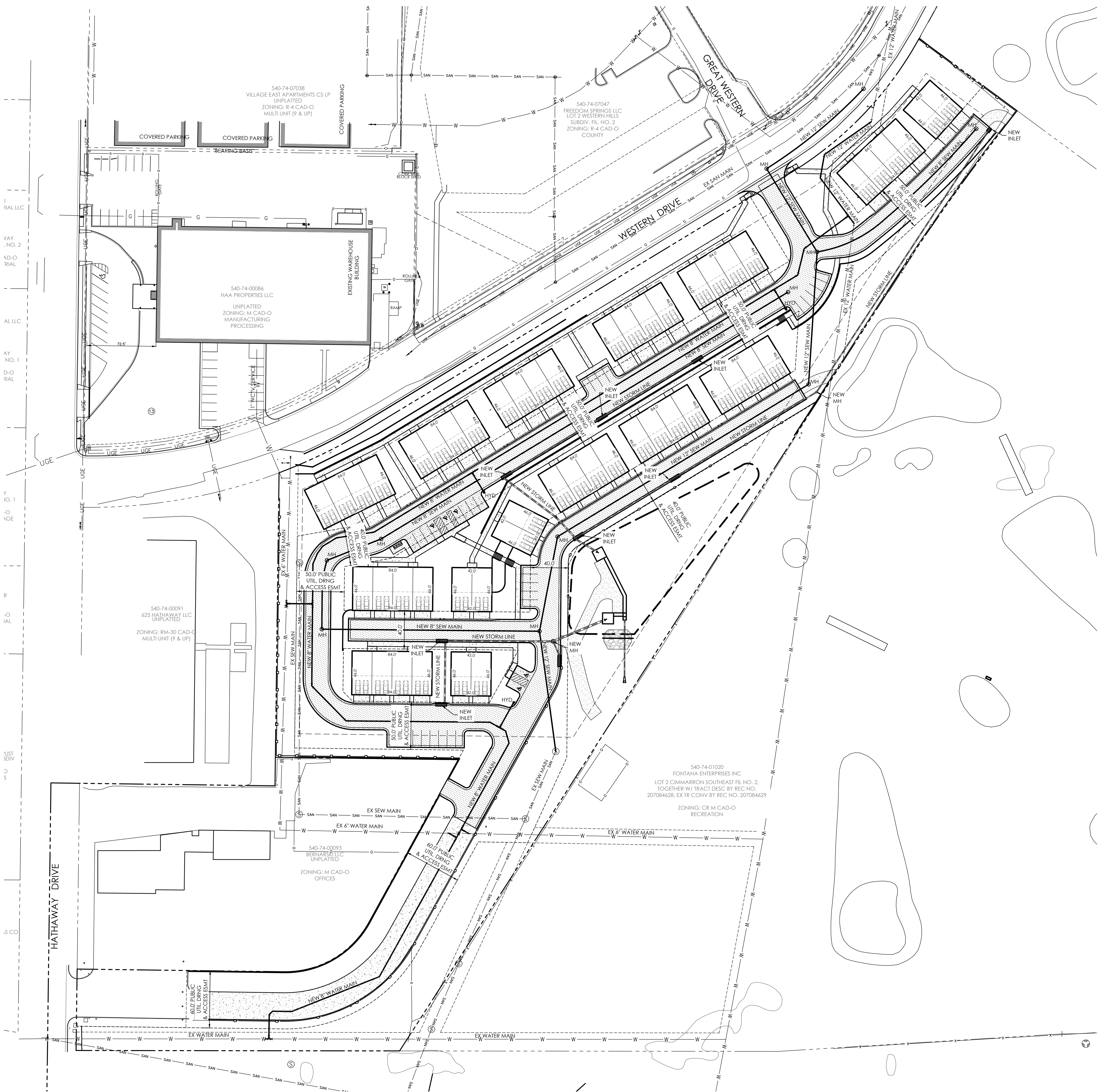
TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

SITE DEVELOPMENT
PLAN
PRELIMINARY GRADING

DP-4 MVE PROJECT 61203
MVE DRAWING DEV-PG

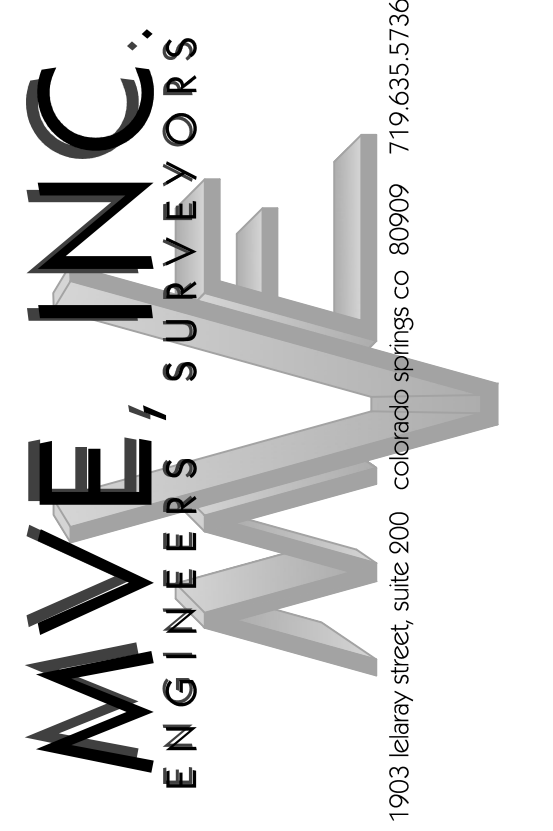
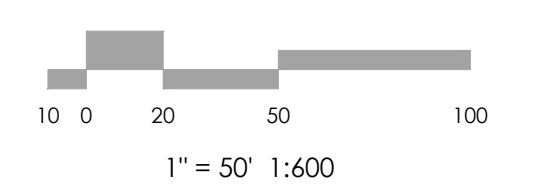
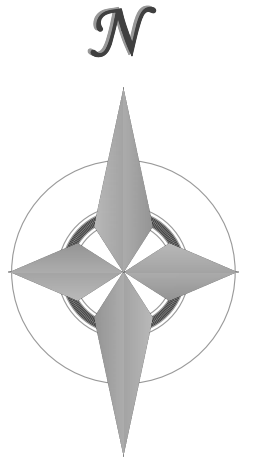
MARCH 1, 2024
SHEET 4 OF 6

PCD FILE #



VICINITY MAP
NOT TO SCALE

BENCHMARK
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REVISIONS

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DRAWN BY _____
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CHECKED BY _____

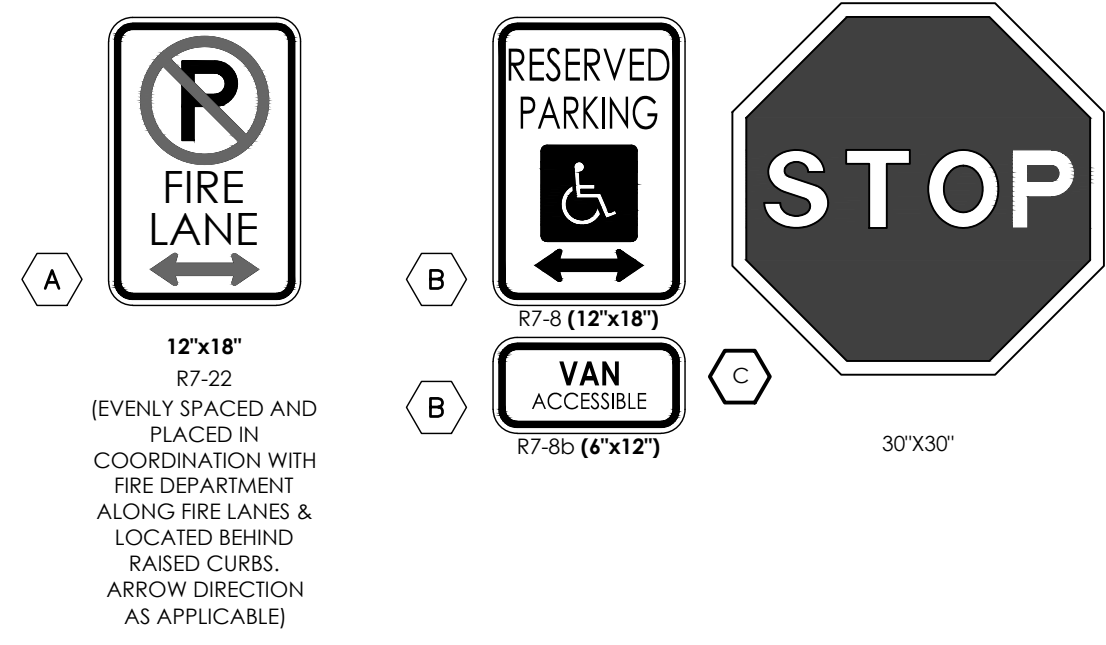
TOWNHOMES AT WESTERN
LOT I, CIMARRON SOUTHEAST
FILLING NO - 2C

SITE DEVELOPMENT
PLAN
PRELIMINARY UTILITIES

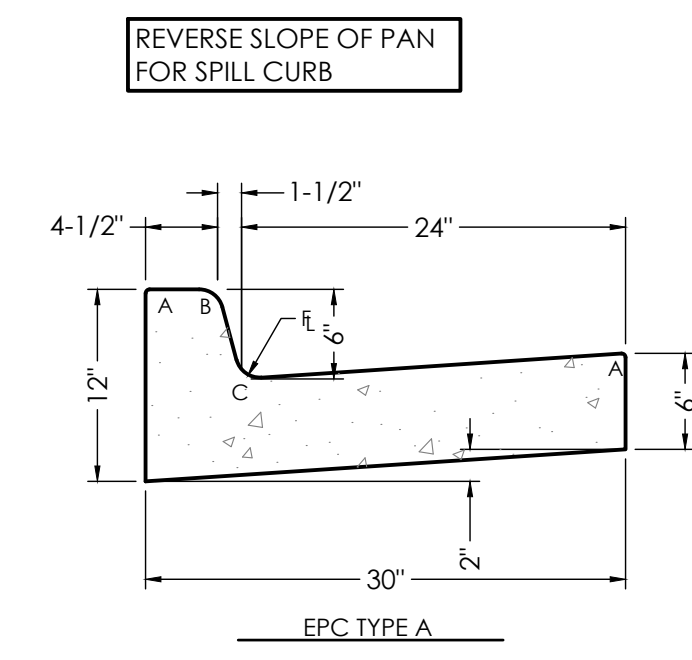
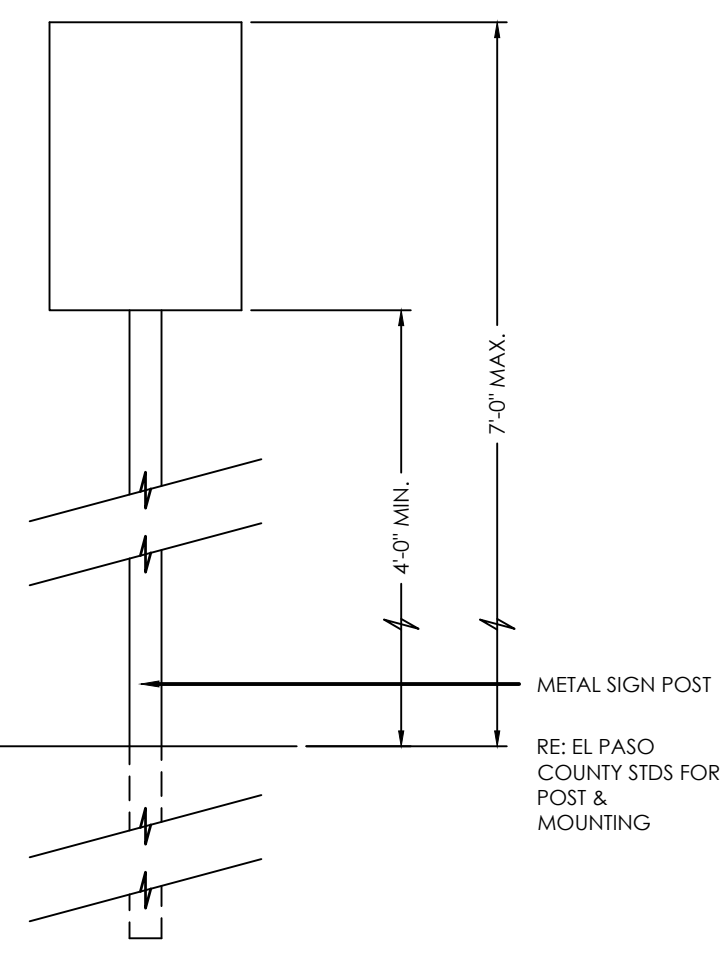
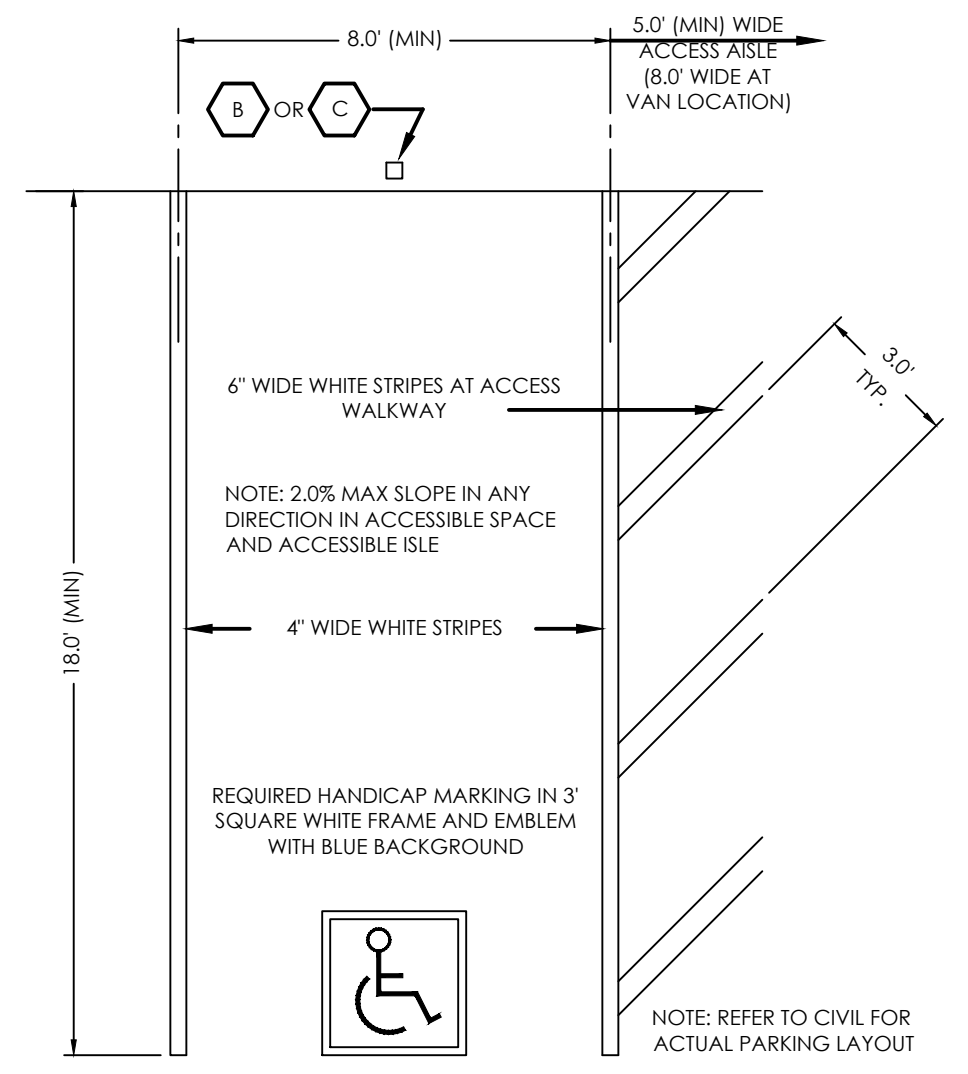
DP-5 MVE PROJECT 61203
MVE DRAWING DEV-PU

MARCH 1, 2024
SHEET 5 OF 6

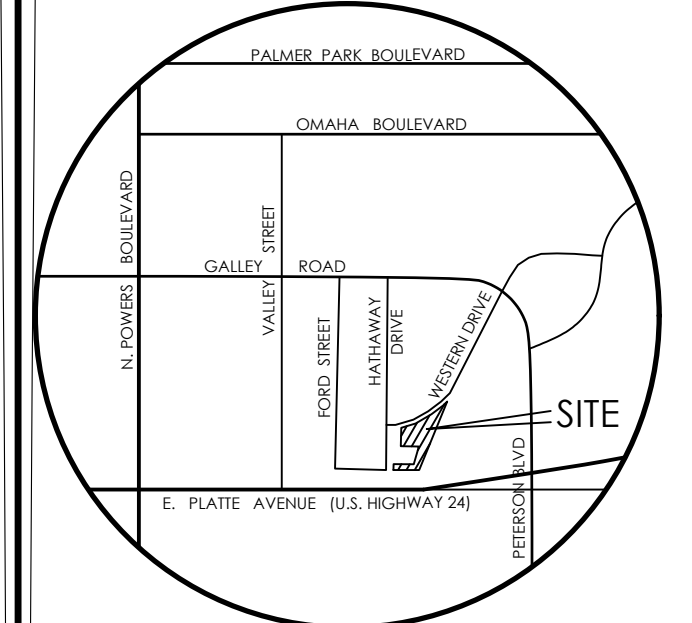
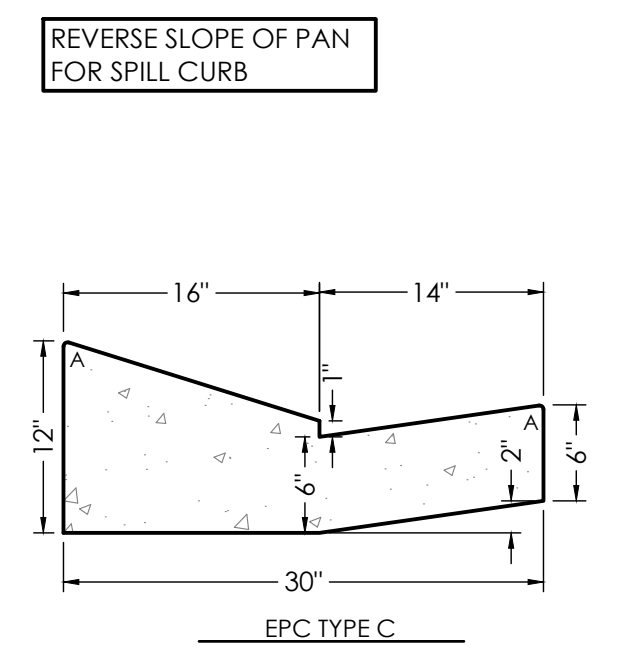
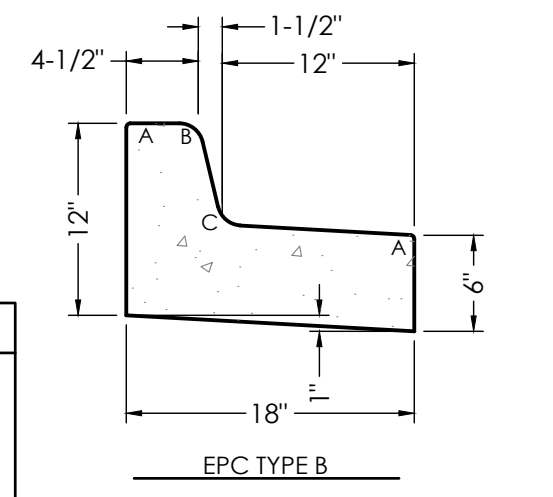
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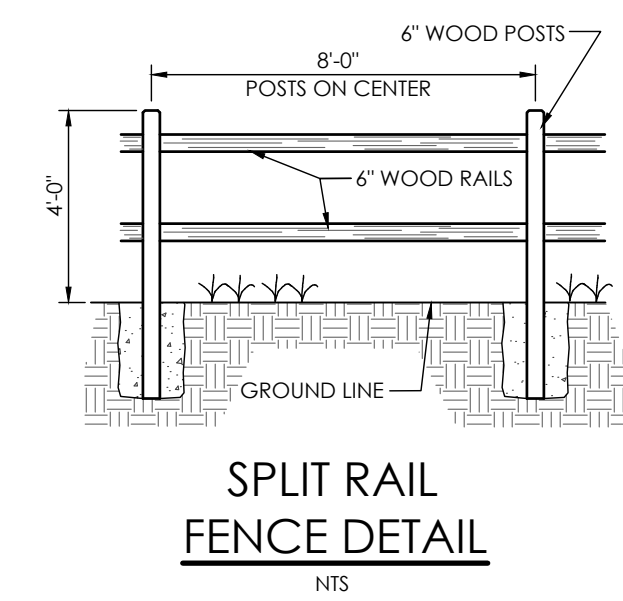
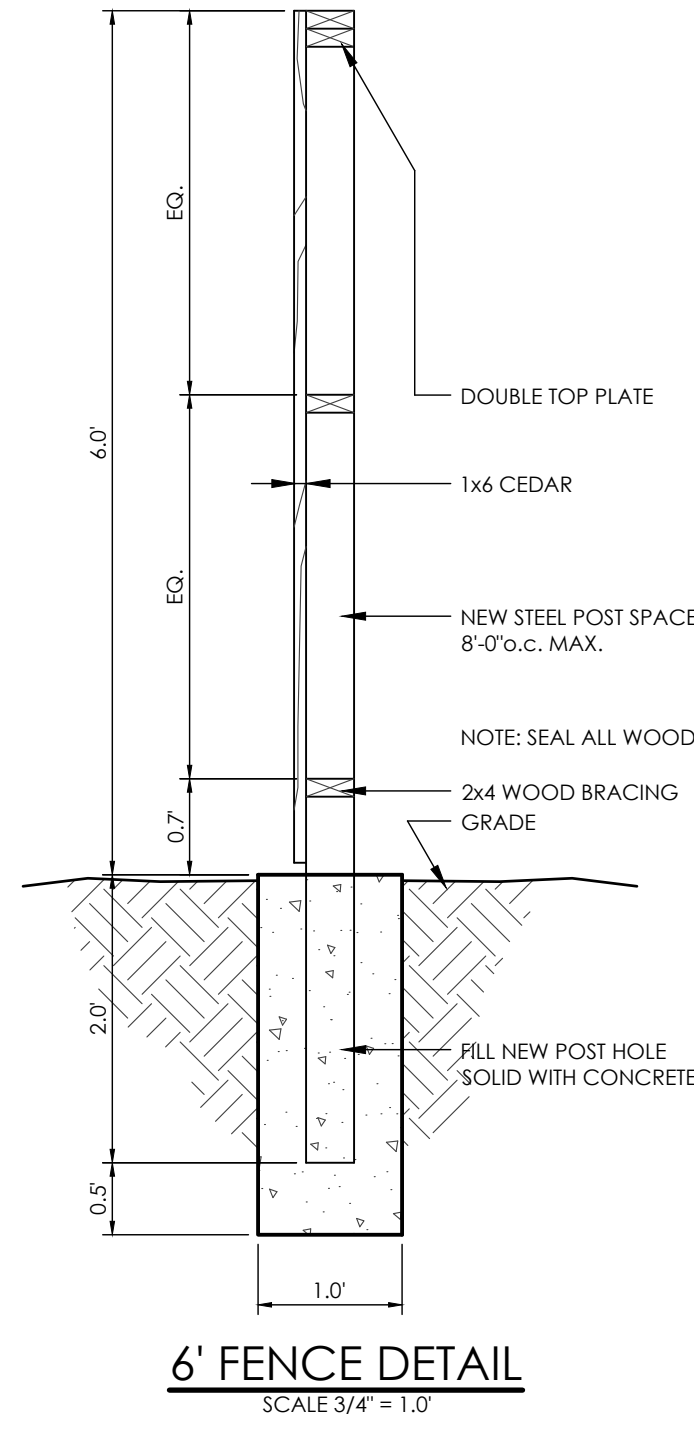
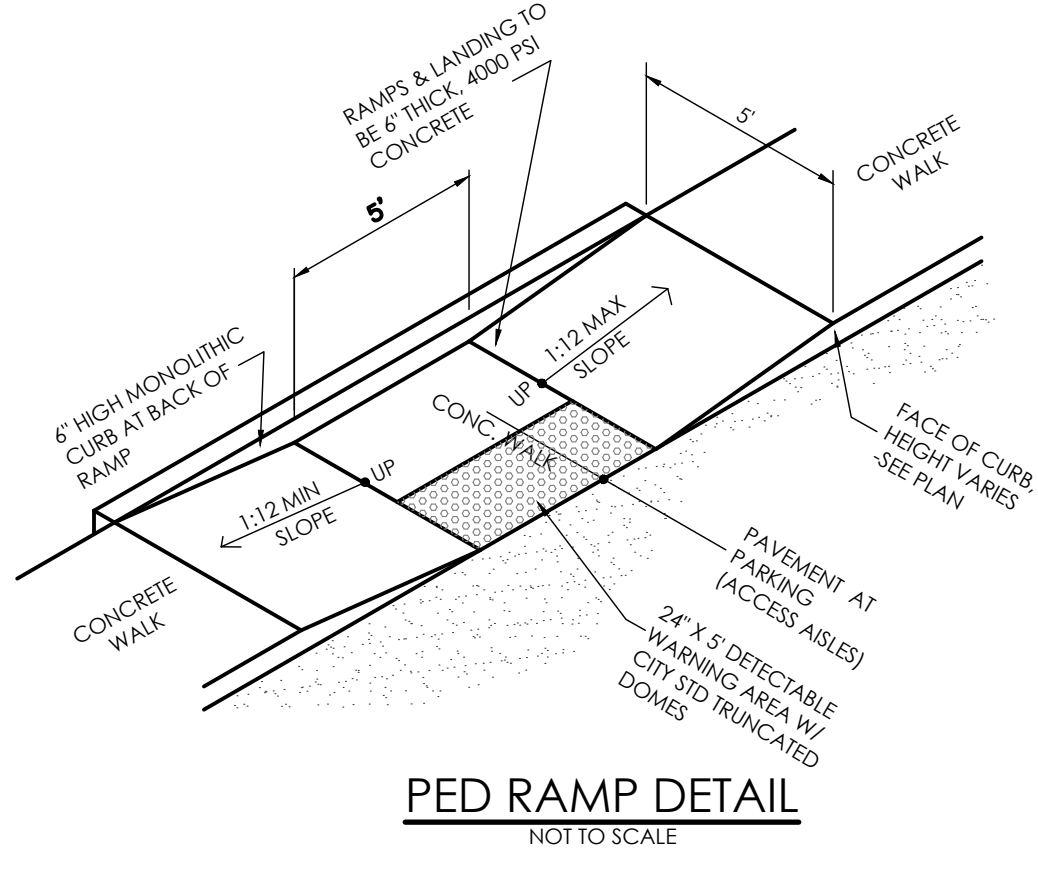
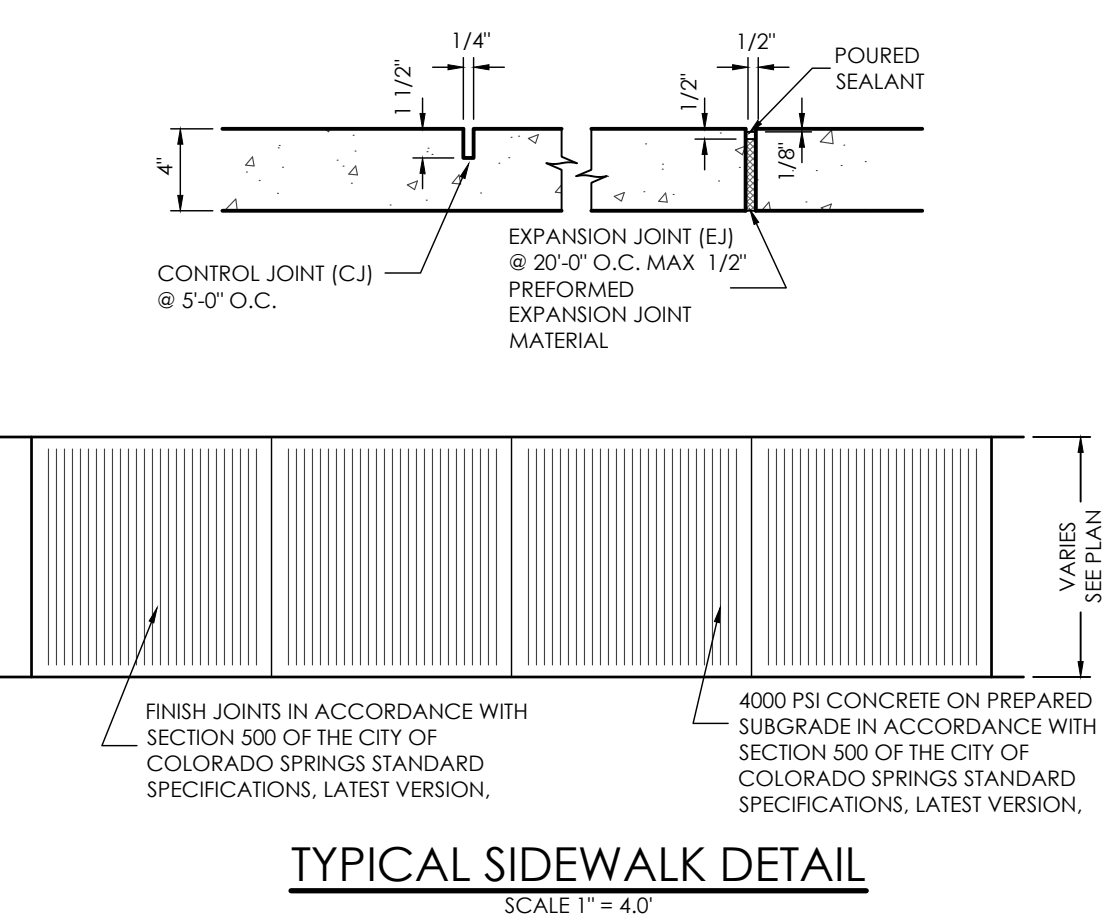
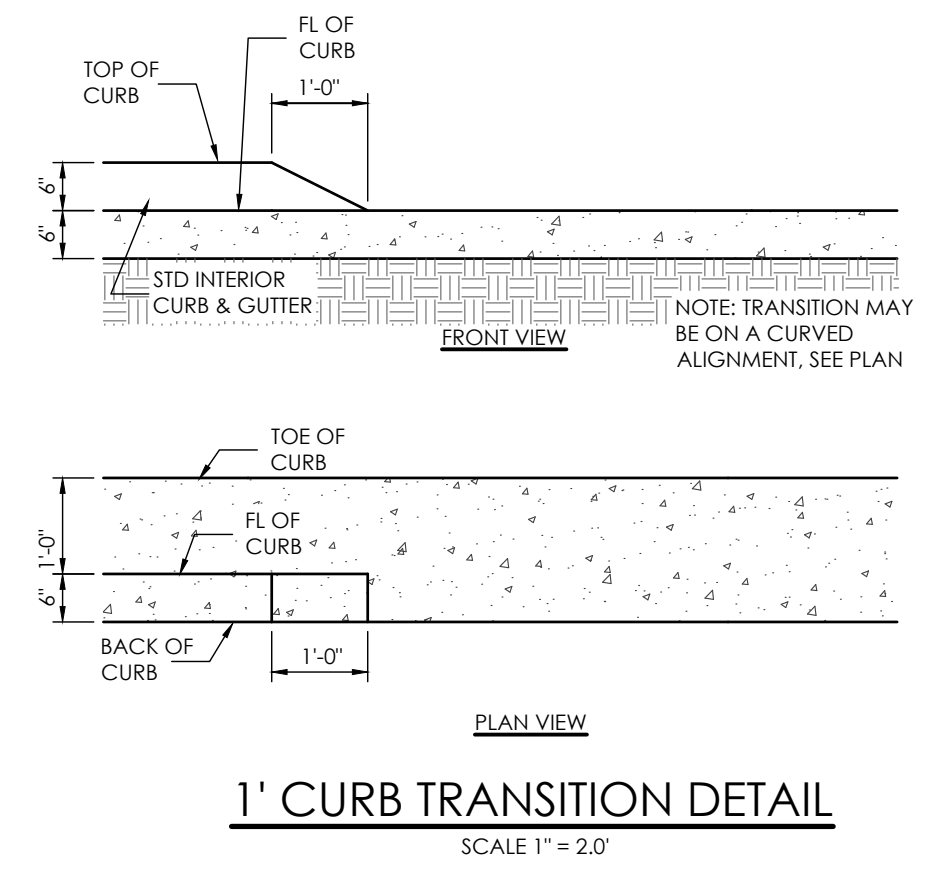
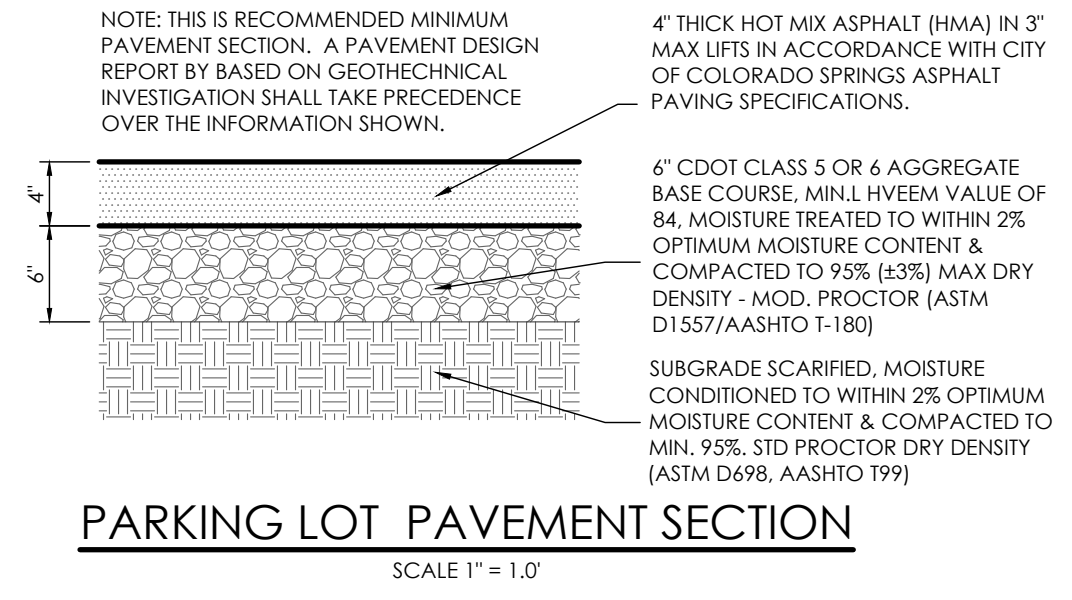
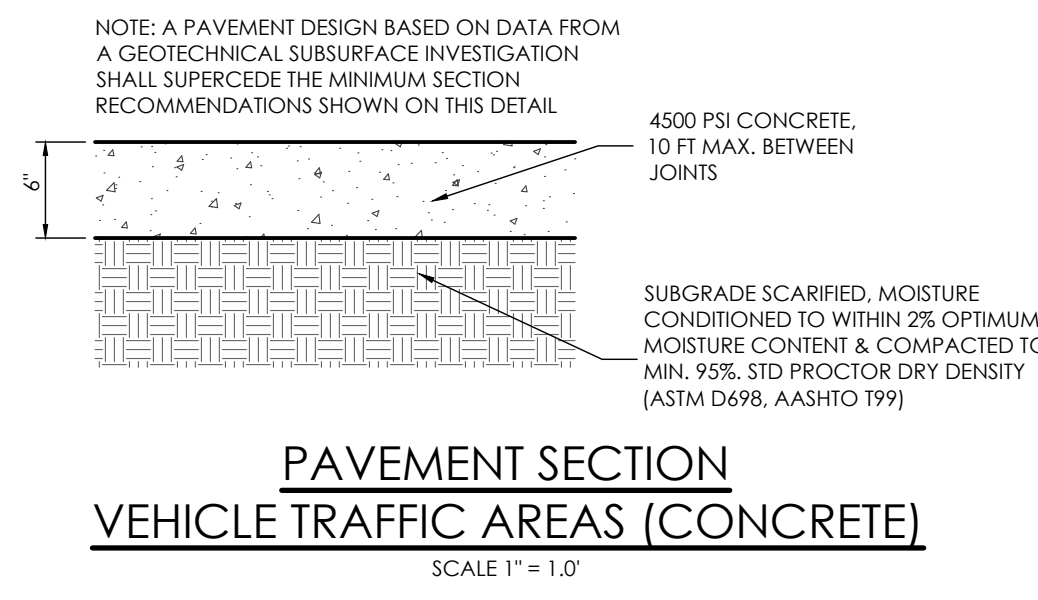
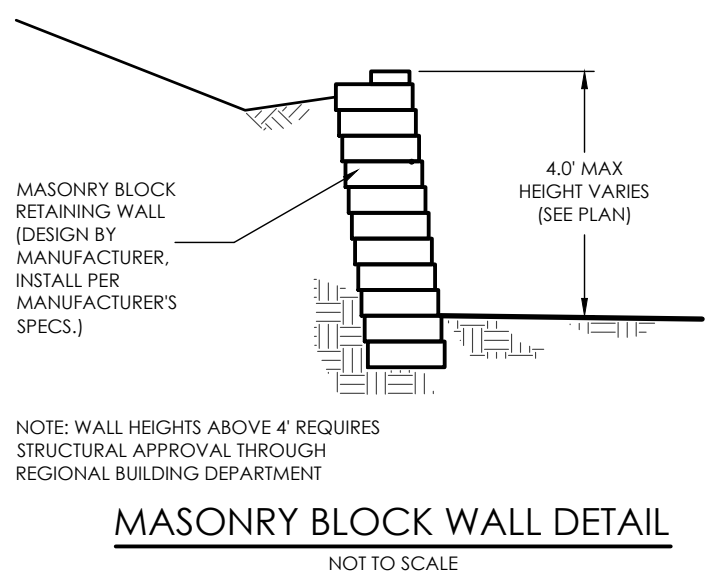
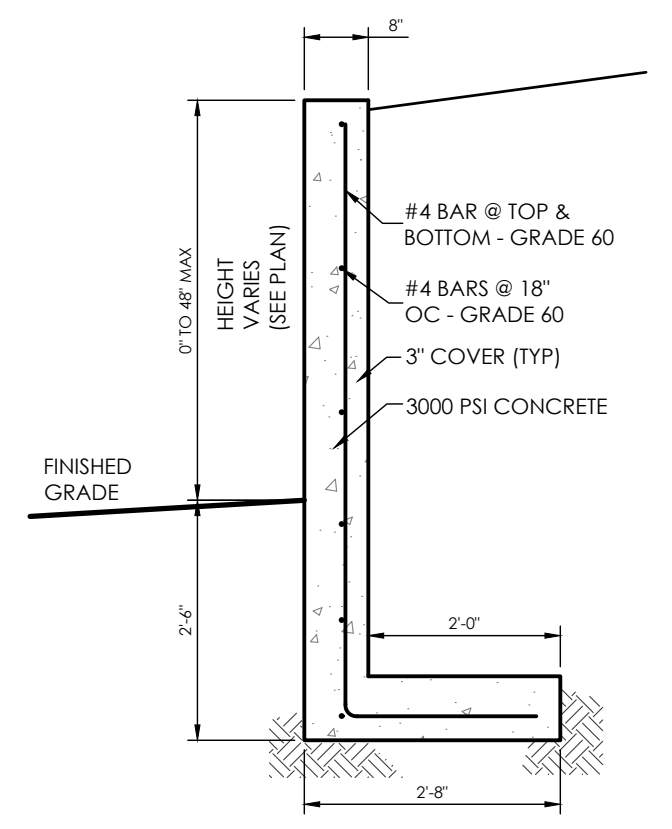
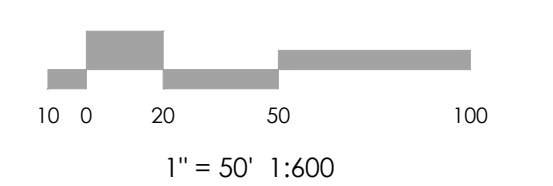
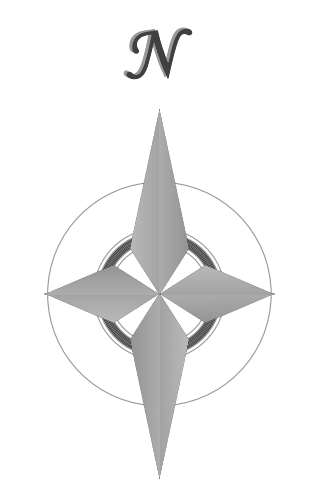
1. TYPOGRAPHY TO BE HELVETICA MEDIUM
2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST: 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
3. MOUNT HANDICAP SIGNAGE ON BUILDING.
4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN. EITHER SIGNAGE OR STRIPING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE LANE MARKING REQUIREMENTS BY COLORADO SPRINGS FIRE DEPARTMENT DIVISION OF THE FIRE MARSHALL AS REVISED JULY 2016 WILL BE A FOLLOWED FOR MATERIALS AND INSTALLATION OF MARKINGS.



RADI	
A	1/8" TO 1/4"
B	1-1/2"
C	1-1/2" TO 2"



BENCHMARK
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REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO. 2C

DETAILS

DP-6 MVE PROJECT 61203
MVE DRAWING DEV-DS

MARCH 1, 2024
SHEET 6 OF 6

PCD FILE #