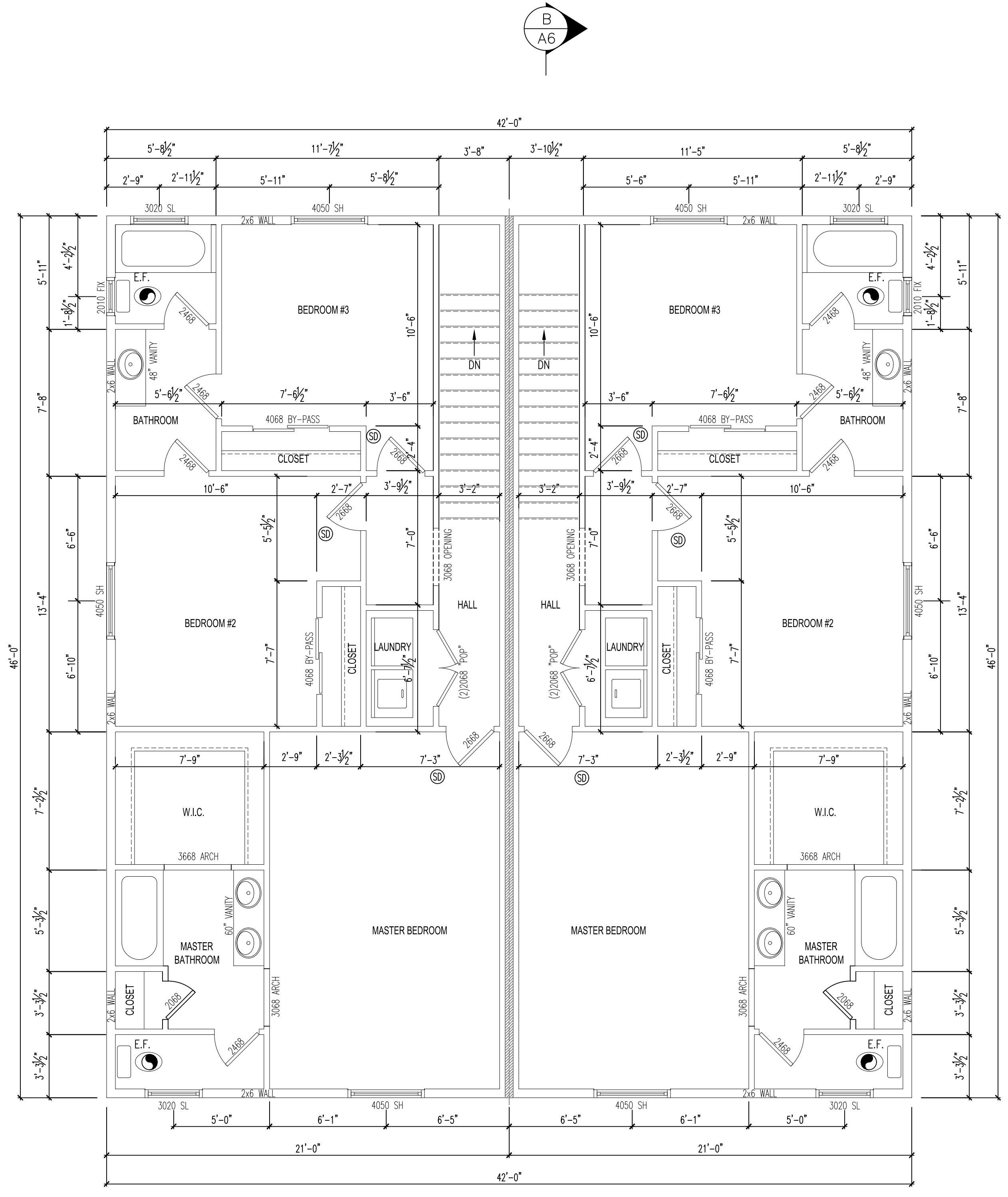


LEGEND:

- ① 150A ELECTRICAL PANEL
- ② GAS METER LOCATION
- ③ CONDENSING UNIT PLACEMENT
- ④ WATER METER LOCATION
- ⑤ FLOOR DRAIN
- Ⓢ SMOKE DETECTOR
- Ⓜ CARBON MONOXIDE DETECTOR

GENERAL NOTES
 HARDWARE AND LINK ALL SMOKE DETECTORS AT ALL LEVELS WITH BATTERY BACKUP.
 LP GAS BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES
 ALL FOUNDATION PADS TO BE SIZED PER ENGINEER FOUNDATION DESIGN
 SOILS REPORT AND FOUNDATION DESIGN BY LICENSED COLORADO ENGINEER TO BE ON HAND AT FIRST INSPECTION.
 WINDOW WELLS ARE TO HAVE A MIN. DIMENSION OF 36" FROM HOUSE W/ A MIN. NET CLEAR OPENING OF 9 S.F.
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 ICC/UL LISTED ZERO CLEARANCE, GAS FIREPLACE WITH TAGS VISIBLE FOR INSPECTION AT TIME OF INSPECTION.
 FLOOR DRAIN IS TO HAVE A 6" GRATE MIN.
 LOW RESISTANCE RETURN AIR PATHWAYS ARE TO BE PROVIDED FOR CLOSED ROOMS WITH SUPPLY AIR.
 ALL GLASS WITHIN 24" ARC OF A DOOR OR 18" OF THE FLOOR SHALL BE TEMPERED
 ALL GLAZING IN BATHROOMS SHALL COMPLY WITH THE CURRENT PRRD APPROVED CODES
 FRAMER SHALL PROVIDE ADEQUATE SOFFIT/ATTIC AND CRAWLSPACE VENTILATION PER THE CURRENT PRRD APPROVED CODE. (1/150 OF VENTED SPACE)
 ICE & WATER SHIELD REQUIRED FOR ROOFS > 7000' MUST EXTEND FROM LOWEST EDGE OF ROOF TO A MIN. OF 24" INSIDE THE EXTERIOR WALL LINE.



SQUARE FOOTAGE(BASEMENT MODEL)

UPPER FLOOR:	966
MAIN FLOOR:	866
OPEN DECK:	100
U/F BSMT:	546
TOTAL LIVING:	2474
2 CAR GARAGE:	420

UPPER LEVEL (BASEMENT OPTION)

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

NO: REVISIONS

JAC
 Drafting Services

J. Delicat
 719-489-8214
 12218 Crystal Downs Rd.

UPPER LEVEL FLOORPLAN FOR 4-PLEX MASTER PLAN

DATE: 03/10/24
 SCALE: 1/4"=1'-0"
 JOB NO.: 1100
 SHEET:
A 3.0

NO:	REVISIONS

JAC
Drafting Services

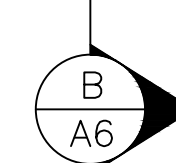
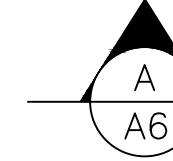
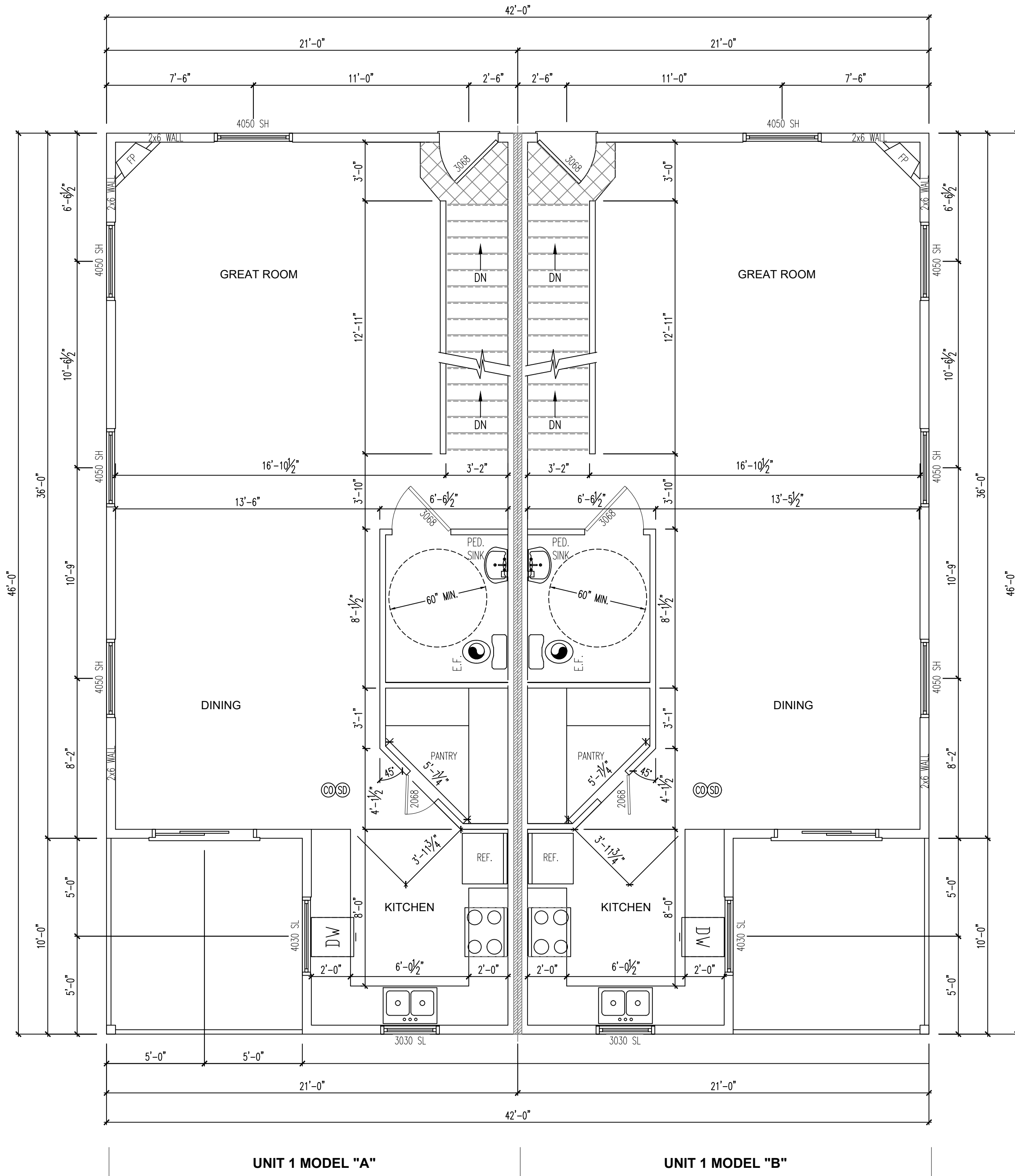
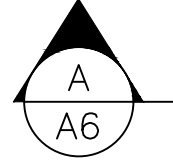
12218 Crystal Downs Rd.
719-499-8214
J. DeJicot

**MAIN LEVEL FLOORPLAN
FOR
4-PLEX MASTER PLAN**

DATE: 03/10/24
SCALE: 1/4"=1'-0"
JOB NO.: 1100
SHEET:
A 4.0

- LEDGEND:**
- ① 150A ELECTRICAL PANEL
 - ② GAS METER LOCATION
 - ③ CONDENSING UNIT PLACEMENT
 - ④ WATER METER LOCATION
 - ⑤ FLOOR DRAIN
 - Ⓢ SMOKE DETECTOR
 - Ⓢ CARBON MONOXIDE DETECTOR

GENERAL NOTES
HARDWIRE AND LINK ALL SMOKE DETECTORS AT ALL LEVELS WITH BATTERY BACKUP.
LP GAS BURNING APPLIANCES ARE NOT PERMITTED IN BASEMENTS OR CRAWL SPACES
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FLOOR DRAIN IS TO HAVE A 6" GRATE MIN.
LOW RESISTANCE RETURN AIR PATHWAYS ARE TO BE PROVIDED FOR CLOSED ROOMS WITH SUPPLY AIR.
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ICE & WATER SHIELD REQUIRED FOR ROOFS > 7000' MUST EXTEND FROM LOWEST EDGE OF ROOF TO A MIN. OF 24" INSIDE THE EXTERIOR WALL LINE



MAIN LEVEL (BASEMENT OPTION)

TABLE R302.6 DWELLING/GARAGE SEPARATION

SEPARATION	MATERIAL
From the residence and attics	Not less than 1/2-inch gypsum board or equivalent applied to the garage side
From habitable rooms above the garage	Not less than 5/8-inch Type X gypsum board or equivalent
Structure(s) supporting floor/ceiling assemblies used for separation required by this section	Not less than 1/2-inch gypsum board or equivalent
Garages located less than 3 feet from a dwelling unit on the same lot	Not less than 1/2-inch gypsum board or equivalent applied to the interior side of exterior walls that are within this area

For Sl: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

NO.	REVISIONS

JAC
Drafting Services

J. DeJicot
12218 Crystal Downs Rd.
719-499-8214

**BASEMENT LEVEL FLOORPLAN
FOR
4-PLEX MASTER PLAN**

DATE: 03/10/24
SCALE: 1/4"=1'-0"
JOB NO.: 1100
SHEET:
A 5.0

- LEGEND:**
- ① 150A ELECTRICAL PANEL
 - ② GAS METER LOCATION
 - ③ CONDENSING UNIT PLACEMENT
 - ④ WATER METER LOCATION
 - ⑤ FLOOR DRAIN
 - Ⓢ SMOKE DETECTOR
 - Ⓢ CARBON MONOXIDE DETECTOR

GENERAL NOTES
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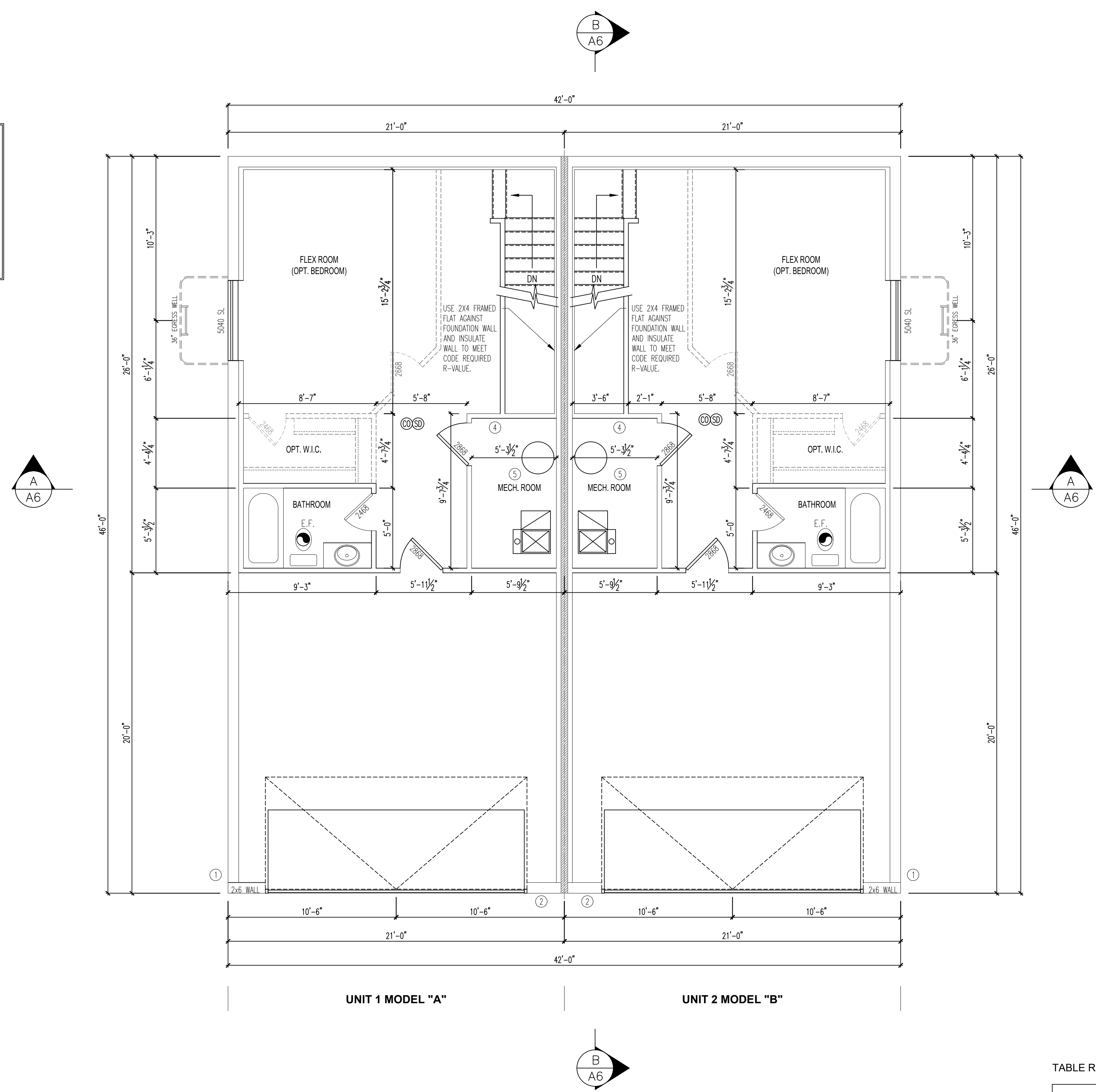
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BASEMENT LEVEL

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LEDGEND:

- ① 150A ELECTRICAL PANEL
- ② GAS METER LOCATION
- ③ CONDENSING UNIT PLACEMENT
- ④ WATER METER LOCATION
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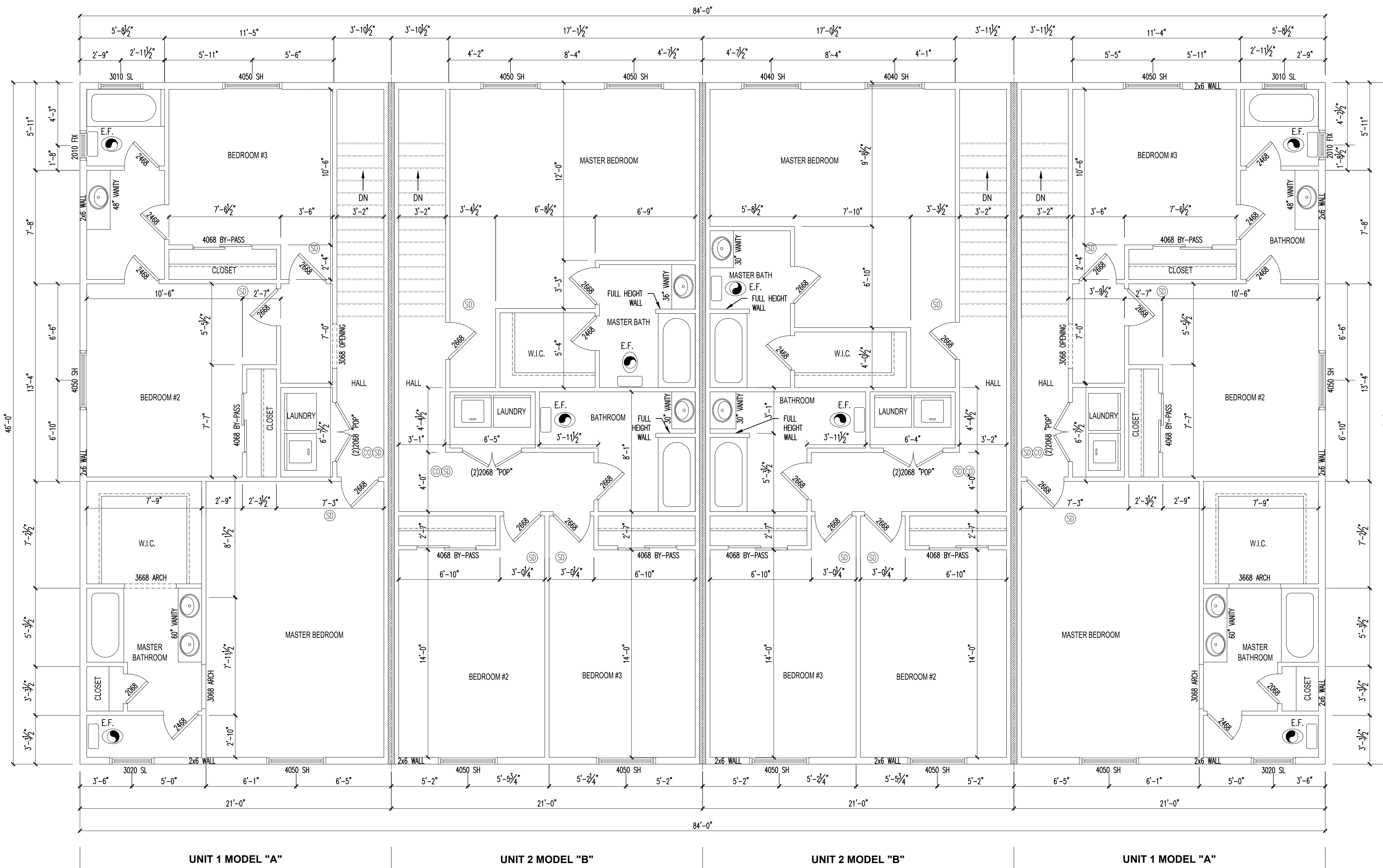
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SQUARE FOOTAGE(BASEMENT MODEL)

UPPER FLOOR: 966
MAIN FLOOR: 866
OPEN DECK: 100
U/F BSMT: 546
TOTAL LIVING: 2474

2 CAR GARAGE: 420



UPPER LEVEL (BASEMENT OPTION)

TABLE R302.6 DWELLING/GARAGE SEPARATION

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NO: REVISIONS

JAC
Drafting Services

J. J. Jot
12218 Crystal Downs Rd.
719-499-8214

**UPPER LEVEL FLOORPLAN
FOR
4-PLEX MASTER PLAN**

DATE: 03/10/24
 SCALE: 1/4"=1'-0"
 JOB NO.: 1100
 SHEET:

A 3.0

LEDGEND:

- ① 150A ELECTRICAL PANEL
- ② GAS METER LOCATION
- ③ CONDENSING UNIT PLACEMENT
- ④ WATER METER LOCATION
- ⑤ FLOOR DRAIN
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GENERAL NOTES

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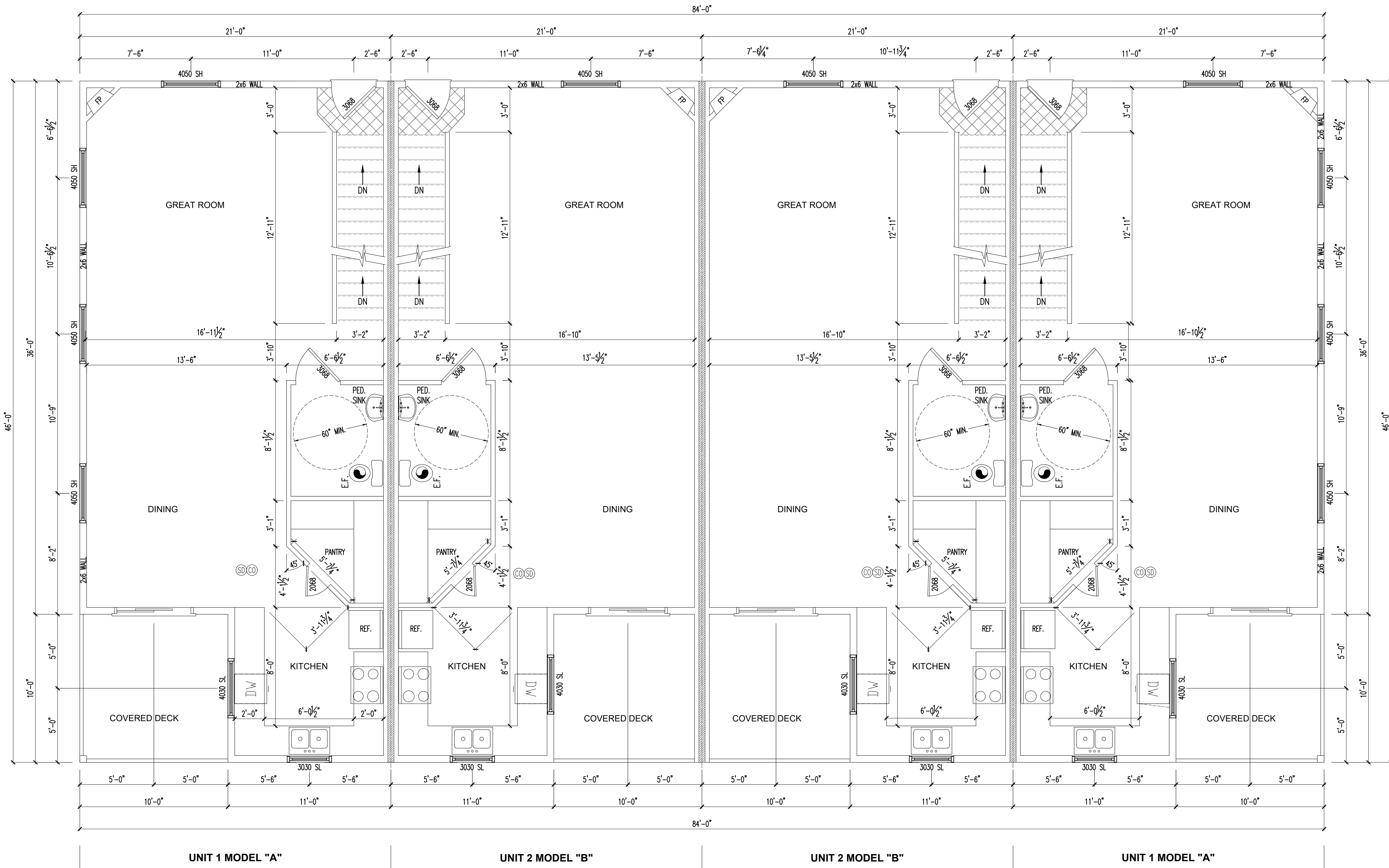
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MAIN LEVEL (BASEMENT OPTION)

TABLE R302.6 DWELLING/GARAGE SEPARATION

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NO: REVISIONS

JAC
Drafting Services

J. J. Jot

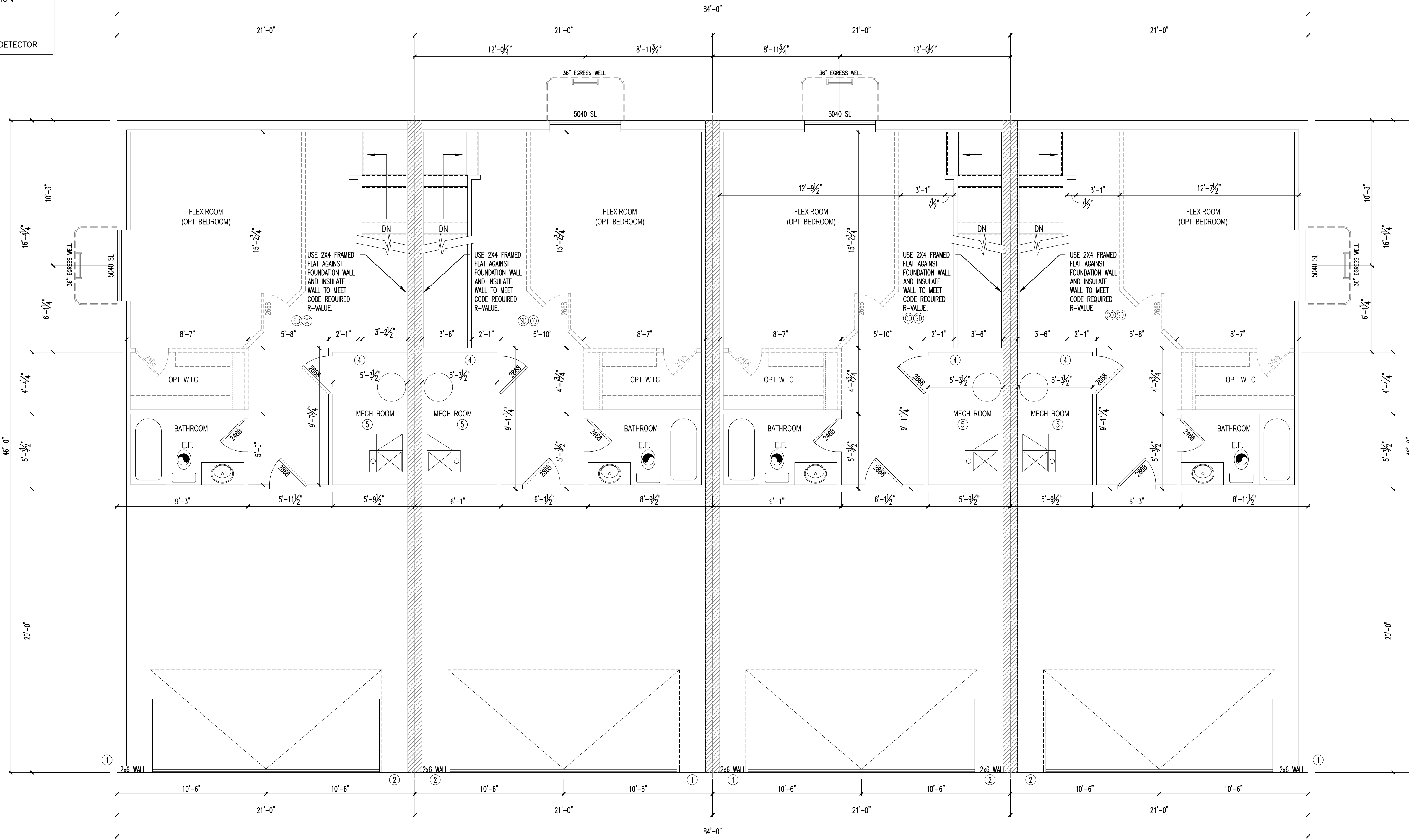
**MAIN LEVEL FLOORPLAN
FOR
4-PLEX MASTER PLAN**

DATE: 03/10/24
SCALE: 1/4"=1'-0"
JOB NO.: 1100
SHEET:

A 4.0

LEDGEND:

- ① 150A ELECTRICAL PANEL
- ② GAS METER LOCATION
- ③ CONDENSING UNIT PLACEMENT
- ④ WATER METER LOCATION
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BASEMENT LEVEL

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NO:	REVISIONS

JAC
Drafting Services

J. J. Jot

12218 Crystal Downs Rd.
719-499-8214

BASEMENT LEVEL FLOORPLAN FOR 4-PLEX MASTER PLAN

DATE: 03/10/24
SCALE: 1/4"=1'-0"
JOB NO.: 1100
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A 5.0