

STANDARD EL PASO COUNTY CONSTRUCTION PLAN NOTES

- 1. ALL DRAINAGE AND ROADWAY CONSTRUCTION SHALL MEET THE STANDARDS AND SPECIFICATIONS OF THE CITY OF COLORADO SPRINGS/EL PASO COUNTY DRAINAGE CRITERIA MANUAL, VOLUMES 1 AND 2, AND THE EL PASO COUNTY ENGINEERING CRITERIA MANUAL.

STANDARD EL PASO COUNTY SIGNING AND STRIPING NOTES

- 1. ALL SIGNS AND PAVEMENT MARKINGS SHALL BE IN COMPLIANCE WITH THE CURRENT MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

GENERAL GRADING NOTES

- 1. UNDERGROUND FACILITIES, STRUCTURES AND UTILITIES HAVE BEEN DRAWN FROM AVAILABLE RECORDS AND/OR SURFACE EVIDENCE. THE LOCATION OF ALL UTILITIES MAY NOT BE SHOWN OR MAY NOT HAVE BEEN LOCATED.

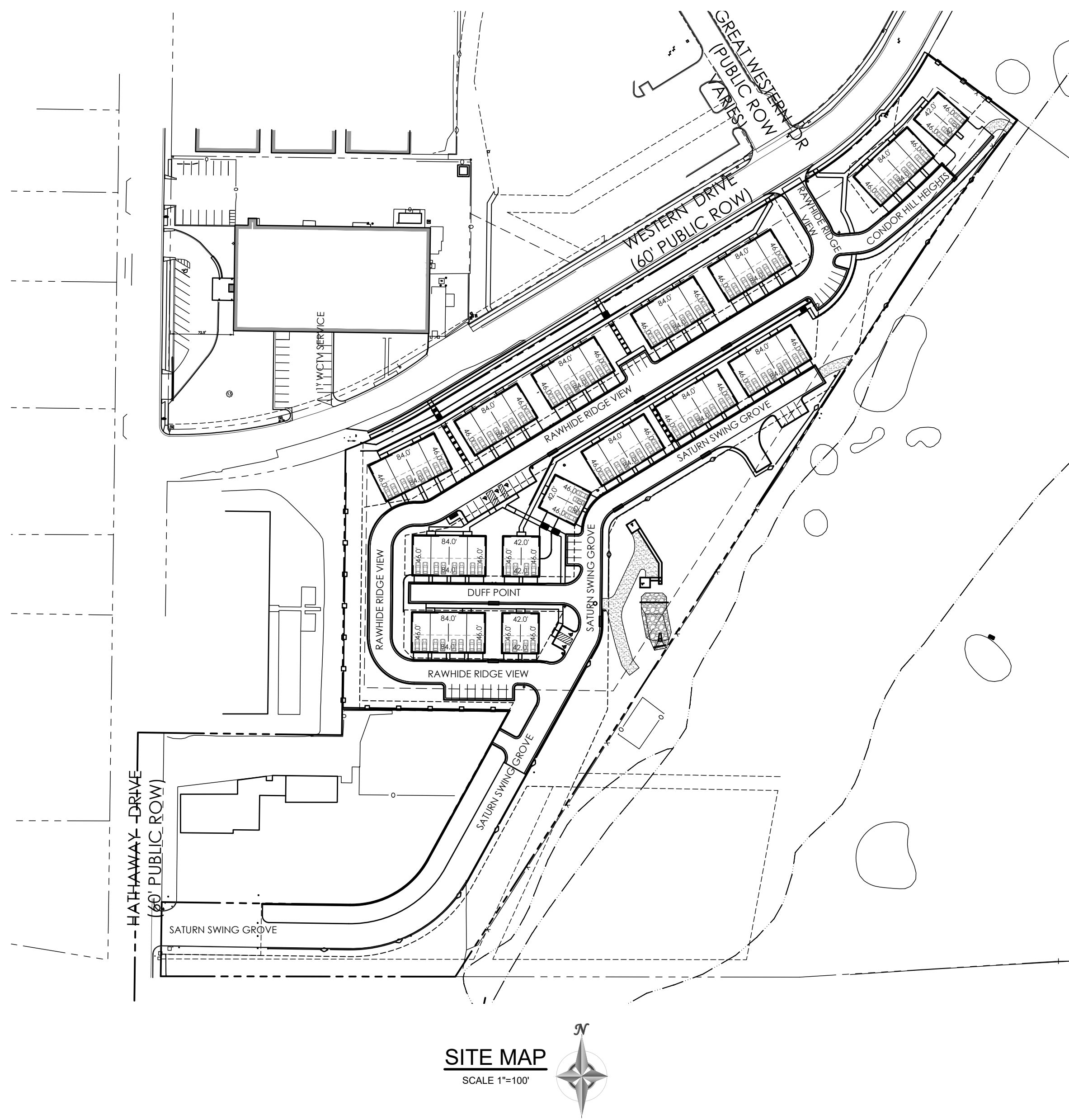
FLOODPLAIN STATEMENT

A PORTION OF THE SUBJECT PROPERTY IS LOCATED WITHIN FEMA DESIGNATED SPECIAL FLOOD HAZARD AREA (SFHA) ZONE AE AS INDICATED ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR EL PASO COUNTY, COLORADO AND INCORPORATED AREAS - MAP NUMBER 08041C0754 G, EFFECTIVE DECEMBER 7, 2018.

MAP NOTES

- 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

CONSTRUCTION PLANS FOR TOWNHOMES AT WESTERN LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, SOUTHEAST QUARTER SECTION 7, TOWNSHIP 14 SOUTH, RANGE 66 WEST OF THE 6TH P. M., EL PASO COUNTY, COLORADO



SITE MAP SCALE 1"=100'

CONCRETE CONSTRUCTION NOTES

- 1. ALL MATERIALS AND INSTALLATION PROCEDURES SHALL BE IN COMPLIANCE WITH THE CITY OF COLORADO SPRINGS DEPARTMENT OF PUBLIC WORKS STANDARD SPECIFICATIONS LATEST EDITION, CITY OF COLORADO SPRING DRAINAGE CRITERIA MANUAL VOLUMES 1 & 2 WITH REFERENCED STANDARDS AND SPECIFICATIONS, AND CITY OF COLORADO SPRINGS SUBDIVISION POLICY MANUAL.

SHEET INDEX

Table with 3 columns: SHEET TITLE, DRAWING, and details. Includes entries for Cover Sheet, Civil Site Details, FS-EDB (POND) Details, Private Storm Plan, Private Storm Plan, Storm Details, Signage Plan, and Signage Details.

LEGEND table showing symbols for existing and proposed features: property line, easement line, lot line, building setback line, adjacent property line, index contour, intermediate contour, concrete area, asphalt area, curb and gutter, building/overhang, deck, retaining wall, sign, bollard, wood fence, chain link fence, barbed wire fence, tree, shrub, rock, flow direction.

P.E. CERTIFICATION OF PERMANENT BMP's

- 1. EL PASO COUNTY REQUIRES THE ISSUANCE OF A CERTIFICATION LETTER BY A COLORADO REGISTERED ENGINEER FOR THE PERMANENT BMP FACILITIES. ADHERENCE TO THE ITEMS LISTED BELOW WILL HELP FACILITATE A P.E. CERTIFICATION AT THE COMPLETION OF THE PERMANENT BMP CONSTRUCTION.

OWNER/DEVELOPER STATEMENT

I, JORDAN GUINANE, THE OWNER/DEVELOPER HAVE READ AND WITH THE REQUIREMENTS SPECIFIED IN THESE DETAILED PLANS AND SPECIFICATIONS.

Signature of JORDAN GUINANE, PRESIDENT, J. ELLIOTT HOMES, INC., 18761 BANDANERO DRIVE, PEYTON, CO 80831, PH (719) 499-8214.

DESIGN ENGINEER'S STATEMENT

THESE DETAILED PLANS AND SPECIFICATIONS WERE PREPARED UNDER MY DIRECTION AND SUPERVISION. SAID PLANS AND SPECIFICATIONS HAVE BEEN PREPARED ACCORDING TO THE CRITERIA ESTABLISHED BY THE COUNTY FOR DETAILED ROADWAY, DRAINAGE, GRADING AND EROSION CONTROL PLANS AND SPECIFICATIONS.

Signature of DAVID R. GORMAN, P.E., COLORADO NO. 31472, FOR AND ON BEHALF OF M.V.E., INC.

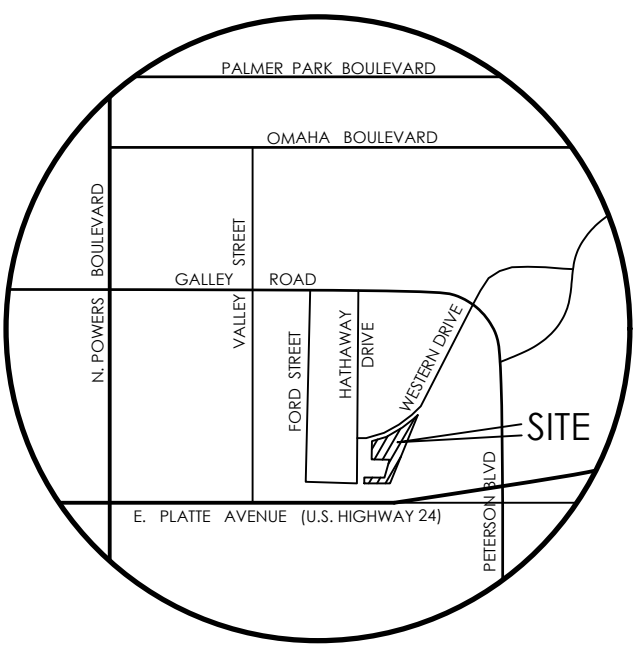
EL PASO COUNTY

COUNTY PLAN REVIEW IS PROVIDED ONLY FOR GENERAL CONFORMANCE WITH COUNTY DESIGN CRITERIA. THE COUNTY IS NOT RESPONSIBLE FOR THE ACCURACY AND ADEQUACY OF THE DESIGN, DIMENSIONS, AND/OR ELEVATIONS WHICH SHALL BE CONFIRMED AT THE JOB SITE.

FILED IN ACCORDANCE WITH THE REQUIREMENTS OF THE EL PASO COUNTY LAND DEVELOPMENT CODE, DRAINAGE CRITERIA MANUAL, AND ENGINEERING CRITERIA MANUAL AS AMENDED.

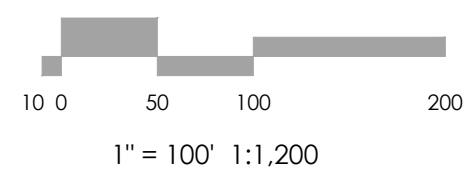
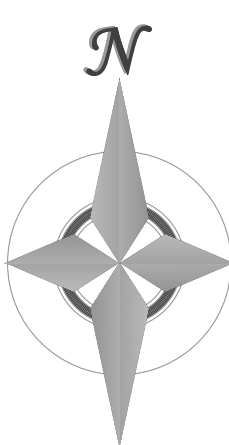
IN ACCORDANCE WITH ECM SECTION 1.1.2, THESE CONSTRUCTION DOCUMENTS WILL BE VALID FOR CONSTRUCTION FOR A PERIOD OF 2 YEARS FROM THE DATE SIGNED BY THE EL PASO COUNTY ENGINEER. IF CONSTRUCTION HAS NOT STARTED WITHIN THOSE 2 YEARS, THE PLANS WILL NEED TO BE RESUBMITTED FOR APPROVAL, INCLUDING PAYMENT OF REVIEW FEES AT THE PLANNING AND COMMUNITY DEVELOPMENT DIRECTORS DISCRETION.

Date 8/19/2024, JOSHUA PALMER, P.E. COUNTY ENGINEER / ECM ADMINISTRATOR. PCDD FILE # PPR-24-15, EPC 8/19/2024.



VICINITY MAP NOT TO SCALE

- 1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.



REVISIONS

DESIGNED BY: J. ELLIOTT HOMES, INC. DRAWN BY: MVE PROJECT. CHECKED BY: AS-BUILT BY: MVE DRAWING. CHECKED BY: CON-CS.

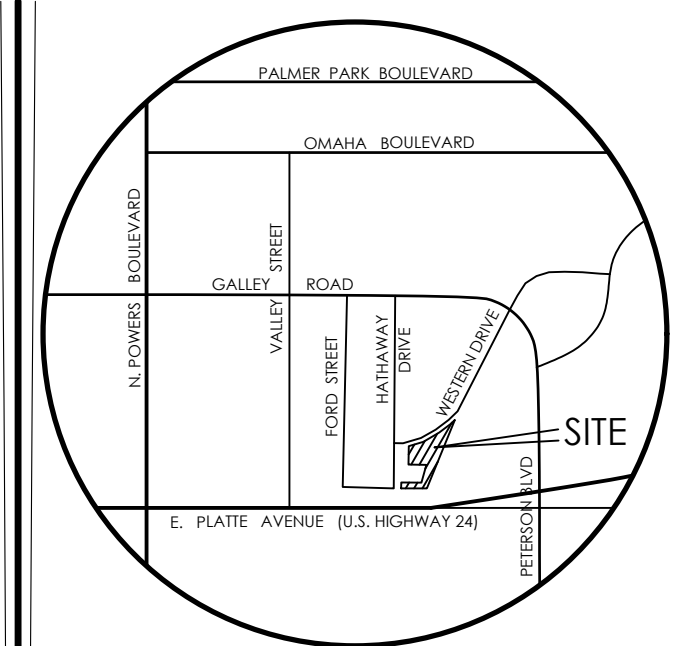
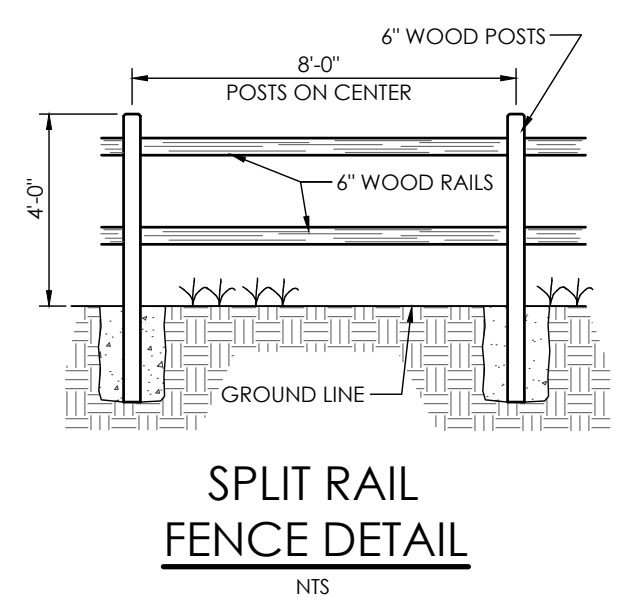
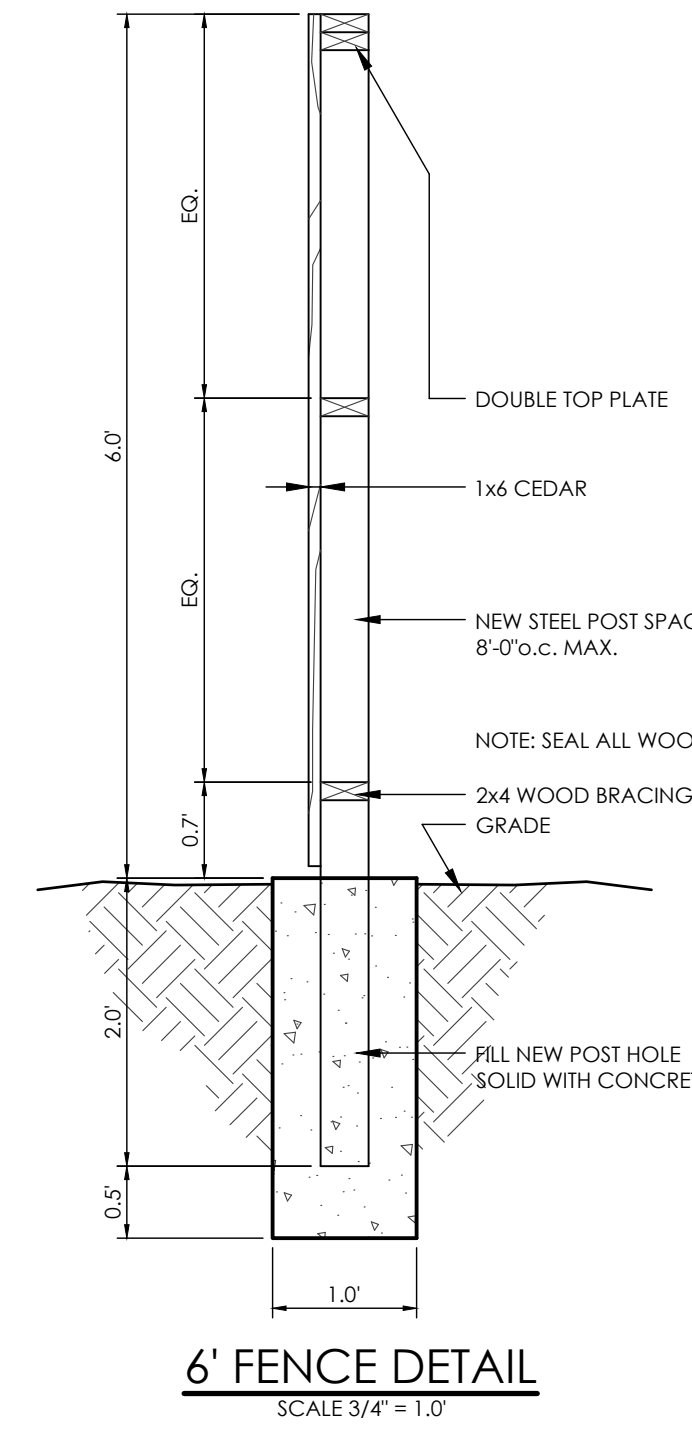
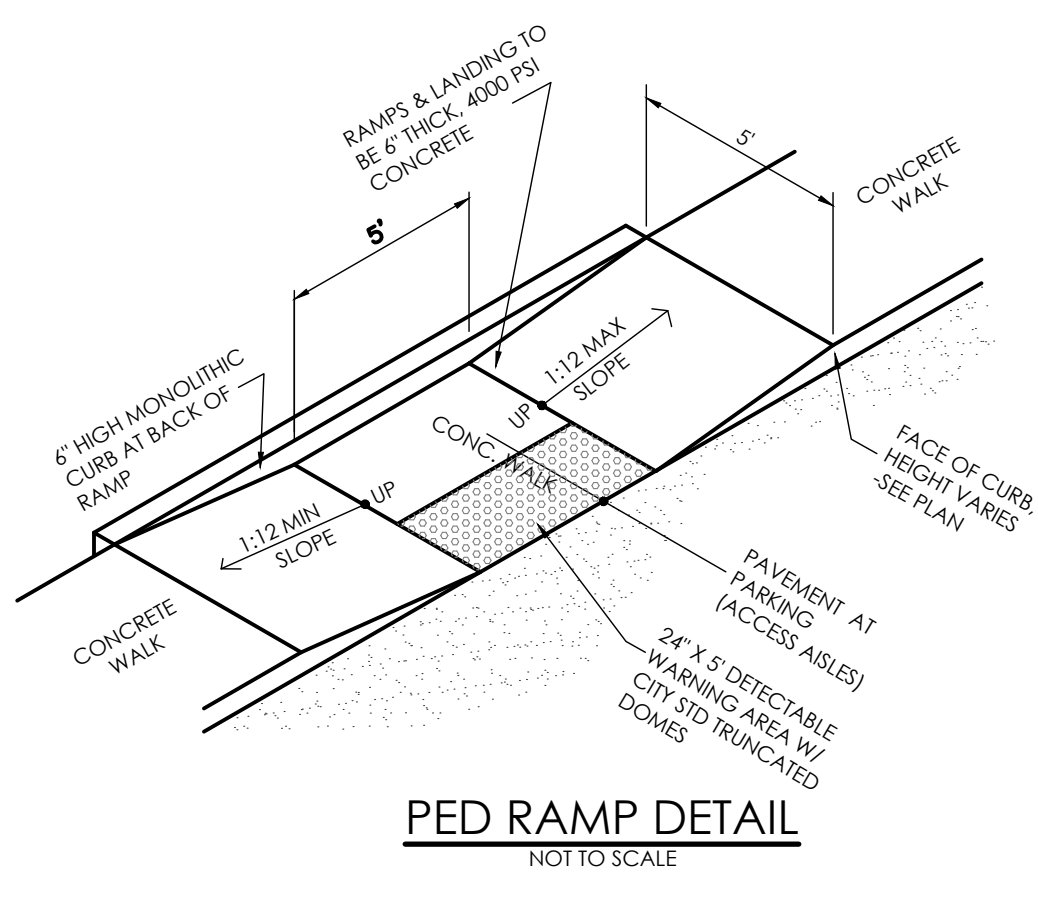
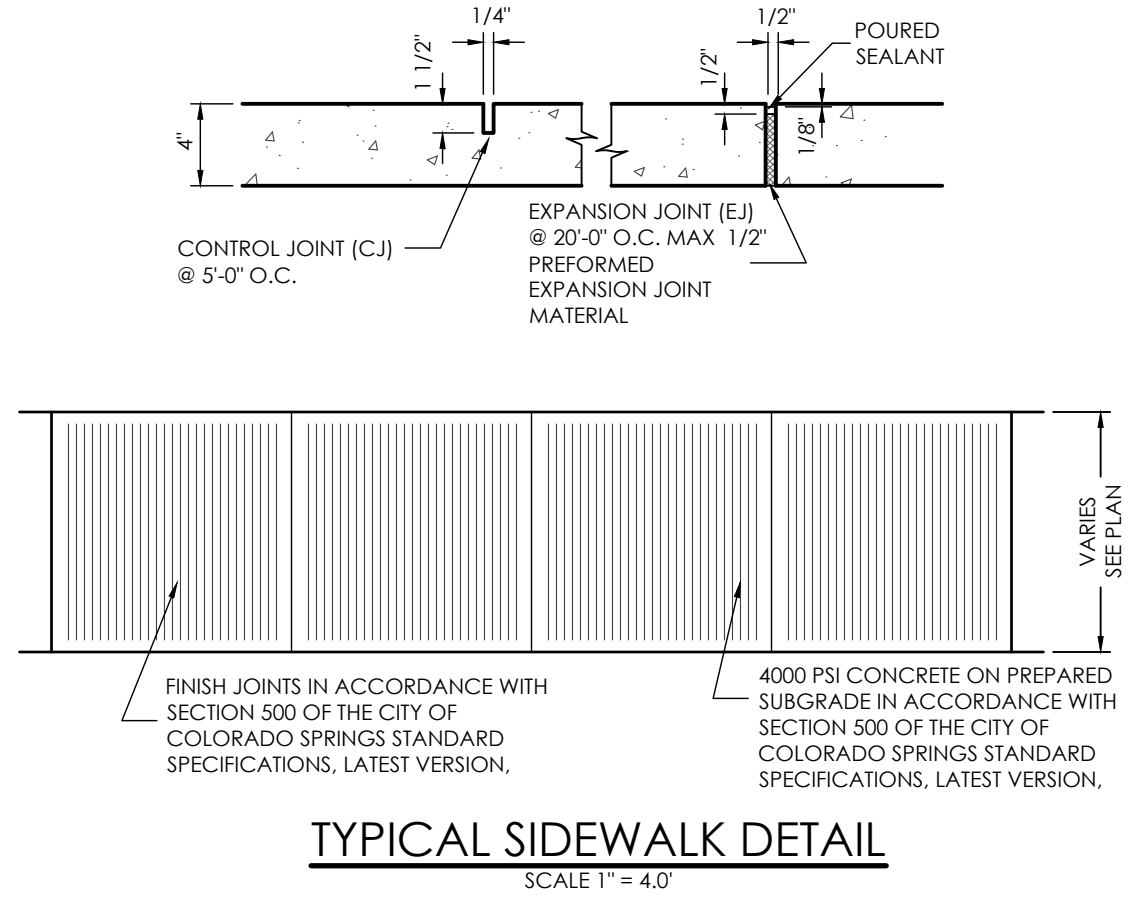
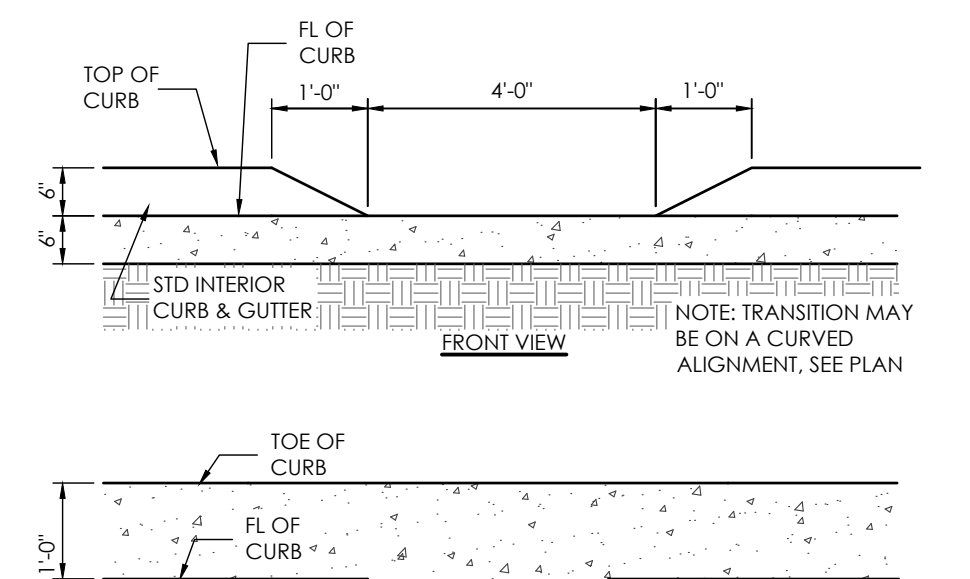
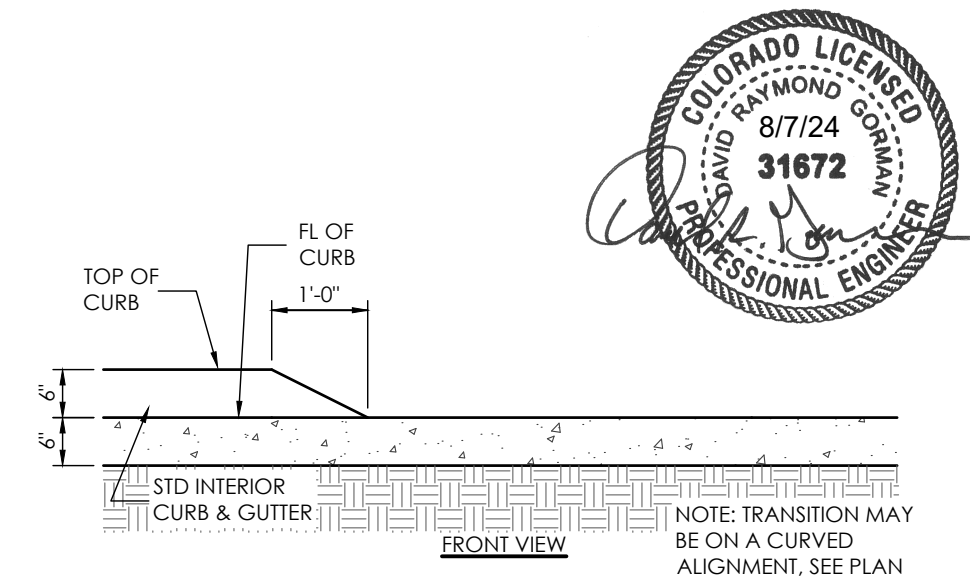
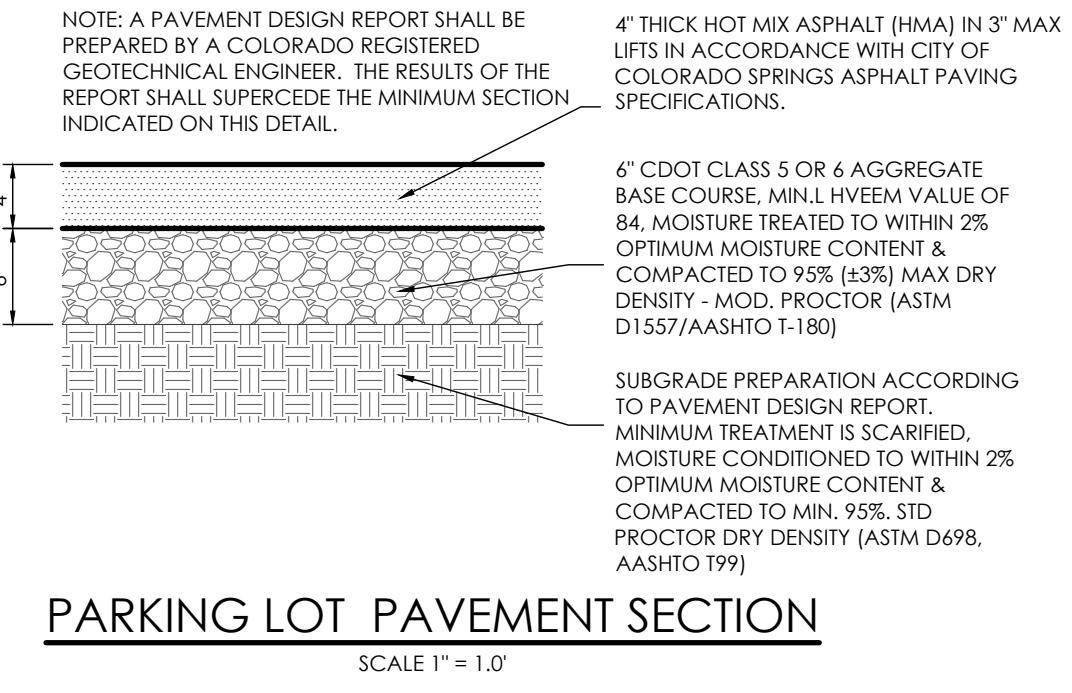
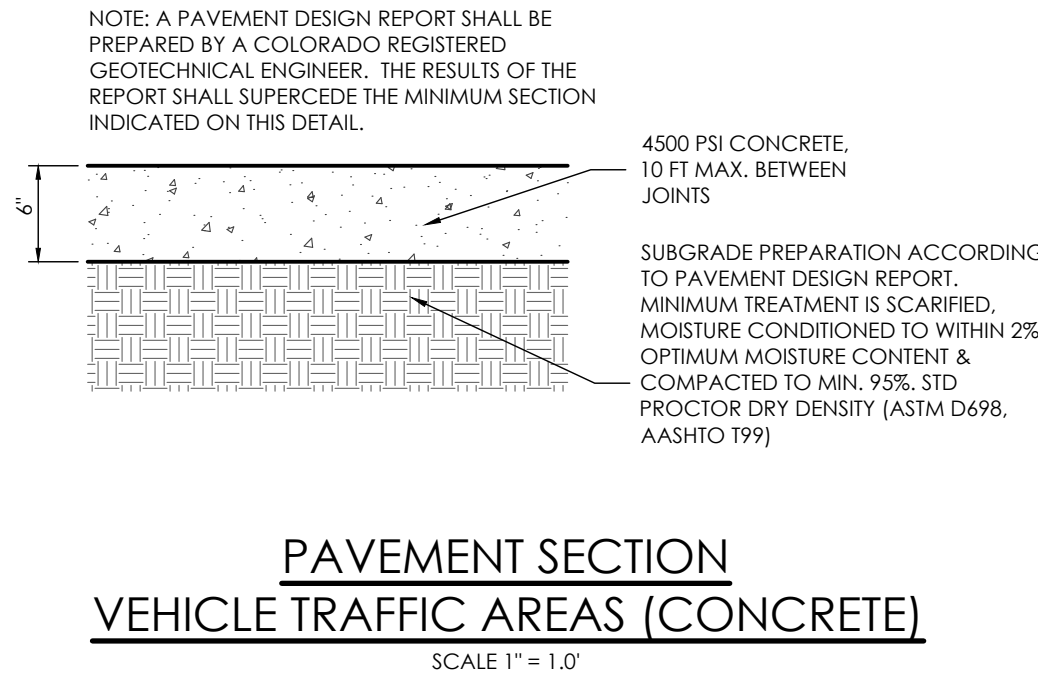
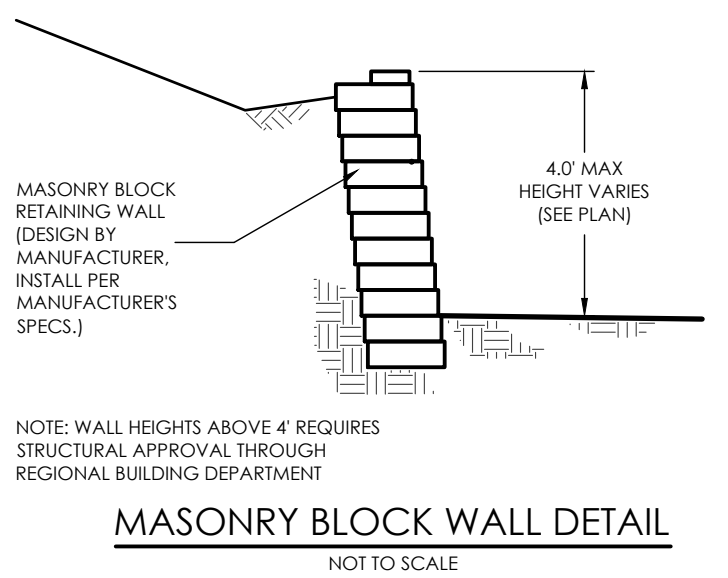
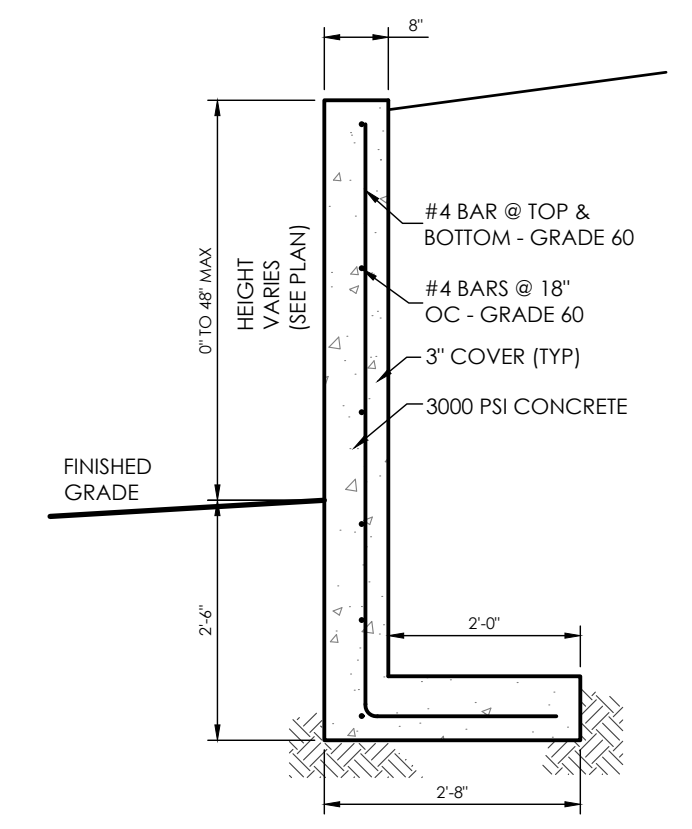
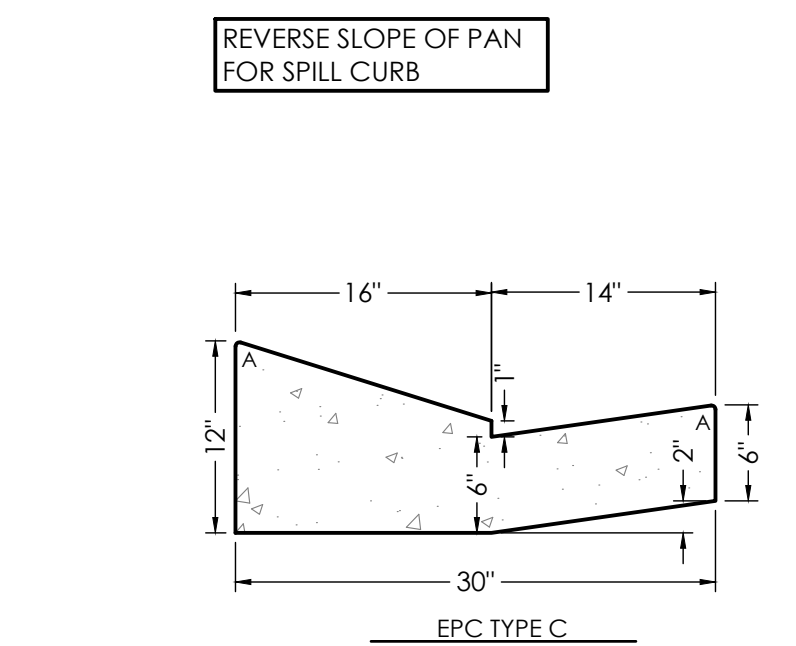
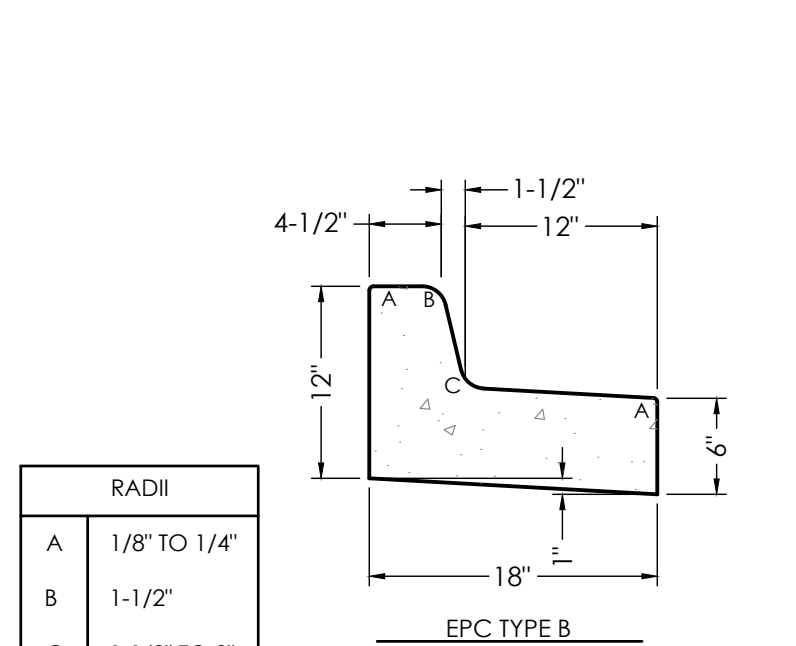
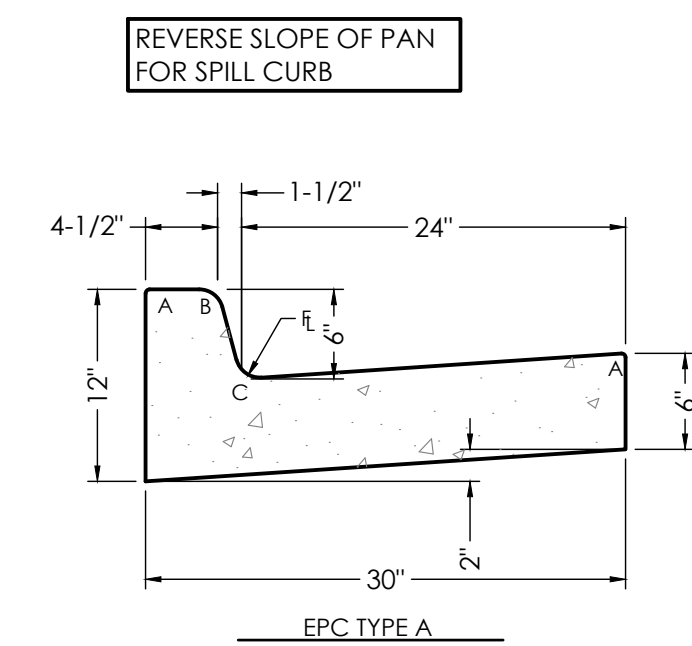
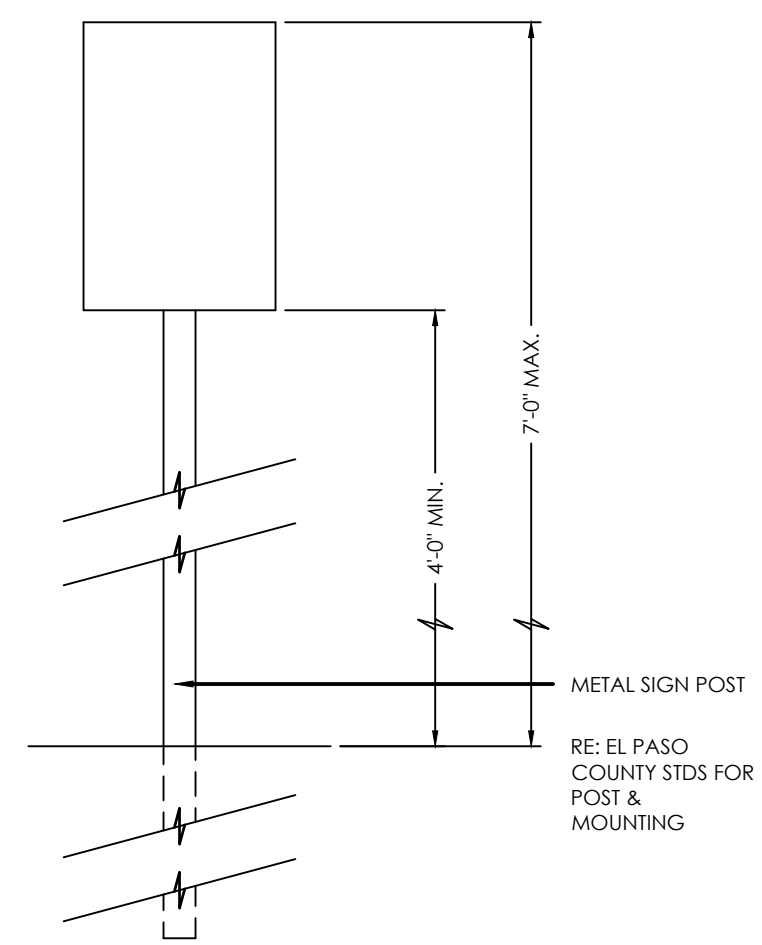
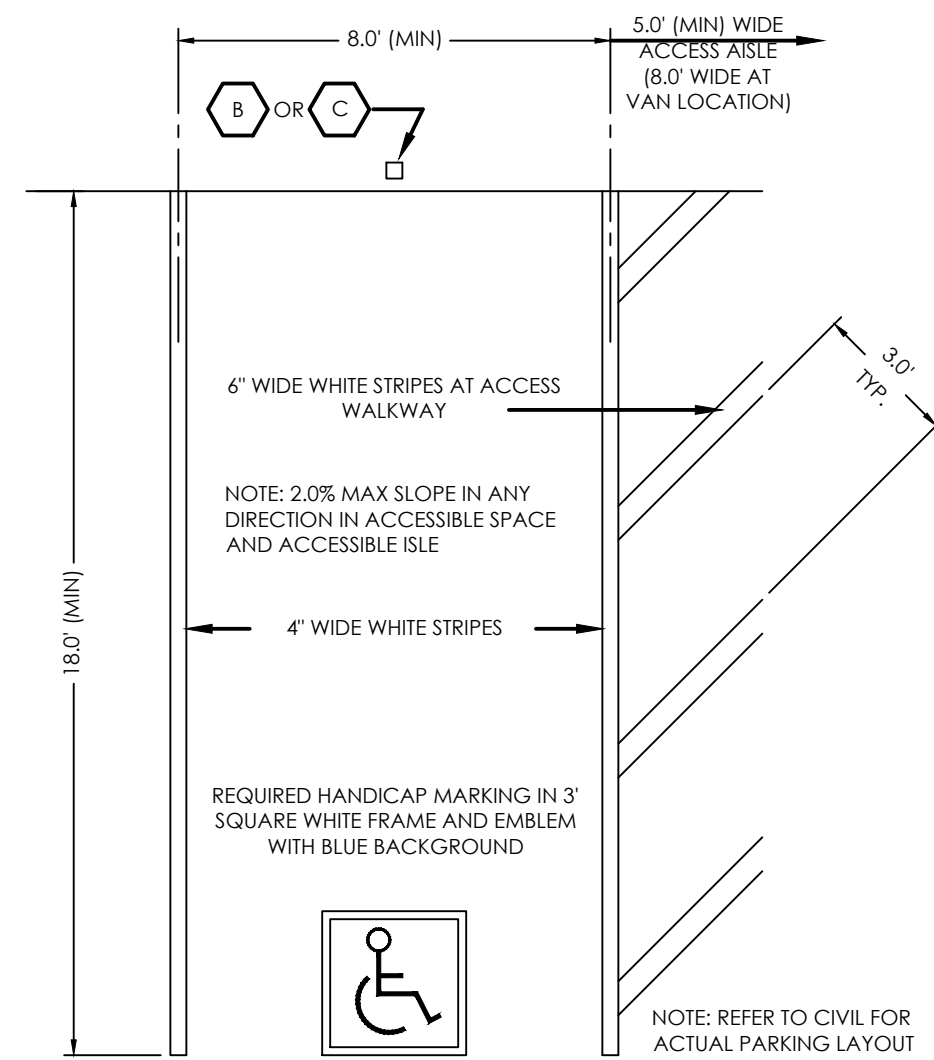
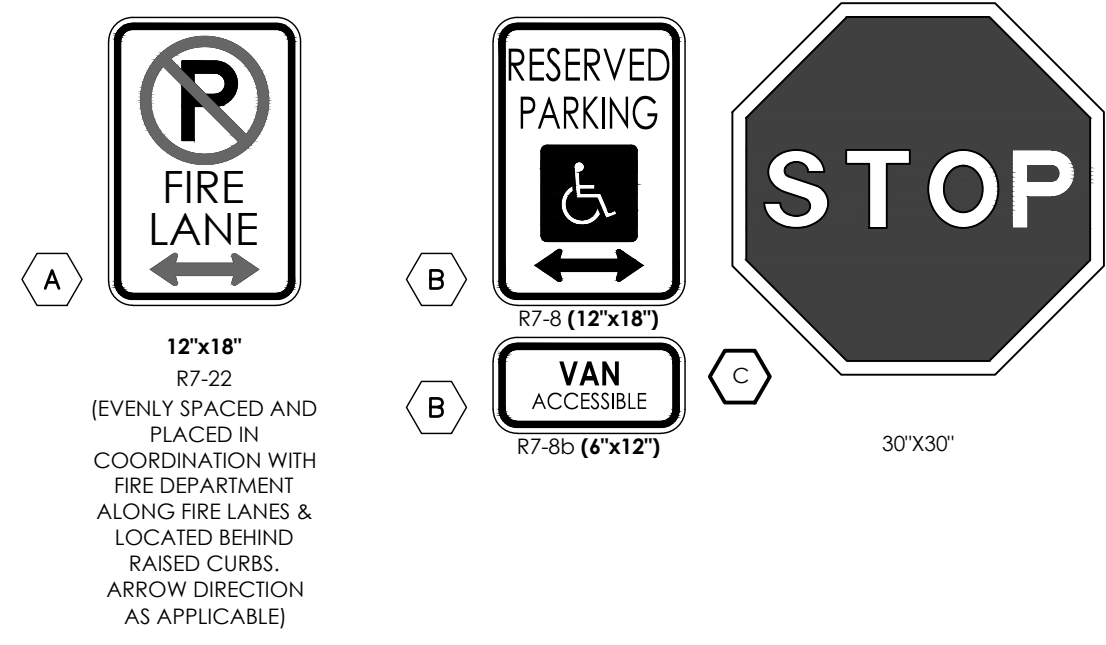
TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILING NO - 2C

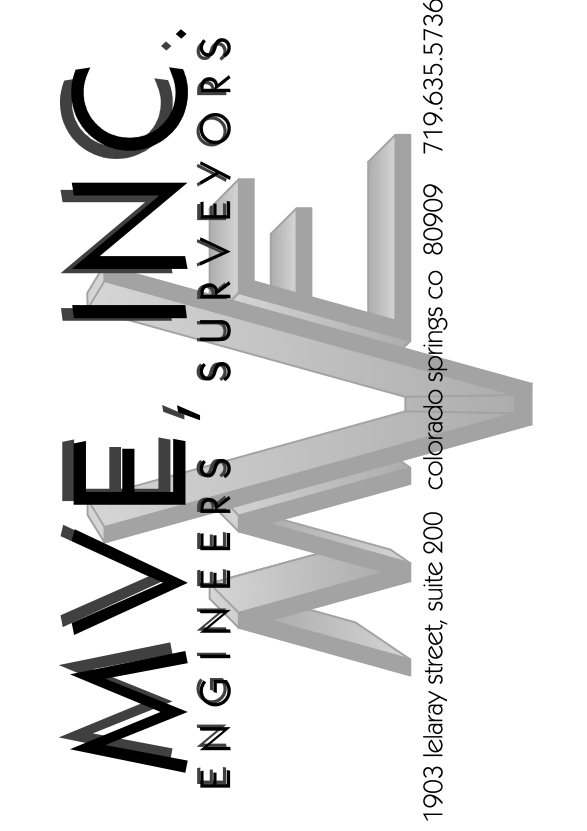
CONSTRUCTION PLANS COVER SHEET

C2.1 MVE PROJECT 61203 MVE DRAWING CON-CS

JULY 11, 2024 SHEET 1 OF 8



BENCHMARK



REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

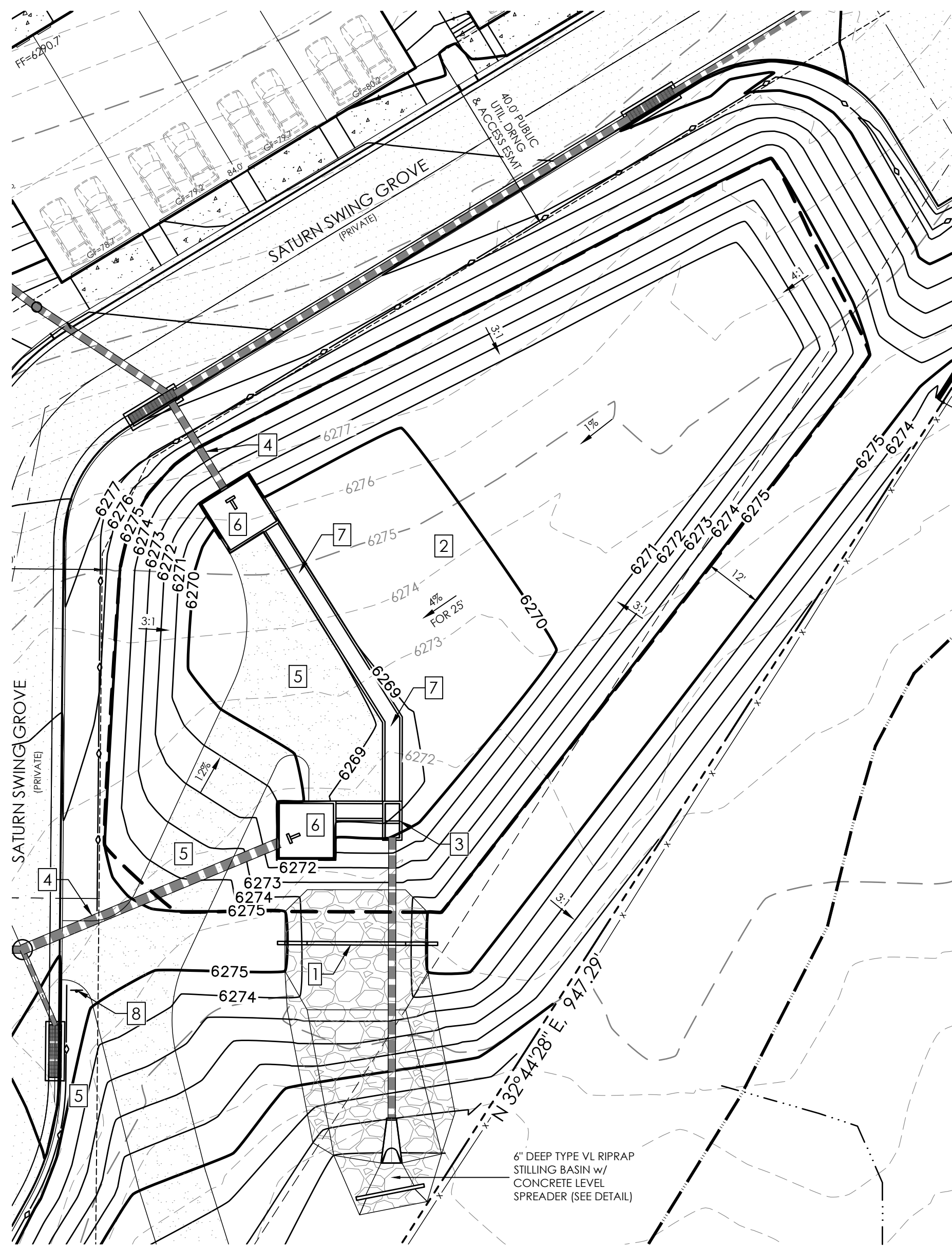
TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION PLANS
CIVIL DETAILS

C2.2 MVE PROJECT 61203
MVE DRAWING CON-CD

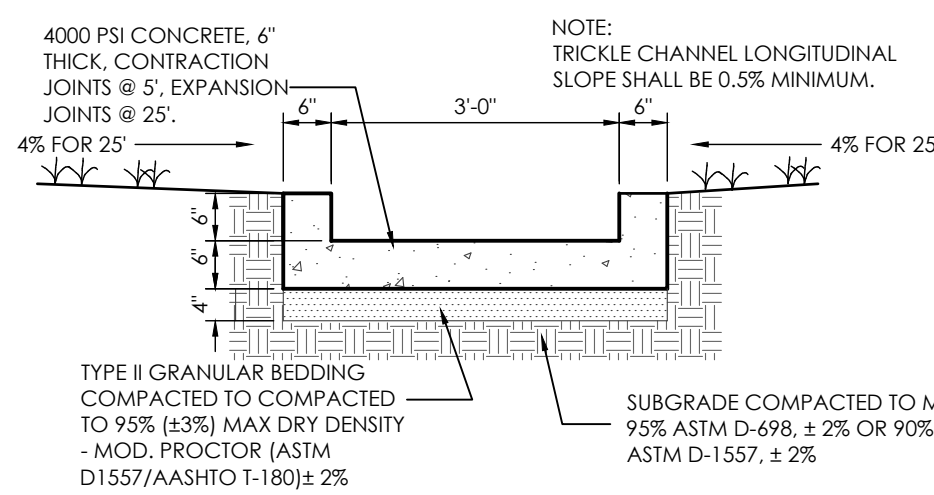
JULY 11, 2024
SHEET 2 OF 8



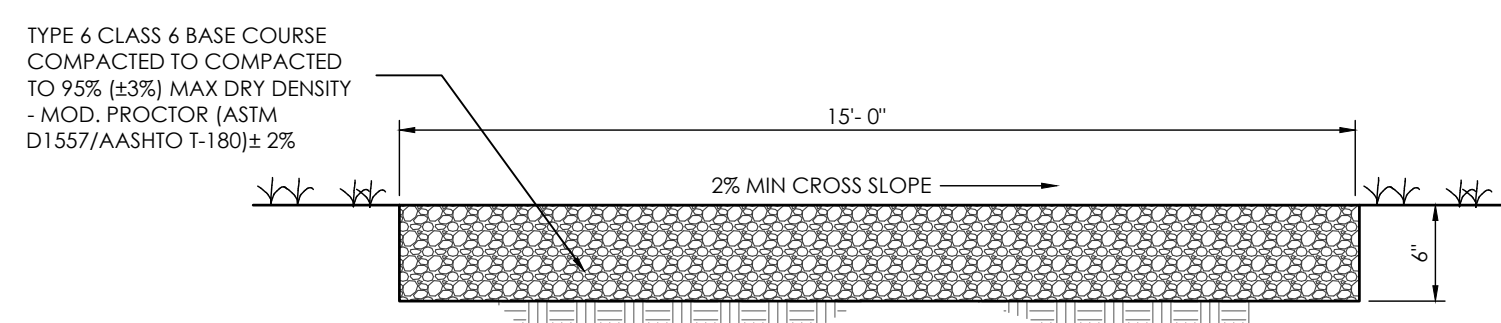
POND 1 DETAIL
SCALE 1" = 20'

NOTE LEGEND

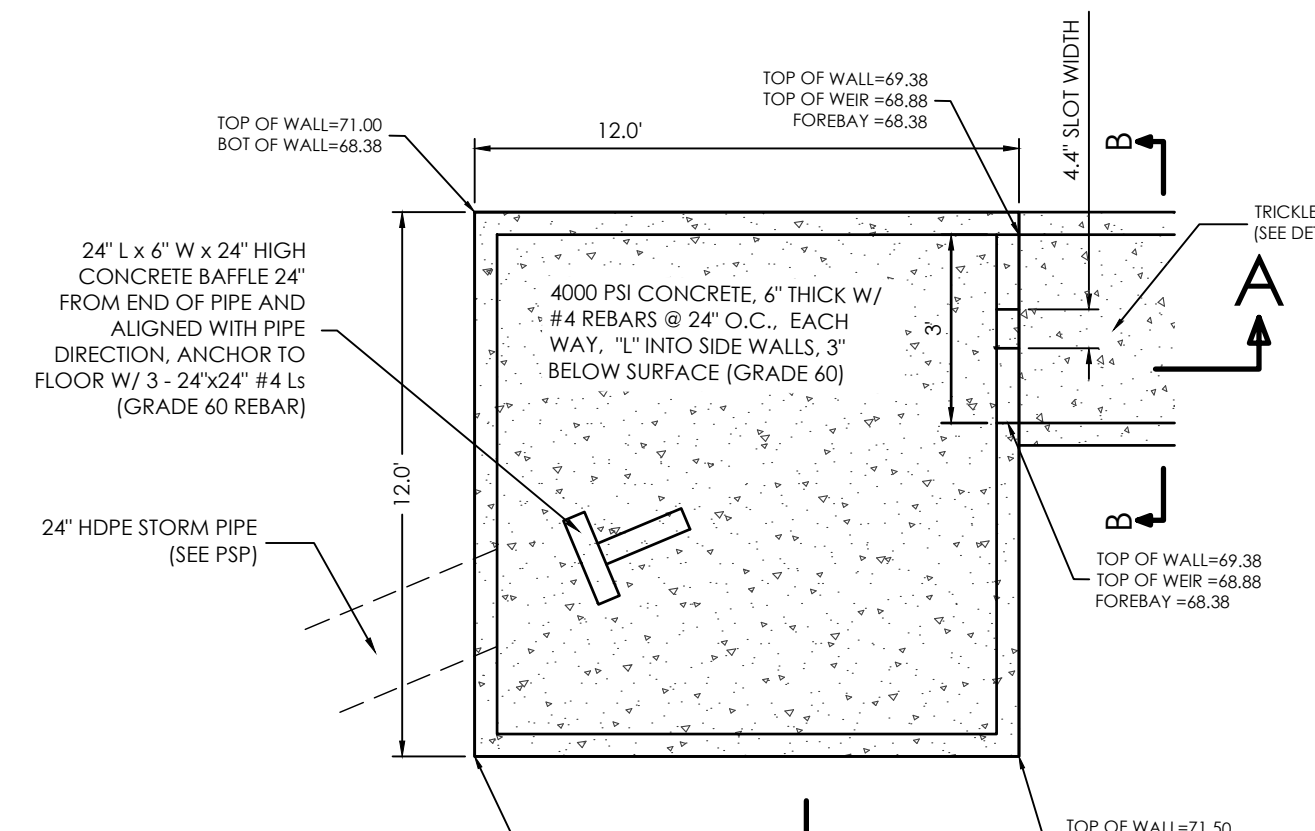
1. INSTALL CONCRETE SPILLWAY WEIR & EMERGENCY OVERFLOW RIP-RAP (SEE SPILLWAY DETAIL)
2. INSTALL FULL SPECTRUM EXTENDED DETENTION BASIN
3. INSTALL OUTLET STRUCTURE (SEE OUTLET DETAIL)
4. INSTALL HDPE STORM PIPE (SEE STORM PLAN)
5. INSTALL 15' WIDE GRAVEL ACCESS DRIVE
6. INSTALL CONCRETE FOREBAY (SEE CONCRETE FOREBAY A-1-1 DETAIL)
7. INSTALL 3.0' BTM CONCRETE TRICKLE CHANNEL (SEE DETAIL)
8. PET WASTE STATION w/ "CLEAN UP WASTE" SIGNAGE



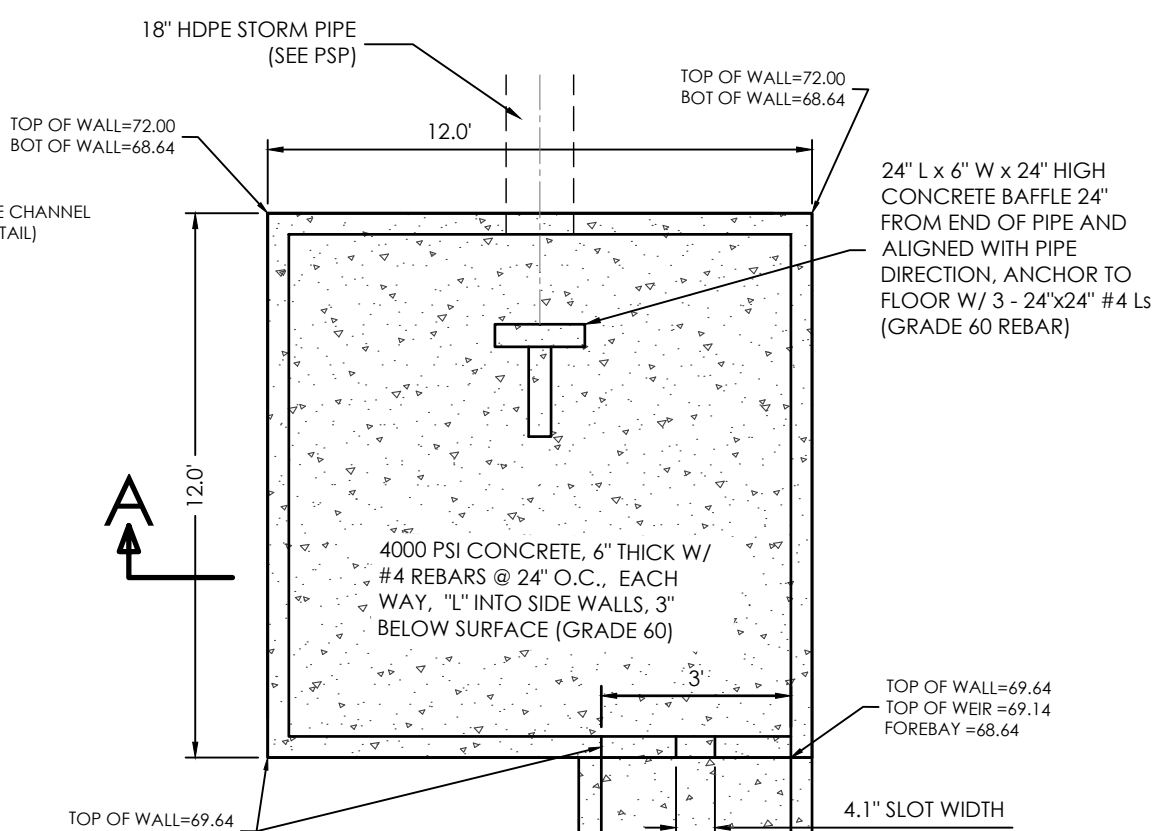
CONCRETE TRICKLE CHANNEL DETAIL
SCALE: 1" = 2'



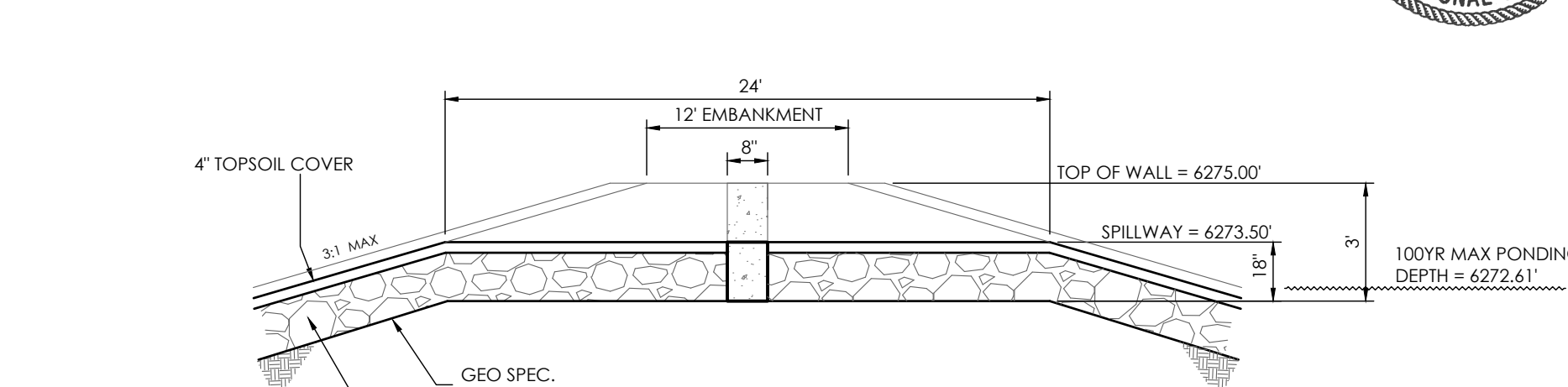
POND GRAVEL ACCESS
SCALE: NOT TO SCALE



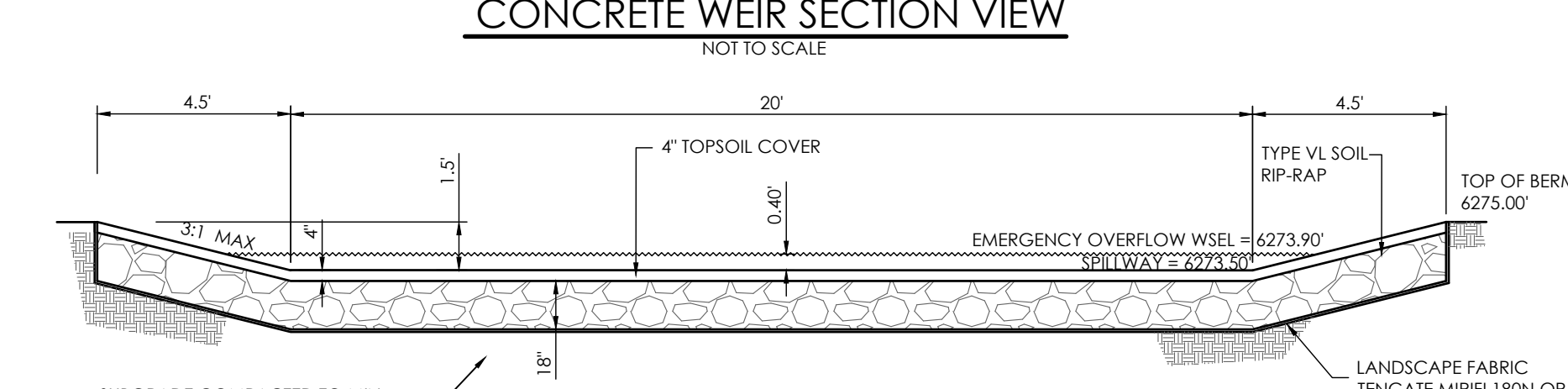
SOUTH FOREBAY DETAIL
NOT TO SCALE



NORTH FOREBAY DETAIL
NOT TO SCALE

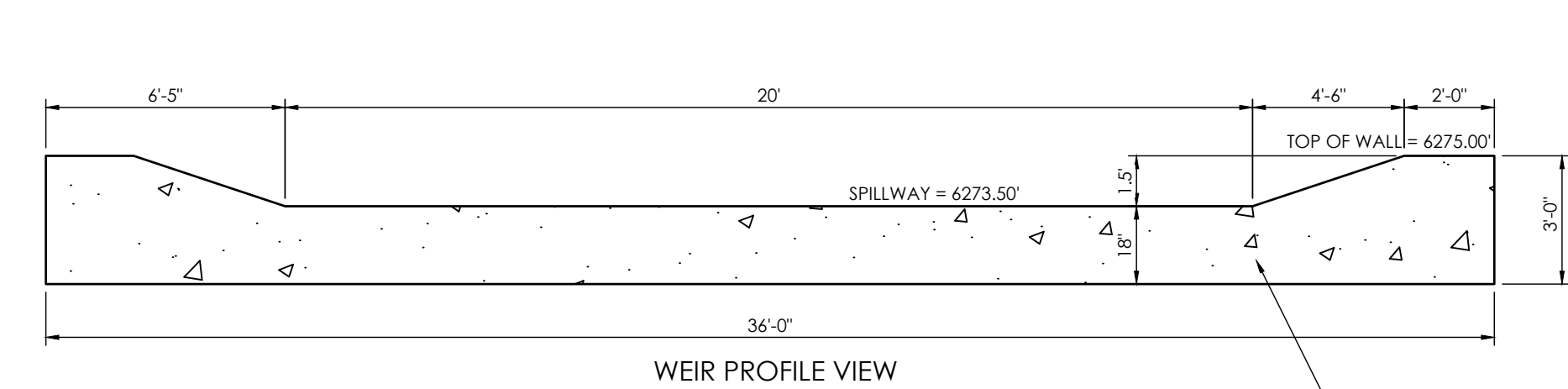


CONCRETE WEIR SECTION VIEW
NOT TO SCALE



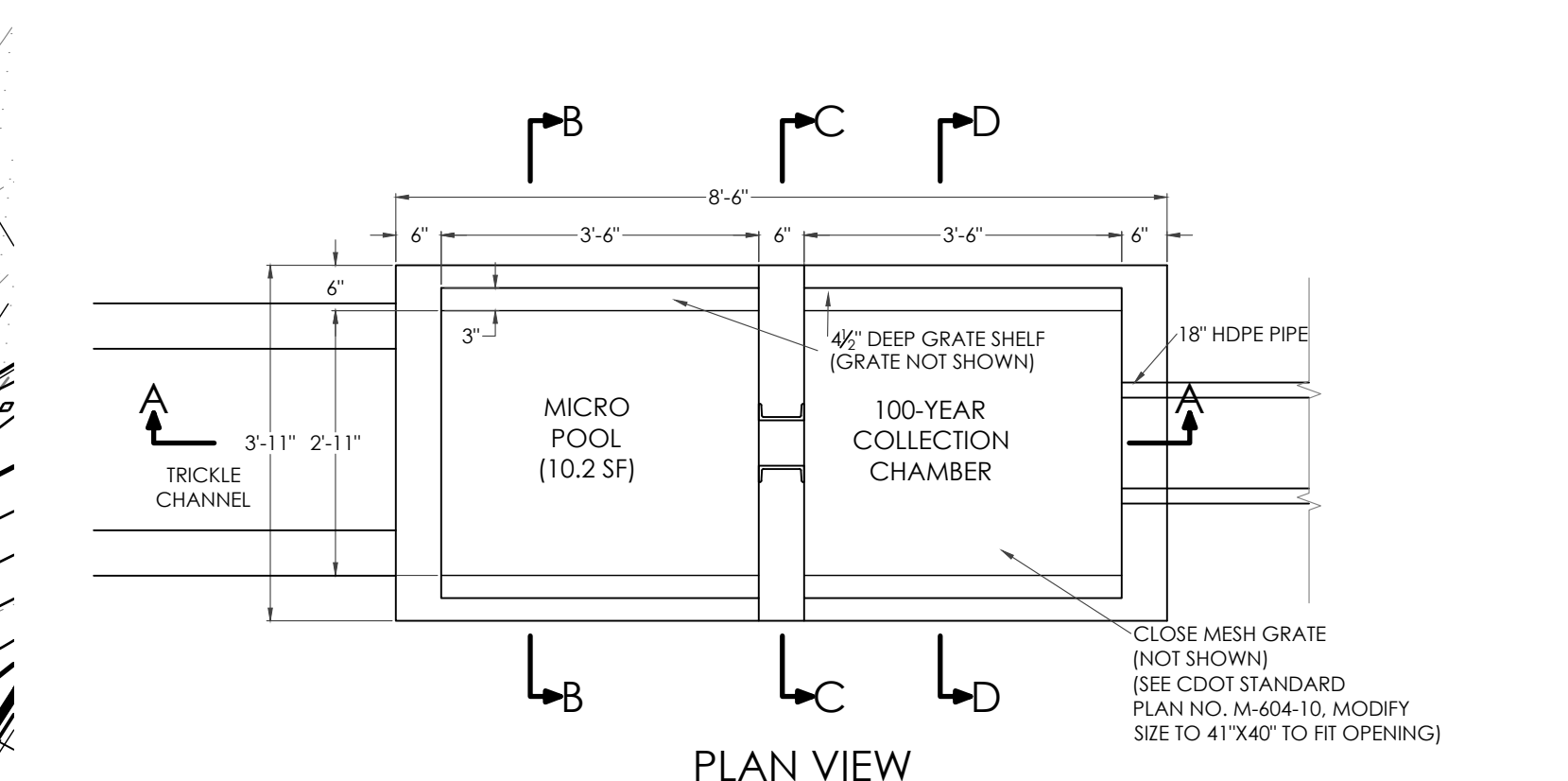
RIP RAP SECTION VIEW

EMERGENCY SPILLWAY SECTION
NOT TO SCALE

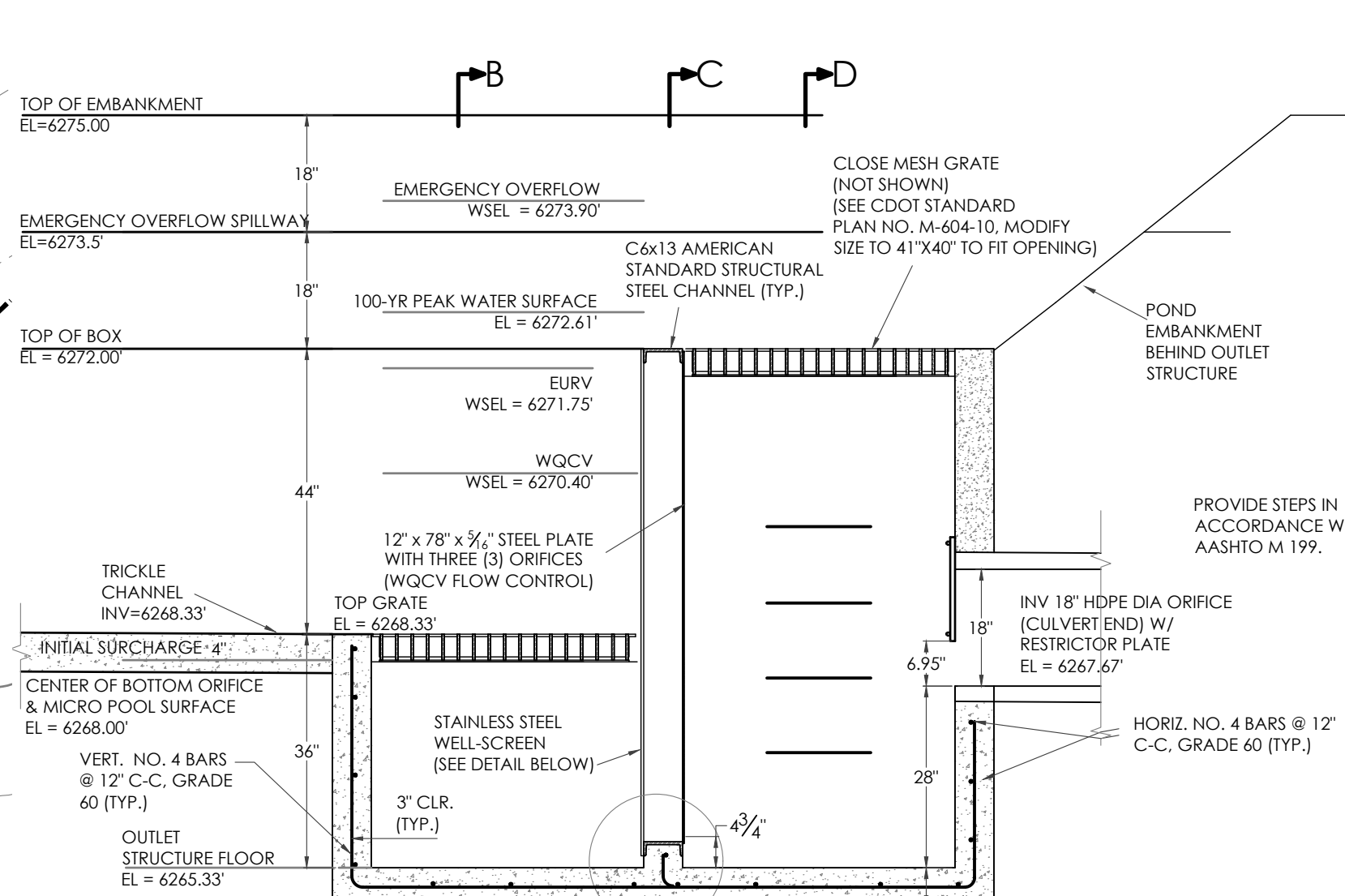


WEIR PROFILE VIEW

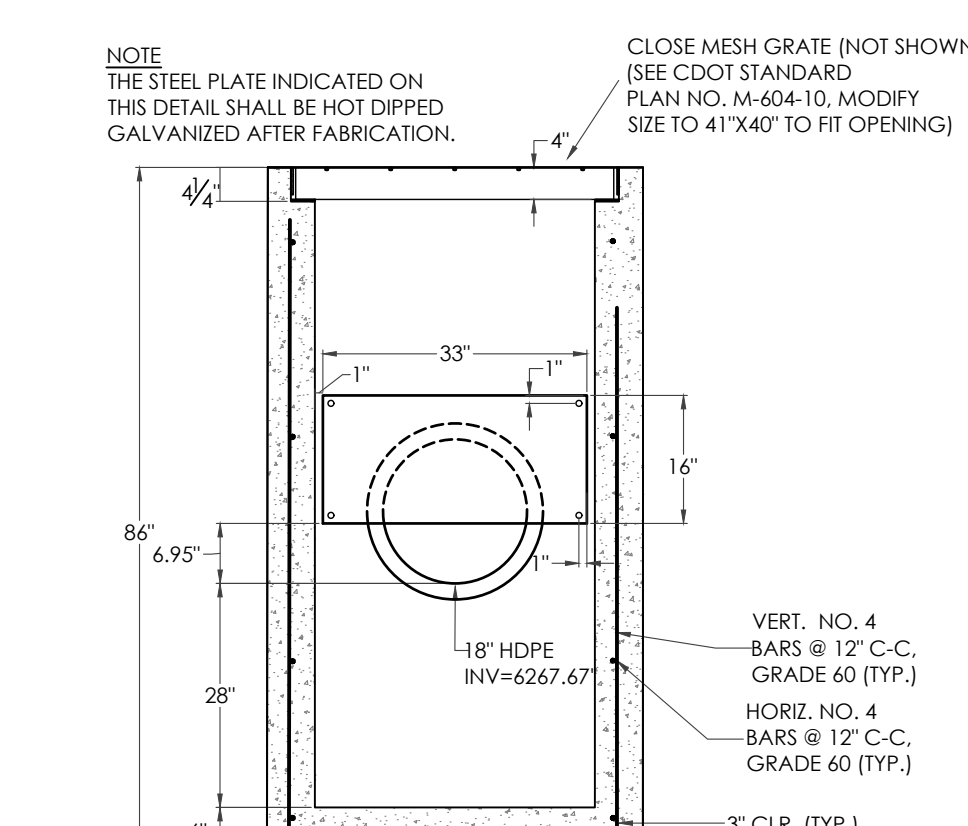
CONCRETE SPILLWAY WEIR SECTION
NOT TO SCALE



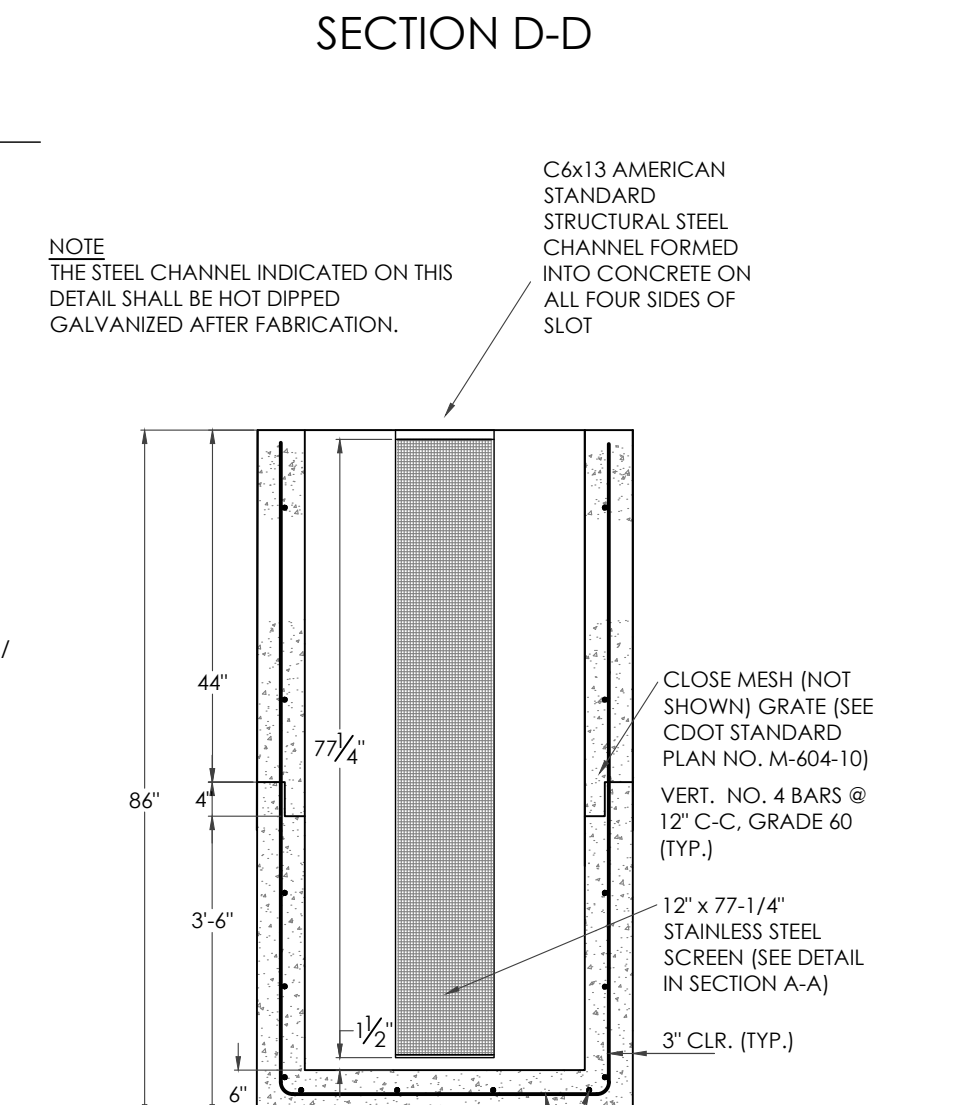
PLAN VIEW



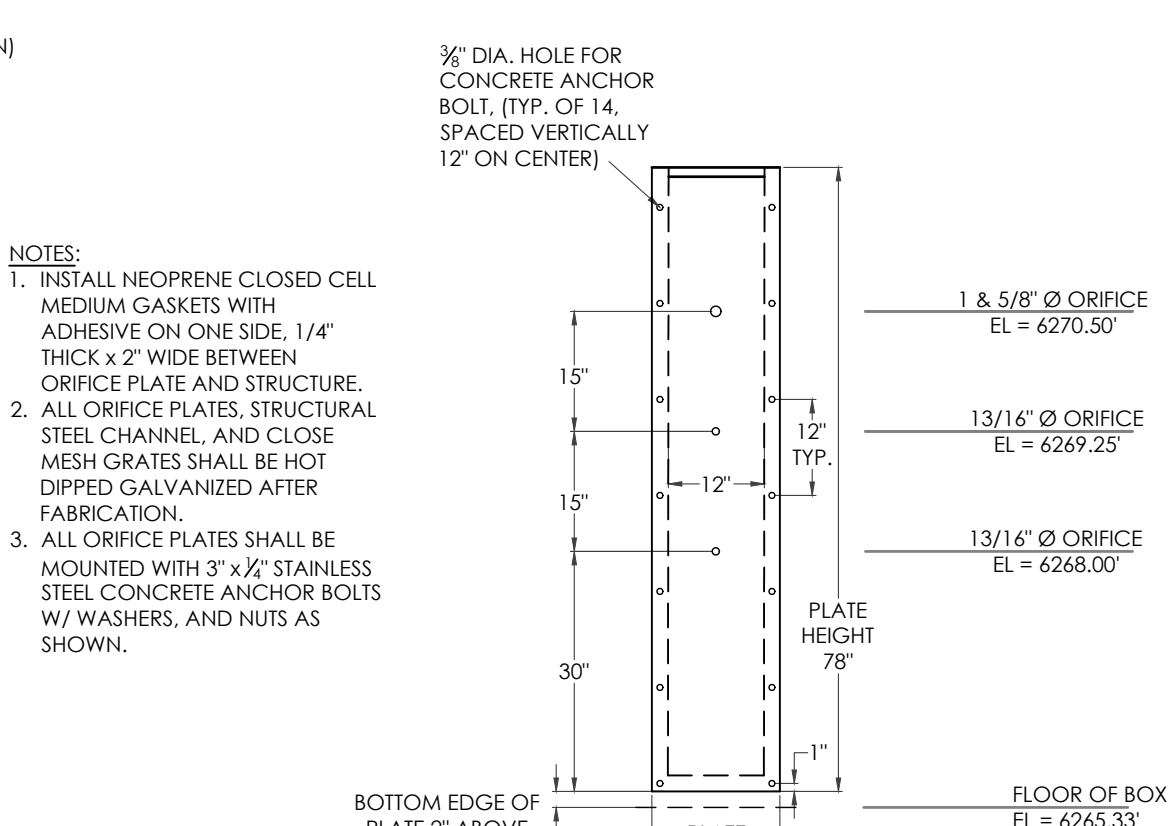
SECTION A-A



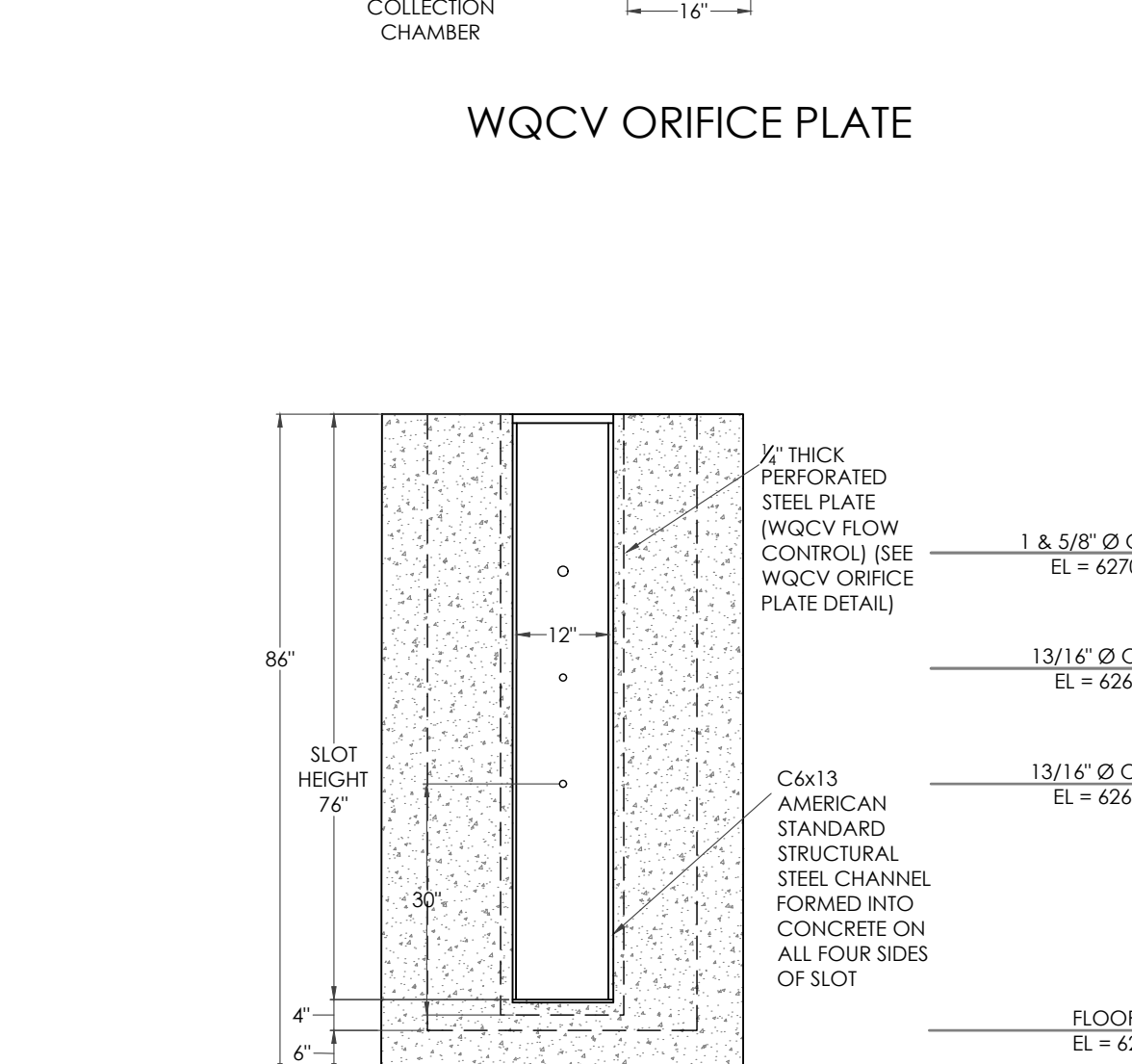
SECTION D-D



SECTION B-B

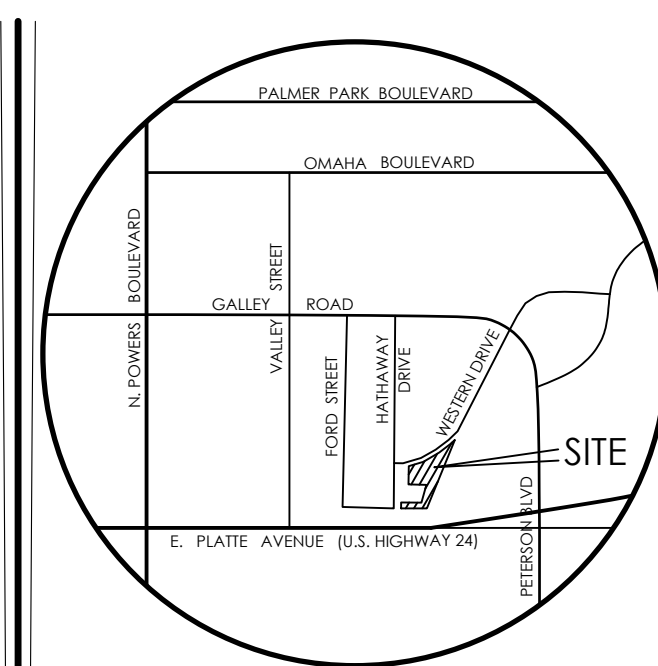


WQCV ORIFICE PLATE



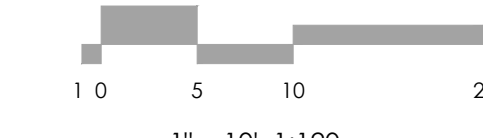
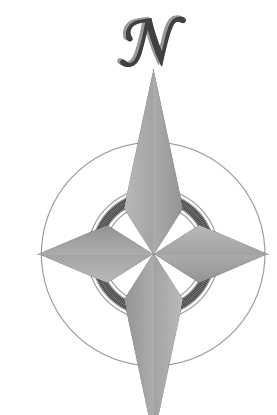
SECTION C-C

FULL SPECTRUM EXTENDED DETENTION BASIN OUTLET STRUCTURE DETAILS
SCALE: 1" = 2'



VICINITY MAP
NOT TO SCALE

BENCHMARK
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



1" = 10' 1:120



REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TOWNHOMES AT WESTERN

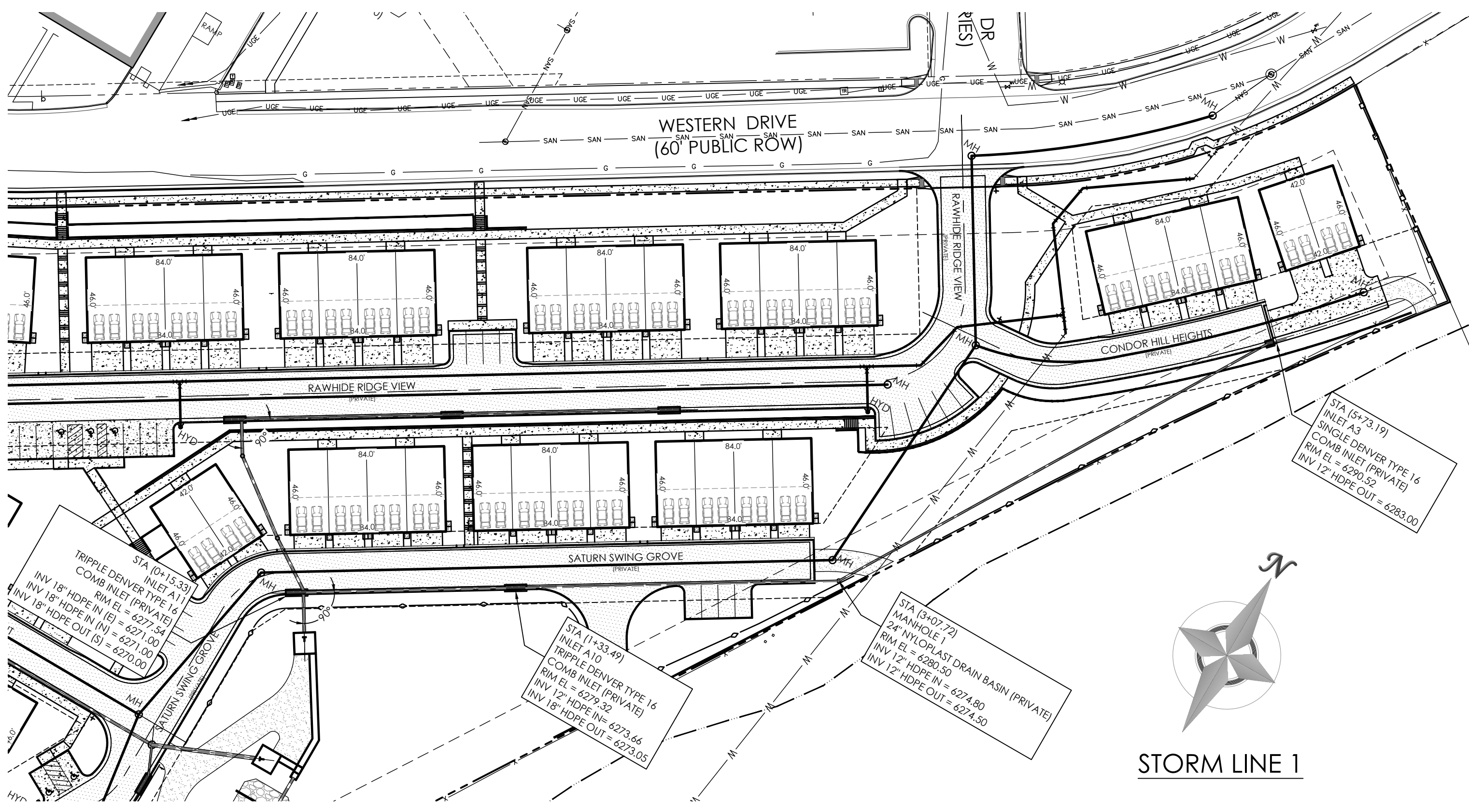
LOT 1, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION PLANS
FS-EDB DETAILS

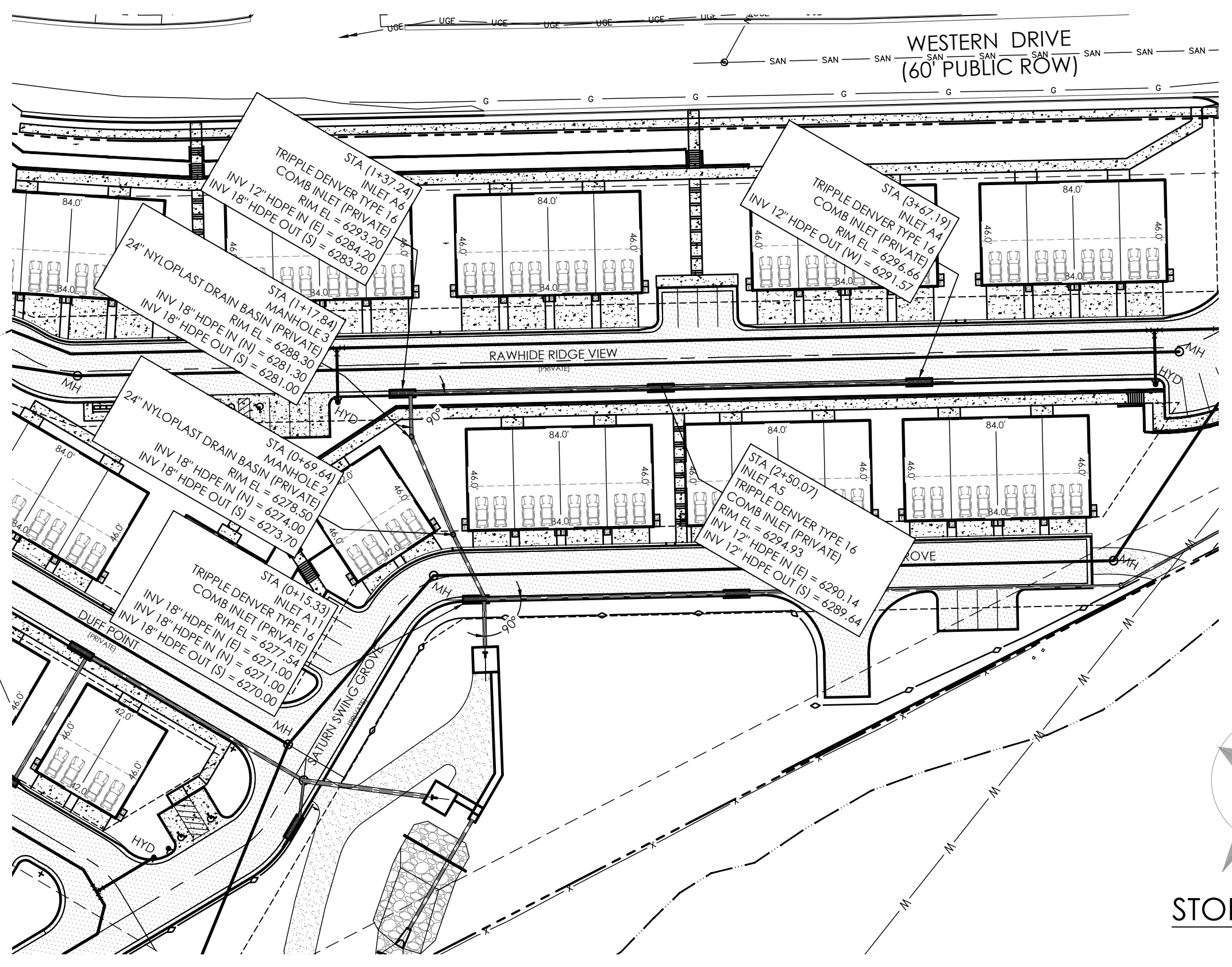
C2.3 MVE PROJECT 61203
MVE DRAWING CON-PP

JULY 11, 2024
SHEET 3 OF 8

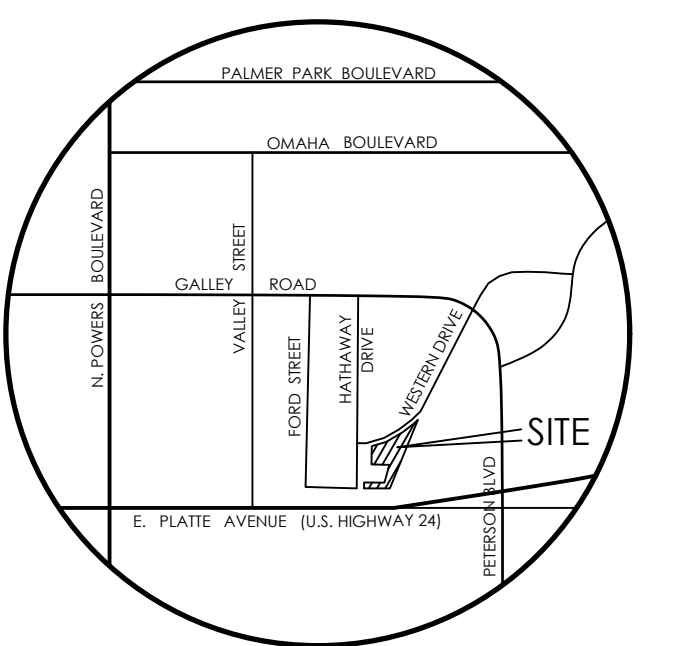
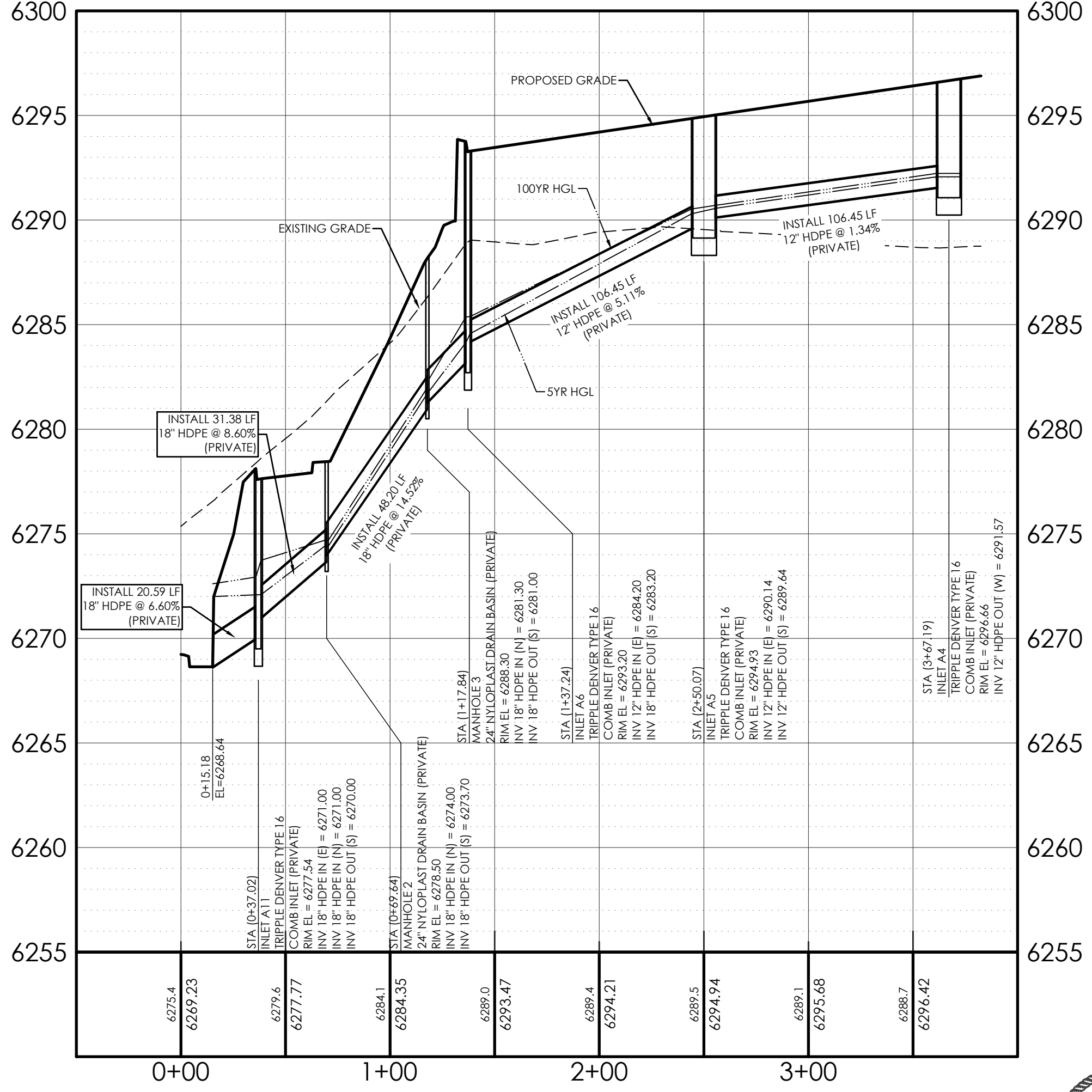
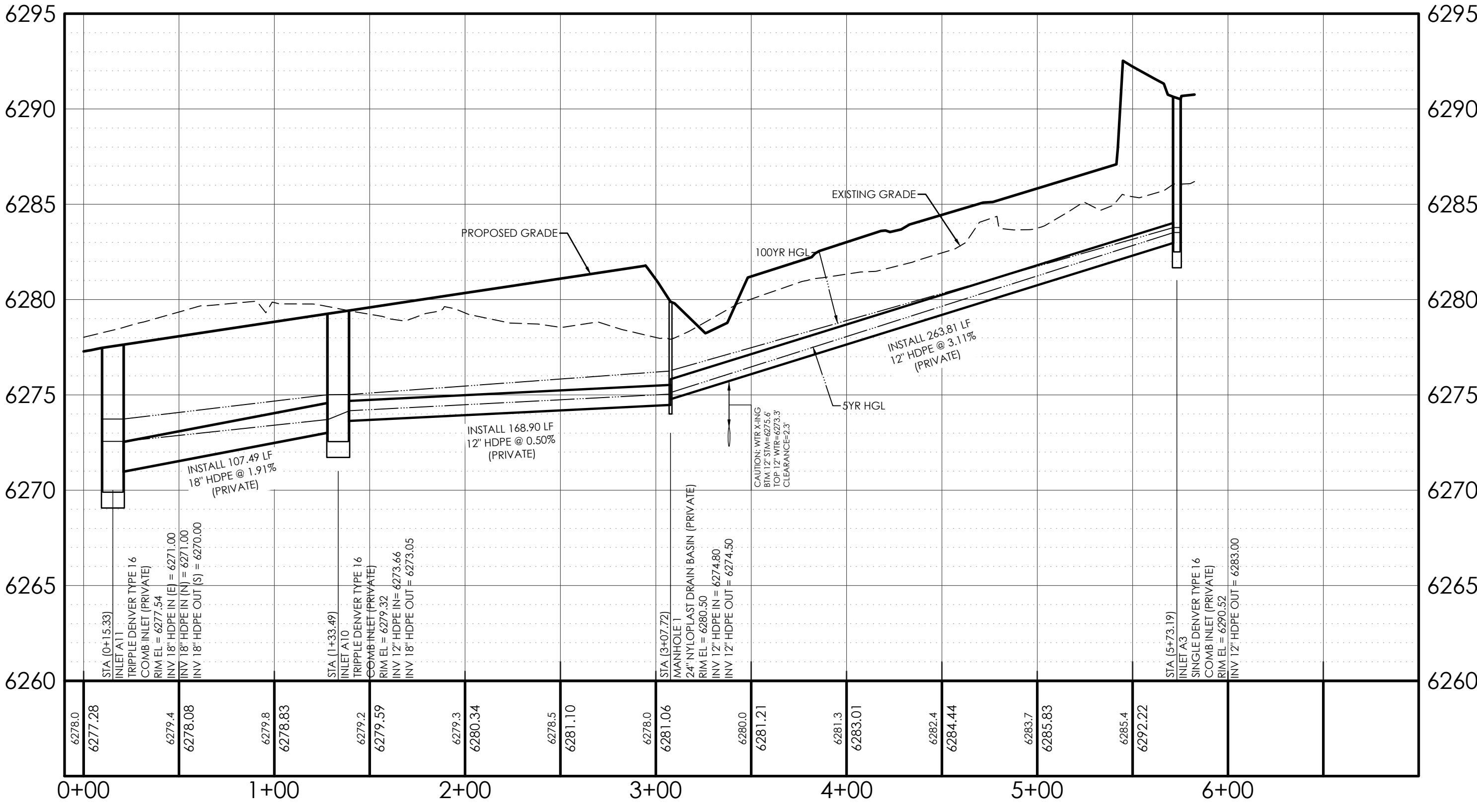
PCD FILE # PPR-24-15
EPC 8/19/2024



STORM LINE 1

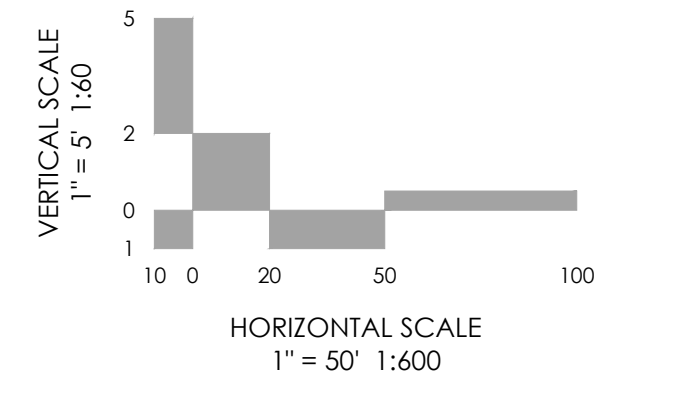


STORM LINE 2



VICINITY MAP
NOT TO SCALE

BENCHMARK
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MVE, INC.
ENGINEERS & SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

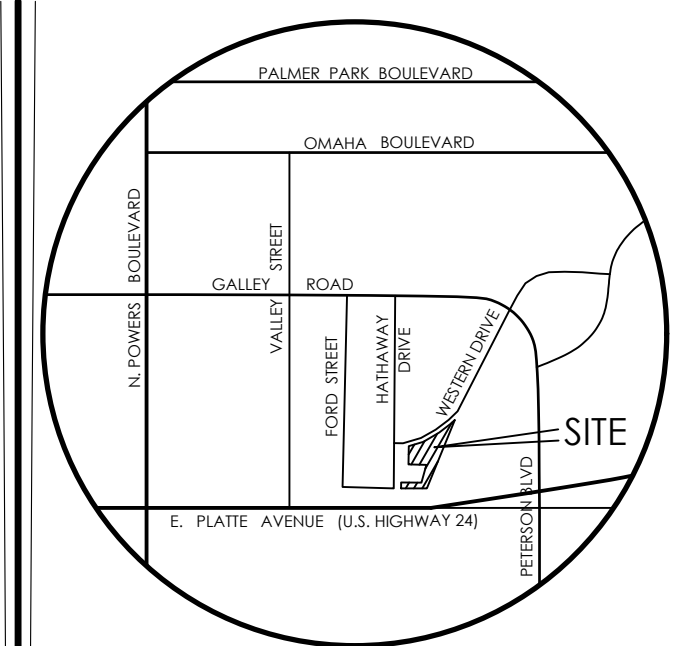
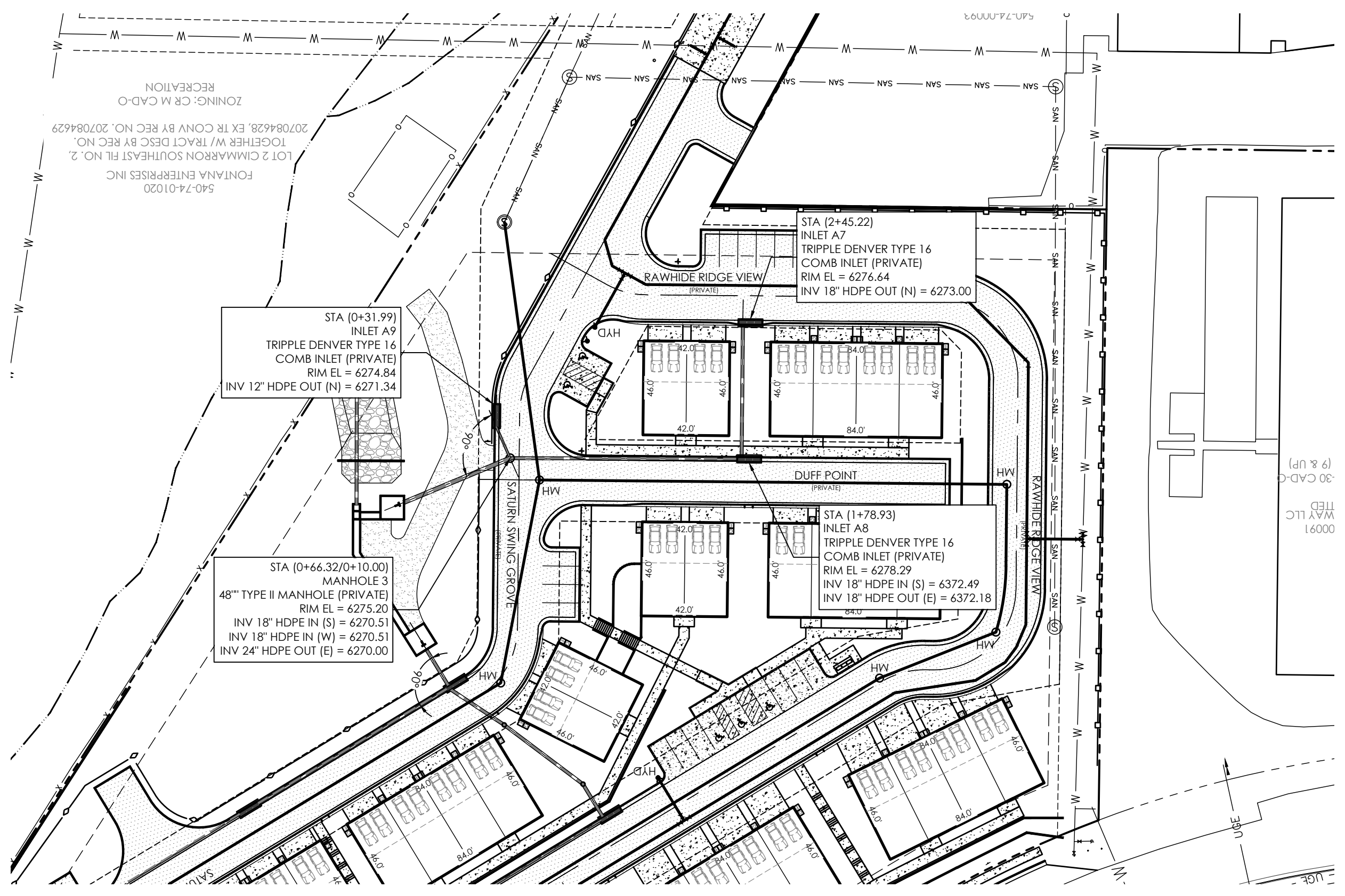
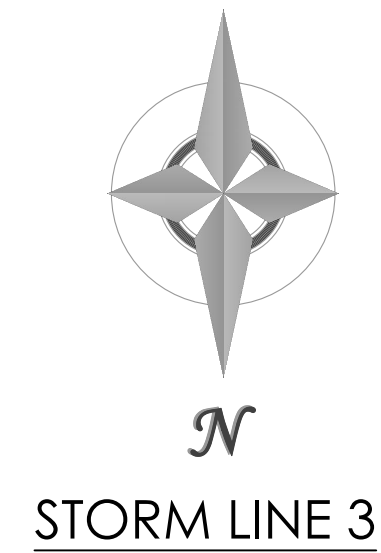
TOWNHOMES AT WESTERN
LOT 1, CIMARRON SOUTHEAST
FILING NO - 2C



CONSTRUCTION
PLANS
PRIVATE STORM

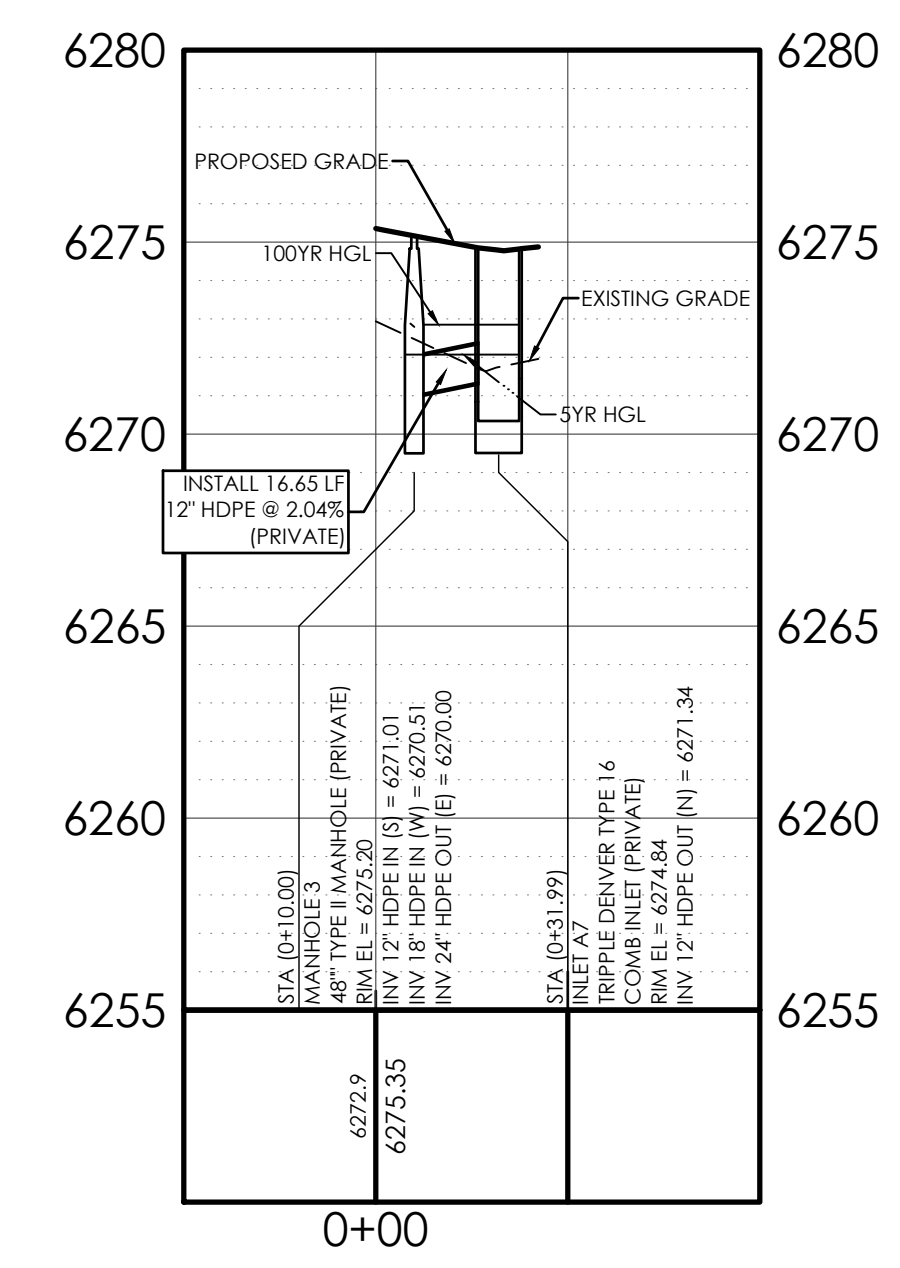
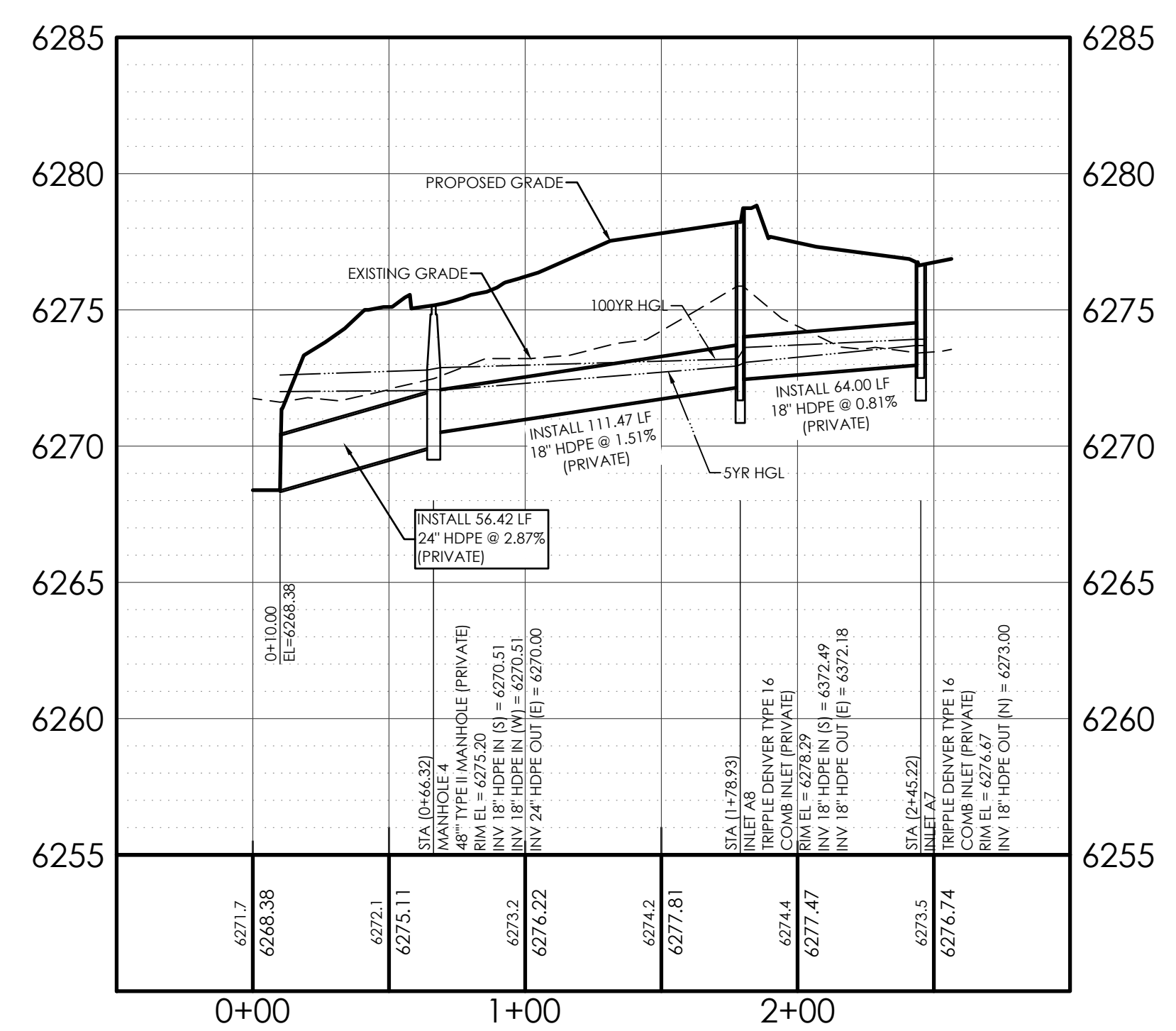
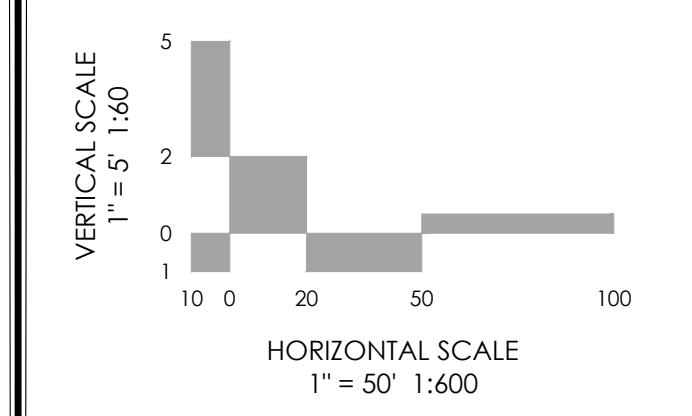
C2.4 MVE PROJECT 61203
MVE DRAWING CON-PS

JULY 11, 2024
SHEET 4 OF 8



VICINITY MAP
NOT TO SCALE

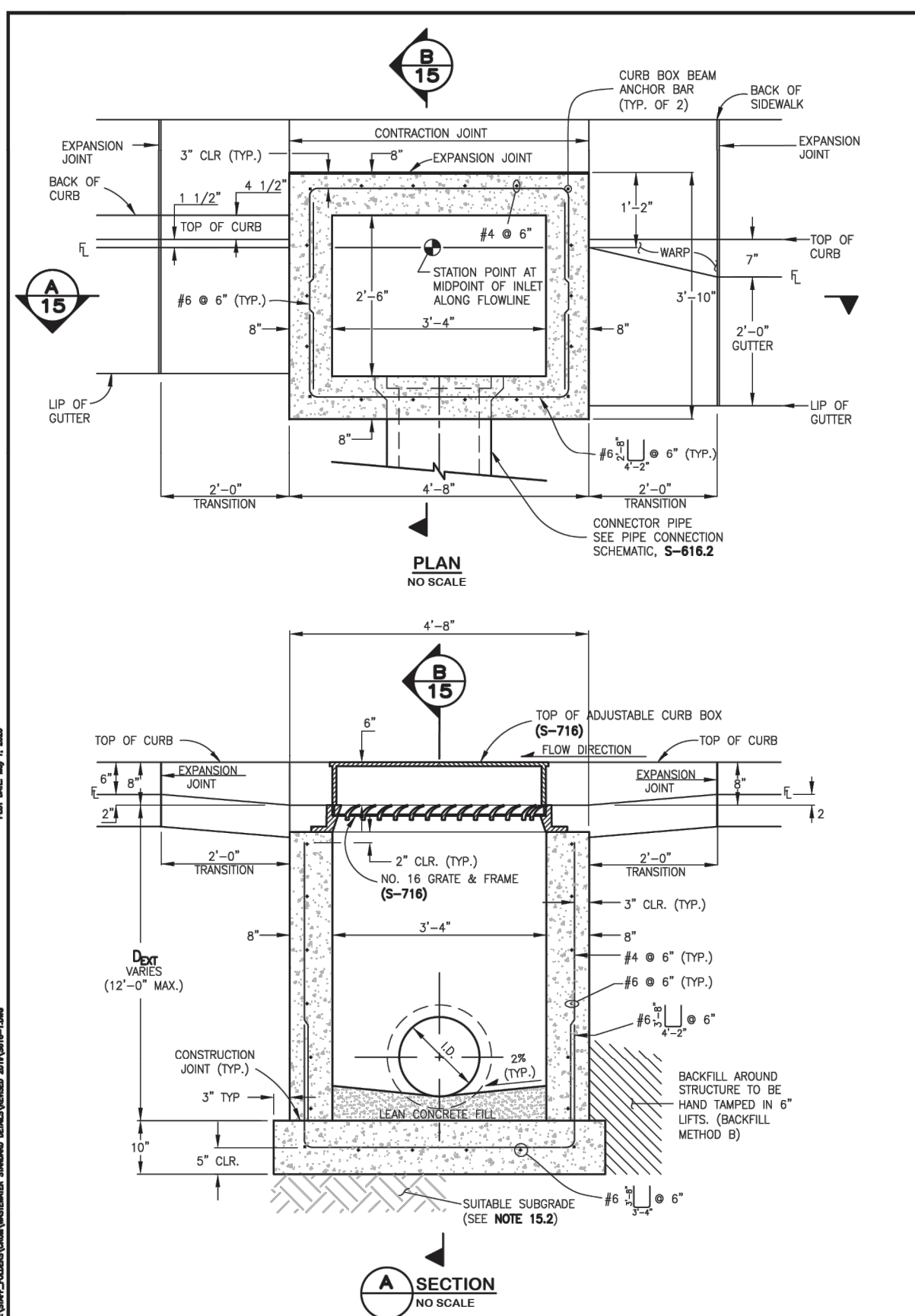
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MVE, INC.
 ENGINEERS / SURVEYORS
 1903 Leary Street, Suite 200 Colorado Springs CO 80909 719.635.5736

DESIGNED BY _____
 DRAWN BY _____
 CHECKED BY _____
 AS-BUILTS BY _____
 CHECKED BY _____
 TOWNHOMES AT WESTERN
 LOT 1, CIMARRON SOUTHEAST FILING NO - 2C

CONSTRUCTION PLANS
 PRIVATE STORM
C2.5 MVE PROJECT 61203
 MVE DRAWING CON-PS2
 JULY 11, 2024
SHEET 5 OF 8



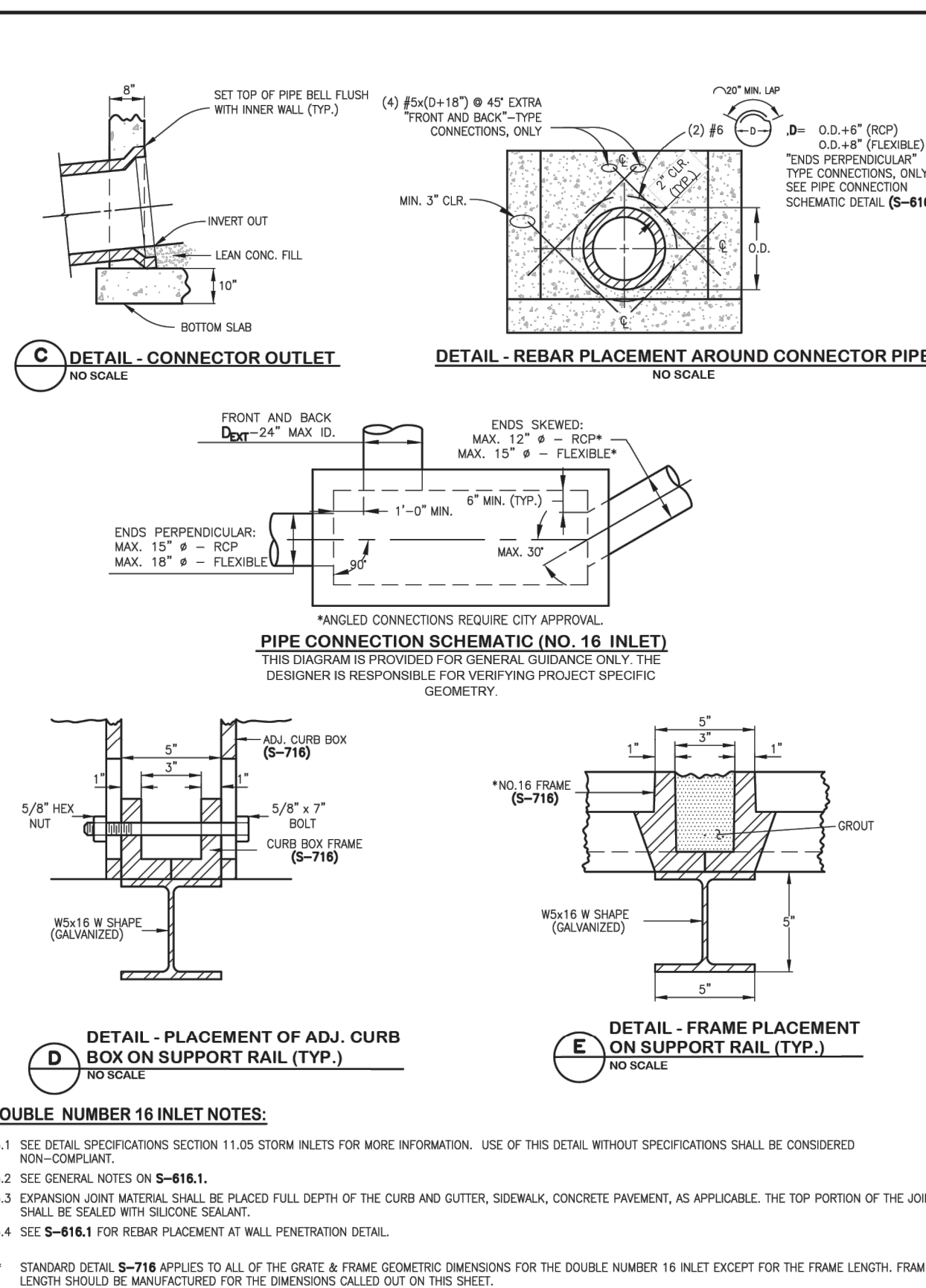
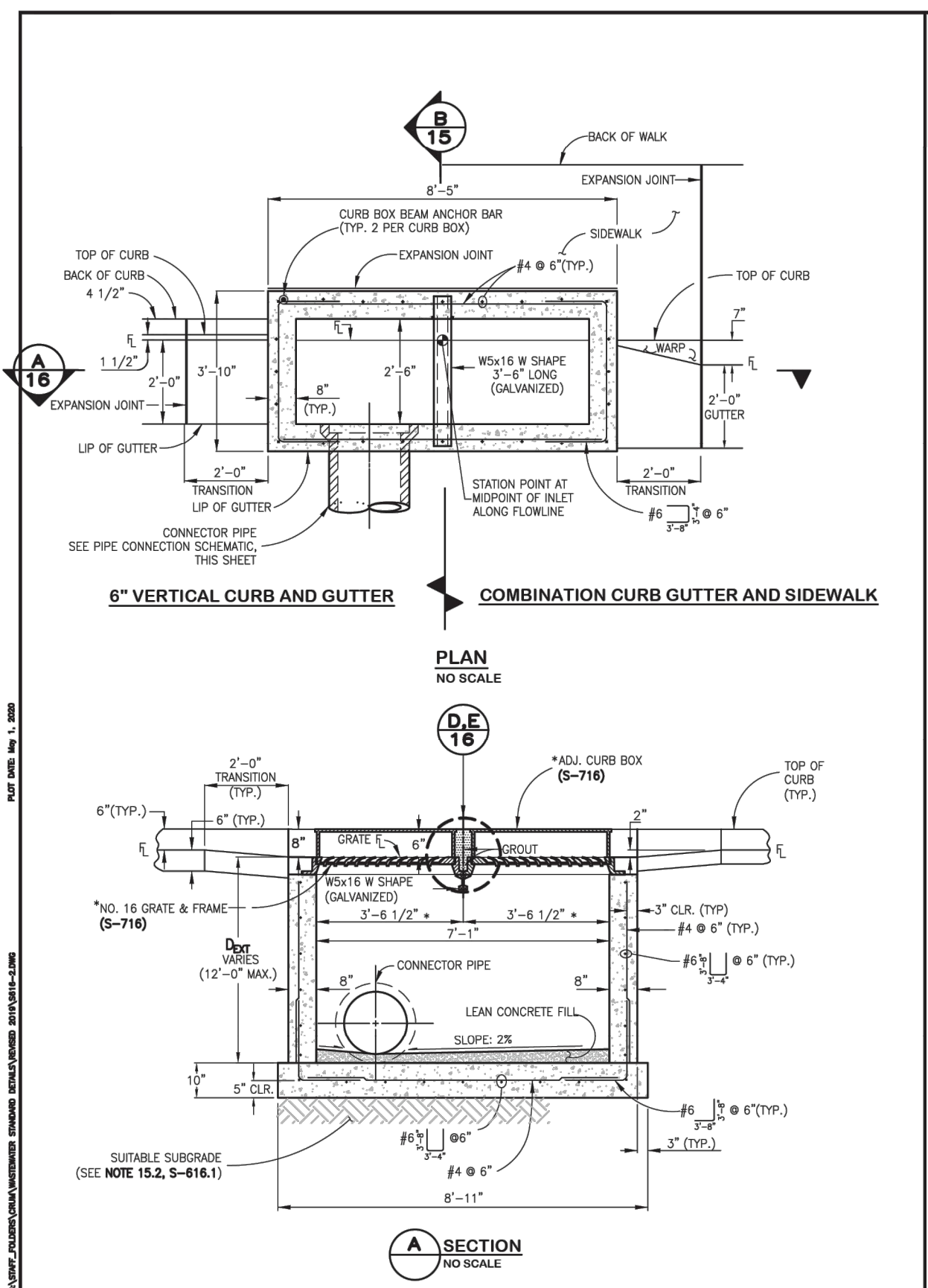
SINGLE NUMBER 16 INLET NOTES:

- FOR AMBIENT PURPOSES, INLET STRUCTURES SHALL ALSO INCLUDE 2'-0" CURB & GUTTER TRANSITION SECTION AT EACH END OF INLET PLUS SIDEWALK SECTIONS WHERE REQUIRED BEHIND INLET STRUCTURE AND TRANSITION SECTIONS.
- SUB-GRADE SHALL BE 6"-12" OF CLASS B BEDDING COMPACTED PER WCM STANDARD CONSTRUCTION SPECIFICATIONS, ON SUITABLE UNDISTURBED MATERIAL. IF SUBGRADE IS UNDESIRABLE, THE SUBGRADE SHALL BE OVERDOCKED AND STABILIZED WITH CLASS B BEDDING PER WCM STANDARD CONSTRUCTION SPECIFICATIONS.
- FLOOR SLOPE MAY BE FORMED MONOLITHIC WITH BASE.
- 5% = SLOPE OF CONNECTION = 2% MIN.
- UNLESS OTHERWISE SPECIFIED ON THE DRAWINGS OR OTHERWISE APPROVED, ALL NO. 16 INLETS SHALL BE CONSTRUCTED WITH AN ADJUSTABLE CAST IRON CURB BOX (S-716).
- DESIGN CONDITIONS FOR INLET ALLOWS DEPTHS OF 12'-0" (MAX.) FOR INLETS MORE THAN 12'-0" FEET IN DEPTH, SHOP DRAWINGS AND DESIGN ANALYSIS SHALL BE SUBMITTED FOR APPROVAL.
- ALL REINFORCING STEEL SHALL BE ASTM, A-615, GRADE 60 DEFORMED BARS. DIAMETER OF BEND MEASURED ON THE INSIDE OF THE BAR SHALL BE A MINIMUM OF 6 BAR DIAMETER.
- ALL SHALL CONFORM TO AASHTO LRFD BRIDGE DESIGN SPECIFICATIONS, 8TH EDITION, 2017.
- NO FORMWORK SHALL WORK REMAIN INSIDE STRUCTURE WHEN COMPLETE.
- CONCRETE BOX FOR GUTTER AND ANY ADDED STREET PANELS SHALL MEET CLASS 2 REQUIREMENTS FOR SULFATE RESISTANCE IN ACCORDANCE WITH COTD STANDARD 801.04 ON STREETS WHERE MAGNESIUM CHLORIDE CHEMICAL DECIDERS ARE APPLIED. REFER TO WCM STANDARD CONSTRUCTION SPECIFICATIONS SECTION 11 FOR REQUIREMENTS FOR SULFATE RESISTANCE IN CONCRETE EXPOSED TO EARTH.
- SPlicing of REINFORCING STEEL SHALL BE PERMITTED ONLY WHERE DETAIL IN DRAWINGS.
- INLET WALLS SHALL BE FORMED BOTH INSIDE AND OUTSIDE. CASTING OF SIDEWALKS AGAINST EARTH IS NOT PERMITTED.
- LEAN CONCRETE FILL TO BE FC = 2000 PSI. INLET STRUCTURE, LID, STREET CURB AND GUTTER, AND PAVEMENT TO BE FC = 4500 PSI, MAX W/C = 0.45 AND AIR ENTRAINED 5% TO 8%. FC = 28 DAY COMPRESSIVE STRENGTH REQUIREMENT FOR MIX DESIGN, FIELD ACCEPTANCE.
- FOR THROUGH STRUCTURES, BENCHES COME TO TOP OF PIPE.
- NO CORNER PENETRATIONS ON STRUCTURE.
- SEE WCM STANDARD CONSTRUCTION SPECIFICATIONS SECTION 11.04 STORM INLETS FOR MORE INFORMATION. USE OF THIS DETAIL WITHOUT SPECIFICATIONS SHALL BE CONSIDERED NON-COMPLIANT.
- SEE S-616.2 FOR REBAR PLACEMENT AT WALL PENETRATION DETAIL.
- REFER TO "TRANSFORMATION STANDARDS AND DETAILS FOR THE ENGINEERING DIVISION" FOR ADJACENT ROADWAY AND SIDEWALK DESIGN CRITERIA.

CITY AND COUNTY OF DENVER
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www.denvergov.org

STANDARD DETAILS
S-616.1
SINGLE NUMBER 16 INLET

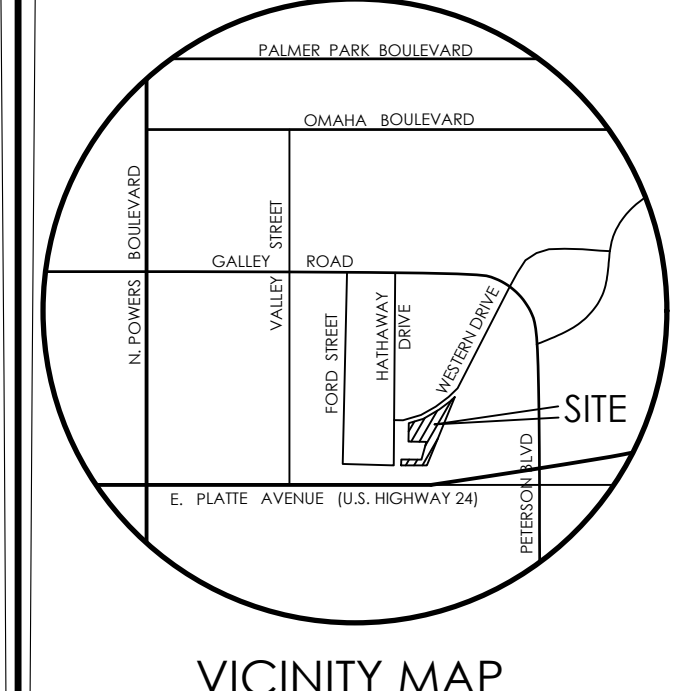
DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____



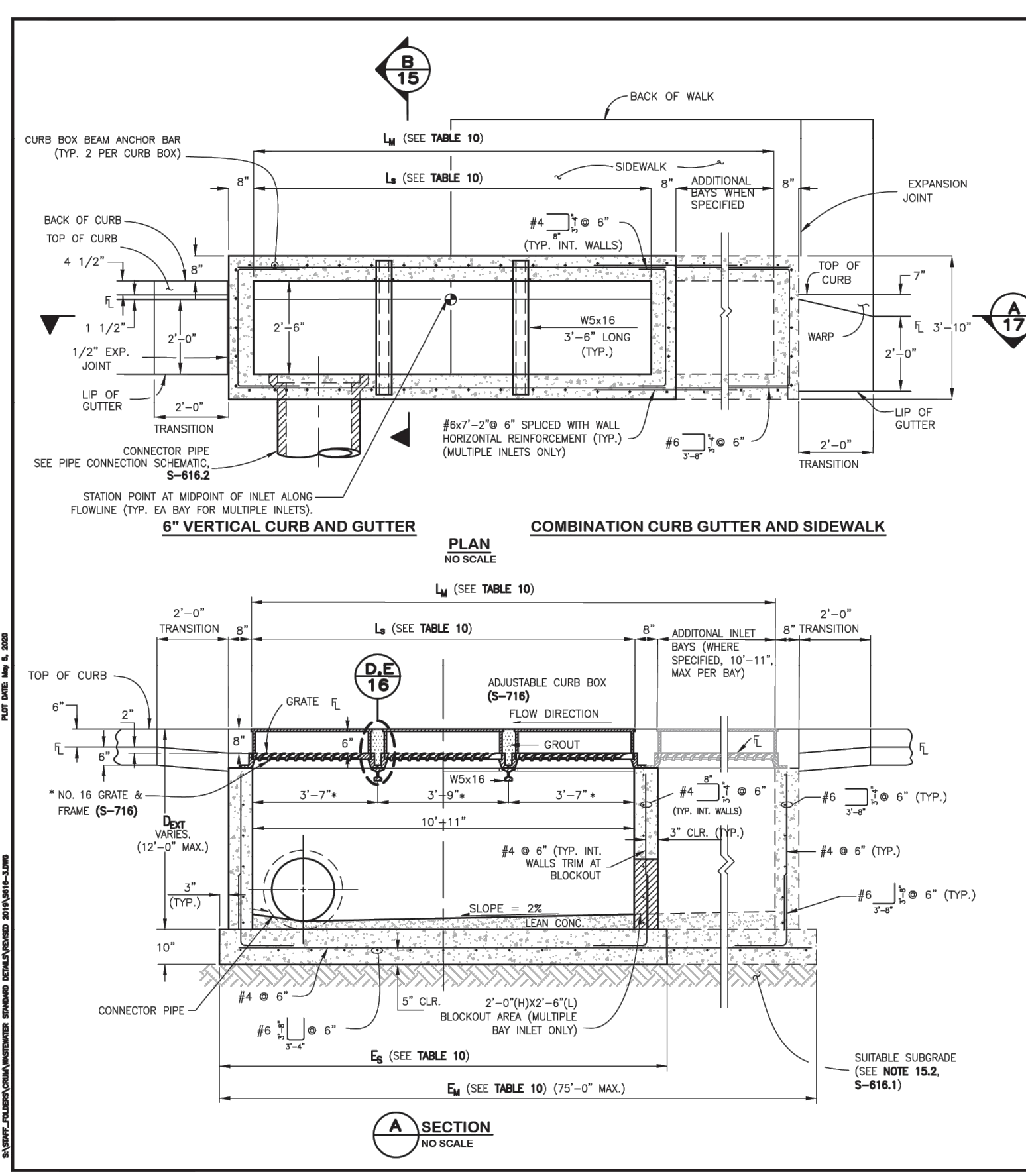
CITY AND COUNTY OF DENVER
2000 W. 3RD AVE., DENVER, CO 80202
www.denvergov.org

STANDARD DETAILS
S-616.2
DOUBLE NUMBER 16 INLET

DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____



VICINITY MAP
NOT TO SCALE



TRIPLE NUMBER 16 INLET NOTES:

- SEE WCM STANDARD CONSTRUCTION SPECIFICATIONS SECTION 11.05 STORM INLETS FOR MORE INFORMATION. USE OF THIS DETAIL WITHOUT SPECIFICATIONS SHALL BE CONSIDERED NON-COMPLIANT.
- SEE GENERAL NOTES ON S-616.1
- EXPANSION JOINT MATERIAL SHALL BE PLACED FULL DEPTH OF THE CURB AND GUTTER, SIDEWALK, CONCRETE PAVEMENT, AS APPLICABLE. THE TOP PORTION OF THE JOINT SHALL BE SEALED WITH SILICONE SEALANT.
- SEE S-616.2 FOR REBAR PLACEMENT AROUND CONNECTOR PIPE.

TABLE 10. NO. 16 TOTAL INLET LENGTH

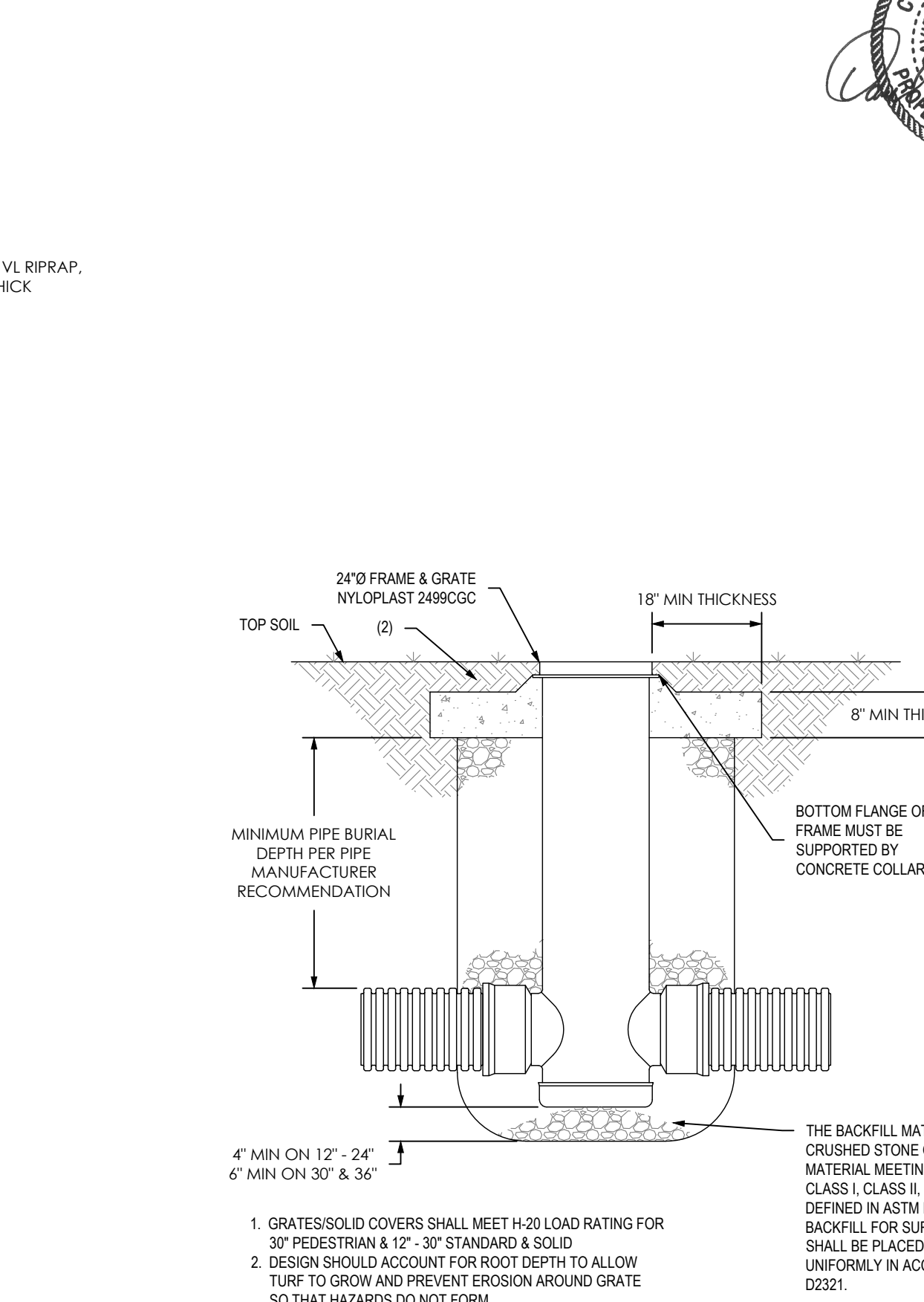
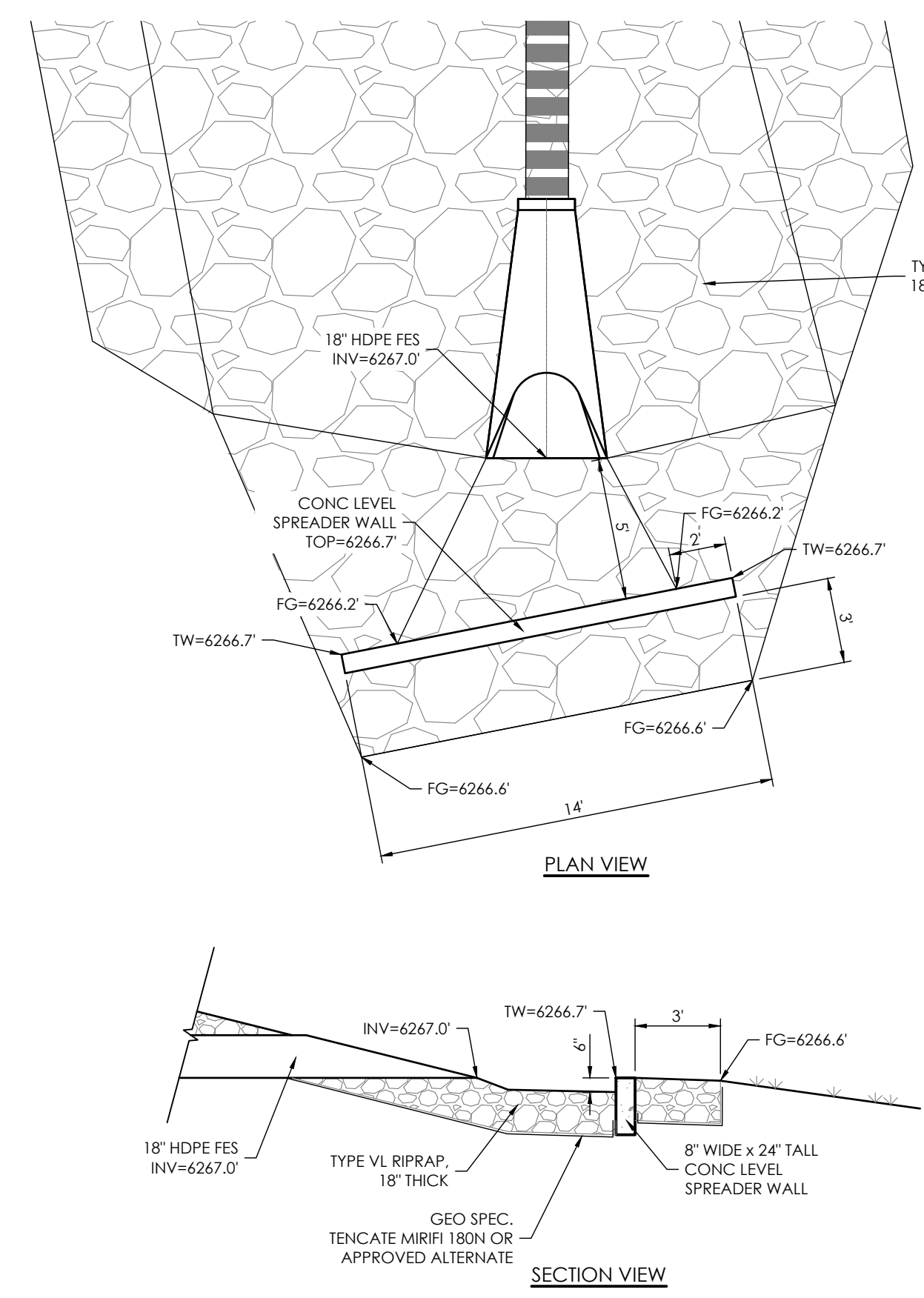
INLET CONFIGURATION	L ₁ OR L ₂ INLET LENGTH	E ₁ OR E ₂ TOTAL BOTTOM SLAB LENGTH
TRIPLE NO. 16	10'-11"	12'-9"
NO. 16 3-3-3 (EXAMPLE CONFIGURATION)	10'-11", 10'-11", 7'-1"	32'-1"
NO. 16 (CONFIGURATION TEMPLATE)	L ₁ - L ₂ - L ₃	= 3'L ₁ + 14'L ₂ + 8'L ₃ + 3"

* MAX. BOTTOM SLAB LENGTH = 75'-0"

CITY AND COUNTY OF DENVER
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www.denvergov.org

STANDARD DETAILS
S-616.3
TRIPLE NUMBER 16 INLET

DATE: _____
DESIGNED BY: _____
CHECKED BY: _____
DATE: _____
DATE: _____
DATE: _____
DATE: _____



STILLING BASIN / LEVEL SPREADER
SCALE: NOT TO SCALE

NYLOPLAST 24" DRAIN BASIN DETAIL
SCALE: NOT TO SCALE



MVE, INC.
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200, Colorado Springs, CO 80909 719.635.5736

DESIGNED BY: _____
DRAWN BY: _____
CHECKED BY: _____
AS-BUILT BY: _____
CHECKED BY: _____

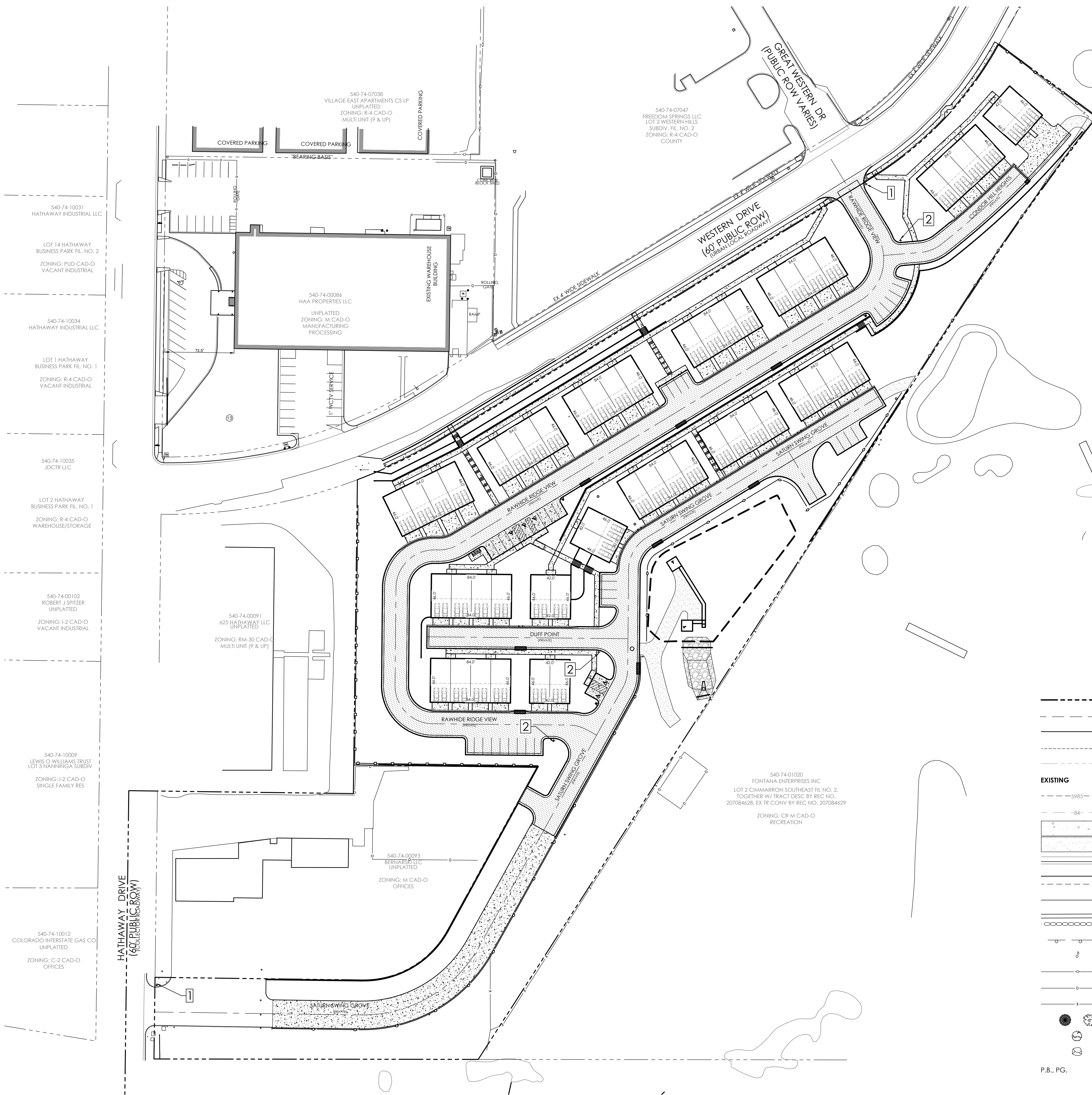
TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

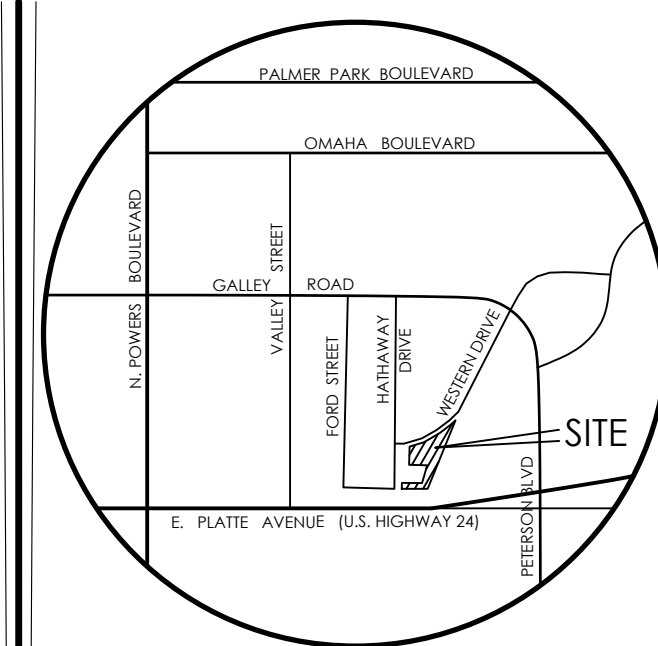
CONSTRUCTION PLANS
STORM DETAILS

C2.6 MVE PROJECT 61203
MVE DRAWING CON-SD

JULY 11, 2024
SHEET 6 OF 8



- SITE SIGNAGE KEYNOTES**
- 1 PUBLIC STOP SIGN (R1-1) w/ PUBLIC (D3-1) & PRIVATE STREET NAME SIGNS (SEE DETAIL C2.8)
 - 2 PRIVATE STOP SIGN w/ PRIVATE STREET NAME SIGNS (SEE DETAIL C2.8)

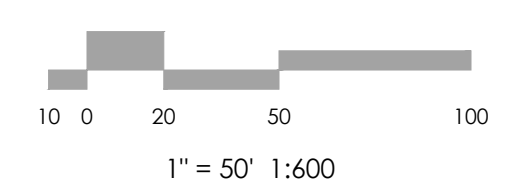
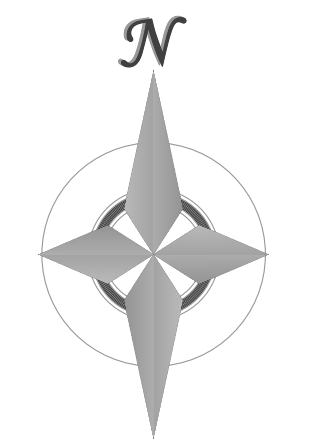


VICINITY MAP
NOT TO SCALE

BENCHMARK

1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.

2. THE EXISTING TOPOGRAPHY SHOWN ON THIS PLAN WAS PREPARED AND PROVIDED BY POLARIS SURVEYING INC. ELEVATIONS SHOWN ARE RELATIVE TO NAVD88.



MVE, INC.
ENGINEERS / SURVEYORS

1903 Leary Street, Suite 200 Colorado Springs, CO 80909 719.635.5736

LEGEND

---	PROPERTY LINE	---	PROPERTY LINE
- - - -	EASEMENT LINE - PUBLIC UTILITY & DRAINAGE 10' FRONT, 5' SIDE, 7' REAR (TYP)	- - - -	EASEMENT LINE - PUBLIC UTILITY & DRAINAGE 10' FRONT, 5' SIDE, 7' REAR (TYP)
---	LOT LINE	---	LOT LINE
- - - -	BUILDING SETBACK LINE	- - - -	BUILDING SETBACK LINE
---	ADJACENT PROPERTY LINE	---	ADJACENT PROPERTY LINE
EXISTING			
- - - -	INDEX CONTOUR	- - - -	INDEX CONTOUR
- - - -	INTERMEDIATE CONTOUR	- - - -	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG	[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK	[Pattern]	RETAINING WALL - SOLID/ ROCK
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	WOOD FENCE	[Symbol]	WOOD FENCE
[Symbol]	CHAIN LINK FENCE	[Symbol]	CHAIN LINK FENCE
[Symbol]	BARBED WIRE FENCE	[Symbol]	BARBED WIRE FENCE
[Symbol]	TREE (EVERGREEN/DECIDUOUS)	[Symbol]	TREE (EVERGREEN/DECIDUOUS)
[Symbol]	SHRUB	[Symbol]	SHRUB
[Symbol]	ROCK	[Symbol]	ROCK
[Symbol]	P.B., PG. (PLAT BOOK, PAGE)	[Symbol]	P.B., PG. (PLAT BOOK, PAGE)
PROPOSED			
- - - -	INDEX CONTOUR	- - - -	INDEX CONTOUR
- - - -	INTERMEDIATE CONTOUR	- - - -	INTERMEDIATE CONTOUR
[Pattern]	CONCRETE AREA	[Pattern]	CONCRETE AREA
[Pattern]	ASPHALT AREA	[Pattern]	ASPHALT AREA
[Pattern]	CURB AND GUTTER	[Pattern]	CURB AND GUTTER
[Pattern]	BUILDING/ BUILDING OVERHANG	[Pattern]	BUILDING/ BUILDING OVERHANG
[Pattern]	DECK	[Pattern]	DECK
[Pattern]	RETAINING WALL - SOLID/ ROCK	[Pattern]	RETAINING WALL - SOLID/ ROCK
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	TOP OF WALL/GRADE AT BOTTOM OF WALL	[Symbol]	TOP OF WALL/GRADE AT BOTTOM OF WALL
[Symbol]	TOP OF CURB/FLOWLINE	[Symbol]	TOP OF CURB/FLOWLINE
[Symbol]	SPOT ELEVATION	[Symbol]	SPOT ELEVATION
[Symbol]	FL = FLOWLINE	[Symbol]	FL = FLOWLINE
[Symbol]	TSW = TOP OF SIDEWALK	[Symbol]	TSW = TOP OF SIDEWALK
[Symbol]	FINISHED FLOOR ELEVATION	[Symbol]	FINISHED FLOOR ELEVATION
[Symbol]	FF = 5986.00	[Symbol]	FF = 5986.00
[Symbol]	FLOW DIRECTION	[Symbol]	FLOW DIRECTION

REVISIONS

DESIGNED BY _____
DRAWN BY _____
CHECKED BY _____
AS-BUILTS BY _____
CHECKED BY _____

TOWNHOMES AT WESTERN

LOT I, CIMARRON SOUTHEAST FILLING NO - 2C

CONSTRUCTION PLANS SIGNAGE PLAN

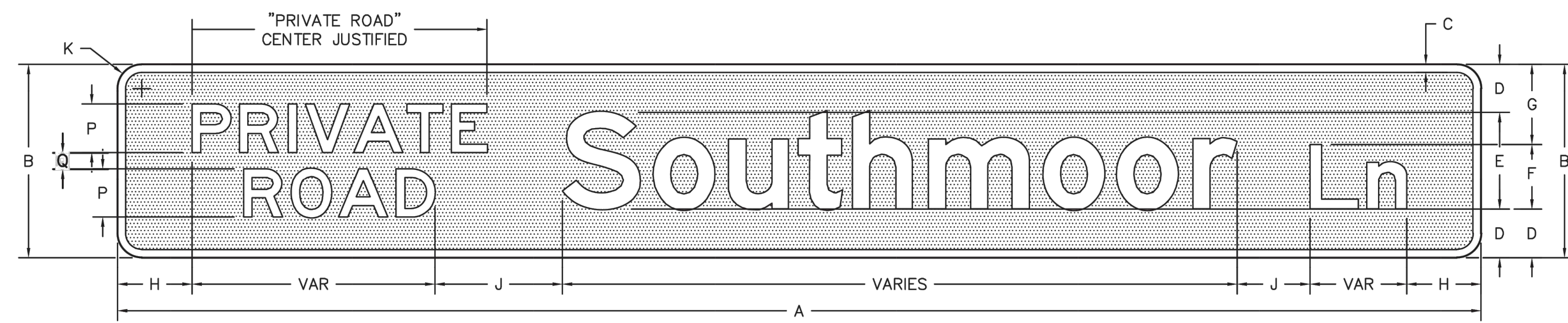
C2.7 MVE PROJECT 61203
MVE DRAWING CON-SS1

AUGUST 7, 2024
SHEET 7 OF 8

CALL UTILITY NOTIFICATION CENTER OF COLORADO 811
CALL 3 BUSINESS DAYS IN ADVANCE FOR THE MARKING OF UNDERGROUND NUMBER UTILITIES.



FINAL 7/13/2021



SIGN DIMENSIONS											
A	B	C	D	E	F	G	H	J	K	P	Q
VAR	8	0.375	2	4 D	3 D	3	3 (MIN)	3	1	2.25	1.5
VAR	12	0.5	3	6 D	4 D	5	4.5 (MIN)	4.5	1.5	3	2

COLORS: LEGEND, BORDER - WHITE (RETROREFLECTIVE)
BACKGROUND - GREEN (RETROREFLECTIVE)

NOTES: REFERENCE SUPPLEMENTAL SPECIFICATION

Sign Detail
Scale: NTS

Computer File Information		Index of Revisions		<p>El Paso County Department of Public Works 3275 Akers Drive Colorado Springs, Colorado 80922-1547 Ph: 719-520-6460 Fax: 719-520-6878 Division of Transportation</p>	As Constructed		Private Road Detail		Project No./Code	
Creation Date:	3/4/2021	Initials:	DAN		No Revisions:				EPC	
Last Modification Date:	7/13/2021	Initials:	DAN		Revised:		Designer:	JP	Structure:	
Full Path:	P:\Proj-Cv3D-2020				Void:		Detailer:	DAN	Numbers:	
Drawing File Name:	PrivateRoadSignDets.dwg					SheetSubset:		Subset Sheets:		of
Acad. Ver. Civ3D 2020 Scale:	n/a	Units: Feet						Sheet Number		1

Supplemental Specification - El Paso County, Colorado

July 13, 2021

PRIVATE ROAD SIGNS

DESCRIPTION

This work consists of the construction of traffic signs. This work shall be done in accordance with the latest version of the CDOT Standard Specifications for Road and Bridge Construction, the latest revision of the "Manual on Uniform Traffic Control Devices for Streets and Highways" published by the FHWA and adopted by CDOT, the latest revision of the Colorado Supplement thereto, and in conformity with the EPC Standard Private Road Detail together and the details shown on the plans or established.

MATERIALS

Private Road sign panel materials shall conform to this specification, Sections 614 and 713 of the CDOT Standard Specifications for Road and Bridge Construction and to the details shown on the plans.

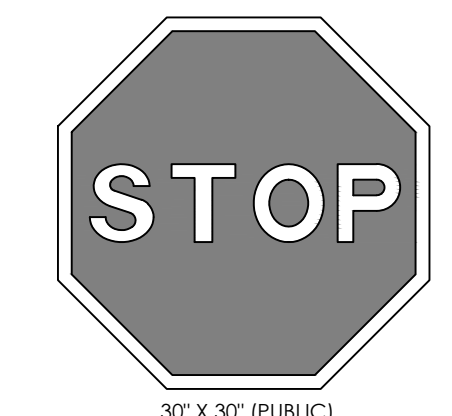
The Private Road sign panel shall contain a retroreflective green background with a retroreflective white legend and border.

Private road street name signing that faces approach roads which are classified or operate as local residential area subdivision roads that provide direct access to consistently subdivided residential lots will typically utilize an 8-inch sign panel height with 4-inch initial upper-case lettering for the primary street name legend. Private road street name signing that faces approach roads which are classified or operate as non-local residential area subdivision roads will typically utilize a 12-inch sign panel height with 6-inch initial upper-case lettering for the primary street name legend. Larger signs may be required per the MUTCD.

The words "PRIVATE ROAD" shall be located prior to the street name and shall be center justified. The words shall be all capital letters, stacked and centered vertically. For an 8-inch sign panel height, use 2.25 inches for the PRIVATE ROAD letter height and a 1.5-inch vertical space between the legend. For a 12-inch sign panel height, use 3 inches for the PRIVATE ROAD letter height and a 2-inch vertical space between the legend.

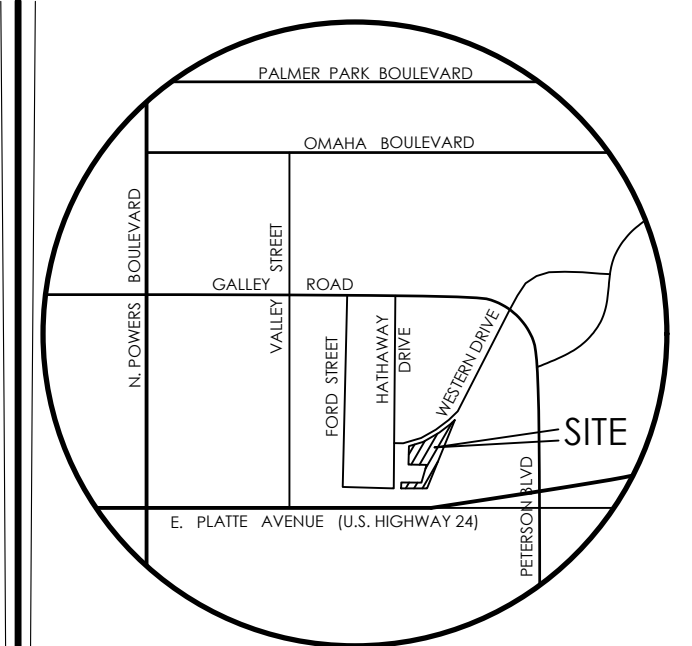
CONSTRUCTION REQUIREMENTS

Private Road sign panel construction shall conform to Section 614 of the CDOT Standard Specifications for Road and Bridge Construction.



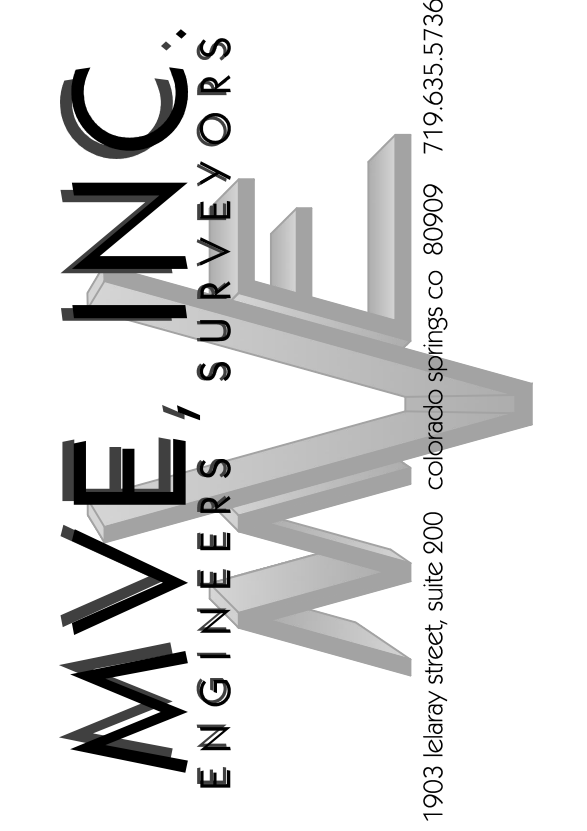
30" X 30" (PUBLIC)
24" X 24" (PRIVATE)

STOP SIGN (R1-1)
NOT TO SCALE



VICINITY MAP
NOT TO SCALE

BENCHMARK
1. BOUNDARY BEARINGS AND DISTANCES SHOWN ON THIS MAP ARE RELATIVE TO THE WEST LINE OF LOT 1, CIMARRON SOUTHEAST FILING NO. 2C, ASSUMED TO BEAR N00°44'42"E.
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1903 Leamy street, suite 200 Colorado Springs CO 80909 719.635.5736

REVISIONS

DESIGNED BY
DRAWN BY
CHECKED BY
AS-BUILTS BY
CHECKED BY

TOWNHOMES AT WESTERN

LOT 1, CIMARRON SOUTHEAST
FILING NO - 2C

CONSTRUCTION
PLANS
SIGNAGE DETAILS

C2.8 MVE PROJECT 61203
MVE DRAWING CON-SS1

AUGUST 7, 2024
SHEET 8 OF 8