STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL
- 2. CONTRACTOR SHALL BE RESPONSIBLE FOR THE NOTIFICATION AND FIELD NOTIFICATION OF ALL EXISTING UTILITIES. WHETHER SHOWN ON THE PLANS OR NOT. BEFORE BEGINNING CONSTRUCTION. LOCATION OF EXISTING UTILITIES SHALL BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CALL 811 TO CONTACT THE UTILITY NOTIFICATION CENTER OF COLORADO (UNCC).
- 3. CONTRACTOR SHALL KEEP A COPY OF THESE APPROVED PLANS, THE GRADING AND EROSION CONTROL PLAN, THE STORMWATER MANAGEMENT PLAN (SWMP), THE SOILS AND GEOTECHNICAL REPORT, AND THE APPROPRIATE DESIGN AND CONSTRUCTION STANDARDS AND SPECIFICATIONS AT THE JOB SITE
- a. EL PASO COUNTY ENGINEERING CRITERIA MANUAL (ECM) b. CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL. VOLUMES 1 AND 2
- c. COLORADO DEPARTMENT OF TRANSPORTATION (CDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION
- 4 NOTWITHSTANDING ANYTHING DEPICTED IN THESE PLANS IN WORDS OR GRAPHIC REPRESENTATION, ALL DESIGN AND CONSTRUCTION RELATED TO ROADS STORM DRAINAGE AND FROSION CONTROL SHALL CONFORM TO THE STANDARDS AND REQUIREMENTS OF THE MOST RECENT VERSION OF THE RELEVANT ADOPTED EL PASO COUNTY STANDARDS, INCLUDING THE LAND DEVELOPMENT CODE, THE ENGINEERING CRITERIA MANUAL, THE DRAINAGE CRITERIA MANUAL, AND THE DRAINAGE CRITERIA MANUAL VOLUME 2. ANY DEVIATIONS FROM REGULATIONS AND STANDARDS MUST BE REQUESTED, AND APPROVED, IN WRITING. ANY MODIFICATIONS NECESSARY TO MEET CRITERIA AFTER-THE-FACT WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO
- 5. IT IS THE DESIGN ENGINEER'S RESPONSIBILITY TO ACCURATELY SHOW EXISTING CONDITIONS, BOTH ONSITE AND OFFSITE, ON THE CONSTRUCTION PLANS. ANY MODIFICATIONS NECESSARY DUE TO CONFLICTS, OMISSIONS, OR CHANGED CONDITIONS WILL BE ENTIRELY THE DEVELOPER'S RESPONSIBILITY TO RECTIFY.
- 6. CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION MEETING WITH EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT (PCD) -INSPECTIONS, PRIOR TO STARTING CONSTRUCTION.
- 7. IT IS THE CONTRACTOR'S RESPONSIBILITY TO UNDERSTAND THE REQUIREMENTS OF ALL JURISDICTIONAL AGENCIES AND TO OBTAIN ALL REQUIRED PERMITS, INCLUDING BUT NOT LIMITED TO EL PASO COUNTY EROSION AND STORMWATER QUALITY CONTROL PERMIT (ESQCP), REGIONAL BUILDING FLOODPLAIN DEVELOPMENT PERMIT, U.S. ARMY CORPS OF ENGINEERS-ISSUED 401 AND/OR 404 PERMITS, AND COUNTY AND STATE FUGITIVE DUST PERMITS.
- 8. CONTRACTOR SHALL NOT DEVIATE FROM THE PLANS WITHOUT FIRST OBTAINING WRITTEN APPROVAL FROM THE DESIGN ENGINEER AND PCD. CONTRACTOR SHALL NOTIFY THE DESIGN ENGINEER IMMEDIATELY UPON DISCOVERY OF ANY ERRORS OR INCONSISTENCIES.
- 9. ALL STORM DRAIN PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED AND APPROVED BY PCD.
- 10. CONTRACTOR SHALL COORDINATE GEOTECHNICAL TESTING PER ECM STANDARDS. PAVEMENT DESIGN SHALL BE APPROVED BY EL PASO COUNTY PCD PRIOR TO PLACEMENT OF CURB AND GUTTER AND PAVEMENT.
- 11. ALL CONSTRUCTION TRAFFIC MUST ENTER/EXIT THE SITE AT APPROVED CONSTRUCTION ACCESS POINTS.
- 12. SIGHT VISIBILITY TRIANGLES AS IDENTIFIED IN THE PLANS SHALL BE PROVIDED AT ALL INTERSECTIONS. OBSTRUCTIONS GREATER THAN 18 INCHES ABOVE FLOWLINE ARE NOT ALLOWED WITHIN SIGHT TRIANGLES.
- 13. SIGNING AND STRIPING SHALL COMPLY WITH EL PASO COUNTY PCD AND MUTCD CRITERIA. [IF APPLICABLE, ADDITIONAL SIGNING AND STRIPING NOTES
- 14. CONTRACTOR SHALL OBTAIN ANY PERMITS REQUIRED BY EL PASO COUNTY PCD, INCLUDING WORK WITHIN THE RIGHT-OF-WAY AND SPECIAL TRANSPORT
- 15. THE LIMITS OF CONSTRUCTION SHALL REMAIN WITHIN THE PROPERTY LINE UNLESS OTHERWISE NOTED. THE OWNER/DEVELOPER SHALL OBTAIN WRITTEN PERMISSION AND EASEMENTS, WHERE REQUIRED, FROM ADJOINING PROPERTY OWNER(S) PRIOR TO ANY OFF-SITE DISTURBANCE, GRADING, OR

STANDARD EL PASO COUNTY SIGNING AND STRIPING NOTES

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 2. REMOVAL OF EXISTING PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY A METHOD THAT DOES NOT MATERIALLY DAMAGE THE PAVEMENT. THE PAVEMENT MARKINGS SHALL BE REMOVED TO THE EXTENT THAT THEY WILL NOT BE VISIBLE UNDER DAY OR NIGHT CONDITIONS. AT NO TIME WILL IT BE ACCEPTABLE TO PAINT OVER EXISTING PAVEMENT MARKINGS.
- 3. ANY DEVIATION FROM THE STRIPING AND SIGNING PLAN SHALL BE APPROVED BY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT.
- 4. ALL SIGNS SHOWN ON THE SIGNING AND STRIPING PLAN SHALL BE NEW SIGNS. EXISTING SIGNS MAY REMAIN OR BE REUSED IF THEY MEET CURRENT EL PASO
- 5. STREET NAME AND REGULATORY STOP SIGNS SHALL BE ON THE SAME POST AT INTERSECTIONS.
- 6. ALL REMOVED SIGNS SHALL BE DISPOSED OF IN A PROPER MANNER BY THE CONTRACTOR
- 7. ALL STREET NAME SIGNS SHALL HAVE "C" SERIES LETTERS, WITH LOCAL ROADWAY SIGNS BEING 4" UPPER-LOWER CASE LETTERING ON 8" BLANK AND COLLECTOR ROADWAY SIGNS BEING 6" LETTERING, UPPER-LOWER CASE ON 12" BLANK, WITH ½" WHITE BORDER THAT IS NOT RECESSED
- 8. ALL TRAFFIC SIGNS SHALL HAVE A MINIMUM HIGH INTENSITY PRISMATIC GRADE SHEETING.
- 9. ALL LOCAL RESIDENTIAL STREET SIGNS SHALL BE MOUNTED ON A 1.75" X 1.75" SQUARE TUBE SIGN POST AND STUB POST BASE. FOR OTHER APPLICATIONS REFER TO THE CDOT STANDARD S-614-8 REGARDING USE OF THE P2 TUBULAR STEEL POST SLIPBASE DESIGN.
- 10. ALL SIGNS SHALL BE SINGLE SHEET ALUMINUM WITH 0.100" MINIMUM THICKNESS.
- 11. ALL LIMIT LINES/STOP LINES, CROSSWALK LINES, PAVEMENT LEGENDS, AND ARROWS SHALL BE A MINIMUM 125 MIL THICKNESS PREFORMED THERMOPLASTIC BARS SHALL BE 24" IN WIDTH. CROSSWALKS LINES SHALL BE 12" WIDE AND 8' LONG PER CDOT S-627-1
- 12. ALL LONGITUDINAL LINES SHALL BE A MINIMUM 15MIL THICKNESS EPOXY PAINT. ALL NON-LOCAL RESIDENTIAL ROADWAYS SHALL INCLUDE BOTH RIGHT AND LEFT EDGE LINE STRIPING AND ANY ADDITIONAL STRIPING AS REQUIRED BY CDOT S-627-1.
- 13. THE CONTRACTOR SHALL NOTIFY EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT (719) 520-6819 PRIOR TO AND UPON COMPLETION OF SIGNING AND STRIPING
- 14. THE CONTRACTOR SHALL OBTAIN A WORK IN THE RIGHT OF WAY PERMIT FROM THE EL PASO COUNTY PLANNING AND COMMUNITY DEVELOPMENT DEPARTMENT OF TRANSPORTATION PRIOR TO ANY SIGNAGE OR STRIPING WORK WITHIN AN EXISTING EL PASO COUNTY ROADWAY.

- 1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS ANO/OR SURFACE EVIDENCE, THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND LOCATIONS HAVE NOT BEEN PERFORMED. THEREFORE, THE RELATIONSHIP BETWEEN PROPOSED WORK AND EXISTING FACILITIES, STRUCTURES AND UTILITIES MUST BE CONSIDERED APPROXIMATE. ALL UTILITIES SHALL BE LOCATED PRIOR TO ANY EARTH WORK OR DIGGING (1-800-922-1987). THE CONTRACTOR SHALL BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MAY BE
- OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UTILITIES. 2. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL SUBSURFACE UTILITY OWNERS PRIOR TO BEGINNING WORK TO DETERMINE LOCATION OF UTILITY
- 3. EXISTING CONDITIONS SHALL BE VERIFIED BY THE GENERAL CONTRACTOR. DISCREPANCIES ARE TO BE REPORTED TO THE ENGINEER PRIOR TO CONSTRUCTION. 4. M.V.E., INC. OR THE ENGINEER ASSUMES NO RESPONSIBILITY OR LIABILITY FOR USE OF THIS GRADING PLAN FOR ANY OTHER PURPOSE THAN OVER LOT GRADING OPERATIONS
- 5. ALL WEEDS, TRASH, DEBRIS, RUBBLE, BROKEN ASPHALT, ORGANIC MATERIAL (EXCLUDING TOPSOIL) AND REFUSE, OR ANY OTHER MATERIAL WHICH WOULD NOT BE DELETERIOUS AS FILL MATERIAL OR INCAPABLE OF SUPPORTING THE BUILDING, VEHICULAR AND/OR OVERBURDEN LOADS TO BE IMPOSED SHALL BE CLEARED, GRUBBED OR EXCAVATED AS THE CASE MAY DICTATE PRIOR TO GRADING AND SHALL BE REMOVED FROM SITE AND DISPOSED OF LEGALLY.
- CONTOUR INTERVAL FOR EXISTING AND PROPOSED CONTOUR LINES IS 1.0 PROPOSED CONTOURS SHOWN ARE FINISH GRADES AND READ TO TOP OF PAVEMENT AND FINISH SOIL GRADE.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT GRADED AREAS FROM, AND AS NECESSARY RESTORE TO GRADE, ANY RUTS, WASHES OR OTHER CHANGES FROM THE DESIGN ELEVATIONS SHOWN HEREON, UNTIL GRADING WORK IS ACCEPTED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- 9. THE CONTRACTOR SHALL ENDEAVOR NOT TO DISTURB ANY OFFSITE AREAS. THE CONTRACTOR SHALL RESTORE TO THE ORIGINAL CONDITION, ADJACENT (OFF-SITE) PROPERTY DISTURBED BY HIS OPERATIONS.
- 10. THE GENERAL CONTRACTOR SHALL STRIP TOPSOIL FROM CONSTRUCTION AREAS AND STOCKPILE TOPSOIL AT AREA SHOWN ON THIS PLAN. PLACE TOPSOIL WITH APPROPRIATE EROSION CONTROL AND IN A MANNER SO AS TO NOT CONFLICT WITH OTHER TRADES AND CONSTRUCTION PROCESS.
- 11. ALL GRADING SHALL BE DONE TO INSURE POSITIVE DRAINAGE AWAY FROM FOUNDATIONS AND STRUCTURES 12. FINISHED GRADE OF ALL PERVIOUS EARTH SURFACES THAT CONTACT FOUNDATION WALLS SHALL BE A MINIMUM OF 6" BELOW ANY UNTREATED WOOD
- MATERIAL OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR DESIGN. 13. PERVIOUS EARTH SURFACES SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 6" IN 10 FEET (5%) FOR THE FIRST 10 FEET ADJACENT TO

THE FOUNDATION OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING REPORT OR

- 14. CONCRETE OR OTHER IMPERVOIUS SURFACES THAT CONTACT FOUNDATION WALLS SHALL SLOPE AWAY FROM ALL FOUNDATION WALLS AT A MINIMUM RATE OF 1/4" PER FOOT (2.00%) OR IN ACCORDANCE WITH APPLICABLE CODES AND THE RECOMMENDATIONS OF THE OWNER'S GEOTECHNICAL ENGINEERING
- 15. ANY FILL MATERIAL REQUIRED TO BRING GRADES UP TO PROPOSED ELEVATIONS SHALL BE PROVIDED BY THE CONTRACTOR.
- 16. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DISTRIBUTING TOPSOIL THROUGHOUT THE LAWN AND PLANTING AREAS ACCORDING TO APPROVED LANDSCAPE PLANS, BY OTHERS
- 17. THE NATURE OF WORK PROPOSED BY THIS PLAN IS GRADING AND THE EXTENT OF SAID PROPOSED GRADING IS SHOWN BY THE EXISTING AND PROPOSED CONTOURS HEREON.
- 18. CONTRACTOR SHALL USE MECHANICAL METHODS TO GO FROM THE EXISTING TO PROPOSED CONTOURS IN ACCORDANCE WITH THIS GRADING PLAN. QUALITY CONTROL OF SOILS AND GRADING OPERATION WILL BE AS DIRECTED BY OWNERS GEOTECHNICAL ENGINEER.ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY
- 19. ALL NEW CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY IS TO CONFORM TO THE SPECIFICATIONS OF EL PASO COUNTY. 20. ALL STORM DRAIN OUTSIDE OF THE PUBLIC RIGHT-OF-WAY SHALL BE HDPE WITH SMOOTH INTERIOR AND CORRUGATED EXTERIOR WITH PVC FITTINGS. ALL
- STORM DRAIN INLETS SHALL BE BE PRE-CAST. ALL STORM DRAIN CONSTRUCTION IN THE PUBLIC RIGHT-OF-WAY SHALL BE PLACED IN ACCORDANCE WITH EL PASO COUNTY SPECIFICATIONS 21. CONTRACTOR WILL BE RESPONSIBLE FOR SCHEDULING A PRE-CONSTRUCTION MEETING HELD PRIOR TO CONSTRUCTION WITH EPC-PCD, ENGINEER, AND
- 22. CONTRACTOR IS RESPONSIBLE FOR ALL OF HIS OPERATIONS ON THE SITE. CONTRACTOR SHALL OBSERVE ALL SAFETY AND OSHA REGULATIONS DURING
- CONSTRUCTION OPERATIONS. TRENCH WIDTHS AND SLOPE ANGLES SHALL BE DETERMINED BY THE CONTRACTOR IN THE FIELD AND ACCORDING TO SAFETY

FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA'S) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

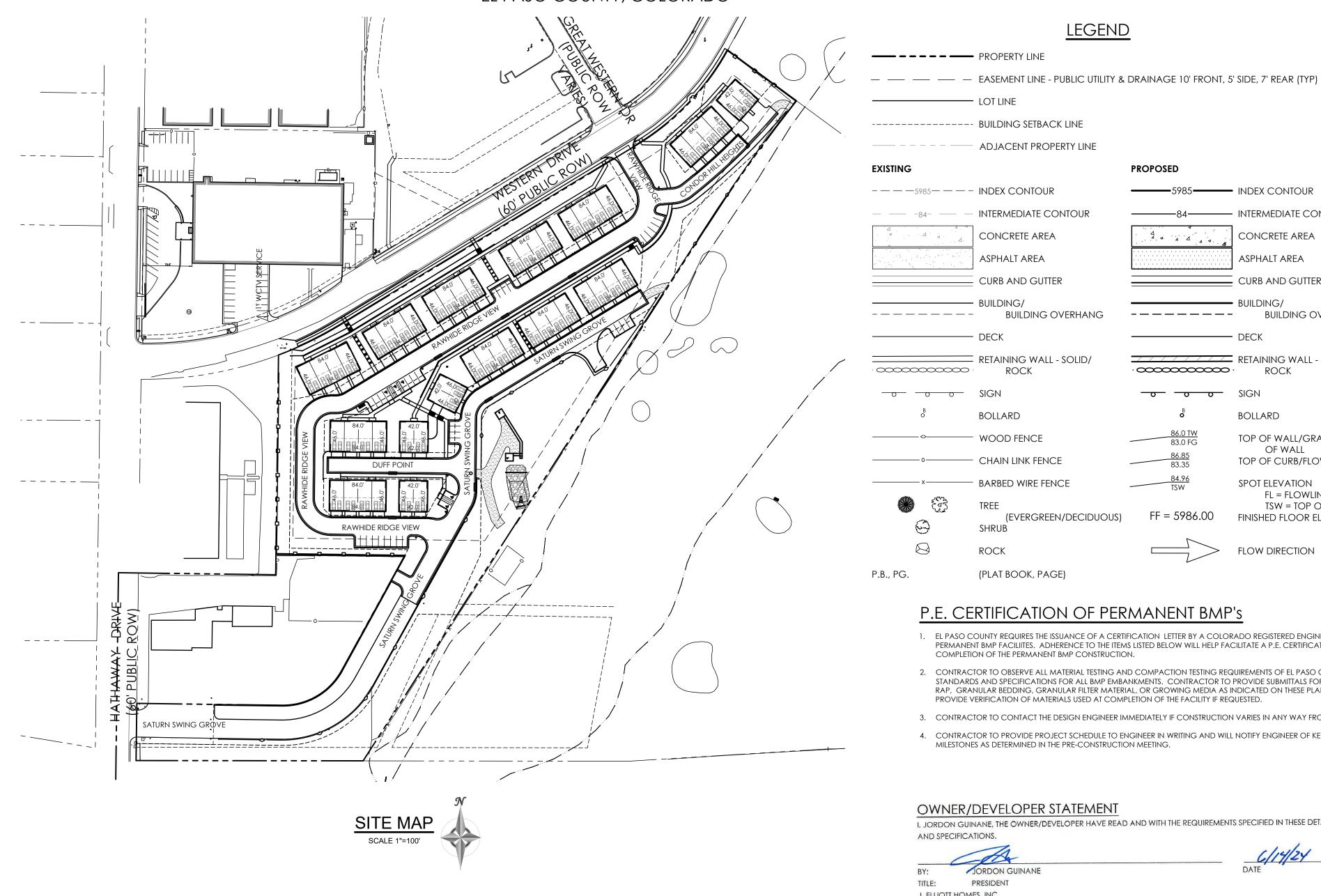
MAP NOTES

- 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED
- 2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO
- 3. ALL EXISTING UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE FROM UTILITY MAIN RECORD MAPS AND UTILITY SERVICE LOCATION MAPS. THE LOCATION OF UTILITIES AS SHOWN ARE APPROXIMATE. ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED. BELOW GROUND UTILITY LOCATIONS WERE

CONSTRUCTION PLANS

TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, SOUTHEAST QUARTER SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P. M., EL PASO COUNTY, COLORADO



CONCRETE CONSTRUCTION NOTES

- ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH THE CITY OF COLORADO SPRINGS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS LATEST EDITION, CITY OF COLORADO SPRING DRAINAGE Criteria manual volumes 1 & 2 with referenced Standards and Specifications, and city of colorado SPRINGS SUBDIVISION POLICY MANUAL.
- 2. ALL CAST IN PLACE CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE YIELD STRENGTH OF 4,000 PSI UNLESS OTHERWISE SHOWN ON THESE PLANS. HIGHER COMPRESSIVE STRENGTH CONCRETE IS ACCEPTABLE TO ACHIEVE EARLY CONCRETE STRENGTH THAT MAY BE DEEMED NECESSARY TO MEET CONSTRUCTION SCHEDULE PRIORITIES. CONCRETE SLUMP SHALL BE KEPT TO A MINIMUM WORKING LIMIT. AN APPROVED WATER REDUCING AGENT MAY BE USED. CONCRETE SHALL BE IN ACCORDANCE WITH CITY OF COLORADO SPRINGS PUBLIC WORKS STANDARDS AND SPECIFICATIONS, SECTION 500 CONCRETE AND SECTION 600 STRUCTURAL CONCRETE WITH ADHERENCE TO SUBSECTION 607 FOR CURING AND COLD
- 3. ALL CAST IN PLACE CONCRETE REINFORCEMENT SHALL HAVE A MINIMUM TENSILE YIELD STRENGTH OF 60,000 PSI UNLESS OTHERWISE SHOWN ON THESE PLANS AND CONFORMANCE WITH CITY OF COLORADO SPRINGS SPECIFICATIONS, SECTION
- 4. MINIMUM LAP SPLICE LENGTH FOR STEEL REINFORCING BARS SHALL BE: 1'-9" (#4), 2'-2" (#5), 2'-7" (#6), 3'-4" (#7), 4'-3" (#8),
- 5. CONCRETE PROTECTION, COVER, FOR REINFORCEMENT SHALL BE 3" FOR CONCRETE POURED IN CONTACT WITH SOIL AND 2" FOR CONCRETE POURED IN FORMS UNLESS NOTED ON THE PLANS.
- 6. CEMENT SHALL BE TYPE II WITH NO CALCIUM CHLORIDE ADDITIVES.
- 7. ALL CONSTRUCTION JOINTS NOT SHOWN ON THE PLANS SHALL BE APPROVED BY THE ENGINEER. ALL COLD JOINTS SHALL BE AS INDICATED ON THE PLANS. ALL CONSTRUCTION JOINS SHALL BE CLEANED AND FREE OF DEBRIS OR CONTAMINATES PRIOR THE POURING OF FRESH CONCRETE.
- 8. ALL EXPOSED CONCRETE CORNERS SHALL BE CHAMFERED 3/4".
- 9. ALL CONCRETE TESTING SHALL BE IN CONFORMANCE WITH CITY OF COLORADO SPRINGS SPECIFICATIONS, SECTION 500,

SHEET INDEX

SHEE	T TITLE	DRAWING
CONS	TRUCTION PLAN SET	
C2.1	COVER SHEET	61203-CON-CS
C2.2	CIVIL SITE DETAILS	61203-CON-CD
C2.3	FS-EDB (POND) DETAILS	61203-CON-PP
C2.4	PRIVATE STORM PLAN	61203-CON-PS
C2.5	PRIVATE STORM PLAN	61203-CON-PS
C2.6	STORM DETAILS	61203-CON-SD
C2.7	SIGNAGE PLAN	61203-CON-SS
C2 8	SIGNAGE DETAILS	61203-CON-SS



SHEET	TITLE	DRAWING								
CONSTRUCTION PLAN SET										
C2.1	COVER SHEET	61203-CON-CS								
C2.2	CIVIL SITE DETAILS	61203-CON-CD								
C2.3	FS-EDB (POND) DETAILS	61203-CON-PP								
C2.4	PRIVATE STORM PLAN	61203-CON-PS								
C2.5	PRIVATE STORM PLAN	61203-CON-PS2								
C2.6	STORM DETAILS	61203-CON-SD								
C2.7	SIGNAGE PLAN	61203-CON-SS1								
C2.8	SIGNAGE DETAILS	61203-CON-SS1								

EL PASO COUNTY

DAVID R. GORMAN, P.E.

COLORADO NO. 31672

FOR AND ON BEHALF OF M.V.E., INC.

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE. THE COUNTY THROUGH THE APPROVAL OF THIS DOCUMENT ASSUMES NO RESPONSIBILITY FOR COMPLETENESS AND/OR ACCURACY OF THIS DOCUMENT.

LEGEND

PROPOSED

—5985——— INDEX CONTOUR

— INTERMEDIATE CONTOUR

RETAINING WALL - SOLID

OF WALL

SPOT ELEVATION

TOP OF CURB/FLOWLINE

FL = FLOWLINE

FINISHED FLOOR ELEVATION

BOLLARD

BUILDING OVERHANG

TOP OF WALL/GRADE AT BOTTOM

TSW = TOP OF SIDEWALK

CONCRETE AREA

ASPHALT AREA

— CURB AND GUTTER

LOT LINE

ADJACENT PROPERTY LINE

INTERMEDIATE CONTOUR

BUILDING OVERHANG

CONCRETE AREA

ASPHALT AREA

CURB AND GUTTER

RETAINING WALL - SOLID/

BUILDING/

BOLLARD

SHRUB

ROCK

WOOD FENCE

CHAIN LINK FENCE

BARBED WIRE FENCE

(PLAT BOOK, PAGE)

COMPLETION OF THE PERMANENT BMP CONSTRUCTION.

OWNER/DEVELOPER STATEMENT

JORDON GUINANI

13761 BANDANERO DRIVE, PEYTON, CO 80831

DESIGN ENGINEER'S STATEMENT

PRESIDENT

AND SPECIFICATIONS.

J. ELLIOTT HOMES, INC.

PH (719) 499-8214

TITLE:

MILESTONES AS DETERMINED IN THE PRE-CONSTRUCTION MEETING.

(EVERGREEN/DECIDUOUS)

P.E. CERTIFICATION OF PERMANENT BMP'S

PROVIDE VERIFICATION OF MATERIALS USED AT COMPLETION OF THE FACILITY IF REQUESTED.

1. FLPASO COUNTY REQUIRES THE ISSUANCE OF A CERTIFICATION LETTER BY A COLORADO REGISTERED ENGINEER FOR THE

RAP, GRANULAR BEDDING, GRANULAR FILTER MATERIAL, OR GROWING MEDIA AS INDICATED ON THESE PLANS AND

3. CONTRACTOR TO CONTACT THE DESIGN ENGINEER IMMEDIATELY IF CONSTRUCTION VARIES IN ANY WAY FROM THE PLANS.

I, JORDON GUINANE, THE OWNER/DEVELOPER HAVE READ AND WITH THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND

CONFORMITY WITH APPLICABLE MASTER DRAINAGE PLANS AND MASTER TRANSPORTATION PLANS. SAID PLANS AND

ARE CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. I ACCEPT RESPONSIBILITY

NEGLIGENT ACTS, ERRORS OR OMISSIONS ON MY PART IN PREPARATION OF THE

SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY,

DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS, AND SAID PLANS AND SPECIFICATIONS ARE IN

SPECIFICATIONS MEET THE PURPOSES FOR WHICH THE PARTICULAR ROADWAY AND DRAINAGE FACILITIES ARE DESIGNED AND

4. CONTRACTOR TO PROVIDE PROJECT SCHEDULE TO ENGINEER IN WRITING AND WILL NOTIFY ENGINEER OF KEY POINT

2. CONTRACTOR TO OBSERVE ALL MATERIAL TESTING AND COMPACTION TESTING REQUIREMENTS OF EL PASO COUNTY

PERMANENT BMP FACILITES. ADHERENCE TO THE ITEMS LISTED BELOW WILL HELP FACILITATE A P.E. CERTIFICATION AT THE

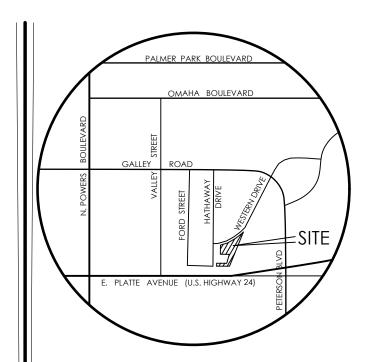
STANDARDS AND SPECIFICATIONS FOR ALL BMP EMBANKMENTS. CONTRACTOR TO PROVIDE SUBMITTALS FOR ANY BMP RIP

o o SIGN

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

IN ACCORDANCE WITH ECM SECTION 1.12, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION..

JOSHUA PALMER, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR 8/19/2024 PCD FILE # PPR-24-15 EPC 8/19/2024

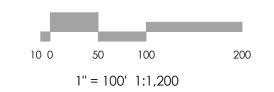


BENCHMARK

BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.







REVISIONS

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY

CHECKED BY

townhomes at western

LOT I, CIMARRON SOUTHEAST

CONSTRUCTION

MVE DRAWING CON-CS



12"x18" R7-22



PARKING

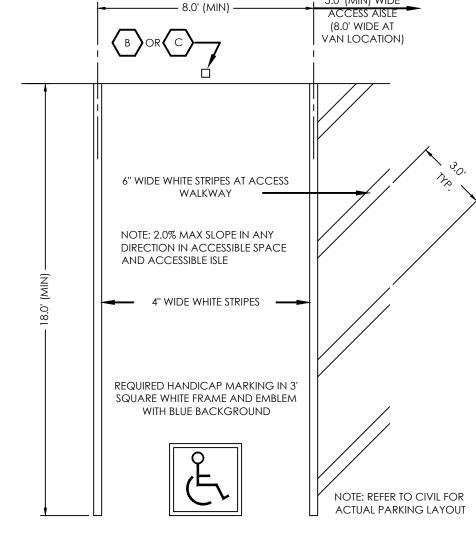


(EVENLY SPACED AND PLACED IN COORDINATION WITH FIRE DEPARTMENT ALONG FIRE LANES & LOCATED BEHIND RAISED CURBS. ARROW DIRECTION AS APPLICABLE)

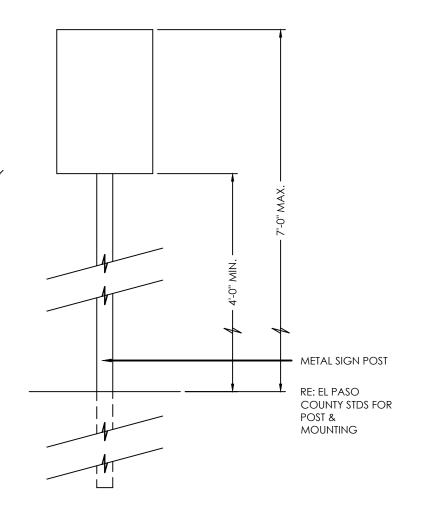
- 1. TYPOGRAPHY TO BE HELVETICA MEDIUM
- 2. ALL PRIMARY SIGNS TO BE MOUNTED ON METAL SIGN POST; 7'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP. ADDITIONAL PLACARD SIGNS SHALL BE MOUNTED AT LEAST 6'-0" ABOVE FINISH GRADE TO BOTTOM OF SIGN-TYP.
- 3. MOUNT HANDICAP SIGNAGE ON BUILDING.
- 4. FIRE LANE MARKING SHALL BE PROVIDED AS SHOWN. EITHER SIGNAGE OR STRIPING WILL BE PROVIDED IN LOCATIONS SHOWN ON PLAN. FIRE LANE MARKING REQUIREMENTS BY COLORADO SPRINGS FIRE DEPARTMENT DIVISION OF THE FIRE MARSHALL AS REVISED JULY 2016 WILL BE A FOLLOWED FOR MATERIALS AND INSTALLATION OF MARKINGS.

SITE SIGNAGE LEGEND SCALE: 1" = 1'-0"

STRIPING AREA •••••••



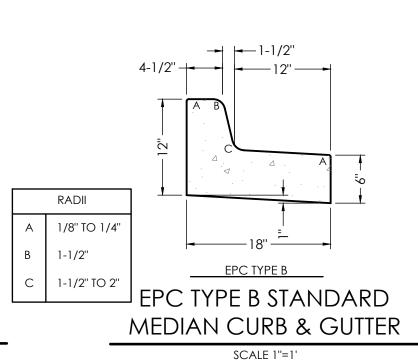
TYPICAL HANDICAP PARKING SPACE



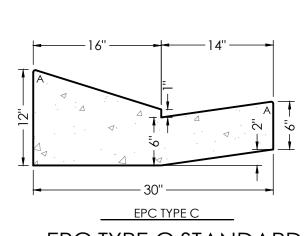
TYPICAL SIGN POST

REVERSE SLOPE OF PAN FOR SPILL CURB EPC TYPE A EPC TYPE A STANDARD

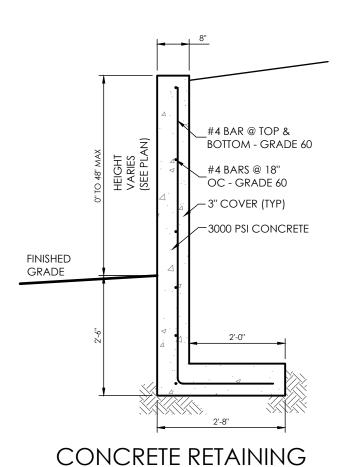
VERTICAL CURB & GUTTER SCALE 1"=1"



REVERSE SLOPE OF PAN FOR SPILL CURB



EPC TYPE C STANDARD RAMP CURB & GUTTER SCALE 1"=1"

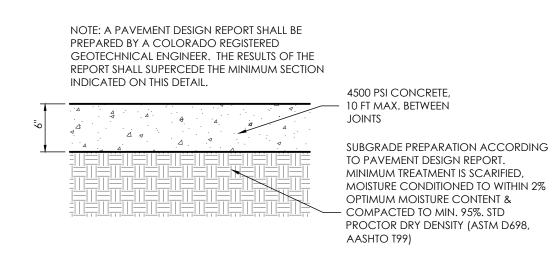


WALL DETAIL

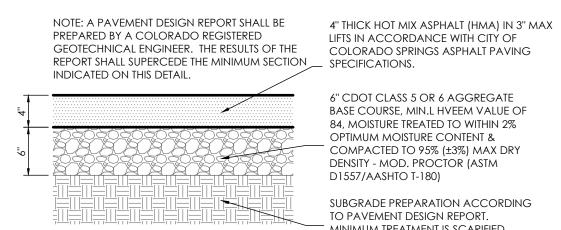
SCALE: 1" = 2.0'

MASONRY BLOCK HEIGHT VARIES RETAINING WALL (SEE PLAN) (DESIGN BY MANUFACTURER, INSTALL PER MANUFACTURER'S NOTE: WALL HEIGHTS ABOVE 4' REQUIRES STRUCTURAL APPROVAL THROUGH REGIONAL BUILDING DEPARTMENT

> MASONRY BLOCK WALL DETAIL NOT TO SCALE

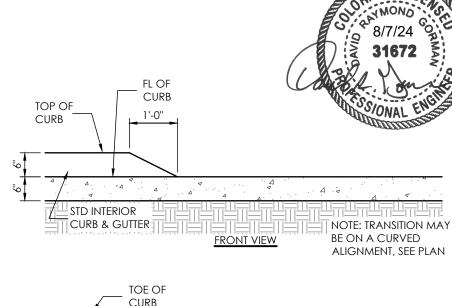


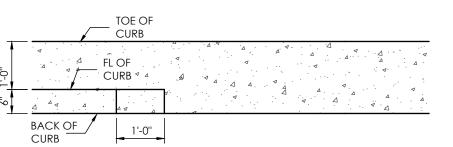
PAVEMENT SECTION VEHICLE TRAFFIC AREAS (CONCRETE)



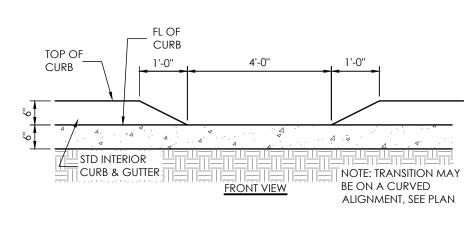
6" CDOT CLASS 5 OR 6 AGGREGATE BASE COURSE, MIN.L HVEEM VALUE OF 84, MOISTURE TREATED TO WITHIN 2% OPTIMUM MOISTURE CONTENT & COMPACTED TO 95% (±3%) MAX DRY DENSITY - MOD. PROCTOR (ASTM D1557/AASHTO T-180) SUBGRADE PREPARATION ACCORDING TO PAVEMENT DESIGN REPORT. MINIMUM TREATMENT IS SCARIFIED, MOISTURE CONDITIONED TO WITHIN 2% OPTIMUM MOISTURE CONTENT & COMPACTED TO MIN. 95%. STD PROCTOR DRY DENSITY (ASTM D698,

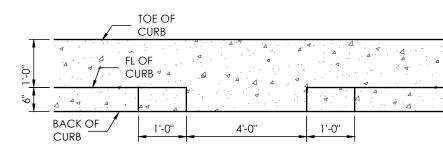
PARKING LOT PAVEMENT SECTION





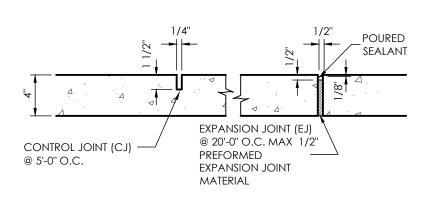
1' CURB TRANSITION DETAIL

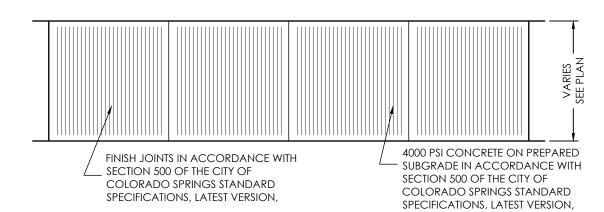




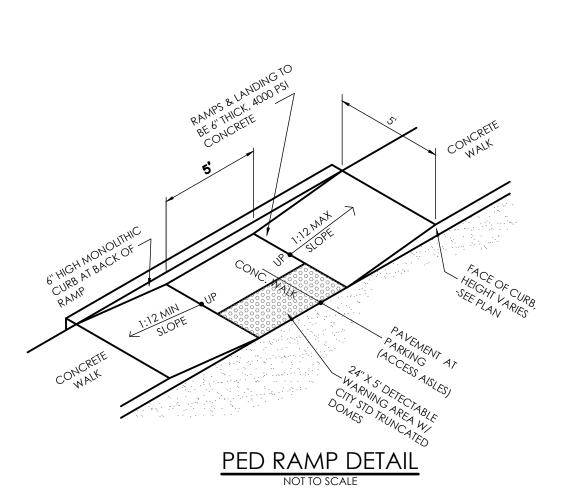
PLAN VIEW **CURB OPENING DETAIL**

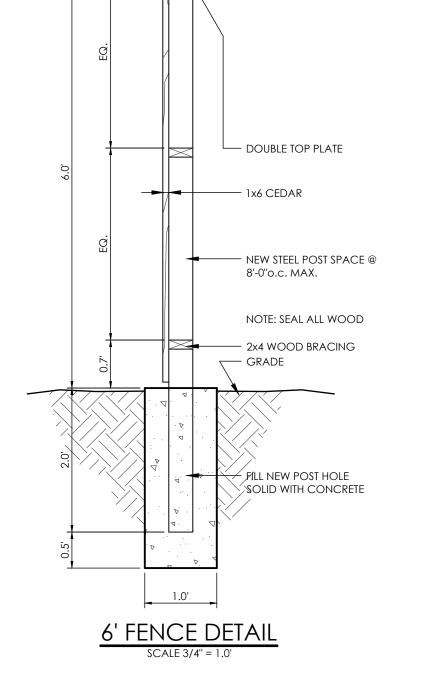
SCALE: NOT TO SCALE

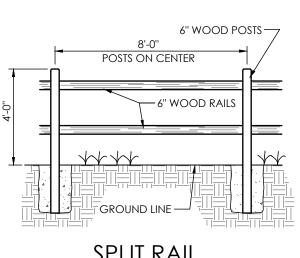




TYPICAL SIDEWALK DETAIL







SPLIT RAIL FENCE DETAIL



REVISIONS

BENCHMARK

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY CHECKED BY

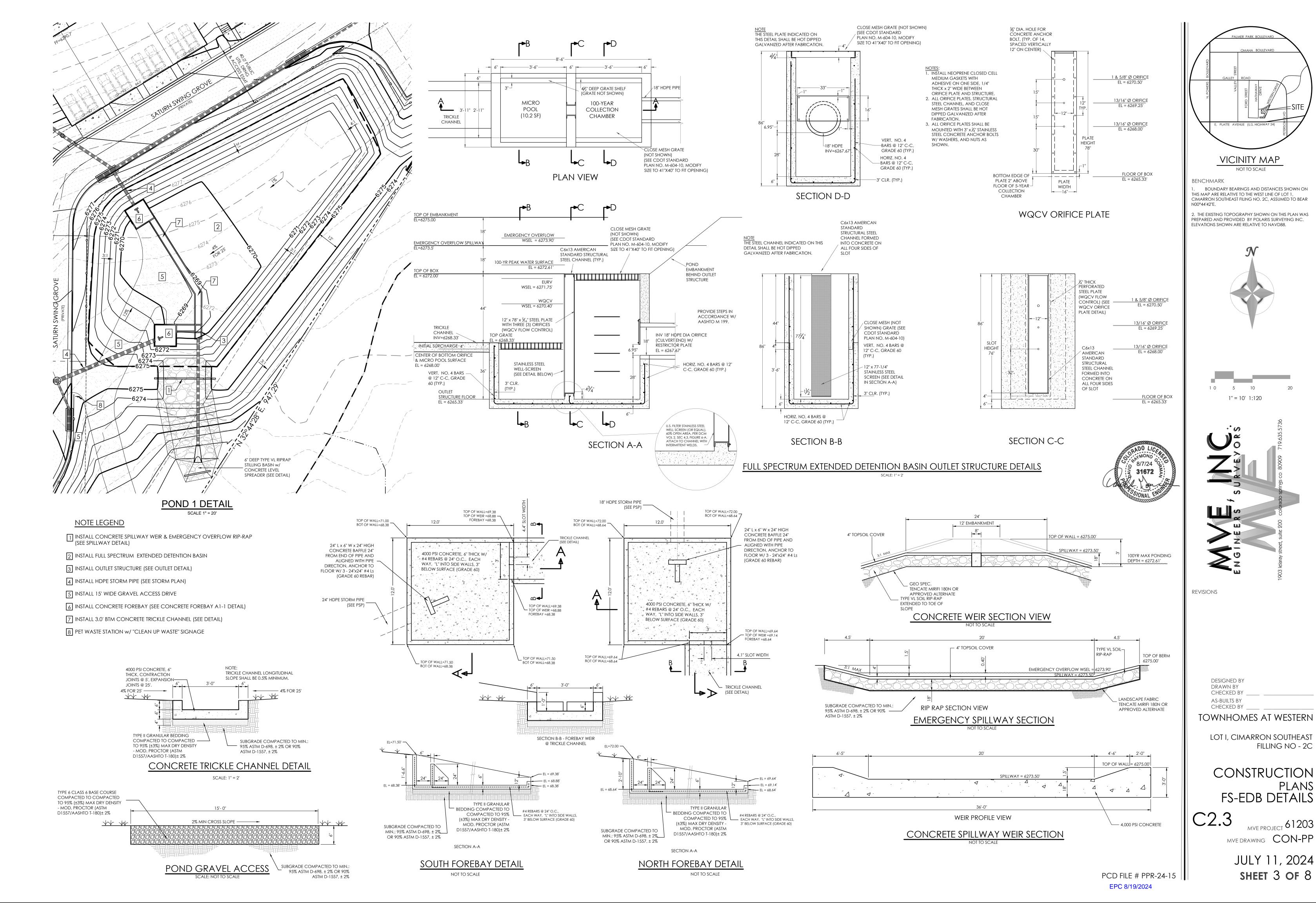
TOWNHOMES AT WESTERN

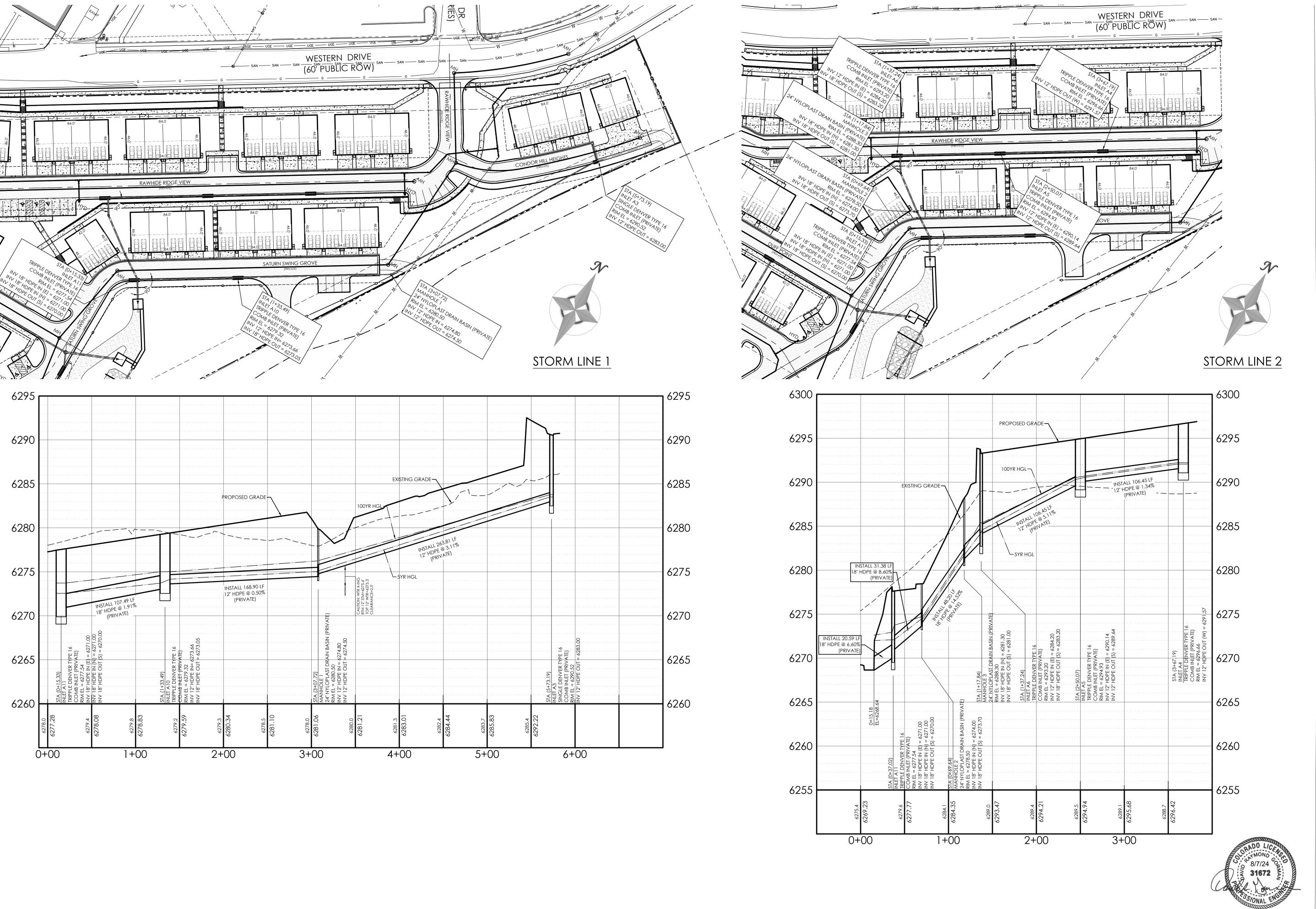
LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

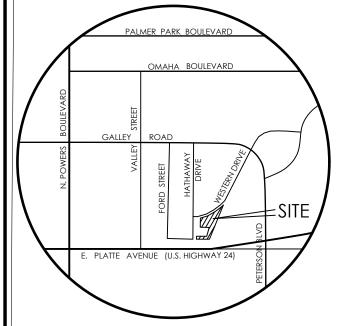
CONSTRUCTION PLANS CIVIL DETAILS

MVE DRAWING CON-CD

JULY 11, 2024 SHEET 2 OF 8







VICINITY MAP

BENCHMARK

1 BOUNDARY BEA

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.

NOSI 15 2 10 0 20 50 100 HORIZONTAL SCALE 1" = 50' 1:600



REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TOWNHOMES AT WESTERN

LOT LONARRONI SOLITHEAS

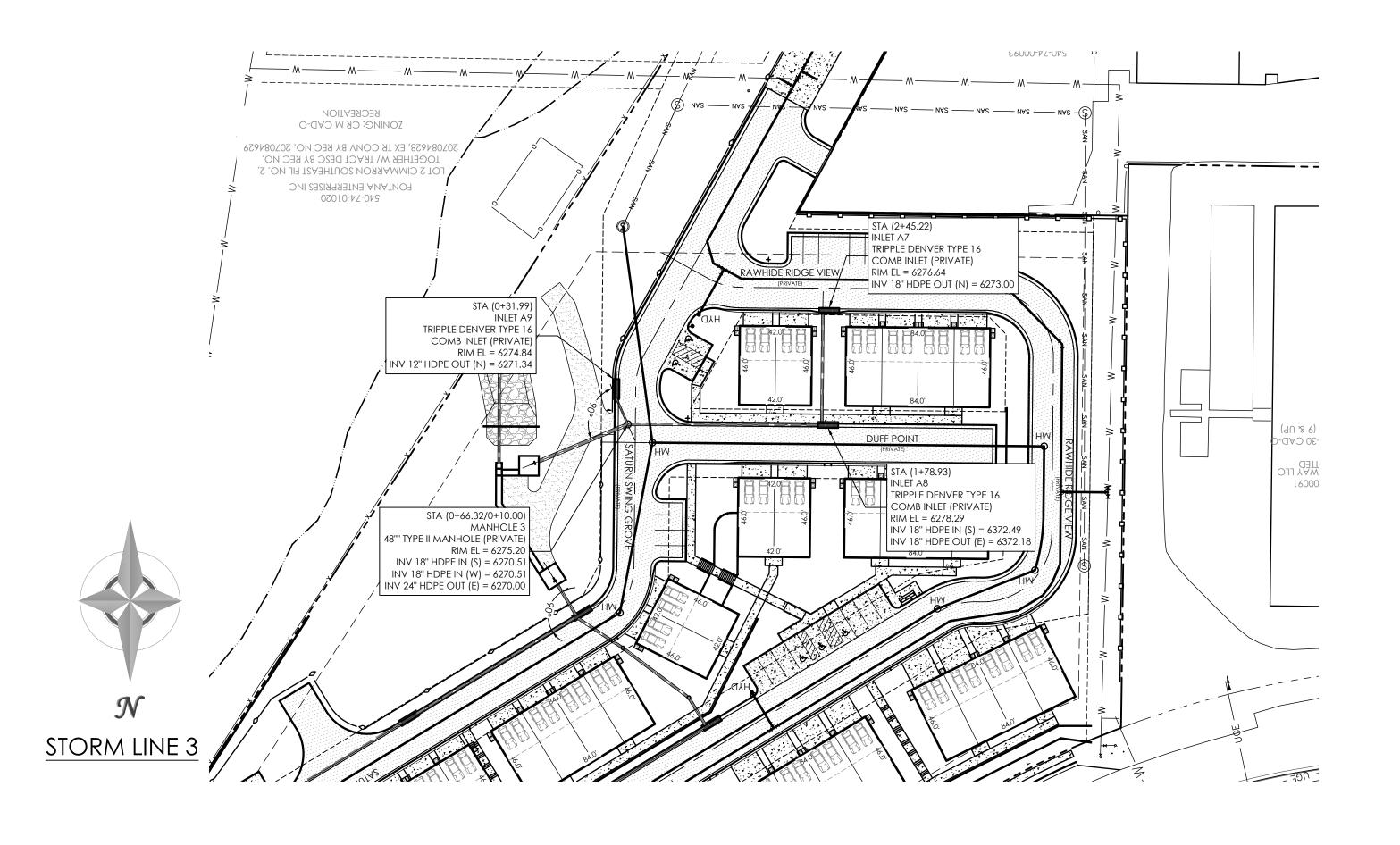
LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

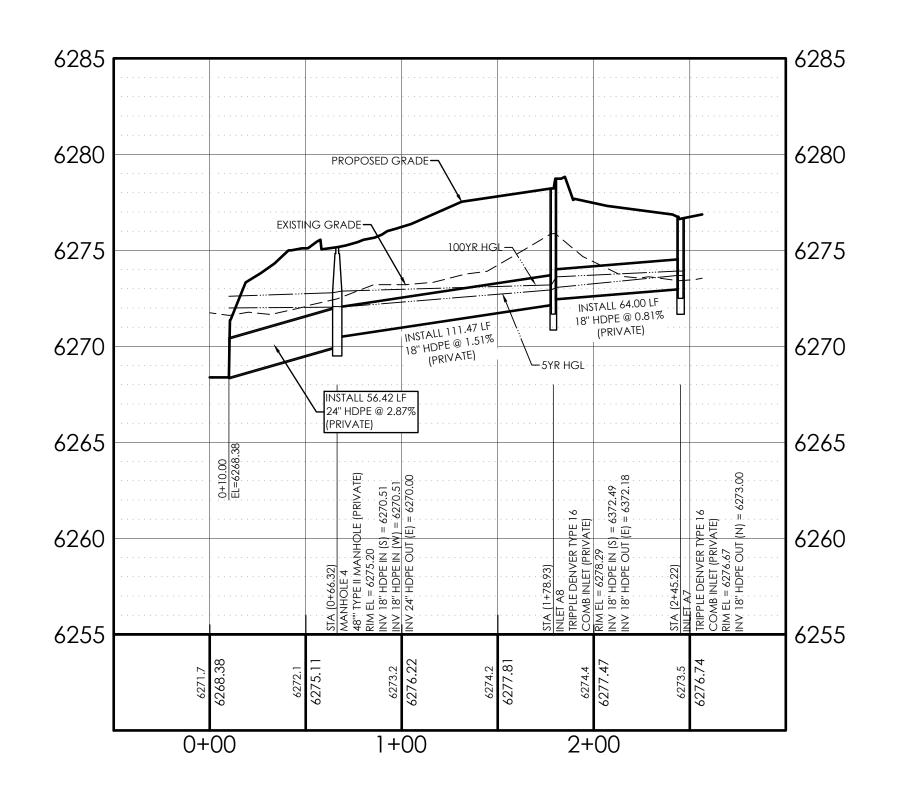
CONSTRUCTION
PLANS
PRIVATE STORM

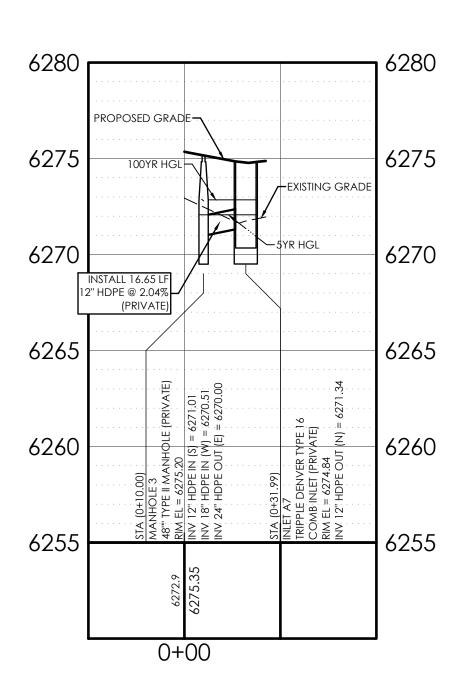
C2.4

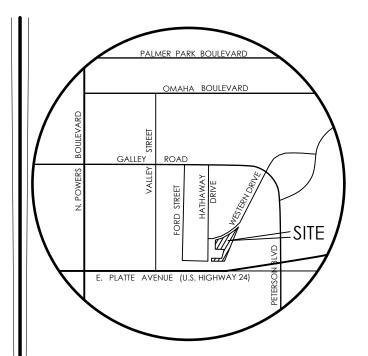
4 MVE PROJECT 61203
MVE DRAWING CON-PS

JULY 11, 2024 SHEET 4 OF 8







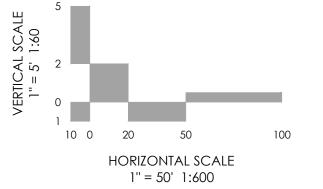


VICINITY MAP NOT TO SCALE

BENCHMARK

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMAD SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.





REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY _____ AS-BUILTS BY
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION
PLANS
PRIVATE STORM

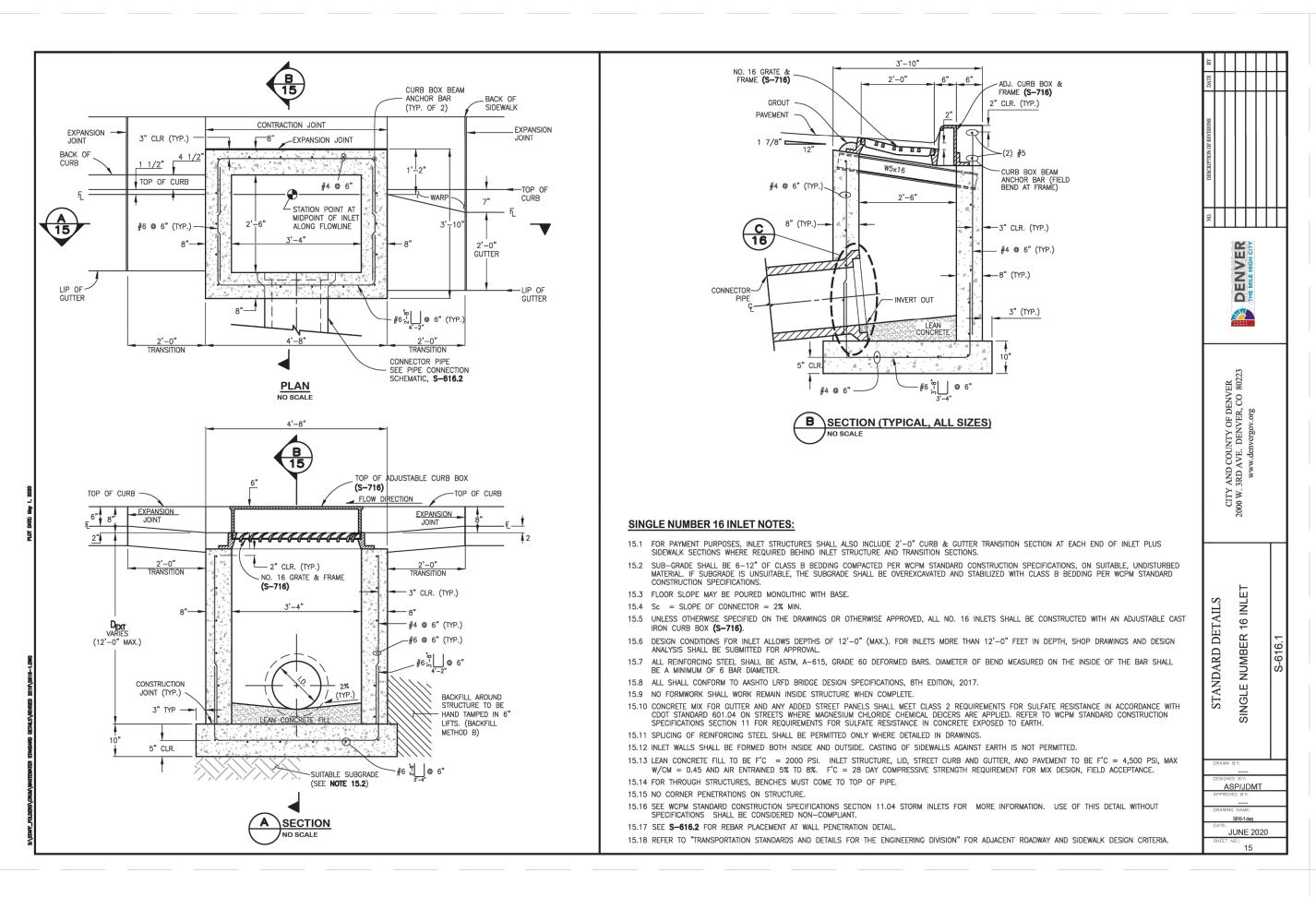
C2.5

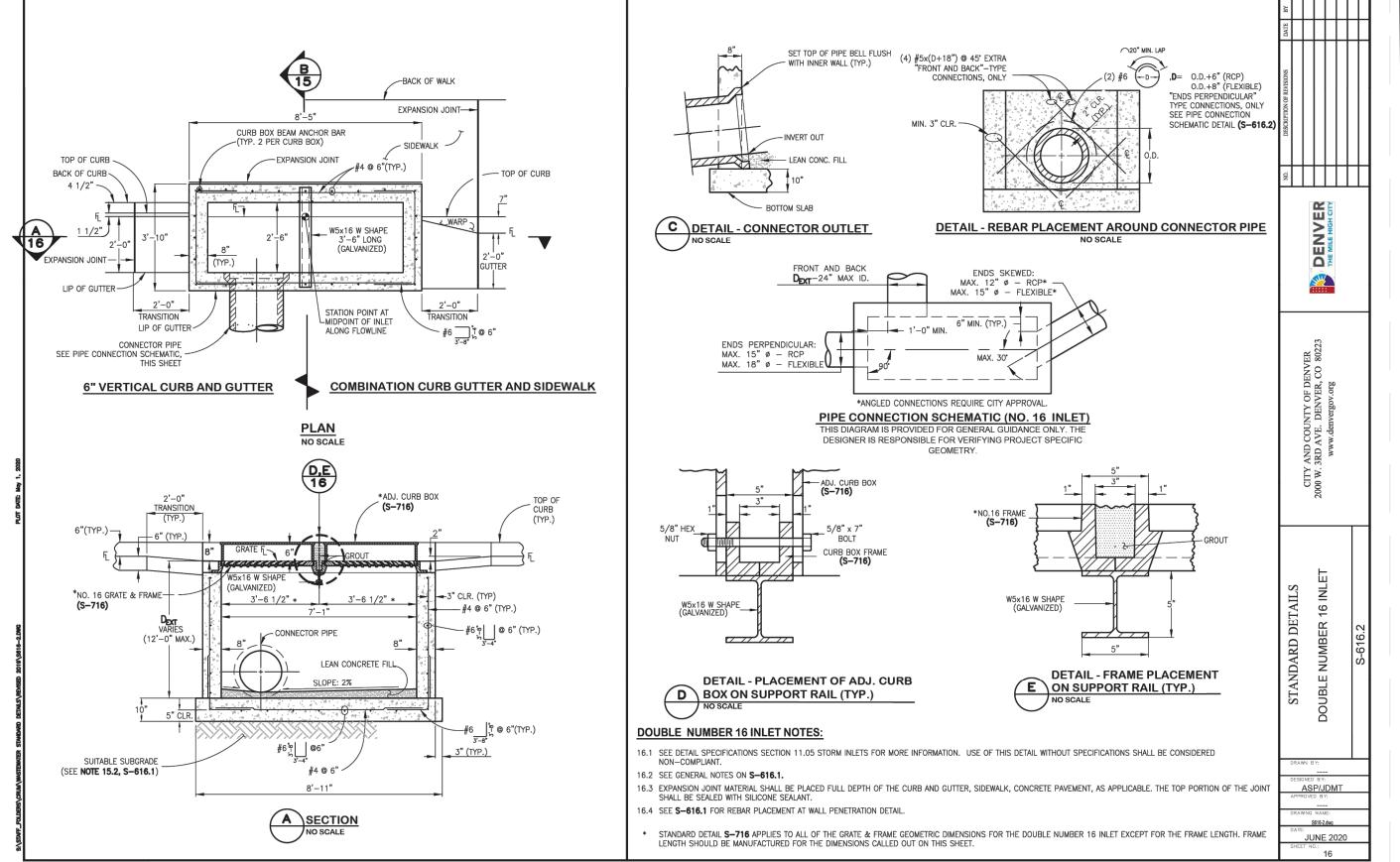
MVE PROJECT 61203

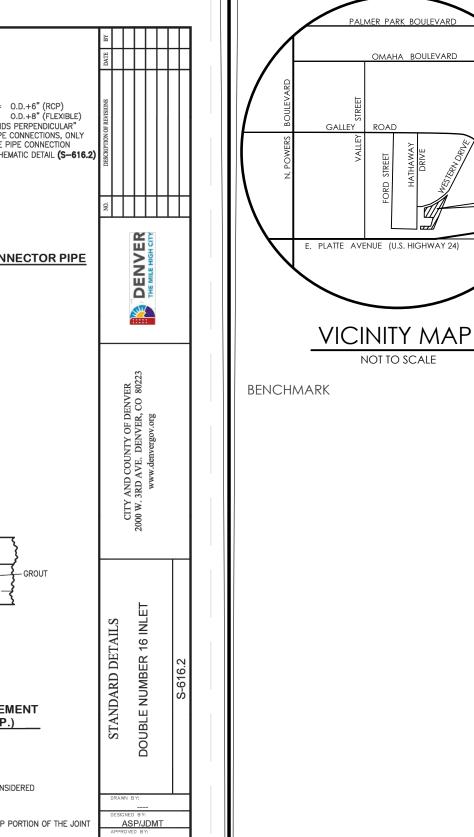
MVE DRAWING CON-PS2

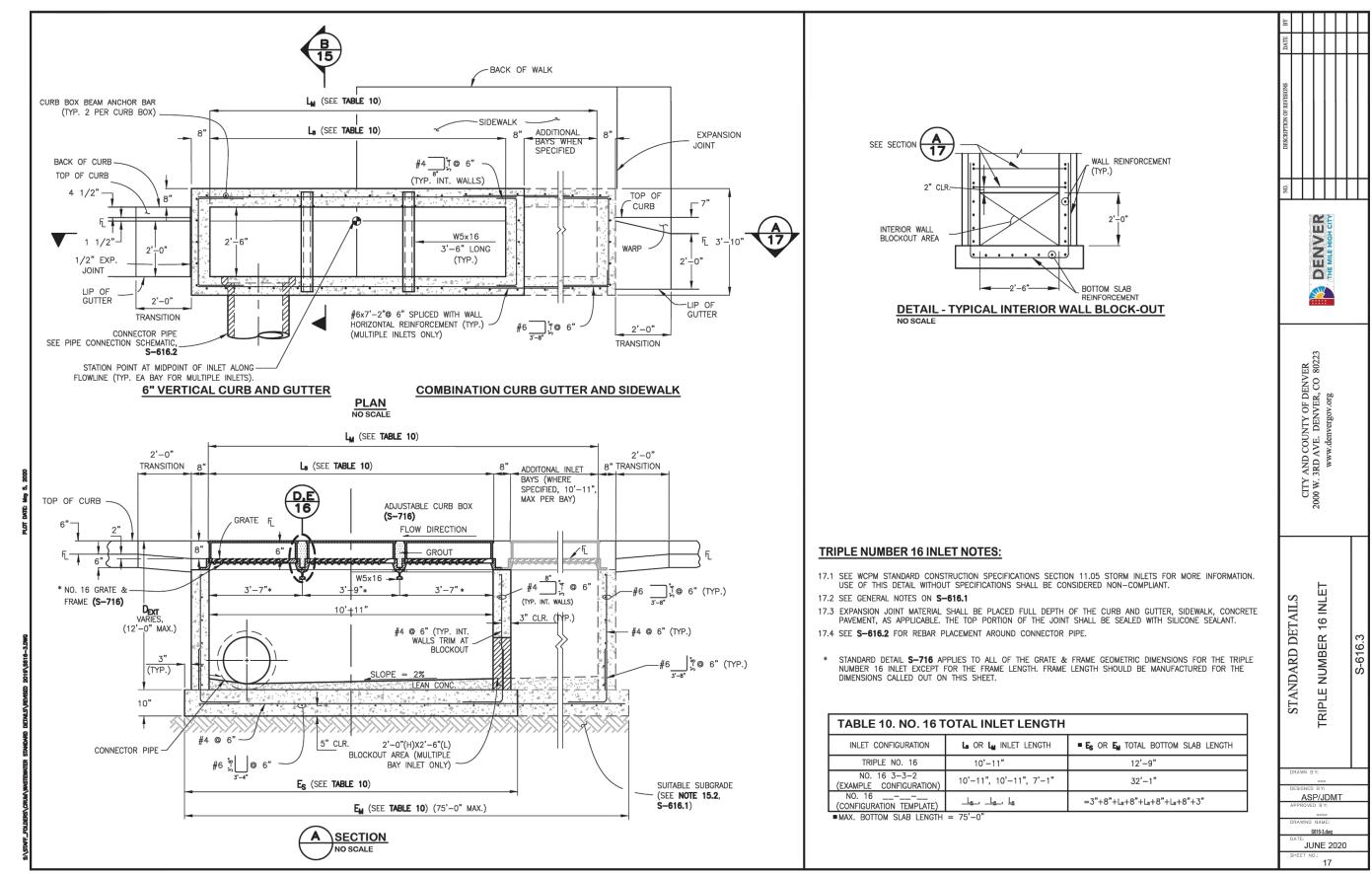
JULY 11, 2024 SHEET 5 OF 8

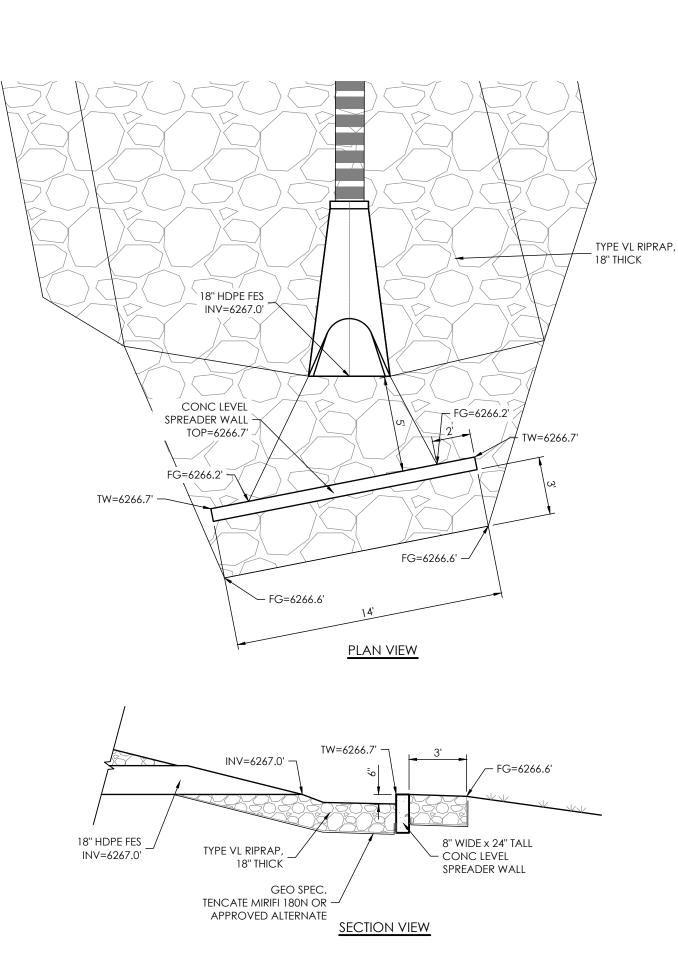
PCD FILE # PPR-24-15 EPC 8/19/2024



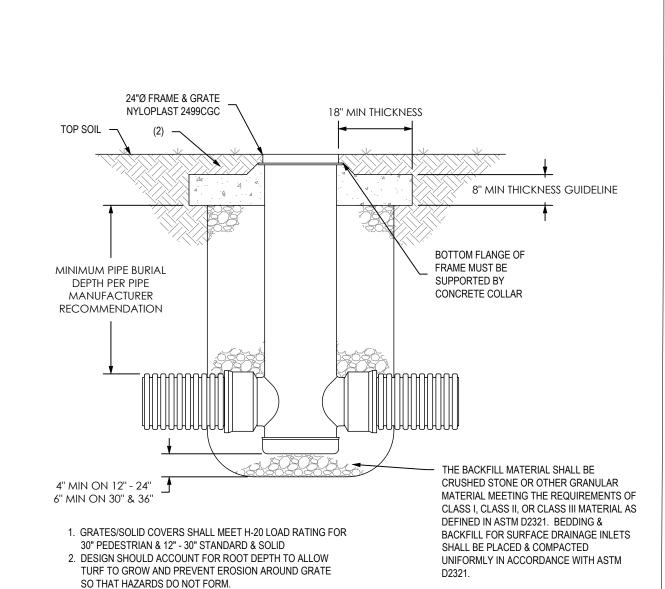












NYLOPLAST 24" DRAIN BASIN DETAIL SCALE: NOT TO SCALE



NOT TO SCALE

REVISIONS

DESIGNED BY DRAWN BY CHECKED BY AS-BUILTS BY CHECKED BY

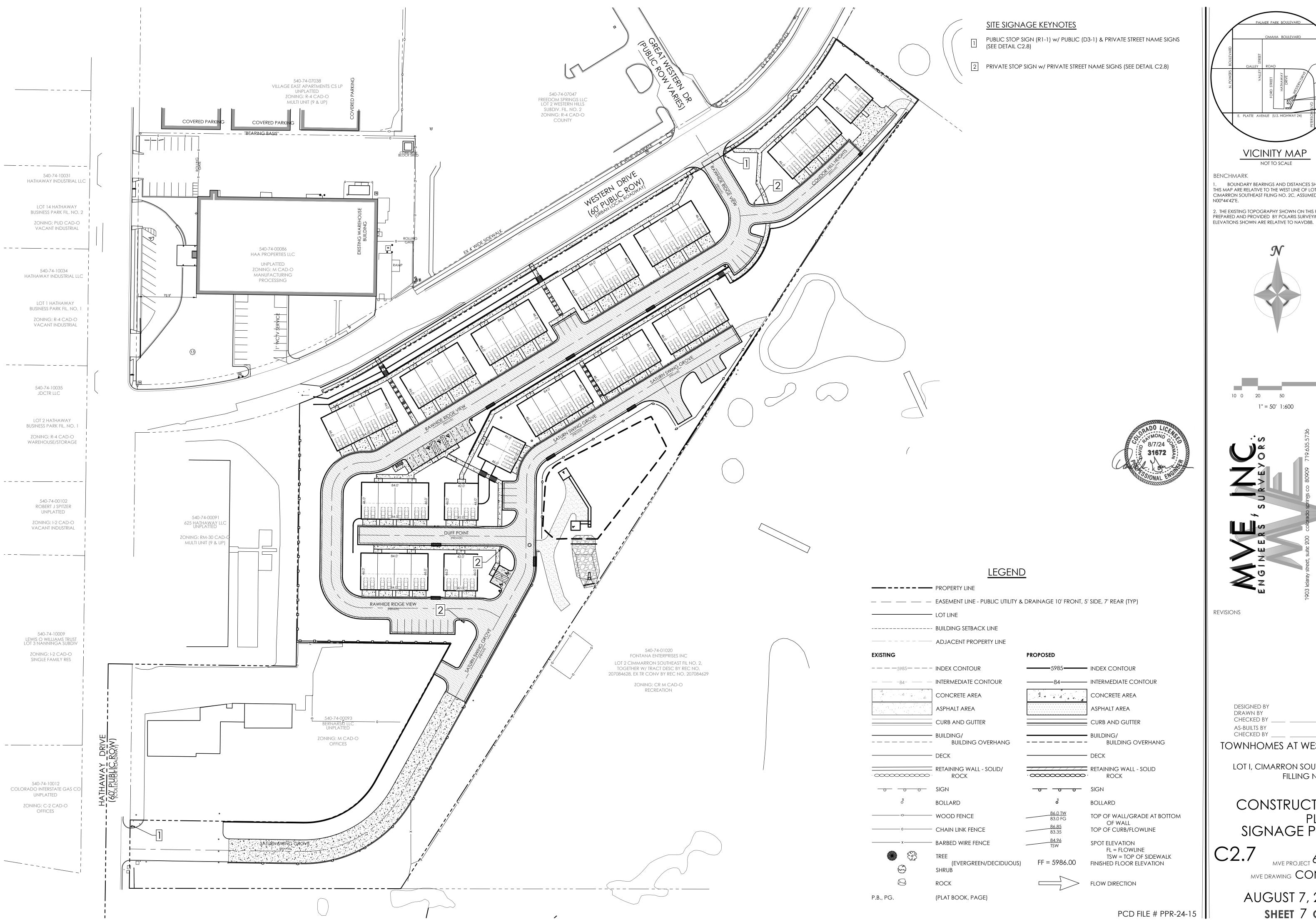
TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION PLANS STORM DETAILS

MVE DRAWING CON-SD

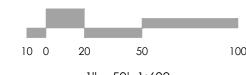
JULY 11, 2024 SHEET 6 OF 8

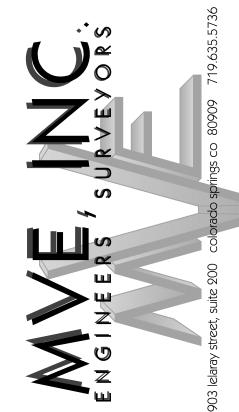


BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC.







TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

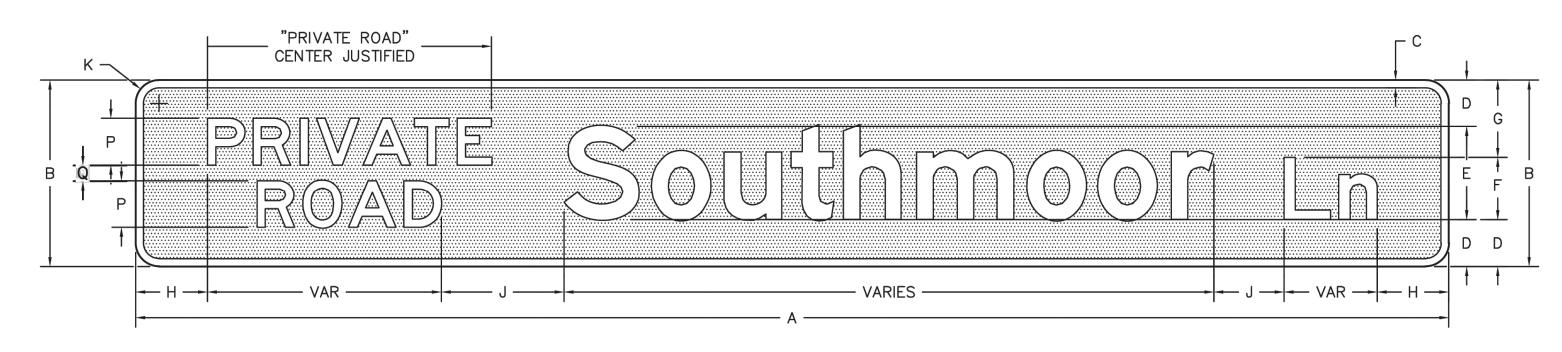
CONSTRUCTION PLANS SIGNAGE PLAN

mve drawing CON-SS1

AUGUST 7, 2024 SHEET 7 OF 8

EPC 8/19/2024





	SIGN DIMENSIONS											
•	Α	В	С	D	E	F	G	Н	J	K	Р	Q
	VAR	8	0.375	2	4 D	3 D	3	3 (MIN)	3	1	2.25	1.5
	VAR	12	0.5	3	6 D	4 D	5	4.5 (MIN)	4.5	1.5	3	2

LEGEND, BORDER BACKGROUND

-WHITE (RETROREFLECTIVE) -GREEN (RETROREFLECTIVE)

NOTES: REFERENCE SUPPLEMENTAL SPECIFICATION

Sign Detail
Scale: NTS

⊫ا													
	Computer File Information				Index of Revision	S	El Paso County		As Constructed	Private Road Detail		Project No./Code	
	Creation Date:	3/4/2021	Initials: DAN	R-	7/13/202 Approval Date	JEI	COUNTY	Department of Public Works		1 1114410	-	a bolan	,
	Last Modification Date:	7/13/2021	Initials: DAN	R-				3275 Akers Drive	No Revisions:				EPC
	Full Path:	P:	\Proj-Cv3D-2020	(R-)				Colorado Springs, Colorado 80922-1547	Revised:	Designer: JP	Structure		Standard Drawing
	Drawing File Name:	Private	eRoadSignDets.dwg	\mathbb{R} -		1		Ph: 719-520-6460 Fax: 719-520-6878		Detailer: DAN	Numbers		
	Acad. Ver. Civ3D 2020) Scale: n/a	Units: Feet	R-			TOTAL 1861	Division of Transportation	Void:	SheetSubset:	Subset	Sheets: o	Sheet Number 1

Supplemental Specification - El Paso County, Colorado

July 13, 2021

PRIVATE ROAD SIGNS

DESCRIPTION

This work consists of the construction of traffic signs. This work shall be done in accordance with the latest version of the CDOT Standard Specifications for Road and Bridge Construction, the latest revision of the "Manual on Uniform Traffic Control Devices for Streets and Highways" published by the FHWA and adopted by CDOT, the latest revision of the Colorado Supplement thereto, and in conformity with the EPC Standard Private Road Detail together and the details shown on the plans or established.

MATERIALS

Private Road sign panel materials shall conform to this specification, Sections 614 and 713 of the CDOT Standard Specifications for Road and Bridge Construction and to the details shown on the plans.

The Private Road sign panel shall contain a retroreflective green background with a retroreflective white legend and border.

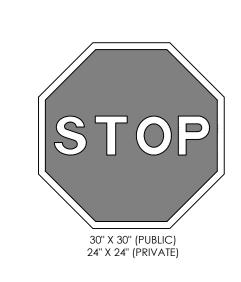
Private road street name signing that faces approach roads which are classified or operate as local residential area subdivision roads that provide direct access to consistently subdivided residential lots will typically utilize an 8-inch sign panel height with 4-inch initial upper-case lettering for the primary street name legend. Private road street name signing that faces approach roads which are classified or operate as non-local residential area subdivision roads will typically utilize a 12-inch sign panel height with 6-inch initial upper-case lettering for the primary street name legend. Larger signs may be required per the MUTCD.

The words "PRIVATE ROAD" shall be located prior to the street name and shall be center justified. The words shall be all capital letters, stacked and centered vertically. For an 8-inch sign panel height, use 2.25 inches for the PRIVATE ROAD letter height and a 1.5-inch vertical space between the legend. For a 12-inch sign panel height, use 3 inches for the PRIVATE ROAD letter height and a 2-inch vertical space between the legend.

CONSTRUCTION REQUIREMENTS

Private Road sign panel construction shall conform to Section 614 of the CDOT Standard Specifications for Road and Bridge



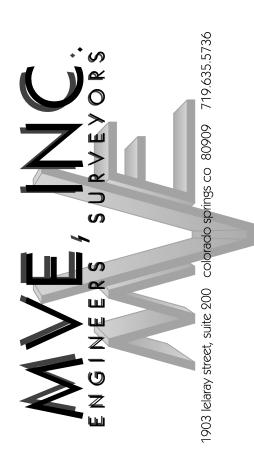


STOP SIGN (R1-1)

BENCHMARK

BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1,
CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



REVISIONS

TOVAVALLOVATE	A T \A/CCTCI
AS-BUILTS BY CHECKED BY	
DESIGNED BY CHECKED BY	

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION PLANS SIGNAGE DETAILS

mvedrawing CON-SS1

AUGUST 7, 2024 SHEET 8 OF 8

EPC 8/19/2024

PCD FILE # PPR-24-15